



City of Santa Clara

Meeting Agenda

Historical & Landmarks Commission

Thursday, August 6, 2026

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Meeting ID: 972 3326 2035

How to Submit Written Public Comment Before Historical and Landmarks Commission Meeting:

By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Historical and Landmarks Commission Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

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Agendas, Staff Reports and some associated documents for Historical and Landmarks Commission items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

CALL TO ORDER AND ROLL CALL

CONSENT CALENDAR

1.A 26-820 [Historical and Landmarks Commission Meeting Minutes of June 4, 2026](#)

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the June 4, 2026 Meeting.

1.B 26-795 [Recommendation on the Major Significant Property Alteration Permit \(PLN26-00338\) for a Reroofing of the Existing Single-Story Residence on the Historic Resource Inventory Located at 834 Main Street](#)

Recommendation: Recommend that the Historical and Landmarks Commission find that the proposed project located at 834 Main Street will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and that the proposed construction is compatible with the resource and recommend approval of the Major Significant Property Alteration Permit to the Community Development Department Director.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. **26-583** [Public Hearing: Recommendation on the Significant Property Alteration / Architectural Review \(PLN26-00040\) to Allow the Partial Demolition of an Approximately 810 Square Foot Non-Historic Rear Addition to an Existing Two-Story Single-Family Residence Listed on the Historic Resource Inventory; Construction of an Approximately 1,058 Square Foot Two-Story Addition in Its Place; and Formal Conversion of a Previously Operated Bed and Breakfast Inn to a Single-Family Residence Located at 1390 Madison Street CEQA Status: Exempt from CEQA per Sections 15332 \(In-Fill Development Projects\) and 15331 \(Historic Resource Restoration/Rehabilitation\).](#)

Recommendation: Recommend that the Historical and Landmarks Commission find the proposed project located at 1390 Madison Street will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and that the proposed construction is compatible with the resource and recommend approval of the Significant Property Alteration / Architectural Review Permit to the Development Review Hearing Officer, subject to conditions and findings.

3. **26-684** [Public Hearing: Recommendation on the Architectural Review of a New 395 Unit Multi-Family Project Located at 451 El Camino Real within 200 Feet of a Historic Resource Inventory Property. CEQA Status: Pending Adoption of an Environmental Impact Report \(EIR\) Prepared and Circulated in Accordance with the California Environmental Quality Act \(CEQA\).](#)

Recommendation: Recommend that the Historical and Landmarks Commission find that the proposed project located at 451 El Camino Real will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property within 200 feet at 1005 Railroad Avenue; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

COMMISSIONERS REPORT

Subcommittee Reporting - 20 Minutes

Board/Committee	Lead/Alternate
Santa Clara Arts and Historic Consortium	Vacant/Romano
Historic Preservation Society of Santa Clara	Vacant / Leung
Old Quad Residents Association	Leung
Development Review Hearing	Romano /Vacant
BART/ High Speed Rail/ VTA BRT Committee	Vacant/ Leung
El Camino Real Specific Plan Community Advisory Committee	Leung
Downtown Precise Plan	Vacant/Stocks
Santa Clara Station Area Task Force	Leung/Stocks

ADJOURNMENT

The next regular scheduled meeting is on September 3, 2026 in the City HGall Council Chambers and via Zoom.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

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City of Santa Clara

Meeting Minutes

Historical & Landmarks Commission

06/04/2026

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

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CALL TO ORDER AND ROLL CALL

Chair Leung called the meeting to order at 6:02 p.m.

Commissioner Inciarte arrived at 6:05 p.m.

Present 7 - Commissioner Michael Celso , Commissioner Yvonne Inciarte, Chair Patricia Leung, Commissioner Kathleen Romano, Vice Chair Ed Stocks, Commissioner Ana Vargas-Smith , and Commissioner Kaushal Varshney

CONSENT CALENDAR

1.A [26-616](#) Historical and Landmarks Commission Meeting Minutes of May 7, 2026

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the May 7, 2026 Meeting.

A motion was made by Commissioner Romano, seconded by Commissioner Inciarte, to approve staff recommendation. Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney abstained because they were absent from the May, 7, 2026, Historical and Landmarks Commission Meeting.

Aye: 4 - Commissioner Celso, Commissioner Inciarte, Chair Leung, and Commissioner Romano

Abstained: 3 - Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

1.B [26-572](#) Historical and Landmarks Commission Workplan Fiscal Year 2026/2027

Recommendation: There is no staff recommendation.

A motion was made by Commissioner Celso, seconded by Commissioner Stocks, to approve staff recommendation.

Aye: 7 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

PUBLIC PRESENTATIONS

None.

GENERAL BUSINESS

2. [26-516](#) Public Hearing: Consideration of a Historical Preservation Agreement (Mills Act Contract) (File No. PLN26-00042) for 1261 Jackson Street

Recommendation: Staff recommends that the Historical and Landmarks Commission determine the project to be exempt from CEQA pursuant to CEQA Section 15331 of the CEQA Guidelines (Class 31 - Historical Resource Restoration / Rehabilitation) and find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplishes the intent of preserving and maintaining the historical significance of the property; and therefore, recommends City Council approval of a Mills Act Contract, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 1261 Jackson Street.

Assistant Planner Summer Foss provided the staff presentation.

Xi Yang (Applicant) spoke about the project.

Public Comments: **None.**

A motion was made by Commissioner Celso, seconded by Commissioner Romano, to close the public hearing.

Aye: 7 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

A motion was made by Commissioner Varshney, seconded by Commissioner Inciarte, to approve staff recommendation and the expenditure of funds to purchase a bronze plaque stating the year of construction circa 1898.

Aye: 7 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

3. [26-593](#) Public Hearing: Recommendation on the Architectural Review (PLN24-00521) for Demolition of the Existing 1,198 Square Foot One-Story Residence and the Construction of a New 3,817 Square Foot Two-Story Residence at 4435 Fillmore Street Located Within 200 Feet of Two Historic Resource Inventory Properties. CEQA Status: Exempt from CEQA per Section 15332 - In-Fill Development Projects. (Continued from May 7, 2026, Historical and Landmarks Commission Meeting).

Recommendation: Recommend that the Historical and Landmarks Commission find that the proposed project located at 4435 Fillmore Street will not destroy or have significant adverse effect on the integrity of the HRI listed properties within 200 feet of the subject property; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

Associate Planner Meha Patel provided the staff presentation.

GM Solaiman (Applicant) and **Daniel Warren (Applicant's Representative)** spoke about the project.

Public Comments: **None.**

A motion was made by Commissioner Celso, seconded by Commissioner Varshney, to approve staff recommendation.

Aye: 4 - Commissioner Celso, Chair Leung, Vice Chair Stocks, and Commissioner Varshney

Nay: 2 - Commissioner Inciarte, and Commissioner Romano

Abstained: 1 - Commissioner Vargas-Smith

4. [26-454](#) Election of Historical and Landmarks Commission Chair and Vice Chair

Recommendation: There is no staff recommendation.

Vice Chair Stocks nominated **Chair Leung** for Chair. **Chair Leung** accepted the nomination.

Commissioner Celso nominated **Vice Chair Stocks** for Vice Chair. **Vice Chair Stocks** accepted the nomination.

Chair Leung made a motion to approve Chair Leung as Chair, and Vice Chair Stocks as Vice Chair.

Aye: 7 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

STAFF REPORT

Staff provided an update on the Request for Proposals (RFP) for the Historic Preservation Ordinance Update.

COMMISSIONERS REPORT

No updates on this item.

[26-688](#)

Vice Chair Stocks' Presentations

Subcommittee Reporting - 20 Minutes

No updates on this item.

Board/Committee**Lead/Alternate**

Santa Clara Arts and Historic Consortium
Historic Preservation Society of Santa Clara
Old Quad Residents Association
Development Review Hearing
BART/ High Speed Rail/ VTA BRT Committee
El Camino Real Specific Plan Community Advisory Committee
Downtown Precise Plan
Santa Clara Station Area Task Force

Vargas-Smith / Romano
Vargas-Smith / Leung
Leung
Romano /Vargas-Smith
Vargas-Smith/ Leung
Leung
Vargas-Smith/Stocks
Leung/Stocks

Commissioners provided updates on various items, meetings, and groups that they are assigned to.

Vice Chair Stocks provided a presentation regarding his attendance at the recent California Preservation Foundation Conference.

ADJOURNMENT

A motion was made by Commissioner Vargas-Smith, seconded by Commissioner Celso, to adjourn the meeting at 8:10 p.m.

Aye: 7 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, Commissioner Vargas-Smith, and Commissioner Varshney

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Vicinity Map (Zoning) - 834 Main Street



Legend

Residential

-  R1-6L - Single Family
-  R1-8L - Single Family
-  R2 - Low Density Residential
-  R3 - Medium Density Residential
-  R4 - High Density Residential
-  R5 - Very High Density Residential
-  TN - Transit Neighborhood
-  UC - Urban Center
-  UV - Urban Village
-  VR - Village Residential
-  PH-R5 - Patrick Henry - Very High Density Residential
-  HDF - High Density Flex
-  LSAP - Lawrence Station Area Plan

Mixed Use

-  MUCC - Mixed Use Community Commercial
-  MUNC - Mixed Use Neighborhood Commercial
-  MURC - Mixed Use Regional Commercial
-  SCS - Santa Clara Station Focus Area

Public / Open Space

-  OS - Parks/Open Space
-  PQP - Public / Quasi Public

Commercial

-  CC - Community Commercial
-  CN - Neighborhood Commercial
-  CR - Commercial Regional

Industrial

-  HI - Industrial Heavy
-  LI - Industrial Light

Office - R&D

-  HO-RD - Office/R&D-High Intensity
-  LO-RD - Low-Intensity Office/R&D

Form Based

-  DNTW - Downtown

Planned Development

-  PD - Planned Development
-  PD-MC - Planned Development Master Community

0 200 400 ft



NAD_1983_2011_StatePlane_California_III_FIPS_0403_Ft_US
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Conditions of Significant Property Alteration Permit Approval

PLN25-00338 / 834 Main Street

Major Significant Property Alteration Permit for a reroofing of the single-story Mills Act residence on the City's Historic Resource Inventory (HRI).

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is August 6, 2028.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

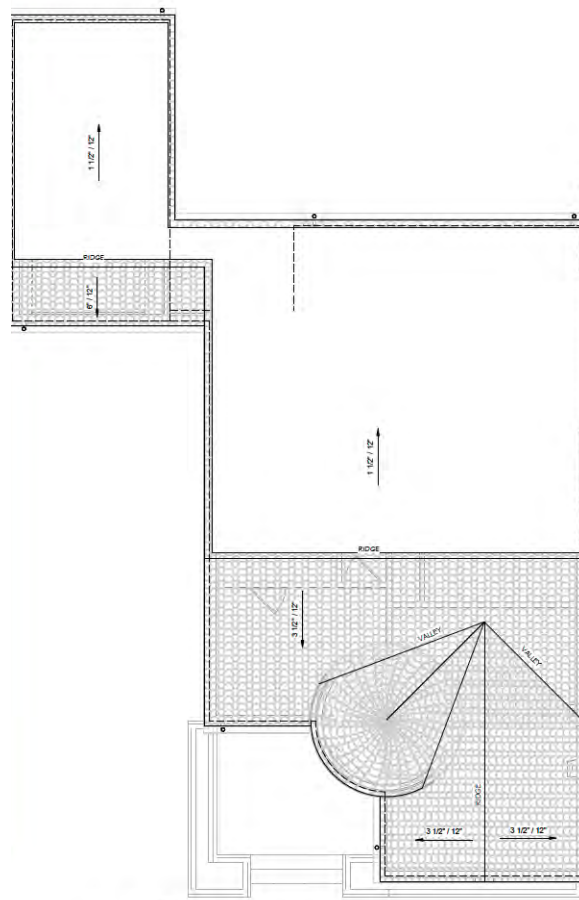
834 Main Street

Santa Clara CA 95050

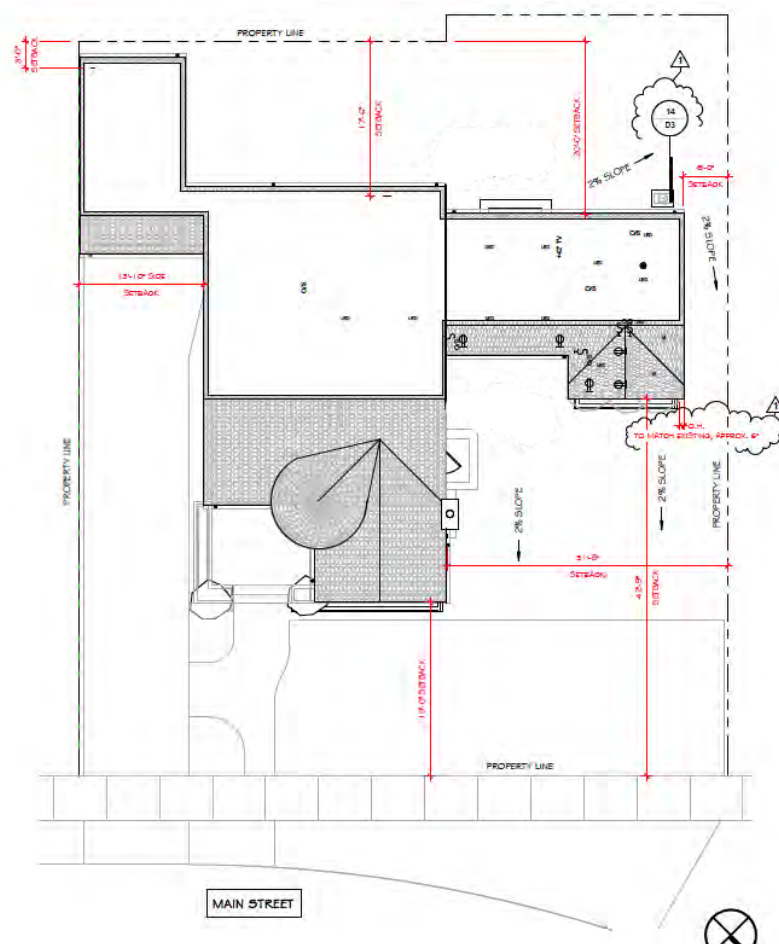
APN: 269-28-062

Project Scope: Roof removal and replacement plan for existing home: “Like for Like” for Clay Barrel Tile portion and Flat Roof portion

Existing Home Roof Replacement: Below is the section of roof to be replaced on the existing home.

