

# SOBRANTE

3280 EL SOBRANTE ST.  
SANTA CLARA, CA 95051

## PROJECT INFORMATION

APN: 290-19-071  
 PROJECT ADDRESS: 3280 EL SOBRANTE ST., SANTA CLARA, CA 95051  
 ZONING: R1/L  
 CONSTRUCTION TYPE: V0  
 OCCUPANCY TYPE: R-3  
 YEAR BUILT: 1949  
 SOIL TYPE: -  
 MAX F.A.R.: -  
 MAX LOT COVERAGE: 3000 SF  
 SITE AREA: 7500 SF  
 MAX LOT COVERAGE: 0.4  
 MAX LOT COVERAGE SF: 3000 SF  
 TOTAL LOT COVERAGE: 3000 SF

BUILDING AREA:	
EXISTING	PROPOSED
EXISTING GARAGE: 284.32 SF V.I.F.	PROPOSED GARAGE: 506 SF
EXISTING PORCH/SCREENED: 120.4 SF V.I.F.	PROPOSED PORCH/SCREENED: 121.9 SF
EXISTING FRONT PORCH: 73.52 SF V.I.F.	PROPOSED FRONT PORCH: 70 SF
2120.28 SF V.I.F.	

MAX BUILDING HEIGHT: 25'-0"  
 BUILDING HEIGHT: 14'-7"  
 SETBACKS:  
 FRONT: 20'-0"  
 SIDE: 5'-0"  
 REAR: 20'-0"  
 FIRE SPRINKLERS: YES  
 SOLAR: VIA SEPARATE, DEFERRED PERMIT

## PROJECT TEAM

**OWNER:**  
 BENJAMIN POULAIN  
 422 CYPRESS AVE  
 SAN JOSE, CA 95111  
 408 813 4282  
 BERTIN@CCLLEG.CLOUD.COM

**ARCHITECT:**  
 MEGAN E. BLAINE - CS4413  
 BLAINE ARCHITECTS  
 1800 ROGERS AVE  
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 408 860 8800  
 MEGAN@BLAINEARCHITECTS.COM

**CIVIL:**  
 KYLE T. WILSON - #440  
 WILSON LAND SURVEYS INC.  
 251 CANTON COURT  
 LOS GATOS, CA 95020  
 408 475 2070  
 KOENIG@WILSONLANDSURVEYS.COM

## SCOPE OF WORK

DEMOLISH EXISTING SINGLE LEVEL, SINGLE FAMILY RESIDENCE.  
 CONSTRUCT A NEW 2,507 SF SINGLE LEVEL MODERN SINGLE FAMILY HOME  
 WITH 3 BEDROOMS, 1 OFFICE, 2-2.5 BATHROOMS, AND 506 SF GARAGE ON  
 7,500 SF LOT.

## APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS, TITLE 24  
 CBC, CBC, CMC, CPC, CEC, CALIFORNIA BUILDING ENERGY EFFICIENCY  
 STANDARDS

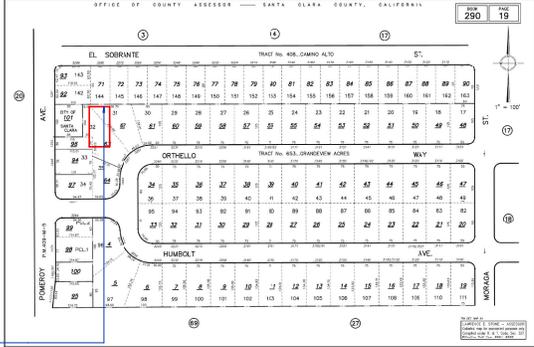
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF SANTA CLARA MUNICIPAL CODE

## VICINITY MAP



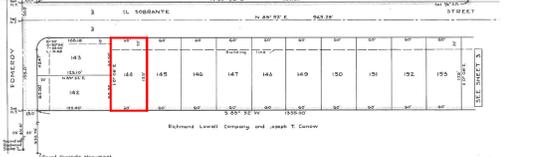
## ASSESSOR'S MAP



## PROJECT MATRIX

FLOOD ZONE DESIGNATION:	ZONE X
<b>BUILDING COVERAGE %:</b> (INCLUDING CARPORTS, SHEDS, COVERED PATIOS, PORCHES, AND DECKS)	<b>EXISTING:</b> 28.28% V.I.F. <b>PROPOSED:</b> 38.30%
<b>(E) BUILDING SF:</b> (INCLUDING CARPORTS, SHEDS, COVERED PATIOS, PORCHES, AND DECKS) NUMBER OF EXISTING BATHROOMS:	2120.28 SF V.I.F. 3
<b>NUMBER OF PROPOSED BATHROOMS:</b>	2
<b>COMMON LIVING AREA (CL):</b> (AREAS AVAILABLE TO ALL RESIDENTS OF UNITS - INCLUDING LIVING ROOMS, DINING, KITCHENS AND EXCLUDE BATHROOMS & HALLWAYS)	<b>PROPOSED PERCENTAGE:</b> 32.77% <b>EXISTING:</b> 661.26 SF V.I.F. / <b>PROPOSED:</b> 755.64 SF
<b>PORCH SQUARE FOOTAGE:</b> (IF NOT OPEN TO THE SKY COUNTS TOWARDS LOT COVERAGE %)	50

