



## Agenda Report

25-763

Agenda Date: 8/13/2025

### REPORT TO PLANNING COMMISSION

#### SUBJECT

Public Hearing: Action on the Initial Study and Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map (PLN24-00267 and PLN24-00332) for the Property Located at 1400 Coleman Avenue to Allow the Development of 142 Townhouse Units and Associated On- and Off-Site Improvements

#### REPORT IN BRIEF

**Applicant /Owner:** Pamela Nieting, City Ventures/Grant Associates LP

**General Plan:** Regional Commercial

**Zoning:** Commercial Regional (CR)

**Site Area:** 3.8 acres (45,072 square feet)

**Existing Conditions:** The site currently is developed with a two-story office building, a one-story light industrial building, and a surface parking lot. The building is currently occupied with commercial tenants.

#### Surrounding Land Uses:

- North: Commercial and Industrial Uses
- South: Coleman Avenue; Costco
- East: Commercial and Industrial Uses
- West: U.S. Citizenship and Immigration Services office

#### Staff Recommendation:

The Planning Commission adopt resolutions recommending the City Council adopt the Initial Study and Mitigated Negative Declaration; General Plan Amendment, Rezone and the Vesting Tentative Subdivision Map for the property located at 1400 Coleman Avenue to allow the development of 142 townhouse units and associated on- and off-site improvements.

#### BACKGROUND

On May 28, 2024, City Ventures (applicant) filed applications (File Nos. PLN24-00267 and PLN24-00332) to redevelop the subject 3.8-acre parcel (APN: 230-05-021) as a residential for-sale townhouse community "project", with 142 townhouses and associated on- and offsite improvements.

The subject property currently has a General Plan land use designation of Santa Clara Station Regional Commercial and is within the Santa Clara Station Area Focus Area. The Specific Plan is currently underway, however it has yet to be formally adopted. The zoning for the project site is Commercial Regional (CR). On the date of the initial application, the site was zoned Light Industrial (ML) under the older, "Classic" Zoning Ordinance, but the site was rezoned to Commercial Regional effective September 19, 2024. Because the application was not yet complete, pursuant to the new zoning code, on September 19, 2024, the new zoning designation of CR, and the requirements of the Updated Zoning Code, apply to the project.

The subject property is located on the north side of Coleman Avenue and is bounded by government uses (U.S. Citizenship and Immigration Services) to the west, commercial and industrial uses to the north and east, and Coleman Avenue to the south. The Norman Y. Mineta San José International Airport is approximately 500

feet northeast of the project site. This project site is located approximately 0.3 miles north of the Santa Clara Transit Center that is served by Caltrain, Altamont Commuter Express (ACE) train and multiple Valley Transportation Authority (VTA) bus routes (Rapid 522, 60, 22, 21, 53, and 59) which qualifies as a major transit stop. Therefore, the project site is within a transit priority area as defined in SB 743 (2013).

In October 2024, City Council approved a two-way Class IV protected bikeway along the east side of Coleman Avenue between Brokaw Road and Reed Street. Thus, the project's trash pickup location and loading/unloading zone is required to be located on-site to avoid conflicts with the bikeway.

Pursuant to state law, anytime a General Plan Amendment is proposed within the Airport Influence Area (AIA) of an adopted Comprehensive Land Use Plan (CLUP), a referral must be made to the County Airport Land Use Commission (ALUC) for a consistency determination. The project was referred to the ALUC on June 30, 2025, and an ALUC hearing on the Project is scheduled for August 27, 2025.

#### Requested Actions

Implementation of the project requires the City Council to take action on the items listed below. Pursuant to the Santa Clara City Code, the Planning Commission will conduct a public hearing to make recommendations to the City Council on said actions:

1. General Plan amendment from Regional Commercial to High Density Residential.
2. Rezone of the property from Commercial Regional (CR) to High Density Residential (R4).
3. Vesting Tentative Subdivision Map for two-lot subdivision for residential condominium purposes to accommodate a project with 142 townhouses, vehicular driveways, parking, and common and private open spaces.

The project also requires approval of Architectural Review, which will address the demolition of the building, site design and architecture. In accordance with Chapter 18.120, Architectural Review is conducted by the Director of Community Development or designee through a Development Review Hearing process, which is a public hearing.

#### **DISCUSSION**

The developer proposes to construct 142 "for-sale" townhouses, spread out in 13 four-story townhouse-style buildings. Each building would contain seven to twenty residential units. The buildings would have a maximum height of 50 feet. Each townhouse would have a one- or two-car garage on the ground floor, with residential units located above. The project includes approximately 0.45-acre common recreational space available for residents, although it is not eligible for credit against the project's parkland dedication requirement. xxxxxx. The project is providing 20 percent of the total number of units (or 29 units) to be very low, low or moderate affordable housing units, exceeding the City's affordable housing ordinance requirement of 15 percent affordable housing units. The proposal includes 10 percent of the units as lower income units and the other 10 percent a mix of very low- and moderate-income units. Pursuant to the State Density Bonus Law, the project qualifies for two incentives or concessions and any waivers that physically preclude the construction of a development.

Primary considerations for the project include consistency with the City's General Plan, conformance with the City Code requirements for the High Density Residential (R4) Zoning district and subdivisions.

#### **General Plan Conformance**

The General Plan land use designation for the project site is Santa Clara Station Regional Commercial. The Santa Clara Station Regional Commercial General Plan designation is intended for commercial developments that serve both Santa Clara residents and the surrounding region with an emphasis on office and hotel uses. The project includes a General Plan Amendment to the Santa Clara Station High Density Residential land use designation. This classification is intended for residential development at densities ranging from 37 to 50 dwelling units per gross acre (du/ac). This density range is typically located in areas adjacent to major



transportation corridors, transit or mixed uses. High Density Residential development has an urban feel, with mid rise buildings, structured or below grade parking, and shared open space.

On balance, the project is consistent with the City's General Plan. The proposed project is consistent with the following General Plan Policies:

General Land Use Policies

- 5.3.1-P2: Encourage advance notification and neighborhood meetings to provide an opportunity for early community review of new development proposals.
- 5.3.1-P26: Support a community-initiated planning process so that existing neighborhoods can participate in developing more detailed plans for street, landscape and pedestrian facility improvements.

The applicant conducted two community meetings to involve neighboring property owners in the design of the project. Notices were mailed to property owners within 1,000 feet of the project boundaries and interested parties.

- 5.3.1 P4 Encourage new development that meets the minimum intensities and densities specified in the land use classifications or as defined through applicable Focus Area, Neighborhood Compatibility or Historic Preservation policies of the General Plan.

The proposed residential project would develop the subject site at a density of 37.4 du/acre in conformance with the density range specified for the Santa Clara Station High Density Residential land use designation (37-50 du/acre).

- 5.3.1-P8: Work with property owners to improve or redevelop underutilized and vacant properties.
- 5.3.1-P9: Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

Currently the site is developed with a two-story office building and a one-story light industrial building, and the proposed project would redevelop the subject site, with 142 townhouses and private on- and off-site improvements, that include private street, utilities, and landscaping.

- 5.3.1-P10: Provide opportunities for increased landscaping and trees in the community, including requirements for new development to provide street trees and a minimum 2:1 on- or off-site ratio replacement for trees removed as part of the proposal to help increase the urban forest and minimize the heat island effect.

The proposed buildings are articulated with open landscaped courtyards and setbacks allowing for additional trees and ground cover. The proposed development plan includes landscaping of the site and the project street frontage with a variety of plant and tree species. All the 59 existing trees on site would be removed and 64 new trees will be planted on-site. Additional trees would also be planted offsite by collecting an in-lieu fee to meet the minimum replacement ratio of 2:1 as required by the General Plan.

- 5.3.1-P12: Encourage convenient pedestrian connections within new and existing developments.
- 5.3.1 P15 Require new developments and major public infrastructure projects to include adequate rights-of way to accommodate all modes of transportation.
- 5.3.1-P14 Encourage Transportation Demand Management strategies and the provision of bicycle and pedestrian amenities in all new development greater than 25 housing units or more than 10,000 non residential square feet, and for City employees, in order to decrease use of the single occupant

automobile and reduce vehicle miles traveled, consistent with the Climate Action Plan.

The project would construct an eight-foot-wide sidewalk with a six-foot wide landscape strip along the project street frontage. A new 26-foot-wide two-way private street would provide ingress and egress for the project site.

Consistent with the City's Climate Action Plan (2022), the applicant has provided a draft Transportation Demand Management (TDM) plan demonstrating a vehicle miles travelled (VMT) reduction of 20 percent.

- P.3.1-P29: Encourage design of new development to be compatible with, and sensitive to, nearby existing and planned development, consistent with other applicable General Plan policies.

The site plan has been designed to maintain the future pedestrian connections with the adjacent sites to the north and to the east as envisioned in the Specific Plan.

#### Residential Land Use Goals and Policies

- 5.3.2-P4 Encourage indoor and outdoor private and common spaces as part of all new residential developments, including clustering of units to maximize open space opportunities where appropriate.

The developer has worked with staff to cluster the units to provide the most useable amount of common recreational area located in three areas of the site for the residents.

#### Santa Clara Station Focus Area Policies

- 5.4.3 P2 Maximize residential development within walking distance of the Station, particularly on the northeast side of the Caltrain corridor.
- 5.4.3-P7 Provide appropriate transition between new development and adjacent uses consistent with General Plan Transition Policies.
- 5.4.3-P9 Encourage streetscape design with street trees, wider sidewalks, pedestrian oriented lighting, curb bulb outs and special paving and/or striping within the Focus Area to emphasize accessibility.
- 5.4.3-P10 Orient building street frontages to the ground level with residential entries, stoops and windows, and commercial store fronts.
- 5.4.3-P20 Highly encourage the development of affordable housing and senior housing that is well designed and compatible with adjacent uses in the Santa Clara Station Focus Area.

#### Transition Policies

- 5.5.2-P1: Require that new development incorporate building articulation and architectural features, including front doors, windows, stoops, porches or bay windows along street frontages, to integrate new development into the existing neighborhoods.
- 5.5.2 P2 Implement design review guidelines for setback, heights, materials, massing, articulation and other standards to support Transition Policies and promote neighborhood compatibility.
- 5.5.2-P3: Implement site design solutions, such as landscaping and increased building setbacks, to provide buffers between nonresidential and residential uses.
- 5.5.2 P9 Improve pedestrian amenities, including sidewalks and bicycle paths, to promote neighborhood compatibility.

Consistent with the Station Area and Transition policies above, the project incorporates modern architecture buildings with a mix of materials and architectural features to create visual breaks and interest in the design for compatibility with the surrounding development. The front of the buildings, as well as individual unit front doors are oriented to the street frontage, Coleman Avenue. Interconnected pedestrian paths connect through various courtyards and green spaces connecting to the public sidewalk fronting the site and neighboring properties.

The project includes landscaped building setbacks to transition the proposed four-story residential development on the site from adjacent commercial properties. A new sidewalk along the project frontage will be provided to enhance the connection to the surrounding properties.

The proposed project is a land use change on the site from commercial to residential. General Plan Policy 5.4.3 P2 directs for residential development to be maximized within walking distance of the Station. While the proposed Santa Clara Station High Density Residential land use designation (37-50 du/acre) is not the highest density in the Station Area, it is in the midrange of the densities. The project at a density of 37.4 dwelling units per acre will provide for a diversity in unit types for the area.

Finally, consistent with 5.4.3 P20, the project would contribute 142 units towards the City's regional housing needs including adding 29 low-income units.

### ***Santa Clara Station Area Specific Plan***

The City's General Plan, adopted in 2010, included the Santa Clara Station Area as a near-term Focus Area. The City is in the process of drafting a Santa Clara Station Area Specific Plan, which will establish a framework for development of that Focus Area, 244 acres generally bounded by De La Cruz Boulevard, Reed Street, and Martin Avenue to the northeast, and Franklin Street and El Camino Real to the southwest. At the center of this area is the existing Santa Clara Transit Station, which is served by Caltrain and Altamont Commuter Express (ACE) rail lines and Valley Transportation Authority (VTA) bus service. City staff is currently working with a team of consultants and the Station Area Task Force on preparing the plan, tentatively to be adopted sometime in 2026.

### ***Zoning Conformance***

The project would rezone the property from Commercial Regional (CR) to High Density Residential (R4) to accommodate the construction of 142 units. The purpose of the R4 High-Density Zone is to provide land areas for the construction, use, and occupancy of multi-family dwellings, such as rowhouses, townhouses, and low-rise apartments. It is the intent of this zone to encourage development types that use innovative site planning provides on-site recreational amenities and be located near neighborhood commercial centers. The project proposes a density of 37.6 units per acre that would be in conformance with the density range of 37-51 units per acre.

The project is required to adhere to site-specific development standards set forth in the proposed R4 zoning district. However, under the State Density Bonus Law the applicant has requested waivers from the side and rear setback, and private and common open space requirements. The R4 zoning district requires a side setback of 10 feet, where five feet is provided and a rear setback of 20 feet where nine feet is provided. Private open space is required at 60 square feet per unit for 50% of the units. The project provides balconies for 50% of the units, however, for 31 of those units the square footage is only 52 square feet, 8 square feet less than the requirement. While open space has been clustered on the site to provide 17,600 square feet of common recreational area for the residents it is still short of the 28,400 square feet required by the Zoning Code Section 18.10.030(200 square feet per unit). While the preference would be to have more private and common open space, under the State Density Bonus Law the project does qualify to request for a waiver. Applicant has worked with staff to provide as much common space as possible given the site constraints.

The project was deemed cleared by the City's Project Clearance Committee and the Subdivision Committee (PCC/SC) on July 1, 2025, and appropriate Conditions of Approval were added and are available as Attachments 4 and 5.

### ***Affordable Housing***

The proposed project is subject to the City's Affordable Housing Ordinance (Chapter 17.40) and is required to designate 15 percent of the 142 units (or 21 units) as affordable housing. The project is proposing 20 percent (29 units) of the total units for households as very low-, low- and moderate-income units. Affordable units shall

be reasonably dispersed throughout the project and contain the same number of bedrooms as market rate units.

### **Subdivision**

In accordance with Chapter 17.05 of the City Code, the project requires a tentative subdivision map. The application proposes a two-lot subdivision for residential condominium purposes. The Subdivision Committee reviewed and deemed the application cleared on July 1, 2025, satisfying code requirements, and including conditions of approval contained in Attachment 7.

The subdivision includes on-site and off-site improvements. Primary access to the project site is from via a new 26-foot wide, two-way directional driveway on Coleman Avenue. The project would construct an eight-foot -wide separated sidewalk with a six-foot landscape strip along the project frontage. A Class IV protected bikeway was approved by Council on the east side of Coleman Avenue along the project frontage.

### **Site Design, Architecture and Parking**

The project features thirteen four-story residential buildings, each with seven to twenty townhouse units. The current architecture is conceptual for the buildings and is an overall modern architecture style providing a mix of materials. Formal evaluation of architecture will occur through the Architectural Review process in accordance with Chapter 18.120 of the City Code as the current proposed elevations are being refined.

The project provides a total of 235 parking spaces (194 garage spaces and 40 surface parking spaces), whereas the code requires 201 parking spaces. The proposed parking exceeds the parking requirement per Zoning Code Section 18.22.050 (one parking space for each of the studio and one-bedroom units and 1.5 parking spaces for each of the two-bedroom units). Loading zones would be provided for each building. Consistent with the City Code, the project would provide one secure private bicycle parking space per unit located in the five parking garages with electrical outlets (142 Class I bicycle parking spaces), seven short-term, public Class II bike racks, and a do-it-yourself bicycle repair station (e.g., air pump and basic tools) so cyclists can conduct repairs as needed.

### **ENVIRONMENTAL REVIEW**

The potential environmental impacts of the project are addressed in a Mitigated Negative Declaration (MND) the City prepared in accordance with the California Environmental Quality Act (CEQA). The MND and Notice of Intent to Adopt were posted on the City's website and were circulated for 20-day review on July 11, 2025, and closed on July 30, 2025, in accordance with CEQA.

The MND analyzed the project's impact in the various environmental topics covered by CEQA. Most topics were found to have less than significant impact or no impact. The following topics were found to have potential impacts that could be reduced to less than significant with mitigation: air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, and tribal cultural resources. In support of greenhouse gas emission reductions, the project will implement an all-electric design. The mitigations and responsible parties for mitigation are included in the mitigation monitoring and reporting program (MMRP) (Attachment 1).

There were five public comments received on the MND including from Muwekma Ohlone Indian Tribe, Department of Toxic Substances Control (DTSC), City of San José Airport Department, Santa Clara Valley Transportation Authority (VTA), and Valley Water. A response to comments was prepared and posted on the project's CEQA page. The link to the CEQA page is included in Attachment 1.

### **FISCAL IMPACT**

There is no fiscal impact to the City for processing the requested application other than administrative time and expense typically covered by processing fees paid by the applicant.

**COORDINATION**

This report has been coordinated with the City Attorney's Office, Parks and Recreation Department and Public Works Department.

**PUBLIC CONTACT**

On July 23, 2025, a hearing notice was published in the Santa Clara Weekly and on July 21, 2025, a notice of public hearing for this item was mailed to property owners within 1,000 feet of the project site boundaries and emailed to interested parties. This provides more than the minimum 20-day notice required by State law for rezonings. At the time of writing this report, Staff has received five public comments on the project and they are available as Attachment 9.

**Community Meetings**

Consistent with the City's Public Outreach Policy for Planning Applications, public outreach meetings were conducted by the Property Owner/Applicant on October 10, 2024 (in-person) and on March 31, 2024 (virtual), to engage the neighborhood community in the planning process. Notices of the meetings were mailed by the Property Owner/Applicant to properties within 1,000 feet of the project site boundaries and a recording and meeting minutes were posted on the City's website. These meetings provided the community opportunities to review and comment on the proposal. Key topics at these meetings included the site plan, consistency with the Station Area Specific Plan, rideshare drop off/pick up and deliveries location, affordability, relocation of existing commercial tenants, and project timeline.

**ALTERNATIVES**

1. Adopt a resolution recommending the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring or Reporting Program for the proposed residential townhome project at 1400 Coleman Avenue.
2. Adopt a resolution recommending the City Council approve the General Plan amendment to change the land use designation from Regional Commercial to High Density Residential.
3. Adopt a resolution recommending the City Council approve a rezoning of the project site from Commercial Regional (CR) to High Density Residential (R4) subject to conditions of approval.
4. Adopt a resolution recommending City Council approve a Vesting Tentative Subdivision Map for condominium purposes, subject to conditions of approval.
5. Recommend the City Council deny the General Plan amendment to change the land use designation from Regional Commercial to High density Residential.
6. Recommend the City Council deny a rezoning of the project site from Commercial Regional (CR) to High Density Residential (R4).
7. Recommend the City Council deny a Vesting Tentative Subdivision Map for condominium purposes.

**RECOMMENDATION**

Alternatives: 1, 2, 3 and 4

1. Adopt a resolution recommending the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring or Reporting Program for the proposed residential townhome project at 1400 Coleman Avenue.
2. Adopt a resolution recommending the City Council approve the General Plan amendment to change the land use designation from Regional Commercial to High Density Residential.
3. Adopt a resolution recommending the City Council approve a rezoning of the project site from Commercial Regional (CR) to High Density Residential (R4) subject to conditions of approval.
4. Adopt a resolution recommending City Council approve a Vesting Tentative Subdivision Map for condominium purposes, subject to conditions of approval.

Prepared by: Nimisha Agrawal, Senior Planner

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

**ATTACHMENTS**

1. Web Link to the Project Page and Mitigated Negative Declaration (MND) and Mitigation Monitoring or Reporting Program (MMRP)
2. Resolution Recommending Council adopt the Mitigated Negative Declaration (MND) and the Mitigation Monitoring or Reporting Program (MMRP)
3. Resolution Recommending Council Approve the General Plan Amendment
4. Resolution Recommending Council Approve the Rezone
5. Resolution Recommending Council Approve the Vesting Tentative Subdivision Map
6. Conditions of Tentative Subdivision Map Approval
7. Vicinity Map
8. Public Comments Received
9. Project Data and Compliance
10. Development Plans
11. Vesting Tentative Subdivision Map

## **Web Links- Project Website and Mitigated Negative Declaration (MND) and Mitigation Monitoring or Reporting Program (MMRP)**

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### **Project Website:**

[1400 Coleman Avenue - Coleman Village | Projects Listing | City of Santa Clara](#)

### **Environmental Website:**

[1400 Coleman Avenue Residential Project \(CEQA\) | CEQA Pending Approvals Directory | City of Santa Clara](#)

Link to the MND and MMRP prepared for the current proposal.

<https://www.santaclaraca.gov/home/showpublisheddocument/87436/638876663987870000>

### **Response to Comments:**

<https://www.santaclaraca.gov/home/showpublisheddocument/87697>

**These documents are available for viewing in the Community Development Department**



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING  
THAT THE CITY COUNCIL ADOPT THE MITIGATED  
NEGATIVE DECLARATION AND THE MITIGATION  
MONITORING AND REPORTING PROGRAM FOR THE  
PROPOSED RESIDENTIAL PROJECT LOCATED AT 1400  
COLEMAN AVENUE, SANTA CLARA**

PLN24-00267 (General Plan Amendment and Rezone)  
PLN24-00332 (Vesting Tentative Subdivision Map)

Initial Study/Mitigated Negative Declaration (IS/MND) (SCH # .....)

**WHEREAS**, on May 28, 2024, City Ventures (“Applicant”), on behalf of Grant Associates LP (“Owner”) filed a development application for the 3.8-acre site located at 1400 Coleman Avenue (APN: 230-05-021), which is developed with a two-story office building, a one-story light industrial building, and a surface parking lot (“Project Site”); and

**WHEREAS**, the Applicant proposes a General Plan amendment to change the land use designation from Regional Commercial to High Density Residential; a rezone of the property from Commercial Regional (CR) to High Density Residential (R4); and a Vesting Tentative Subdivision Map application to allow the construction of 142 townhouse units in thirteen residential buildings, associated on- and off-site improvements (“Project”); as shown on the attached Development Plans and Vesting Tentative Subdivision Map, incorporated herein by this reference; and

**WHEREAS**, the City, as Lead Agency, in tandem with Consultant ‘David J. Powers’ prepared an Initial Study (“IS”) and a Mitigated Negative Declaration for the proposed project in accordance with the California Environmental Quality Act (“CEQA”), which was circulated for a 20-day review to public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons and agencies, and the City sought the comments of such persons and agencies beginning on July 11, 2025 and concluding on July 30, 2025 (“Comment Period”); and

**WHEREAS**, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the Initial Study to less than significant; and

**WHEREAS**, the City through consultant ‘David J. Powers’ prepared written responses to the comments received during the Comment Period and included these responses on the project’s CEQA page; and

**WHEREAS**, on July 23, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the *Santa Clara Weekly*, for the Planning Commission Hearing to be conducted on August 13, 2025; and

**WHEREAS**, on July 21, 2025, the notice of public hearing for the August 13, 2025, Planning Commission meeting for this item was mailed to property owners within a 1,000-foot radius of the Project Site boundaries; and

**WHEREAS**, pursuant to SCCC Section 18.146.020, on August 2, 2025, notices of the public hearing of August 13, 2025, were posted at City Hall, the Central Park Library, the Mission Branch Library, the Northside Branch Library, and on the City’s website; and

**WHEREAS**, on August 13, 2025, the Planning Commission held a duly noticed public hearing to consider the Project, the MND, the MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that all potentially significant environmental impacts that may directly or indirectly result from the Project would be reduced to a less than significant level by implementation of the mitigation measures specified in the MND and MMRP.

3. That the Planning Commission hereby finds that the MND is complete, prepared in compliance with CEQA, and represents the independent judgment of the Planning Commission.

4. That the Planning Commission hereby recommends that the City Council finds that the MND and MMRP for this Project has been completed in compliance with CEQA, and that approval of this Project as mitigated will have no significant negative impacts on the area's environmental resources, cumulative or otherwise, as the impacts as mitigated would fall within the environmental thresholds identified by CEQA.

5. That the Planning Commission hereby recommends that the City Council adopt the MND and MMRP for the Project as required by the CEQA Guidelines (14 Cal. Code of Regs. § 15074).

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 13TH DAY OF AUGUST 2025, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
AFSHAN HAMID, AICP  
DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Mitigated Negative Declaration (MND)
2. Mitigation Monitoring and Reporting Program (MMRP)

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING  
THAT THE CITY COUNCIL APPROVE A GENERAL PLAN  
AMENDMENT FROM REGIONAL COMMERCIAL TO HIGH  
DENSITY RESIDENTIAL FOR THE PROPOSED RESIDENTIAL  
PROJECT LOCATED AT 1400 COLEMAN AVENUE, SANTA  
CLARA**

PLN24-00267 (General Plan Amendment and Rezone)

PLN24-00332 (Vesting Tentative Subdivision Map)

Initial Study/Mitigate Negative Declaration (IS/MND) (SCH # .....)

**WHEREAS**, on May 28, 2024, City Ventures (“Applicant”), on behalf of Grant Associates LP (“Owner”) filed a development application for the 3.8-acre site located at 1400 Coleman Avenue (APN: 230-05-021), which is developed with a two-story office building, a one-story light industrial building, and a surface parking lot (“Project Site”);

**WHEREAS**, the Applicant proposes a General Plan amendment to change the land use designation from Regional Commercial to High Density Residential; a rezone of the property from Commercial Regional (CR) to High Density Residential (R4); and a Vesting Tentative Subdivision Map application to allow the construction of 142 townhouse units in thirteen residential buildings, associated on- and off-site improvements (“Project”);

**WHEREAS**, a Mitigated Negative Declaration was prepared for the proposed project in accordance with the California Environmental Quality Act (“CEQA”) and was circulated for 20-day review to public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons and agencies, and sought the comments of such persons and agencies beginning on July 11, 2025 and concluding on July 30, 2025 (“Comment Period”);

**WHEREAS**, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the Initial Study to less than significant;

**WHEREAS**, Santa Clara City Charter Section 1007 requires that the Planning Commission provide input to the City Council on any proposed General Plan amendment;

**WHEREAS**, Government Code Section 65353 requires the Planning Commission to hold a public hearing prior to making a recommendation on the General Plan Amendment;

**WHEREAS**, on July 23, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the *Santa Clara Weekly*, for the Planning Commission Hearing to be conducted on August 13, 2025;

**WHEREAS**, on July 21, 2025, the notice of public hearing for the August 13, 2025, Planning Commission meeting for this item was mailed to property owners within a 1,000-foot radius of the Project Site boundaries;

**WHEREAS**, pursuant to SCCC Section 18.146.020, on August 2, 2025, notices of the public hearing of August 13, 2025, were posted at City Hall, the Central Park Library, the Mission Branch Library, the Northside Branch Library, and on the City's website; and

**WHEREAS**, on August 13, 2025, the Planning Commission held a duly noticed public hearing to consider the Project, the MND, the MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. That the Planning Commission finds and determines that the General Plan Amendment is in the interest of the public good for the following reasons:

- A. The proposed amendment is deemed to be in the public interest, in that the project provides 142 "for-sale" townhouses in an urbanized area served by existing municipal services and invests in public services and infrastructure with on- and off-site improvements, like providing "complete streets" along the project frontage;

B. The proposed General Plan amendment is consistent and compatible with the rest of the General Plan and any implementation programs that may be affected, in that the proposal utilizes and improves an underutilized property for use as a residential development;

C. The potential impacts of the proposed amendment have been assessed and have been determined not to be detrimental to the public health, safety, or welfare, in that as proposed, it includes all feasible mitigation to reduce the potential adverse environmental effects of the project to less-than-significant levels; and

D. The proposed amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA), in that a Mitigated Negative Declaration (MND) and a Mitigation Monitoring and Reporting Program has been prepared.

3. That the Planning Commission hereby recommends that the City Council, pursuant to Government Code § 65353, amend the General Plan by changing the General Plan Land Use Designation from Regional Commercial to High Density Residential to allow the construction of 142 for-sale townhouse units.

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4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 13TH DAY OF AUGUST 2025, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONER:

ATTEST: \_\_\_\_\_  
AFSHAN HAMID  
DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:  
1. None



**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING  
THAT THE CITY COUNCIL APPROVE A REZONE FROM  
COMMERCIAL REGIONAL TO HIGH DENSITY RESIDENTIAL  
(R4) FOR THE PROPOSED RESIDENTIAL PROJECT  
LOCATED AT 1400 COLEMAN AVENUE, SANTA CLARA**

PLN24-00267 (General Plan Amendment and Rezone)

PLN24-00332 (Vesting Tentative Subdivision Map)

Initial Study/Mitigate Negative Declaration (IS/MND) (SCH # .....)

**WHEREAS**, on May 28, 2024, City Ventures (“Applicant”), on behalf of Grant Associates LP (“Owner”) filed a development application for the 3.8-acre site located at 1400 Coleman Avenue (APN:230-05-021), which is developed with a two-story office building, a one-story light industrial building, and a surface parking lot (“Project Site”);

**WHEREAS**, the Applicant proposes a General Plan amendment to change the land use designation from Regional Commercial to High Density Residential; a rezone of the property from Commercial Regional (CR) to High Density Residential (R4); and a Vesting Tentative Subdivision Map application to allow the construction of 142 townhouse units in thirteen residential buildings, associated on- and off-site improvements (“Project”);

**WHEREAS**, a Mitigated Negative Declaration was prepared for the proposed project in accordance with the California Environmental Quality Act (“CEQA”) and was circulated for 20-day review to public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons and agencies, and sought the comments of such persons and agencies beginning on July 11, 2025 and concluding on July 30, 2025 (“Comment Period”);

**WHEREAS**, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the Initial Study to less than significant;

**WHEREAS**, the Santa Clara City Code (SCCC) provides for the review and recommendation of the City's Planning Commission of all rezoning requests before action is to be taken by the City Council;

**WHEREAS**, on July 23, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the *Santa Clara Weekly*, for the Planning Commission Hearing to be conducted on August 13, 2025;

**WHEREAS**, on July 21, 2025, the notice of public hearing for the August 13, 2025, Planning Commission meeting for this item was mailed to property owners within a 1,000-foot radius of the Project Site boundaries;

**WHEREAS**, pursuant to SCCC Section 18.146.020, on August 2, 2025, notices of the public hearing of August 13, 2025, were posted at City Hall, the Central Park Library, the Mission Branch Library, the Northside Branch Library, and on the City's website; and

**WHEREAS**, on August 13, 2025, the Planning Commission held a duly noticed public hearing to consider the Project, the MND, the MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby recommends that the City Council rezone the Project Site from Commercial Regional (CR) to High Density residential (R4) to allow the construction of 142 townhouse units in thirteen residential buildings, associated on- and off-site improvements, as shown on the attached Development Plans , incorporated herein by this reference.

3. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 13TH DAY OF AUGUST 2025, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
AFSHAN HAMID  
DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:  
1. Development Plans

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING  
THAT THE CITY COUNCIL APPROVE A VESTING TENTATIVE  
SUBDIVISION MAP FOR CONDOMINIUM PURPOSES FOR  
THE PROPOSED RESIDENTIAL PROJECT LOCATED AT 1400  
COLEMAN AVENUE, SANTA CLARA**

PLN24-00267 (General Plan Amendment and Rezone)  
PLN24-00332 (Vesting Tentative Subdivision Map)

Initial Study/Mitigated Negative Declaration (IS/MND) (SCH # .....)

**WHEREAS**, on May 28, 2024, City Ventures (“Applicant”), on behalf of Grant Associates LP (“Owner”) filed a development application for the 3.8-acre site located at 1400 Coleman Avenue (APN:230-05-021), which is developed with a two-story office building, a one-story light industrial building, and a surface parking lot (“Project Site”);

**WHEREAS**, the Applicant proposes a General Plan amendment to change the land use designation from Regional Commercial to High Density Residential; a rezone of the property from Commercial Regional (CR) to High Density Residential (R4); and a Vesting Tentative Subdivision Map application to allow the construction of 142 townhouse units in thirteen residential buildings, associated on- and off-site improvements (“Project”); as shown on the attached Development Plans and Vesting Tentative Subdivision Map, incorporated herein by this reference;

**WHEREAS**, pursuant to Section 17.05.210 of the Code of the City of Santa Clara (“SCCC”), a Tentative Subdivision Map shall be required for all divisions of land into five or more parcels;

**WHEREAS**, consistent with the proposed uses under the development plan, the proposal includes the division of the site for condominium purposes for up to 142 for-sale townhouses, as shown on the proposed Vesting Tentative Subdivision Map, attached hereto and incorporated herein by this reference;

**WHEREAS**, on July 1, 2025, the Subdivision Committee determined that the application was cleared and that the Vesting Tentative Subdivision Map be reviewed by the Planning

Commission and the City Council in conformance with Section 17.05.300 of the SCCC as a Vesting Tentative Subdivision Map along with the Project;

**WHEREAS**, the City, as Lead Agency, in tandem with Consultant 'David J. Powers' prepared an Initial Study ("IS") and a Mitigated Negative Declaration for the proposed project in accordance with the California Environmental Quality Act ("CEQA") and was circulated for 20-day review to public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons and agencies, and sought the comments of such persons and agencies beginning on July 11, 2025 and concluding on July 30, 2025 ("Comment Period");

**WHEREAS**, a Mitigation Monitoring and Reporting Program ("MMRP") has been prepared for implementation with Project development to reduce potentially significant impacts identified in the Initial Study to less than significant;

**WHEREAS**, the City through consultant 'David J. Powers' prepared written responses to the comments received during the Comment Period and included these responses on the project's CEQA page;

**WHEREAS**, Section 17.05.300 (g) of the SCCC requires that the Planning Commission conduct a public hearing before considering the approval of a Vesting Tentative Subdivision Map for the division of land;

**WHEREAS**, on July 23, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the *Santa Clara Weekly*, for the Planning Commission Hearing to be conducted on August 13, 2025;

**WHEREAS**, on July 21, 2025, the notice of public hearing for the August 13, 2025, Planning Commission meeting for this item was mailed to property owners within a 1,000-foot radius of the Project Site boundaries;

**WHEREAS**, pursuant to SCCC Section 18.146.020, on August 2, 2025, notices of the public hearing of August 13, 2025, were posted at City Hall, the Central Park Library, the Mission Branch Library, the Northside Branch Library, and on the City's website; and

**WHEREAS**, on August 13, 2025, the Planning Commission held a duly noticed public hearing to consider the Project, the MND, the MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. Vesting Tentative Subdivision Map Findings. Pursuant to California Government Code Sections 66426 and 66428 and SCCC Section 17.05.300(h), the Planning Commission finds and determines that:

A. The Vesting Tentative Subdivision Map is consistent with the objectives, policies, general land use and programs specified in the City's General Plan in that the proposed Vesting Tentative Subdivision Map is to subdivide the parcel for condominium purposes to allow the residential development with 142 townhouses, and on- and off-site improvements.