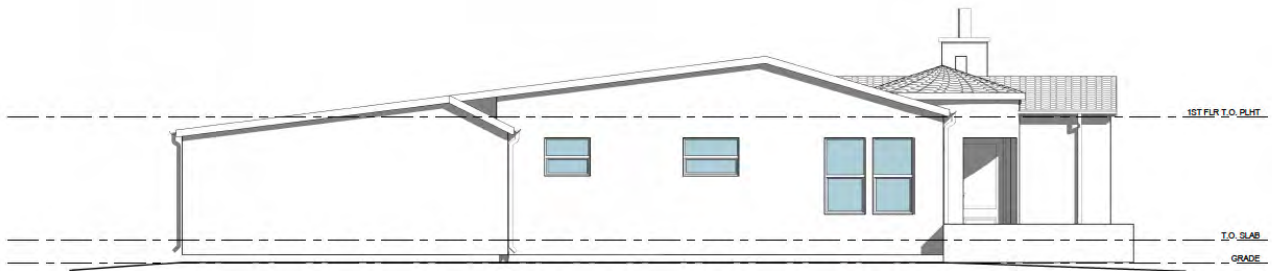


Below shows the site plans with the 465 Sq Foot Addition (**in progress**) with distinguished roof tile from existing home

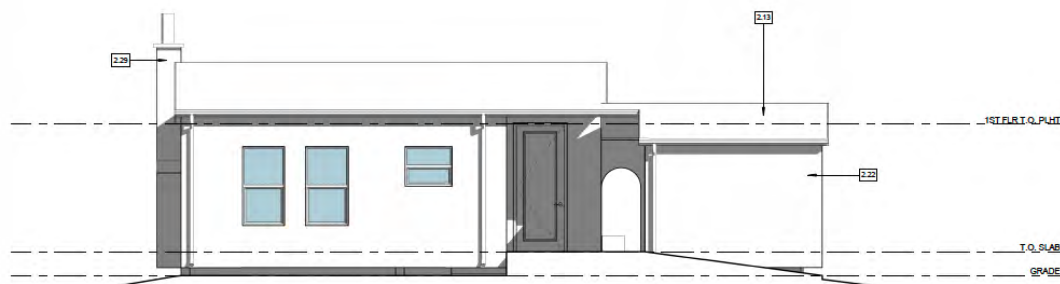




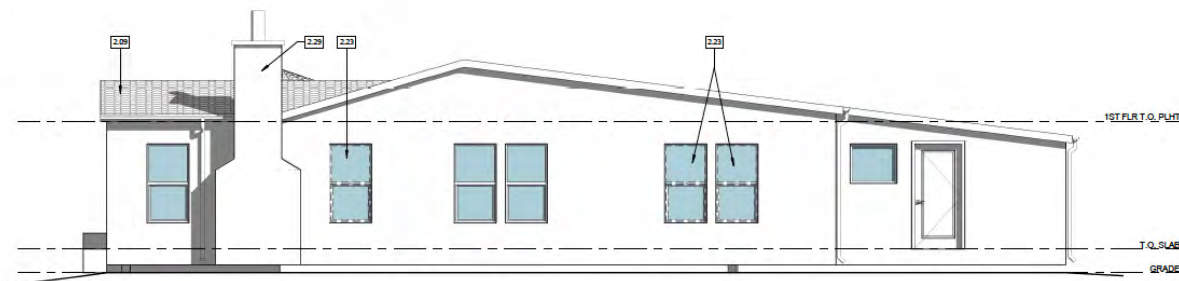
EXISTING FRONT ELEVATION | 4
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION | 3
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION | 1
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION | 2
SCALE: 1/4" = 1'-0"

834 Main Street; Santa Clara CA 95050

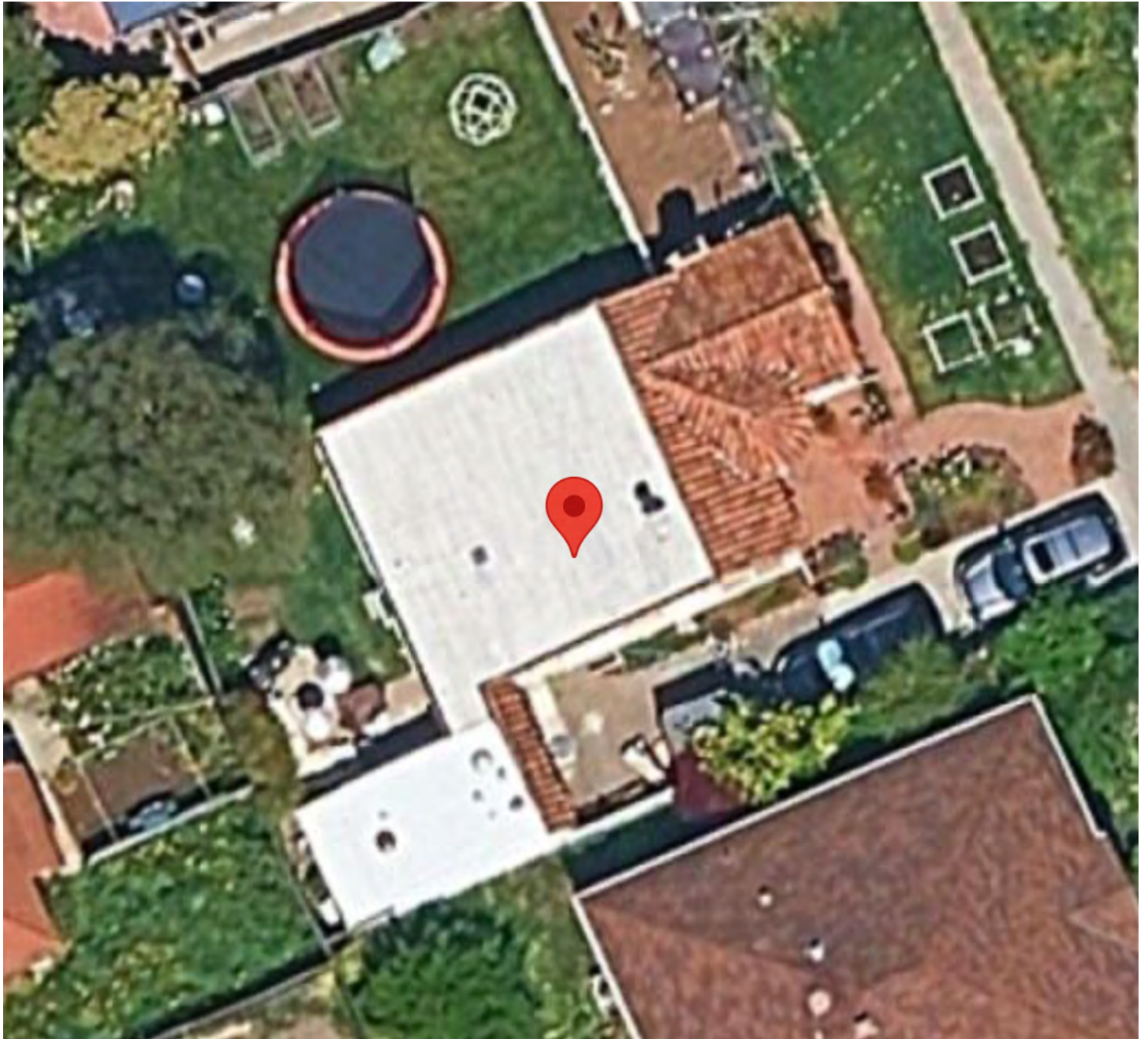


13' 0" APPROX.



834 Main Street; Santa Clara CA 95050

**Existing Home Roof from Google Maps view
834 Main Street; Santa Clara CA 95050:**





582 MARKET ST. SUITE 1800
SAN FRANCISCO, CA 94104

T: 415.391.9633
F: 415.391.9647

www.garavaglia.com

MEMORANDUM

Date: July 10, 2026

To: Rebecca and Andrew Fung
834 Main Street
Santa Clara, CA 95050

From: Kathleen McDonald, Conditions Assessment Specialist/ Architectural Historian

Project: 834 Main Street
GA Job #2026058

Re: Standards Compliance Review - Roof Replacement - 834 Main Street, Santa Clara

Via: ptdrbecca@gmail.com
andrew.h.fung@gmail.com

To Whom it May Concern,

Garavaglia Architecture, Inc. (GA) has been retained by Rebecca and Andrew Fung (the Client) to provide guidance on the compliance of a proposed project at 834 Main Street in Santa Clara, with the Secretary of the Interior's Standards for Rehabilitation (the Standards). The City of Santa Clara requested this review in connection with proposed re-roofing of the one-story Spanish Colonial Revival style house, which was found eligible for the California Register in 2020 and is listed on the City of Santa Clara's Historic Preservation and Resource Inventory. Because this makes 834 Main Street a historical resource under CEQA, impacts of the proposed design on the historic resource must be avoided. Additionally, the property is associated with a Mills Act contract, and so the proposed project needs to comply with the Standards. This Standards review is required as part of a Major Significant Property Alteration Permit for the project, which also needs to be reviewed by the City of Santa Clara's Historical & Landmarks Commission (HLC).

This memorandum includes a statement on historic significance and character-defining features of the resource, as well as the assessment of the proposed project design for compliance with the Standards. The Client provided a proposed project scope, current photographs of the property, and a previous Page & Turnbull Standards Review memo dated March 14, 2025, to GA for review. The Page & Turnbull memo was written in connection with a separate Major Significant Property Alteration Permit (PLN25-00116) to construct an addition to the house, which has already been reviewed and approved. The appendices to the Page & Turnbull memo

included copies of the Historic Property Preservation Agreement (Mills Act contract) and DPR forms prepared for the property in 2020 by Lorie Garcia.

PROJECT INFORMATION

Site and Building Description

The subject 5,662 square-foot site is rectangular in shape and consists of one parcel: APN 269-28-062. According to the 2025 Page & Turnbull Standards Review:

The residential property is located downtown Santa Clara, on the west side of Main Street between Lexington Street and Homestead Road and opposite City Park Plaza (Figure 1 and Figure 2). The roughly square-shaped parcel includes a one-story single-family residence, built ca. 1932 with a accessory dwelling unit (now a vehicular garage), as well as contemporary non-permanent shed and chicken coop structures. The property was originally owned and occupied by the Harold Slavens family and is referred to in existing documentation as the 'Slavens House.'



Figure 1. Aerial view of subject property outlined in yellow, with the building outlined in red (Google Earth, amended by author)

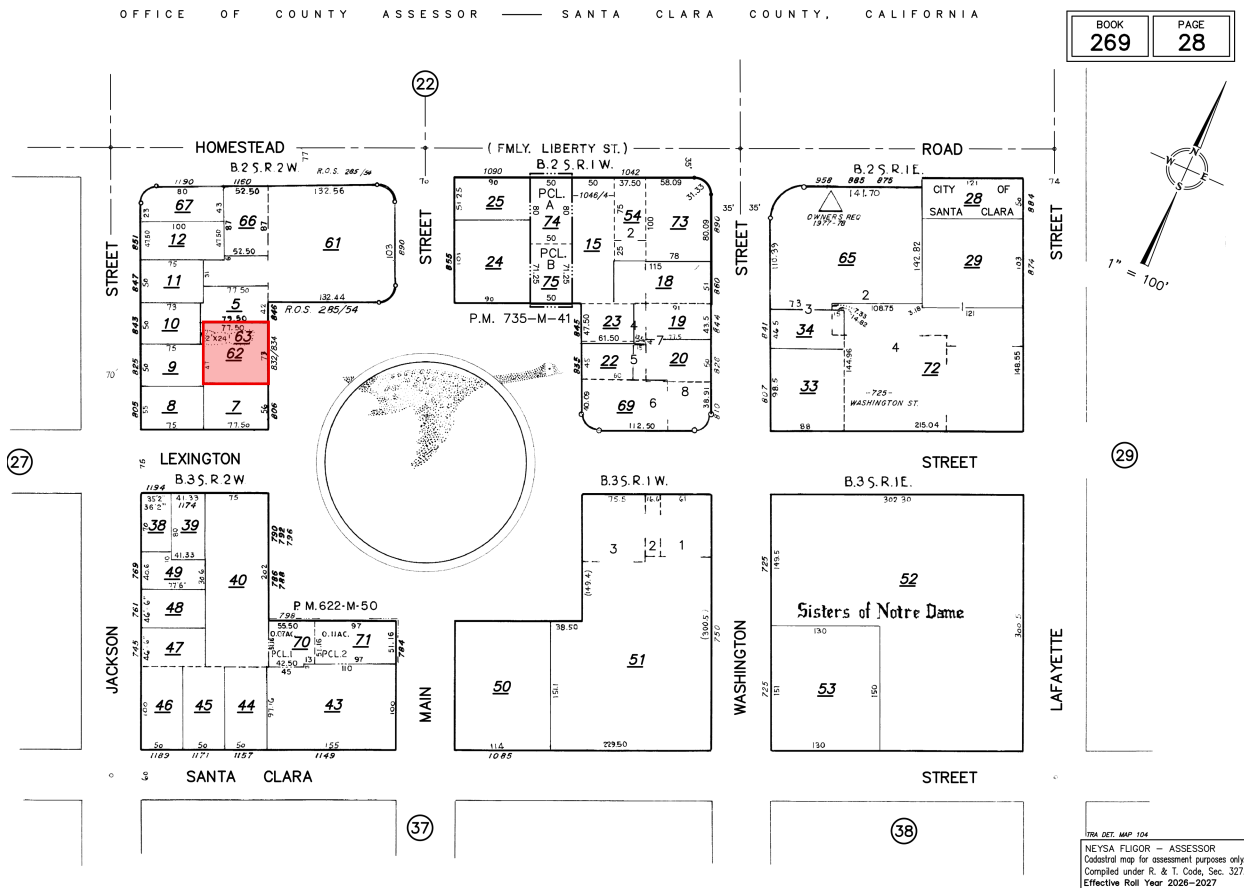


Figure 2. Assessor's Parcel Map for subject property, with property highlighted in red (Santa Clara County Assessor, amended by author, July 2026)

The main building is a one-story Spanish Colonial Revival style house that was constructed in 1932. The main roof is a low-pitch, cross-gabled form with red barrel-tile roofing. There is a rear addition with a flat tar and gravel roof. The exterior walls are stucco, with tiled weep holes in each gable end. There are three original double-hung, wood frame windows—two one-over-one windows on the north elevation, and one on the south side elevation. The rest of the windows are contemporary aluminum windows. The front facade (Figure 3) is asymmetrical, with a round tower situated between the front and side-facing gables. The tower has an arched entryway that leads to the front door. A red brick walkway and steps lead up to the front entry. Additionally, there is an arcaded wing wall that connects the main house to the garage, which is set towards the rear of the property. The front facade of the garage has a shed roof with red barrel-tile roofing, while the rear side has a flat tar and gravel roof. The walls of the garage and attached wing wall are stucco. There is a contemporary roll-up garage door on the front facade that faces the driveway and street.



