



City of Santa Clara

Meeting Agenda

Development Review Hearing

Wednesday, November 3, 2021

3:00 PM

Virtual Meeting

Pursuant to California Government Code section 54953(e) and City of Santa Clara Resolution 21-9013, the Development Review Hearing meeting will be held by teleconference only. No physical location will be available for this meeting; however, the City of Santa Clara continues to provide methods for the public to participate remotely:

• Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717> or o Phone: 1 (669) 900-6833

Webinar ID: 929 5021 8717

Public Comments prior to meeting may be submitted via email to PlanningPublicComment@santaclaraca.gov no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

The Development Review Officer, staff, and applicants will be participating remotely.

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press *9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press *6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

CALL TO ORDER AND ROLL CALL

21-1546 [Declaration of Procedures](#)

REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

PUBLIC PRESENTATIONS

Members of the public may briefly address the Development Review Officer on any matter not on the agenda that is within the subject matter jurisdiction.

CONSENT CALENDAR

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

- 1.A 21-1338** [Action on interior remodel and a 1,218 square-foot first and second floor addition to an existing 1,373 square-foot single-family residence at 1621 Cunningham Street.](#)

Recommendation: Approve the proposed interior remodel, 638 square-foot first floor and a 580 square-foot second floor addition to an existing 1,373 square-foot three-bedroom, two-bathroom single-story residence with a 368 square-foot garage resulting in a 2,591 square-foot six-bedroom, three and a half bathroom two-story residence with 357 square-foot garage and with the 125 square-foot front porch to remain for the property located at 1621 Cunningham Street, subject to conditions.

- 1.B 21-1377** [Action on time extension for a previously approved data center project at 2175 Martin Avenue.](#)

Recommendation: Approve the time Extension for a previously approved Architectural Review for a new 80,000 square foot 3-story data center building at 2175 Martin Avenue, subject to conditions.

- 1.C 21-1503** [Action on the proposed 781 square feet attached Accessory Dwelling Unit \(ADU\) at 2043 Larsen Court](#)

Recommendation: Approve the 781 square-foot two-bedroom and one-bathroom attached accessory dwelling unit (ADU) located outside of the building envelope, subject to conditions.

GENERAL BUSINESS

The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.

2. **21-910** [Action on Architectural Review of a new 9,310 square-foot, single-story retail building including 12 outdoor seats at 4565 Stevens Creek Boulevard and 40 Woodhams Road](#)

Recommendation: Approve construction of a new 9,310 square-foot, single-story retail building including 12 outdoor seats at 4565 Stevens Creek Boulevard and 40 Woodhams Road, subject to conditions.

3. **21-1485** [Action on the new construction of a 3,789 square-foot six bedroom and four bathroom two-story single family residence with attached 495 square-foot attached one bedroom and one bathroom accessory dwelling unit at 143 Claremont Avenue](#)

Recommendation: Approve the new construction of a 3,789 square-foot six bedroom and four bathroom two-story single family residence with attached 495 square-foot attached one bedroom and one bathroom accessory dwelling unit for the property located at 143 Claremont Avenue, subject to conditions.

4. **21-1508** [Action on the 180 square-foot first floor addition and 529 square-foot second floor addition to a one-story single-family residence at 2110 Coolidge Drive](#)

Recommendation: Approve the 180 square feet ground floor addition and a 529 second floor addition to an existing 1,288 square feet 4-bedroom and 2-bathroom two-story residence resulting in a two-story 2,478 square feet, 4-bedroom and 3-bathroom house with a new 486 square feet attached garage for the property located at 2110 Coolidge Drive, subject to condition that the project reduce lot coverage to a maximum of 40%.

5. **21-1526** [Action on the demolition of an existing 157 square-foot deck and the new construction of 65 square-foot second floor balcony with an exterior staircase at the rear of the existing two-story residence at 3148 Barkley Avenue \(Continued from the October 20, 2021 Development Review Hearing\)](#)

Recommendation: Redesign the proposed project by enclosing the exterior staircase and, submit as final architectural approval by Planning staff as per the conditions of approval.

ADJOURNMENT

The next regular scheduled meeting is on Wednesday, December 1, 2021 at 3 p.m.

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

21-1546

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Declaration of Procedures



The Hearing Officer for this agenda will be Development Review Officer, AICP, Gloria Sciara on behalf of and delegated by the Director of Community Development Andrew Crabtree.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



Agenda Report

21-1338

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on interior remodel and a 1,218 square-foot first and second floor addition to an existing 1,373 square-foot single-family residence at 1621 Cunningham Street.

File No.(s): **PLN21-15093**

Location: **1621 Cunningham Street**, a 6,270 square feet parcel located on the west side of Cunningham Street, between Warburton Avenue and Bray Avenue; APN: 224-17-026; property is zoned Single Family Residential (R1-6L).

Applicant: Mark Bucciarelli, Baukunst

Owner: Larry Tsai

Request: **Architectural Review** of interior remodel, 638 square foot first floor and a 580 square foot second floor addition to an existing 1,373 square foot three-bedroom, two-bathroom single-story residence with a 368 square foot garage resulting in a 2,591 square foot six-bedroom, three and a half bathroom two-story residence with 357 square foot garage and with the 125 square foot front porch to remain.

Project Data

	Existing Floor Area (sq. ft.)	Addition (sq. ft.)	Proposed Floor Area (sq. ft.)
First Floor	1,373	638	2,022
Second Floor	-	580	580
Garage	368	-11(added to first floor)	357
Porch	125	-	125
Shed	-	-	-
Gross Floor Area	1,866/		3,084
Lot Coverage	1,866/6,270 = 29.8 %	-	2,504/6,270 = 39.9%
% second floor to first floor	N/A		24.4%
F.A.R.	.30		.49
Bedrooms/Baths	3 Bedrooms 2 Bathrooms	2 Bedrooms 1 ½ Bathrooms	6 Bedrooms 3 ½ Bathrooms
Flood Zone	AO		AO

Points for consideration

- The proposed project is located in a predominantly one-story homes with no two-story homes throughout the immediate neighborhood.
- Project site adjoins one-story single-family homes on all sides.
- The proposed single-family house is compatible with the architectural styles and materials of other homes in the neighborhood.
- The project proposes a gym on the second floor that is not considered a bedroom as it does not meet the egress requirements. The proposed home office on the second floor is considered a potential bedroom as it meets the definition of bedroom with a closet and egress.
- The site is in the flood zone AO that corresponds to the areas of 1-percent shallow flooding (usually sheet flow on sloping terrain) where average depths are between 1 and 3 feet. Mandatory flood insurance requirements apply.
- A 300-foot neighborhood notice was distributed for this project review.

Findings supporting the Staff Recommendation

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The development provides the required two covered parking spaces.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The project proposes a first-floor rear addition to the existing house. The proposed second floor addition provides 4-foot to approximately 15-foot front step back, approximately 4 foot sidestep back to the south and 24 foot sidestep back to the north, and 4-foot to approximately 12 foot rear step back to reduce the second-floor massing. This exceeds the requirement in the design guidelines. The proposed addition is in a manner that is compatible with the scale and character of the neighborhood.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
 - Proposed lot coverage is within the maximum 40% lot coverage permissible in the R1-6L zoning district
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The proposed project is compatible with adjacent residential properties and generally consistent with the City's Design Guidelines, in that the project maintains the one-two story character by providing greater step backs on the second floor in a manner that promotes compatibility with the existing neighborhood character.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working*

in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.

5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*

- The proposed addition will be clad in stucco with a new composite shingle roof to match the existing home.

CONDITIONS OF APPROVAL

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to, site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 3) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 4) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.

ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 21, 2021, a notice of public hearing of this item was posted in three conspicuous places within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application at the time of preparation of this report.

RECOMMENDATION

Approve the proposed interior remodel, 638 square-foot first floor and a 580 square-foot second floor addition to an existing 1,373 square-foot three-bedroom, two-bathroom single-story residence with a 368 square-foot garage resulting in a 2,591 square-foot six-bedroom, three and a half bathroom two-story residence with 357 square-foot garage and with the 125 square-foot front porch to remain for the property located at 1621 Cunningham Street, subject to conditions.

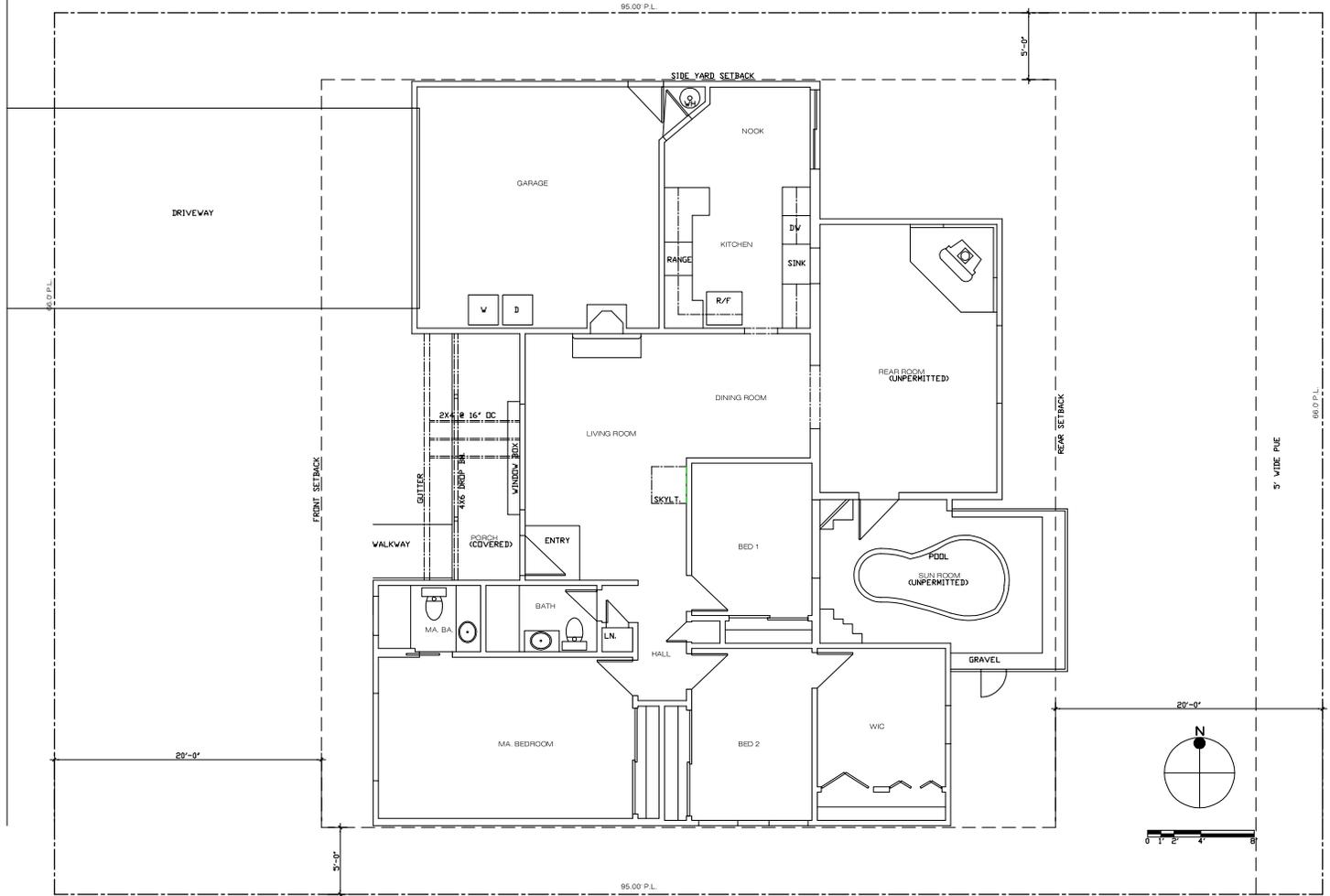
Prepared by: Nimisha Agrawal, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