## TRAC MAP



## SHEET INDEX

SHEET NUMBER	SHEET NAME	DATE	CURRENT REVISION
A001	COVER SHEET	10/20/23	
A002	GENERAL NOTES	10/20/23	
A003	LOCAL GREEN CHECKLIST	10/20/23	
A004	LOCAL GREEN CHECKLIST	10/20/23	
A005	BOUNDARY AND TOPOGRAPHIC SURVEY	10/20/23	
A011	51% PLAN	10/20/23	
A012	OUTDOOR LIGHTING PLAN	10/20/23	
A101	FOUNDATION FLOOR PLAN	10/20/23	
A102	PROPOSED FLOOR PLAN	10/20/23	
A111	PROPOSED FLOOR PLAN	10/20/23	
A201	EXTERIOR ELEVATIONS	10/20/23	
A202	EXTERIOR ELEVATIONS	10/20/23	
A203	STREET SCAPING AND SCHEDULES	10/20/23	
A204	51% + BUILDING SECTIONS	10/20/23	



1 COVER SHEET VIEW



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 3280 EL SOBRANTE ST.  
 SANTA CLARA, CA 95051

OWNER:  
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 BERTIN@CCLLEG.CLOUD.COM

NO.	REVISION	DATE
1	Working Submittal	10/20/23

## COVER SHEET

PROJECT NUMBER: 2007  
 SHEET ISSUE DATE: 10/20/23  
 DRAWN BY: MB  
 CHECKED BY: AV  
 SHEET NAME:  
**A001**  
 SCALE:







**SURVEYOR'S NOTE**

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTOR IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

ROEN T. WILSON LS 9440 DATE

**SITE BENCHMARK**

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF BENCH MARK OF CONTROL POINT #1.

**GENERAL NOTES**

1. THESE SEES AND TYPES ARE APPROPRIATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS UNLESS OTHERWISE NOTED.
3. BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS UNLESS BRICK OR WOOD SING AS IT EXISTS IN THE FIELD.
4. LOCATIONS OF ALL EXISTING ON-SITE FEATURES WITHIN THE FOOTPRINT OF THE EXISTING BUILDING SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.
5. ALL DISTANCES WITH THE EXCEPTION OF TREE SEEDS SHOWN IN FEET AND DECIMALS THEREOF.
6. LINES ON LAYERS "BOUNDARY" SHOULD BE USED AS BASIS OF DESIGN FOR BOUNDARY.
7. LINES ON LAYERS "RELIEF" SHOULD BE USED AS BASIS OF DESIGN FOR BUILDING LOCATION.

**UNDERGROUND UTILITY NOTE**

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPROPRIATIONS AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP MAY NOT BE AS SHOWN ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, CORRECTIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

**TITLE REPORT NOTE**

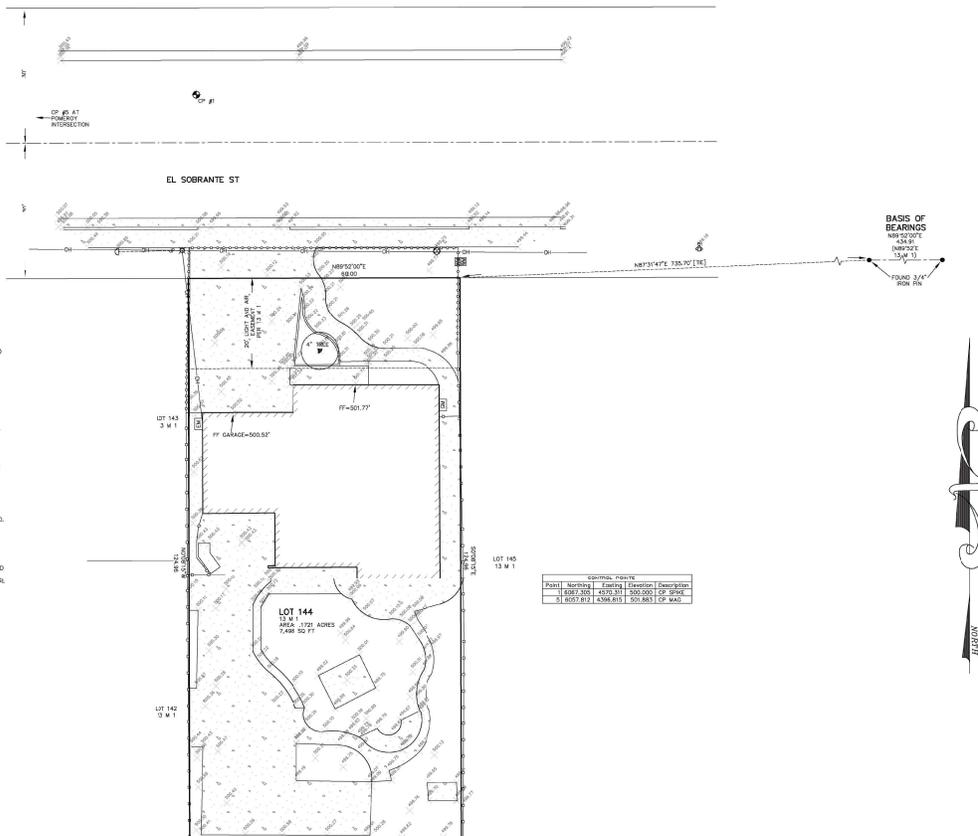
A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT GUARANTEE THE ACCURACY AND EXISTENCE HEREON AND WILL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INACCURACIES. THE CLIENT SHOULD CHECK WITH THE COUNTY CLERK'S OFFICE TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

**SETBACK LINES NOTE**

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP EXCEPT WHERE THEY ARE SHOWN ON THE ORIGINAL TRACT MAPS. THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AGENCY TO DETERMINE BUILDING SETBACK LINES.

**FLOOD NOTE**

THIS PARCEL IS LOCATED IN 0.2% ANNUAL CHANCE FLOOD HAZARD AREAS OF AN ANNUAL CHANCE FLOOD WITH A RETURN PERIOD OF 500 YEARS. THE 0.2% ANNUAL CHANCE FLOOD HAZARD AREAS ARE SHOWN ON THE CURRENT FEMA FLOOD INSURANCE RATE MAP NUMBER 9806000200H DATED MAY 18, 2009.