Figure 3. East (front) facade of 834 Main Street (Andrew Fung, July 2026)

Historic Significance

The 2025 Page & Turnbull Standards Review laid out the historic status of 834 Main Street as follows:

- The property may be potentially eligible for the National Register of Historic Places under Criterion C for architecture for embodying the distinctive characteristics of the Spanish Revival style.
- The property is eligible for listing in the California Register of Historic Resources under Criterion 3 as an example of the Spanish Revival style architecture.
- The property does meet City of Santa Clara Historically or Cultural Significance Criteria 1 and 5 for its association with family members who contributed to the heritage of the historical development of the City and because it reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20th Century.
- The property does meet City of Santa Clara Architectural Significance Criteria 1 and 5 as a rare example of the Spanish Revival architectural style found in Santa Clara and because of its visual appeal for the community due to its unusual style and prominent location.
- The property meets the City of Santa Clara Geographic Significance Criterion 2 as representative of the development of the Old Quad during the first decade of the 20th century.

Character-Defining Features:

The 2025 Page & Turnbull Standards Review lists the character-defining features of 834 Main Street as the following:

- Low pitched, cross-gable roof form with red tile covering and no eave overhang; and a
- Flat roof portion covered with tar and gravel;
- Asymmetrical façade;
- Stucco walls extending into the gable without a break;
- Tile weep holes;
- Tower;
- Arcaded wing wall;
- Prominent arch above front entry door;
- Two chimneys with elaborated chimney tops [which are] “common to Spanish Revival architecture”; and
- “...rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows”

PROPOSED PROJECT SUMMARY

The project under review proposes re-roofing of the historic building at 834 Main Street, due to ongoing roof leaks at the portion of the roof with barrel tile roofing. Generally, barrel roof tiles like those on the roof of 834 Main do not degrade much over time; however, the waterproof membrane underneath the tiles has a shelf life and must be replaced. Replacing the membrane requires removal of the tiles to provide access. Because the tiles have been secured in place with concrete, many of the tiles may be broken in the removal process, and therefore, will need to be replaced in-kind. The project scope includes:

- Removal of existing barrel tile roofing system on main house and front facade of the garage, including underlaying waterproof membrane.
- Replacement of barrel tile roofing system in-kind, utilizing US Tile Clay Roofing Products 2-Piece Mission tile in the color “El Camino Blend”.

APPLYING THE STANDARDS FOR REHABILITATION TO 539 MAIN STREET

Compliance

The Secretary of the Interior’s Standards (SOIS) for Rehabilitation lists 10 key elements to consider when new uses or architectural modifications are undertaken within historic resources. The following presents these 10 standards and briefly discusses the level of compliance of the proposed project at 834 Main Street in Santa Clara. For each Standard, a level of compliance is given: Compliant, Marginally Compliant, or Not Compliant. A *compliant* rating indicates that the alteration has little or no impact on the resource. A *marginally compliant* rating indicates that the overall historical significance of the resources is not impacted enough to warrant re-evaluation, but modifications to the proposed design are strongly recommended. *Not compliant* indicates that the proposed design would severely negatively impact the resource and its eligibility for formal listing on a local, state, or national inventory.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

No change of use is proposed as part of the project under review.

The proposed project is compliant with Standard 1.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The building at 834 Main Street is significant, in part, as an example of the Spanish Revival style architecture. Due to its association with this architectural style, the barrel tile roofing is one of the main character-defining features of the building. The removal of the existing tiles is required, in order to replace the waterproof membrane below. However, the tiles are proposed for replacement in-kind, so the historic character of the property will be retained. See further discussion under Standard 6.

The proposed project is compliant with Standard 2.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

As proposed, the project does not include the addition of any conjectural features or architectural elements from other buildings that create a false sense of historic development.

The proposed project is compliant with Standard 3.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

As proposed, the project does not include the alteration of any historic changes that have happened over time.

The proposed project is compliant with Standard 4.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

As previously stated, the barrel tile roofing at 834 Main Street is one of the building's main character-defining features. The removal of the existing tiles is required, in order to replace the waterproof membrane below. However, the tiles are proposed for replacement in-kind, so this distinctive feature and example of craftsmanship will subsist. See further discussion under Standard 6.

The proposed project is compliant with Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The project under review proposes re-roofing of the building at 834 Main Street due to ongoing roof leaks at the portion of the roof with barrel tile roofing. While the durable historic barrel roof tiles remain intact, the underlying waterproof membrane has failed and requires replacement to prevent further water intrusion.

To access and replace the membrane, workers must remove the barrel tiles. Because the tiles are set in concrete, some breakage is unavoidable during removal. In accordance with Standard 6, replacement will only occur where severe deterioration or damage makes reuse impossible; where tiles are salvageable after removal, they may be reused. Any required replacement tiles will be matched in-kind—replicating the original tiles in material, design, color, texture, and overall visual quality to maintain the roof's historic integrity. In-kind replacement will utilize US Tile Clay Roofing Products 2-Piece Mission tile in the color "El Camino Blend". See below photos, comparing the existing tiles (Figure 4) to the proposed replacements (Figure 5).



Figure 4. Roofing at main building of 834 Main Street (Andrew Fung, July 2026)

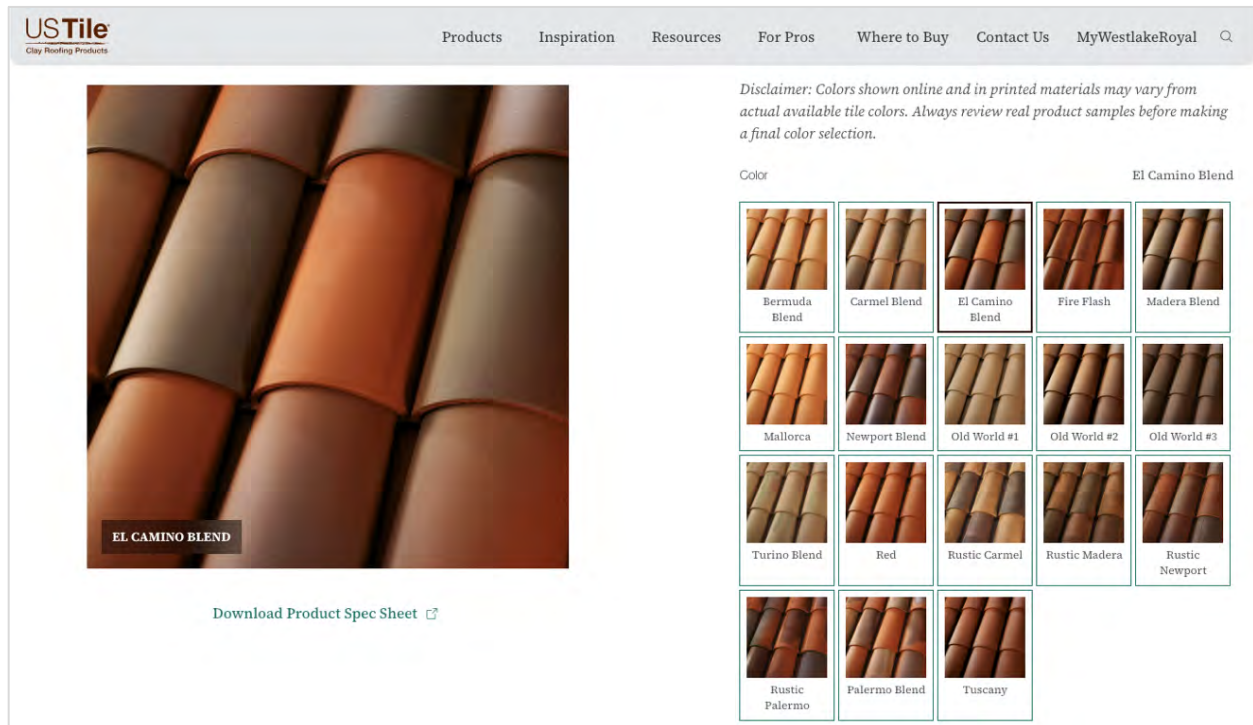


Figure 5. US Tile Clay Roofing Products in the color “El Camino Blend”
(westlakeroylbuildingproducts.com, July 2026)

Out of the available colors/blends, the proposed color “El Camino Blend” appears to be the best match for the roofing at 834 Main Street.

The proposed project is compliant with Standard 6.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Chemical or mechanical cleaning treatments are currently not proposed under this project.

As proposed, the project is compliant with Standard 7.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

No known archeological finds have been made in the area. However, should materials be found during construction, a qualified archeologist should be consulted for assessment and mitigation recommendations.

Based on available information, the proposed project is compliant with Standard 8.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

No additions or new construction are proposed as part of the project under review. The new addition being constructed was evaluated under the Standards by Page & Turnbull in a separate report in 2025.

The proposed project is compliant with Standard 9.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

No additions or adjacent new construction are proposed as part of the re-roofing project under review.

The proposed project is compliant with Standard 10.

Project Compliance Summary

The proposed re-roofing project at 834 Main Street is compliant with Standards 1 through 10. Overall compliance is not necessarily a direct sum of the level of compliance with each individual standard, however that information is weighed with the overall impact on both the design and historical significance of the resource. Depending on the reasons for significance and the level of importance of the resource, different levels of overall compliance may result. These levels may consist of *compliant*, *compliant with modifications*, *somewhat compliant*, and *not compliant*. For 834 Main Street, Garavaglia Architecture, Inc. finds the proposed project to be compliant.

CONCLUSION

Garavaglia Architecture, Inc. concludes that the proposed re-roofing project at 834 Main Street in Santa Clara complies with the Secretary of the Interior's Standards for Rehabilitation. The building at 834 Main Street is significant, in part, as an example of the Spanish Revival style architecture. Due to its association with this architectural style, the barrel tile roofing is one of the main character-defining features of the building. The removal of the existing tiles is required, in order to replace the waterproof membrane below. Because the tiles are set in concrete, some breakage is unavoidable during removal. In accordance with Standard 6, replacement will only occur where severe deterioration or damage makes reuse impossible; where tiles are salvageable after removal, they may be reused. Any required replacement tiles will be matched in-kind—replicating the original tiles in material, design, color, texture, and overall visual quality to maintain the roof's historic integrity. In-kind replacement will utilize US Tile Clay Roofing Products 2-Piece Mission tile in the color "El Camino Blend". GA recommends that the project applicant order a sample of the tile to bring to the required HLC meeting for their review and approval. The sample tile should then be compared to existing tile on site to confirm color, dimensions, and visual match, prior to placing a full order of the replacement tile.

REFERENCES

Garcia, Lorie. *DPR 523 A&B forms for the Harold Slavens House (834 Main Street)*. Beyond Buildings. October 2020.

Grimmer, Anne E. and Paul K. Williams. "Preservation Brief 30: The Preservation and Repair of Historic Clay Tile Roofs." Washington DC: National Park Service, 1992.
<https://www.nps.gov/orgs/1739/upload/preservation-brief-30-clay-tile-roofs.pdf>.

Hembree, Jen. *834 Main Street, Santa Clara – Secretary of the Interior's Standards Analysis (SOIS Analysis)*. Page & Turnbull. March, 2025.

US Tile Clay Roofing Products. "2-Piece Mission." West Lake Royal Building Products website.
<https://www.westlakeroyalbuildingproducts.com/roofing/us-tile/2-piece-mission?profile=332&color=316&title=2-Piece+Mission&sku=Tops%3A+1UADU6073%2C+Pans%3A+1UBDU7025>.

Weeks, Kay D. and Anne E. Grimmer. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*. National Park Service, Technical Preservation Services: 1995, rev. 2017 by Anne E. Grimmer.

PROFESSIONAL QUALIFICATIONS

Kathleen McDonald

Preservation Services Manager / Architectural Historian

Ms. McDonald exceeds the Secretary of the Interior's Professional Qualifications Standards for Architectural History (36 CFR Part 61) and is a qualified Architectural Historian with the California Historical Resources Information System (CHRIS). She has 7 years of experience in the field of historic preservation, and she has completed a wide variety of projects ranging from large-scale surveys and community outreach down to standards compliance review for individual buildings.

Ms. McDonald's specific project expertise includes major involvement and direction in the projects listed, contributing expertise in historic and archival research, identification and documentation of historic resources, existing condition analysis and treatment recommendations, and compliance with the Secretary of the Interior's Standards.

Recent projects in which she has managed or had major research or technical involvement with include:

- 160 West Portola Avenue Standards Compliance Review, Los Altos, CA
- 604 Milverton Road Standards Compliance Review, Los Altos, CA
- 125 Los Altos Avenue Standards Compliance Review, Los Altos, CA
- Vintage Tower Standards Compliance Review, San Jose, CA
- Mountain View Adobe Standards Compliance Review, Mountain View, CA
- 727 Miramontes Street Historic Resource Evaluation and Standards Compliance Review, Half Moon Bay, CA
- 539 Main Street Standards Compliance Review, Half Moon Bay, CA
- Dominican Sisters of Mission San Jose Karcher Library Standards Compliance Review, Fremont, CA
- Geneva Office Building Standards Compliance Review, San Francisco, CA
- 201 Baden Avenue Standards Compliance Review, South San Francisco, CA
- 455 Magnolia Avenue Standards Compliance Review, Larkspur, CA
- 47 Madrone Avenue Standards Compliance Review, Larkspur, CA
- Mare Island Facilities Major Maintenance Standards Compliance Review, Vallejo, CA
- 923-925 4th Street Standards Compliance Review, San Rafael, CA

Ms. McDonald received her Master of Historic Preservation and Bachelor of Design in Architecture from the University of Florida. Ms. McDonald then interned with the Preservation Foundation of Palm Beach, Florida, before working for the City of Key West, Florida, as a historic preservation planner. She began working for Garavaglia Architecture in September 2022.

Vicinity Map (Zoning) - 1390 Madison Street



Zoning

Land Parcels

- MUCC - Mixed Use Community Commercial
- OS - Parks/Open Space
- PD - Planned Development
- R1 - Single-Family Residential
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential

Base Layers

Site Addresses

- Multiple
- Single
- Utility

Air Parcels



Land Parcels

- Land Parcels
- Common Areas

Streets



Notes:

PLN26-00040

0 150 300
ft

NAD_1983_2011_StatePlane_California_III_FIPS_0403_Ft_US
©City of Santa Clara



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 1390 Madison Street
Zoning: R1-6L

Project Number: PLN26-00040

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	9,532	9,532	6,000	Y
Building Square Footage (SF)				
1st Floor:	1,332	1,418	--	--
2nd Floor:	1,397	1,568	--	--
Front Porch:	68	68	--	--
Rear Porch:	0	136	--	--
Total (enclosed):	2,729	2,986	--	--
% of 2nd floor to 1st floor:	105%	92%	66% max	NA
Building Coverage (%)				
Building Coverage (All):	--	23.2%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor): (2nd floor):	20'-8" 20'-8"	20'-8" 20'-8" (Existing)	20 25	Y
Left Side (1st floor): (2nd floor):	±53'-6" ±53'-6"	±47'-4" ±47'-4"	5 10	Y
Side, Corner 1st floor: Side, Corner 2nd floor:	11'-0" 11'-0"	11 11(Existing)	10 15	Y, a modification was previously approved to allow a reduced setback
Rear (1st floor): (2nd floor):	28'-6" 28'-6"	20 20	20 20	Y
Height (FT)				
Main building:	23'-10"	23'-10"	25	Y
# of Bedrooms/Bathrooms:	6/5	4/3	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-street	2	2	2	Y
Common Living Area (SFR)	--	44%	Min 25%	Y

Conditions of Significant Property Alteration Permit Approval

PLN26-00040 / 1390 Madison Street

Significant Property Alteration / Architectural Review Permit to allow the demolition of an approximately 810 square foot rear addition constructed in 1972, and to allow an approximately 1,058 square foot two story addition to an existing single-family residence located on the Historic Resources Inventory.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is August 27, 2028.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

W1. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Sewer and Water Utilities or designee.