ATTACHMENTS

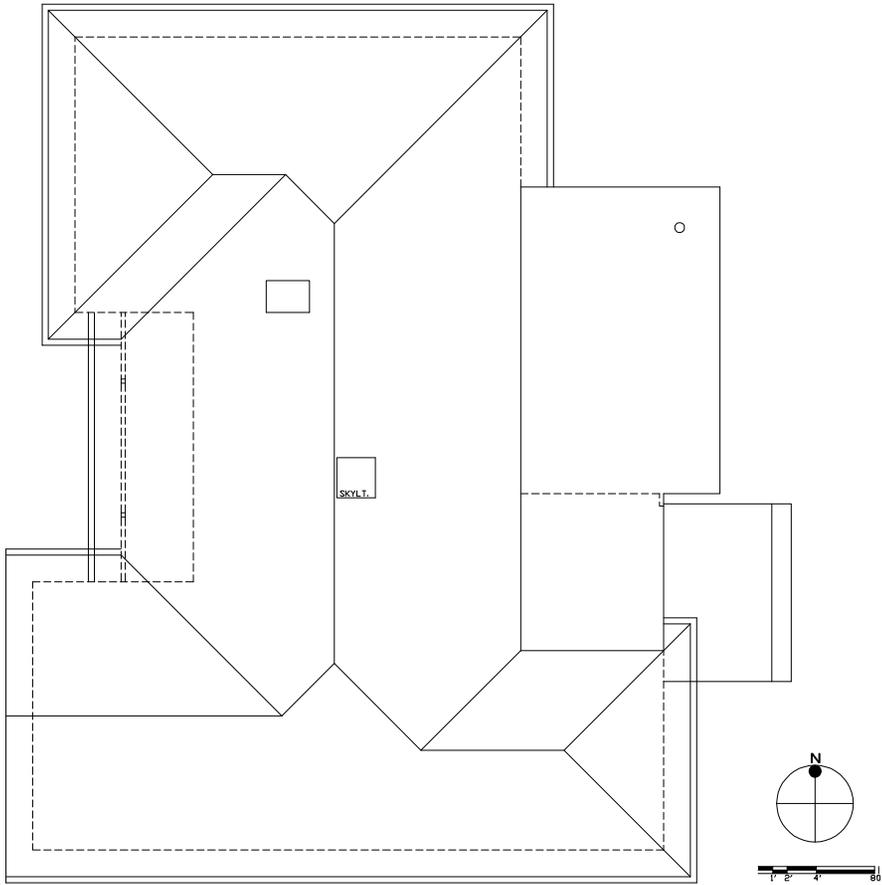
1. Development Plans

CUNNINGHAM (50 FT. ROW)

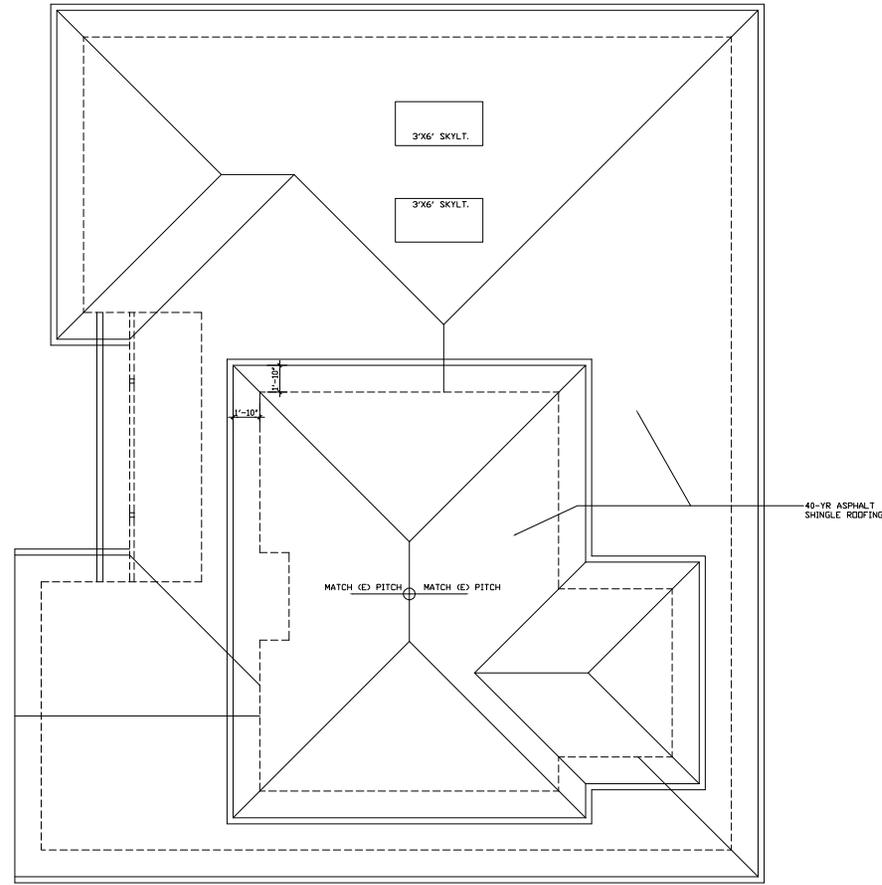


(E) / DEMO FLOOR / SITE PLAN

DATE	
DESIGNED FOR	
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ADDITION & REMODEL 1621 CUNNINGHAM SANTA CLARA, CA	
1	1
1	1/4" = 1'-0"
A2.1	
Note: This sheet is 1/4" scale sheet.	



(E) / DEMO ROOF PLAN



PROPOSED ROOF PLAN

DATE _____

DESIGNED FOR _____

REGISTERED ARCHITECT
BAUKUNST
 MICHAEL J. BAUKUNST
 No. C-23159
 Riverside, California
 STATE OF CALIFORNIA

BAUKUNST
 597 Fullerton Avenue, Fullerton, CA 92631
 T: 800.455.1007
 F: 714.771.1000
 www.baukunst.com

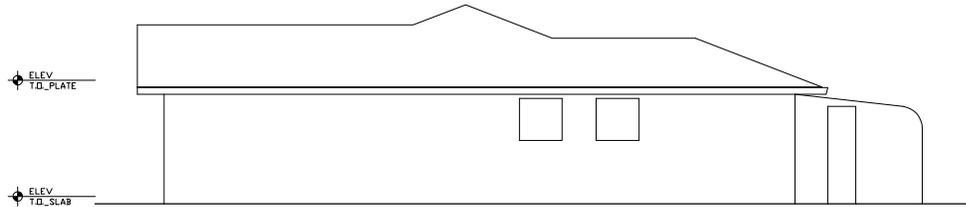
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ADDITION & REMODEL
 1621 CUNNINGHAM
 SANTA CLARA, CA

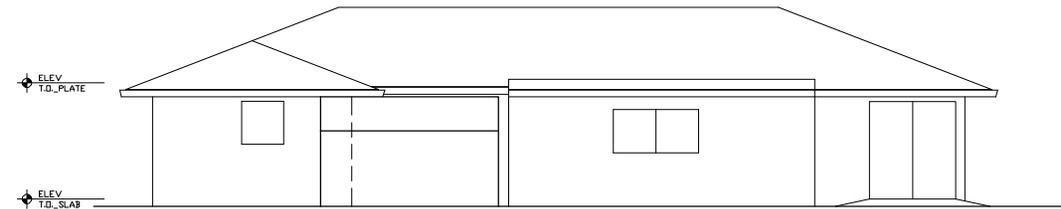
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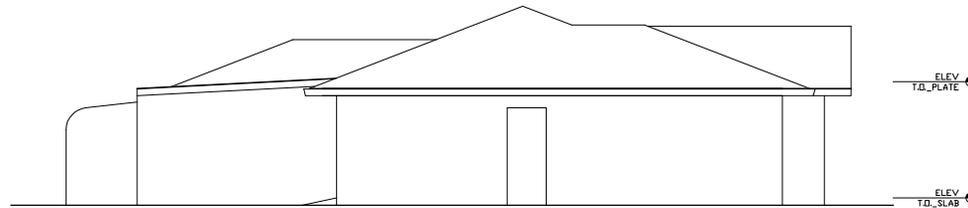
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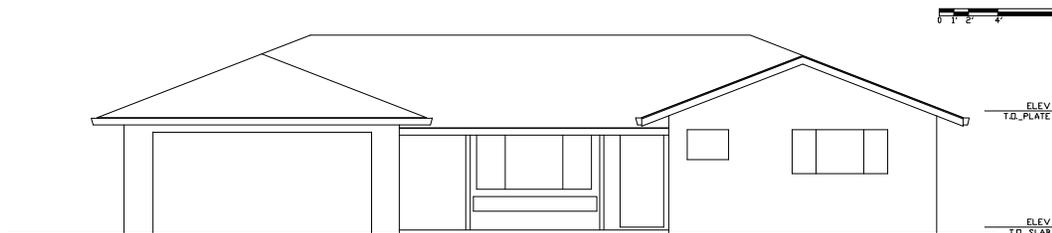
(E) / DEMO RIGHT SIDE ELEVATION