B. The design and improvements of the proposed subdivision are consistent with the City's General Plan in that the Vesting Tentative Subdivision Map would facilitate development of housing stock and construction of ownership housing opportunities for the community; and furthermore redevelop an underutilized property (Policy 5.3.1-P8), provide adequate landscaping and replace trees at a 2:1 ratio (Policy 5.3.1-P10), include sidewalks (Policy 5.3.1-P16), and provide a design that is compatible with and sensitive to neighboring residential development (Policy 5.3.1-P29).

C. The site is physically suitable for the proposed type of development in that the Project is designed to provide high quality housing consistent with existing and planned development in the surrounding area.

D. The site is physically suitable for the proposed type of development in that the Project is in an urbanized area and is designed to provide high quality housing consistent with existing and planned development in the surrounding area.

E. The design of the subdivision and type of improvements are not likely to cause serious health problems in that the impacts of the proposed residential subdivision have been analyzed in the Initial Study, and with mitigation, most impacts related to health were determined to be less than significant.

F. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage and will not substantially or unavoidably injure fish or wildlife or their habitat in that the Project Site is located in an urbanized setting, on a previously developed site, and includes mitigation measures, as identified in the Mitigated Negative Declaration (MND) and MMRP, that reduce impacts to wildlife and their habitat to less than significant levels.

G. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision in that, the Project is designed to avoid encroachments and conflicts with public easements in the site design.

H. The Vesting Tentative Subdivision Map provides, to the extent feasible, for future passive or natural heating or cooling opportunities, in that it would allow flexibility in the development standards to maximize the benefits of green building standards for site and building design.

3. Based on the findings set forth in this Resolution and the evidence in the Staff Report, the MND, the MMRP, and such other evidence as received at the public hearings on this matter before the Planning Commission, the Planning Commission hereby recommends approval of the Vesting Tentative Subdivision Map to the City Council, substantially in the form on file as



shown in the attached Vesting Tentative Subdivision Map and Conditions of Vesting Tentative Subdivision Map Approval, incorporated herein by this reference.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 13TH DAY OF AUGUST 2025, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
AFSHAN HAMID  
DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Vesting Tentative Subdivision Map
3. Conditions of Vesting Tentative Subdivision Map Approval



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## **CONDITIONS OF APPROVAL**

### **PLN24-00267 and PLN24-00332 1400 Coleman Avenue APNs: 230-05-021**

**Project Description:** *Initial Study and Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map (PLN24-00267 and PLN24-00332) for the Property Located at 1400 Coleman Avenue to Allow the Development of 142 Townhome Units and Associated On- and Off-Site Improvements.*

#### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is **TBD**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
- During construction retaining a single company to install all fire related penetrations is highly recommended.
  - The grade level lobbies shall be minimum 1-hour rated all sides and above.
  - All stair shafts shall be minimum 1-hour rated.
  - All elevator shafts shall be minimum 1-hour rated.
  - All trash chute shafts shall be minimum 1-hour rated.
  - Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - Any trash rooms shall be minimum 1-hour rated all sides and above.

- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
  - a. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

## **COMMUNITY DEVELOPMENT – PLANNING DIVISION**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Separated Sidewalk:** The project shall construct a separated sidewalk consistent with Gateway Crossings project across the street, including an 8-foot sidewalk and 6-foot landscape strip.
- P3. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1. (SCC 12.35.090)
- P4. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of TBD pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)
- P5. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.

### **DURING CONSTRUCTION -- PRIOR TO OCCUPANCY**

- P6. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P7. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P8. **Construction Parking.** Off street parking is required to be available from the time of issuance of building permits until the issuance of certificate of occupancy. 36 parking spaces shall be made available. Off-street construction parking lots are required to be maintained mud-free and dustless. If the off-street construction parking lot is located on an unpaved surface, daily street sweeping of surrounding streets is required. (SCC 18.38.030)
- P9. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

### **OPERATIONAL CONDITIONS**

- P10. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P11. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P12. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape of 2,500 square feet or more shall conform to the California Department of Water Efficient Landscape Ordinance.
- P13. **Transportation Demand Management (TDM) Program (Residential Project).** The owner or designee shall implement the project TDM program that includes elements to reduce vehicle miles traveled (VMT) by 20 percent with 10% through active TDM measures per the City's 2022 Climate Action Plan. A final TDM plan shall be submitted to the Director of Community Development or designee prior to Building Permit Final by the Planning Division. The property owner or designee shall monitor the project TDM program and submit an annual report to the Director of Community Development or designee. Monitoring and reporting requirements may be revised in the future if the minimum reduction is not achieved through the measures and programs initially implemented.

#### **MITIGATION MEASURES**

- P14. **Mitigation Monitoring and Reporting Program.** The Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

#### **COMMUNITY DEVELOPMENT - BUILDING DIVISION**

##### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- BD1. **Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. **Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm

Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:

- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.

BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO's.

#### **COMMUNITY DEVELOPMENT - HOUSING DIVISION**

##### **DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE**

H1. **Residential Ownership Project 10 or More Units.** In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 142 units for-sale residential development.

The Applicant shall provide not less than fifteen percent (15%) of the units (or 21.3 units) to affordable households made available at affordable sales prices to extremely low, very low, low and/or moderate-income households as long as the distribution of affordable units averages to a maximum of one-hundred (100) percent of Area Median Income. All prices are set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). Applicant shall be responsible for cost incurred under the California Building Standards (California Code of Regulations, Title 24) for the each affordable for-sale residential unit. Affordable units shall be reasonably dispersed throughout the project and shall on average contain the same number of bedrooms and shall be comparable to the design of the market-rate units in terms of appearance, material and finished quality of the market rate units in the project. Affordable units shall have the same access to the project amenities and recreational facilities as market-rate units.

Additionally, where the calculation of affordable housing requirements results in a fractional unit, the Applicant shall either pay an In-Lieu Fee or the Applicant shall provide an additional unit to satisfy the requirement. Any in-lieu fee payment due to the City by the Applicant shall be payable prior to the issuance of the certificate of occupancy. The in-lieu fee amount shall be equal to the difference between the unrestricted appraised market value ("Initial Market Value") and the Affordable Sales Price of one of

the BMP units at completion, multiplied by the fractional unit. The Initial Market Value of the last BMP unit sold shall be the basis for calculating the in-lieu fee to be paid by Applicant.

Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price, identify the actual unit to be sold as the Affordable Unit, and apply all terms and covenants guaranteeing the prescribed affordability, to the satisfaction of the Director of Community Development. There is a fee for the AHA preparation in the amount of \$4,352 which will be due prior to execution of the AHA (per Municipal Fee schedule).

- H2. **Affordable Housing Agreement.** Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price, identify the actual unit to be sold as the Affordable Unit, and apply all terms and covenants guaranteeing the prescribed affordability, to the satisfaction of the Director of Community Development. There is a fee for the AHA preparation in the amount of \$4,352 which will be due prior to execution of the AHA (per Municipal Fee schedule).

## **FIRE DEPARTMENT**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- F1. **Hazmat Clearance.** Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F1. **Hazmat Clearance.** Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at [fchun@santaclaraca.gov](mailto:fchun@santaclaraca.gov) for more information.

- F2. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.

- F3. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F4. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
- Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the “entire” face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.
  - For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.

or

- For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.
- The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-



retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.

- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F6. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F7. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F8. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8’ - 10’) above grade.
- F9. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.
- F10. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.
- F11. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

- F12. **Shared Fire Protection Features that Cross Property Lines.** Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F13. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

## **PARKS & RECREATION DEPARTMENT**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- PR1. **Park Impact Fees.** This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 273 residents (1.92 persons/household x 142 units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.8179-acres. The equivalent fee due in lieu of parkland dedication is \$5,509,884.
- PR2. **Building Permit - Payment of In-Lieu Fees.** Any in-lieu fees imposed under this Chapter shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.
- PR3. The applicant is “proposing a concession on Municipal Code 17.25.040 to set the fair market value of the property by utilizing the actual purchase price of the land per acre.” However, City Code Section 17.35.040 establishes the required formula for calculating fees in lieu of land dedication. If the applicant disagrees with the City’s determination of fair market value, they may exercise their right under Section 17.35.040(b)(2), which allows the value to be established through an appraisal. If this option is chosen, the applicant must deposit with the City an amount sufficient to cover the cost of the appraisal. The City will then coordinate the appraisal, which must be completed prior to approval of the tentative or parcel map. Please advise this department if the applicant wishes to proceed with this option. If so, the appraisal must be completed prior to approval of the tentative or parcel map, and the resulting appraised value will be used to calculate the applicable in-lieu fees.
- PR4. **Building Permit - Dwelling Unit Tax.** A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 30 studio units, 22 one-bedroom units, 8 two-bedroom units, and 82 three-bedroom units [ $\$15 \times 142$  bedrooms) + ( $\$5 \times 172$  additional bedrooms)] for a total DUT of \$2,990.

### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

PR5.

## **POLICE DEPARTMENT**

### **DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE**

- PD1. The developer shall meet the City of Santa Clara’s guidelines established for radio signal penetration, detailed in the Communications Department’s Public Safety Radio System Building Penetration Guidelines. The intended use of telecommunications sites shall be clearly and accurately stated in the use permit. The signal, of whatever nature, of any communications facility or system, shall in no way whatsoever interfere with or affect any police communication or police communication system.
- PD2. Public Safety Radio Systems Penetration Guidelines have been established by the city of Santa Clara Communications Department for radio signal penetration during emergencies. The developer is advised that the project may be required to install equipment for adequate radio coverage for the City Of Santa Clara Radio communications System, including but not limited to Police & Fire emergency services. The developer should contact the director of communications at (408) 615-5571. (for high rises)

## **PUBLIC WORKS DEPARTMENT - ENGINEERING**

### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be

identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.

- E2. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E3. **Easement.** Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.
- E4. **Design.** The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was analyzed and determined that there should be enough SS conveyance capacity to accommodate the proposed development without adding it to the City's Sanitary Sewer Hydraulic Model (SSHM).

#### **DURING CONSTRUCTION**

- E5. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E6. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E7. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E8. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E9. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E10. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E11. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E12. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.

- E13. **Encroachment Permit.** Pavement treatment shall be 2" grind and overlay with digouts for the full street width of Coleman Avenue along the project frontage.
- E14. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E15. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E16. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.

## **PUBLIC WORKS DEPARTMENT - STORMWATER**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3<sup>rd</sup> Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
  - a. Direction of roof runoff into cisterns or rain barrels
  - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
  - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces

Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.
- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.

- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

#### **DURING CONSTRUCTION OR OPERATION**

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3<sup>rd</sup> party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST17. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- ST18. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST19. **3<sup>rd</sup> Party Concurrence Letter.** 3<sup>rd</sup> Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3<sup>rd</sup> party inspection report on the C.3 stormwater facility installation.
- ST20. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST21. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or [Street@SantaClaraCA.gov](mailto:Street@SantaClaraCA.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

#### **PUBLIC WORKS DEPARTMENT - TRANSPORTATION**

##### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- TR1. **Design.** A local transportation analysis is not required for this project as it doesn't generate over 100 net new trips.

##### **DURING CONSTRUCTION**

- TR2. Encroachment Permit.** Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.
- TR3. Encroachment Permit.** Project shall comply with the mitigations, if any, identified from the VMT analysis.
- TR4. Encroachment Permit.** Improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- TR5. Encroachment Permit.** Design and construct driveway in accordance with City Standard Detail ST-8.
- TR6. Encroachment Permit.** Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.
- TR7. Encroachment Permit.** Design and construct a minimum 5-foot sidewalk on Coleman Avenue.
- TR8. Encroachment Permit.** Project shall comply with the Santa Clara Station Area Specific Plan (upon adoption of the plan) including roadway design, sidewalk width, and bicycle parking requirements.
- TR9. Encroachment Permit.** A Class IV protected bikeway was approved by City Council in October 2024. A two-way Class IV protected bikeway has been approved along the east side of Coleman Avenue between Brokaw Road and Reed Street. For more information regarding the proposed bikeway, visit City website: De La Cruz Boulevard/Coleman Avenue Bikeway Planning Study | City of Santa Clara (<https://www.santaclaraca.gov/our-city/departments-g-z/public-works/engineering/traffic-engineering/de-la-cruz-boulevard-coleman-avenue-bikeway-planning-study>). Thus, trash pickup location and loading/unloading zone shall be located on-site and per Resolution No. 24-9380 no parking will be allowed along this section of roadway.
- TR10. Encroachment Permit.** Along the Coleman Avenue project frontage, install “No Stopping” R28S (CA) signs with double arrow to implement parking removal approved by Council for the De La Cruz/Coleman Avenue bicycle planning project.
- TR11. Building Permit.** Bicycle parking requirements shall be per the City of Santa Clara Zoning Code. Class I and Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.

## **STREETS DIVISION**

### Right of Way Landscape

#### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- L1. Tree Preservations Specifications.** Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

#### **DURING CONSTRUCTION OR OPERATION**

- L4. No Public Root Cutting.** No cutting of any part of **public**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- L5. In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

### Solid Waste

#### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- SW1. Post-Construction Solid Waste Generation Estimation and Collection Form.** The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form,

which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at [Environment@SantaClaraCA.gov](mailto:Environment@SantaClaraCA.gov) or (408) 615-3080 for more information.

- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and a trench drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

#### **DURING CONSTRUCTION OR OPERATION**

- SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

#### **SILICON VALLEY POWER**

##### **GENERAL**

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP2. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.
- SVP3. **SVP Equipment Clearances:**
- Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
  - Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
  - Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
  - Barrier pipes:** (on sides accessible to vehicles)
    - Thirty (30) inches from equipment sides.



- ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

**SVP4. SVP Conduit Clearances:**

- a. **Longitudinal:** Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical:** Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
- c. **Poles/Posts:** Three (3) foot six (6) inches clearance required from poles (electroliner, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

**SVP5. SVP Vault/Manhole Clearances:**

- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
- b. Three (3) foot minimum from face of curb. (bollards required for vaults).

**SVP6. SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

**SVP7. Tree Clearances:**

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
- e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.

**SVP8. SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).

- a. UG1000 - Installation of Underground Substructures by Developers
- b. UG1250 – Encroachment Permit Clearances from Electric Facilities
- c. UG0339 – Remote Switch Pad
- d. OH1230 – Tree Clearances from Overhead Electric Lines
- e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- f. UG1225 – Pad mounted Equipment Clearances and Protection
- g. UG0250 – High Density Residential Metering Requirements
- h. FO-1901 – Fiber Optic Splicing and Testing Methods
- i. SVP Rules and Regulations – Latest Edition

**SVP9. SVP Standards, Miscellaneous:**

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.



- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

**SVP10. Meter Locations:**

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

**SVP11. Underground Service Entrance**

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

**SVP12. Code Sections:**

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City’s acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system per Santa Clara City Code chapter **17.15.210 (2)**.

**SVP13. Existing Facilities:**

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.

b. Any relocation of existing electric facilities shall be at Applicants expense.

SVP14. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be “Open-Transition-Mode”, unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

#### **DESIGN / PERFORMANCE – PRIOR TO ISSUANCE OF BUILDING PERMIT**

SVP1. **Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.

SVP2. **SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA’s must be met, or variance approvals must be granted by SVP. The developers’ work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.

SVP3. **Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications.

SVP4. **Applicants Switchgear:** All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP’s meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.

SVP5. **AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

SVP6. **Easements:** Prior to the City’s issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5’ minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).

SVP7. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.

SVP8. **Applicants Switchgear:** Applicants’ switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.

SVP9. **Electric Facilities:** Prior to the City’s issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.

SVP10. **Municipal Fees:** Prior to electric service energization, all applicable fees per the City of Santa Clara’s Municipal Fee Schedule shall be paid by the applicant.

SVP11. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

## OPERATIONAL CONDITIONS – AFTER OCCUPANCY

SVP12. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

## WATER & SEWER DEPARTMENT

### **DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT**

- W1. **Recycled Water Use.** Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City's existing Recycled Water System.
- W2. **On-site Recycled Water Construction.** Construction and installation of all on-site recycled water system equipment shall not begin until the Compliance Division of Water and Sewer Utilities has approved the on-site recycled water design. Please note on-site designs are generally not the same as the Building Permit plans. On-site recycled water plans require SBWR and California State Water Resources Control Board, Division of Drinking Water signatures for final approval.
- W3. **On-site Recycled Water Inspection.** Inspections are required at all on-site recycled water systems being installed prior to backfilling trenches or cover in walls and ceilings. Request a recycled water inspection by email [watercompliance@santaclaraca.gov](mailto:watercompliance@santaclaraca.gov) or call (408) 615-2002. Please provide the site location, SBWR project ID, and date and time preferences. These inspections are in addition to the Building Permit inspections.
- a. Need to verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W4. **Potable Water Main.** The applicant shall replace the existing water main on the Coleman frontage of the project site. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, from Carl Street to the furthest water service connection along the property's frontage or as determined by the Development Impact Analysis.
- W5. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W6. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W7. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation,

biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.

- W8. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W9. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W10. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W11. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W12. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W13. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W14. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W15. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W16. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

## DURING CONSTRUCTION

- W17. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department

Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.

- W18. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W19. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services, new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- W20. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W21. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

---

#### **KEY:**

G = General  
P = Planning Division  
BD = Building Division  
H = Housing & Community Services Division  
F = Fire Department  
PR = Parks & Recreation Department  
PD = Police Department  
E = Engineering Division  
Streets Division (Landscape, Solid Waste, and Stormwater)  
L = Landscape  
SW = Solid Waste  
ST = Stormwater  
SVP = Silicon Valley Power  
W = Water & Sewer Department

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



## Vicinity Map (General Plan) - 1400 Coleman



### Legend

City Limit

Municipal Boundary



General And Specific Plans

Specific Plan Boundaries



Santa Clara Station

General and Specific Plans



Regional Commercial



Regional Mixed Use



Very High Density Mixed Use



Parks / Open Space



Light Industrial

Specific Plan Parcels



Focus Areas

General Plan Phase II: 2015-2023



Regional Commercial



Regional Mixed Use



Very High Density Mixed Use



Public / Quasi Public



Light Industrial



Right of Way

Base Layers

Streets



Air Parcels



Land Parcels



Land Parcels



### Notes

created on 06/25/2025 10:29:54

0 500 1000 ft

NAD\_1983\_2011\_StatePanel\_California\_III\_FIPS\_0403\_Ft\_US

©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**From:** [Karina Brackett](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** City Ventures Santa Clara Project Support  
**Date:** Monday, August 4, 2025 8:45:14 PM

---

You don't often get email from [REDACTED]. [Learn why this is important](#)

Hello Nimisha,

As a proud graduate of Santa Clara University, I'm writing in support of the proposed 143-unit townhome development at 1400 Coleman Avenue, especially its inclusion of affordable for-sale homes.

During my time at SCU, I saw firsthand how difficult it was for faculty, staff, and students to live near campus. Friends and mentors often had to commute long distances or make difficult choices about their future in Santa Clara simply because affordable housing wasn't available. That disconnect affects not only individuals, but also the strength and stability of our university community.

Creating attainable homeownership opportunities in a well-planned, thoughtful development like this one is exactly the kind of progress our city needs. It would offer real pathways for educators, young professionals, and longtime residents to live where they work and build roots in the community.

Thank you for your leadership on this issue and for considering projects that help create a more inclusive and sustainable future for Santa Clara.

Sincerely,  
Karina Brackett  
Santa Clara University, Class of 2021



**From:** [REDACTED]  
**To:** [Nimisha Agrawal](#)  
**Subject:** 1400 Coleman Ave - Townhome Housing Project Support City Ventures  
**Date:** Monday, August 4, 2025 3:28:38 PM

---

You don't often get email from [REDACTED]. [Learn why this is important](#)

Good afternoon Nimisha,

I hope you are doing well.

I am writing to share my support for 1400 Coleman Avenue. As a former student of Santa Clara University I know how expensive housing is in this area, and I know how desperately this area needs additional housing. I believe this project's focus on affordable for-sale homes will address a critical need in this city.

The housing crisis in the South Bay has had a deep impact on students, recent graduates, and young professionals. Despite earning degrees and securing jobs locally, many of us are priced out of the communities we want to serve and contribute to. Without more housing options, cities like Santa Clara risk losing the next generation of teachers, engineers, entrepreneurs, and civic leaders.

This development is a step in the right direction. It offers stable homeownership opportunities in a location close to jobs, transit, and community assets — exactly what thoughtful urban planning should prioritize.

I urge you to support this proposal and continue championing projects that make Santa Clara a place where people at all stages of life can afford to live and thrive.

Thank you,  
Adam Foley  
Former Santa Clara University Student Class of 2021

[REDACTED]

Details about the personal data CBRE collects and why, as well as your data privacy rights under applicable law, are available at [CBRE – Privacy Policy](#).

**From:** [Aria Amirbahman](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** Santa Clara subdivision development  
**Date:** Tuesday, July 29, 2025 2:38:18 PM

---

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Ms. Agarwal,

As Chair and Professor in the Department of Civil, Environmental, and Sustainable Engineering at Santa Clara University, I write in strong support of the proposed 143-unit townhome project at 1400 Coleman Avenue, which includes a substantial number of affordable for-sale homes.

The lack of attainable housing near our campus continues to be a serious barrier for faculty, staff, and students alike. The high cost of living in Santa Clara County makes homeownership out of reach for many in our university community, often resulting in long commutes and discouraging long-term settlement in the region. These conditions hinder both faculty retention and our ability to recruit new academic talent.

Developments like this one are critical to creating pathways to homeownership for educators and other local professionals. The project is thoughtfully planned and aligns with the City's vision for the neighborhood.

I urge you to approve this proposal. It would provide direct support for the higher education community and foster stronger connections between Santa Clara's institutions and the broader region. Thank you for your consideration and for your commitment to addressing the region's housing challenges.

Best regards,  
Aria Amirbahman, PhD, PE  
Sukhmander Singh Professor and Chair  
Department of Civil, Environmental and Sustainable Engineering  
Santa Clara University  
Santa Clara, CA 95053-0563, USA  
[REDACTED]

**From:** [Srinath](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** Re: Re Coleman Ave and Affordable Housing  
**Date:** Thursday, March 20, 2025 8:53:00 AM  
**Attachments:** [image001.png](#)

---

You don't often get email from [REDACTED]. [Learn why this is important](#)

Hi

Another consideration wrt Affordable Housing

At some point in time the family size reduces to 3 then 2 and finally only 1

So for seniors, singles, and disabled (for whom marriage is not an option)

We need affordable housing

If most new affordable housing starts with minimum of 2 bedrooms and minimum household size of 2  
singles including disabled, widows, widowers, elderly etc cannot qualify

Either the minimum household requirement must be relaxed or we should also build 1 bedroom units

Either way single level no stairs inside ADU friendly and Aging in Place friendly construction is needed

Best wishes

On Thu, Mar 20, 2025 at 8:40 AM Nimisha Agrawal <[NAgrawal@santaclaraca.gov](mailto:NAgrawal@santaclaraca.gov)> wrote:

Good Morning Srinath,

Thank you for sharing your comments. I will also send these to the developer.

Thanks,

**Nimisha Agrawal** | Senior Planner

Community Development Department

1500 Warburton Avenue | [Santa Clara, CA 95050](#)

O:408.615.2450 | D: 408.615.2467



**City of  
Santa Clara**  
The Center of What's Possible

**From:** [Srinath](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** Re: Re Coleman Ave and Affordable Housing  
**Date:** Thursday, March 20, 2025 2:54:55 PM  
**Attachments:** [image001.png](#)

---

I am extremely disappointed that the planning commission voted for the new homes at Bishop ranch still under construction and sales and NONE of them are single level - They are SFH or multi level townhomes (2 and even 3 levels OUCH!!)

(I am not finding fault, but it seems unfortunate that such an important requirement was missed out)

In South Fremont where there is new construction there is a mix of town homes and single level condos

Thanks once again for listening

On Thu, Mar 20, 2025 at 8:52 AM Srinath [REDACTED] > wrote:

Hi

Another consideration wrt Affordable Housing

At some point in time the family size reduces to 3 then 2 and finally only 1

So for seniors, singles, and disabled (for whom marriage is not an option)

We need affordable housing

If most new affordable housing starts with minimum of 2 bedrooms and minimum household size of 2

singles including disabled, widows, widowers, elderly etc cannot qualify

Either the minimum household requirement must be relaxed or we should also build 1 bedroom units

Either way single level no stairs inside ADU friendly and Aging in Place friendly construction is needed

Best wishes

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Good Morning Srinath,

Thank you for sharing your comments. I will also send these to the developer.

Thanks,

**From:** [Srinath](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** Re Coleman Ave and Affordable Housing  
**Date:** Wednesday, March 19, 2025 4:54:00 PM

---

You don't often get email from [REDACTED]. [Learn why this is important](#)

Hi

Seniors, disabled, those with knee operations etc cannot use stairs

So rather than (or in addition to) townhome options, please ensure that there are single level no stairs (be elevators and parking garages) condo options are available under inclusive housing

Thanks

--

Regards

Gopal Srinath



**From:** [Matt DiNapoli](#)  
**To:** [Nimisha Agrawal](#)  
**Subject:** 1400 Coleman Avenue  
**Date:** Wednesday, August 6, 2025 5:28:22 PM

---

You don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Santa Clara Officials:

As a real estate professional as well as an adjunct professor of real estate at Santa Clara University's Leavey School of Business, I'm writing to express my support for the proposed 143-unit townhome development at 1400 Coleman Avenue. This project will not only help to gentrify the Coleman Avenue area, it will also include a significant number of affordable for-sale homes. Faculty, staff, and students across our institution face a common challenge: the high cost of living in Santa Clara County makes homeownership near campus extremely difficult. Many are forced to commute long distances or postpone putting down roots in the community, which directly impacts faculty retention and recruitment. This project — which combines a high quality design with attainable home ownership opportunities — can be transformative, not just for current faculty but also in helping the University attract and retain academic talent. The design is thoughtful and aligned with the City's broader goals for the neighborhood.

Thank you for your attention and leadership on this important matter.

Sincerely,

F. Matthew DiNapoli  
Adjunct Professor, Santa Clara University  
Leavey School of Business

F. Matthew DiNapoli  
Chief Executive Officer  
DiNapoli Capital Partners [REDACTED]  
[REDACTED]

**Attachment 9: Project Data/Compliance****Project Address: 1400 Coleman Avenue****Project Number: PLN24-00267 and  
PLN24-00332****Zoning: Commercial Regional (CR)**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	3.8 acres	3.8 acres	8,500	Y
<b>Lot Area per Dwelling Unit (SF):</b>	--	1,176	--	--
<b>Building Square Footage (SF)</b>				
<b>Main Building(s):</b>	45,072	241,530	--	--
<b>Total:</b>	45,072	241,530	--	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	12,719 (7.8%)	40,126 (25.3%)	--	--
<b>Main Building Setbacks (FT)</b>				
<b>Front:</b>	--	14	10	Y
<b>Side (left):</b>	--	5	10	N <sup>1</sup>
<b>Side (right):</b>	--	5	10	
<b>Side, Corner:</b>	--	--	--	--
<b>Rear:</b>	--	20	3	N <sup>1</sup>
<b>Height (FT) (max)</b>				
<b>Main building:</b>	One and two story	50 Four story	80 Eight story	Y
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				Y
<b>Off-Street:</b>	--	196	0	Y
<b>Guest:</b>	--	39	0	Y
<b>Class 1 Bicycle:</b>	--	142	142	Y
<b>Class 2 Bicycle:</b>	--	7	7	Y
<b>Landscaping</b>				
<b>Open Landscaped Area:</b>	--			
<b>Landscape Buffer:</b>	--			
<b>Private recreation space:</b>	--		60 per units for 50% units	N <sup>1</sup>
<b>Common recreation space (per unit):</b>	--	17,600	28,400 @ 200 per unit	N <sup>1</sup>

1 Project using density bonus law for waivers.



**CITY VENTURES**  
Building It Forward

# COLEMAN VILLAGE

1400 COLEMAN AVENUE.

SANTA CLARA, CALIFORNIA

1ST SUBMITTAL DATE: 05.16.2024

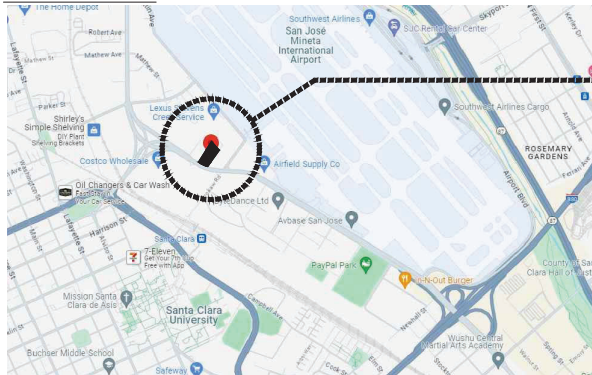
2ND SUBMITTAL DATE: 08.14.2024

3RD SUBMITTAL DATE: 02.21.2025

4TH SUBMITTAL DATE: 05.08.2025

5TH SUBMITTAL DATE: 06.20.2025

## LOCATION MAP



**SITE  
LOCATION**

**APPLICANT:**  
CITY VENTURES  
1185 MASON STREET  
SAN FRANCISCO, CA 94123  
CONTACT: PAMELA NIETING  
PHONE: 650.465.3628  
E-MAIL: [pnieting@cityventures.com](mailto:pnieting@cityventures.com)  
[www.cityventures.com](http://www.cityventures.com)

**LANDSCAPE ARCHITECT:**  
C2 COLLABORATIVE  
100 AVENIDA MIRAMAR  
SAN CLEMENTE, CA 92672  
CONTACT: CHRIS FORTUNATO  
PHONE: 949.542.7703  
E-MAIL: [cfortunato@c2collaborative.com](mailto:cfortunato@c2collaborative.com)

**ARCHITECT:**  
HUNT HALE JONES ARCHITECTS  
444 SPEAR STREET, SUITE 105  
SAN FRANCISCO, CA 94105  
CONTACT: DAN HALE  
*Architect*  
PHONE: 415.568.3833  
E-MAIL: [dhale@hhja.com](mailto:dhale@hhja.com)  
<https://www.hunthalejones.com/>

**UTILITY CONSULTANTS:**  
TARRAR  
813 FIRST ST.  
BRENTWOOD, CA 94513  
CONTACT: ALFONSO REYES  
PHONE: 949.240.2595  
E-MAIL: [areyes@tarrar.com](mailto:areyes@tarrar.com)  
<https://www.tarrar.com/>

**ENGINEER:**  
KIER+WRIGHT ENGINEERS  
3350 SCOTT BLVD, BUILDING 22  
SANTA CLARA, CA 95054  
CONTACT: MARK KNUDSEN  
*Principal*  
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PROJECT OVERVIEW

CITY VENTURES TO PRESENT OUR PROPOSAL OF A PREMIER DEVELOPMENT LOCATED AT 1400 COLEMAN AVE IN THE CITY OF SANTA CLARA. THIS COMMUNITY IS DESIGNED TO ENGAGE THE URBAN SETTING WITH THE CREATION OF COLEMAN VILLAGE. THE ARCHITECTURE, URBAN IN NATURE HISTORICALLY REFERENCES THE AREAS INDUSTRIAL AND COMMERCIAL HERITAGE TO SANTA CLARA, WILL OFFER MULTIPLE LIVING EXPERIENCES. THE PROPOSED DEVELOPMENT WILL CAPTURE AN URBAN STYLE FOR FAMILIES TO GROW AND THRIVE. PASEOS AND PRIVATE SPACES HAVE BEEN THOUGHTFULLY DESIGNED TO PROVIDE CONNECTIVITY FOR ALL RESIDENTS TO ENJOY. THE OUTDOOR SPACE WILL PROVIDE A SERENE ENVIRONMENT FOR RESIDENTS TO RELAX, SOCIALIZE, AND ENJOY OUTDOOR ACTIVITIES. CITY VENTURES IS REQUESTING AN ARCHITECTURAL REVIEW, VESTING TENTATIVE TRACT MAP PERMIT, GENERAL PLAN AMENDMENT, REZONING AND DENSITY BONUS CONCESSION AND WAIVERS

PROPERTY DESCRIPTION

THE PROPERTY LOCATED AT 1400 COLEMAN AVENUE CONSISTS OF APPROXIMATELY 3.78 ACRES. IT IS SURROUNDED BY COMMERCIAL USES CONSISTING OF LARGE FORM 1-2 STORY BUILDINGS AND ASPHALT PARKING LOTS ON ALL SIDES. ACROSS COLEMAN AVENUE AND THE PROPERTY EXISTS A SMALL RETAIL CENTER AND COSTCO. THE PROJECT IS LOCATED WITHIN 0.5 MILES OF THE SANTA CLARA CALTRAIN STATION, A MAJOR TRANSIT STOP AS DEFINED IN SECTION 2115 OF THE PUBLIC RESOURCES CODE, AND PROVIDES TRANSIT CONNECTIONS TO VALLEY TRANSPORTATION AUTHORITY, THE CAPITAL CORRIDOR AND THE ALTAMONT CORRIDOR EXPRESS. THE PROPERTY IS WITHIN THE SANTA CLARA STATION AREA PLAN AS OF THE DATE OF THIS LETTER, THE SANTA CLARA STATION AREA PLAN IS STILL UNDER DEVELOPMENT BY THE CITY OF SANTA CLARA. AND HAS A GENERAL PLAN USE DESIGNATION OF REGIONAL COMMERCIAL AND IS ZONED LIGHT INDUSTRIAL. THE EXISTING USE OF THE SITE COMMERCIAL AND INCLUDES TWO LARGE COMMERCIAL BUILDINGS THAT ENCUMBER ROUGHLY 32% OF THE SITE. THE LARGEST BUILDING SITS AT THE CENTER OF THE SITE WITH THE SECOND RECTANGULAR STANDALONE BUILDING AT THE FAR NORTH END OF THE SITE. THE BUILDINGS ARE SURROUNDED BY ASPHALT PARKING.