E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

P4. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.

P5. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

W2. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

W = Sewer and Water Utilities

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

1390 MADISON STREET - A HISTORIC PROPERTY

RESIDENTIAL ADDITION & REHABILITATION

1390 MADISON STREET, SANTA CLARA - CA 95050



JOHN N SCOURKES AIA
ARCHITECT LEED AP BD+C
PO BOX 52090, PACIFIC GROVE, CA 93950
831.206.5539 CELL
831.757.1201 FAX
JOHN@SCOURKESARCHITECTURE.COM



IANNUCCI RESIDENCE

A HISTORIC PROPERTY:
ADDITION/REMODEL/REHABILITATION
1390 MADISON STREET,
SANTA CLARA - CA 95050
APN: 269-03-063

OWNER:
ROBBIE & LANIE IANNUCCI
1390 Madison Street, Santa Clara - CA 95050
(408) 996-2775
lanieiannucci@gmail.com

DATE: MAY 13, 2026

REVISIONS:

SHEET TITLE:

COVER SHEET

DRAWN

SHEET: AP-0/RS

OF



CONDITIONS OF APPROVAL

VICINITY MAP



PARCEL MAP/ZONING



PROJECT DATA

OWNER:
ROBBIE & LANIE IANNUCCI
1390 Madison Street, Santa Clara - CA 95050
(408) 996-2775
lanieiannucci@gmail.com

PROJECT DESCRIPTION:

THE PROJECT WILL CONSIST OF THE REMODEL OF THE EXISTING HISTORIC SINGLE FAMILY RESIDENCE. THE REMOVAL AND REPLACEMENT OF A 1919 REAR ADDITION THAT WAS CONSTRUCTED POORLY A NEW GRADE LEVEL SINGLE STORY ADDITION TO THE REAR WITH A ROOF DECK ABOVE THAT IS ACCESSIBLE OFF THE KITCHEN. EXISTING BELOW GRADE LOWER LEVEL FLOOR SLAB WILL BE EXCAVATED WHERE REQUIRED TO HAVE ONE LEVEL FLOOR SLAB FOR A CONSISTENT HEIGHT. NEW ELECTRICAL PLUMBING, HVAC, FIRE SPRINKLERED

PLANNING DEPARTMENT NOTES:

ZONING: R1-6/HT
APN: 269-03-063
YEAR BUILT: 1990 w/1972 Rear Addition
LOT AREA: 9,532 Sq. Ft.
CONSTRUCTION TYPE: TYPE V-B, Five Sprinklered
MAXIMUM SITE COVERAGE: 40% = 3,813 Sq. Ft.

EXISTING HOUSE:	Historic:	1972 Addition:	TOTAL:
Ground Level Existing:	1,012 Sq. Ft.	385 Sq. Ft.	1,397 Sq. Ft.
Main Level Existing:	905 Sq. Ft.	410 Sq. Ft.	1,315 Sq. Ft.
Subtotal:	1,917 +/- Sq. Ft.	795 +/- Sq. Ft.	2,712 +/- Sq. Ft.

PROPOSED ADDITION:	Historic:	1972 Addition:	New Addition:	TOTAL:
Ground Level Proposed:	1,012 Sq. Ft.	385 Sq. Ft.	230 Sq. Ft.	1,627 Sq. Ft.
Main Level Proposed:	905 Sq. Ft.	410 Sq. Ft.	0 Sq. Ft.	1,315 Sq. Ft.
Subtotal:	1,917 +/- Sq. Ft.	795 +/- Sq. Ft.	230 Sq. Ft.	2,942 +/- Sq. Ft.

SITE COVERAGE:
Main House Footprint: 1,017 Sq. Ft.
Garage/Deck Footprint: 885 Sq. Ft.
2,212 +/- Sq. Ft. = 23.2 %

CONSULTANTS

ARCHITECT:
John N Scourkes AIA/Architect
LEED AP BD+C
PO Box 52090, Pacific Grove - CA 93950
(831) 206-5539
(831) 757-1201 FAX
John@ScourkesArchitecture.com

SURVEYOR:
Carroll Engineering & Surveying
1101 S. Winchester Blvd, San Jose - CA 95128
(408) 251-9800
robert@carroll-engineering.com

HISTORIAN:
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(831) 210-5074
mervclovis@outlook.com

GEOTECHNICAL SERVICES:
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1390 El Camino Real, 2nd Floor, San Carlos - CA 94070
(950) 591-0224 ext 220
lucass@romigengineers.com

STRUCTURAL ENGINEERS:
T & S Structural
884 Clarion Court, San Luis Obispo - CA 93401
(805) 947-2000
nathan@tstructural.com

TITLE 24/ENERGY COMPLIANCE:
Monterey Energy Group
20456 Carmel Rancho Blvd #8
Carmel, CA 95023
(831) 372-8329
dave@meg4.com

GENERAL NOTES

BUILDING DEPARTMENT NOTES:

APPLICABLE CODES:

2021 CALIFORNIA ADMINISTRATIVE CODE
2021 CALIFORNIA BUILDING CODE
2021 CALIFORNIA ELECTRICAL CODE
2021 CALIFORNIA FIREWORK CODE
2021 CALIFORNIA GREEN BUILDING STANDARDS CODE
2021 CALIFORNIA HISTORICAL BUILDING CODE
2021 CALIFORNIA MECHANICAL CODE
2021 CALIFORNIA PLUMBING CODE
2021 CALIFORNIA RESISTANT CODE
2021 CALIFORNIA FIRE CODE

APPLICABLE CITY STANDARDS & CODES

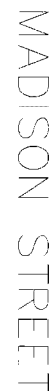
AC	ASPHALT
BC	BUILDING CORNER
BR	BRICK
CB	CATCH BASIN
CC	CONCRETE
EC	EDGE OF CONCRETE
E PNL	ELECTRICAL PANEL
EP	EDGE OF PAVEMENT
FL	FLOW LINE
GRD	GROUND ELEVATION
GR	GUT RISE
HR	HAND RAIL
ICV	INTERSECTION CONTROL VALVE
JP	JOINT POLE
UP	UP OF GUTTER
SPK	SPRINKLER
TC	TOP OF CURB
WM	TRUNCATED DOME WATER METER
	BENCHMARK

THE BEARING, N65°00'00"E, OF THE CENTERLINE OF LEWIS STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP RECORDED IN BOOK 898 OF MAPS PAGE 26, SANTA CLARA COUNTY WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

BENCHMARK:
AN ELEVATION OF 74.31', OF AN X SCRIBED ON TOP OF THE CURB ALONG LEWIS STREET
WAS USED AS THE BENCHMARK FOR THIS SURVEY.

THE BOUNDARY SHOWN HEREON IS BASED ON RECORD MAPS AND SURVEYED LOCATIONS OF FOUND MONUMENTS. ADDITIONAL BOUNDARY EVIDENCE MAY EXIST THAT MIGHT RESULT IN MINOR VARIATIONS IN BOUNDARY LINES AND WOULD ONLY BE REVEALED BY A RESOLVED BOUNDARY SURVEY.

BOUNDARY	
BUILDING LINE	
CENTERLINE	
MONUMENT LINE	
WOOD FENCE	



DATE: 12/09/2024
SCALE: 1"=10'
DRAWN BY: JL
DESIGNED BY:
CHECKED BY: PCW

ARROLL
ENGINEERING
engineers and surveyors

1291 G. WINCHESTER BLVD
SALT LAKE CITY, UT 84119
SALT LAKE CITY, UT 84119
TEL: 801-461-1000
FAX: 801-461-1001
E-MAIL: Robert@arroll-engineering.com

SHEET

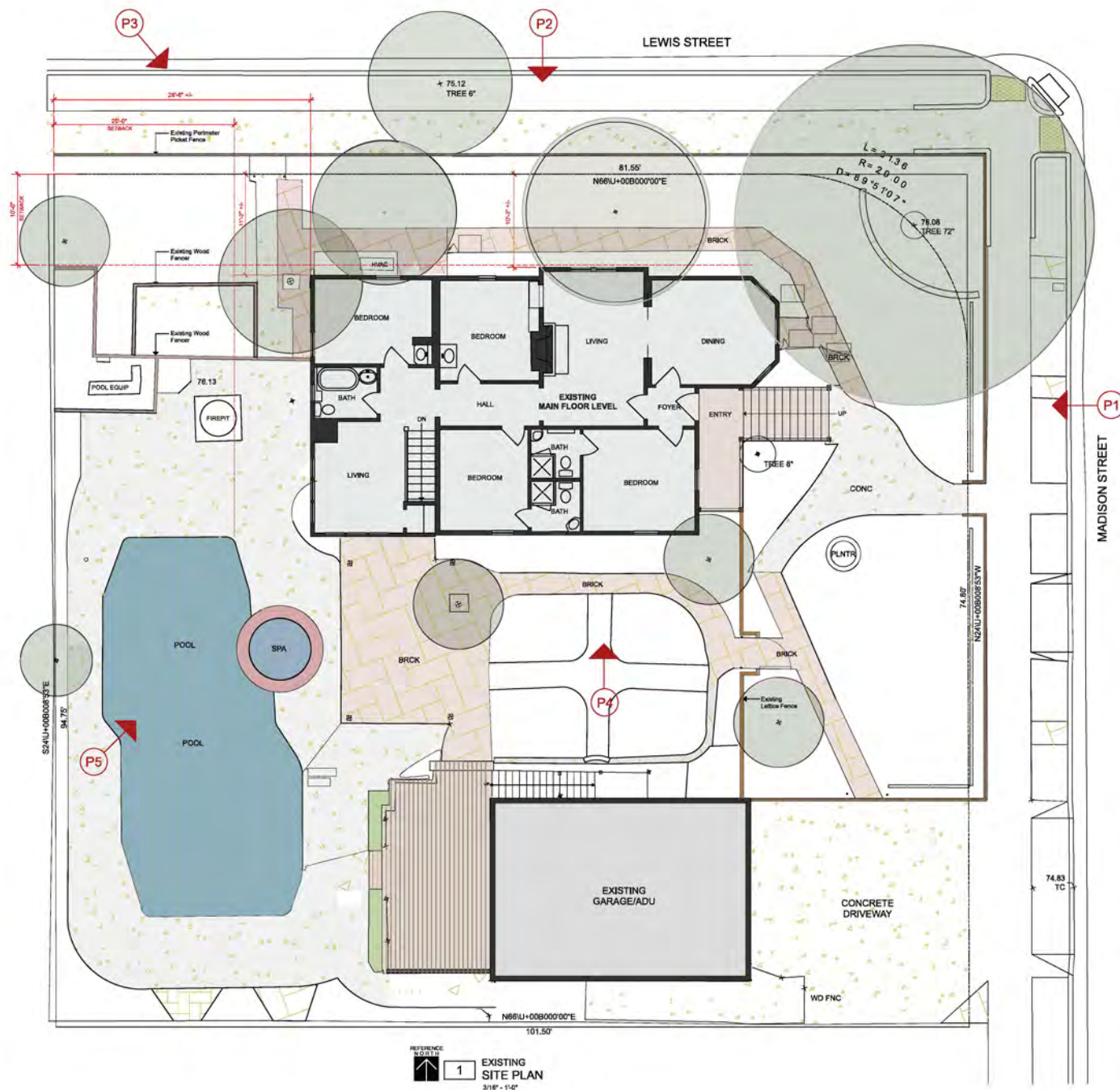
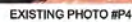
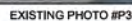
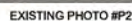
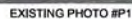
1

JOB NO. 3169

BOUNDARY &
TOPOGRAPHIC SURVEY
1390 Madison Street
San Jose, California

Case No.	Case Name	Case Type	Case Status	Case Date	Case Time	Case User
3159	1390 Madison St	DNC	3160/000.dwt	12-09-24	09:46:43 AM	Kevon

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



JOHN N SCOURKES AIA
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PO BOX 52080, PACIFIC GROVE, CA
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IANNUCCI RESIDENCE

A HISTORIC PROPERTY:
ADDITION/REMODEL/REHABILITATION
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SANTA CLARA - CA 95050
APN: 269-03-063

OWNER:
ROBBIE & LANIE IANNUCCI
1390 Madison Street, Santa Clara - CA 95050
(408) 968-2775
lanielannucci@gmail.com

DATE: MAY 13, 2026

REVISIONS:

SHEET TITLE:

EXISTING SITE PLAN & SITE PHOTOS

DRAWN

SHEET: AP-1.1/RS

OF



EXISTING PHOTO #P1



EXISTING PHOTO #P2



EXISTING PHOTO #P3



EXISTING PHOTO #P4



EXISTING PHOTO #P5



JOHN N SCOURKES AIA
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IANNUCCI RESIDENCE

A HISTORIC PROPERTY:
ADDITION/REMODEL/REHABILITATION
1390 MADISON STREET,
SANTA CLARA - CA 95050
APN: 289-03-063

OWNER:
ROSSIE & LANIE IANNUCCI
1390 Madison Street, Santa Clara - CA 95050
(408) 966-2775
lanieiannucci@gmail.com

DATE: MAY 13, 2026
REVISIONS:

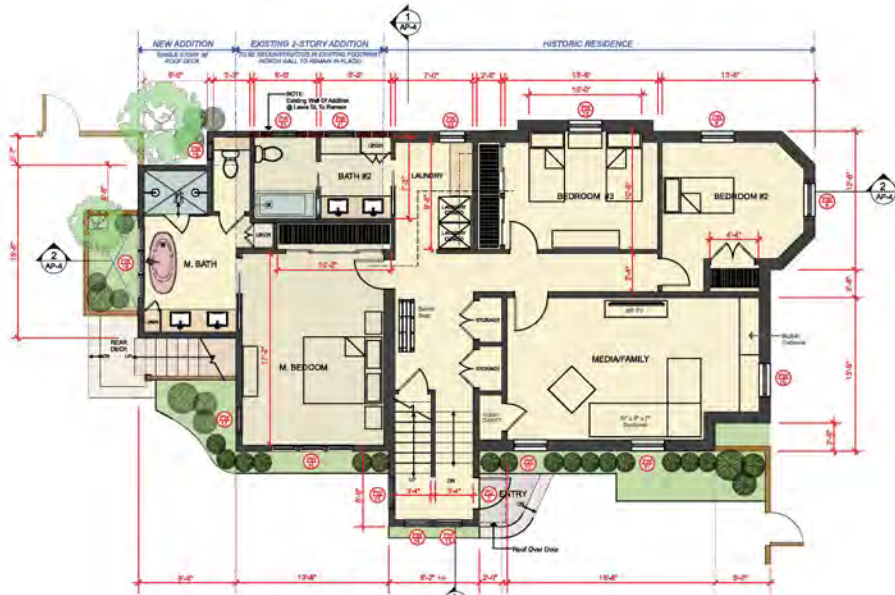
SHEET TITLE:

PROPOSED
SITE PLAN & SITE PHOTOS

DRAWN

SHEET: AP-1.2/RS

OF



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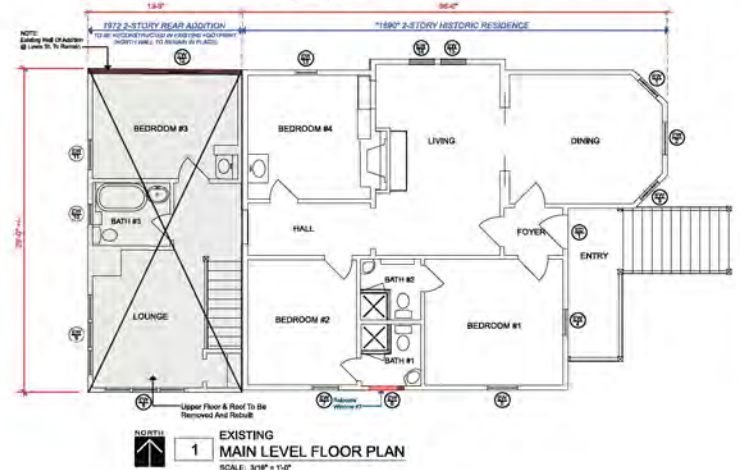
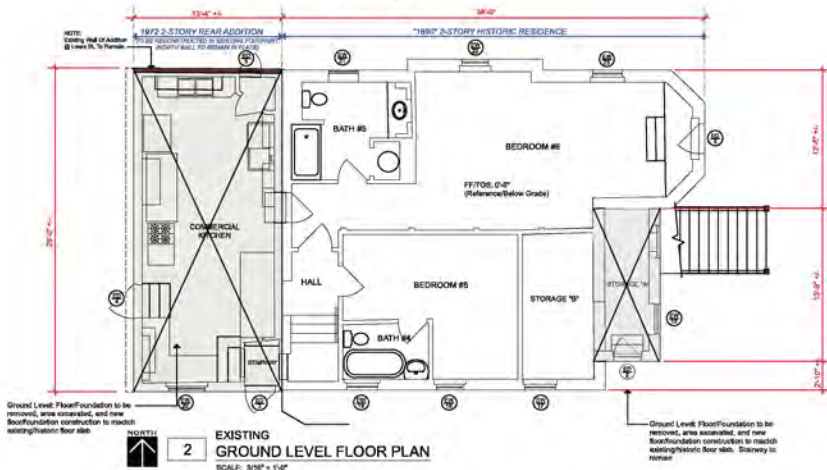


IANNUCCI RESIDENCE
A HISTORIC PROPERTY:
ADDITION/REMODEL/REHABILITATION
1396 MADISON STREET,
SANTA CLARA - CA 95050
APN: 269-03-063

OWNER:
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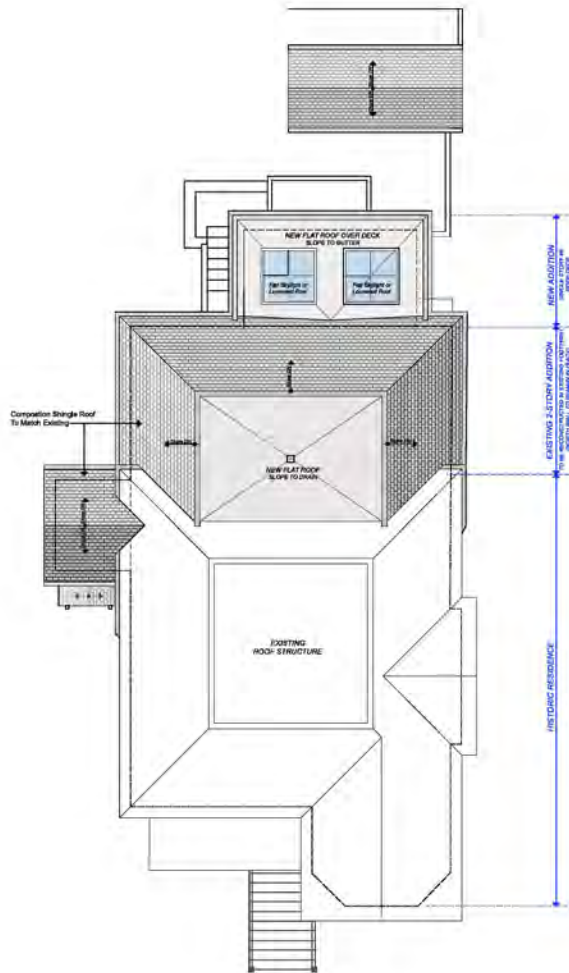
DATE: MAY 13, 2028

REVISIONS:



DRAWN

SHEET: AP-2/RS



3 PROPOSED ROOF PLAN
3/16" = 1'-0"



1 PROPOSED BUILDING SECTION
3/16" = 1'-0"



2 PROPOSED BUILDING SECTION (Submital 1A)
3/16" = 1'-0"



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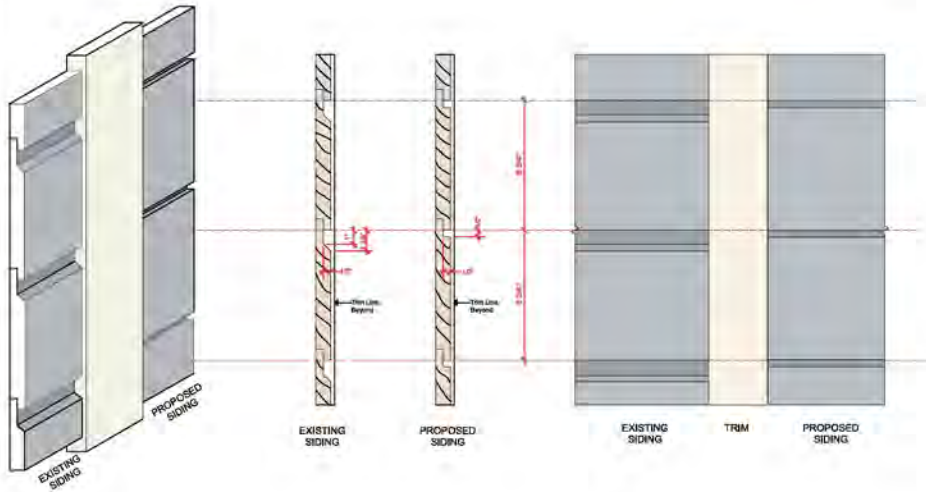
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1390 MADISON STREET,
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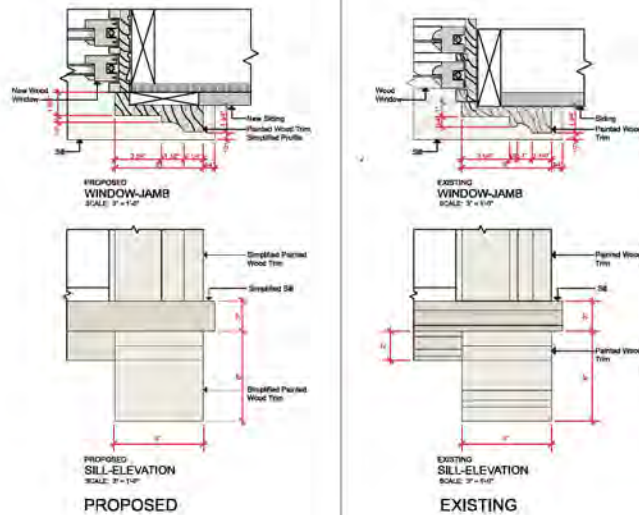
DATE: MAY 19, 2020
REVIEWS:

SHEET TITLE:
BUILDING SECTIONS
EAST FENCE ELEVATION
ROOF PLAN

DRAWN
SHEET: AP-4/RS



SIDING DETAIL GRAPHIC



WINDOW DETAILING

Existing Window Schedule

Window No.	Location	Width	Height	Operable	Frame Material	Notes
1	PAVILION	2'-3"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
2		3'-0"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
3		2'-2"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
4	BEDROOM #1	2'-8"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
5		2'-8"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
6	BATHROOM #1	1'-10"	3'-8"	Double Hung	Wood/Painted	Replaced
7	BEDROOM #2	2'-4"	3'-8"	Double Hung	Wood/Painted	Replaced
8	LOUNGE	7'-2"	4'-0"	Double Hung/Slip-Side	Wood/Painted	Replaced
9		7'-2"	4'-0"	Double Hung/Slip-Side	Wood/Painted	Replaced
10	BATHROOM #2	1'-10"	1'-10"	Sliding	Aluminum	Replaced
11	BEDROOM #3	2'-8"	4'-0"	Double Hung	Wood/Painted	Replaced
12		2'-8"	4'-0"	Double Hung	Wood/Painted	Replaced
13	BEDROOM #4	2'-2"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
14	LIVING ROOM	2'-2"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
15	LIVING ROOM	2'-2"	3'-8"	Double Hung	Wood/Painted	Existing To Remain
BASEMENT LEVEL						
16	STORAGE 'A'	2'-10"	3'-8"	Double Casement	Wood/Painted	Replace
17	STORAGE 'B'	2'-8"	2'-8"	Double Hung	Wood/Painted	Replace w/Egress Window
18	BEDROOM #5	2'-4"	3'-8"	Double Hung	Wood/Painted	Replace w/Egress Window
19	BATHROOM #3	2'-8"	3'-8"	Double Hung	Wood/Painted	Replaced
20	COMMERCIAL KITCHEN	10'-4"	2'-8"	Double Hung	Wood/Painted	Replaced
21	BATHROOM #4	2'-8"	2'-8"	Double Hung	Wood/Painted	Replace w/Egress Window
22	BEDROOM #6	2'-8"	2'-8"	Double Hung	Wood/Painted	Replace w/Egress Window
23		2'-8"	2'-8"	Double Hung	Wood/Painted	Replace w/Egress Window

Proposed Window Schedule: *Noted w/Red Symbols On Floor Plans*

Window No.	Location	Width	Height	Operable	Frame Material	Notes
1	STAIRWAY	2'-10"	2'-10"	Fixed	Wood/Painted	
2		2'-4"	4'-2"	Fixed	Wood/Painted	
3		2'-4"	4'-2"	Fixed	Wood/Painted	
4		2'-10"	2'-10"	Fixed	Wood/Painted	
5	COFFEE/BREAKFAST	7'-8"	3'-10"	Double Hung (Slip-Side)	Wood/Painted	
6		7'-8"	3'-10"	Double Hung (Slip-Side)	Wood/Painted	
7	KITCHEN	7'-8"	2'-10"	Double Hung (Slip-Side)	Wood/Painted	
BASEMENT LEVEL						
8	BEDROOM #2	3'-0"	4'-0"	Double Hung	Wood/Painted	Egress Window
9		3'-0"	4'-0"	Double Hung	Wood/Painted	Egress Window-Align with Window CWR
10	MEDIA ROOM	2'-8"	4'-0"	Double Hung	Wood/Painted	Egress Window-Align with Window CWR
11		3'-0"	4'-0"	Double Hung	Wood/Painted	Egress Window
12		3'-0"	4'-0"	Double Hung	Wood/Painted	Egress Window
13	STAIRWAY	2'-4"	3'-10"	Double Hung	Wood/Painted	
14		2'-4"	3'-10"	Double Hung	Wood/Painted	
15		2'-4"	3'-10"	Double Hung	Wood/Painted	
16	H. BEDROOM	7'-8"	4'-0"	Double Hung (Slip-Side)	Wood/Painted	
17		2'-4"	4'-0"	Double Hung	Wood/Painted	Egress Window
18	H. BATHROOM	8'-4"	3'-10"	Double Hung (Slip-Side)	Wood/Painted	
19	H. BATHROOM	1'-10"	4'-0"	Double Hung	Wood/Painted	
20	BATHROOM #2	2'-8"	2'-8"	Double Hung	Wood/Painted	Align with Window Single Bay PW/7
21	LAUNDRY	2'-8"	3'-8"	Double Hung	Wood/Painted	Align with Window Single Bay PW/7
22		2'-8"	3'-8"	Double Hung	Wood/Painted	
23	BEDROOM #3	3'-0"	4'-0"	Double Hung	Wood/Painted	Egress Window

NOTE:

#1: PROPOSED WINDOWS SHALL BE WOOD WITH WOOD TRIM PAINTED. OPERABLE WINDOWS SHALL HAVE SCREENS.

Existing Door Schedule

Door No.	Location	Width	Height	Style	Frame Material	Notes
MAIN LEVEL						
1	ENTRY/REAR	3'-0"	7'-0"	Man Door	Wood/Painted	
BASEMENT LEVEL						
2	STORAGE 'A'	2'-4"	3'-4"	Man Door	Wood/Painted	
3	REAR ENTRY	2'-8"	6'-8"	Man Door	Wood/Painted	
4	COMMERCIAL KITCHEN	3'-8"	3'-8"	Man Door	Wood/Painted	
5		2'-0"	3'-0"	Man Door	Wood/Painted	
6	BEDROOM #1	2'-8"	3'-8"	Man Door	Wood/Painted	

Proposed Door Schedule: *Noted w/Red Symbols On Floor Plans*

Door No.	Location	Width	Height	Style	Frame Material	Manufacturer
MAIN LEVEL						
1	KITCHEN	3'-0"	7'-0"	Man Door	Wood/Painted	Single Panel Glass Door
BASEMENT LEVEL						
2	ENTRY	2'-10"	7'-0"	Man Door	Wood/Painted	Single Panel Glass Door

WINDOW & DOOR SCHEDULE



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IANNUCCI RESIDENCE
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1390 MADISON STREET, Santa Clara - CA 95050
APN: 269-03-063

OWNER:
ROBBIE & LAMIE IANNUCCI
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lannieannucci@gmail.com

DATE: MAY 19, 2023

REVISIONS:

SHEET TITLE
WINDOW/DOOR
SCHEDULE
SIDING DETAIL
WINDOW DETAIL

DRAWN
SHEET
AP-5/RS

PHASE TWO HISTORIC ASSESSMENT

for:

1390 Madison Street

Santa Clara, CA.