(E) / DEMO REAR ELEVATION



(E) / DEMO LEFT SIDE ELEVATION



(E) / DEMO FRONT ELEVATION

DATE _____

DESIGNED FOR _____

REGISTERED ARCHITECT
 MICHAEL J. BAUKUNST
 No. C-23159
 3/31/20
 Renewed State
 STATE OF CALIFORNIA

BAUKUNST
 507 Fullerton Avenue, Daly City, CA 94015
 T: 800.455.1027
 B: baukunstarchitectural.com YouTube: baukunst2020

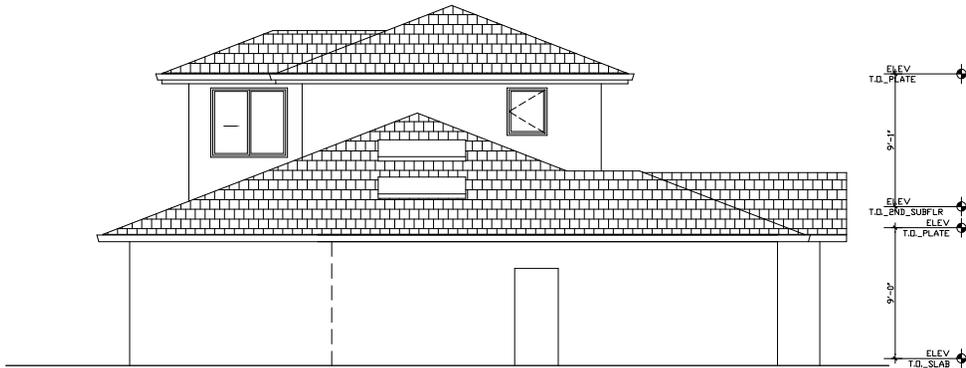
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ADDITION & REMODEL
 1621 CUNNINGHAM
 SANTA CLARA, CA

·	·
·	1/8" = 1'-0"

A3.1

Note: This sheet is 1/8" scale sheet.



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

DATE _____

DESIGNED FOR _____

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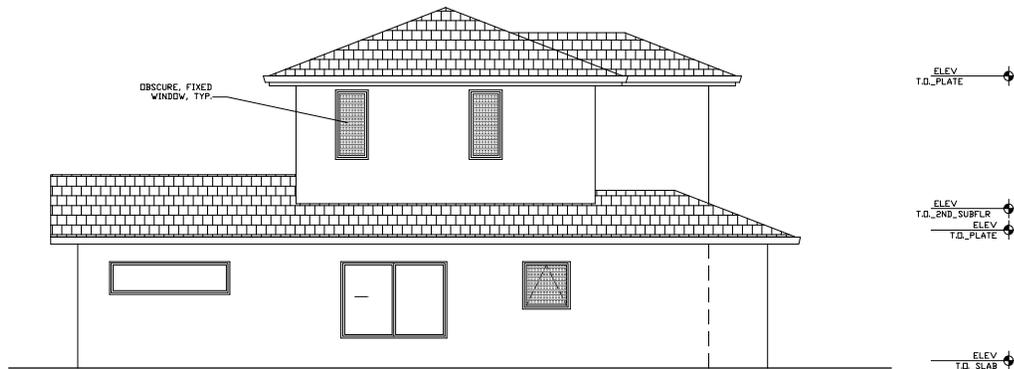
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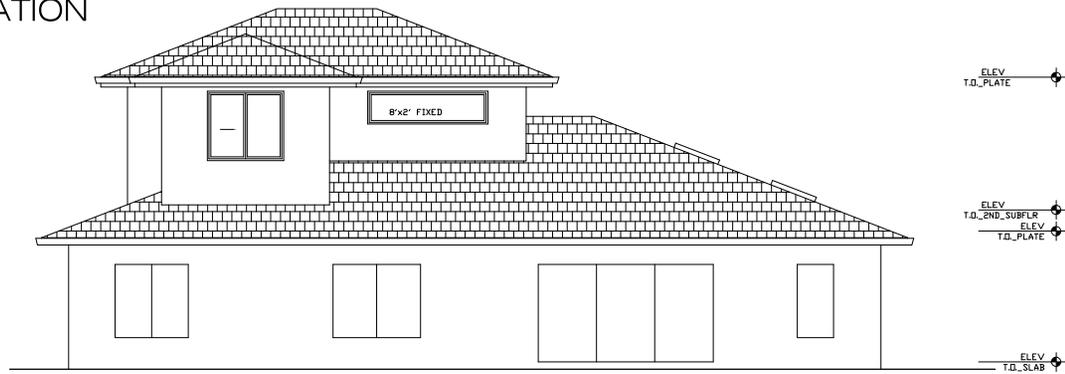
ADDITION & REMODEL
 1621 CUNNINGHAM
 SANTA CLARA, CA

1/8" = 1'-0"	
A3.2	

Note: This series is 1/8" = 1'-0" scale unless otherwise noted.



PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION

DATE _____

DESIGNED FOR _____

BAUKUNST

507 Fullerton Avenue, Daly City, CA 94015
 T: 800.455.1007
 P: 415.992.9333
 E: baukunst@baukunst.com You Tube: baukunst2010

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ADDITION & REMODEL

1621 CUNNINGHAM
 SANTA CLARA, CA

-	-
-	1/8" = 1'-0"

A3.3

Note: This sheet is 1/8" scale shall apply



Agenda Report

21-1377

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on time extension for a previously approved data center project at 2175 Martin Avenue.

File No.(s): **PLN21-15265** (Original approval **PLN2019-13745, CEQ2019-01071**)

Location: **2175 Martin Avenue**, a 1.68 acre site located on the north and east of Martin Avenue, approximately 775 feet west of Scott Boulevard; APN: 224-10-115; property is zoned Light Industrial (ML).

Applicant: Jonathan Gibbs, Prime Data Centers

Owner: 2175 Martin Property LLC.

Request: **Time Extension** for a previously approved Architectural Review for a new 80,000 square foot 3-story data center building.

Project Data

Lot Size: 1.68 acre (73,386 Sq. ft.)				
	Existing Floor Area (sq. ft.)	Demolish (sq. ft.)	Addition (sq. ft.)	Proposed Floor Area (sq. f t.)
Gross Floor Area	31,500	31,500	79,356	79,356
Lot Coverage	31,500/73,386 = 42.9 %			26,452/73,386 = %
F.A.R.	.4			1.08
Parking	80 spaces			20 spaces

Points for consideration

- The project site is currently designated “Low Intensity Office/R&D” in the City of Santa Clara 2010-2035 General Plan (General Plan) and is zoned as “Light Industrial.” The project is consistent with the existing land use designation.
- The Architecture Committee originally approved the proposed data center project (PLN2019-13745, CEQ2019-01071) on September 18, 2019 with the condition for applicants to work with staff to enhance the elevations.
- An appeal (PLN2019-14132) to the Architecture Committee’s decision was received on September 25, 2019. On November 13, 2019, the Planning Commission denied the appeal and upheld the Architecture Committee’s decision of approval of the project.
- The project has now been taken over by Prime Data Centers. They are requesting a time extension of two years to obtain building permits and start the construction of the project.

ENVIRONMENTAL REVIEW

Previously prepared Mitigated Negative Declaration was approved on September 18, 2019 by the Architectural Committee. It was determined that the project, with the incorporation of the mitigation measures, will not have a significant effect on the environment.

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 21, 2020, a notice of public hearing of this item was mailed 500 feet of the project site and mailed to property owners within 500 feet of the project site. Planning Staff has not received public comments for this application.

RECOMMENDATION

Approve the time Extension for a previously approved Architectural Review for a new 80,000 square foot 3-story data center building at 2175 martin Avenue, subject to conditions.

Prepared by: Nimisha Agrawal, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

ATTACHMENTS

1. Approved Development Plans
2. Architectural Committee Staff Report of September 18, 2019
3. Conditions of Approval
4. Excerpt Architectural Committee Meeting Minutes of September 18, 2019
5. Project Data

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VICINITY MAP



LOCATION MAP



PROJECT INFORMATION

PROJECT DESCRIPTION: THREE STORY DATA CENTER WITH EQUIPMENT YARD ON 1.67 ACRES. INCLUDES TRUCK DOCK WITH TWO OVERHEAD DOORS, SHIPPING AND RECEIVING AREA, SERVICE ELEVATOR, OFFICE AND STORAGE AREAS IN ADDITION TO DATA HALLS.

BUILDING ADDRESS: 2175 MARTIN AVE. SANTA CLARA, CA 95052

APN: 224-10-115

SEBMC ZONE: XXX

ZONING BUILDING CODE: ML - LIGHT INDUSTRIAL

OCCUPANCY TYPE: STORAGE (S-1) & BUSINESS (B)

CONSTRUCTION TYPE: I-B

PROJECT AREA: 79,366 SF TOTAL 26,432 SF PER FLOOR

APPLICABLE CONSTRUCTION CODES

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE W/ CALIFORNIA GREEN BUILDING STANDARDS

PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE

MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE

ELECTRICAL CODE: 2016 CALIFORNIA ELECTRICAL CODE

FIRE/LIFE SAFETY CODE: 2016 CALIFORNIA FIRE CODE

ACCESSIBILITY CODE: CALIFORNIA ACCESSIBILITY GUIDELINES

ENERGY CODE: 2016 CALIFORNIA ENERGY CODE

FIRE PROTECTION: APPROVED AUTOMATIC SPRINKLER SYSTEM PER NFPA 13 WITH MULTIPURPOSE DRY-CHEMICAL PORTABLE FIRE EXTINGUISHERS AS SPECIFIED SPACED AT 75' FT TRAVEL DISTANCE AROUND THE FLOOR PREACTION IN RAISED FLOOR AREAS AND PROPOSED MECHANICAL ROOMS.

TRAFFIC

EXISTING BUILDING ON SITE HAS BEEN VACANT SINCE JANUARY 10, 2019

OCCUPANCY COUNTS FOR EGRESS

AREA OF WORK: ALL THREE FLOORS, TOTAL AREA 79,366 SF

BUSINESS GROUP B

AREA: 21,160 SF

OCCUPANT LOAD: (8) 140 / (300) 1-ET1

STORAGE GROUP S-1

AREA: 11,946 SF

OCCUPANT LOAD: (1) 145 / (300) 4-0

ELECTRICAL

AREA: 10,271 SF

OCCUPANT LOAD: (10,271)X(1) 4-0

TOTAL OCCUPANT LOAD AREA OF WORK/OCCUPANCY LOAD BASED ON B OCCUPANCY AS THE MOST STRINGENT:

TOTAL AREA: 79,366 SF

OCCUPANT LOAD: 79 OCCUPANTS

PERMISSANT TO CALIFORNIA BUILDING CODE 016, SECTION 1004.1.2 EGRESS, WHERE APPROVED BY THE BUILDING OFFICIAL, THE ACTUAL NUMBER OF OCCUPANTS FOR WHICH EACH OCCUPIED SPACE, FLOOR OR BUILDING IS DESIGNED, ALTHOUGH LESS THAN THOSE DETERMINED BY CALCULATION, SHALL BE PERMITTED TO BE USED IN THE DETERMINATION OF THE DESIGN OCCUPANT LOAD.