PROJECT PROPOSAL

THE PROJECT WILL HOST A WIDE RANGE OF HOME OPTIONS TO HELP ATTRACT ENTRY LEVEL AND THE MISSING MIDDLE HOMEOWNERS WITH 142 FOR-SALE SOLAR ALL-ELECTRIC ATTACHED 4-STORY TOWNHOME STYLE HOMES. THE TOWNHOMES RANGE IN SIZE FROM 377 SQUARE FEET TO 2,003 SQUARE FEET. THE HOMES INCLUDE ONE AND TWO-CAR PRIVATE GARAGE AND THE SITE WILL INCLUDE SURFACE PARKING FOR ITS RESIDENTS AND GUESTS. ACCESS TO THE PROJECT WILL BE VIA A 26-FOOT-WIDE PEDESTRIAN ORIENTED URBAN STREETSCAPE WITH BENCHES, PAVERS AND TREES LOCATED AT THE CENTER OF THE PROJECT. SMALLER DRIVE AISLES AND LANDSCAPED PASEOS CONNECT TO THE URBAN STREETSCAPE TYING ALL THE HOMES BACK TO COLEMAN FOR A SEAMLESS CONNECTION. THE PROJECT CONTAINS SEVERAL CURATED COMMUNITY GATHERING PLACE FOR ITS RESIDENTS. AT THE NORTHEAST QUADRANT OF THE SITE, A COMMUNITY GARDEN WITH RAISED PLANTER AND A STONE FRUIT ESPALIER WILL BE PROVIDED. AN ENCLOSED DOG PARK WILL BE INCLUDED ADJACENT TO COMMON AREA LANDSCAPE. ALONG THE SOUTHEAST QUADRANT OF THE SITE AN OUTDOOR SEATING AREA WITH A SHADE STRUCTURE AND BARBECUES WILL BE PROVIDED. LASTLY, AT THE CENTER OF THE SITE, A LANDSCAPE COMMON AREA IS PLANNED OFF THE URBAN STREETSCAPE FOR GENERAL COMMUNITY PROGRAMMING.

LAND USE

THE PROJECT IS PROPOSING A GENERAL PLAN (GP) AMENDMENT FROM GENERAL COMMERCIAL TO HIGH DENSITY RESIDENTIAL (37-50 UNITS/ACRE) AND A REZONE FROM ML-LIGHT INDUSTRIAL TO HIGH DENSITY RESIDENTIAL R4 (37-60 UNITS/ACRE). THE PROJECT IS A HOUSING DEVELOPMENT PROJECT WITHIN THE MEANING OF GOVERNMENT CODE SECTION 65589.5(H)(2) AND HAS BEEN DESIGNED TO COMPLY WITH VISION OF THE AREA. THE PROJECT QUALIFIES FOR A MITIGATED NEGATIVE DECLARATION CONSISTENT WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AS THE PROJECT WOULD NOT RESULT IN A SIGNIFICANT AND UNAVOIDABLE IMPACT UNDER PUBLIC RESOURCES CODE SECTION 21064.5 AND QUALIFIES TO BE EXEMPT FROM PARKING REQUIREMENTS PER ASSEMBLY BILL NO. 2097 AND GOV. CODE SECTION 65863.2.

AFFORDABLE HOUSING AND STATE DENSITY BONUS LAW

THE PROJECT WILL BE PROVIDING ON-SITE AFFORDABLE HOUSING 20% OF THE FOR-SALE DWELLING UNITS BEING RESTRICTED FOR VERY LOW, LOW- AND MODERATE-INCOME HOUSEHOLDS. AS A RESULT OF THE INCLUSION OF AT LEAST 10% OF THE UNITS IN THE FOR-SALE DEVELOPMENT RESTRICTED TO MODERATE INCOME, THE PROJECT IS ELIGIBLE FOR WAIVERS AND REDUCTIONS TO DEVELOPMENT STANDARDS THAT HAVE THE EFFECT OF PHYSICALLY PRECLUDING THE CONSTRUCTION OF A DEVELOPMENT (GC SECTION 65915(B)(1)) AND INCENTIVES OR CONCESSIONS (GC SECTION 65915(D)(1)) PURSUANT TO STATE DENSITY BONUS LAW. CITY VENTURES IS PROPOSING WAIVERS AND A CONCESSION AS DEFINED ON PROJECT OVERVIEW SHEETS, WHILE RESERVING THE RIGHT TO USE ADDITIONAL WAIVERS IN THE FUTURE.

WE ARE EXCITED TO COLLABORATE WITH THE CITY OF SANTA CLARA TO PURSUE A PROJECT THAT WILL BRING VIBRANCY AND MUCH-NEEDED HOUSING TO THE NEIGHBORHOOD. WE LOOK FORWARD TO BRINGING THIS COMMUNITY TO FRUITION. WE LOOK FORWARD TO WORKING WITH THE CITY TO ADDRESS THE CRITICAL NEED FOR NEW HOUSING WITH SOLAR ALL ELECTRIC TOWNHOME STYLE UNITS.

DENSITY BONUS		
CONCESSIONS	APPLICANT RESERVES THE RIGHT TO REQUEST ADDITIONAL INCENTIVES AND WAIVERS AS ALLOWED UNDER SDBL	
WAIVERS	SANTA CLARA CITY CODE 18.10 R-4 DEVELOPMENT STANDARDS	
	REQUIRED	PROPOSED
SIDE SETBACK	10 FT.	5 FT.
REAR SETBACK	20 FT.	9 FT.
LENGTH OF DRIVEWAY	20 FT.	3 FT.
PRIVATE OPEN SPACE	60 SQ. FT. / UNIT	PLANS 1 & 2 PROVIDE NO OPEN SPACE
COMMON OPEN SPACE	200 SQ. FT. / UNIT = 28,600 SQ. FT.	19,600 SQ. FT.
	SANTA CLARA CITY CODE 18.38 OFFSTREET PARKING REGULATIONS	
TWO AND THREE BEDROOM UNITS (0.5) SPACES/ UNIT UNBUNDLED	98 UNITS X 0.5 = 49	2 SPACES

COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



PROJECT OVERVIEW & SHEET INDEX

PO-1

SCALE: N.T.S.  
DATE: 06.20.2025  
PROJECT: 317082

PROJECT DATA		
1400 COLEMAN AVENUE, SAN CLARA, CA 945050		
APN: 230-05-021		
	EXISTING - REQUIRED	PROPOSED
GENERAL PLAN	REGIONAL COMMERCIAL	HIGH DENSITY RESIDENTIAL
ZONING	ML - LIGHT INDUSTRIAL	HDR / R-4
SITE AREA	8500 SQ. FT.	GROSS:3.79 AC/165,092 SF(NET: 3.2 AC)
STRUCTURE COVERAGE (> 10,000 SF)	12,719 SQ. FT. = 7.8%	40,126 SQ. FT. = 25.3%
DENSITY	37-50 DUA = 141 UNITS MIN.	142 UNITS / 37.7 DUA GROSS
TOTAL DWELLING UNITS	142 UNITS	
OCCUPANCY	-	
RESIDENTIAL /GARAGE	R2 / U	
CONSTRUCTION TYPE	-	
4- STORY RESIDENTIAL	VA	
ACCESSIBLE UNITS	10% OF MULTISTORY DWELLING UNITS =10% (142) = 15 UNITS	15 UNITS LOCATION SEE SP
R-4 ZONING STANDARDS		
	REQUIRED	PROPOSED
MAX. BUILDING HEIGHT	80'	±50 FT
MAX. STORIES	8	4 STORIES
REQUIRED SETBACKS		
	REQUIRED	PROPOSED
SETBACKS		
FRONT	10'	14' MIN.
SIDE INTERIOR	10'	*5'
REAR	20'	*9'
LENGTH OF DRIVEWAY APPROACH	20'	*3'
RECREATION SPACE FOR MULTIFAMILY DWELLINGS		
PRIVATE RECREATION	60 SQ. FT./UNIT	*PLANS 4 & 5 MEET STANDARDS. PLANS 1 & 2 DO NOT PROVIDE PRIVATE OPEN SPACE. SEE UNIT DATA
COMMON RECREATION SPACE	200 SQ. FT. X 142 UNITS = 28,400 SQ. FT.	9,550 + 3,860 + 4,200 = *17,600 SQ. FT.
AUTO PARKING (SEE SHEET PI - 0.2 FOR MORE DETAILED INFORMATION)		
	REQUIRED	PROPOSED
PRIVATE GARAGE PARKING	1 SPACE / UNIT @ STUDIO / 1BD	(82)2-CAR /(30)1- CAR= 194 TOTAL
RESERVED OPEN SURFACE PARKING	1.5 SPACES/UNIT @ 2-3 BD	38 TOTAL
GUEST PARKING	(1 ASSIGNED 0.5 UNBUNDLED)	1 TOTAL
TOTAL	1.0 X 42 UNITS = 42 SPACES 1.5 X 101 UNITS = 152 SPACES 0.05 X 143 = 7 (G) SPACES 201 TOTAL SPACES REQ'D	233 TOTAL SPACES PLUS 1 EV SPACE AND 1 CAR SHARE SPACE
BICYCLE PARKING (SEE SHEET PI - 1.1 FOR INFORMATION)		
FIRE PROTECTION - TOWNHOME UNITS		
FIRE SPRINKLER	NFPA - 13	

\* STATE DENSITY BONUS LAW PROPOSED AND WAIVERS REQUESTED.

AFFORDABLE HOUSING PLAN						
AFFORDABLE HOUSING	REQUIRED TOTAL	AFFORDABILITY LEVEL	BMR UNITS BY TYPE			
20% DENSITY BONUS APPLICATION	(0.20 X 142 UNITS) = 29 UNITS	COMBINATION OF VERY LOW, LOW & MODERATE AREA MEDIUM INCOME	STUDIO	1BD/1BA	2 BD/1 BA	3BD/3BA
			8	7	6	8
						29

UNIT SUMMARY													
TOWNHOMES / MARKET RATE													
PLAN NO.	BDRM	BATH	TOT. UNITS	TOT. BDRM	TOT. LIVING	COMMON STAIR/ UTILITY	GARAGE	DECKS	PARKING	UNIT LIV SF/ PLAN TYPE	GARAGE TOTAL SF	DECK TOTAL SF	GROSS SF
PLAN 1A.1	1	1	11	11	827	343	360	0	1	9097	3960	0	13057
PLAN 1A.2	1	1	11	11	827	0	304	0	1	9097	3344	0	12441
PLAN 1B (ST)	0	1	22	0	377	0	0	0	0	8294	0	0	8294
PLAN 2A	2	1	8	16	998	364	364	0	1	7984	2912	0	10896
PLAN 2B (ST)	0	1	8	0	452	0	0	0	0	3616	0	0	3616
PLAN 4	3	2	31	93	1532	0	461	52	2	47492	14291	1612	63395
PLAN 4X ADA	3	2.5	10	30	1843	0	652	70	2	18430	6520	700	25650
PLAN 5	3	2.5	41	123	2003	600	461	77	2	82123	18901	3157	104181
	TOWNHOME TOTAL		142	284						186133	49928	5469	241530

BLDG. UNIT SUMMARY									
BLDGS.	PLANS								TOTAL UNITS
	PLAN 1A.1	PLAN 1A.2	PLAN 1B	PLAN 2A	PLAN 2B	PLAN 4	PLAN 4X	PLAN 5	
BLDG. A 10 UNITS	-	-	-	-	-	5	-	5	10
BLDG. B 10 UNITS	-	-	-	-	-	3	2	5	10
BLDG. D 10 UNITS	-	-	-	-	-	3	2	5	10
BLDG. E 10 UNITS	-	-	-	-	-	3	2	5	10
BLDG. F 14 UNITS	1	1	2	1	1	2	2	4	14
BLDG. G 14 UNITS	1	1	2	1	1	2	2	4	14
BLDG. H 8 UNITS	-	-	-	-	-	4	-	4	8
BLDG. J 8 UNITS	-	-	-	-	-	4	-	4	8
BLDG. K 10 UNITS	2	2	4	1	1	-	-	-	10
BLDG. L 20 UNITS	4	4	8	2	2	-	-	-	20
BLDG. M 18 UNITS	3	3	6	3	3	-	-	-	18
BLDG. N 10 UNITS	-	-	-	-	-	5	-	5	10
TOTAL	11	11	22	8	8	31	10	41	142

BUILDING AREA SUMMARY					
BLDGS.					TOTAL AREA
	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	
BLDG. A 10 UNITS	5884	5900	5444	5185	22413
BLDG. B 10 UNITS	5884	5900	5444	5185	22413
BLDG. D 10 UNITS	5884	5900	5444	5185	22413
BLDG. E 10 UNITS	5884	5900	5444	5185	22413
BLDG. F 14 UNITS	5940	6190	6100	5914	24144
BLDG. G 14 UNITS	5940	6190	6100	5914	24144
BLDG. H 8 UNITS	4710	4723	4351	4207	17991
BLDG. J 8 UNITS	4710	4723	4351	4207	17991
BLDG. K 10 UNITS	2184	2356	2356	2356	9252
BLDG. L 20 UNITS	3993	4726	4726	4726	18171
BLDG. M 18 UNITS	4096	4409	4409	4409	17323
BLDG. N 10 UNITS	5884	5900	5444	5185	22413
TOTAL	40126	40703	38327	36775	155931

NOTES:  
ALL AREAS CALCULATED ARE GROSS.

COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CITY VENTURES  
Building It Forward



TARRAR  
UTILITY CONSULTANTS



HUNT  
HALE  
JONES  
ARCHITECTS



C2  
Collaborative



KIER+WRIGHT

PROJECT INFORMATION

PI-0.1

SCALE: NTS

DATE: 06.20. 2025

PROJECT: 317082



PROJECT PARKING				
	CALIF. CODES	SANTA CLARA CODE	PROPOSED	NOTES
PARKING		TABLE 3.3 - RESIDENTIAL MULTIFAMILY		
STUDIO / 1BD - 52 UNITS		1 SPACE / UNIT = 52 SPACES	52 UNITS W/ 22 COVERED & 30 OPEN SURFACE ASSIGNED	52 SPACES
2 / 3 BD UNITS - 90 UNITS		1.5 SPACES PER UNIT / 1 ASSGND .0.5 UNBUNDLD (90 UNITS)(1.5) = 135 SPACES	COV.-2/UNIT @ 82 UNITS = 164 COV.- 1/UNIT @ 8 UNITS = 8 OPEN SURFACE ASSIGNED - 8 SPACES 180 SPACES	180 SPACES
GUEST		N/A	1 SPACES	1 SPACES
TOTAL PARKING		194 SPACES	194 GARAGE SPACES 39 SURFACE SPACES 246 TOTAL	234 TOTAL SPACES
ACCESSIBILITY				
ASSIGNED	CBC SECT. 1109A.4 2% OF ASSIGNED SPACES x 232 SPACES = 4.64 = 5 SPACES	N/A	5 SPACES	LOCATION TO BE FINALIZED AT CONSTRUCTION DOCUMENTS PHASE
UNASSIGNED	CBC SECT. 1109A.5 5% OF SPACES x 2 SPACES = 1 SPACES	N/A	1 SPACE	SEE SP
EV SPACE		-		
RESIDENTIAL				
CAPABLE	CAL GRN SECT. 4.106.4.2.2 10% OF SPACES x 234 = 23.4 SPACES = 24	-	24 SPACES	LOCATION TO BE FINALIZED AT CONSTRUCTION DOCUMENTS PHASE
READY	CAL GRN SECT. 4.106.4.2.2 25% OF SPACES x 234 = 59 SPACES	-	59 SPACES	LOCATION TO BE FINALIZED AT CONSTRUCTION DOCUMENTS PHASE
CHARGER	CAL GRN SECT. 4.106.4.2.2 5% OF SPACES x 234 = 11.7 SPACES = 12	-	12 SPACES	LOCATION TO BE FINALIZED AT CONSTRUCTION DOCUMENTS PHASE
BICYCLE				
RESIDENTIAL				
SHORT TERM (CLASS II VISITOR)	CAL GRN. A4.106.9.1 (VOLUNTARY) 5% OF GUEST PRKG = 5% x 2 SPACES = 0.1 = 1 SPACES	TABLE 3.4 1 PER 20 UNITS = 7.15 = 7 SPACES	7 SPACES	SEE LANDSCAPE PLANS
LONG TERM (CLASS I IN UNIT)	CAL GRN. A4.106.9.3 (VOLUNTARY) 1/ UNIT = 142 = 142 SPACES	TABLE 3.4 1 PER UNIT TOWNHOMES - 1 PER UNIT W/ ELECTRICAL OUTLET PODIUM - BIKE ROOMS REQUIRED WITH 1 OUTLET PER 10 BIKES AND A REPAIR STATION	1 SPACE / UNIT IN EACH GARAGE PROVIDED = 112 SPACES	112 SPACES WITHIN GARAGES WITH 30 STUDIOS IN SHARED GARAGE = 142

BLDG. AUTO PARKING SUMMARY					
BLDG	PLAN	COVERED GARAGE PARKING	OPEN SURFACE PARKING - ASSIGNED	TOTAL SPACES/ BUILDING	TOTAL AL BUILDINGS
8 PLEX (2 BLDGS. H & J)					
- (4) 3 BEDROOM	PLAN 4 - 2 T /UNIT	8	0	16	32
- (4) 3 BEDROOM	PLAN 5 - 2 T / UNIT	8	0		
10 PLEX (5 BLDGS. A, B, D, E & N)					
- (5) 3 BEDROOM	PLAN 4 - 2 T /UNIT	10	0	20	100
- (5) 3 BEDROOM	PLAN 5 - 2 T / UNIT	10	0		
10 PLEX W/ STUDIO (1 BLDG. K)					
- STUDIO	STUDIOS - 5 UNITS	0	5	11	11
- 1 BEDROOM	PLAN 1 - 4 UNITS	4	0		
- 2 BEDROOM	PLAN 2 -1 UNIT	1	1		
14 PLEX (2 BLDGS F & G)					
- STUDIO	STUDIO -3 UNITS	0	3	23	46
- 1 BEDROOM	PLAN 1 - 2 UNITS	2	0		
- 2 BEDROOM	PLAN 2 - 1 UNIT	1	1		
- 3 BEDROOM	PLAN 4 - 4 UNITS	8	0		
- 3 BEDROOM	PLAN 5 - 4 UNITS	8	0		
18 PLEX (1 BLDG. M)					
- STUDIO	STUDIO - 9 UNITS	0	9	21	21
- 1 BEDROOM	PLAN 1 - 6 UNITS	6	0		
- 2 BEDROOM	PLAN 2 - 3 UNIT	3	3		
20 PLEX (1 BLDG L)					
- STUDIO	STUDIO -10 UNITS	0	10	22	22
- 1 BEDROOM	PLAN 1 - 8 UNITS	8	0		
- 2 BEDROOM	PLAN 2 - 2 UNIT	2	2		
GUEST			2		1
GUEST EV					1
CAR SHARE					1
TOTAL PARKING					235

#### REACH CODE ELECTRIC VEHICLE PARKING FOR MULTIFAMILY HOUSING

- OVER 20 UNITS WITH ASSIGNED PARKING ON THE PROJECT (142 UNITS)
  - FIRST 20 DWELLINGS - ONE LVL2 READY PER DWELLING
  - 25% OF REMAINING UNITS WITH ASSIGNED SPACES - LVL2 READY
  - 75% OF REMAINING UNITS WITH ASSIGNED SPACES - LP LVL2 READY
  - AFFORDABLE UNITS WITH PARKING - 10% LVL2 READY, 90% LVL1 READY

## COLEMAN VILLAGE

### CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



#### PROJECT INFORMATION

## PI-0.2

SCALE: NTS

DATE: 06.20.2025

PROJECT: 317082





VICINITY MAP



VIEW NO. 1a - LOOK IN TO SITE LOCATION



VIEW NO. 1b - LOOK IN TO SITE LOCATION



VIEW NO. 4 - ACROSS THE STREET NEIGHBOR FROM COLEMAN AVE.



VIEW NO. 2 - RIGHT SIDE NEIGHBOR FROM CORNER OF COLEMAN AND CARL. LOOKING TO PARKING AREA



VIEW NO. 3 - LEFT SIDE NEIGHBOR FROM COLEMAN AVE. LOOKING TO JB TROPHIES & CUSTOM FRAMES

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



VICINITY MAP & NEIGHBORHOOD PHOTOS

PH-1

SCALE: NTS

DATE: 06.20.2025

PROJECT: 317082





# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL ILLUSTRATIVE SITE PLAN

SP1.1

SCALE: NTS

DATE: 06.20.2025

PROJECT: 317082



## BLDG LEGEND

BLDG	BLDG NUMBER
X UNITS	TOTAL UNIT

BLDG TYPES  
RESIDENTIAL ROWHOUSE STYLE CONDOMINIUM

ADA UNIT NOTE:  
10% OF THE TOTAL UNIT WILL BE ACCESSIBLE  
• 142 TOTAL UNITS PROPOSED X 10% = 15 ACCESSIBLE UNIT

GENERAL NOTE:  
FOR ACCESSIBLE ROUTE AND GARBAGE TRUCK INFO SEE CIVIL DRAWING.  
FOR BIKE PARKING INFO, SEE LANDSCAPE DRAWING.

15'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

20'-0" SETBACK

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20'-0" SETBACK

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



## CONCEPTUAL SITE PLAN

SP1.2

SCALE: 1" = 30'-0"

DATE: 06.20.2025

PROJECT: 317082





COLEMAN AVE. STREETScape

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



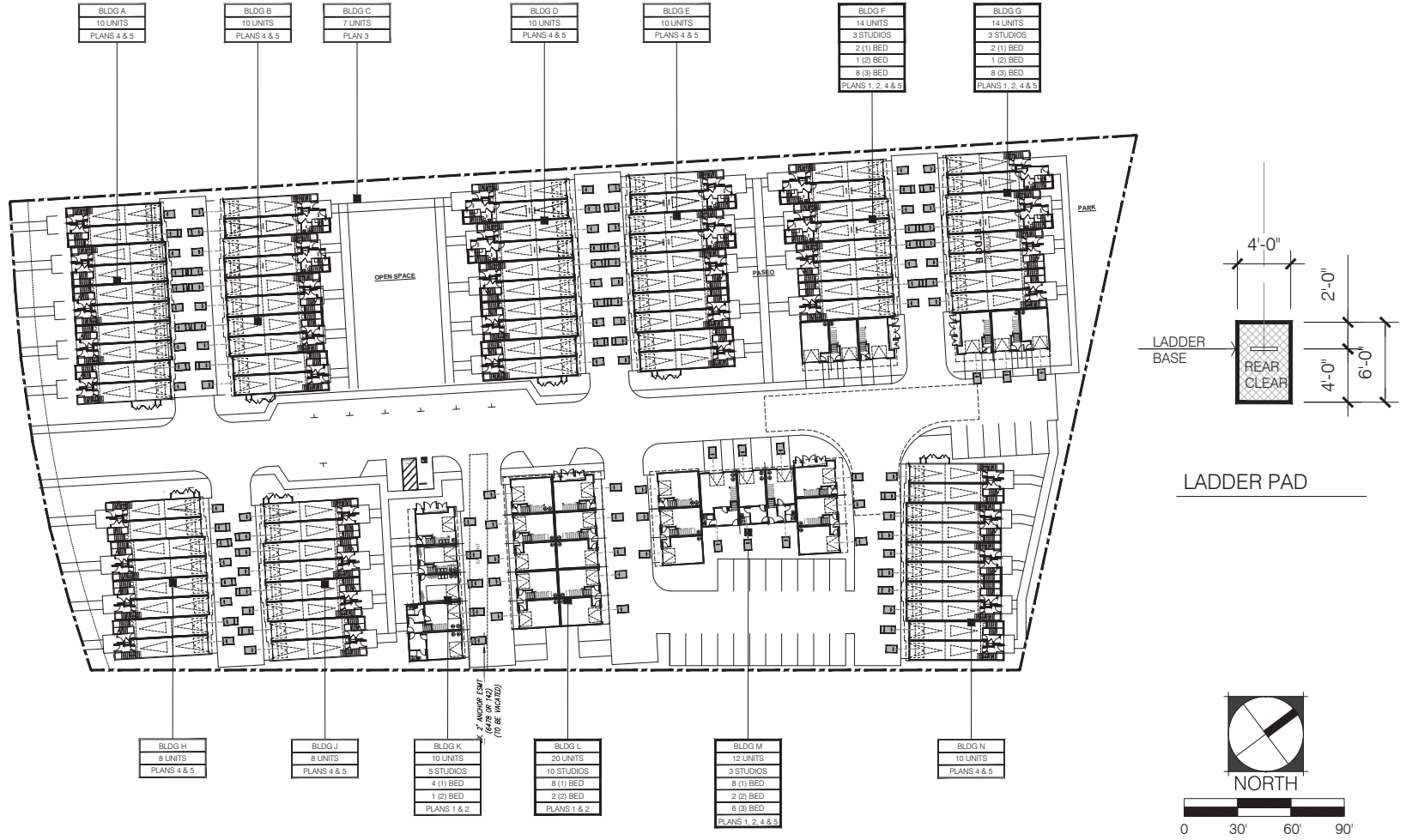
COLEMAN AVE. CONCEPTUAL STREETScape

SS-1.0

SCALE: N.T.S.

DATE: 06.20.2025

PROJECT: 317082



**COLEMAN VILLAGE**  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



FIRE SAFETY SITE PLAN - LADDER PAD

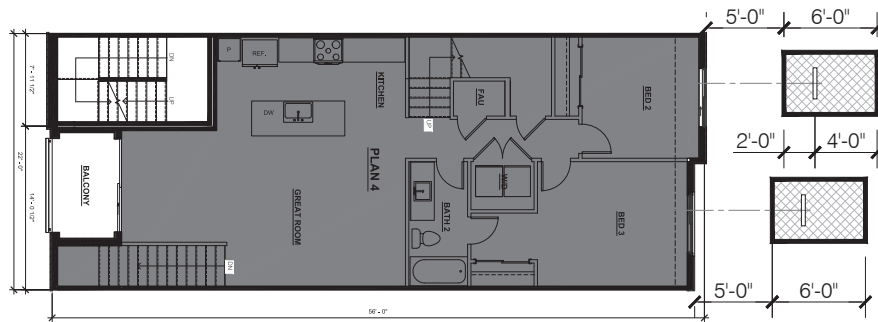
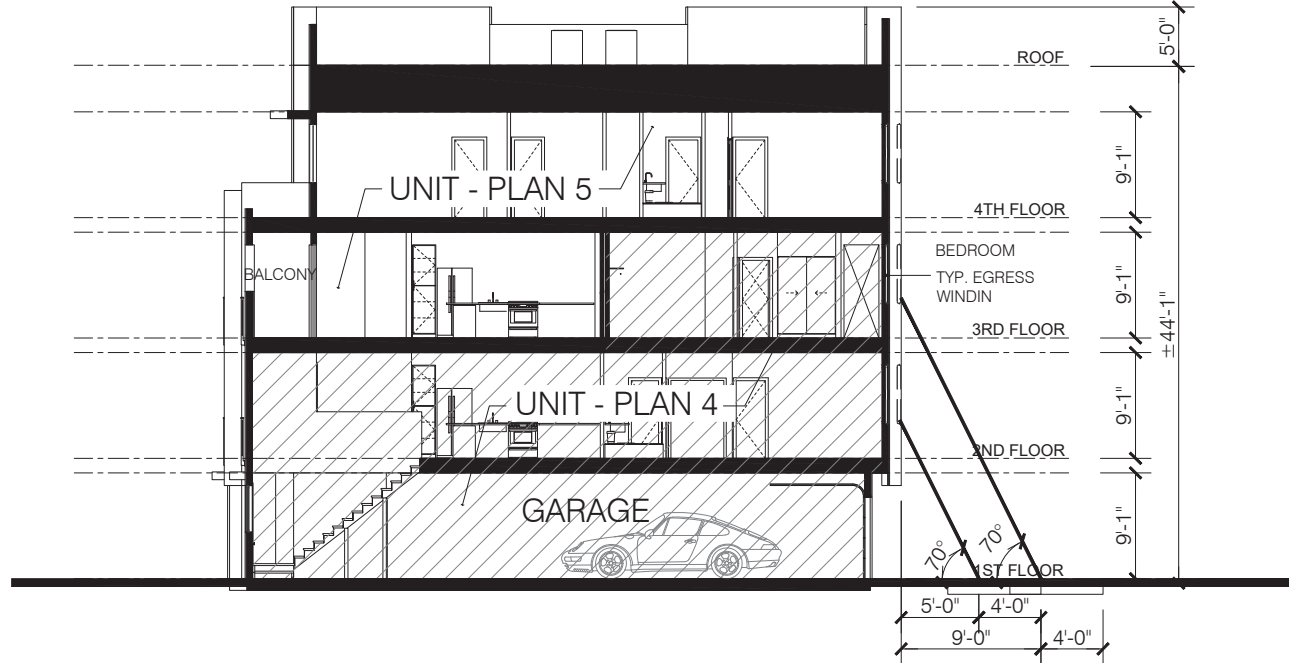
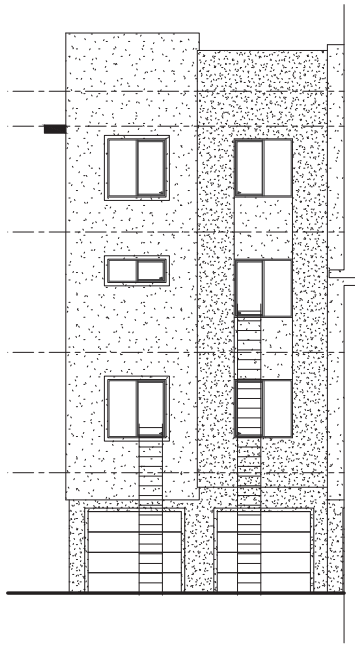
**FS-1.0**

SCALE: 1" = 30'-0"

DATE: 06.20.2025

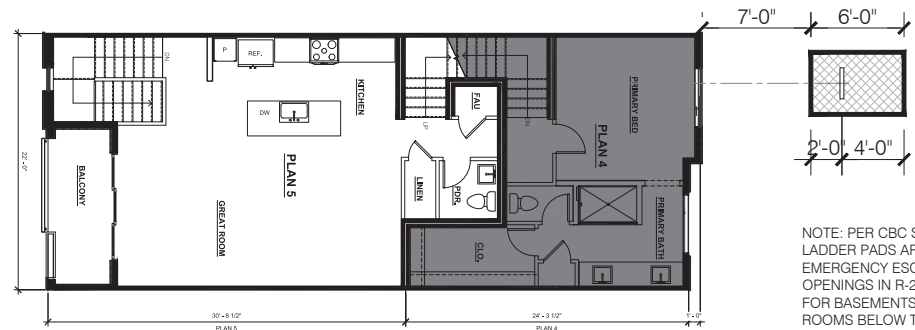
PROJECT: 317082





2ND FLOOR PLAN

PLAN 4 & 5



3RD FLOOR PLAN

PLAN 4 & 5

NOTE: PER CBC SECTION 1031.2, LADDER PADS ARE PROVIDED FOR EMERGENCY ESCAPE AND RESCUE OPENINGS IN R-2 OCCUPANCIES FOR BASEMENTS & SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



FIRE SAFETY - LADDER PAD DIAGRAM


FS-1.1

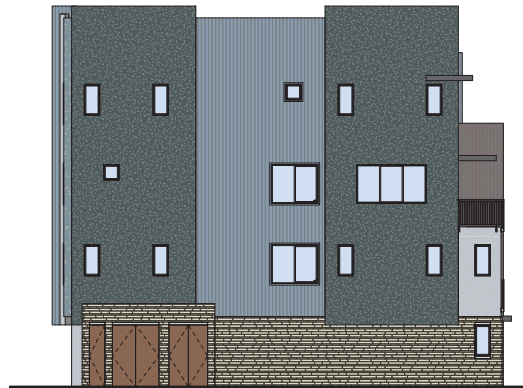
SCALE: 1/4" = 1'-0"

DATE: 06.20. 2025

PROJECT: 317082

## ELEVATION LEGEND

	STUCCO 1		VERTICAL SIDING 1
	STUCCO 2		VERTICAL SIDING 2
	STUCCO 3		ACCENT ROOF
	STUCCO 4		STONE VENEER



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



BUILDING MATERIALS & FINISHES (CONCEPT A1)

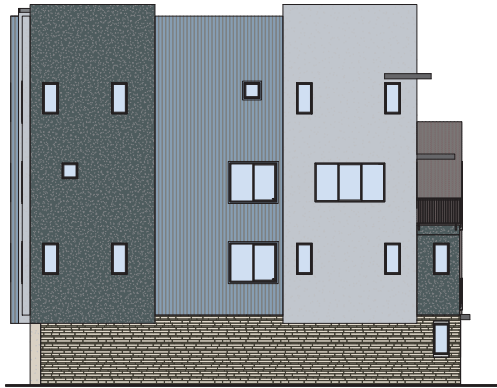
A1.0.1

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082

## ELEVATION LEGEND



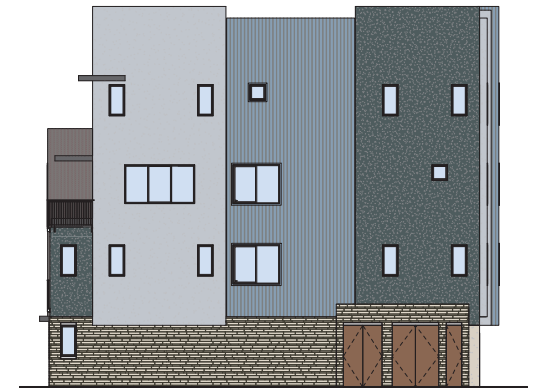
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



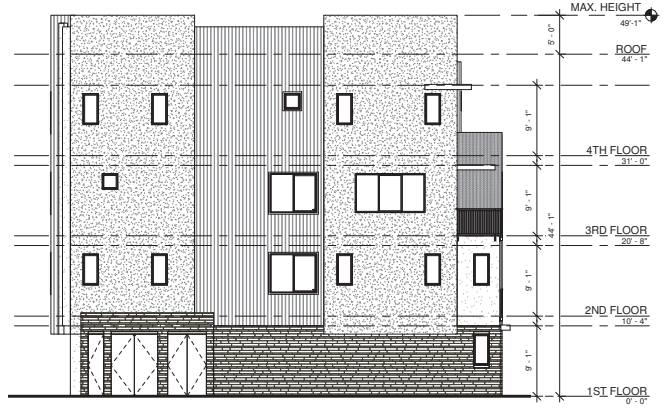
BUILDING MATERIALS & FINISHES (CONCEPT A2)