APN: 269-03-063

Applicant:

Robbie & Lanie Iannucci
1390 Madison Street
Santa Clara, CA 95050

Architect:

John N. Scourkes, AIA
LEED AP BD+C
POB 52090
Pacific Grove, CA. 93950

Historical Consultant:

Meg Clovis
14024 Reservation Rd.
Salinas, CA. 93908

May 8, 2026

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DESCRIPTION OF 1390 MADISON STREET.....	5
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INTRODUCTION

Property Owner & Applicant:

Robbie & Lanie Iannucci
1390 Madison Street
Santa Clara, CA. 95050

Address & Parcel Number:

1390 Madison Street
Santa Clara, CA. 95050
APN: 269-03-063

Project Description & Current Use:

The project focuses on the remodel of the historic residence. Work will include the removal and replacement of a substandard 1972 rear addition within the existing footprint. The new construction will be a grade-level, single-story addition with a roof deck above. The existing below grade basement level floor slab will be excavated where required to create a one level floor slab for a consistent height. A full elevation-by-elevation project description is provided under the *Impacts of the Project* section (see p. 8). The property is currently used as a residence.

Historic Consultant:

Meg Clovis' qualifications and experience as a historical consultant span the past 47 years. After graduating from Boston University with a M.A. in Historic Preservation in 1979, Ms. Clovis joined the firm of Charles Hall Page and Associates in San Francisco as an Architectural Historian. During that time, she consulted on projects throughout the western United States. In 1981 Monterey County hired Ms. Clovis as County Historian and she served in that capacity for 36 years. She staffed the Monterey County Historic Resources Review Board and Historical Advisory Commission. She was responsible for the adequacy of historical reports for the purposes of CEQA and she is well-versed in the criteria of the California and National Registers. More recently she worked for the National Trust for Historic Preservation as Historian for the Cooper-Molera Adobe in Monterey. Ms. Clovis currently serves as consulting historian for the City of Carmel-by-the-Sea and she meets the Secretary of the Interior's Professional Qualifications Standards in Architectural History and History.

Research Design:

During December 2025 and January 2026, Meg Clovis completed the following background research to prepare this report including:

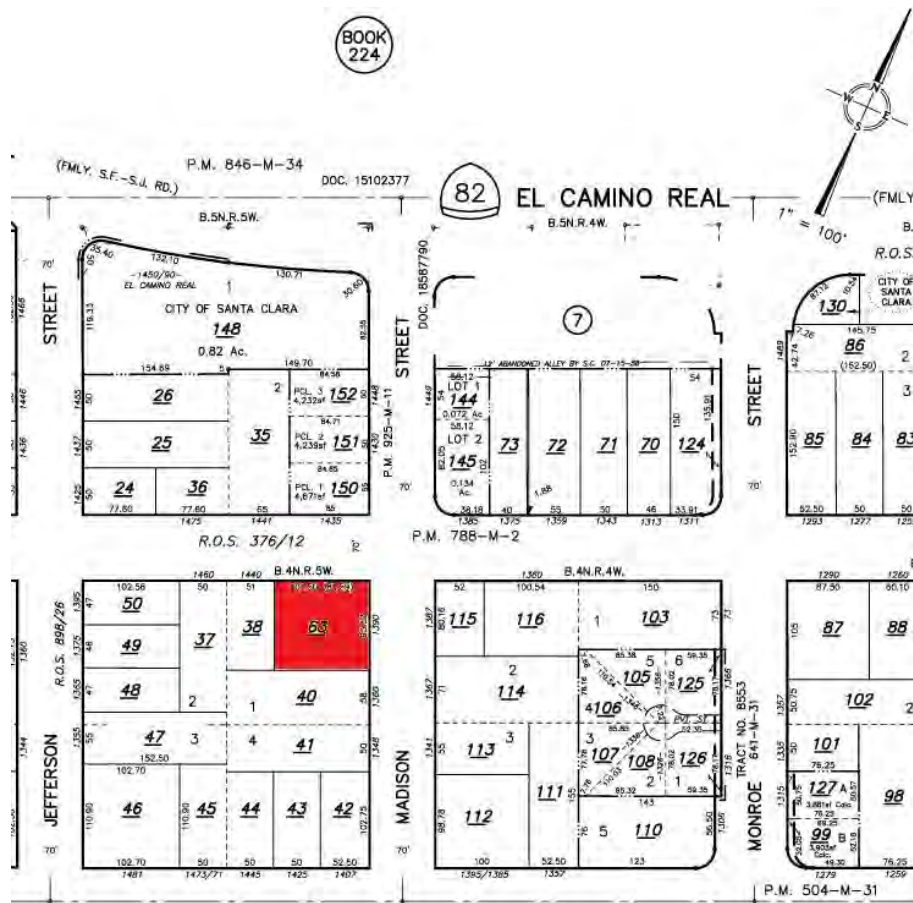
- Review of City of Santa Clara Community Development Department web site.
- Review of project plans prepared by John Scourkes, Architect.
- Review of survey form prepared by William Kostura.
- Review of historic preservation resources available through the National Park Service (nps.gov).

Current Listing Status:

1390 Madison Street is listed in the City of Santa Clara's Architecturally or Historically Significant Properties List. It is also listed in the *Built Environment Resources Directory* (BERD) maintained by California's Office of Historic Preservation. The property was assigned the California Historic Resource Status Code of 5S2 (Individually eligible for local listing or designation).

In 2021 the former owners entered into a Mills Act contract. One of the requirements of that contract stipulates that the characteristics of historic significance will be preserved and maintained by utilizing the Secretary of the Interior's Standards for Rehabilitation (see Mills Act Contract Section B3(a)).

Location Map



HISTORICAL BACKGROUND

Historic Context:

1390 Madison Street is in the City of Santa Clara's Old Quad area. A historic context of this area is provided by historian William Kostura's intensive survey of the property, dated January 2021. The residence appears on the 1891 Sanborn Map for Santa Clara and based on that information Kostura assigns a ca. 1890 date to the house.

Kostura adds that "there is evidence that this house and 1360 Madison Street (next door to the south) were in common ownership during the early decades of the 20th century, that the owners of the two houses lived in 1360 and that 1390 was usually a rental property." Between 1900 and 1929 eighteen different families occupied the house, the majority of which were blue-collar workers. Between 1929 and 1967 the house was owned by the San Francisco Roman Catholic Archdiocese as a "Catechism House", where catechism classes were taught by the Sisters of the Holy Family.

DESCRIPTION OF 1390 MADISON STREET

The following description is excerpted from the 2021 survey forms.

"The main house is located on the northern half of the lot. It is set well back from Madison Street, allowing space for the front yard, and is set several feet back from Lewis Street, allowing for a narrow side yard. The house is wood framed in construction, is one-story over a raised basement in height, and is clad in rustic siding. The main body of the house was built in ca. 1890, and a rear addition was built in 1972.

In composition the house is L-shaped, with a living room wing projecting forward from the main block of the house. The front of the projecting wing has a flat front flanked by angled sides, very much like the bay windows in typical Queen Anne houses of the period. The angle between the main body of the house and the projecting wing is filled by a covered porch. On the north side of the house (facing Lewis Street) there is a very shallow projecting bay, only about one foot in depth. The two sides just mentioned - the front and north - are the principle facades; while the south and rear facades are more utilitarian.

The roof over the original (ca. 1890) part of the house is hipped in most places, although there are two gables as well. One gable is over the projecting living room wing, and the other over the shallow bay on the north side. Both gables are trimmed with decorative bargeboards that are incised by steam-driven jigsaws with curvilinear lines. They serve as framing for other ornament in the gables, namely, small vents with fancy trim, and decorative shingles. Finally, the roof over the rear addition of 1972 is expressed in its rear façade as a gable, with plain bargeboard.

Other ornament is not profuse, but it is effective and is consistent with the ornament on other Queen Anne houses in California. Curved brackets with spindles and pendants give visual support to the front gable. In the covered porch, four posts – two free standing posts, and two

half-posts or pilasters connected with the body of the house – are turned with grooved skirts near the base. Sunburst brackets spring from the tops of the posts to support the porch roof. The staircase has square newel posts that are incised with vertical lines and topped with knobs. These newel posts appear to be original. The staircase risers and treads are wooden and may be original, but the treads are covered with non-original coating.

A water table (or belt course) runs around the perimeter of the house at the first-floor level. It is profiled on the front, north, and south sides; and is flat in the rear addition. Flat vertical stick work, all likely original, lines the corners and the sides.

The front door is paneled, with molded trim around the door and around each of the three panels. The glazing in the upper half consists of one large light surrounded by fourteen lights of colored flash glass. The door hardware is brass and appears to be early but not original.

In the older (ca. 1890) part of the house, all windows are wooden and have what appears to be original double-hung sash set in profiled trim with sills. Those in the main story have one-over-one sash, while those in the basement story have one-over-one or four-over-four sash. All the windows in the main story have flat wooden pendants beneath each sill. The front window in the projecting wing has colored flash glass in the upper sash.

The rear addition is about fifteen feet in depth and is equal in width to the older part of the house. Its windows have variously one-over-one, three-over-three, and six-over-six sash with decorative trim that imitates that in the older part of the house.

The front, north, and south sides of the older (ca. 1890) part of the house appear to be in original condition.”

Character-defining features include the following:

- The large front yard and narrow side yard facing Lewis Street
- The one-story height on a raised basement level
- The L-shaped plan of the original house
- The hipped roof over the main section of the house and the gable roofs over the extensions
- The covered front porch
- Decorative Queen Anne features such as the window and front door trim, trim around the gable vents, bargeboard and shingles in the gables, brackets with spindles at the top of the bay window, turned porch posts with sunburst brackets, belt course
- Double-hung windows, and flash glass
- Paneled front door
- Entry stair newel posts
- Horizontal wood siding

Following is a list of additions and alterations:

- July 1972: Construct a bedroom/bath addition on the north (rear) elevation.
- October 1980: Build a swimming pool and fence; demolish the garage.
- December 1984: Remodel the interior and add mechanical.
- March 1988: Add ADU on south half of the lot.

The survey evaluation concluded that the house retains integrity of Location, Design, Materials, Workmanship, Feeling, and Association, however, the property does not retain integrity of the Setting. William Kostura determined that the house retains enough aspects of integrity to reflect a late 19th century workingman's cottage within the Old Quad neighborhood of Santa Clara.



Figure 1: View of front porch with Victorian details.



Figure 2: Lewis Street elevation.



Figure 3: Rear addition built in 1972.



Figure 4: Victorian details in front gable.



Figure 5: Victorian details in front bay. Window trim is emphasized with green paint.



Figure 6: View of south elevation with non-historic windows on the basement level.

EVALUATION FOR SIGNIFICANCE

William Kostura completed an intensive survey of 1390 Madison Street in 2021. He concluded that the house was eligible for the California Register of Historical Resources at the local level under the following criteria:

- 1390 Madison Street is eligible under **Criterion One (Patterns and Events)** because it “represents an early period of Santa Clara’s history when the town was just starting to become suburban in feeling. Because of its age, its high integrity, and its ability to represent this early period of Santa Clara’s history, this house appears to be eligible for the California Register at the local level.”
- 1390 Madison Street is eligible under **Criterion Three (Architecture)** because it is “an excellent example of a raised-basement Queen Anne cottage.”

William Kostura concluded that 1390 Madison meets the following criteria for the City of Santa Clara’s criteria for significance as follows:

Historical or Cultural Significance:

- *The site, building or property has character, interest, and integrity and reflects the heritage and cultural development of the city.*

- *A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities.*

Architectural Significance:

- *The property characterizes an architectural style associated with a particular era and/or ethnic group.*
- *A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.*

Geographic Significance:

- *A neighborhood, group or unique area directly associated with broad patterns of local area history.*

The period of significance is 1890-1910, which reflects the approximate construction date through the period when much of the Old Quad area was being developed.

IMPACTS OF THE PROJECT

As a historical resource, 1390 Madison Street is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards and Guidelines for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties*¹ is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

Project Description

The residence will be remodeled, and the 795 sq. ft. 1972 addition will be removed and replaced with a new 795 sq. ft. addition within the same footprint. Following is a detailed description of how the proposed work will affect each elevation:

A. West Elevation (Front/Primary)

1. Replace basement level, non-historic window with new vertically oriented double-hung window.
2. Remove basement level, non-historic door and replace with new vertically oriented double-hung window.
3. The new extension on the south elevation will be visible, but it is set back from the façade and the roof line will be approximately 4' 5" lower than the main roof.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. U.S. Department of the Interior. National Park Service, 2017.

B. North Elevation (Lewis Street/Primary)

1. Replace basement level, non-historic windows with new vertically oriented double-hung windows.

C. South Elevation (Secondary)

1. Replace two non-historic basement windows and remove one non-historic basement window.
2. Remove the non-historic door under the entry landing.
3. Remove one small center window on the main level.
4. Construct a 56 sq. ft. gabled extension to accommodate an interior staircase. The extension will have a west facing entrance with a gabled door hood supported by simple brackets. Fenestration will consist of paired double-hung windows on both levels. A fixed square window that references the upper sash in the front bay window will be located over the door hood.
5. Relocate one window to make room for the gabled extension.

D. West Elevation (Rear/Secondary)

1. Remove the 1972 addition and replace it with a hipped roof 795 sq. ft. addition. The hipped roof will be approximately three feet lower than the main roof. The new fenestration will be double-hung. The new rustic siding will be the same width as the old but will be differentiated from the original siding by using a ½" channel reveal rather than the original 1 3/8" V-reveal.

E. Basement

1. The existing below grade lower level floor slab will be excavated where required to have one level floor slab for a consistent height.

The compliance of the proposed project is reviewed below with respect to the *Rehabilitation Standards and Guidelines*. The Standards are indicated in italics, followed by a discussion regarding the property's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the process of returning a building or buildings to a state of utility through repair or alteration, which makes possible an efficient use while preserving those portions of the building and its site and environment which are significant to its historic, architectural, or cultural values." (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

1390 Madison will continue to be used as a single-family residence. The proposed work requires minimal change to the character-defining fenestration and no change to distinctive materials, spaces, and spatial relationships. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

All character-defining features, as described on p. 6, will be retained and preserved. The construction of the rear addition will not remove any distinctive materials on the west elevation because those materials were already removed when the 1972 addition was constructed. The proposed work is consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

No conjectural features or elements from other historic properties will be added to the residence. Standard Three is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The 1972 addition will be removed as part of this project. This addition is outside the period of significance and has not acquired historic significance. The proposed work is consistent with Standard Four.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property will be preserved.