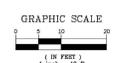


**LEGEND**

●	FOUND AS NOTED	PP XX	UTILITY POLE
○	SET 3/4" BRASS WITH PLASTIC CAP 1/8" DIA.	PP XX	POWER POLE
○	SET 1/2" BRASS TAG 1/8" DIA. IN CONCRETE	UP XX	UTILITY POLE
○	1/2" DIA. IN CONCRETE	TP XX	TELEPHONE POLE
---	PROPERTY LINE	---	WALL
---	EASEMENT LINE/FE LINE	---	CONCRETE
---	CONCRETE	---	PAVERS
---	SS - VIB SEWER LINE	---	ROCK
---	M - VIB WATER LINE	---	BRICK
---	G - VIB GAS LINE	---	WOOD FENCE
---	PI - VIB PHONE LINE	---	CHAIN LINK FENCE
---	E - VIB ELEC. LINE	---	
---	OH - OVERHEAD LINE	---	
○	LAMP POST	---	

**ABBREVIATIONS**

LO	LINE ON
WH	WHITE ON
WC	WOOD ON
EC	ECCENTRIC
RM	REWORKED
PL	PUBLIC UTILITY EASEMENT
FE	FINISH FLOOR ELEVATION
OR	OFFICIAL RECORD



**CONTROL POINTS**

Point 1	Station 1	Control Elevation
800.300	420.33	500.000' OF BENCH
81.600(1.0)	426.611	501.811' OF BENCH

Email: roent@wilsonlandsurveys.com  
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**BOUNDARY AND TOPOGRAPHIC SURVEY**

AS REQUESTED BY  
**BENJAMIN POULAIN**

LEGAL DESCRIPTION: LOT 144 TRACT 408 13 M 2, CITY OF SANTA CLARA, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APR. 200-19-071  
DATE: APRIL 2025  
FILMNO: S-0715 G. SOBRANTE POULAIN TRS  
SITE ADDRESS: 3082 EL SOBRANTE ST, SANTA CLARA, CA 95051

DRAWN BY: SCALE: PROJECT: JOB NUMBER: SHEET: 1 OF 1



This map is prepared by me or under my direct supervision and I am a duly licensed and registered professional land surveyor in the State of California. I am a member of the State Bar of California and the State Surveyors Association of California. I am a member of the National Society of Professional Surveyors. I am a member of the American Society of Professional Surveyors. I am a member of the California Society of Professional Surveyors. I am a member of the National Society of Professional Surveyors. I am a member of the American Society of Professional Surveyors. I am a member of the California Society of Professional Surveyors.



**LEGEND**

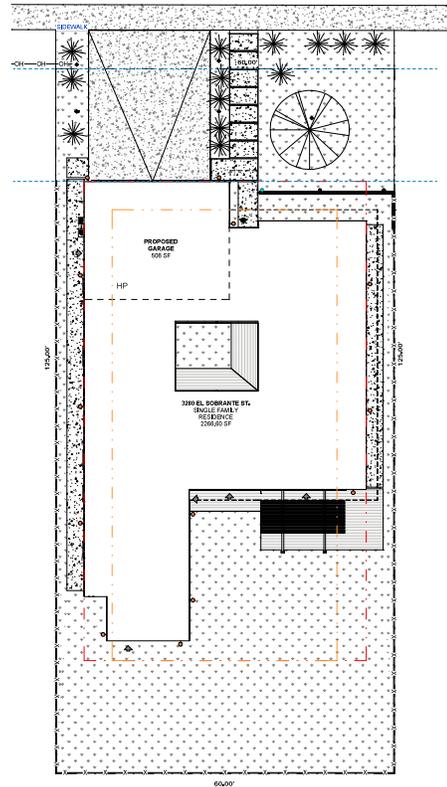
-  LF1-WALL SCONCE OUTDOOR LIGHT
-  LF3-SPIKE OUTDOOR LIGHT

**LIGHTING SCHEDULE**

Lighting Schedule									
Type	Max	Description	Name	Image	Manufacturer	Quantity	Finish	Lumen	CEC ID
LF-1		OUTDOOR SCONCE	CAUBER		Blaine	12	BRONZE	600	3900
LF-2		SPIKE LIGHT	POWIS		MFCU	8	BLACK	600	3000-4000



EL SOBRANTE STREET



1 OUTDOOR LIGHTING PLAN - PROPOSED 1/8" = 1'-0" NORTH



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PROJECT NAME  
**SOBRANTE**

PROJECT ADDRESS  
3286 EL SOBRANTE ST,  
SANTA CLARA, CA 95051

CLIENT CONTACT  
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NO.	REVISION	DATE
1	Issuing Submittal	10/20/25