THE TENANT WILL NOT HAVE MORE THAN 5 TECHNICIANS IN THE SPACE NORMALLY AND NEVER MORE THAN 14 AND CAN BE ATTESTED IN WRITING THAT FACILITY HOUSE SERVERS IN CABINETS, AIR CONDITIONING AND ELECTRICAL GEAR AND BOTH THESE SYSTEMS HAVE REDUNDANCIES BUILT IN TO ENSURE CONTINUED OPERATION. THE TECHNICIANS ARE NOT HOUSED ON SITE. BOTH FOR EGRESS PURPOSES, THERE ARE NOT THE EMPLOYEES OF THE TENANT BUT EMPLOYED BY THOSE COMPANIES WHO HOUSE SERVERS IN THIS FACILITY AND SERVICEMEN RELATED TO THE SUPPORT EQUIPMENT. THE TECHNICIANS WILL COME AND GO AS REQUIRED FOR MAINTENANCE AND UPDATES. THERE ARE NO OFFICE FACILITIES PROVIDED ON SITE.

A LETTER FROM THE TENANT ATTESTING TO ACTUAL OCCUPANCY CONDITIONS WITHIN THIS LEASE CAN BE SUBMITTED FOR FILE.

EXIT ACCESS

MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD (CALIFORNIA BUILDING CODE 2016 TABLE 1009.2.1):

OCCUPANCY B REQUIRES 2 EXITS ABOVE 50 OCCUPANTS

OCCUPANCY B REQUIRES 2 EXITS ABOVE 20 OCCUPANTS

NOTE: EXIT REQUIREMENTS HAVE BEEN CALCULATED BASED ON B OCCUPANCY

EXIT OR EXIT ACCESS REQUIRED (CALIFORNIA BUILDING CODE 2016 TABLE 1009.1 AND TABLE 1012.2):

1. MAXIMUM COMMON PATH OF EGRESS TRAVEL (B OCCUPANCY WITH SPRINK) IS 100 FEET.

2. EXIT ACCESS TRAVEL DISTANCE (B OCCUPANCY WITH SPRINK) IS 300 FEET.

TOILET FIXTURE COUNT

TOTAL CALCULATED OCCUPANT LOAD = 132 PERSONS

TOTAL OCCUPANT LOAD = 79 M (2) + 397 MEN 397 WOMEN

PROVIDE 1 TOILET 25 OCC. FOR FIRST 25 THEN 1 TOILET / 50 FOR THE REMAINDER EXCEEDING 50

PROVIDE 1 LAV AND OCC. FOR THE FIRST 25 THEN 1 LAV / 50 FOR THE REMAINDER EXCEEDING 50

DRINKING FOUNTAINS PROVIDED AT 1/1000 OCC.

PROVIDE 1 SERVICE 200

PLUMBING FIXTURES REQUIRED (TABLE 1001.1):

LAV.	REQUIRED		PROVIDED	
	MEN	WOMEN	MEN	WOMEN
WC:	8	8	1	1

DRAWING INDEX

Drawing Number	Drawing Name	Current Revision	Current Revision Date	Current Revision Description
01 CIVIL				
C1.0	EXISTING CONDITIONS PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
C2.0	CONCEPTUAL SITE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
C3.0	CONCEPTUAL GRADING PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
C4.0	CONCEPTUAL UTILITY PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
C5.0	CONCEPTUAL STORMWATER TREATMENT PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
101 ARCHITECTURE				
A0.0	PROJECT DESCRIPTION	04	08/29/2019	PCC UPDATE
A1.1	EXISTING SITE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A1.2	PROPOSED SITE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A2.1	LEVEL 01 FLOOR PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A2.2	LEVEL 02 FLOOR PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A2.3	LEVEL 03 FLOOR PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A2.4	ROOF PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
A3.1	BUILDING ELEVATIONS - NORTH & WEST	04	08/29/2019	PCC UPDATE
A3.2	BUILDING ELEVATIONS - SOUTH & EAST	04	08/29/2019	PCC UPDATE
A3.3	RENDERED VIEWS	04	08/29/2019	PCC UPDATE
102 LANDSCAPE				
L1.1	ARBOR CARE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
L2.1	LANDSCAPE SITE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
103 ELECTRICAL				
E1.1	ELECTRICAL ONE-LINE DIAGRAM	03	05/17/2019	PCC REVIEW #2 COMMENTS
E2.1	ELECTRICAL SITE PLAN	03	05/17/2019	PCC REVIEW #2 COMMENTS
E4.1	ELECTRICAL SCHEDULES	03	05/17/2019	PCC REVIEW #2 COMMENTS

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Bkf
BANKERS BUILDING GROUP

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LIGHTSTONE

PROJECT: LSI
ADDRESS
2175 MARTIN AVE.
SANTA CLARA, CA 95050

ISSUES & REVISIONS		
Issue #	Issue Date	Issue Description
01	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
03	05/17/2019	PCC REVIEW #2 COMMENTS
04	08/29/2019	PCC UPDATE

PRELIMINARY FOR DESIGN REVIEW

SHEET TITLE

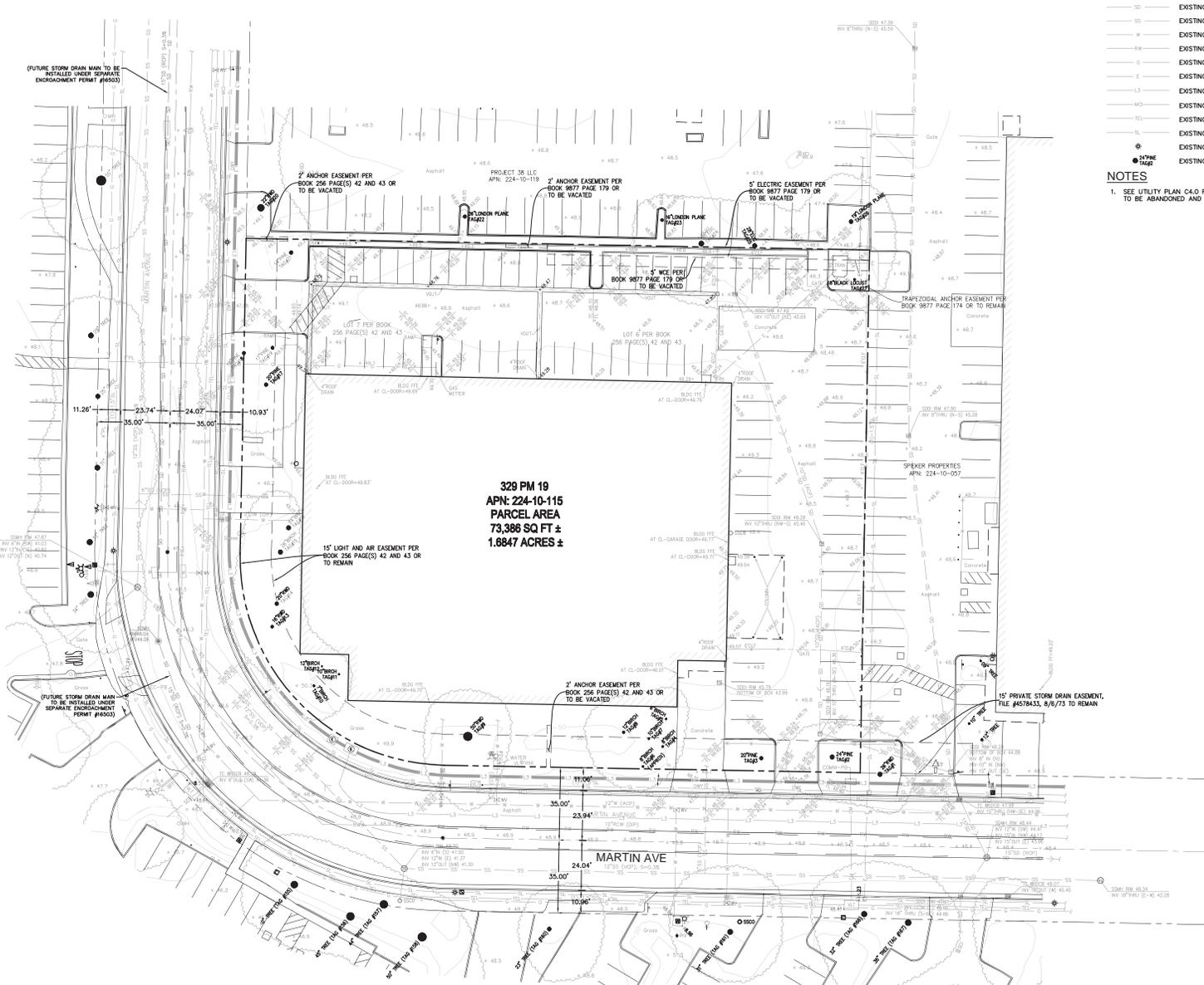
PROJECT DESCRIPTION

Scale: As indicated

ISSUAL: PROJECT NO.: 27.7207.011

SHEET NO. **A0.0**

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- LEGEND**
- PROPERTY LINE
 - - - ADJACENT LOT LINES
 - CENTERLINE
 - SS EXISTING STORM DRAIN LINE
 - SS EXISTING SANITARY SEWER LINE
 - W EXISTING WATER LINE
 - RW EXISTING RECYCLED WATER LINE
 - G EXISTING GAS LINE
 - E EXISTING ELECTRIC LINE
 - L3 EXISTING L3 (COMMUNICATIONS) LINE
 - MO EXISTING MCI (COMMUNICATIONS) LINE
 - TEL EXISTING TELEPHONE LINE
 - S EXISTING STREET LIGHT CONDUIT
 - EXISTING STREET LIGHT
 - EXISTING TREE

NOTES

- SEE UTILITY PLAN C4.0 FOR EXISTING LATERALS TO BE ABANDONED AND FOR PROPOSED LATERALS

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LIGHTSTONE

SITE ID: LSI
ADDRESS
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SANTA CLARA, CA 95050