All the Queen Anne details described as character defining features are excellent examples of craftsmanship. All these features will be preserved. The proposed work is consistent with Standard Five.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The focus of the proposed work is not on the repair of the historic building. This Standard is not applicable.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatments are part of the proposed project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

There will be ground disturbance in the basement area however historian William Kostura found no evidence of archeological resources at the site. If any archeological resources are found during the ground disturbance in the basement, then mitigation measures, including an archeological investigation, will be undertaken. The proposed work is consistent with Standard Eight.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Preservation Brief 14² provides the following guidance for additions to historic buildings:

- A new addition should be simple and unobtrusive in design and should be distinguished from the historic building.
The design of the rear addition and south extension is subordinate to the design of the original Queen Anne house because they are subordinate in size, massing, and design. The two steps that lead up to the door in the south extension will not obscure any character-defining features. The use of the hipped roof in the rear addition (the 1972 addition has a gable roof) is more compatible with the original design and compliments the roof form used in the historic house. The new siding on both the rear addition and south extension will be differentiated from the old siding by omitting the reveal. The gabled door hood in the south extension will be supported by simple brackets that are differentiated from the sunburst brackets found in the front porch. The windows in the south extension and rear addition are double-hung sash grouped in pairs or bands of three. The dimensions of the new windows will be slightly wider than the original windows so they will be compatible but differentiated. The window above the south extension entrance is a simplified version of the top lite in the front bay window.

² Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns. National Park Service. U.S. Department of the Interior. August 2010.

- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition.
Although the new addition is located on the rear elevation, the house is on a corner lot, and the addition will be visible from Lewis Street (the 1972 addition is currently visible from Lewis Street). The addition's roof line is lower, and it has smaller proportions so it does not detract from the historic house in terms of massing, scale, and design. The extension on the south elevation will be somewhat visible from Madison Street, but it is set back towards the rear of the house, and its roofline is lower than the historic roofline.
- The construction materials and the color of the new addition should be harmonious with the historic building materials.
The new siding will be wood, like the original siding, and the paint will match.

Windows:

The non-historic basement level windows on each elevation, and non-historic basement level entrance on the west elevation will be replaced with new, more compatible double-hung windows. Three non-historic windows are in the basement level on the south elevation. Two windows will be replaced while one window will be removed. The non-historic basement level entrance on the south elevation entrance will be removed but not replaced. The new windows are compatible but will not duplicate the historic fenestration.

ITS Bulletin 21³ recommends that the window surrounds should not imitate period surrounds, but rather have plain, simplified surrounds. The plans indicate that the window surrounds, including the profile of the new window jambs and sills, are differentiated through a simple design. The proposed work is consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The judicious placement of the rear addition and south extension will allow both to be removed in the future without impairing the essential form and integrity of the property and its environment. The proposed work is consistent with Standard Ten.

RECOMMENDATIONS

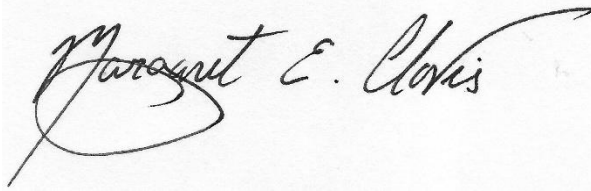
The proposed work follows the Secretary of the Interior's Standards and therefore no recommendations are necessary.

³ ITS Bulletin 21. Interpreting the Secretary of the Interior's Standards for Rehabilitation. *Adding New Openings on Secondary Elevations*. National Park Service, October 2001.

CONCLUSION

For a historic property to retain its integrity, any work on that property must meet the Secretary of the Interior's Standards and Guidelines for Rehabilitation. The proposed work meets Standards One, Two, Four, Five, Eight, Nine and Ten. Standards Three, Six, and Seven are not applicable. The proposed work is consistent with the Secretary of the Interior's Standards for Rehabilitation.

Respectively Submitted,

A handwritten signature in black ink on a light gray background. The signature is written in a cursive style and reads "Margaret E. Clovis".

Margaret (Meg) Clovis

Vicinity Map (Zoning) 451 El Camino Real



Zoning

Land Parcels

- CR - Commercial Regional
- CT - Thoroughfare Commercial
- LI, ML - Light Industrial
- LI, ML - Light Industrial
- MH, HI - Industrial Heavy
- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use-Neighborhood Commercial
- MURC - Mixed Use-Regional Commercial
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential
- R4 - High Density Residential
- MU-VHD - Mixed Use-Very High Density Residential

Base Layers

Air Parcels



Notes:

PLN24-00279

7/23/2026 8:53:00 AM

0 500 1000
ft

NAD_1983_2011_StatePlane_California_III_FIPS_0403_Ft_US
©City of Santa Clara



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance (Multi-Family)

Project Address: 451 El Camino Real
Zoning: Mixed-use Regional Commercial

Project Number: PLN24-00279

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	--	10.2 acre	--	Y
Density (Units/Acre)				
Density	--	39.4	37-50	Y
Commercial FAR				
Commercial FAR:	--	0	Up to 3.0	N (Concession)
Building Square Footage (SF)				
4 Plex Townhouse:	--	186,000		
6 Plex Townhouse:	--	41,100		
Multi-family Building:	--	475,000		
Main Building Setbacks (FT)				
Front:	--	10	0 or 5-10	Y
Side (left): (right):	--	10 10-50+	0	Y
Side, Corner:	--	--	0	Y
Rear:	--	21	10	Y
Multi-story Stepback:	--	0		M (Waiver)
Height (FT)				
Main building:	--	Three-story (38) – Five-story (64)	6-story/60	N (Wavier)
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-Street – Multi-family:	--	359		
Off-Street – Townhouse:		196		
Class 1 Bicycle (Multi-family/Townhouse):	--	297/98	1 per unit	Y
Class 2 Bicycle (Multi-family):	--	15	1 per 20 units	Y
Landscaping				
Open Landscaped Area:	--	178,841	30% of area (143,269)	Y
Consistent with City's Complete Streets Policy? 5' Landscape/ 10' sidewalk				Y

Conditions of Architectural Review Approval

PLN24-00279 / 451 El Camino Real

Architecture Review for the demolition of 216,000 square feet of existing commercial and parking garage buildings to construct a five-story residential building with 297 units, three-story 98 townhouses, and wrap-around structured garage. The project also proposes an annexation of an adjacent parcel in the City of San Jose to construct 13 townhomes. The project is within 200 feet of the Santa Clara Depot.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is [Click or tap to enter a date..](#)
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the owner or designee's new improvements, then the cost of said relocation shall be borne by the owner.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed

(CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.

- a. During construction retaining a single company to install all fire related penetrations is highly recommended.
 - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
 - c. All stair shafts shall be minimum 1-hour rated.
 - d. All elevator shafts shall be minimum 1-hour rated.
 - e. All trash chute shafts shall be minimum 1-hour rated.
 - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
 - g. Any trash rooms shall be minimum 1-hour rated all sides and above.
- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
- a. Chapter 15.36 – Energy Code for “all electric” provisions for new construction.
 - b. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

COMMUNITY DEVELOPMENT - PLANNING DIVISION

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1. (SCC 12.35.090)
- P3. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the

Director of Community Development or designee for approval prior to issuance of demolition and building permits.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- P4. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P5. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P6. **Construction Parking.** Off street parking is required to be available from the time of issuance of building permits until the issuance of certificate of occupancy. Off-street construction parking lots are required to be maintained mud-free and dustless. If the off-street construction parking lot is located on an unpaved surface, daily street sweeping of surrounding streets is required. (SCC 18.38.030)
- P7. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

OPERATIONAL CONDITIONS

- P8. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P9. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P10. **Transportation Demand Management (TDM) Program (Residential Project)** The owner or designee shall implement the project TDM program that includes elements to reduce vehicle miles traveled (VMT) by 20 percent with 10% through active TDM measures per the City's 2022 Climate Action Plan. A final TDM plan shall be submitted to the Director of Community Development or designee prior to Building Permit Final by the Planning Division. The property owner or designee shall monitor the project TDM program and submit an annual report to the Director of Community Development or designee in a timeframe determined by the City. Monitoring and reporting requirements may be revised in the future if the minimum reduction is not achieved through the measures and programs initially implemented. For projects that will have Covenants, Conditions, and Restrictions (CC&Rs), the owner or designee shall include this condition as part of the recorded CC&Rs.

ENVIRONMENTAL CONDITIONS

- P11. **Mitigation Monitoring and Reporting Program.** Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California

Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval.

- P12. Mitigation Measures.** Mitigation measures described in the MMRP attached as Exhibit A are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor. Their implementation is a condition of project approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

COMMUNITY DEVELOPMENT - BUILDING DIVISION

- BD1. Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit,

a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

BD5. Temporary Certificates of Occupancy. Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

COMMUNITY DEVELOPMENT – HOUSING DIVISION

H1. Provide the following information for compliance with the Residential Ownership Project review:

A site map showing the proposed locations of the 17 affordable units.

A table listing the bedroom count, bathroom count, and unit size for each designated affordable unit.

In the same table, include the bedroom count, bathroom count, and unit size for the market-rate units. This will allow the City to confirm that affordable units are equitably distributed.

H2. For Residential Rental Project:

Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the affordable rents and apply all terms and covenants guaranteeing the prescribed affordability in compliance with the City Affordable Housing Ordinance, Chapter 17.40, Residential Density Bonus Standards, Chapter 18.78, CA Gov't Code section 65915 et seq., CA Gov't Code section 65589.5 et seq., as applicable

The Applicant is proposing to provide 47 affordable units, with 1 unit at 30% Area Median Income (AMI), 1 unit at 50%AMI, 34 units at 80%AMI and 11 units at 110%AMI to comply with the City's Affordable Housing Ordinance requirements of providing at least 15% of proposed units to be affordable. Affordable units shall be reasonably dispersed throughout the project and shall on average contain the same number of bedrooms and shall be comparable to the design of the market-rate units in terms of appearance, material and finished quality of the market rate units in the project. Affordable units shall have the same access to the project amenities and recreational facilities as market-rate units.

The Satisfaction of the affordable housing obligation shall be memorialized in the AHA and/or Density Bonus Agreement (DBA). There will be a fee for the AHA preparation in the amount of \$6,073 that will be due prior to execution of the AHA. Additionally, there is an annual monitoring fee per affordable unit in the amount \$131. Please note all fees are

based on the current Municipal Fee Schedule effective at the time the Project is approved.

H3. Residential Ownership Project 10 or More Units.

In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 98 units for-sale residential development.

The Applicant is proposing to provide 17 affordable units, with 5 units at 80% AMI, 4 units at 100% AMI, 6 units at 110% AMI, and 2 units at 120% AMI, resulting in an average affordability of 100% AMI to comply with the City's Affordable Housing Ordinance requirements.

The affordable units shall be provided to affordable households made available at affordable sales prices to extremely low, very low, low and/or moderate-income households as long as the distribution of affordable units averages to a maximum of one-hundred (100) percent of Area Median Income. All prices are set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). Applicant shall be responsible for cost incurred under the California Building Standards (California Code of Regulations, Title 24) for the each affordable for-sale residential unit. Affordable units shall be reasonably dispersed throughout the project and shall on average contain the same number of bedrooms and shall be comparable to the design of the market-rate units in terms of appearance, material and finished quality of the market rate units in the project. Affordable units shall have the same access to the project amenities and recreational facilities as market-rate units. Additionally, the Developer will cover the cost of the BMP Program to process each BMP homebuyer, at a rate of 2.5% of the Affordable Sales Price per unit.

Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price, identify the actual unit to be sold as the Affordable Unit, and apply all terms and covenants guaranteeing the prescribed affordability, to the satisfaction of the Director of Community Development. There is a fee for the AHA preparation in the amount of \$4,352 which will be due prior to execution of the AHA (per Municipal Fee schedule).

- H4. If the annexation is approved, the total number of townhomes would be 111 units. This results in an affordable housing requirement of 16.65 units. With 17 affordable units proposed, the applicant meets the City's Affordable Housing requirements.

FIRE DEPARTMENT

DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- F1. **Hazmat Clearance.** Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous

materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.

- F2. **Hazmat Clearance.** Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at fchun@santaclaraca.gov for more information.

- F3. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F4. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F5. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F6. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
- Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the

“entire” face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.

- For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.

or

- For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.
- The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F7. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F8. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F9. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8' - 10') above grade.
- F10. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.
- F11. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.
- F12. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- F13. **Shared Fire Protection Features that Cross Property Lines.** Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F14. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

PARKS & RECREATION DEPARTMENT

DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

- PR1. **Park Impact Fees.** This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 783 residents (1.92 persons/household x 408 units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 2.35 acres. The equivalent fee due in lieu of parkland dedication is \$15,831,216 (\$38,802 x 408 units). *This assumes the 13 units currently in San Jose will be annexed into the City of Santa Clara.
- PR2. **Building Permit - Payment of In-Lieu Fees.** In-lieu fees imposed under City Code shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.
- PR3. **Building Permit - Dwelling Unit Tax.** A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 42 studio units, 167 one-bedroom units, 118 two-bedroom units, and 81 three-bedroom units [\$15 x 408 bedrooms) + (\$5 x 280 additional bedrooms)] for a total DUT of \$7,520.

PUBLIC WORKS DEPARTMENT - ENGINEERING

DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. **Design.** The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was analyzed and determined that there should be enough SS conveyance capacity to accommodate the proposed development without adding it to the City's Sanitary Sewer Hydraulic Model (SSHM).
- E3. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E4. **Subdivision Map.** Private utility easements shall not be overlapping with public utility easements. Define underground electric and water utility easements, with remaining private utilities as PSSE, PSDE & PWE.
- E5. **Subdivision Map.** Label "private" on Street A – O.
- E6. **Annexation.** Complete annexation process for portion of project site within the City of San Jose.

- E7. **Easement.** Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.

DURING CONSTRUCTION

- E8. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E9. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E10. **Encroachment Permit.** All work within State right-of-way shall require a Caltrans encroachment permit.
- E11. **Encroachment Permit.** All work within City of San Jose right-of-way shall require a City of San Jose encroachment permit.
- E12. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E13. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E14. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E15. **Encroachment Permit.** Verify existing sanitary sewer lateral to be reused is in good condition, remove and replace as required.
- E16. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E17. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E18. **Encroachment Permit.** Connect SDFI53 directly to existing storm drain manhole 10. Adjust SDFI53 to avoid the pipe encroaching neighboring property.

- E19. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E20. **Encroachment Permit.** Pavement treatment shall 2" grind and overlay with digouts for the full street width of Campbell Avenue along the project frontage.
- E21. **Encroachment Permit.** Pavement treatment shall be 3" grind and overlay with digouts for the full street width of Franklin Street along the project frontage.
- E22. **Encroachment Permit.** Pavement treatment shall be 2" grind and overlay with digouts for the half street width (curb to median) of El Camino Real along the project frontage, subject to Caltrans' approval.
- E23. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E24. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E25. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.
- E26. **Agreement.** Record release of interest for Agreement Covenant Running with the Land for deferred public improvements. (K210 924, 9337151, SC15965)

PUBLIC WORKS DEPARTMENT - STORMWATER
DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3rd Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.

- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST8. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST9. **Architectural Copper.** The use of architectural copper is prohibited.