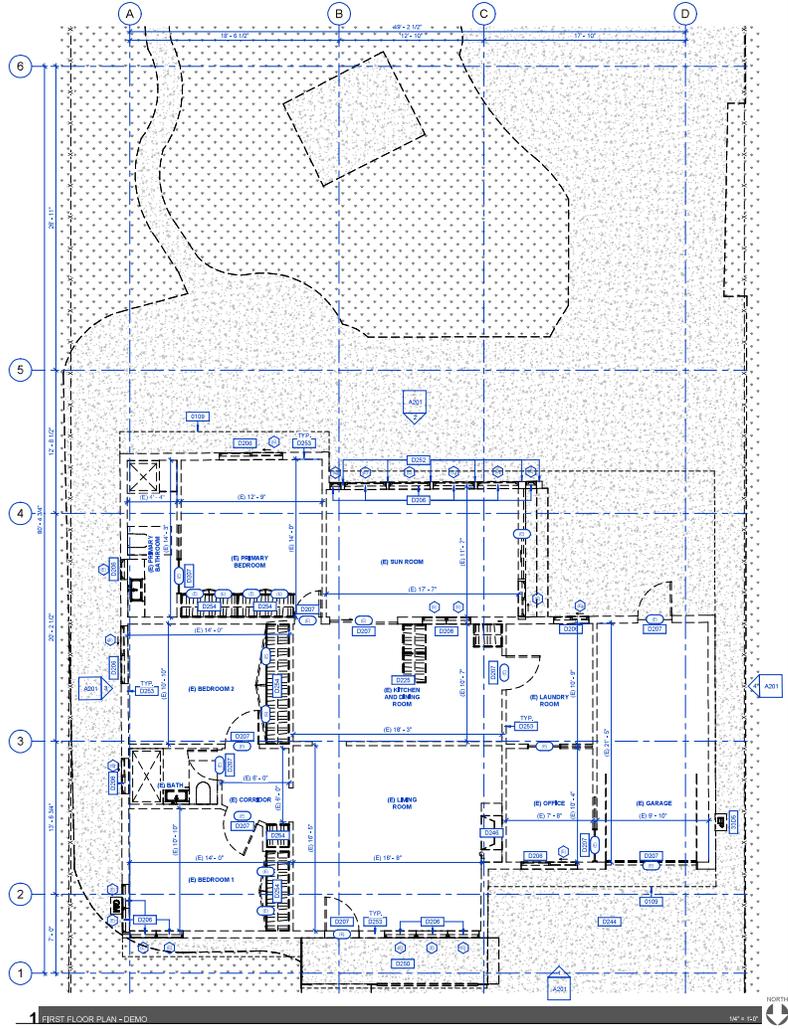
**OUTDOOR LIGHTING PLAN**

PROJECT NUMBER	2907
SHEET ISSUE DATE	10/20/25
DRAWN BY:	KA
CHECKED BY:	AV

**A012**  
SCALE: As indicated

- KEYNOTES**
- 0305 REMOVE EXISTING 100 AMP ELECTRICAL METER/SERVICE PANEL.
  - 0109 HIDDEN LINE REPRESENTS EDGE OF ROOF LINE ABOVE.
  - 0208 REMOVE EXISTING WINDOW.
  - 0207 REMOVE EXISTING DOOR.
  - 0205 REMOVE EXISTING KITCHEN APPLIANCE AND ALL EXISTING KITCHEN CABINETS.
  - 0344 REMOVE ALL EXISTING HARDWARE, INCLUDING CONCRETE FLOORING, MARINO CURBS, AND STEPS, REMOVE IN FULL TO SUBGRADE.
  - 0346 REMOVE EXISTING BRICK FIRE PLACE, CHIMNEY, GAS/LEAK GAS CONNECTION.
  - 0350 REMOVE EXISTING CONCRETE SLAB/STEP IN FULL TO SUBGRADE.
  - 0252 REMOVE EXISTING POST.
  - 0253 REMOVE EXISTING HALL.
  - 0254 REMOVE EXISTING CLOSET, CABINETS AND SHELVING.

- LEGEND**
- DEMOLISH PORTION OF EXISTING WALL
  - EXISTING WALL TO REMAIN



1 FIRST FLOOR PLAN - DEMO



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3280 EL SOBRANTE ST,  
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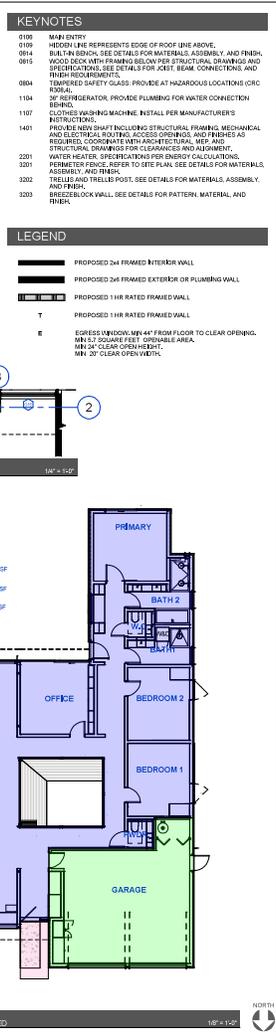
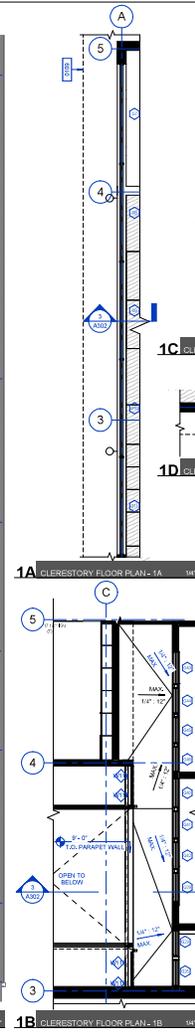
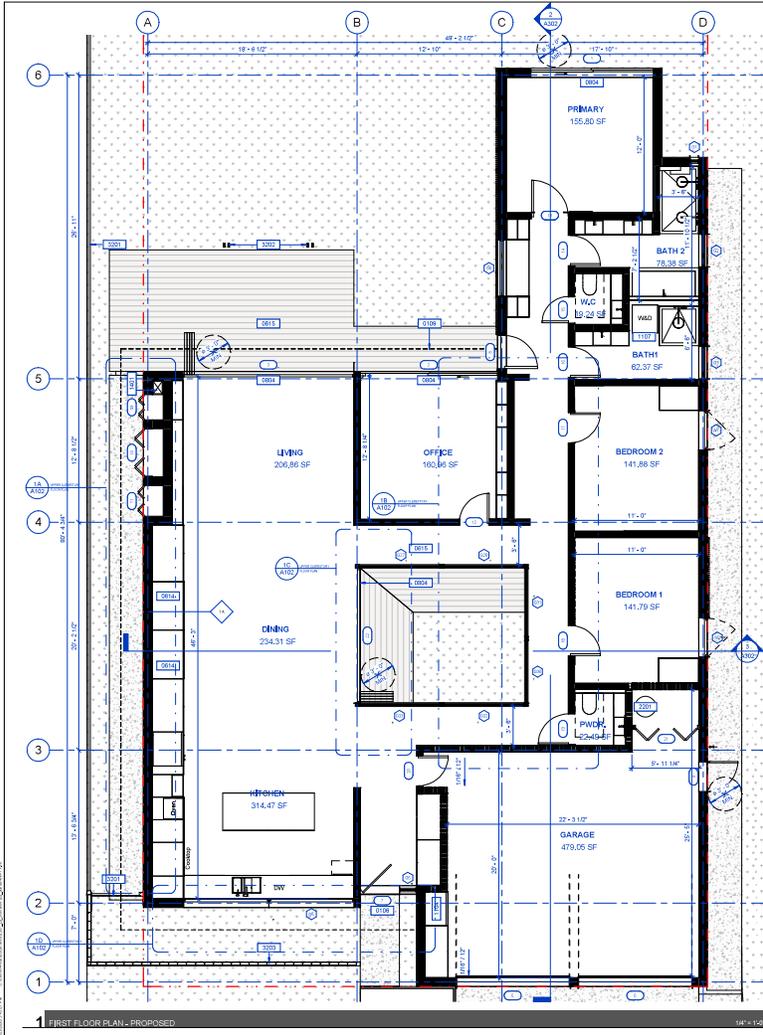
CLIENT CONTACT  
BENJAMIN POULAIN  
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NO.	REVISIONS	DATE
1	Issuing Submittal	10/20/25