ISSUES & REVISIONS

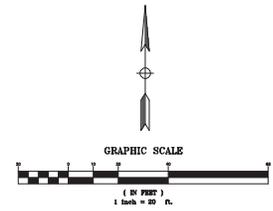
No.	Date	Description
1	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
2	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
3	05/17/2019	PC REVIEW #2 COMMENTS

SEAL

SHEET TITLE
EXISTING CONDITIONS PLAN

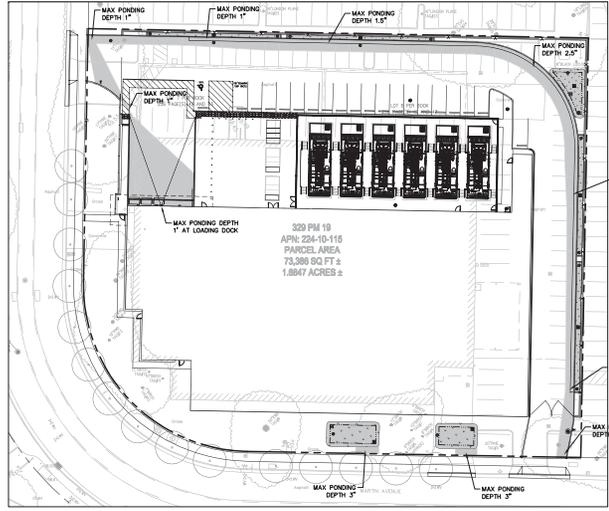
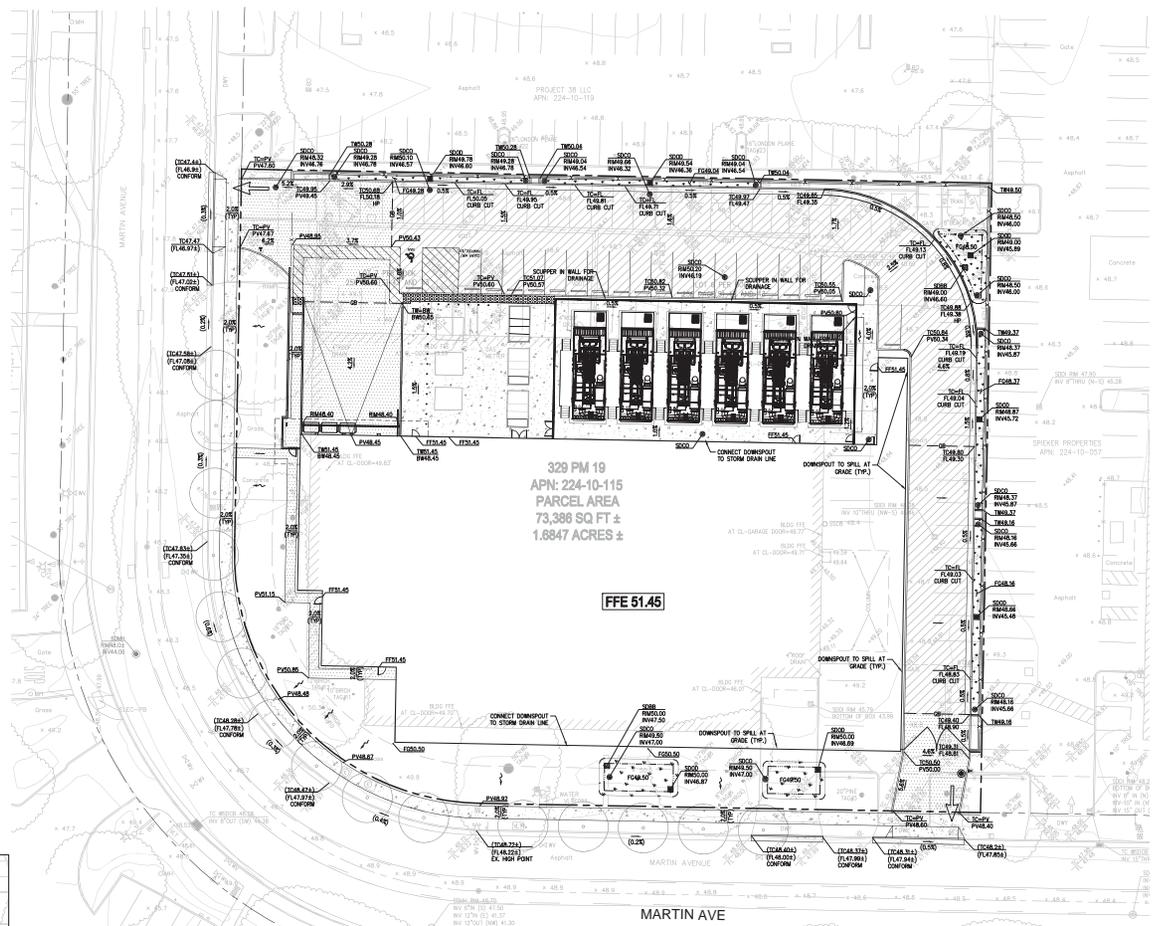
DRAWN: CU
REVIEWED: CU
PROJECT NO.: 20190047

SHEET NO.
C1.0



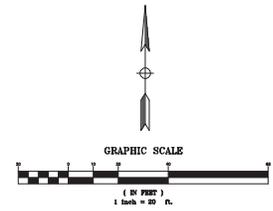
DATE PLOTTED: 02/15/2019 10:58:30 AM

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- LEGEND**
- SOFTSCAPE HARDSCAPE
 - SLOPE DIRECTION
 - 100 YEAR STORM OVERLAND RELEASE
 - PROPOSED SPOT GRADE
 - EXISTING SPOT GRADE
 - GRADE BREAK
 - NEW CONCRETE PAVING
 - NEW VEHICULAR AC PAVING
 - NEW PERVIOUS PAVING
 - BIORETENTION AREA

- PRELIMINARY EARTHWORK QUANTITIES**
- OUT 1,000 CY
 FILL 2,000 CY
 NET 1,000 CY IMPORT
- EARTHWORK NUMBERS ARE BASED ON NEAT LINE QUANTITIES AND DOES NOT FACTOR IN ANY SHRINKAGE ADJUSTMENTS. CONTRACTOR'S BID SHALL INCORPORATE SHRINKAGE BASED ON ACTUAL FIELD CONDITIONS AND GEOTECHNICAL RECOMMENDATIONS.
 - EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION.



ISSUES & REVISIONS

No.	Date	Description
1	02/16/2019	PROJECT CLEARANCE COMMITTEE REVIEW
2	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
3	05/17/2019	POC REVIEW #2 COMMENTS

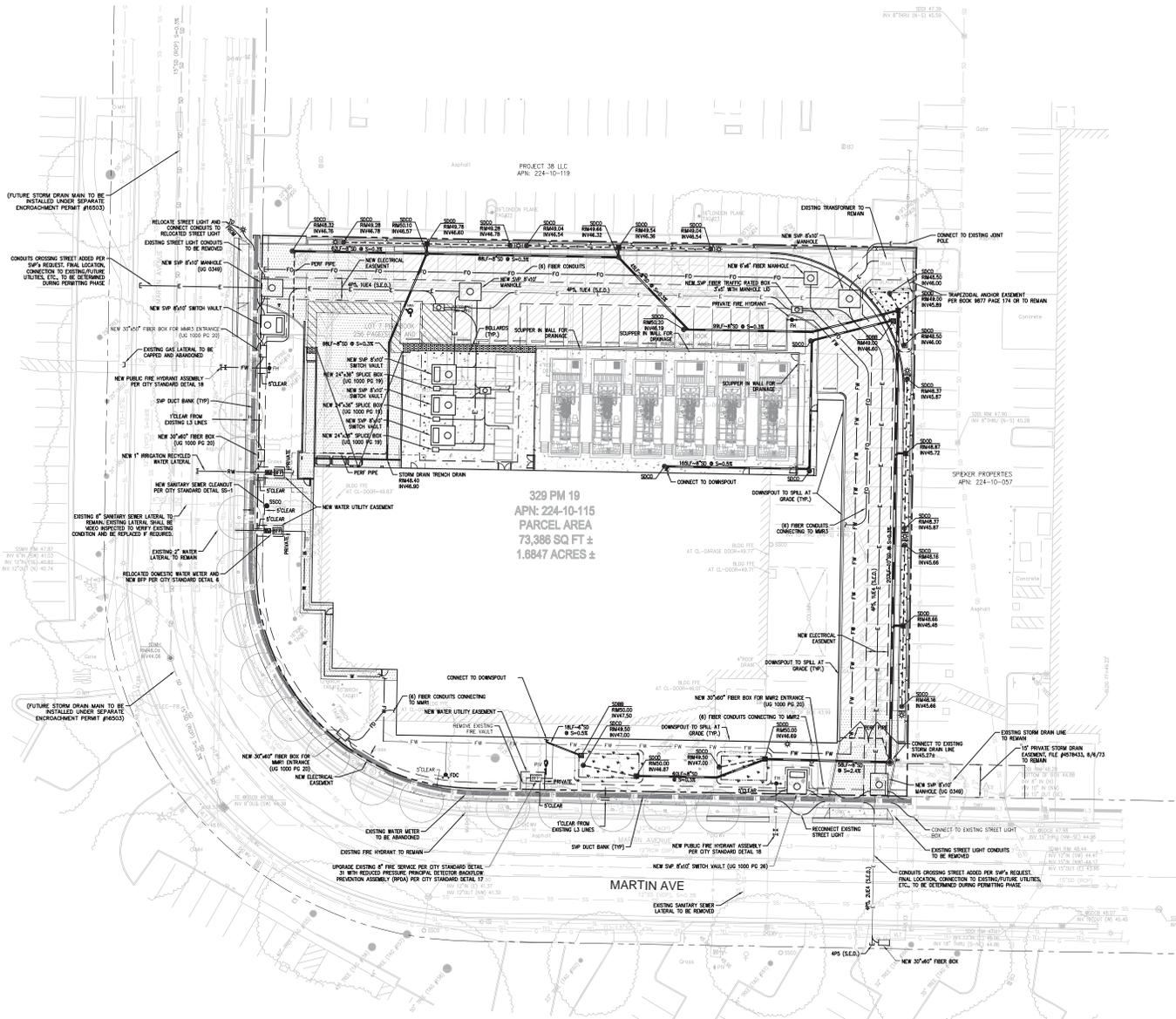


SHEET TITLE
CONCEPTUAL GRADING PLAN

SHEET NO.
C3.0

DATE: 01/20/2019
 PROJECT NO: 20190047

FOR OFFICE USE ONLY - NOT FOR DESTRUCTION OR USE WITHOUT THE WRITTEN CONSENT OF BURN COMPUTER ENVIRONMENTS, INC.