A1.0.2

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



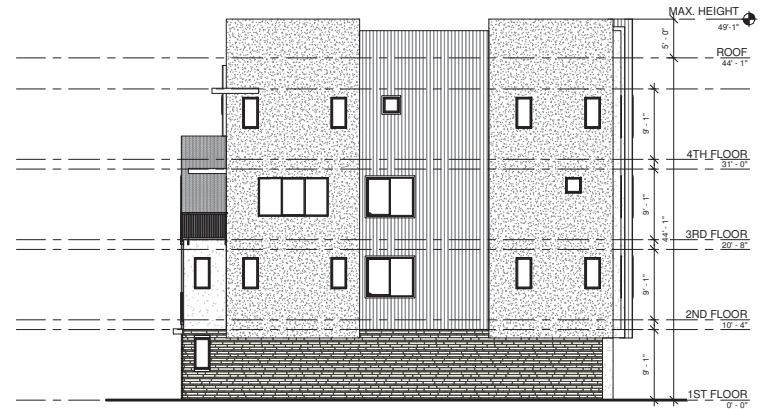
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL ELEVATIONS\_8 PLEX

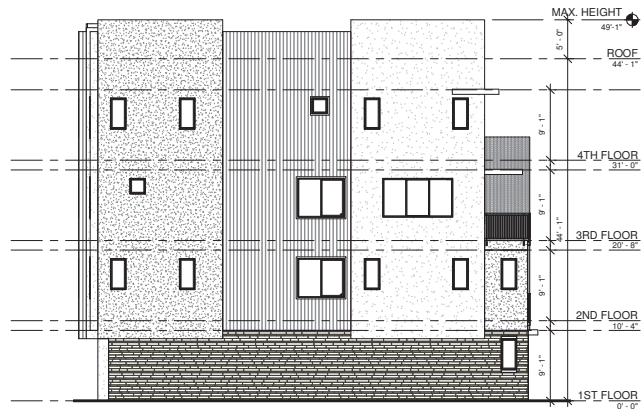
A1.2.1

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082





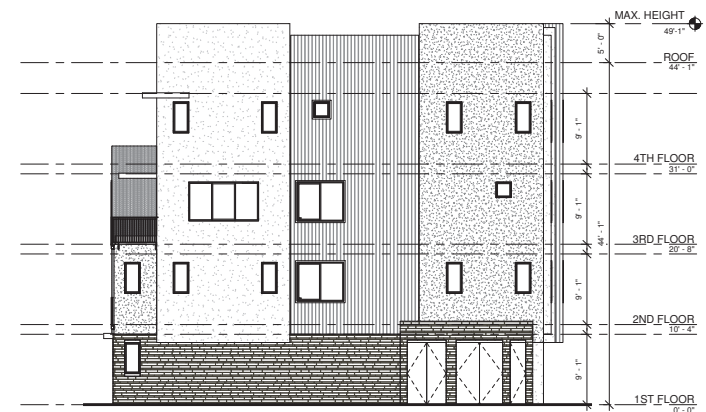
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



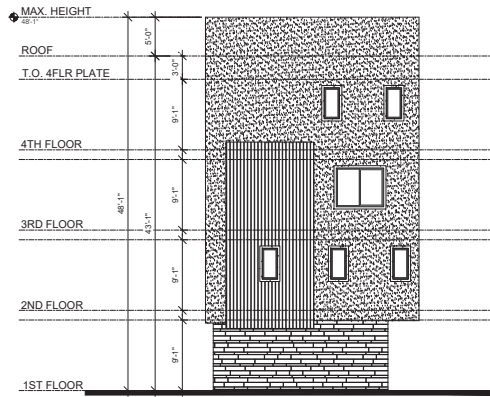
CONCEPTUAL ELEVATIONS\_10 PLEX

A1.3.1

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



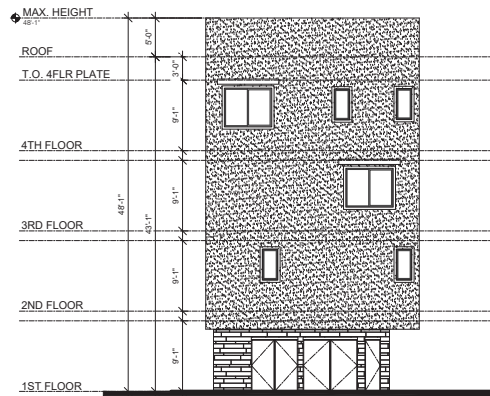
SIDE ELEVATION

10 PLEX w/ STUDIO @ BLDGS. K



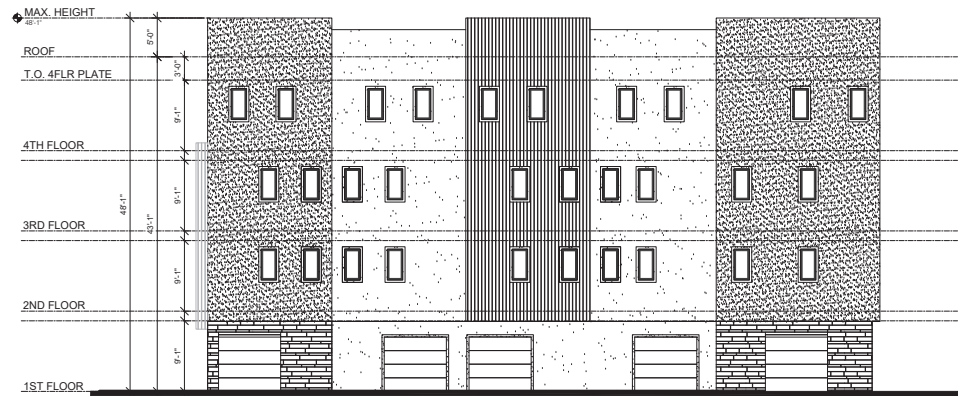
FRONT ELEVATION

10 PLEX w/ STUDIO @ BLDGS. K



STREET SIDE ELEVATION

10 PLEX w/ STUDIO @ BLDGS. K



REAR ELEVATION

10 PLEX w/ STUDIO @ BLDGS. K

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL ELEVATIONS\_10 PLEX\_W STUDIO

A1.4.1

SCALE: 1/8" = 1'-0"

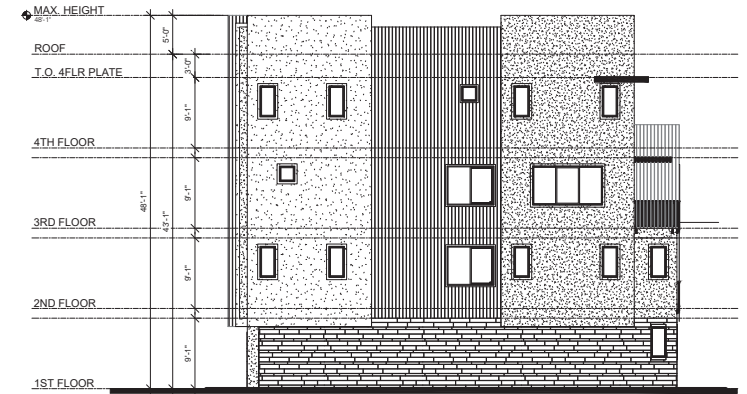
DATE: 06.20. 2025

PROJECT: 317082



FRONT ELEVATION

14 PLEX @ BLDGS. F & G



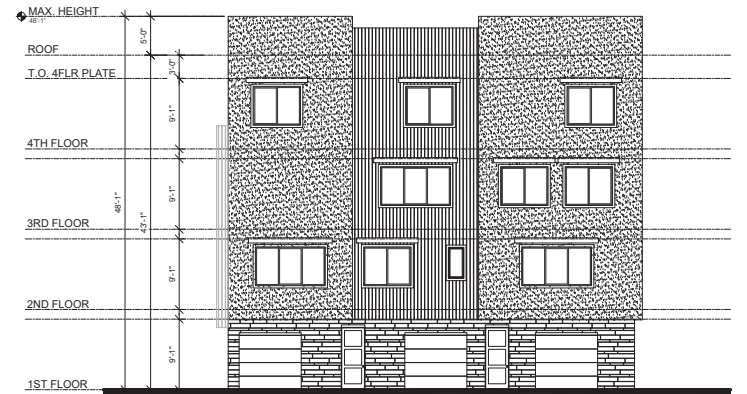
SIDE ELEVATION

14 PLEX @ BLDGS. F & G



REAR ELEVATION

14 PLEX @ BLDGS. F & G



SIDE ELEVATION

14 PLEX @ BLDGS. F & G

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL ELEVATIONS\_14 PLEX

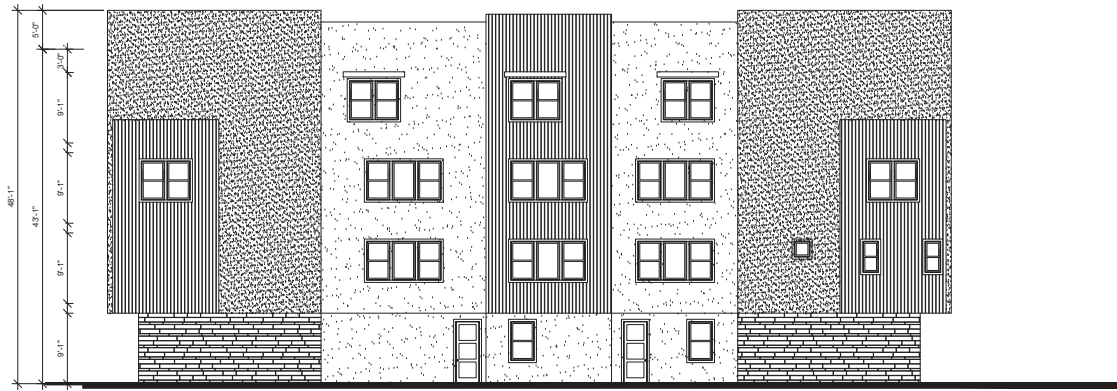
A1.5.1

SCALE: 1/8" = 1'-0"

DATE: 06.20. 2025

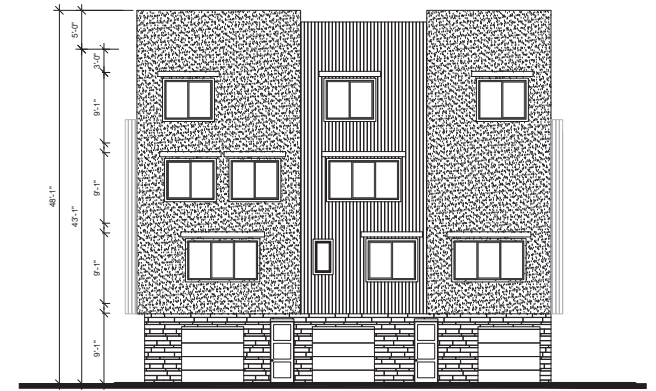
PROJECT: 317082





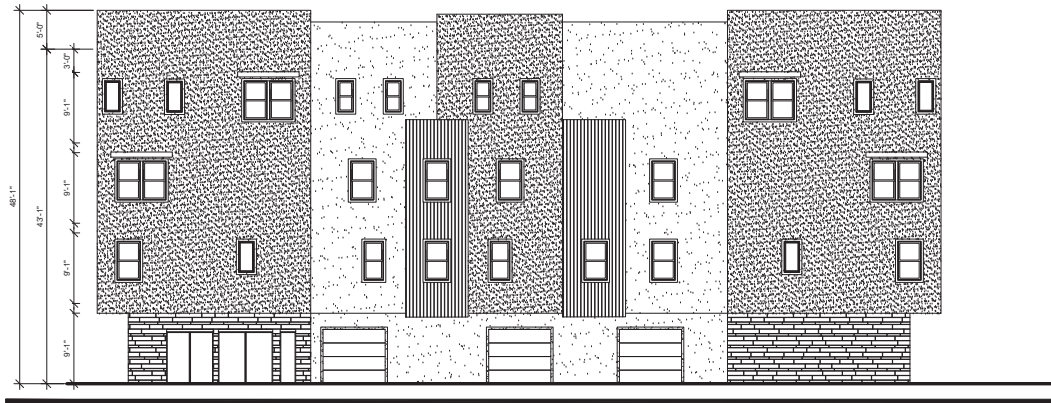
FRONT ELEVATION

18 PLEX @ BLDG M



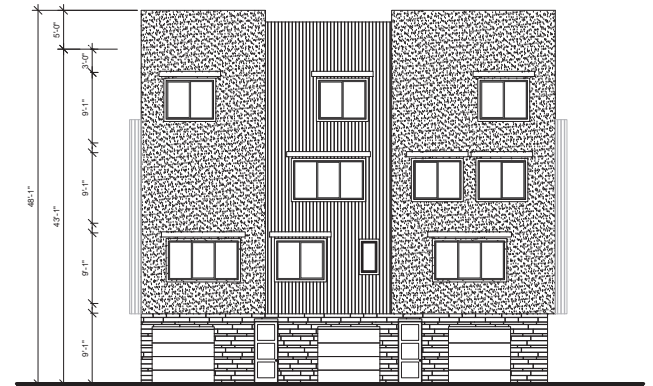
SIDE ELEVATION

18 PLEX @ BLDG M



REAR ELEVATION

18 PLEX @ BLDG M



SIDE ELEVATION

18 PLEX @ BLDG M

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL ELEVATIONS\_18 PLEX

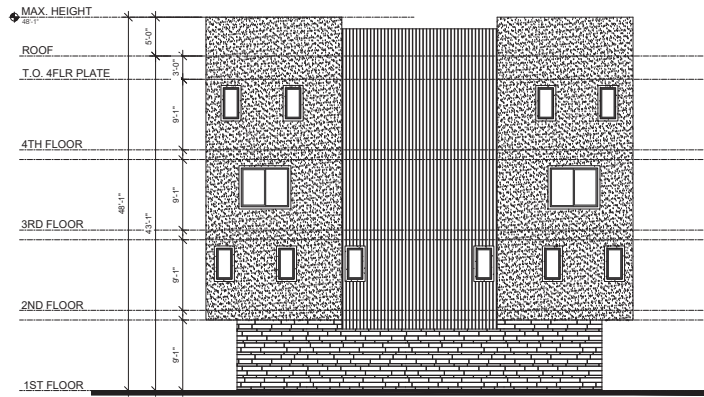
A1.6.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082





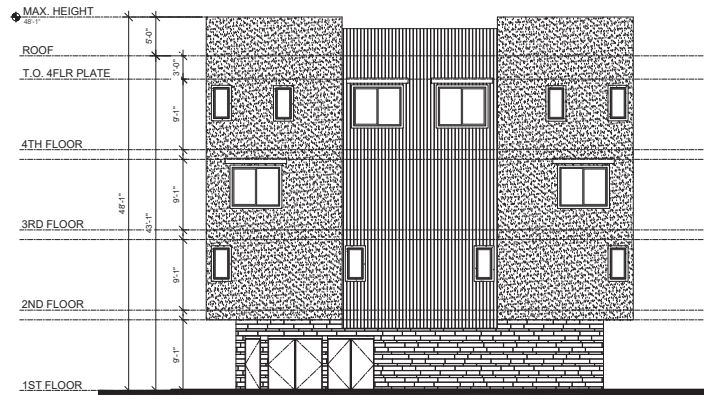
SIDE ELEVATION

20 PLEX @ BLDG. L



FRONT ELEVATION 2

20 PLEX @ BLDG. L



STREET SIDE ELEVATION

20 PLEX @ BLDGS. I



FRONT ELEVATION 1

20 PLEX @ BLDG. L

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



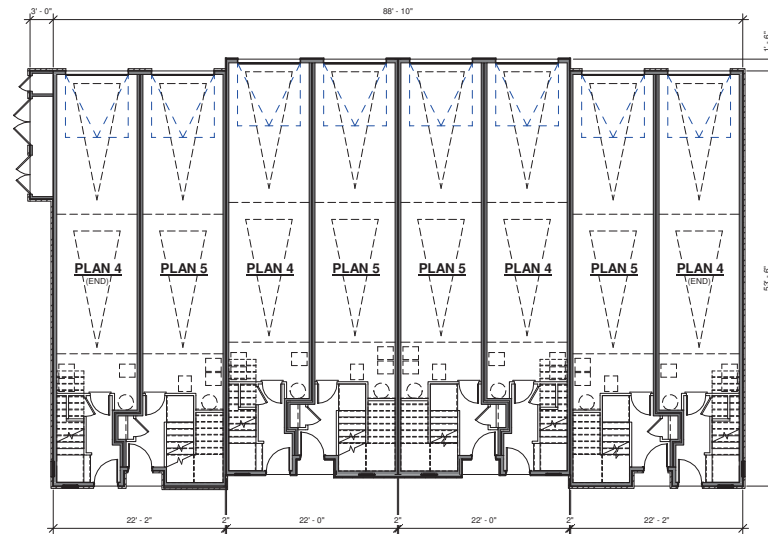
CONCEPTUAL ELEVATIONS\_20 PLEX

A1.7.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



1ST FLOOR PLAN

BLDG H (BLDG J - REVERSED)

# COLEMAN VILLAGE

CITY VENTURES

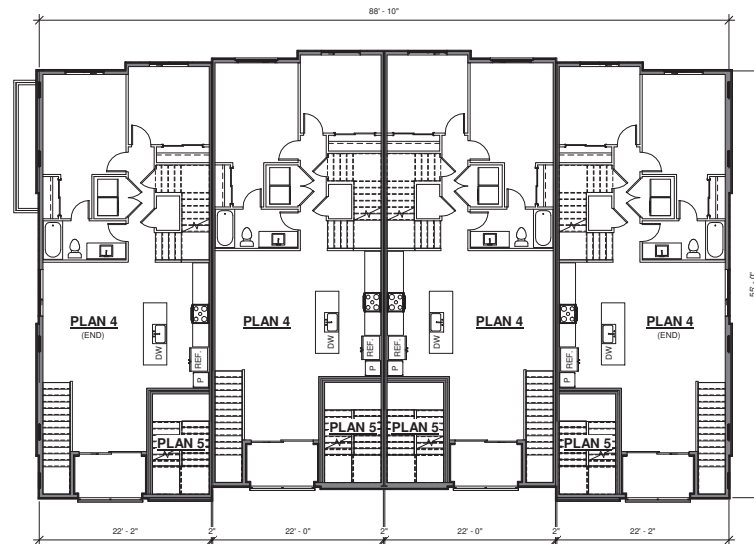
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 1ST FLOOR PLAN\_8 PLEX

A2.2.1

Scale: 1/8" = 1'-0"  
Date: 06/20/2025  
Project Number: 317082



## 2ND FLOOR PLAN

BLDG H (BLDG J - REVERSED)

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 2ND FLOOR PLAN\_8 PLEX

A2.2.2

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



3RD FLOOR PLAN

BLDG H (BLDG J - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

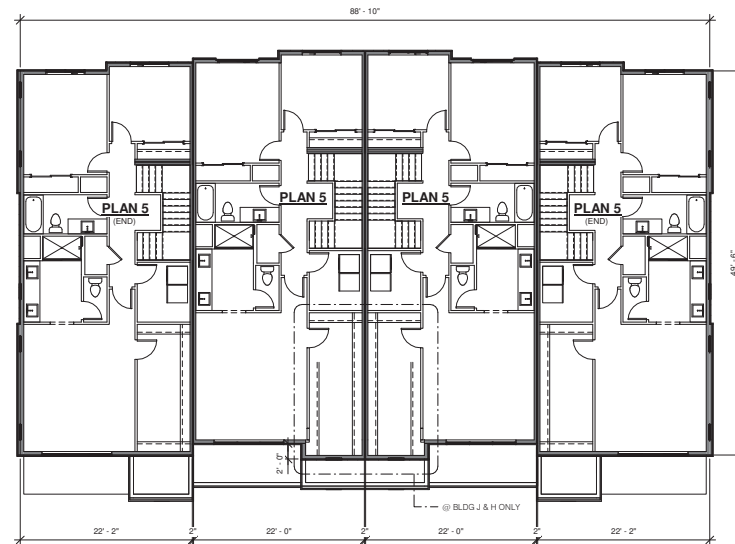
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 3RD FLOOR PLAN\_8 PLEX

A2.2.3

Scale: 1/8" = 1'-0"  
Date: 06/20/2025  
Project Number: 317082



#### 4TH FLOOR PLAN

BLDG H (BLDG J - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



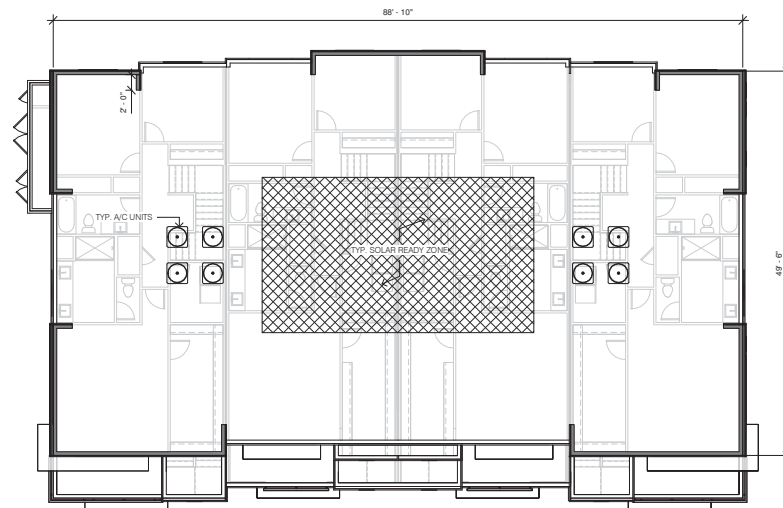
CONCEPTUAL 4TH FLOOR PLAN\_8 PLEX

A2.2.4

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



# ROOF PLAN

BLDG H (BLDG J - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



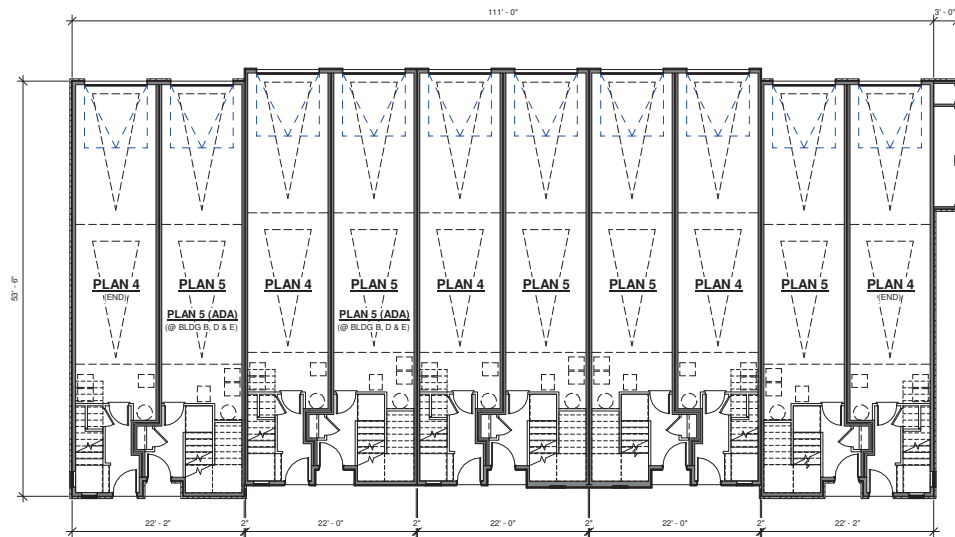
CONCEPTUAL ROOF PLAN\_8 PLEX

A2.2.5

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



# 1ST FLOOR PLAN

BLDG A (BLDG D, N - SIM) / (BLDG B, E - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



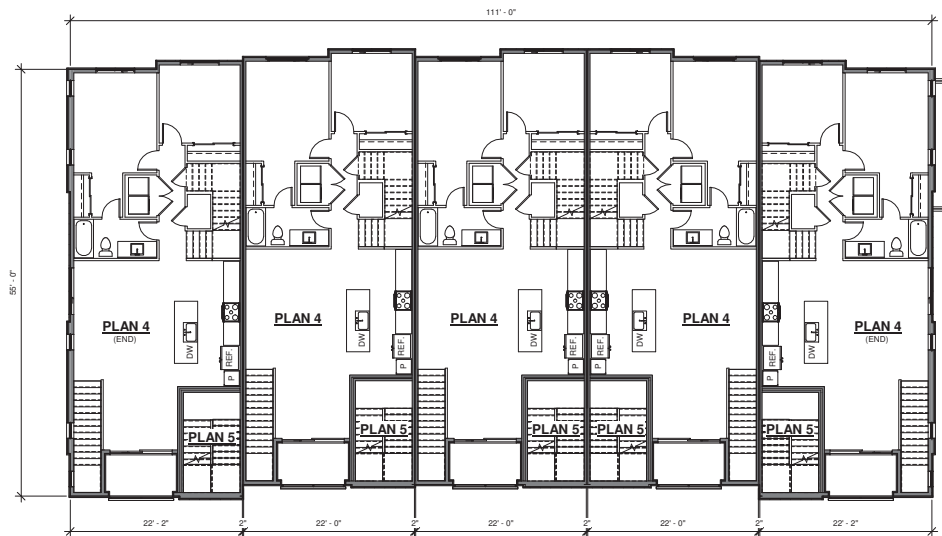
CONCEPTUAL 1ST FLOOR PLAN\_10 PLEX

A2.3.1

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



## 2ND FLOOR PLAN

BLDG A (BLDG D, N - SIM) / (BLDG B, E - REVERSED)

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 2ND FLOOR PLAN\_10 PLEX

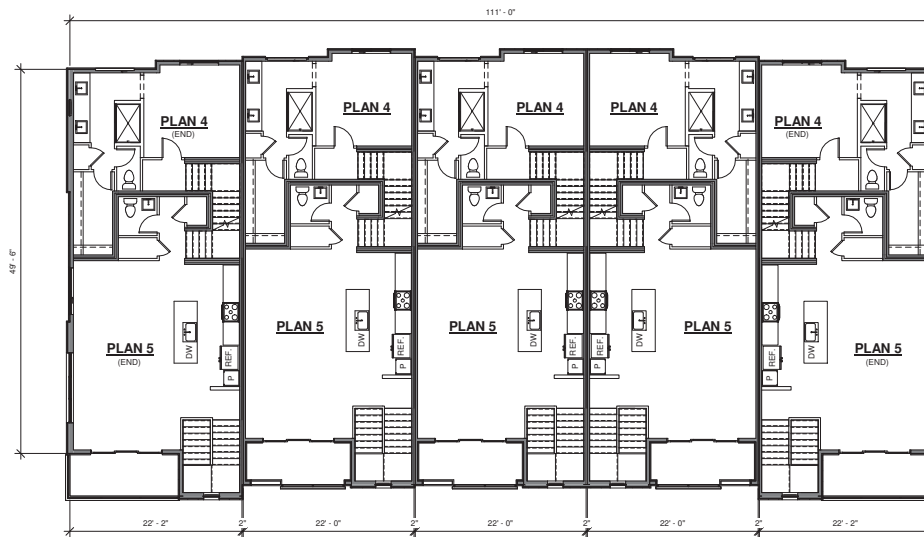
A2.3.2

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082





### 3RD FLOOR PLAN

BLDG A (BLDG D, N - SIM) / (BLDG B, E - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



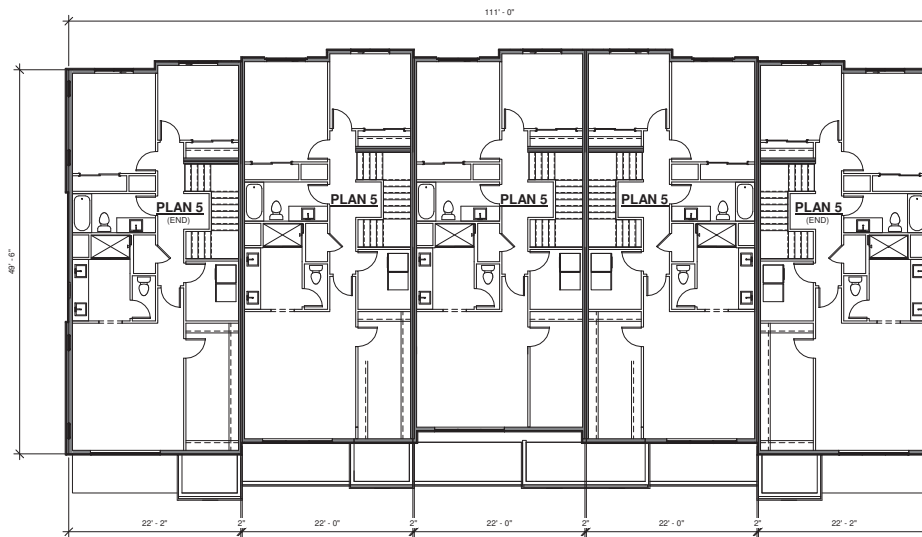
CONCEPTUAL 3RD FLOOR PLAN\_10 PLEX

A2.3.3

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



#### 4TH FLOOR PLAN

BLDG A (BLDG D, N - SIM) / (BLDG B, E - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



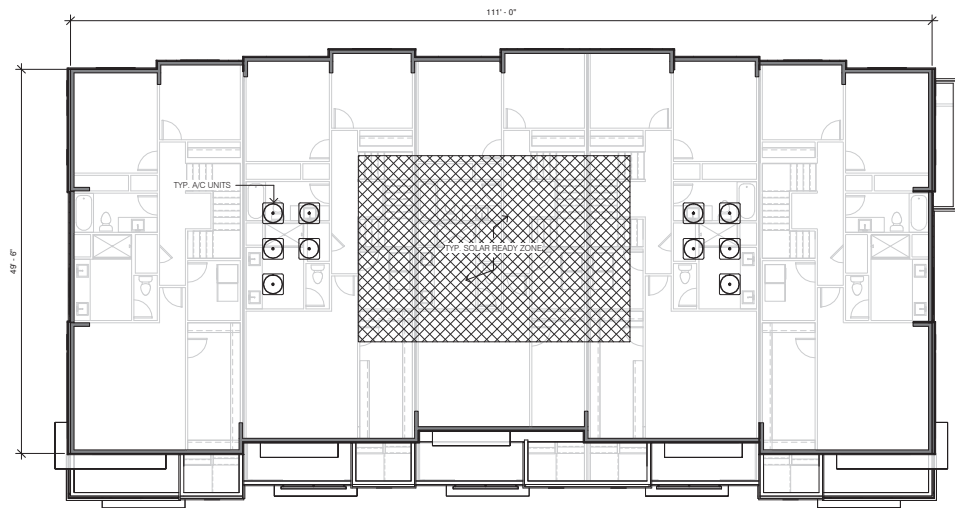
CONCEPTUAL 4TH FLOOR PLAN\_10 PLEX

A2.3.4

Scale: 1/8" = 1'-0"

Date: 06/20/2025

Project Number: 317082



# ROOF PLAN

BLDG A (BLDG D, N - SIM) / (BLDG B, E - REVERSED)

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



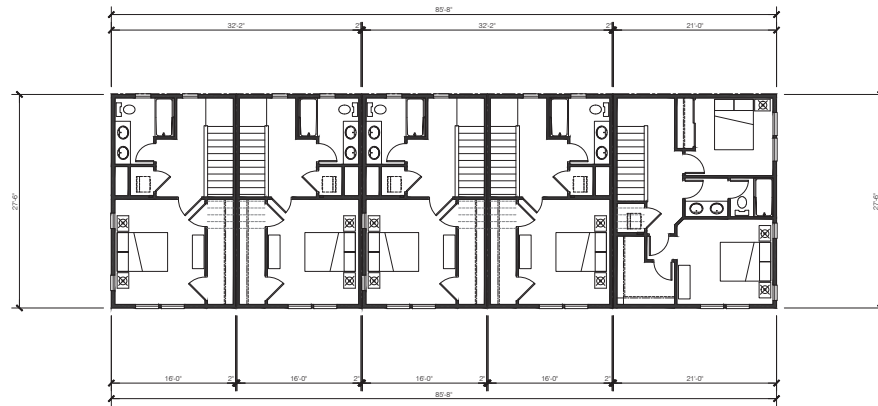
CONCEPTUAL ROOF PLAN\_10 PLEX

A2.3.5

Scale: 1/8" = 1'-0"

Date: 06/20/2025

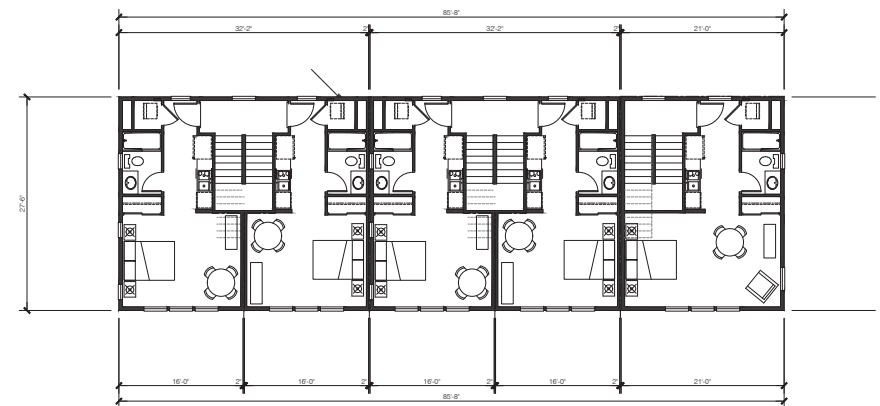
Project Number: 317082



4TH FLOOR PLAN

BLDG. C - PLAN 8 (8A AND 8B)

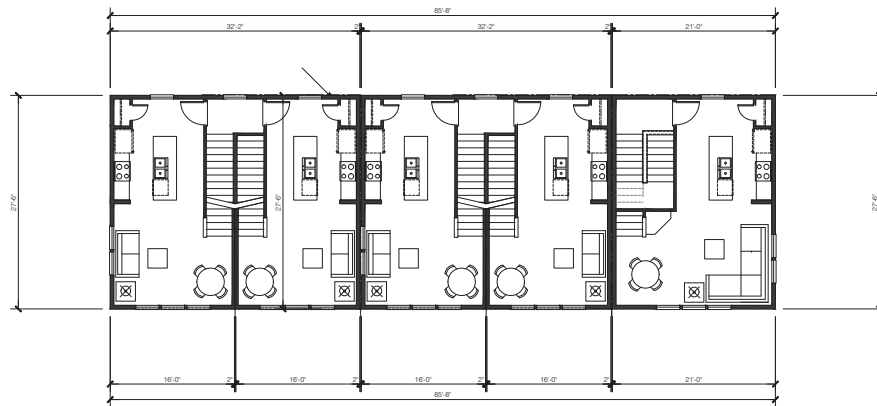
2,356 SQ. FT.