**DEMOLITION FLOOR PLAN**

PROJECT NUMBER	2907
SHEET ISSUE DATE	10/20/25
DRAWN BY:	KA
CHECKED BY:	AV

**A101**  
SCALE: As indicated



**WINDOW NOTES**

ALL CONDITIONS & DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO PACKING ORDER.

ALL WINDOW SPOK AND/OR SILLERS SHALL BE BLACK UNLESS NOTED OTHERWISE.

SCHEDULES FOR REFERENCE ONLY.

**KEYNOTES**

0108 MAIN ENTRY

0109 HOOKLINE REPRESENTS EDGE OF ROOF LINE ABOVE BUILT UP BENCH. SEE DETAILS FOR MATERIALS, ASSEMBLY, AND FINISH.

0914 POSTS: SEE ARCH. FRAMING BELOW FOR STRUCTURAL DRAWINGS AND SPECIFICATIONS. SEE DETAILS FOR JOIST, BEAM, CONNECTIONS (AND THEIR REQUIREMENTS).

0915 IMPAIRED SAFETY GLASS: PROVIDE AT HAZARDOUS LOCATIONS (CRG BENCH).

1104 REFRIGERATOR: PROVIDE PLUMBING FOR WATER CONNECTION (SINK).

1107 CLOTHES WASHING MACHINE: INSTALL PER MANUFACTURER'S INSTRUCTIONS.

1401 PROVIDE NEW SHAFIT INCLUDING STRUCTURAL FRAMING, MECHANICAL AND ELECTRICAL FOR TRUSS ACCESS OVERPASS, AND FINISH AS REQUIRED. COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL DRAWINGS FOR CLEARANCES AND ALIGNMENT.

2201 WATCH HEADER: SPECIFICATIONS FOR DESIGN CALCULATIONS.

3201 PERIMETER FENCE: REFER TO SITE PLAN. SEE DETAILS FOR MATERIALS, ASSEMBLY, AND FINISH.

3202 TRUSS AND TRELIS POST: SEE DETAILS FOR MATERIALS, ASSEMBLY, AND FINISH.

3203 BRICK/LOCK WALL: SEE DETAILS FOR PATTERN, MATERIAL, AND FINISH.

**LEGEND**

PROPOSED 24\"/>

**BLAINE architects**

MEGAN E. BLAINE  
ARCHITECT C26413  
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SAN JOSE, CA 95117  
P. 408-982-8800

**PROPOSED SOBRANTE**

PROJECT ADDRESS  
2280 EL SOBRANTE ST,  
SANTA CLARA, CA 95051

CLIENT/OWNER  
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NO.	REVISION	DATE
1	Issued for Permit	10/20/25