329 PM 19
 APN: 224-10-115
 PARCEL AREA
 73,386 SQ FT ±
 1.6847 ACRES ±

- LEGEND**
- PROPERTY LINE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED DOMESTIC WATER LINE
 - FW PROPOSED FIRE WATER LINE
 - SVP PROPOSED SVP DUCT BANK
 - FO PROPOSED FIBER OPTIC LINE
 - PH → FIRE HYDRANT
 - FD → FIRE DEPARTMENT CONNECTION
 - WV → WATER VALVE
 - WM → WATER METER
 - BP → BACKFLOW PREVENTER
 - PI → POST INDICATOR VALVE
 - SD → STORM DRAIN CLEANOUT
 - SDM → STORM DRAIN MANHOLE
 - SOB → STORM DRAIN BUBBLER BOX
 - SOO → STORM DRAIN OVERFLOW DRAIN
 - SOE → STORM DRAIN TRENCH DRAIN
 - SSO → SANITARY SEWER CLEANOUT
 - SL → STREET LIGHT

- UTILITY NOTES**
1. DRY UTILITIES SHOWN FOR REFERENCE ONLY (ATTI, COMCAST, PG&E, ETC.) FUTURE ELECTRICAL PLANS TO SHOW MORE INFORMATION.
 2. THE CONTRACTOR TO POT-HOLE ALL UTILITY CROSSINGS FOR GRAVITY LINES, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
 3. WHERE UTILITY CROSSINGS DO NOT MEET ONE FOOT OF CLEARANCE, (2) CONTROLLED IDENTIFY AND A NEOPRENE CUSHION WILL BE USED.
 4. WHERE UTILITY CROSSINGS DO NOT MEET ONE FOOT OF CLEARANCE, LOCATIONS OF EXISTING PIPES AND UTILITIES BY POT-HOLING BEFORE EXCAVATION WORK OR MAKING CONNECTIONS.
 5. DRY UTILITIES ARE SHOWN FOR REFERENCE ONLY. FINAL DESIGN WILL BE SHOWN ON CONSTRUCTION DRAWINGS.
 6. ALL UTILITIES SHALL MAINTAIN MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM OTHER UTILITIES.
 7. THE APPLICANT SHALL MAINTAIN A MINIMUM 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES, 10' FROM SANITARY SEWER UTILITIES, 10' FROM RECYCLED WATER UTILITIES, 6' FROM STORM DRAIN UTILITIES, 5' FROM FIRE AND OTHER WATER UTILITIES, 3' FROM ABANDONED WATER SERVICES, 5' FROM GAS UTILITIES, AND 5' FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY, FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES. THE APPLICANT SHALL MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF APPLICANT INSTALLS TREE ROOT BARRIERS, CLEARANCE FROM TREE REDUCES TO 5' (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES).



LIGHTSTONE

SITE ID: LSI
ADDRESS: 275 MARTIN AVENUE
SANTA CLARA, CA 95050

ISSUES & REVISIONS

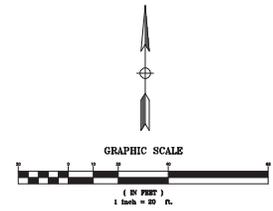
No.	Date	Description
1	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
2	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2/01
3	05/17/2019	POC REVIEW #2 COMMENTS



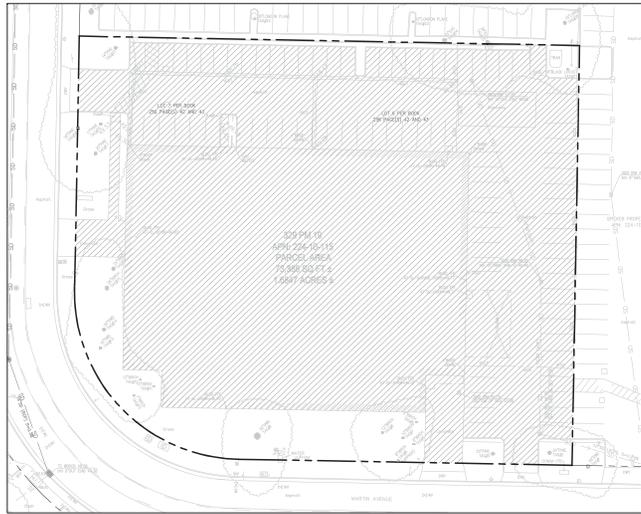
SHEET TITLE
CONCEPTUAL UTILITY PLAN

DRAWN: CU
 REVIEWED: CU
 PROJECT NO: 20190407

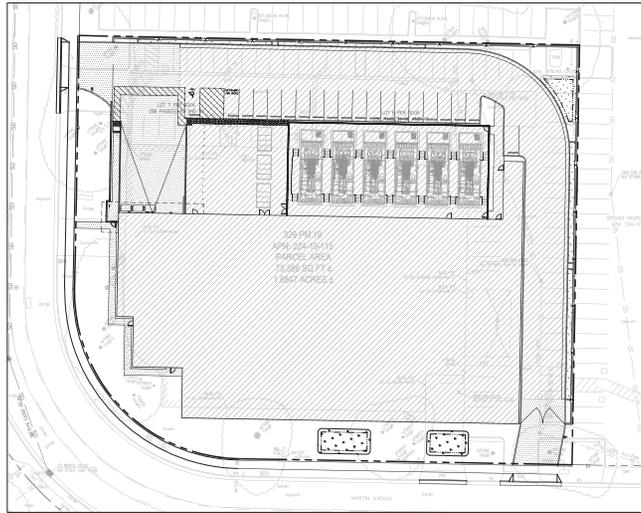
SHEET NO.
C4.0



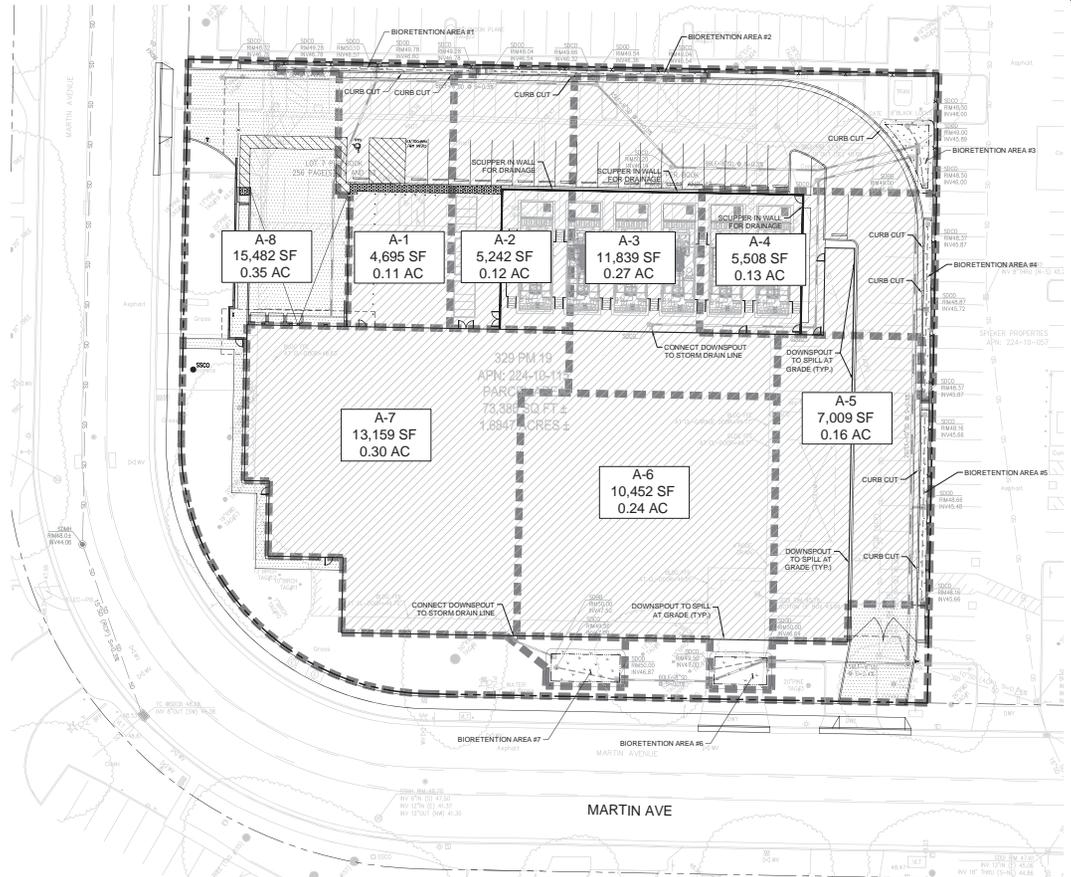
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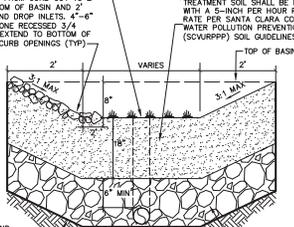
EXISTING CONDITIONS
 IMPERVIOUS AREA: 61,565 SF
 PERVIOUS AREA: 11,821 SF
 TOTAL AREA: 73,386 SF



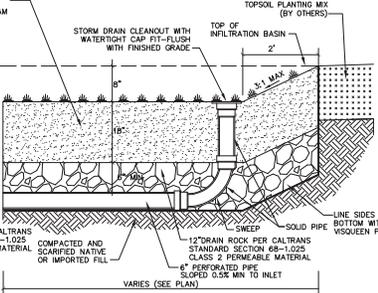
PROPOSED CONDITIONS
 IMPERVIOUS AREA: 53,075 SF
 PERVIOUS AREA (LANDSCAPED): 13,685 SF
 PERVIOUS AREA (PERVIOUS PAVEMENT): 6,626 SF
 TOTAL AREA: 73,386 SF



INSTALL CLEANOUT AT OPEN ENDS OF PERFORATED PIPE—
 3" WIDE STONE (COBBLES) ENERGY DISSIPATOR FROM CURB CUT TO 2' PAST BOTTOM OF BASIN AND 2" WIDE ROUNDED DROP INLETS, 4"-6" COBBLE STONE RECESSED 3/4" DEEP MIN. EXTENDING TO BOTTOM OF SLOPE AT CURB OPENINGS (TYP.)