2ND FLOOR PLAN

BLDG. C\_AT BUILDINGS C-D-E-F - SEE SITE PLAN

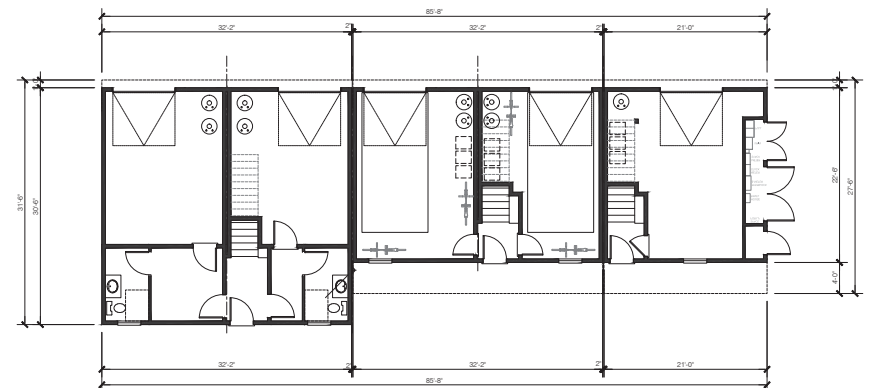
2,356 SQ. FT.



3RD FLOOR PLAN

BLDG. C - PLANS 6 & 7

2,356 SQ. FT.



1ST FLOOR PLAN

BLDG.\_AT BUILDINGS G THROUGH K - SEE SITE PLAN - PLANS 6.7 & 8

2,184 SQ. FT.

TOTAL SQ. FT. 9,251 SQ. FT.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



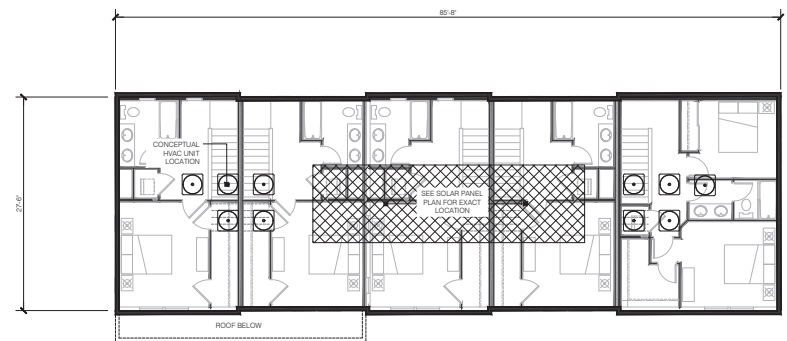
CONCEPTUAL 1ST-4TH BP\_10 PLEX W-STUDIO

A2.4.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



## ROOF PLAN

BLDG. K - PLANS 1 & 2

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



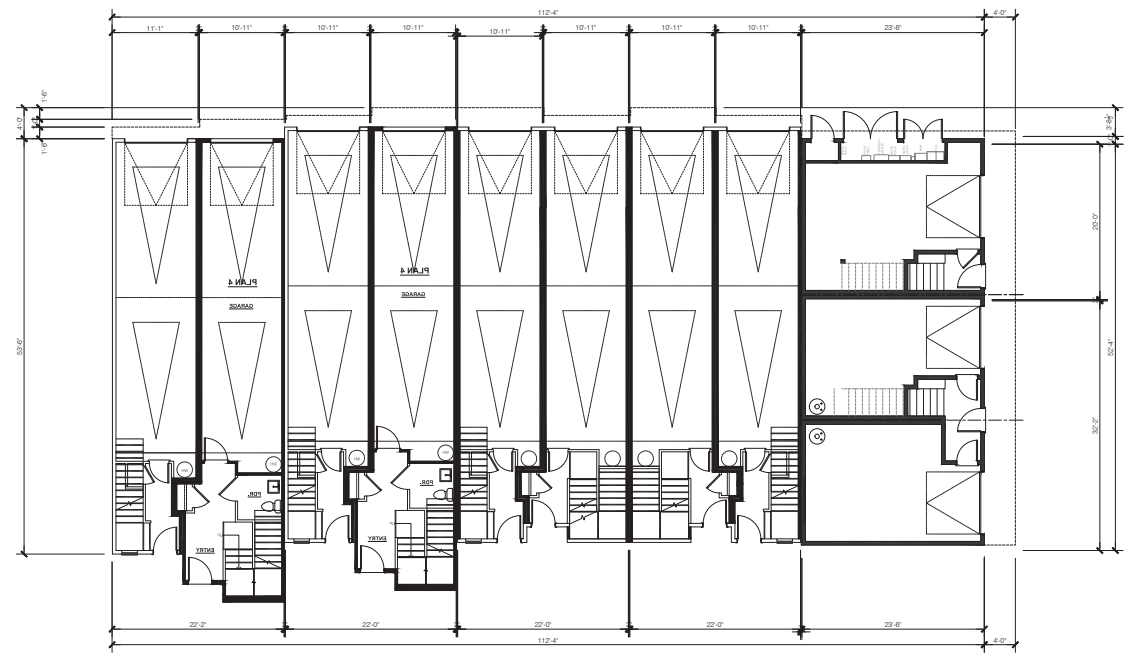
CONCEPTUAL RP\_10 PLEX W-STUDIO

A2.4.2

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



1ST FLOOR PLAN

BLDGS. F & G\_14-PLEX

- PLANS 1,2, 4, & 5

5,940 SQ. FT.

24,144 SQ. FT. TOTAL

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 1ST BP\_14 PLEX

A2.5.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



2ND FLOOR PLAN

BLDGS. F & G\_14-PLEX

- PLANS 1,2,4,&5

6,190 SQ. FT.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 2ND BP\_14 PLEX

A2.5.2

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



3RD FLOOR PLAN

BLDG. M\_12-PLEX - PLANS 1,2, 4, & 5 6,100 SQ. FT.

**COLEMAN VILLAGE**  
 CITY VENTURES  
 1400 COLEMAN AVE.  
 SANTA CLARA, CALIFORNIA 95050

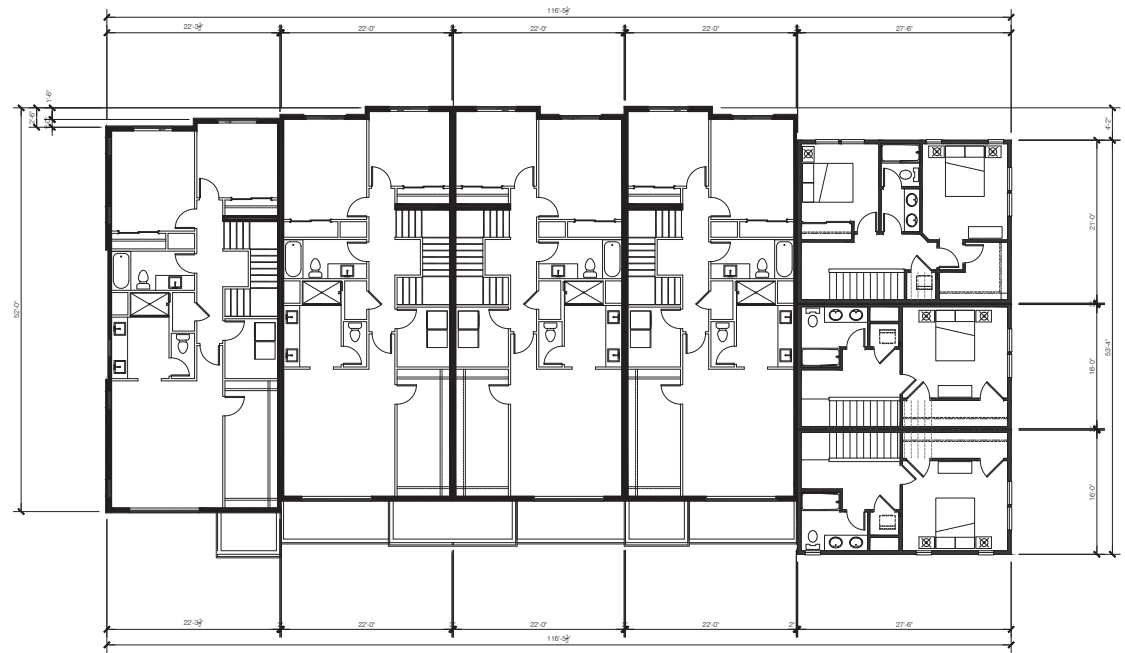


CONCEPTUAL 3RD BP\_14 PLEX

**A2.5.3**

SCALE: 1/8" = 1'-0"  
 DATE: 06.20. 2025  
 PROJECT: 317082





4TH FLOOR PLAN

BLDG. F & G\_14-PLEX PLANS 1,2, 4 & 5 5,914 SQ. FT.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



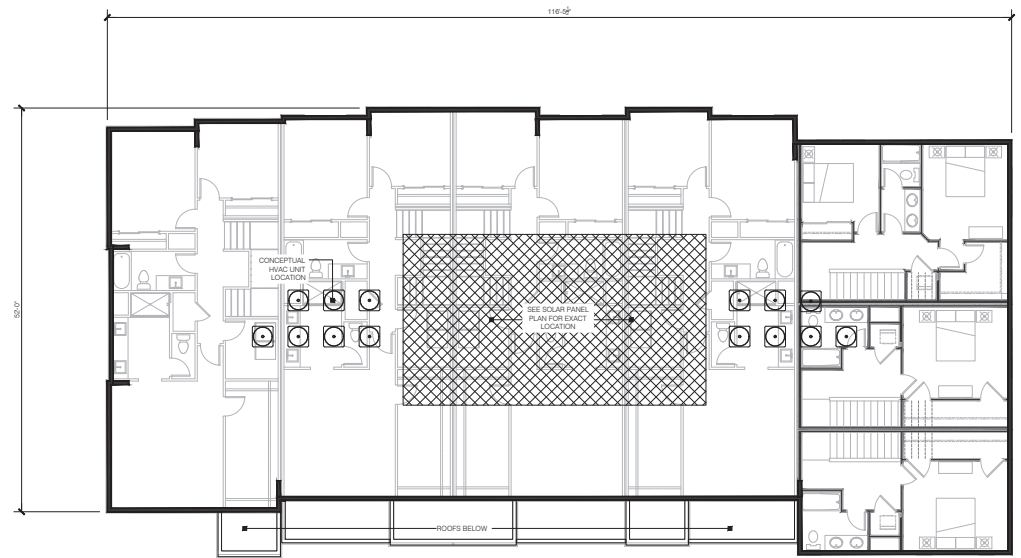
CONCEPTUAL 4TH BP\_14 PLEX

A2.5.4

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



## ROOF PLAN

BLDG. F (BLDG G REVERSED)

PLANS 1, 2 & 4

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL RP\_14 PLEX

A2.5.5

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



1ST FLOOR PLAN

BLDG. M\_18-PLEX

- PLANS 1 & 2

4096 SQ. FT.

17,324 SQ. FT. TOTAL

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 1ST BP\_18 PLEX

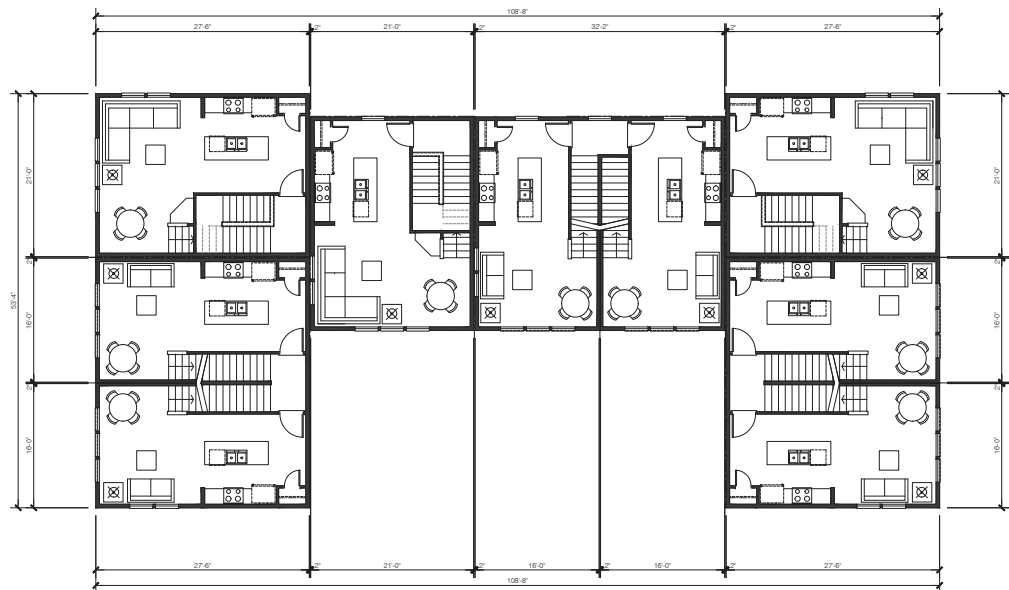
A2.6.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082





3RD FLOOR PLAN

BLDG. M\_12-PLEX

- PLANS 1 & 2

4409 SQ. FT.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



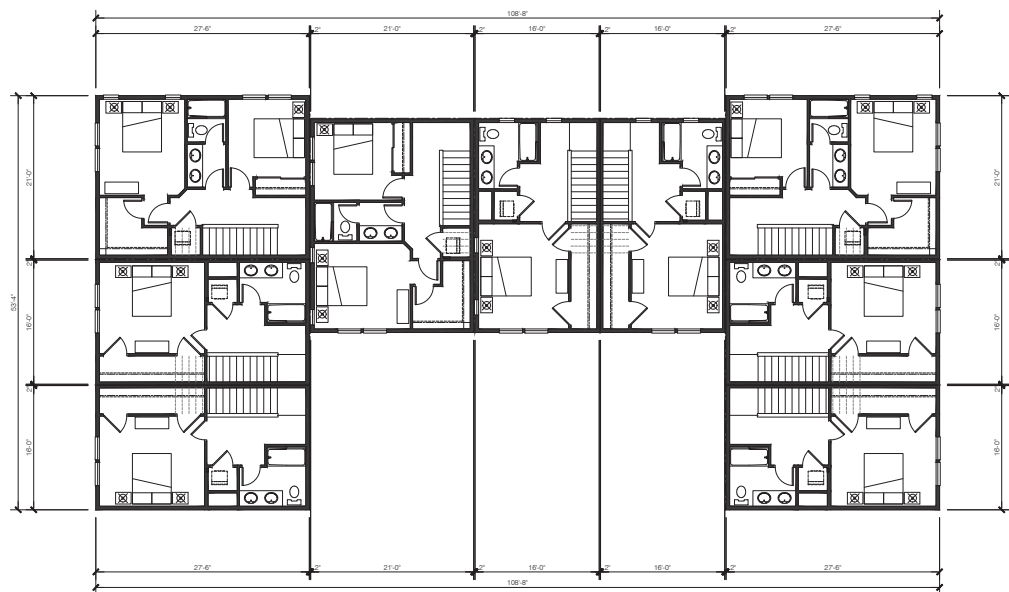
CONCEPTUAL 3RD BP\_18 PLEX

A2.6.3

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



#### 4TH FLOOR PLAN

BLDG. M\_18-PLEX

- PLANS 1 & 2

4409 SQ. FT.

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



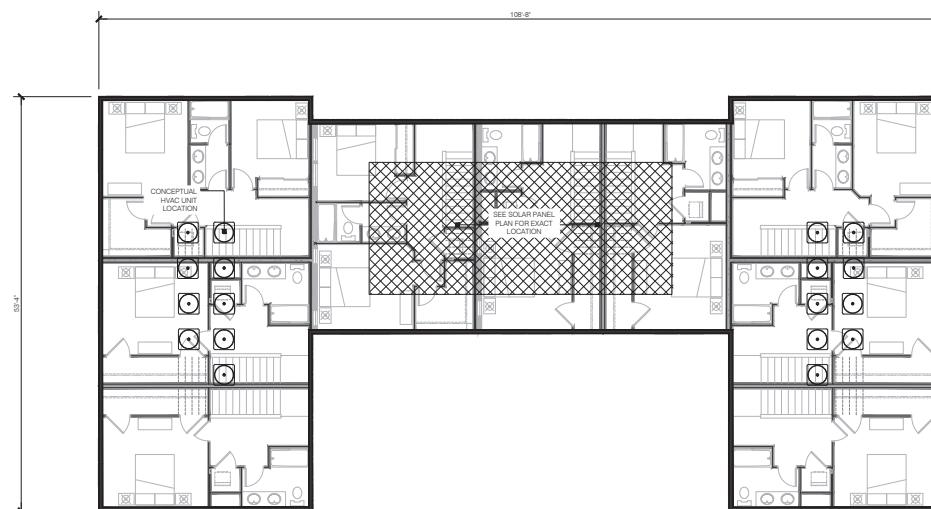
CONCEPTUAL 4TH BP\_18 PLEX

A2.6.4

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



ROOF PLAN

BLDG. M

PLANS 1, 2 & 4

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



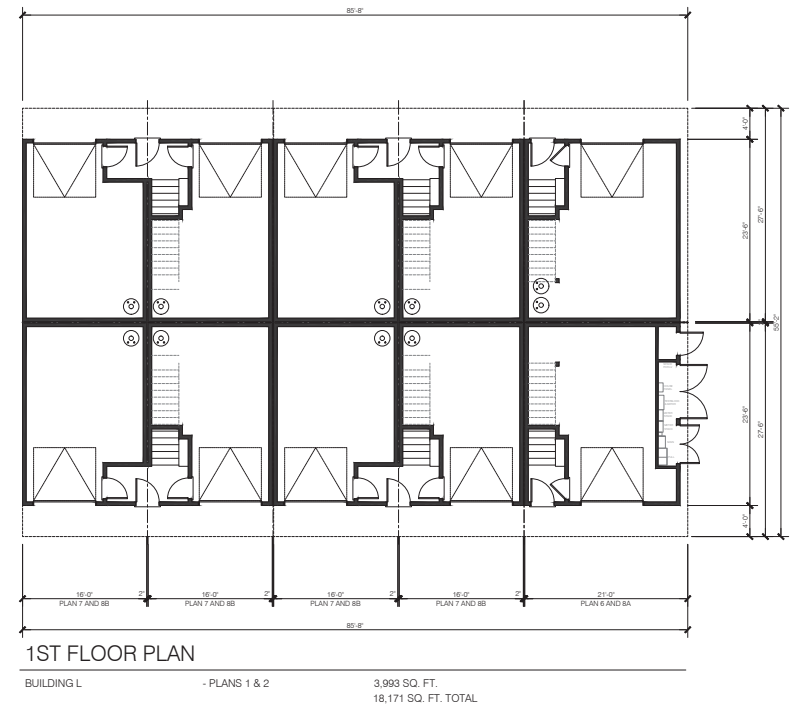
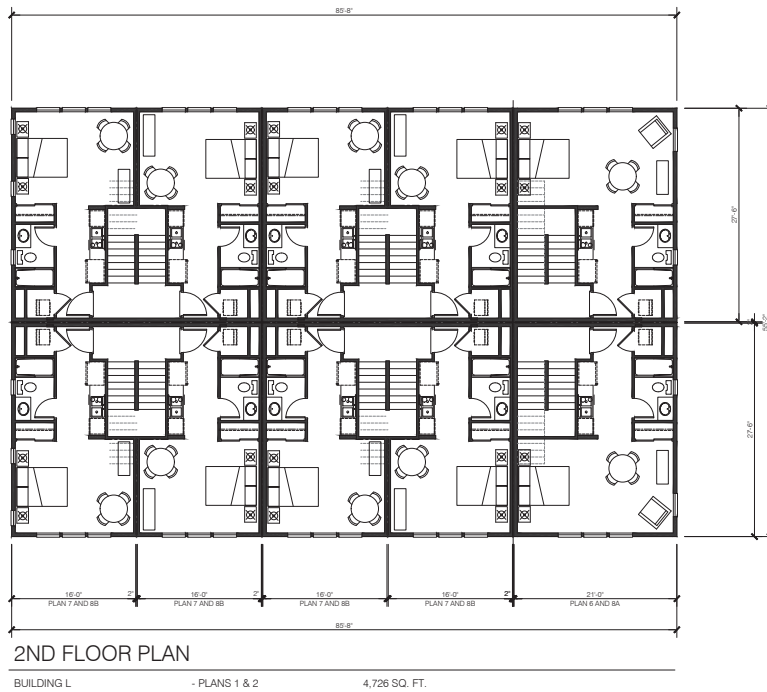
CONCEPTUAL RP\_18 PLEX

A2.6.5

SCALE: 1/8" = 1'-0"

DATE: 06.20. 2025

PROJECT: 317082



COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL 1ST\_2ND BP- 20 PLEX

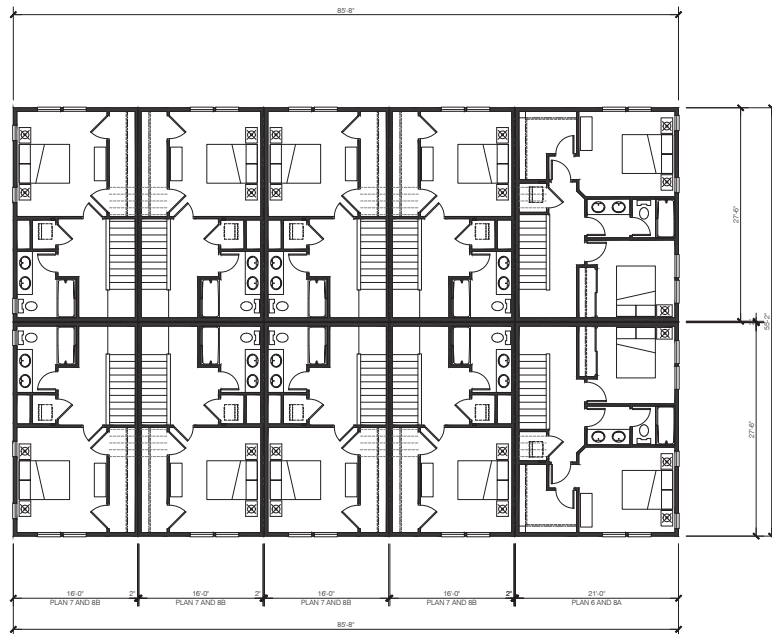
A2.7.1

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



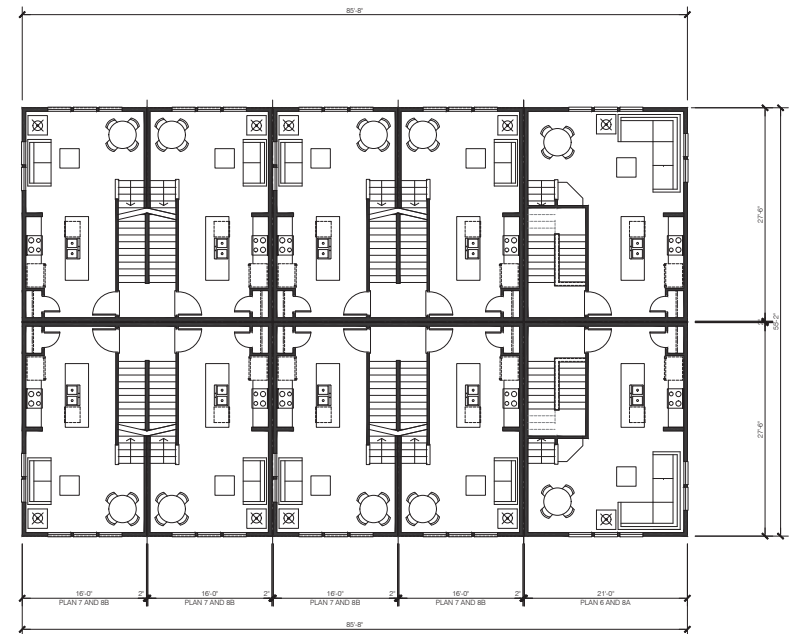


4TH FLOOR PLAN

BUILDING L

- PLANS 1 & 2

4,726 SQ. FT.



3RD FLOOR PLAN

BUILDING L

- PLANS 1 & 2

4,726 SQ. FT.

# COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



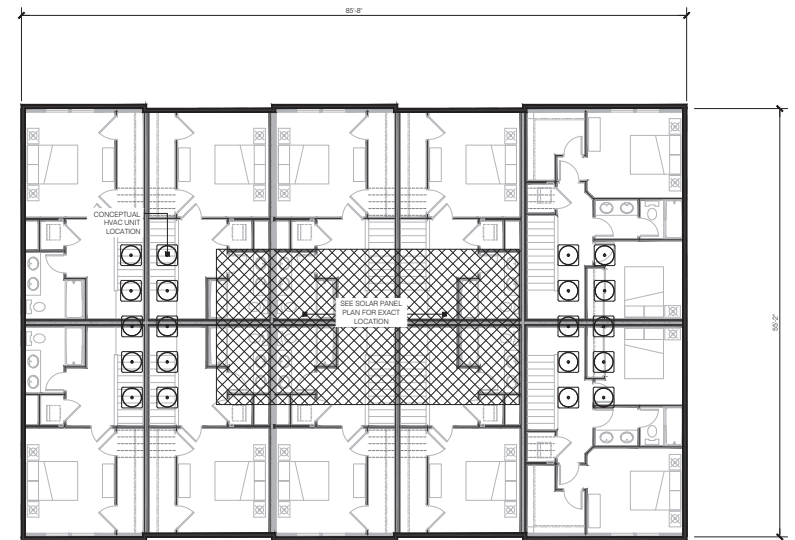
CONCEPTUAL 3RD\_4TH BP- 20 PLEX

A2.7.2

SCALE: 1/8" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082



ROOF PLAN

BUILDING L

PLANS 1 & 2

**COLEMAN VILLAGE**  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



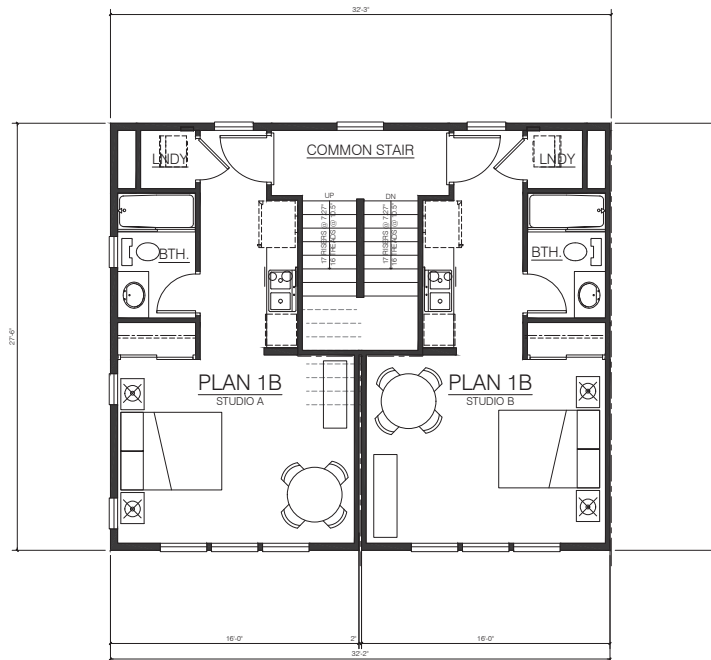
CONCEPTUAL RP\_20 PLEX

**A2.7.3**

SCALE: 1/8" = 1'-0"

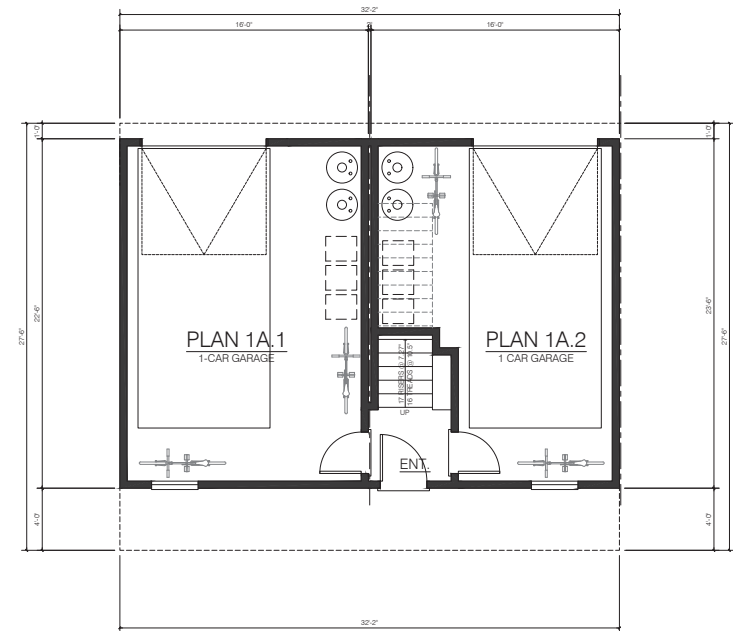
DATE: 06.20.2025

PROJECT: 317082



2ND FLOOR PLAN

STUDIOS 1B LIVING: 377 SQ. FT.  
STAIR: 128 SQ. FT.



1ST FLOOR PLAN

PLAN 1A PLAN 1A.1 GARAGE: 360 SQ. FT.  
PLAN 1A.2 GARAGE: 304 SQ. FT.  
STAIR/ UTIL: 58 SQ. FT.

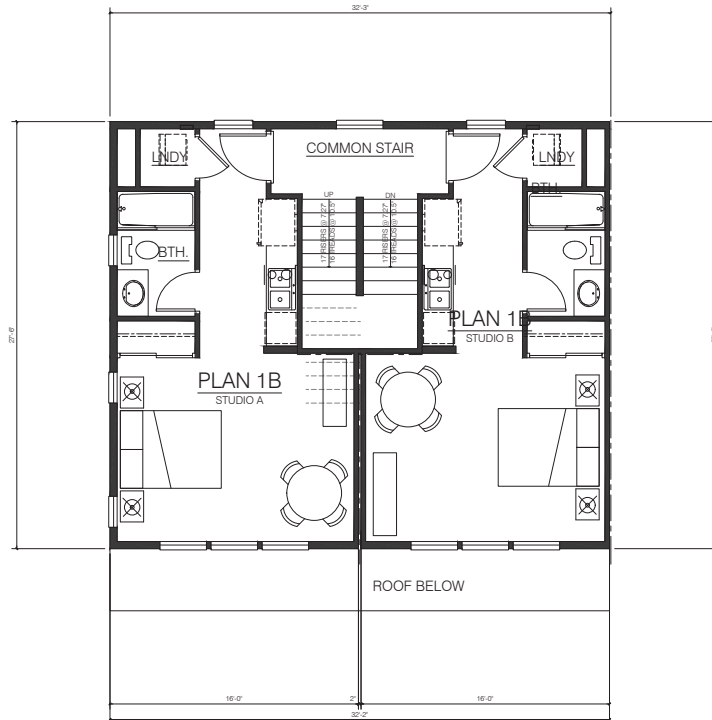
COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL PLAN 1A-1B\_1ST AND 2ND FLOORS

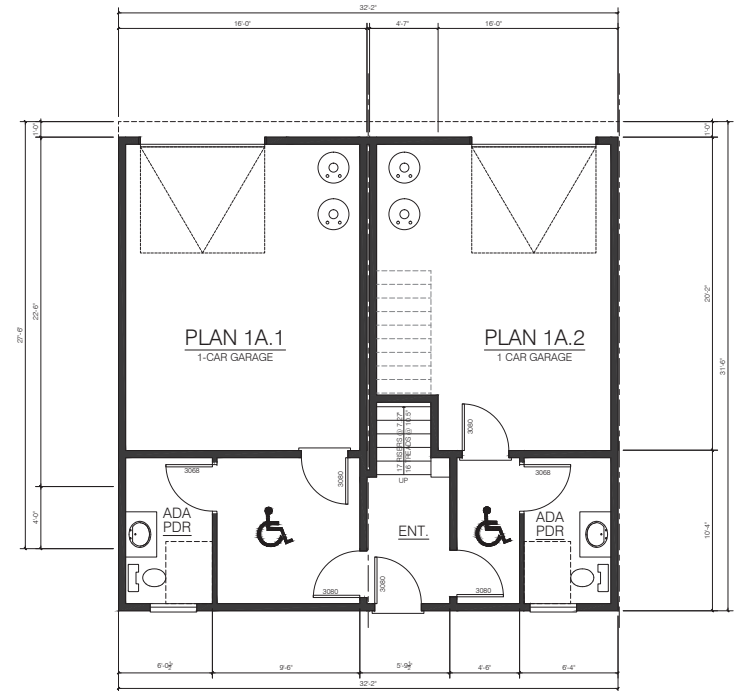
A3.1.1

SCALE: 1/4" = 1'-0"  
DATE: 06.20. 2025  
PROJECT: 317082



2ND FLOOR PLAN

STUDIOS 1B LIVING: 377 SQ. FT.  
STAIR: 128 SQ. FT.



1ST FLOOR PLAN

PLAN 1A PLAN 1A.1 GARAGE: 323 SQ. FT.  
PLAN 1A.2 GARAGE: 307 SQ. FT.  
STAIR/ UTIL: 76 SQ. FT.