PROJECT NO. **A102**

PROJECT NAME **PROPOSED FLOOR PLAN**

PROJECT NUMBER 2907

SHEET ISSUE DATE 10/20/25

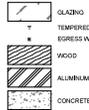
DRAWN BY: KA

CHECKED BY: AV

SCALE: As Indicated

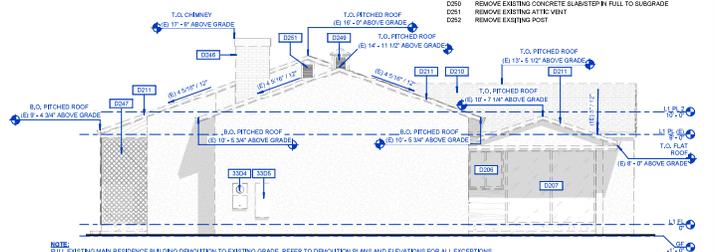


**LEGEND**

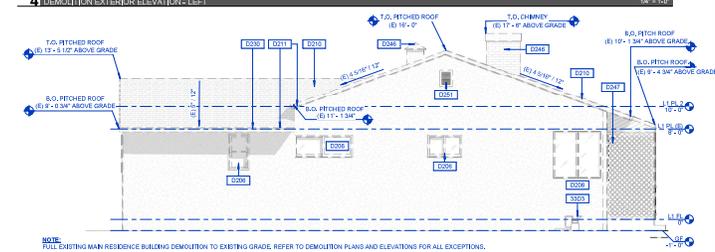


**KEYNOTES**

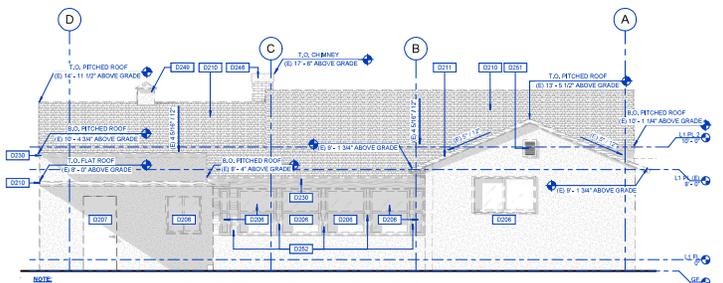
- K303 REMOVE AND RELOCATE EXISTING GAS SUPPLY VALVE/METER.
- K304 REMOVE AND RELOCATE EXISTING 200 AMP ELECTRICAL METER/SERVICE PANEL.
- K305 REMOVE EXISTING 100 AMP ELECTRICAL METER/SERVICE PANEL.
- K206 REMOVE EXISTING WINDOW.
- K207 REMOVE EXISTING DOOR.
- K210 REMOVE EXISTING ROOF TRUSS, SHEATHING AND FRAMING.
- K211 REMOVE EXISTING EX. FACIA.
- K220 REMOVE EXISTING GUTTER AND DOWNSPOUTS.
- K246 REMOVE EXISTING BRICK FIRE PLACE, CHIMNEY, MANTLE AND GAS CONNECTING PIPES.
- K247 REMOVE EXISTING DECORATIVE METALWOOD ORNAMENT AT PORCH ON FRONT ENTRY.
- K248 REMOVE EXISTING SHING.
- K249 REMOVE EXISTING ROOF CUPOLA.
- K250 REMOVE EXISTING CONCRETE SLAB/STEP IN FULL TO SUBGRADE.
- K251 REMOVE EXISTING AT-IE VENT.
- K252 REMOVE EXISTING ROOF.



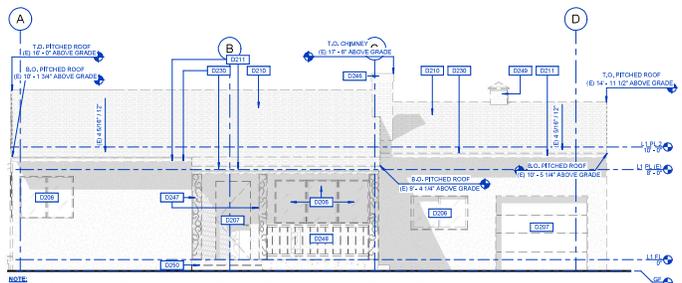
4 DEMOLITION EXTERIOR ELEVATION - LEFT 1/4" = 1'-0"



3 DEMOLITION EXTERIOR ELEVATION - RIGHT 1/4" = 1'-0"



2 DEMOLITION EXTERIOR ELEVATION - REAR 1/4" = 1'-0"



1 DEMOLITION EXTERIOR ELEVATION - FRONT 1/4" = 1'-0"



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NO.	REVISION	DATE
1	Issuing Submittal	10/20/25

**DEMOLITION EXTERIOR ELEVATIONS**

PROJECT NUMBER: 2907  
SHEET ISSUE DATE: 10/20/25  
DRAWN BY: BA  
CHECKED BY: AV

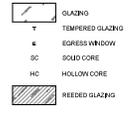
**A201**  
SCALE: As indicated

EXTERIOR MATERIAL SCHEDULE

Material Mark	Material Description	Material Manufacturer	Material Usage	Finish	Sheen	Material Comments
ACC-1	SMES COFFE OC-45	BENJAMIN MOORE		MATTE	MATTE	
ACC-2	COBOL SH880	EDISON WILMAMS		MATTE	MATTE	
ACC-3	SMES COFFE OC-45	BENJAMIN MOORE		MATTE	MATTE	
AC-1	ALUMINUM TEO			FINISH	FINISH	
AC-2	STEEL POST TEO			TILLOCK FINISHED	MATTE	
MTL-2	SPRIGGED STEEL PAINTED BLACK			MATTE	MATTE	
ST-4	MATE BRICK BLOCK	ARGOLLE BRICKS		SEMI GLOSS		
WI	ALUMINUM FLUTED PANEL			FINISH	FINISH	
WC	SMES COFFE OC-45	BENJAMIN MOORE		FINISH	FINISH	
WO	HORIZONTAL JAMES HARDIE BOARD 9"	JAMES HARDIE		PAINTED FINISH COFFE BM	MATTE	