*TREATMENT SOIL SHALL BE LOAMY SAND WITH A 5-INCH PER HOUR PERCOLATION RATE PER SANTA CLARA COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM (SCVURPPP) SOIL GUIDELINES



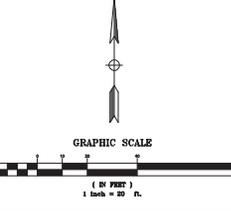
LINE SIDES AND BOTTOM WITH 10-MIL VISQUEEN PER GEOTECH—
 COMPACTED AND SCARIFIED NATIVE OR IMPORTED FILL

LINE SIDES AND BOTTOM WITH 10-MIL VISQUEEN PER GEOTECH—
 COMPACTED AND SCARIFIED NATIVE OR IMPORTED FILL

NOTE: SEE LANDSCAPE PLANS FOR PLANTING MATERIAL
 *SEE SCVURPPP FOR ORGANIC COMPOST PERCENTAGE AND TOP DRESSING MULCH
 BACKFILL INFILTRATION BASIN ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL.

PLANTING: PLANT SPECIES SHALL BE NATIVE OR "BAY FRIENDLY" AND DROUGHT TOLERANT PER SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) PLANTING GUIDELINES

LEGEND
 TRIBUTARY AREA
 IMPERVIOUS PAVEMENT (ASPHALT, CONCRETE, ROOF, ETC.)
 PERVIOUS PAVEMENT
 BIORETENTION AREA



Area #	Area Size (sf)	Pervious Area (sf)	Impervious Area (sf)	Composite Runoff Coefficient	Impervious Area Requiring Treatment (sf)	Total Area Being Treated (sf)	Required Treatment Area (sf)	Proposed Treatment Method	Treatment Area #	Comforms to Size Standard?
A-1	4,695	320	0	0.4375	4,375	4,695	159	Bioretention Basin	1	Yes
A-2	5,342	430	0	0.4812	4,912	5,342	176	Bioretention Basin	2	Yes
A-3	11,839	1,600	0	0.2239	10,239	11,839	376	Bioretention Basin	3	Yes
A-4	5,508	705	0	0.4802	4,802	5,508	217	Bioretention Basin	4	Yes
A-5	7,009	554	0	0.4455	6,455	7,009	235	Bioretention Basin	5	Yes
A-6	10,452	495	0	0.9527	9,952	10,452	369	Bioretention Basin	6	Yes
A-7	13,159	724	0	0.12435	12,435	13,159	464	Bioretention Basin	7	Yes
A-8	15,482	8,856	6,626	0	0	15,482	1,956	Pervious Paving / Self-Draining	8	Yes
Total	73,386	13,685	6,626	0	53,075	73,386	1,956			

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LIGHTSTONE
 SITE ID: LSI
 ADDRESS: 275 MARTIN AVENUE
 SANTA CLARA, CA 95050

ISSUES & REVISIONS

No.	Date	Description
1	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
2	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2 (D)
3	05/17/2019	POC REVIEW #2 COMMENTS

SEAL
 PE 76759
 CIVIL
 STATE OF CALIFORNIA

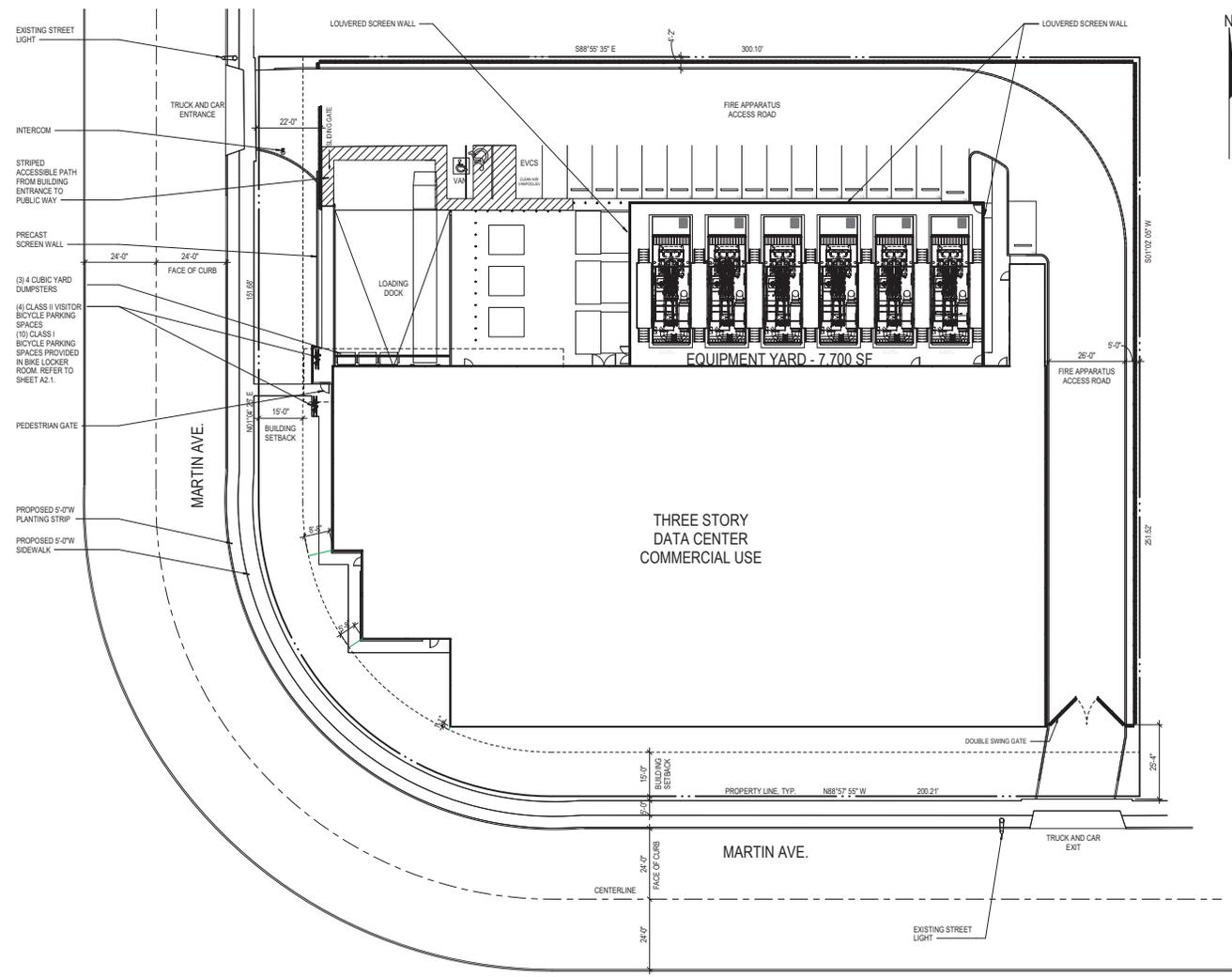
SHEET TITLE
 CONCEPTUAL STORMWATER TREATMENT PLAN

DRWN: CU
 REVISED: CU
 PROJECT NO: 20190047
 SHEET NO.
C5.0

PROCEEDING NOT FOR DISSEMINATION OR USE WITHOUT THE WRITTEN CONSENT OF BURN COMPUTER ENVIRONMENTS, INC.

PROJECT DATA
 LOT AREA: 73,388 SF
 PROPOSED BLDG FOOTPRINT: 26,452 SF
 PROPOSED BLDG AREA (BLDG): 73,388 SF (3 STORIES)
 PERCENT LOT COVERAGE (BLDG): 38%
 PROPOSED EQUIPMENT YARD AREA: 7,700 SF
 PERCENT LOT COVERAGE (YARD): 10%
 PARKING PROVIDED: 20 SPACES
 INCLUDING 1 VAN ACCESSIBLE SPACE
 INCLUDING 1 CLEAN AIR VEHICLE SPACE

PERCENTAGE OF LOT DEDICATED TO OUTDOOR STORAGE: 0%
 CLASS I BICYCLE PARKING PROVIDED: 2 SPACES, INTERIOR ROOM ADJ. TO EMPLOYEE SHOWER FACILITIES
 CLASS II BICYCLE PARKING PROVIDED: 2 SPACES, EXTERIOR BY PEDESTRIAN ACCESS GATE



PROPOSED SITE PLAN
 SCALE: 1/16" = 1'-0"

ISSUES & REVISIONS

ISSUE #	Issue Date	Issue Description
01	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
03	05/17/2019	PCO REVIEW #2 COMMENTS

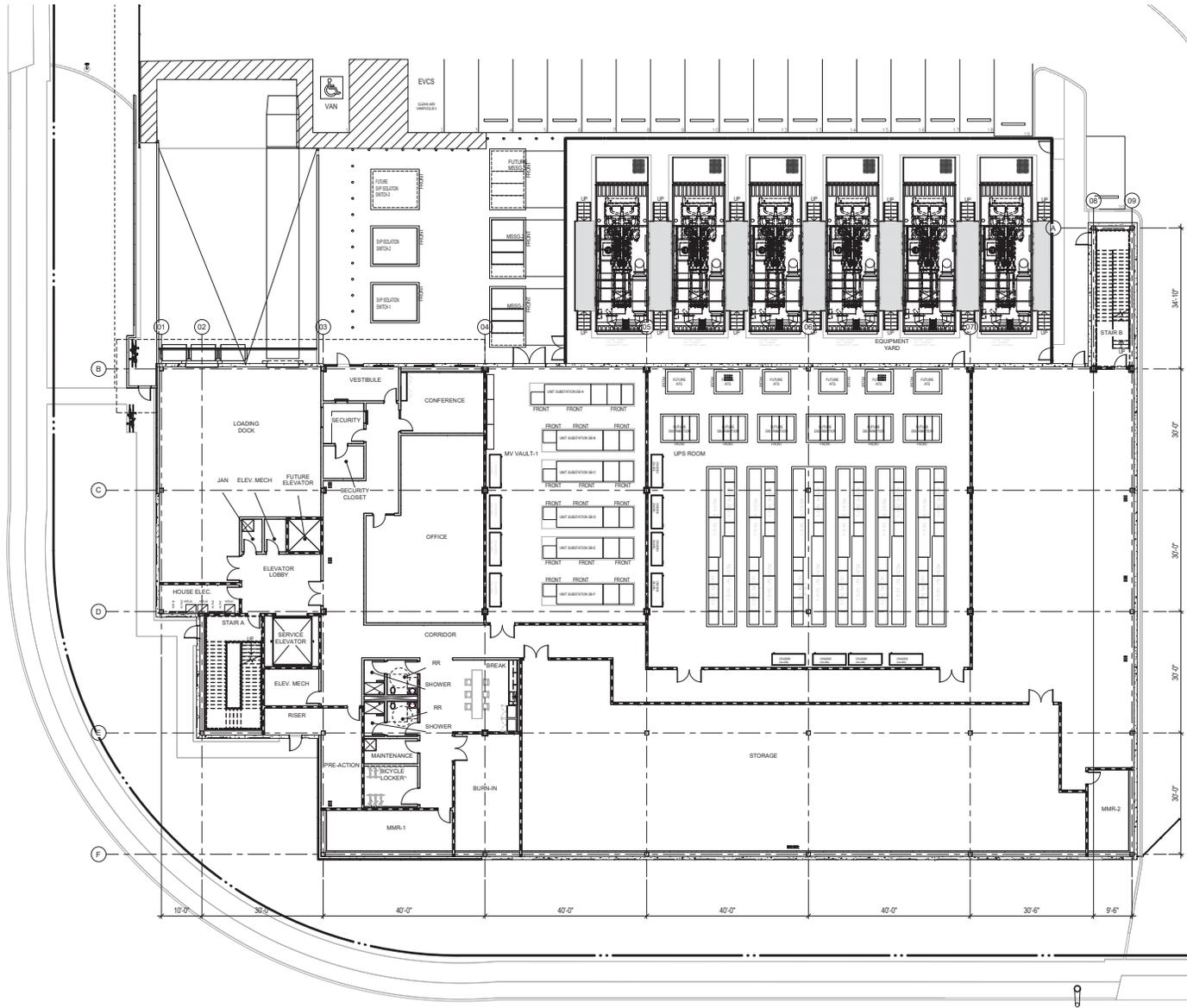
SEAL SIGNATURE
 PRELIMINARY FOR DESIGN REVIEW