CONCEPTUAL PLAN 1A\_1B\_1ST AND 2ND\_ADA

A3.1.2

SCALE: 1/4" = 1'-0"

DATE: 06.20.2025

PROJECT: 317082

COLEMAN VILLAGE

CITY VENTURES

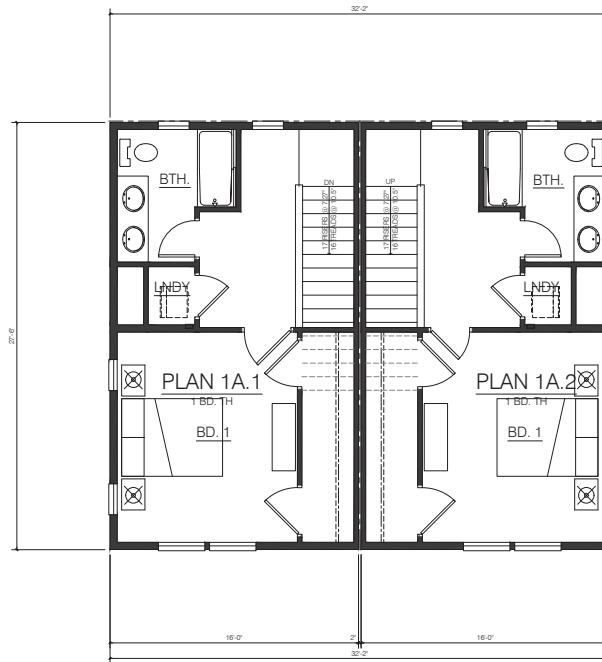
1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



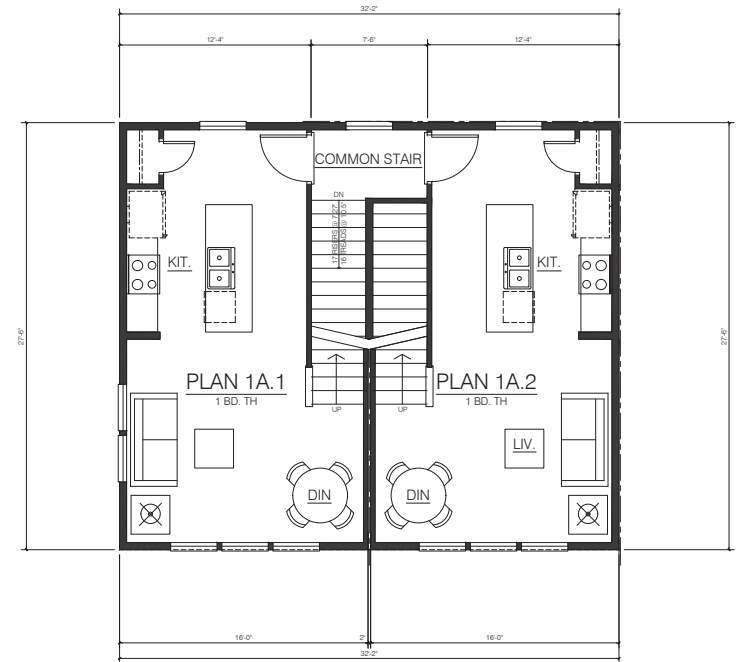
TARRAR  
UTILITY CONSULTANTS





4TH FLOOR PLAN

PLAN 1A UPPER LIVING: 440 SQ. FT.



3RD FLOOR PLAN

PLAN 1A MAIN LIVING: 387 SQ. FT.  
TOTAL LIVING: 827 SQ. FT.  
STAIR: 109 SQ. FT.

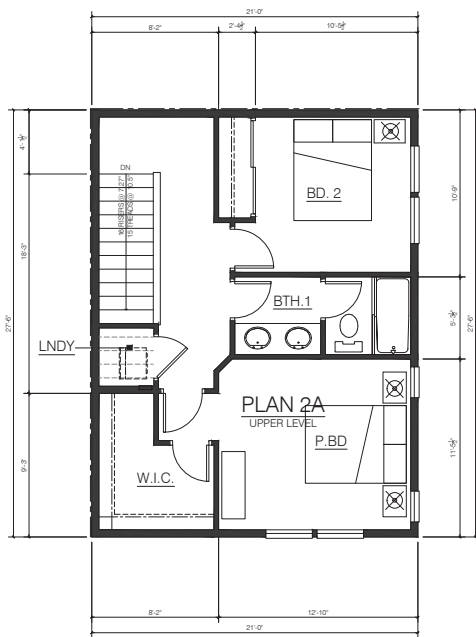
**COLEMAN VILLAGE**  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL PLAN 1A-1B\_3RD AND 4TH FLOORS

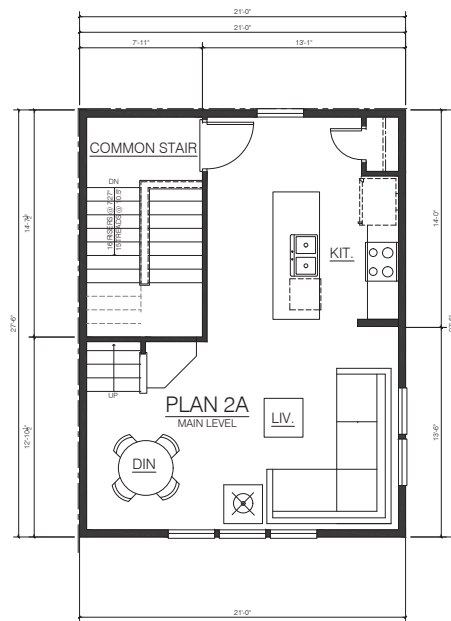
**A3.1.3**

SCALE: 1/4" = 1'-0"  
DATE: 06.20.2025  
PROJECT: 317082



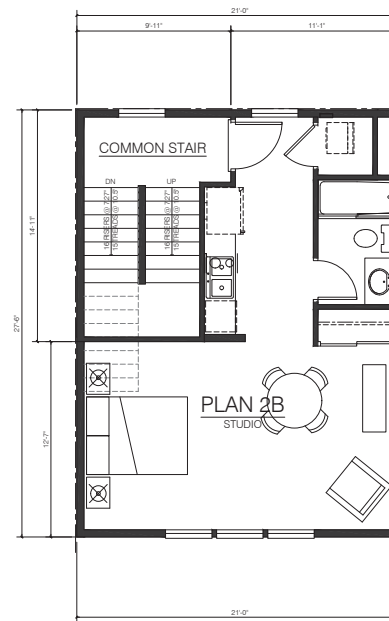
4TH FLOOR PLAN

PLAN 2A UPPER LIVING: 536 SQ. FT.



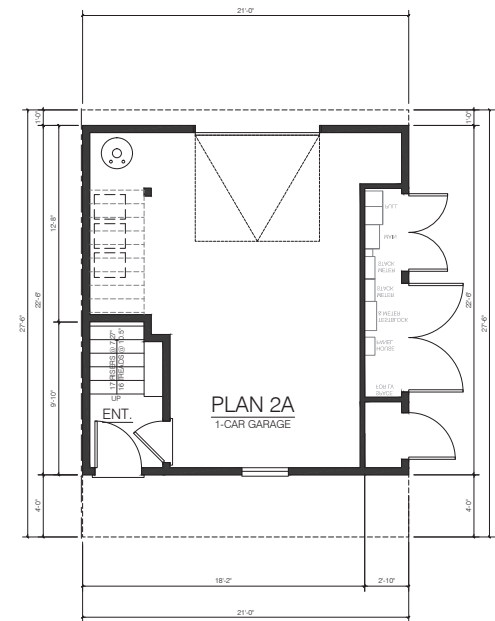
3RD FLOOR PLAN

PLAN 2A MAIN LIVING: 462 SQ. FT.  
TOTAL LIVING: 998 SQ. FT.  
STAIR: 116 SQ. FT.



2ND FLR. PLAN

PLAN 2 B - STUDIO LIVING: 452 SQ. FT.  
STAIR: 125 SQ. FT.



GROUND FLOOR PLAN

PLAN 2A STAIR / UTIL.: 109 SQ. FT.  
GARAGE: 364 SQ. FT.

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



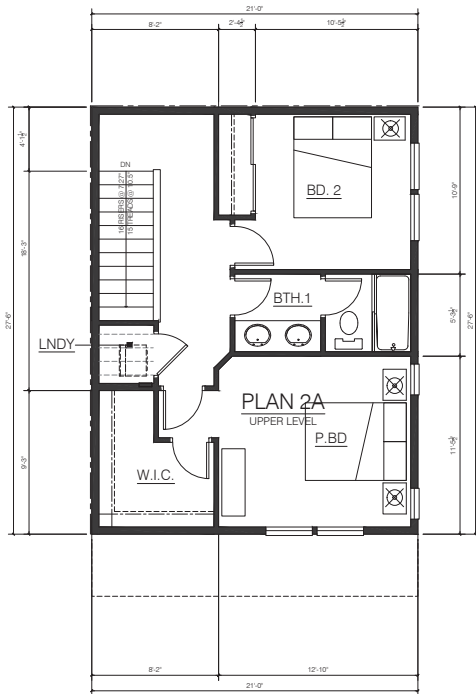
CONCEPTUAL PLAN 2

A3.2.1

SCALE: 1/4" = 1'-0"

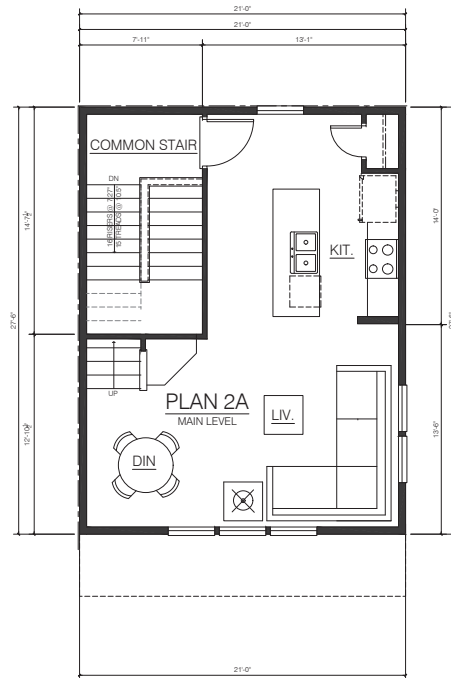
DATE: 06.20.2025

PROJECT: 317082



4TH FLOOR PLAN

PLAN 2A UPPER LIVING: 536 SQ. FT.



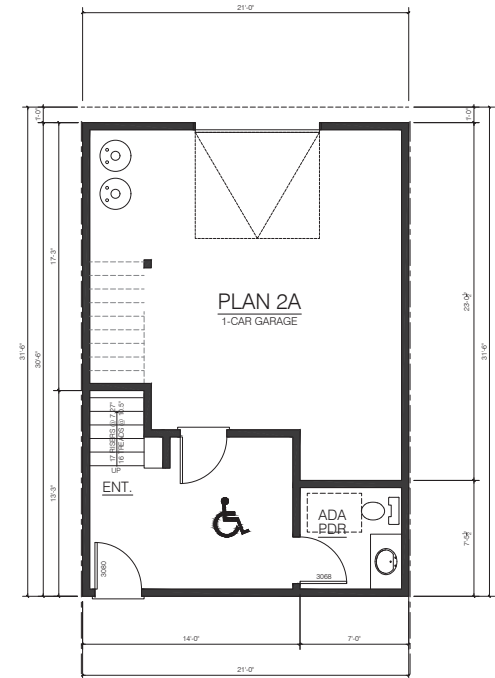
3RD FLOOR PLAN

PLAN 2A MAIN LIVING: 462 SQ. FT.  
TOTAL LIVING: 998 SQ. FT.  
STAIR: 116 SQ. FT.



2ND FLR. PLAN

PLAN 2 B - STUDIO LIVING: 452 SQ. FT.  
STAIR: 125 SQ. FT.



GROUND FLOOR PLAN

PLAN 2A STAIR / UTIL.: 215 SQ. FT.  
GARAGE: 425 SQ. FT.

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
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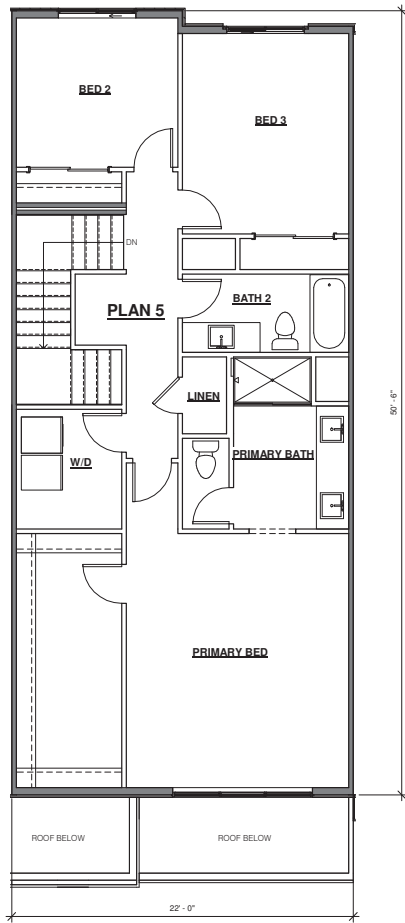
CONCEPTUAL PLAN 2 ADA

A3.2.2

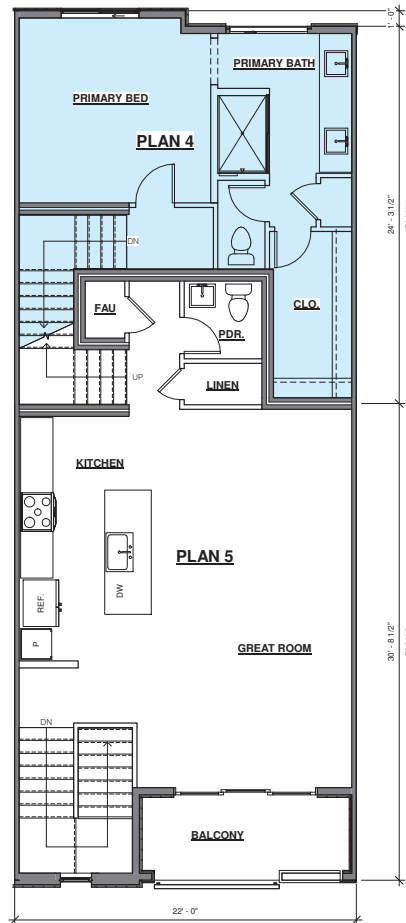
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DATE: 06.20.2025

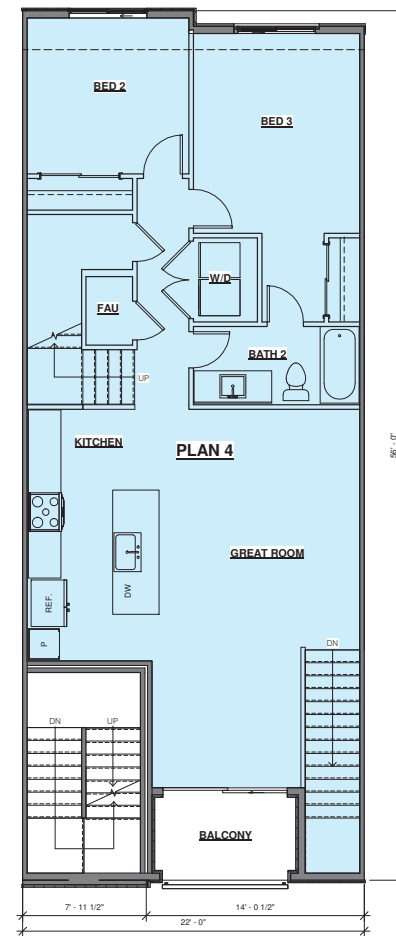
PROJECT: 317082



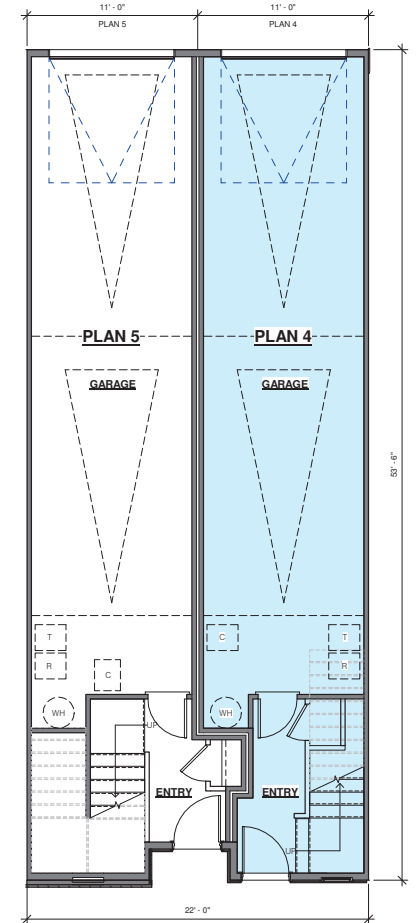
4 4TH FLOOR PLAN 4&5  
SCALE: 1/4" = 1'-0"



3 3RD FLOOR PLAN 4&5  
SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN 4&5  
SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN 4&5  
SCALE: 1/4" = 1'-0"

**COLEMAN VILLAGE**  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050

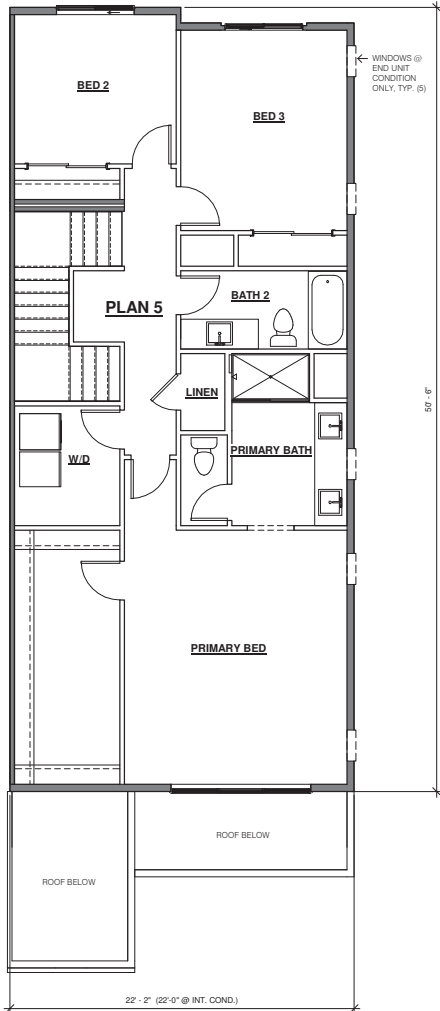


CONCEPTUAL UNIT PLANS 4&5

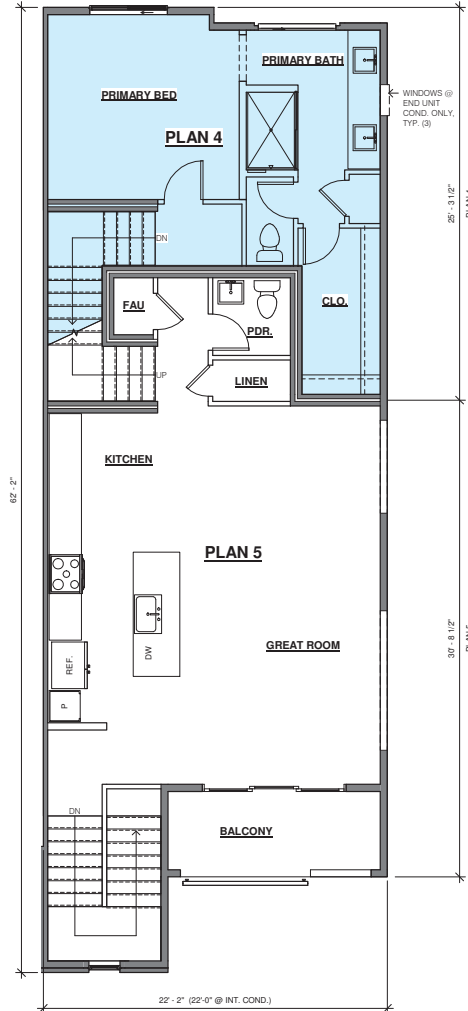
**A3.4.1**

Scale: 1/4" = 1'-0"  
Date: 06.20.2025  
Project Number: 317082

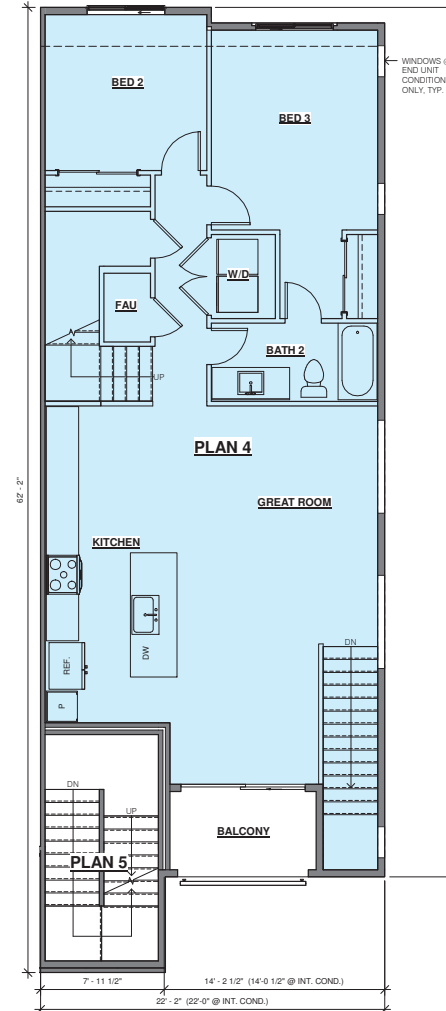




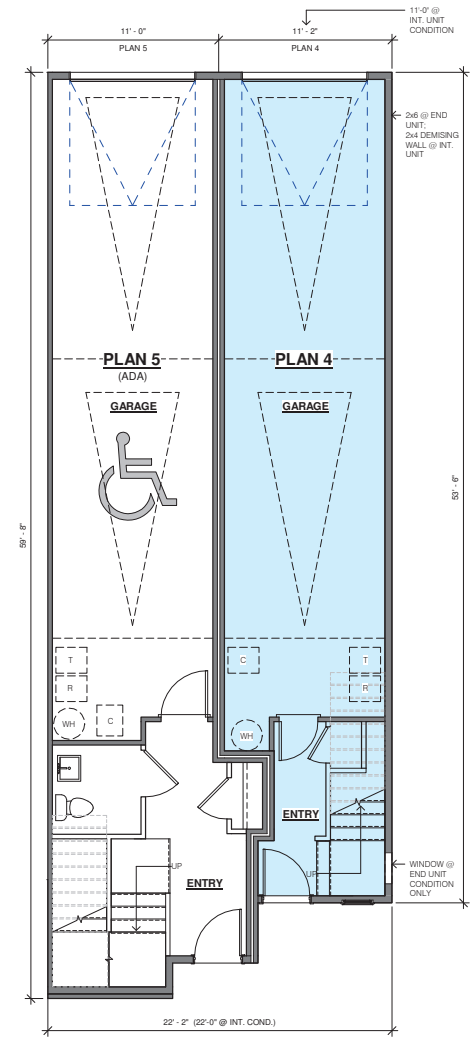
**4 4TH FLOOR PLAN 4&5**  
SCALE: 1/4" = 1'-0"



**3 3RD FLOOR PLAN 4&5**  
SCALE: 1/4" = 1'-0"



**2 2ND FLOOR PLAN 4&5**  
SCALE: 1/4" = 1'-0"



**1 1ST FLOOR PLAN 4&5**  
SCALE: 1/4" = 1'-0"

**COLEMAN VILLAGE**  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



CONCEPTUAL UNIT PLAN 5 (ADA)

**A3.4.2**

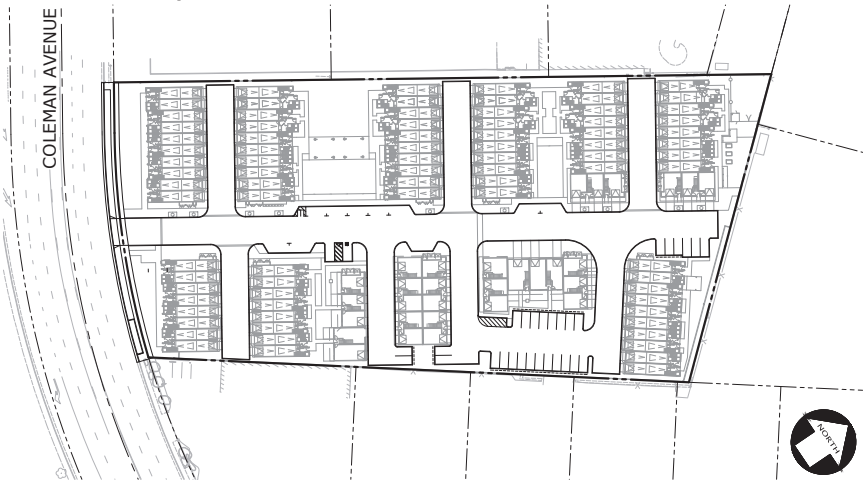
Scale: 1/4" = 1'-0"  
Date: 06.20.2025  
Project Number: 317082

VESTING TENTATIVE MAP  
FOR A 2 LOT SUBDIVISION  
FOR RESIDENTIAL CONDOMINIUM PURPOSES  
FOR A MAXIMUM OF 190 RESIDENTIAL UNITS  
COLEMAN VILLAGE  
FOR  
CITY VENTURES

PROJECT DATA

1. RECORD OWNER: GRANT ASSOCIATES L.P.  
C/O DALTON MANAGEMENT  
ATTN: JEFF DENSON  
8417 SW HEAVERTON HILLSDALE HIGHWAY  
PORTLAND, OR 97225  
EMAIL: JEFF@DALTONMNGT.COM
2. SUBDIVIDER: CITY VENTURES  
444 SPEAR STREET  
SAN FRANCISCO, CA 94105  
PHONE: (415) 389-6632  
PAMELA NIETING
3. MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
PHONE: (408) 727-6665  
MARK A. KNUDSEN, P.E. 75828
4. A.P.N.: 230-05-021
5. GENERAL PLAN: REGIONAL COMMERCIAL
6. EXISTING USE: OFFICE
7. PROPOSED USE: RESIDENTIAL
8. EXISTING ZONING: ML - LIGHT INDUSTRIAL
9. PROPOSED ZONING: R4 - HIGH-DENSITY RESIDENTIAL
10. EXISTING NUMBER OF LOTS: 1
11. PROPOSED NUMBER OF RESIDENTIAL UNITS: 190 (MAXIMUM)  
142 CONDOMINIUM UNITS  
0 ADU UNITS
- DENSITY: MINIMUM: 37  
ACTUAL: 37.7
12. TOTAL ACREAGE: 3.7859± ACRES
13. ALL DISTANCES ARE APPROXIMATE.
14. THERE ARE NO NEW PUBLIC STREET NAMES PROPOSED.
15. BENCHMARK:
16. BASIS OF BEARINGS:  
THE BEARING OF SOUTH 36° 49' 52" WEST TAKEN ON THE CENTER LINE OF BROKAW ROAD AS SHOWN ON THAT CERTAIN TRACT MAP NUMBER 3155 FILED FOR RECORD IN JANUARY, 1962, IN BOOK 147 OF MAPS AT PAGE 28, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
17. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0231H FOR COMMUNITY NUMBER 060350 (CITY OF SANTA CLARA), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X" (SHADED) "C" ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (SHADED) "C" AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE; SEE NOTES.
18. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE INSURANCE COMPANY DATED AS OF OCTOBER 20, 2022, ORDER NUMBER 9802585-982-24-KC, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. BY CBRE ON NOVEMBER 8, 2022. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
19. UTILITIES:  
STORM DRAINAGE CITY OF SANTA CLARA  
SANITARY SEWER CITY OF SANTA CLARA  
WATER CITY OF SANTA CLARA  
ELECTRIC SILICON VALLEY POWER  
TELEPHONE AT&T  
CABLE COMCAST
20. CCR&S WILL FURTHER DEFINE THE INGRESS/EGRESS, PRIVATE UTILITY, AND PARKING EASEMENTS OVER OVER LOT 1 FOR THE BENEFIT OF THE OTHER LOTS.
21. ADDITIONAL EASEMENTS OR AGREEMENTS MAY BE NECESSARY AS THE PROJECT EVOLVES AND WILL BE CREATED BY SEPARATE INSTRUMENT.
22. THERE IS NO PLAN LINE FOR COLEMAN AVENUE.

SANTA CLARA, CALIFORNIA



SITE MAP

SCALE: 1" = 60'

DEVELOPER

CITY VENTURES  
ATTN: PAMELA NIETING  
444 SPEAR STREET  
SAN FRANCISCO, CA 94105  
415-964-1097

CIVIL ENGINEER

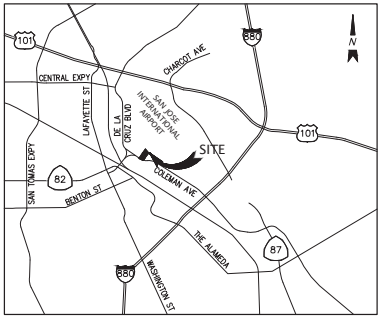
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
ATTN: MARK A. KNUDSEN  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
408-727-6665

ARCHITECT

HUNT HALE JONES ARCHITECT  
ATTN: DAN HALE  
444 SPEAR STREET, SUITE 105  
SAN FRANCISCO, CA 94105  
415-512-1300

LANDSCAPE ARCHITECT

C2 COLLABORATIVE  
ATTN: CHRISTOPHER FORTUNATO  
100 AVENIDA MIRAMAR  
SAN CLEMENTE, CA 92672  
949-366-6624



SHEET INDEX

SHEET	DESCRIPTION
TM-1.0	COVER SHEET
TM-2.1	EXISTING CONDITIONS PLAN
TM-2.2	PRELIMINARY DEMOLITION PLAN
TM-3.1	VESTING TENTATIVE MAP
TM-4.1	PRELIMINARY CIVIL SITE PLAN
TM-5.1	PRELIMINARY GRADING AND DRAINAGE PLAN
TM-6.1	PRELIMINARY UTILITY PLAN
TM-7.1	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
TM-7.2	PRELIMINARY STORMWATER QUALITY CALCULATIONS
TM-8.1	PRELIMINARY SITE FIRE ACCESS PLAN
TM-9.1	REFUSE COLLECTION ACCESS EXHIBIT - ENTER
TM-9.2	REFUSE COLLECTION ACCESS EXHIBIT - EXIT

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



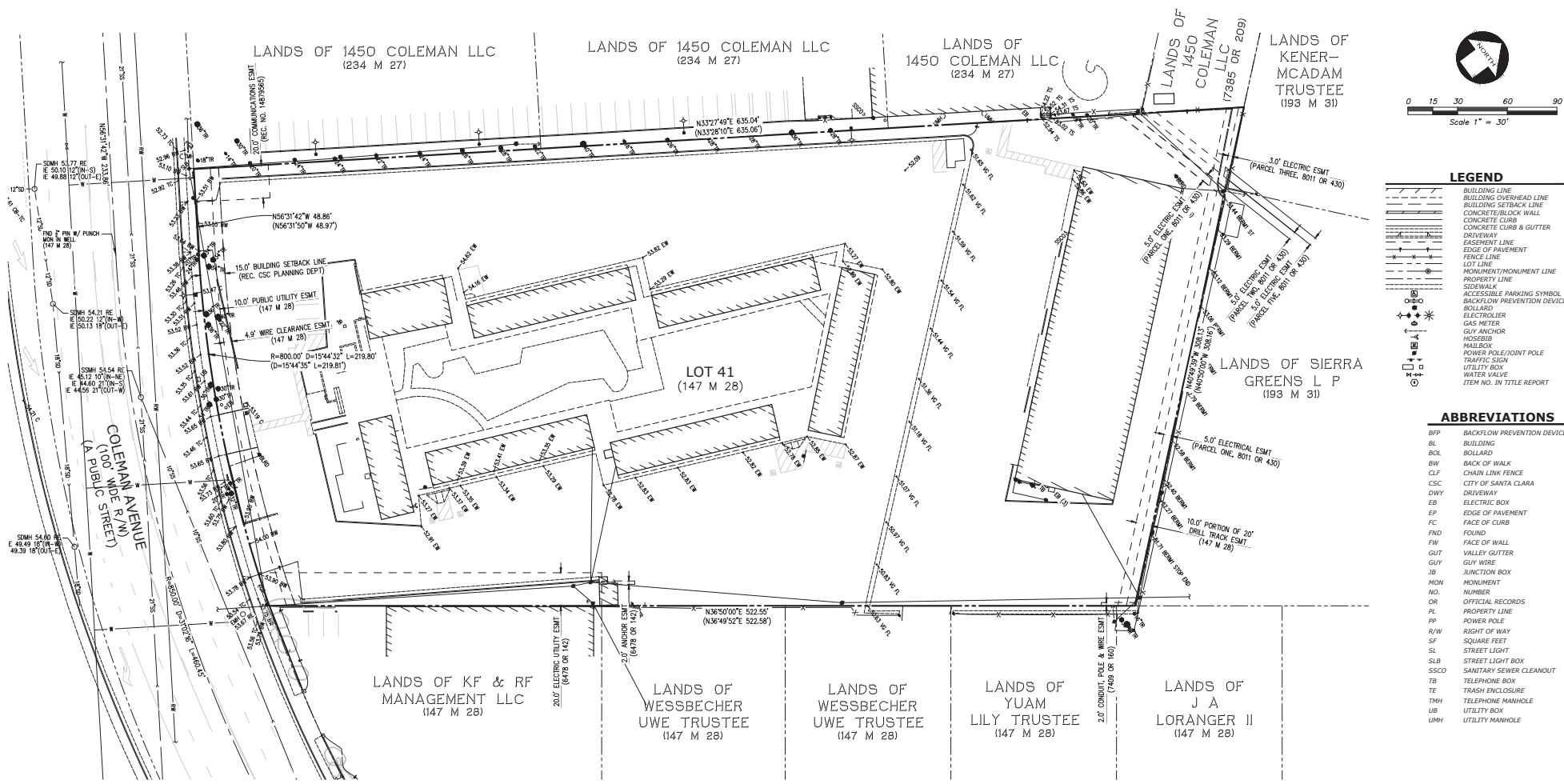
3350 Scott Boulevard, Building 22  
Santa Clara, California 95054  
Phone: (408) 727-6665  
www.kierwright.com

COVER SHEET

TM-1.0

DATE: 05.07.2025  
PROJECT: A23161-1

Z:\2023\A23161-1\JUNO\ENTITLEMENTS\EXISTING MAP\A23161-1-TM-TS.dwg 6-20-25 04:14:50 PM rbl



LEGEND	
	BUILDING OVERHEAD LINE
	BUILDING SETBACK LINE
	CONCRETE/BLOCK WALL
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	DRIVE
	EASEMENT LINE
	EDGE OF PAVEMENT
	FENCE LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	SIDEWALK
	ACCESSIBLE PARKING SYMBOL
	BACKFLOW PREVENTION DEVICE
	BOLLARD
	GAS METER
	ELECTROLINER
	TRAFFIC SIGN
	GUY ANCHOR
	HOSEBIB
	POWER POLE/Joint Pole
	UTILITY BOX
	WATER VALVE
	ITEM NO. IN TITLE REPORT

ABBREVIATIONS	
BFP	BACKFLOW PREVENTION DEVICE
BL	BUILDING
BOL	BOLLARD
BW	BACK OF WALK
CLF	CHAIN LINK FENCE
CSC	CITY OF SANTA CLARA
DWY	DRIVEWAY
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FC	FACE OF CURB
FND	FOUND
FW	FACE OF WALL
GUT	VALLEY GUTTER
GUY	GUY WIRE
JB	JUNCTION BOX
MON	MONUMENT
NO.	NUMBER
OR	OFFICIAL RECORDS
PL	PROPERTY LINE
PP	POWER POLE
R/W	RIGHT OF WAY
SF	SQUARE FEET
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SSCO	SANITARY SEWER CLEANOUT
TB	TELEPHONE BOX
TE	TRASH ENCLOSURE
TMH	TELEPHONE MANHOLE
UB	UTILITY BOX
URH	UTILITY MANHOLE