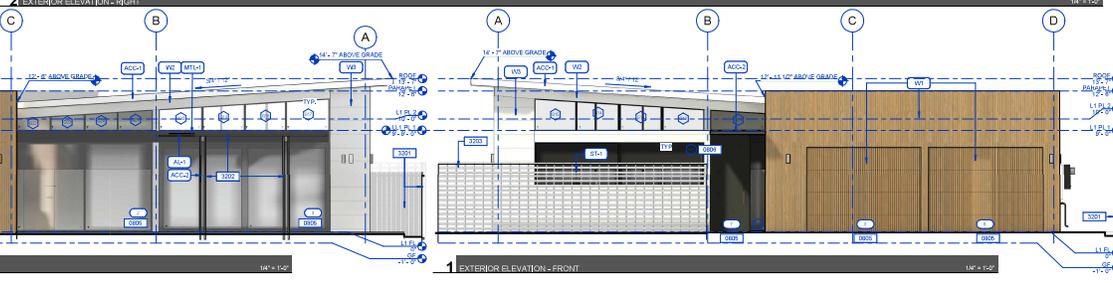
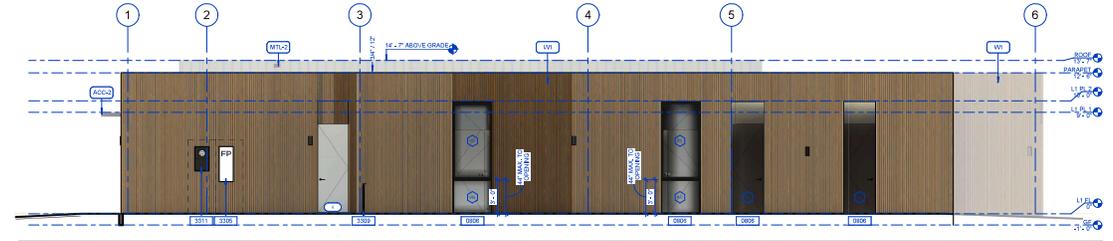
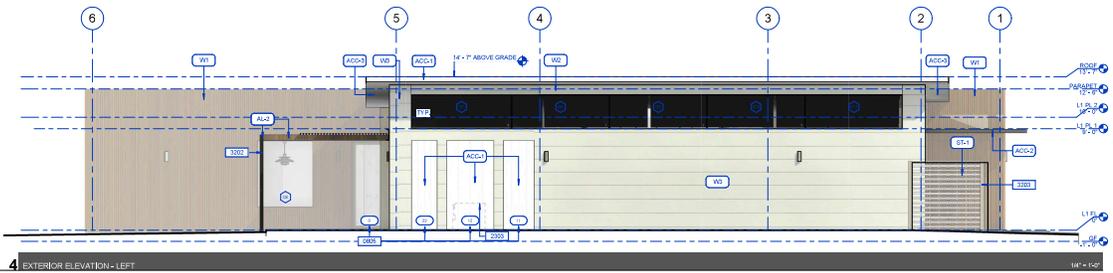
**3280**  
 ADDRESS LETTERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE INTERNALLY OR EXTERNALLY LETTERS SHALL HAVE A MINIMUM STROKE OF 1/2" AND A MINIMUM HEIGHT OF FOUR INCHES.

LEGEND



KEYNOTES

- 0856 FOR DOOR SPECIFICATIONS AND FINISHES REFER TO DOOR SCHEDULE
- 0858 FOR WINDOW SPECIFICATIONS AND FINISHES REFER TO WINDOW SCHEDULE
- 2303 ALL CONDITIONING UNIT INSTALL PER MANUFACTURER'S INSTRUCTION. MEET EXISTING INSTALLATION PER MANUFACTURER REQUIREMENTS AND COUNCILMAN GUIDELINES. MAINTAIN SERVICE CLEARANCE FROM 36" MIN. ABOVE DOWN TO 15" MIN. ABOVE GRADE.
- 3201 PERIMETER FENCE REFER TO SEE PLANS. SEE DETAILS FOR MATERIALS, ASSEMBLY, AND FINISH.
- 3202 TRELLIS AND TRELLIS POSTS SEE DETAILS FOR MATERIALS, ASSEMBLY, AND FINISH.
- 3303 BRICKBLOCK WALL SEE DETAILS FOR MATERIAL, ASSEMBLY, AND FINISH.
- 3306 200 AMP ELECTRICAL PANEL ELECTRICAL PANEL INSTALL PER PER CODES REQUIREMENTS. MAINTAIN SERVICE CLEARANCE FROM 36" MIN. ABOVE GRADE. MIN. DEPTH 36" MIN. HEIGHT 36" MIN. NO OBSTRUCTIONS IN REQUIRED SPACE.
- 3309 WATER SUPPLY LINE AND SHUT-OFF VALVE CONNECT TO EXISTING CONCRETE WATER SERVICE.
- 3311 ELECTRICAL WIRING PROVIDE SERVICE ENTRANCE CONDUCTORS FROM UTILITY METERS TO MAIN PANEL. MAIN PANEL TO BE ROUTED AND GROUNDED PER NEC WITH MINIMUM 36" CLEAR FRONT WORKING SPACE 36" MIN. AND 36" MIN. HEIGHT TO TOP OF PANEL. COORDINATE PANEL SIZE, FINISH, AND GROUNDING WITH UTILITY AND NEC REQUIREMENTS.



**BLAINE architects**

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**SOBRANTE**

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NO.	REVISION	DATE
1	Issuing Submittal	10/20/25

**EXTERIOR ELEVATIONS**

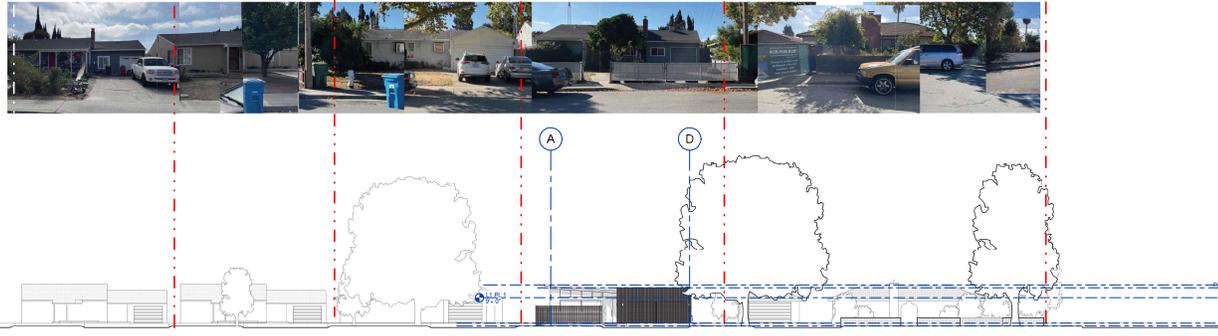
PROJECT NUMBER: 2907  
 SHEET ISSUE DATE: 10/20/25  
 DRAWN BY: KA  
 CHECKED BY: AV