DURING CONSTRUCTION OR OPERATION

- ST10. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST11. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants.
- ST12. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3rd party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST13. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST14. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST15. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST16. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

PRIOR TO FINAL OF BUILDING PERMIT

- ST17. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST18. **3rd Party Concurrence Letter.** 3rd Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3rd party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3rd party inspection report on the C.3 stormwater facility installation.
- ST19. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.

- ST20. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or Street@SantaClaraCA.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

PUBLIC WORKS DEPARTMENT - TRANSPORTATION

DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE

- TR1. **Site Clearance.** Project shall pay fair share traffic fees, if any, identified in the LTA.
- TR2. **Site Clearance.** Project shall contribute a fair share to the future Class IV separated bikeway along El Camino Real.

DURING CONSTRUCTION

- TR3. **Encroachment Permit.** Design site access for all transportation modes in accordance with City's General Plan – Santa Clara Station Focus Area Goals and Policies. As part of the Santa Clara Station Focus Area goals and policies, Lane B may be converted to a public mixed-use street. The City is in development of the Santa Clara Station Area Specific Plan and will require coordination from this project.
- TR4. **Encroachment Permit.** Project shall be responsible for implementing the improvements, if any, identified from the LTA analysis.
- TR5. **Encroachment Permit.** Design and construct minimum 5-foot wide sidewalk.
- TR6. **Encroachment Permit.** Design and construct driveway in accordance with City Standard Detail ST-8.
- TR7. **Encroachment Permit.** Traffic improvements must comply with the City of Santa Clara Standard Details and Specifications for Public Works Construction.
- TR8. **Encroachment Permit.** Coordinate with VTA, plan.review@vta.org to confirm if any improvements are required at the existing bus stop at El Camino Real and Campbell Avenue. (Note: copy City Planner in email and submit brief description of project and construction plans.)
- TR9. **Encroachment Permit.** Projects shall implement any improvements identified by VTA at existing bus stops.
- Install a silver metal bench at the bus stop on westbound El Camino Real north of Accolti Way-Campbell Avenue, as per VTA's specifications.
 - Construction plans shall include instructions to “coordinate with VTA on any impacts to bus operations on El Camino Real within a minimum of 3 business days. Contact bus.stop@vta.org”.
- TR10. **Encroachment Permit.** Project shall comply with the Santa Clara Station Specific Plan (upon adoption of the plan) including roadway design, sidewalk width, and bicycle parking requirements.
- TR11. **Building Permit.** Landscape improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- TR12. **Building Permit.** All on-site structures must be clear of Driveway and Corner Visibility Clearance Areas per City Standard Detail TR-9.

- TR13. **Building Permit.** If parking entrance will be gated, install the gate a minimum of 25 feet from the property line.
- TR14. **Building Permit.** Trash collection shall be conducted on-site.
- TR15. **Building Permit.** Provide residential Class I and Class II bicycle parking spaces as per City's Zoning Code.
- TR16. **Building Permit.** Class I and Class II bicycle parking shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.
- TR17. **During Construction** – Traffic Signal Improvements at the intersection of El Camino Real and Franklin Street/Palm Drive: Developer shall install traffic signal improvements at the intersection of El Camino Real and Franklin Street/Palm Drive to incorporate left-turn phasing on Palm Drive and Franklin Street as identified in the transportation analysis. This improvement will require the following:
- a. Removal of the existing traffic signal pole and mast arm on the southeast corner of the intersection;
 - b. Installation of a new traffic signal pole and longer mast arm with a left turn signal head on the southeast corner of the intersection;
 - c. Removal of the existing traffic signal head at the end of the mast arm on the pole of the northwest corner of the intersection;
 - d. Installation of a left-turn signal head at the end of the existing mast arm on the pole of the northwest corner of the intersection and replacing the 8-inch traffic signal head with a 12-inch signal head on the pole facing southbound traffic; and
 - e. Removal of the existing signal heads on the northeast and southwest corners of the intersection facing Palm Drive and Franklin Avenue and replacing with new left-turn signal heads.

Signal improvements shall include but not limited to traffic signal poles, traffic signal and pedestrian signal heads, safety lighting, pull boxes, conduits, conductors, and vehicle detection equipment, as needed, to provide a complete traffic signal system. All traffic signal improvements shall be constructed in accordance with the Americans with Disabilities Act (ADA) requirements where applicable, latest Caltrans Standards Plans and Specifications, latest California MUTCD, Public Works Standard Details, City Standard Specifications for Public Works Construction, City Traffic Standard Details. Include signal modification sheets and striping details in the off-site improvement plans for review and approval during the off-site construction phase. Existing traffic signals on the El Camino Real-The Alameda corridor are equipped to provide transit signal priority (TSP) service. The TSP equipment should be replaced and be maintained and operational during the construction of these modifications.

Should Caltrans or Santa Clara University not approve any work within the intersection, an equivalent improvement shall be provided to the City to the satisfaction of the City Engineer. In seeking Caltrans and/or Santa Clara University approval, the City will cooperate with the applicant to submit and process any application for this work. The applicant will make commercially reasonable efforts to obtain Caltrans and/or Santa Clara University approval, but if the process takes longer than reasonably expected from application submittal, applicant and City will meet and confer to determine the likelihood of success in the City Engineer's reasonable discretion.

- TR18. **During Construction** - Traffic Signal Improvements at the intersection of El Camino Real and Campbell Avenue/Accolti Way: Developer shall install traffic signal improvements at the intersection of El Camino Real and Campbell Avenue/Accolti Way to incorporate left-

turn phasing on Campbell Avenue and Accolti Way as identified in the transportation analysis. This improvement will require the following:

- a. Removal of the existing traffic signal pole and mast arm on the southeast corner of the intersection;
- b. Widening of the Campbell Avenue leg of the intersection adjacent to the Santa Clara University Baseball Stadium with new curb, gutter, and sidewalk to accommodate a new approach lane and northbound right turn semi-trailer vehicles;
- c. Installation of a new traffic signal pole and longer mast arm with a left turn signal head on the southeast corner of the intersection;
- d. Removal of the existing traffic signal pole on the northwest corner of the intersection;
- e. Installation of a new traffic signal pole and mast arm with a left-turn signal head on northwest corner of the intersection;
- f. Removal of the existing signal heads on the northeast and southwest corners of the intersection facing Campbell Avenue and Accolti Way and replacing with new left-turn signal heads; and
- g. Replace five existing 8-inch signal heads with 12-inch signal heads.

Signal improvements shall include but not limited to traffic signal poles, traffic signal and pedestrian signal heads, safety lighting, pull boxes, conduits, conductors, and vehicle detection equipment, as needed, to provide a complete traffic signal system. All traffic signal improvements shall be constructed in accordance with the Americans with Disabilities Act (ADA) requirements where applicable, latest Caltrans Standards Plans and Specifications, latest California MUTCD, Public Works Standard Details, City Standard Specifications for Public Works Construction, City Traffic Standard Details. Include signal modification sheets and striping details in the off-site improvement plans for review and approval during the off-site construction phase. Existing traffic signals on the El Camino Real-The Alameda corridor are equipped to provide transit signal priority (TSP) service. The TSP equipment should be replaced and be maintained operational during the construction of these modifications.

Should Caltrans or Santa Clara University not approve any work within the intersection, an equivalent improvement shall be provided to the City to the satisfaction of the City Engineer. In seeking Caltrans and/or Santa Clara University approval, the City will cooperate with the applicant to submit and process any application for this work. The applicant will make commercially reasonable efforts to obtain Caltrans and/or Santa Clara University approval, but if the process takes longer than reasonably expected from application submittal, applicant and City will meet and confer to determine the likelihood of success in the City Engineer's reasonable discretion.

TR19. **During Construction** – El Camino Real Bike Lane: Project shall contribute \$250,000 (in 2026 dollars) to the City for future design/construction of a Class IV separated bikeway along El Camino Real along the project frontage. Contribution amount is subject to escalation based on time of payment.

TR20. **During Construction** - Project shall implement the following improvements at existing VTA bus stops.

- a. Install a silver metal bench at the bus stop on westbound El Camino Real north of Accolti Way-Campbell Avenue, per VTA's specifications.
- b. Construction plans shall include instructions to "coordinate with VTA on any impacts to bus operations on El Camino Real within a minimum of 3 business days. Contact bus.stop@vta.org".

PUBLIC WORKS DEPARTMENT – STREETS DIVISION

Right of Way Landscape

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- L1. **Tree Preservations Specifications.** Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. **Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. **Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

DURING CONSTRUCTION OR OPERATION

- L4. **No Public Root Cutting.** No cutting of any part of public, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

PRIOR TO FINAL OF BUILDING PERMIT

- L5. **In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

Solid Waste

DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

- SW1. **Post-Construction Solid Waste Generation Estimation and Collection Form.** The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@SantaClaraCA.gov or (408) 615-3080 for more information.
- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and a trench drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building,

demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.

- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

DURING CONSTRUCTION OR OPERATION

- SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

PRIOR TO FINAL OF BUILDING PERMIT

- SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.
- SW8. **Post Construction Solid Waste form,** ensure that waste volumes are correct for both Townhouses (TH) and Apartments (APTS).
- SW9. **On site plan,** show cart staging per unit (including 2-3 feet minimum in between carts).
- SW10. If necessary, please schedule a separate meeting involving Environmental Programs staff and hauler (Mission Trail) to discuss feasibility of collection service for carts (THs) and bins/dumpsters (APTS).

OPERATIONAL CONDITIONS

- SW11. **Solid Waste Collection.** All carts shall be placed and serviced in front of individual driveways with a minimum of three-feet spacing in between carts. If deemed necessary by Mission Trail (hauler) for operational and/or safety reasons, an alternative collection plan shall be used indefinitely. The alternative collection plan shall require all carts to be placed on A street, as shown in Plan B. Due to potentially larger cart sizes (96-gallon max) and three-feet spacing, some carts may need to be placed on both sides of the alley, holding the 100' back-up distance, as noted in the solid waste guidelines.

SILICON VALLEY POWER

GENERAL

- SVP1. **Interconnection Study.** This study would need to be completed prior to PCC Deemed Cleared. This study will assess the following:
- System capacity of SVP's electric transmission and distribution systems to serve customer load.
 - System capacity of PG&E's electric transmission system to serve customer load.
 - This is determined by studies performed by the California Independent System Operator (CAISO) in its yearly Transmission Planning Process (TPP).
 - Any mitigation measures identified, and/or construction schedules required by PG&E to serve customer load ramp will be communicated by SVP to the customer. Any PG&E identified mitigations and/or construction schedules are not controlled by SVP nor is SVP responsible for any delays caused by these project schedules.
 - Determine when to include customer load ramp in SVP's load forecast to the California Energy Commission (CEC), provided that SVP determines, in sole discretion, that there is capacity available for the project.
 - Determine when the customer will be allowed to energize facilities, and allowed ramp schedule; provided that SVP determines, in sole discretion, that there is capacity available for the project.
 - Please see System Limitation Letter attached to SVP markups dated Nov. 10, 2022
 - These conditions of approval do not commit the City to (1) serve Developer's electric load or (2) allocate any capacity to Developer. Further, any approval which this Project may receive from the City Council, Planning, or another City Department, shall not commit the city to (1) serve Developer's electric load or (2) allocate any capacity to Developer.
- SVP2. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP3. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.
- SVP4. **SVP Equipment Clearances:**
- Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
 - Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
 - Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
 - Barrier pipes:** (on sides accessible to vehicles)
 - Thirty (30) inches from equipment sides.
 - Forty-Eight (48) inches in front of access doors. (use removable bollards)
- SVP5. **SVP Conduit Clearances:**

- a. **Longitudinal:** Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
 - b. **Vertical:** Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
 - c. **Poles/Posts:** Three (3) foot six (6) inches clearance required from poles (electrolier, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
 - d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
 - e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
 - f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).
- SVP6. **SVP Vault/Manhole Clearances:**
- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
 - b. Three (3) foot minimum from face of curb. (bollards required for vaults).
- SVP7. **SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.
- SVP8. **Tree Clearances:**
- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
 - b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
 - c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
 - d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
 - e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.
- SVP9. **SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).
- a. UG1000 - Installation of Underground Substructures by Developers
 - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 – Remote Switch Pad
 - d. OH1230 – Tree Clearances from Overhead Electric Lines
 - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
 - f. UG1225 – Pad mounted Equipment Clearances and Protection
 - g. UG0250 – High Density Residential Metering Requirements
 - h. FO-1901 – Fiber Optic Splicing and Testing Methods
 - i. SVP Rules and Regulations – Latest Edition

SVP10. SVP Standards, Miscellaneous:

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.
- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

SVP11. Meter Locations:

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

SVP12. Underground Service Entrance

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

SVP13. Code Sections:

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City’s acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems

necessary for the betterment of the system per Santa Clara City Code chapter **17.15.210 (2)**.

SVP14. Existing Facilities:

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.
- b. Any relocation of existing electric facilities shall be at Applicants expense.

SVP15. Generators: Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

SVP16. Initial Information: Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.

SVP17. SVP Developers Work Drawing: Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA's must be met, or variance approvals must be granted by SVP. The developers' work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.

SVP18. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an approved SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications

SVP19. Applicants Switchgear: All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP's meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.

SVP20. AMI/Fiber Building Requirements: All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- SVP21. **Easements:** Prior to the City's issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5' minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP22. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.
- SVP23. **Applicants Switchgear:** Applicants' switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP24. **Electric Facilities:** Prior to the City's issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.
- SVP25. **Municipal Fee's:** Prior to electric service energization, all applicable fees per the City of Santa Clara's Municipal Fee Schedule shall be paid by the applicant.
- SVP26. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

OPERATIONAL CONDITIONS

- SVP27. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

WATER & SEWER DEPARTMENT

DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT

- W1. **Recycled Water Ready.** All onsite plumbing for non-domestic water uses (e.g. irrigation, industrial processes, cooling, etc.) shall be designed for recycled water use and shall comply with all Recycled Water regulations.
- W2. **Utilities on Private Street.** No public water or sewer mains shall be allowed on private streets. The applicant shall connect to the public systems along El Camino Real or Franklin Street. Utilities shall be master metered at the public street frontages and served and sub-metered within the development from private utilities. The applicant shall also install a separate fire service and onsite fire line for private hydrants and fire services
- W3. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.

- W4. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W5. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W6. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W7. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W8. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W9. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W10. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W11. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants

shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.

- W12. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W13. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W14. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

DURING CONSTRUCTION

- W15. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.
- W16. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W17. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation.

PRIOR TO FINAL OF BUILDING PERMIT

- W18. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W19. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

KEY:

G = General

P = Planning Division

BD = Building Division

H = Housing & Community Services Division

F = Fire Department

PR = Parks & Recreation Department

PD = Police Department

E = Engineering Division

Streets Division (Landscape, Solid Waste, and Stormwater)

L = Landscape

SW = Solid Waste

SVP = Silicon Valley Power

W = Water & Sewer Department

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.