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
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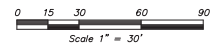
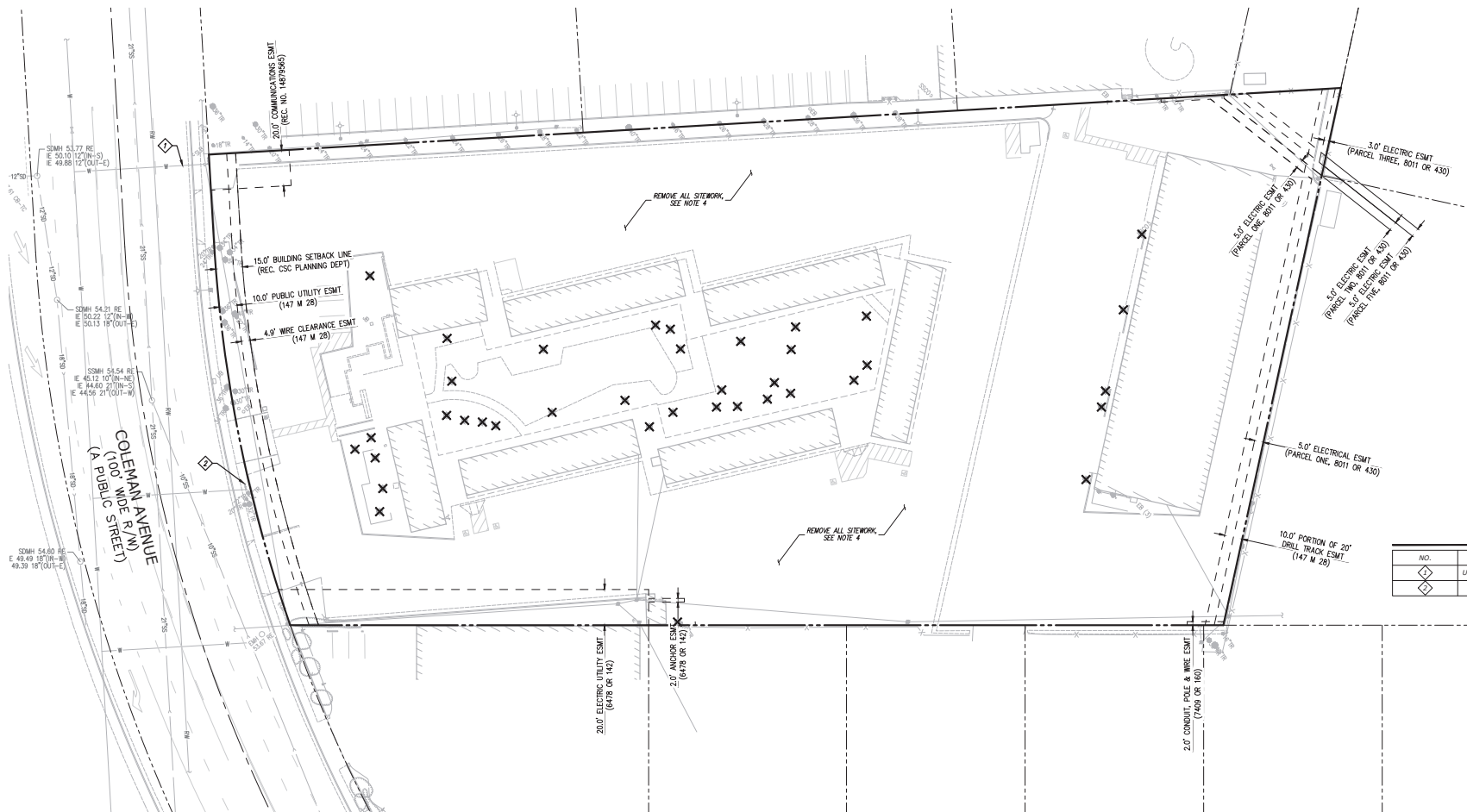


KIER+WRIGHT  
3350 Scott Boulevard, Building 22  
Santa Clara, California 95054  
Phone: (408) 727-6665  
www.kierwright.com

EXISTING CONDITIONS PLAN

TM-2.1  
DATE: 05.07.2025  
PROJECT: A23161-1

Z:\2023\A23161-1\WORK\ENTITLEMENTS\ENTITLED MAP\A23161-1-TM-TS.dwg 6-20-25 06:14:57 PM rbl



### DEMOLITION NOTES

1. REMOVE ALL LANDSCAPE GROUND COVER AND SHRUBS WITHIN PROJECT LIMIT OF WORK.
2. REFER TO PLANS BY THE C2 COLLABORATIVE FOR TREE DISPOSITION PLAN REGARDING TREES TO BE REMOVED, PROTECTED OR RELOCATED.
3. REMOVE EXISTING BUILDING, UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY.
4. SITEWORK DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL CONCRETE, AC PAVEMENT, BASE ROCK SUBGRADE AND ALL UTILITIES (NOT DESIGNATED FOR PROTECTION) WITHIN PROJECT LIMIT OF WORK.
5. REMOVE ALL IRRIGATION WITHIN LIMIT OF WORK.
6. ALL EXISTING WATER, GAS, AND WASTEWATER SERVICES THAT WILL NOT BE REUSED SHALL BE DISCONNECTED AT THE MAIN AND ABANDONED PER CSC WATER & SEWER UTILITIES DEPARTMENT LATEST STANDARDS.
7. ALL UTILITY SYSTEMS THAT CURRENTLY SERVE EXISTING BUILDINGS WITHIN THE HISTORICAL EASEMENT AREA WILL NEED TO BE EVALUATED FOR RELOCATION BEFORE BEING TAKEN OUT OF SERVICE AND REMOVED UNDER THE PROPOSED PROJECT SCOPE OF DEMOLITION WORK.
8. THE WATER AND WASTEWATER DISCONNECTIONS OF CITY SERVICES/LATERAL WILL OCCUR DURING NEW INSTALLATIONS.
9. THE PRIVATE WATER AND WASTEWATER LINES WILL BE DISCONNECTED AND CAPPED OUTSIDE OF THE CONSTRUCTION AREA BEFORE THE START OF DEMOLITION/DECONSTRUCTION.

### WATER SERVICE TABLE

NO.	SIZE	MATERIAL	TYPE	STATUS
1	4"	UNKNOWN	UNKNOWN	EXISTING TO BE REMOVED
2	2"	UNKNOWN	UNKNOWN	EXISTING TO BE REMOVED

**COLEMAN VILLAGE**  
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Phone: (408) 727-6665  
www.kierwright.com

## PRELIMINARY DEMOLITION PLAN

**TM-2.2**

DATE: 05.07.2025  
PROJECT: A23161-1







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HUNT HALE JONES ARCHITECTS

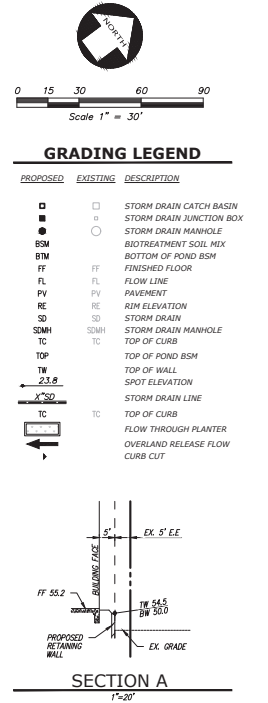
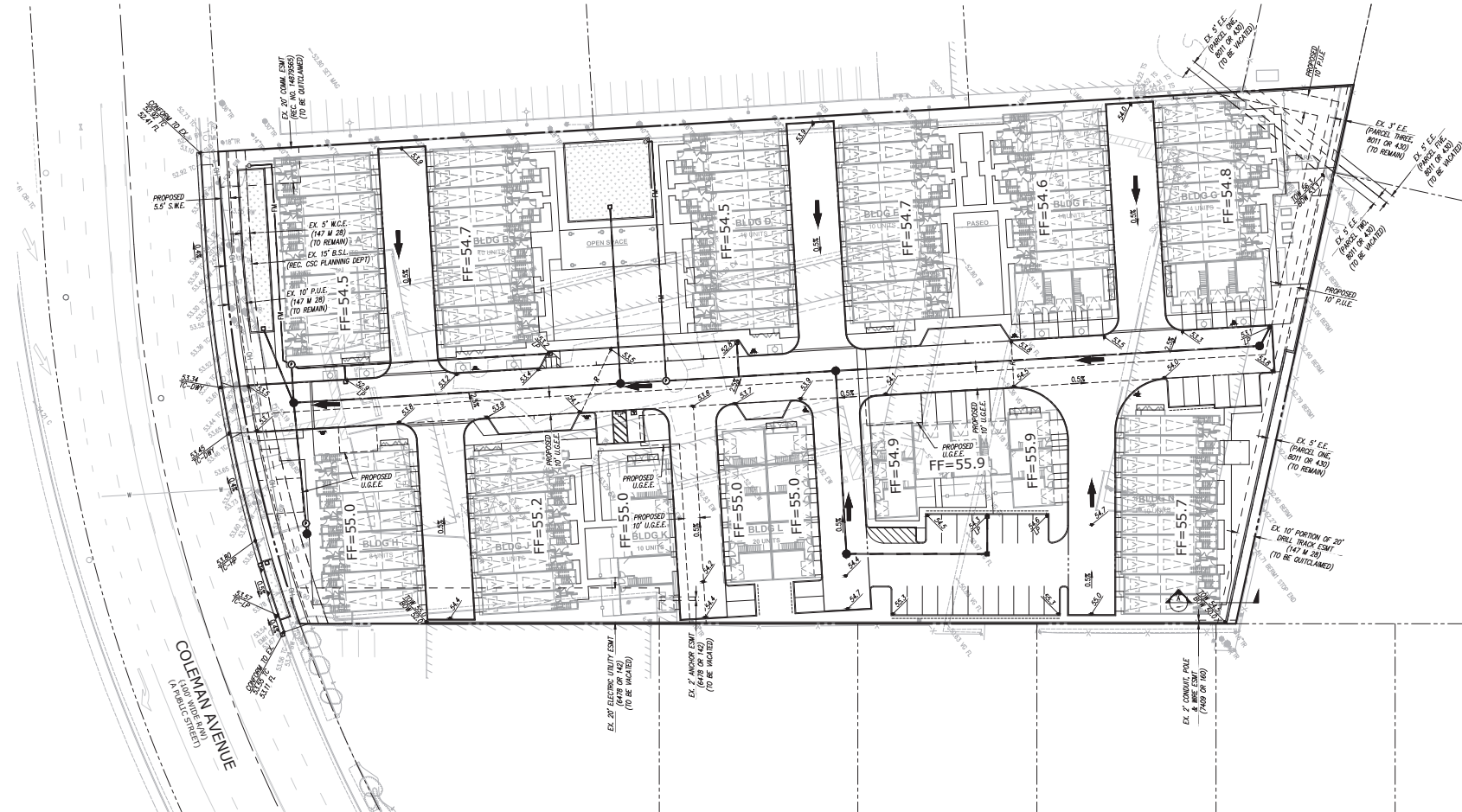
COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



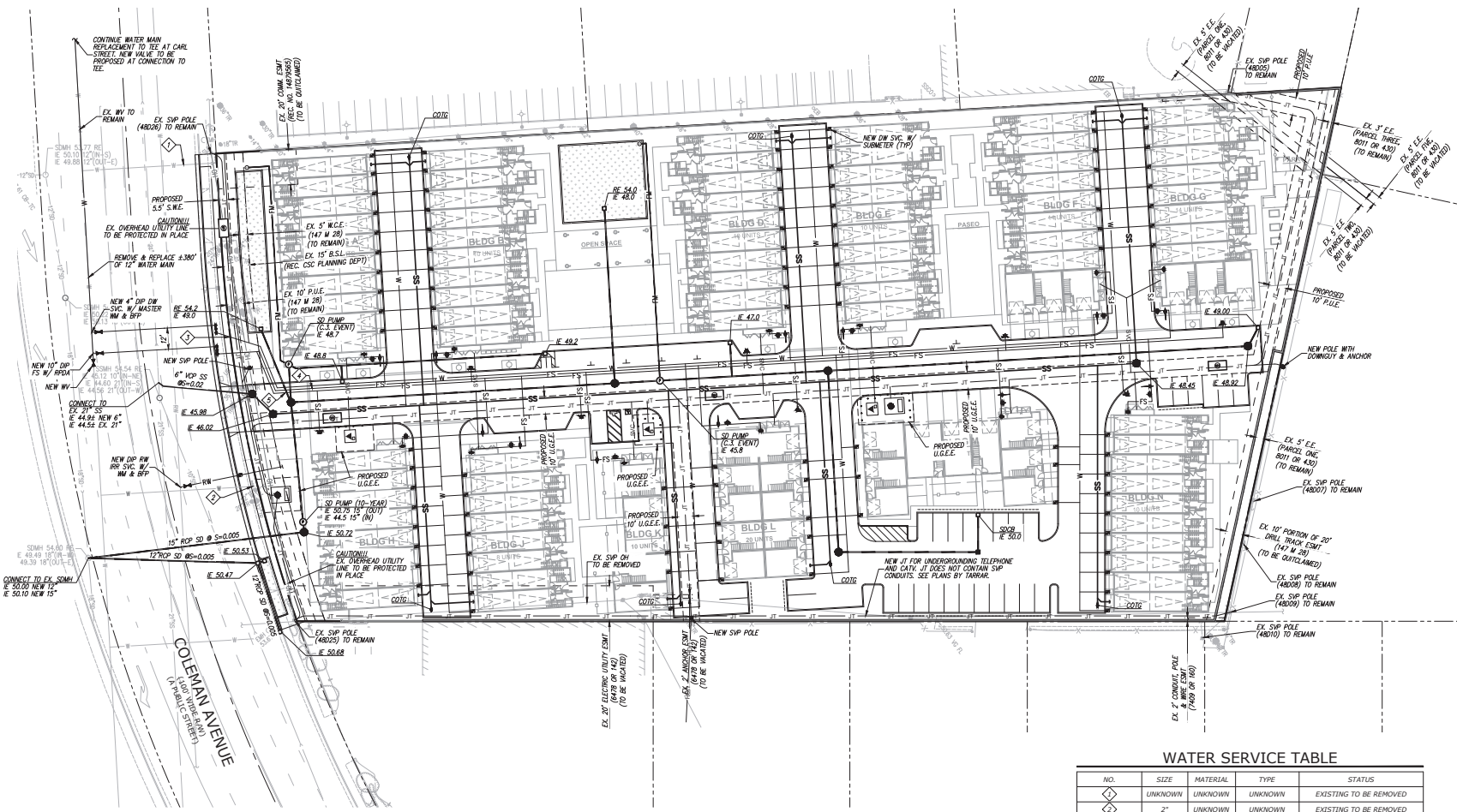
PRELIMINARY GRADING AND  
DRAINAGE PLAN

TM-5.1

DATE: 05.07.2025  
PROJECT: A23161-1



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0 15 30 60 90  
Scale 1" = 30'

**UTILITY LEGEND**

ASR	AUTOMATIC SPRINKLER RISER
RE	RIM ELEVATION
TS	TOP OF CURB
WS	WATER SERVICE
—X—X—	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
—X—SD	STORM DRAIN LINE
Δ	AREA DRAIN
□	STORM DRAIN CATCH BASIN
■	STORM DRAIN FUNCTION BOX
□	STORM DRAIN MANHOLE
+	BACK FLOW PREVENTION DEVICE
+	FIRE DEPARTMENT CONNECTION
+	FIRE HYDRANT & VALVE
+	POST INDICATOR VALVE
SSMH	SANITARY SEWER MANHOLE
+	SINGLE CHECK VALVE
SMH	STORM DRAIN MANHOLE
+	WATER METER

**UTILITY NOTES**

- ALL WET UTILITIES SHALL MAINTAIN AT LEAST 12" VERTICAL CLEARANCE FROM SILICON VALLEY POWER ELECTRICAL FACILITIES. UTILITY PROFILES, IF NECESSARY, SHOWING CLEARANCES SHALL BE PROVIDED ON THE FINAL UTILITY DESIGN DURING THE BUILDING PERMIT STAGE.
- SANITARY SEWER AND WATER UTILITIES SHALL MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. TREE ROOT BARRIERS WILL BE INSTALLED AS NEEDED TO REDUCE CLEARANCES TO UTILITIES STATED ABOVE TO 5' MINIMUM.
- DESIGN FOR WATER SERVICE SHALL MAINTAIN THE FOLLOWING CLEARANCES:
  - 24" VERTICAL TO ALL OTHER UTILITIES;
  - 10" HORIZONTAL TO SANITARY SEWER AND RECYCLED WATER;
  - 8" HORIZONTAL TO STORM DRAIN;
  - 5" HORIZONTAL TO FIRE SERVICE AND OTHER WATER UTILITIES, GAS, ELECTRICAL, AND TO DRIVEWAYS;
  - 10" HORIZONTAL TO TREES (TREE CLEARANCE CAN BE REDUCED TO 5' IF ROOT BARRIERS ARE UTILIZED. CLEARANCE MUST BE FROM EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITY).
- REFER TO DETAILED PRELIMINARY JOINT TRENCH INTENT PLANS BY TARRAR FOR ADDITIONAL DESIGN INFORMATION.
- ON-SITE PIPE MATERIAL WITHIN DRIVE AISLES SHALL MEET THE FOLLOWING SCHEDULE UNLESS OTHERWISE NOTED:
  - STORM DRAIN (WITHIN VEHICULAR AREAS): PVC SDR-26
  - STORM DRAIN (WITHIN NON-VEHICULAR AREAS): PVC SDR-35
  - SANITARY SEWER: PVC SDR-26
  - WATER: PVC C900 DR-14
- ALL SANITARY SEWER MEETS THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE NOTED:
  - MAINS WITHIN DRIVE AISLES AND ALLEYS ARE 6" IN DIAMETER AT 0.50% SLOPE.
  - SEWER LATERALS TO DWELLING UNIT ARE 4" IN DIAMETER AT 2% MINIMUM.
- ALL STORM DRAIN MEETS THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE NOTED:
  - MAINS WITHIN DRIVE AISLES AND ALLEYS ARE 0.50% SLOPE.
- ALL WATER MEETS THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE NOTED:
  - DOMESTIC WATER LATERAL TO RESIDENTIAL UNITS SHALL BE 1".
  - FIRE HYDRANT AND RISER LATERALS TO BE 6" MINIMUM.
  - PRIVATE DOMESTIC WATER MAIN LINE TO BE 4".
  - PRIVATE FIRE SERVICE MAIN LINE TO BE 10" 8"
  - RECYCLED WATER FOR IRRIGATION SHALL BE 2"
- ALL EXISTING STORM, SEWER AND WATER LATERALS TO BE REMOVED IN ENTIRETY/ABANDONED IN PLACE AS PART OF THE PERMITTING PROCESS.
- IT WILL BE THE HOA'S RESPONSIBILITY TO OWN AND MAINTAIN DOMESTIC WATER SUBMETERS.
- JOINT TRENCH PLANS ARE SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY TARRAR.

WATER SERVICE TABLE				
NO.	SIZE	MATERIAL	TYPE	STATUS
1	UNKNOWN	UNKNOWN	UNKNOWN	EXISTING TO BE REMOVED
2	2"	UNKNOWN	UNKNOWN	EXISTING TO BE REMOVED
3	4"	PVC C900 DR-14	DOMESTIC	NEW
4	10" (TBD)	PVC C900 DR-18	FIRE SERVICE (SPRINKLER)	NEW
5	10" (TBD)	PVC C900 DR-18	FIRE SERVICE (PRIVATE HYDRANTS)	NEW

NOTE: INDIVIDUAL DOMESTIC WATER SERVICE WITH SUBMETERS ARE PROPOSED FOR EVERY TOWNHOME UNIT. LATERAL AND METER SIZING TO BE DETERMINED BY PLUMBER IN THE BUILDING PERMIT PHASE.

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CITY VENTURES

HUNT  
HALE  
JONES

C2  
Collaborative

KIER+WRIGHT

3350 Scott Boulevard, Building 22  
Santa Clara, California 95054

Phone: (408) 727-6665  
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PRELIMINARY UTILITY PLAN

TM-6.1

DATE: 05.07.2025  
PROJECT: A23161-1

HUNT HALE JONES ARCHITECTS



## STORMWATER NOTES

- ALL PLANT MATERIALS WITHIN STORMWATER TREATMENT MEASURES SHALL ADHERE TO APPENDIX D OF THE SCVURPPP C.3 STORMWATER HANDBOOK.
- PROJECT SHALL INSTALL FULL TRASH CAPTURE DEVICES TO COLLECT LITTER AND DEBRIS (THAT ARE NOT TREATED BY STORMWATER TREATMENT FACILITIES) PRIOR TO CONNECTING TO THE CITY'S STORM DRAIN COLLECTION SYSTEM. DEVICES, IF ANY, SHALL BE LOCATED AND PROPERLY IDENTIFIED ON THE UTILITY PLAN DURING THE BUILDING PERMIT STAGE. FULL TRASH CAPTURE DEVICES MUST BE CERTIFIED BY THE STATE WATER RESOURCES BOARD AND SHOULD BE INSTALLED IN ALL DRAINAGE INLETS THAT ARE NOT LOCATED PHYSICALLY WITHIN BIOTENTION AREAS AND FLOW THROUGH PLANTERS.
- THE STORM WATER RUN OFF FOR ALL IMPERVIOUS SURFACE AREAS WITHIN THE PROJECT SHALL BE COLLECTED AND CONVEYED TO A BIOTREATMENT AREA, TO BE CLEANED PRIOR TO DISCHARGING INTO THE CITY PUBLIC SYSTEM. THIS STORMWATER CONTROL PLAN SYSTEM MEETS THE REQUIREMENTS AS SPECIFIED IN THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP C.3 STORMWATER HANDBOOK).
- THIS PROJECT DOES NOT USE PERMEABLE PAVEMENT, MEDIA FILTER VAULTS, OR TREE WELLS.
- DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY TO VERIFY THAT THE INSTALLED MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION. THE THIRD-PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE FOUND ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) WEB SITE AT: <https://scvurpp.org/2024/11/12/scvurpp-list-of-qualified-consultants-november-12-2024/>

## SITE DESIGN MEASURES:

- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
- PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
- CREATE NEW PERVIOUS AREAS:
  - LANDSCAPING
  - PARKING:
    - ON TOP OF OR UNDER BUILDINGS.

## SOURCE CONTROL MEASURES:

- BENEFICIAL LANDSCAPING (MINIMIZE IRRIGATION, RUNOFF, PESTICIDES AND FERTILIZERS; PROMOTES TREATMENT)
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN, CLEANING, GOOD HOUSEKEEPING)
- STORM DRAIN LABELING

## OPERATION & MAINTENANCE INFORMATION

### I. PROPERTY INFORMATION:

I.A. PROPERTY ADDRESS:

1400 COLEMAN AVE.  
SANTA CLARA, CA

I.B. PROPERTY OWNER:

CITY VENTURES

### II. RESPONSIBLE PARTY FOR MAINTENANCE:

I.I.A. CONTACT:

RAM NIETTING

I.I.B. PHONE NUMBER OF CONTACT:

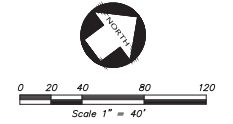
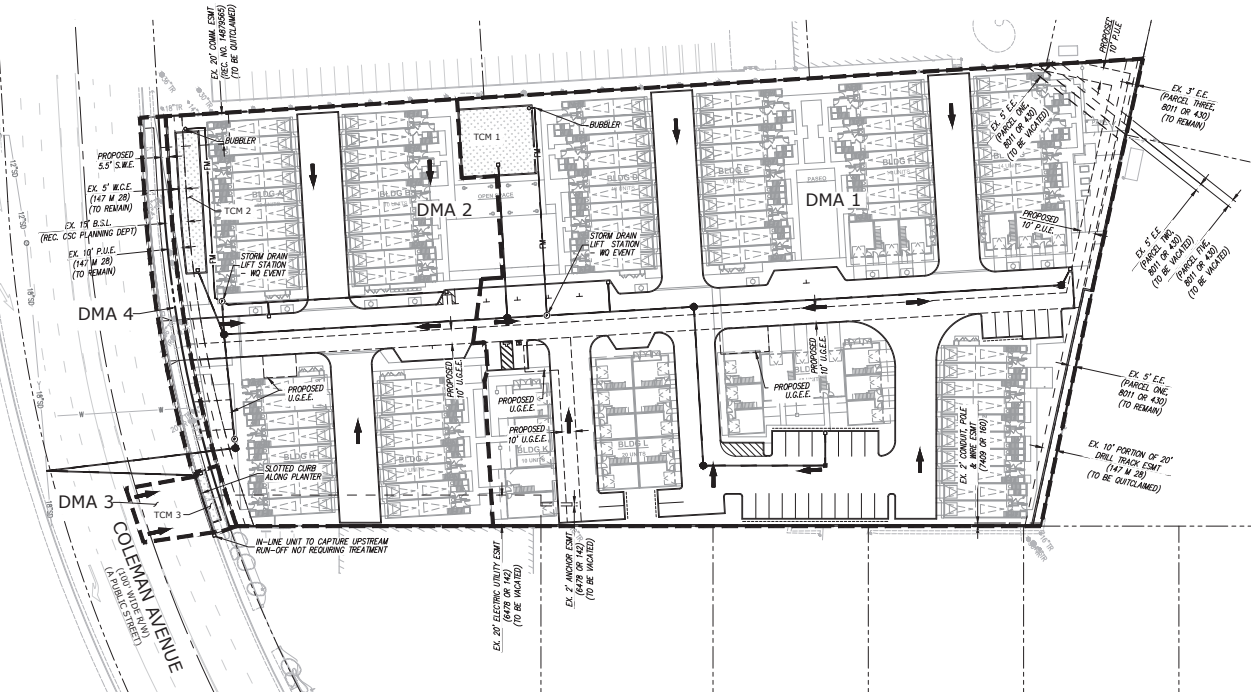
NA

I.I.C. EMAIL:

[ramnietting@cityventures.com](mailto:ramnietting@cityventures.com)

I.I.D. ADDRESS:

444 SPEAR ST.  
SAN FRANCISCO, CA 94105



## LEGEND

- TRIBUTARY AREA LIMITS
- FLOW THROUGH PLANTER
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- RUNOFF FLOW DIRECTION

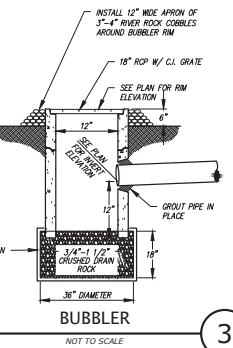
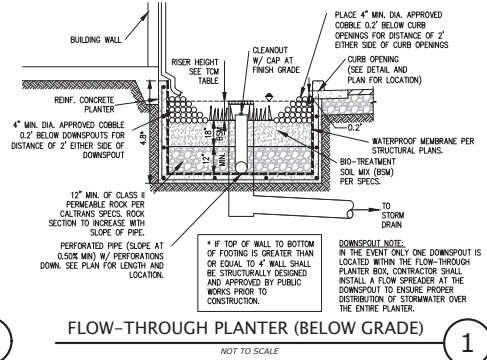
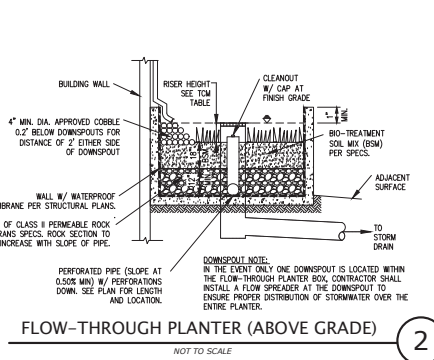


TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR FLOW-THROUGH PLANTERS:		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH. CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERRANS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA. LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.



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PRELIMINARY STORMWATER QUALITY  
CONTROL PLAN

TM-7.1

DATE: 05.07.2025  
PROJECT: A23161-1

DMA 1

Worksheet for Sizing Flow- and Volume-Based Treatment Measures  
(Combination Flow and Volume Approach)

Stormwater Treatment Measure: 

Bioretention area

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1

Determine the contributing drainage area to the treatment measure:  
Drainage Area = 112469 square feet

Step 2

Determine the Percent Imperviousness of the drainage area.  
Enter the amount of surface area draining to the BMP:  
a Impervious Area = 95599 square feet  
b Pavement Area = 16870 square feet  
% Impervious = 85 %  

Includes rooftops, hardscape, streets, and sidewalks, etc.

Step 3

Determine the required treatment volume (using Adapted CASQA Stormwater BMP Handbook Approach).  
a Find the mean annual precipitation at the site (MAPsite).  
Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site.  
Interpolate between isopleths if necessary.  
MAPsite = 14 Site Mean Annual Precipitation  
b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).  
Closest Reference Rain Gage: San Jose Airport  
MAPref = 13.9 inches Reference Gage Mean Annual Precipitation  
c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.  
MAP correction factor = 1.01 Correction factor = MAPsite/MAPref  
d Identify the representative soil type for the drainage area.  
Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).  
Site Soil Type = Clay (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.  
Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted?  
No  
If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silt Loam to Clay Loam or Clay).  
e Determine the average slope for the drainage area:  
Average Slope (%) = 1  
f Determine the unit basin storage volume from sizing curves:  
Unit Basin Storage (UBS) = 0.52 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope  
g Determine the Adjusted Unit Basin Storage Volume for the site:  
Adjusted UBS = 0.53 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume  
h Determine the Design Volume:  
Design Volume = 4.922 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4

Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr:  
Design Rainfall Intensity = 0.20 in/hr

Step 5

Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.  
Duration = 2.63 hours Adjusted UBS ÷ Design Rainfall Intensity  
Step 6 Make a preliminary estimate of the surface area of the treatment measure:  
Try a preliminary surface area estimate = 2867.97 Square feet 3% of total drainage area  
BMP Surface Area = 2,316 Square feet  
Step 7 Calculate the volume of runoff that filters through the bioretreatment soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities), for the duration of the storm calculated in Step 5.  
Volume of Treated Runoff = 2,541 cubic feet Surface Area x Duration  
Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretreatment soil.  
The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.  
Volume in Ponding Area = 2,381  
Step 9 Calculate the depth of the volume in the ponding area by dividing the volume by the estimated surface area in Step 6.  
Depth of Ponding = 12 inches  
The ponding depth is greater than 1 foot. A larger surface area is required. Increase the surface area in Step 6.  
The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches).  
0.5 feet is recommended

DMA 2

Worksheet for Sizing Flow- and Volume-Based Treatment Measures  
(Combination Flow and Volume Approach)

Stormwater Treatment Measure: 

Bioretention area

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1

Determine the contributing drainage area to the treatment measure:  
Drainage Area = 51200 square feet

Step 2

Determine the Percent Imperviousness of the drainage area.  
Enter the amount of surface area draining to the BMP:  
a Impervious Area = 46080 square feet  
b Pavement Area = 5120 square feet  
% Impervious = 90 %  

Includes rooftops, hardscape, streets, and sidewalks, etc.

Step 3

Determine the required treatment volume (using Adapted CASQA Stormwater BMP Handbook Approach).  
a Find the mean annual precipitation at the site (MAPsite).  
Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site.  
Interpolate between isopleths if necessary.  
MAPsite = 14 Site Mean Annual Precipitation  
b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).  
Closest Reference Rain Gage: San Jose Airport  
MAPref = 13.9 inches Reference Gage Mean Annual Precipitation  
c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.  
MAP correction factor = 1.01 Correction factor = MAPsite/MAPref  
d Identify the representative soil type for the drainage area.  
Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).  
Site Soil Type = Clay (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.  
Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted?  
No  
If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silt Loam to Clay Loam or Clay).  
e Determine the average slope for the drainage area:  
Average Slope (%) = 1  
f Determine the unit basin storage volume from sizing curves:  
Unit Basin Storage (UBS) = 0.52 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope  
g Determine the Adjusted Unit Basin Storage Volume for the site:  
Adjusted UBS = 0.53 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume  
h Determine the Design Volume:  
Design Volume = 2.256 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4

Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr:  
Design Rainfall Intensity = 0.20 in/hr

Step 5

Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.  
Duration = 2.63 hours Adjusted UBS ÷ Design Rainfall Intensity  
Step 6 Make a preliminary estimate of the surface area of the treatment measure:  
Try a preliminary surface area estimate = 1382.4 Square feet 3% of total drainage area  
BMP Surface Area = 1,070 Square feet  
Step 7 Calculate the volume of runoff that filters through the bioretreatment soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities), for the duration of the storm calculated in Step 5.  
Volume of Treated Runoff = 1,174 cubic feet Surface Area x Duration  
Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretreatment soil.  
The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.  
Volume in Ponding Area = 1,083  
Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.  
Depth of Ponding = 12 inches  
The ponding depth is greater than 1 foot. A larger surface area is required. Increase the surface area in Step 6.  
The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches).  
0.5 feet is recommended

TREATMENT CONTROL MEASURE SUMMARY TABLE													
DMA #	TCM #	Location <sup>1</sup>	Treatment Type <sup>2</sup>	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area <sup>4</sup> (s.f.)	Pavement Area (Other) (s.f.)	% Onsite / Offsite Area Treated by LID or Non-LID TCM	Bioretention			
										Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)		
1	1	Onsite	Flow-Through planter (concrete lined w/ underdrain)	LID	3. Flow-Volume Combo	112,469	95,599	16,870	67.62%	2,316	2,316	12	
2	2	Onsite	Flow-Through planter (concrete lined) w/ underdrain	LID	3. Flow-Volume Combo	51,200	46,080	5,120	30.78%	1,070	1,070	12	
3	3	Offsite	Flow-Through planter (concrete lined) w/ underdrain	LID	2C. Flow 4% Method <sup>2</sup>	2,651	2,378	273	1.59%	95	95	6	Of the 2,378 SF of impervious area treated within DMA 3, 1,486 SF is existing impervious area to remain protected in place. This DMA will treat the existing impervious area in lieu of DMA 4 that is untreated.
4	4	Offsite	Untreated	N/A	N/A	2,529	1,442	1,087	-	-	-	-	DMA 3 proposes to treat 1,486 SF of existing impervious area in lieu of DMA 4.
Totals:						166,649	145,499	23,350	100.00%				

Footnotes:  
1. For the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required.  
2. "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.  
3. Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04).  
4. Gravel is considered as an impervious surface unless it is part of an infiltration trench.  
5. DMA 4 is not being treated but will be treated by equivalent treatment area within DMA 3. The existing impervious area treated within DMA 3 is equal to or greater than the required treatment area of DMA 4. EQ-1 is not required to be treated as it is existing pavement to remain protected in place.