**A202**  
 SCALE: As Indicated

DOOR SCHEDULE											
Manufacturer + Line	Operation Type	Core Type	Width	Height	Ext. Color	Space Color	Finish	Hardware Type	Head Type + Color	Height	Comments
6	TBD	SANITARY DOOR	HC	10'-0"	8'-0"	BRONZE					
7	TBD	SANITARY DOOR	HC	10'-0"	8'-0"	BRONZE					
8	TBD	FRONT	SC	3'-0"	8'-0"	BLACK					
9	TBD	SINGLE SWING	SL	3'-1 7/8"	8'-0"	BLACK					

WINDOW SCHEDULE										
Mark	Description	Manufacturer + Line	Ext. Color	Space Color	Width	Height	Head Height	Temperat?	Expos. (Wind)?	Comments
W1	CASIMENT	TBD	BLACK	BLACK	3'-0"	7'-0"	10'-0"	Yes	Yes	
W2	CASIMENT	TBD	BLACK	BLACK	3'-0"	7'-0"	10'-0"	Yes	Yes	
W3	FIXED	TBD	BLACK	BLACK	3'-0"	3'-0"	3'-0"	Yes	No	
W4	FIXED	TBD	BLACK	BLACK	3'-0"	3'-0"	3'-0"	Yes	No	
W5	FIXED	TBD	BLACK	BLACK	7'-6 1/2"	4'-0"	8'-0"	Yes	No	

GLASS SCHEDULE										
Mark	Description	Space Color	Width	Height	SB Height	Angle	Temperat?	Obscured?	Comments	
G1	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G2	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G3	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G4	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G5	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G6	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G7	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G8	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G9	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G10	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G11	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G12	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G13	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G14	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G15	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G16	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G17	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G18	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G19	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G20	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G21	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G22	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G23	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G24	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G25	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G26	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G27	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G28	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G29	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G30	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G31	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G32	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G33	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G34	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G35	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G36	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G37	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G38	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G39	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		
G40	INSULATED GLASS UNIT	BLACK	0-00"	0'-0"	0'		Yes	Yes		



1 STREETScape ELEVATION 1

1/16" = 1'-0"



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NO.	REVISION	DATE
1	Issued for Permit	10/20/25

STREETSCAPE AND SCHEDULES

PROJECT NUMBER: 2907  
SHEET ISSUE DATE: 10/20/25  
DRAWN BY: BA  
CHECKED BY: AV

A205  
SCALE: 1/16" = 1'-0"



PROJECT NUMBER

SOBRANTE

PROJECT ADDRESS  
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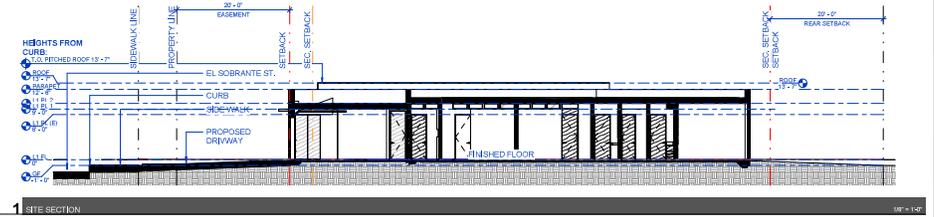
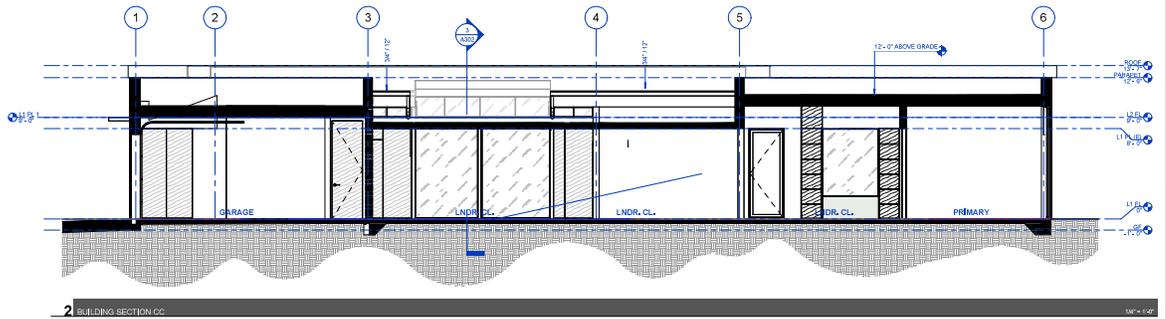
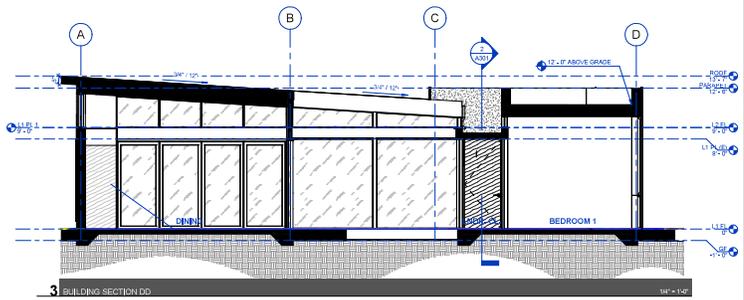
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NO.	REVISIONS	DATE
1	Issued for Submittal	10/20/25

SITE + BUILDING SECTIONS

PROJECT NUMBER	2907
SHEET ISSUE DATE	10/20/25
DRAWN BY	KA
CHECKED BY	AV

A302  
SCALE: As indicated



10/20/25 10:17 AM C:\Users\mblaine\OneDrive\Desktop\A302\A302.dwg