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PRELIMINARY STORMWATER QUALITY  
CALCULATIONS

TM-7.2

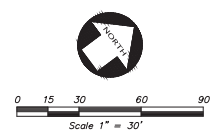
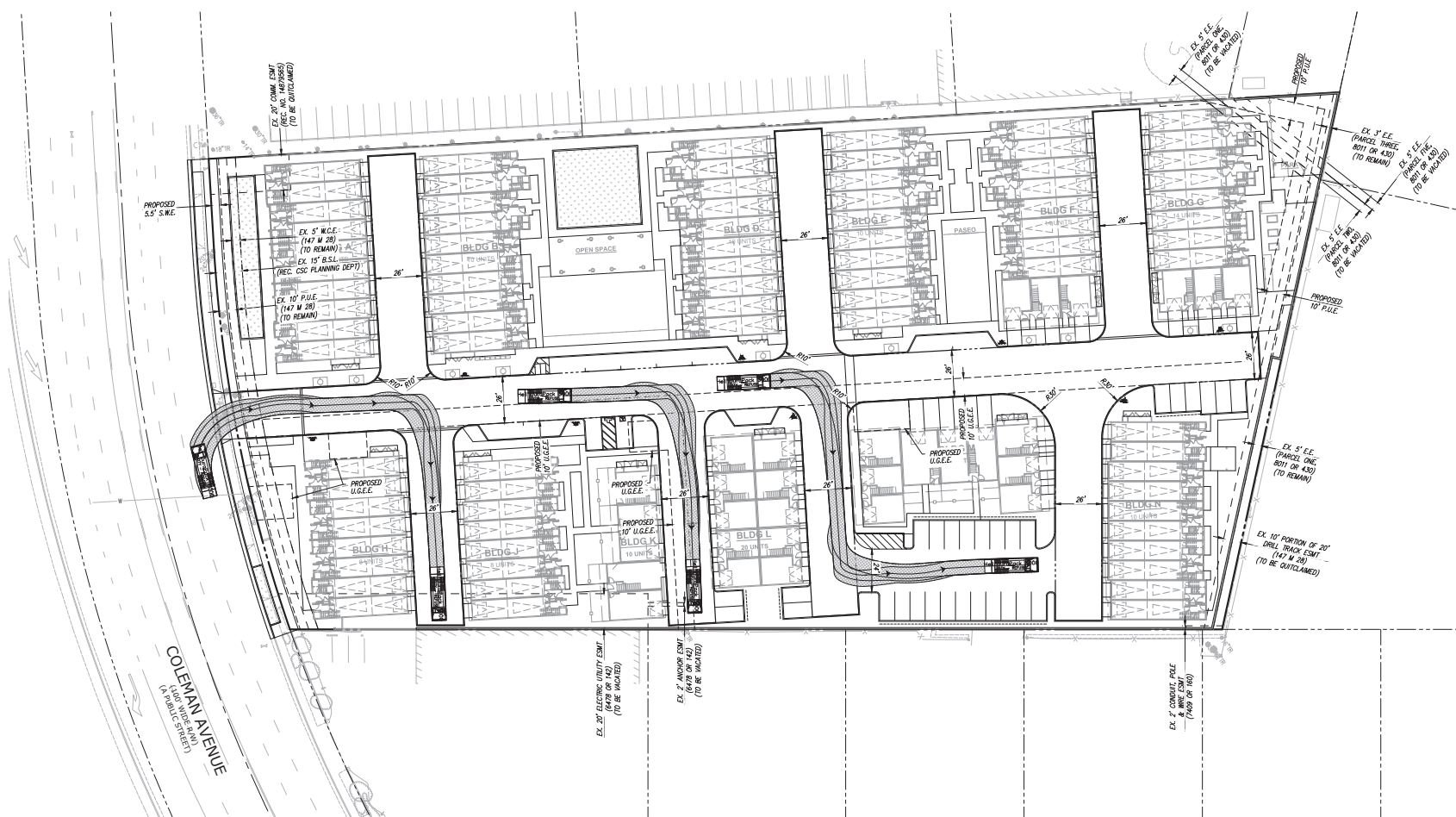
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PROJECT: A2316-1

HUNT HALE JONES ARCHITECTS

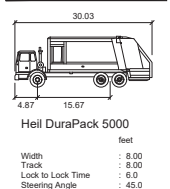




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TRUCK PROFILE



Heil DuraPack 5000

Width	feet
Track	: 8.00
Lock to Lock Time	: 8.00
Steering Angle	: 45.0

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CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050

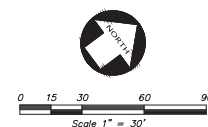
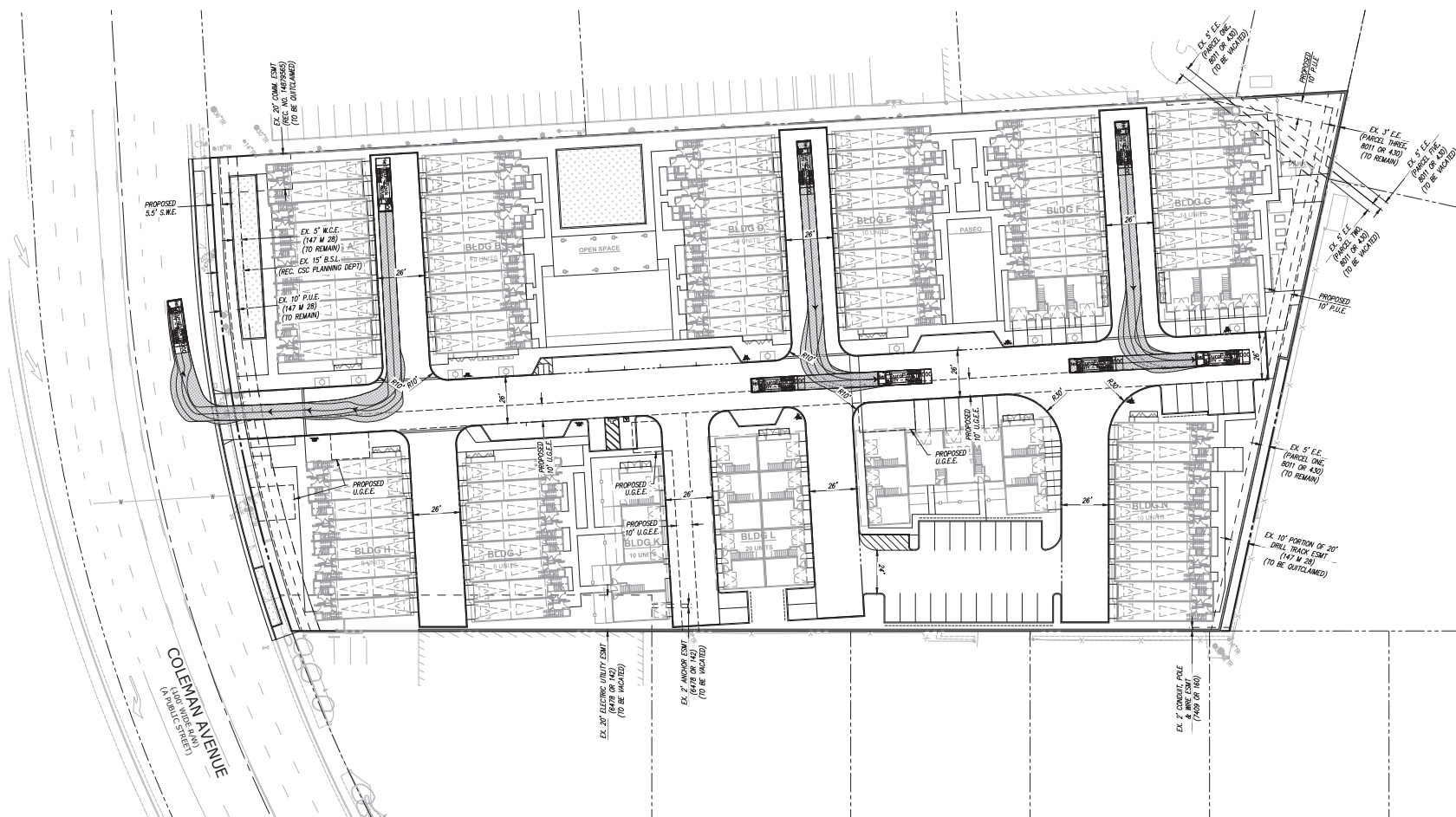


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Phone: (408) 727-6665  
www.kierwright.com

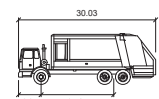
REFUSE COLLECTION ACCESS EXHIBIT  
- ENTER  
TM-9.1

DATE: 05.07.2025  
PROJECT: A23161-1

Z:\2023\A23161-1\NWA\ENTITLEMENTS\EXHIBIT\MAP\A23161-1-TM-TRASH TRUCK EXHIBIT.dwg 6-20-25 04:16:37 PM nbi



#### TRUCK PROFILE



Heil DuraPack 5000

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



3350 Scott Boulevard, Building 22  
Santa Clara, California 95054

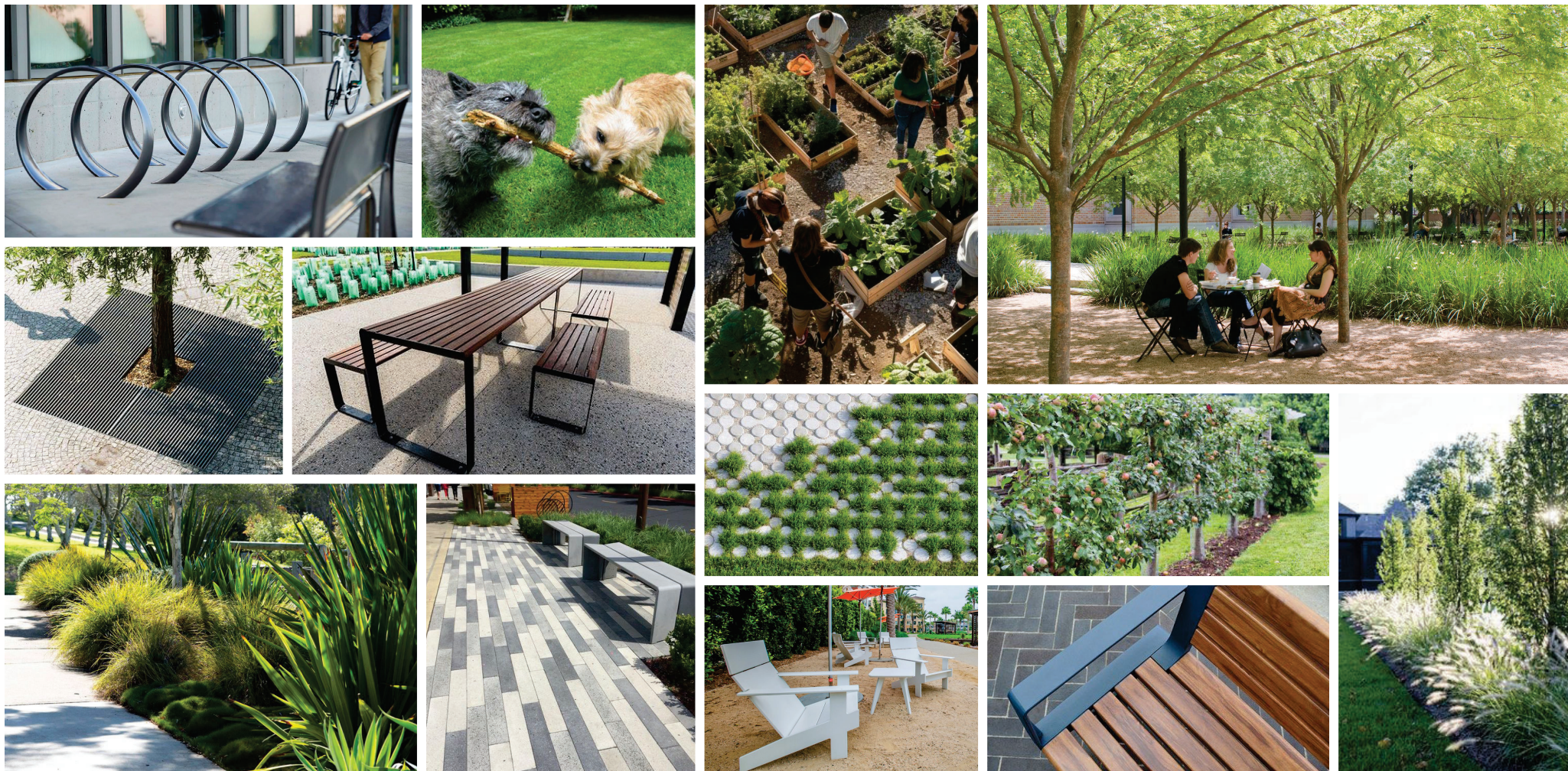
Phone: (408) 727-6665  
www.kierwright.com

## REFUSE COLLECTION ACCESS EXHIBIT - EXIT

TM-9.2

DATE: 05.07.2025  
PROJECT: A23161-1





## CONCEPT IMAGERY

### COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



L-1  
DATE: 06.20.2025  
PROJECT: CTV184





## LEGEND

- 1 Community Open Space and Barbecue Area - See Enlargement Sheet
- 2 Community Garden and Dog Run - See Enlargement Sheet
- 3 Parkway and Street Trees along Coleman Ave
- 4 Enhanced Vehicular Paving
- 5 Pedestrian Streetscape and Paseo Improvements:
  - Enhanced Paving
  - Street Furniture (Benches, Planters, Bike racks)
  - Tree Planting in Accessible Grates
- 6 Overhead String Lights at Private Alleys
- 7 Stormwater Basin
- 8 Open Lawn Area
- 9 Private Patio
- 10 Community Parking Stall
- 11 Transformer
- 12 Shade Trees with Bench Seating
- 13 Overhead Trellis with Lounge Seating
- 14 Perimeter Block Wall and Pilasters
- 15 Community Mailboxes
- 16 Scooter Parking
- 17 Rideshare Drop Off

## CONCEPTUAL LANDSCAPE PLAN



### COLEMAN VILLAGE

CITY VENTURES

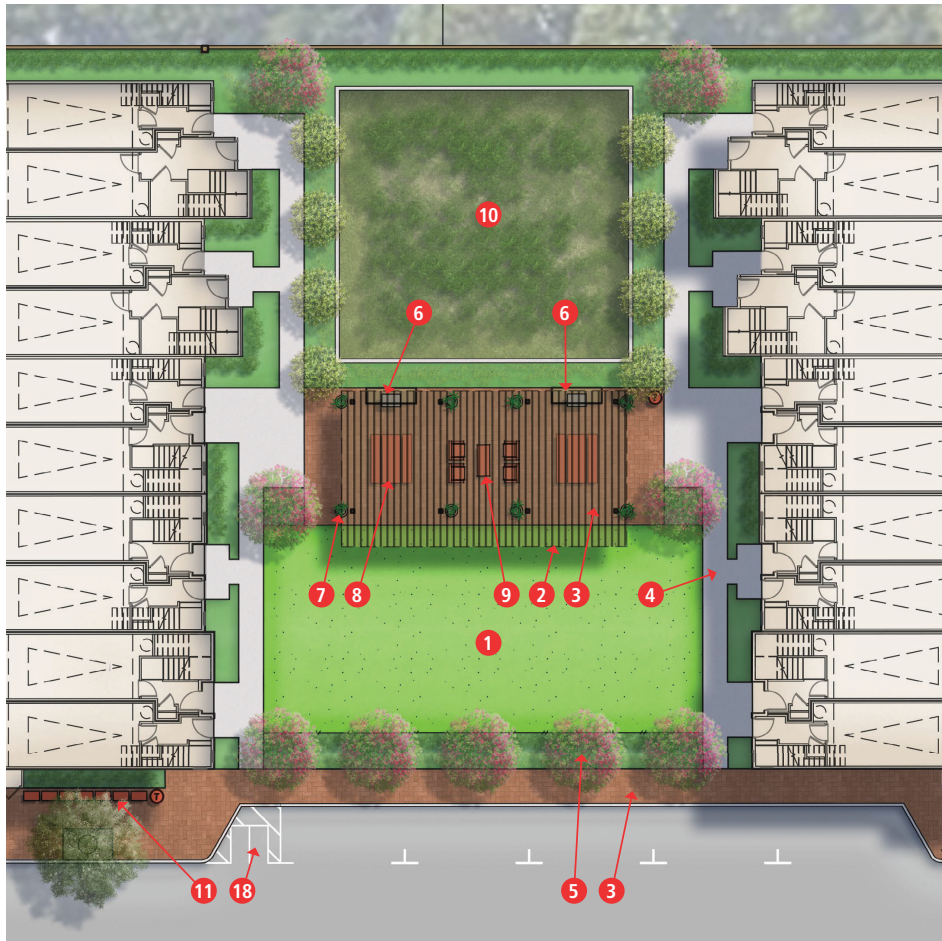
1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050

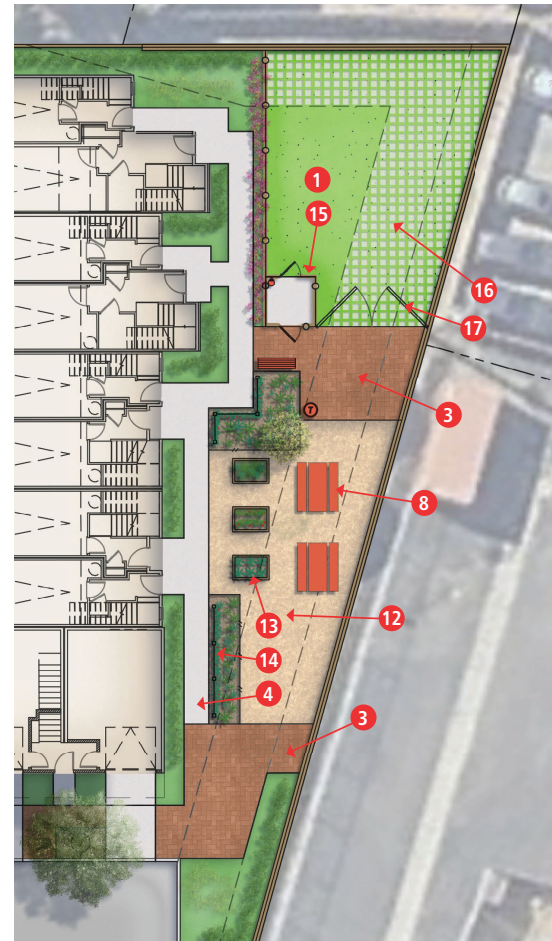


L-2

DATE: 06.20.2025  
PROJECT: CTV184



COMMUNITY LAWN AND BARBECUE AREA

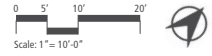


COMMUNITY GARDEN AND DOG RUN

## LEGEND

- 1 Natural Turf Lawn
- 2 Shade Structure (46'x25')
- 3 Enhanced Pedestrian Paving
- 4 Community Walk (Natural Gray Concrete)
- 5 Accent Tree Row
- 6 Built-in Barbecue Island
- 7 Planter Pot
- 8 Picnic Table
- 9 Lounge Seating
- 10 Stormwater Basin
- 11 Community Mailbox
- 12 Decomposed Granite Paving
- 13 Raised Planter Bed
- 14 Vine Trellis
- 15 Dog Run Entry and Perimeter Fence
- 16 Turf Block Pavers at Utility Access Easement
- 17 Utility Access Easement Gate
- 18 Scooter Parking

## CONCEPTUAL LANDSCAPE ENLARGEMENTS



## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050

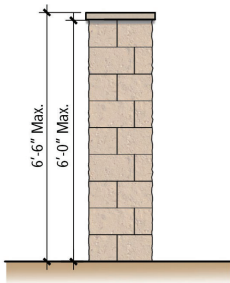






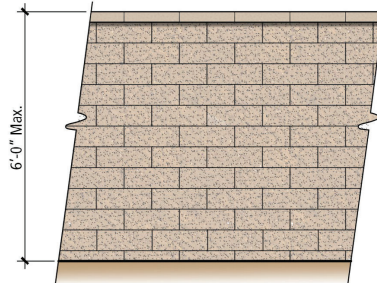
## LEGEND

- - - - - Property Line Fence/Gate (6' ht.)
- Property Line Pilaster (6'-6" ht.)
- - - - - Patio Fence/Gate (3'-6" ht.)
- - - - - Dog Park Fence/Gate (5'-6" ht.)



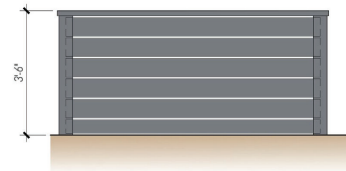
**PROPERTY LINE PILASTER**

SCALE: 3/8"=1'-0"



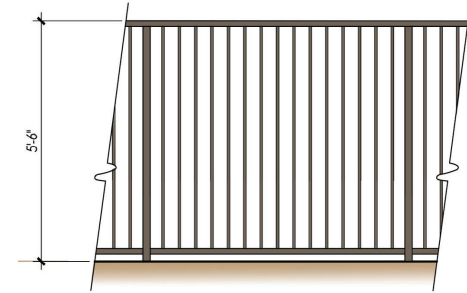
**PROPERTY LINE WALL**

SCALE: 3/8"=1'-0"



**PATIO FENCE/GATE**

SCALE: 3/8"=1'-0"



**DOG PARK FENCE**

SCALE: 3/8"=1'-0"



## CONCEPTUAL WALL AND FENCE PLAN

## COLEMAN VILLAGE

CITY VENTURES

1400 COLEMAN AVE.

SANTA CLARA, CALIFORNIA 95050



L-4

DATE: 06.20.2025  
PROJECT: CTV184



CONCEPTUAL PLANT PALETTE

TREES (24" Box Min.)	
SCIENTIFIC NAME	COMMON NAME
Acer macrophyllum	Big-leaf Maple
Arbutus menziesii	Madrone
Betula spp.	Birch
Cercis canadensis	Eastern Rosebud
Cercis occidentalis	Western Redbud
Cornus kousa	Kousa Dogwood
Ginkgo biloba 'Goldspine'	Autumn Gold Maidenhair Tree
Lagerstroemia h. 'Natchez'	Crape Myrtle
Magnolia stellata	Star Magnolia
Podocarpus gracilior	Afrocarpus gracilior
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree
Platanus racemosa	Sycamore

SHRUBS, GRASSES, AND GROUND COVER (5 Gal. Min.)

SCIENTIFIC NAME	COMMON NAME
Achillea millefolium	Yarrow
Agave attenuata	Foxitile Agave
Alvogyne huegelii	Blue Hibiscus
Anigozanthos flavidus	Tall Kangaroo Paw
Arctostaphylos 'pacific mist'	Pacific Mist Manzanita
Arctostaphylos uva-ursi	Uva-ursi Manzanita
Calycanthus occidentalis	Spice Bush
Camellia spp.	Camellia
Carex tumulicola	Foothill Sedge
Ceanothus sp.	Wild Lilac
Cornus sericea	Creek Dogwood
Cornus sericea ssp. Occidentalis	Western Dogwood
Dianella spp.	Flax Lily
Equisetum hyemale	Horsetail
Erigeron karwinskianus	Mexican Fleabane
Eriogonum spp.	Buckwheat
Frangula californica	Coffeberry
Grevillea spp.	Grevillea
Heuchera sanguinea	Coral Bells
Heteromeles arbutifolia	Toyon
Ilex spp.	Holly
Iris douglasiana	Douglas' Iris
Juncus patens	California Gray Rush
Layundula angustifolia	English Lavender
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Lomandra sp.	Dwarf Mat Rush
Lonicera sp.	Honeysuckle
Mimulus sp.	Monkey Flower
Muhlenbergia ssp.	Deer Grass
Myoporum p. 'Putah Creek'	Creeping Myoporum
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive
Penstemon spectabilis	Showy Penstemon
Phormium spp.	New Zealand Flax
Pittosporum spp.	Pittosporum
Podocarpus elongatus 'Icee Blue'	Icee Blue Yellow-wood
Polystichum munitum	Western Sword Fern
Prunus ilicifolia	Hollyleaf Cherry
Pyracantha x fortuneana 'Graberii'	Graberii firethorn
Rhododendron occidentale	Western Azalae
Rosa spp.	Rose
Rosmarinus officinalis	Rosemary
Sedum spp.	Stonecrop
Woodwardia ambriata	Giant Chain Fern
Westringia sp.	Coast Rosemary
Turf Grass	

VINE AND ESPALIER (5 Gal. Min.)	
SCIENTIFIC NAME	COMMON NAME
Eriobotrya spp.	Loquat
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Rosa banksiae	Lady Banks' Rose
Vitis 'Rogers Red'	Roger's Red Grape



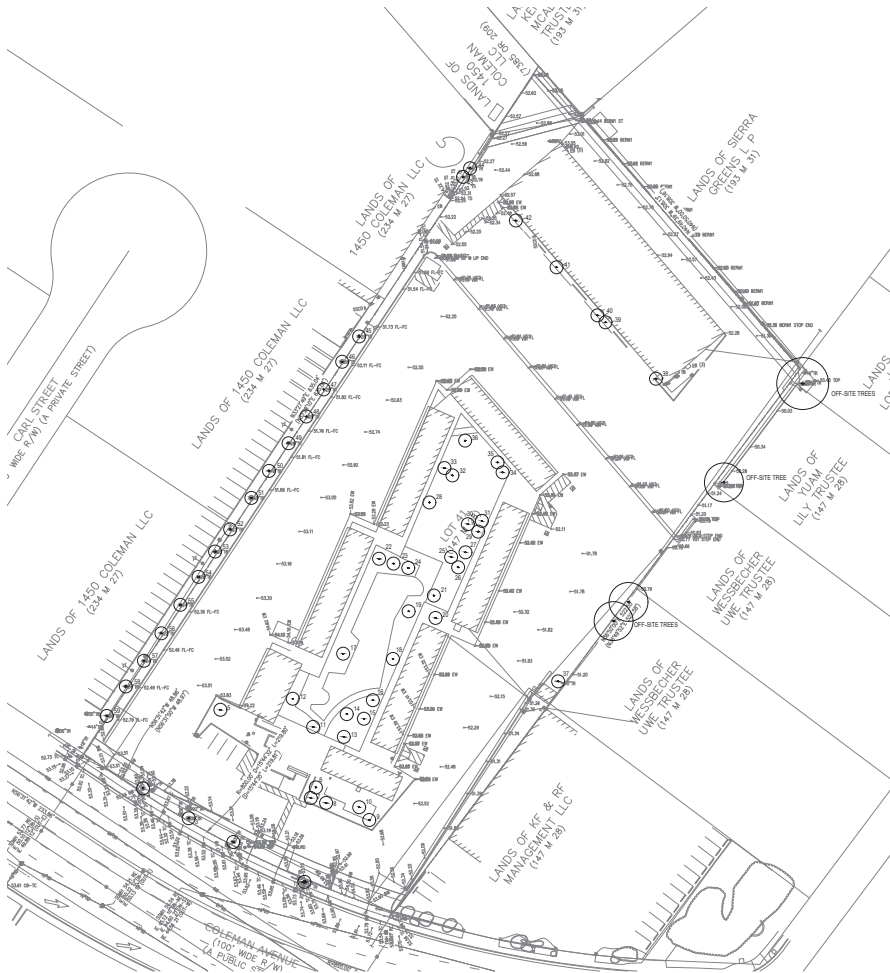
Note:  
1. Subject to change due to MWEO and availability.

CONCEPTUAL PLANTING PALETTE

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050







EXISTING TREE PLAN

ARBORIST REPORT AND TREE REMOVAL

COLEMAN VILLAGE  
CITY VENTURES  
1400 COLEMAN AVE.  
SANTA CLARA, CALIFORNIA 95050



TABLE 1 - TREE QUANTITY SUMMARY

Tree Quantity by Species		
Species	Quantity	% of Site
Acacia melanoxylon	1	2%
Acer palmatum	2	3%
Betula pendula	7	12%
Eriobotrya japonica	2	3%
Fraxinus uidei	17	29%
Lagerstroemia indica	4	7%
Juniperus chinensis 'Torulosa'	5	8%
Maytenus boaria	4	7%
Prunus cerasifera 'Atropurpurea'	9	15%
Olea europaea	4	7%
Yucca gigantea	4	7%
Total Trees	59	100%

NOTES:

-A total of 59 existing trees are located on this site, all 59 will require removal for this project.

-Per city requirements, any removed trees must be replaced at a ratio of 2:1, for a requirement replacement number of 118.

-The current site plan proposes 64 new trees.

TREE #	BOTANICAL NAME	COMMON NAME	DBH (INCHES)	CIRCUMFERENCE (INCHES)	PROTECTION	HEALTH	REMOVAL	REASON	NOTES
1	Yucca gigantea	Yucca	10.0	32	YES	NO	2	Flour	SD, MT, Conflict with power line
2	Yucca gigantea	Yucca	30.0	113	YES	NO	2	Flour	SD, MT, Conflict with power line
3	Yucca gigantea	Yucca	30.0	113	YES	NO	2	Flour	SD, MT, Conflict with power line
4	Yucca gigantea	Yucca	30.0	118	YES	NO	2	Flour	SD, MT, Conflict with power line
5	Olea europaea	Olive Tree	9.0	28	YES	NO	2	Moderate	MT SD, Taproot
6	Lagerstroemia indica	Crape Myrtle	9.0	28	YES	NO	4	Good	SL, SD
7	Lagerstroemia indica	Crape Myrtle	9.0	28	YES	NO	4	Good	SL, SD
8	Lagerstroemia indica	Crape Myrtle	10.0	31	YES	NO	4	Good	SL, SD
9	Olea europaea	Olive Tree	9.0	28	YES	NO	2	Flour	MT SD, Taproot
10	Olea europaea	Olive Tree	9.0	28	YES	NO	2	Flour	MT SD, Taproot
11	Acer palmatum	Japanese Maple	4.0	13	YES	NO	4	Good	MT
12	Lagerstroemia indica	Crape Myrtle	6.0	19	YES	NO	4	Good	
13	Betula pendula	White Birch	14.0	44	YES	NO	2	Flour	LN, SD, AL, CR, SD, SD
14	Betula pendula	White Birch	9.0	28	YES	NO	2	Flour	LN, SD, AL, CR, SD, SD
15	Betula pendula	White Birch	12.0	38	YES	NO	2	Flour	LN, SD, AL, CR, SD, SD
16	Betula pendula	White Birch	12.0	38	YES	NO	2	Flour	LN, SD, AL, CR, SD, SD
17	Eriobotrya japonica	Loquat Tree	12.0	38	YES	NO	2	Flour	LN, CR, SD
18	Maytenus boaria	Mayten Tree	10.0	41	YES	NO	2	Flour	LN, CR, SD
19	Maytenus boaria	Mayten Tree	9.0	28	YES	NO	2	Flour	LN, CR, SD
20	Betula pendula	White Birch	10.0	31	YES	NO	2	Flour	LN, CR, SD
21	Acer palmatum	Japanese Maple	4.0	13	YES	NO	4	Good	MT
22	Prunus cerasifera 'Atropurpurea'	Plum Tree	8.0	25	YES	NO	4	Good	
23	Prunus cerasifera 'Atropurpurea'	Plum Tree	7.0	22	YES	NO	4	Good	
24	Prunus cerasifera 'Atropurpurea'	Plum Tree	11.0	35	YES	NO	4	Good	
25	Prunus cerasifera 'Atropurpurea'	Plum Tree	9.0	28	YES	NO	4	Good	
26	Prunus cerasifera 'Atropurpurea'	Plum Tree	9.0	28	YES	NO	4	Good	
27	Prunus cerasifera 'Atropurpurea'	Plum Tree	5.0	16	YES	NO	4	Good	
28	Eriobotrya japonica	Loquat Tree	9.0	28	YES	NO	2	Flour	LN, CR, SD
29	Prunus cerasifera 'Atropurpurea'	Plum Tree	8.0	25	YES	NO	4	Good	
30	Prunus cerasifera 'Atropurpurea'	Plum Tree	8.0	25	YES	NO	4	Good	
31	Prunus cerasifera 'Atropurpurea'	Plum Tree	8.0	25	YES	NO	4	Good	
32	Maytenus boaria	Mayten Tree	12.0	38	YES	NO	1	Flour	SD, SD, CR, SD
33	Maytenus boaria	Mayten Tree	11.0	35	YES	NO	1	Flour	SD, SD, CR, SD
34	Betula pendula	White Birch	10.0	31	YES	NO	1	Flour	SD, SD, CR, SD
35	Betula pendula	White Birch	9.0	28	YES	NO	1	Flour	SD, SD, CR, SD
36	Olea europaea	Olive Tree	12.0	38	YES	NO	2	Moderate	MT SD, Taproot
37	Acacia melanoxylon	Blackwood Acacia	10.0	31	YES	NO	1	Flour	CR, SD, Volunteer
38	Juniperus chinensis 'Torulosa'	Hollyhock Juniper	12.0	41	YES	NO	2	Flour	CR, LN
39	Juniperus chinensis 'Torulosa'	Hollyhock Juniper	10.0	31	YES	NO	2	Flour	CR, LN
40	Juniperus chinensis 'Torulosa'	Hollyhock Juniper	10.0	31	YES	NO	2	Flour	CR, LN
41	Juniperus chinensis 'Torulosa'	Hollyhock Juniper	11.0	35	YES	NO	2	Flour	CR, LN
42	Juniperus chinensis 'Torulosa'	Hollyhock Juniper	10.0	31	YES	NO	2	Flour	CR, LN
43	Fraxinus uidei	Shamel Ash	9.0	28	YES	NO	1	Flour	CR, SD, Volunteer
44	Fraxinus uidei	Shamel Ash	12.0	41	YES	NO	1	Flour	CR, SD, Volunteer
45	Fraxinus uidei	Shamel Ash	24.0	75	YES	NO	2	Moderate	CR
46	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
47	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
48	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
49	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
50	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
51	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
52	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Moderate	CR
53	Fraxinus uidei	Shamel Ash	24.0	75	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
54	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
55	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
56	Fraxinus uidei	Shamel Ash	21.0	68	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
57	Fraxinus uidei	Shamel Ash	24.0	75	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
58	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged
59	Fraxinus uidei	Shamel Ash	20.0	64	YES	NO	2	Flour	CR, SD, Conflict with power line, tagged