PROPOSED SITE PLAN
 SHEET TITLE
 Scale: 1/16" = 1'-0"

ISSUAL REVIEW: PROJECT NO.: 27.2267.011
 SHEET NO.: A1.2
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LEVEL 01 - CONSTRUCTION FLOOR PLAN
SCALE: 3/32" = 1'-0"

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BKF
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San Jose, CA 95112
Phone: 408/467-9100

LIGHTSTONE

PROJECT: LS1
ADDRESS:
2175 MARTIN AVE.
SANTA CLARA, CA 95050

ISSUES & REVISIONS

Issue #	Issue Date	Issue Description
01	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
03	05/17/2019	RCC REVIEW #2 COMMENTS

SEAL/SIGNATURE

PRELIMINARY
FOR DESIGN REVIEW

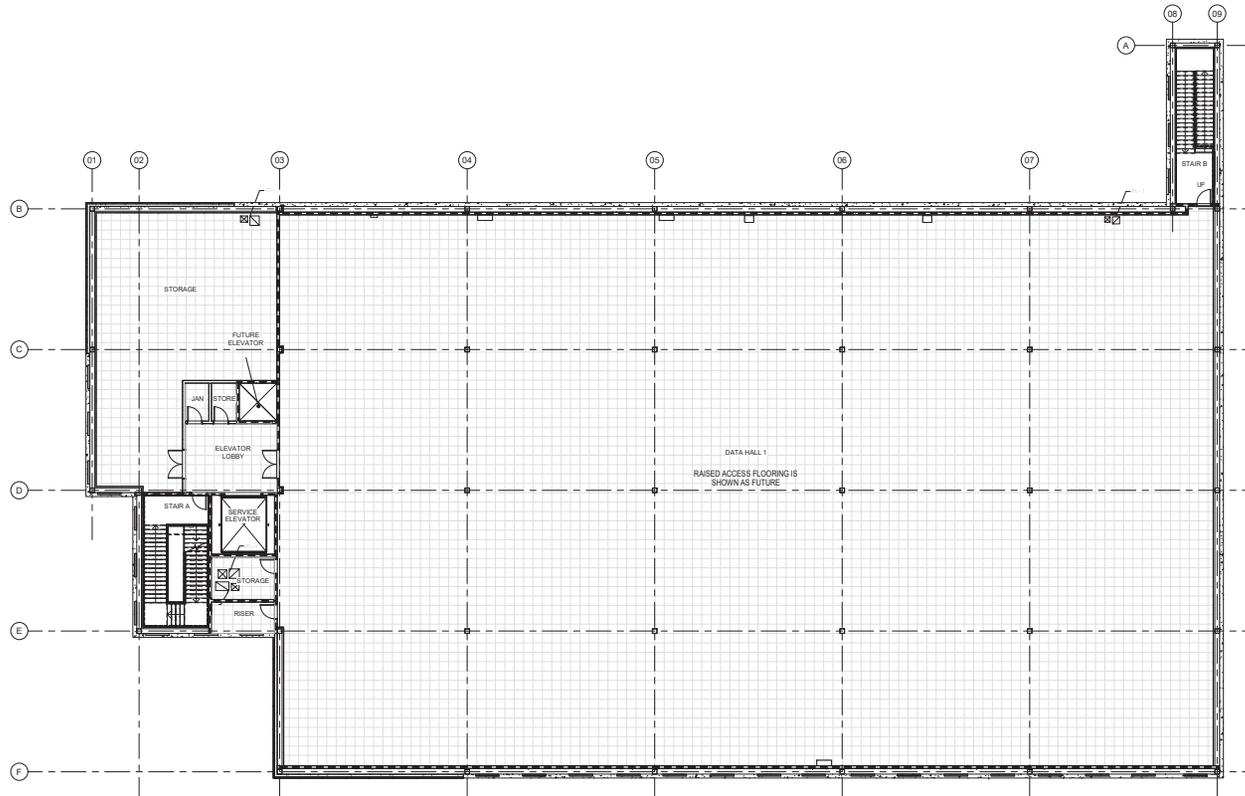
SHEET TITLE

LEVEL 01 FLOOR PLAN
Scale: 3/32" = 1'-0" ⊕ Ref. North

DRAWING REVISION PROJECT NO: 27.7267.011

SHEET NO:
A2.1

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LEVEL 02 - CONSTRUCTION FLOOR PLAN

SCALE: 3/32" = 1'-0"

01

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LIGHTSTONE
PROJECT: LS1
SERIES
2175 MARTIN AVE.
SANTA CLARA, CA 95050

ISSUES & REVISIONS

Issue #	Issue Date	Issue Description
01	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
03	05/17/2019	RCC REVIEW #2 COMMENTS

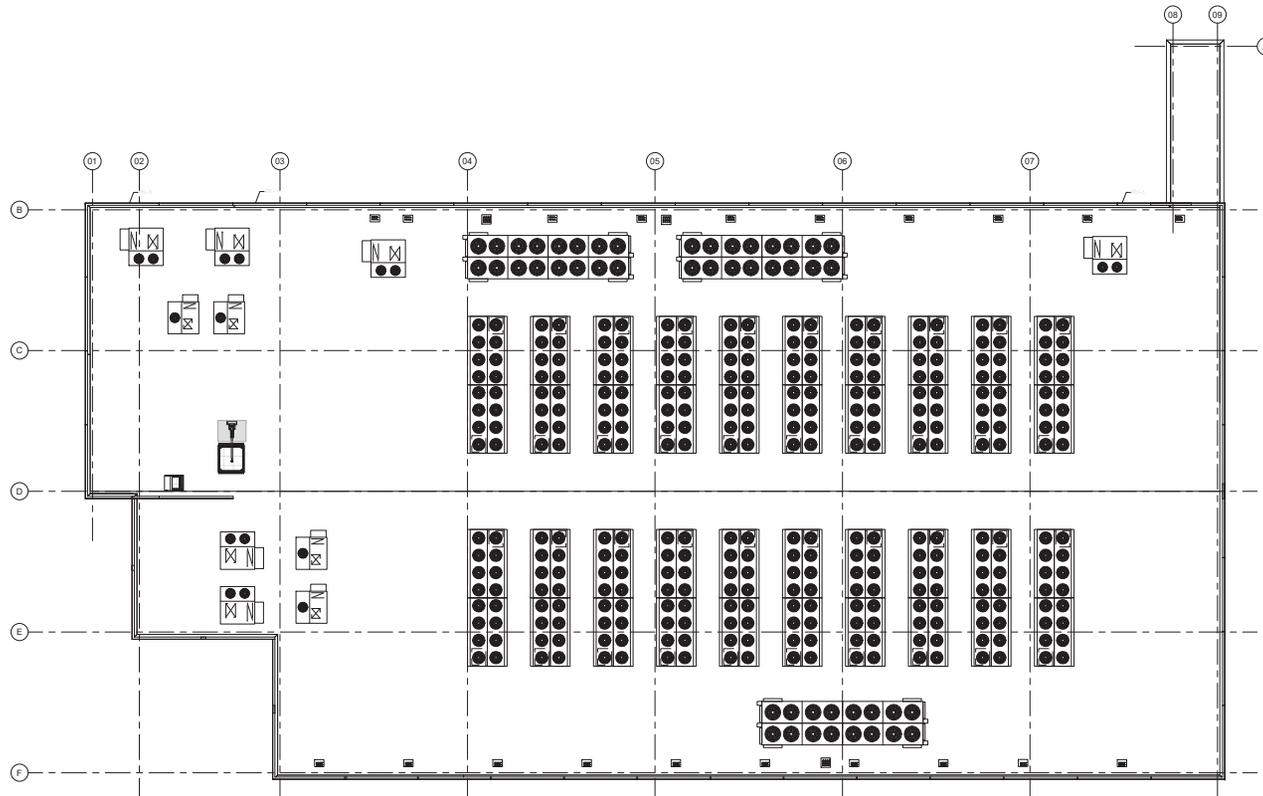
SEAL/SIGNATURE

PRELIMINARY FOR DESIGN REVIEW

SHEET TITLE
LEVEL 02 FLOOR PLAN
Scale: 3/32" = 1'-0"

DRAWING REVISION PROJECT NO.: 27.7267.011
SHEET NO.: **A2.2**

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ISSUES & REVISIONS

Issue #	Issue Date	Issue Description
03	05/17/2019	RCC REVIEW #2 COMMENTS

SEAL SIGNATURE

PRELIMINARY
 FOR DESIGN REVIEW

ROOF PLAN

Scale: 3/32" = 1'-0"

ISSUAL
 REVIEW
 PROJECT NO.: 27.2267.011

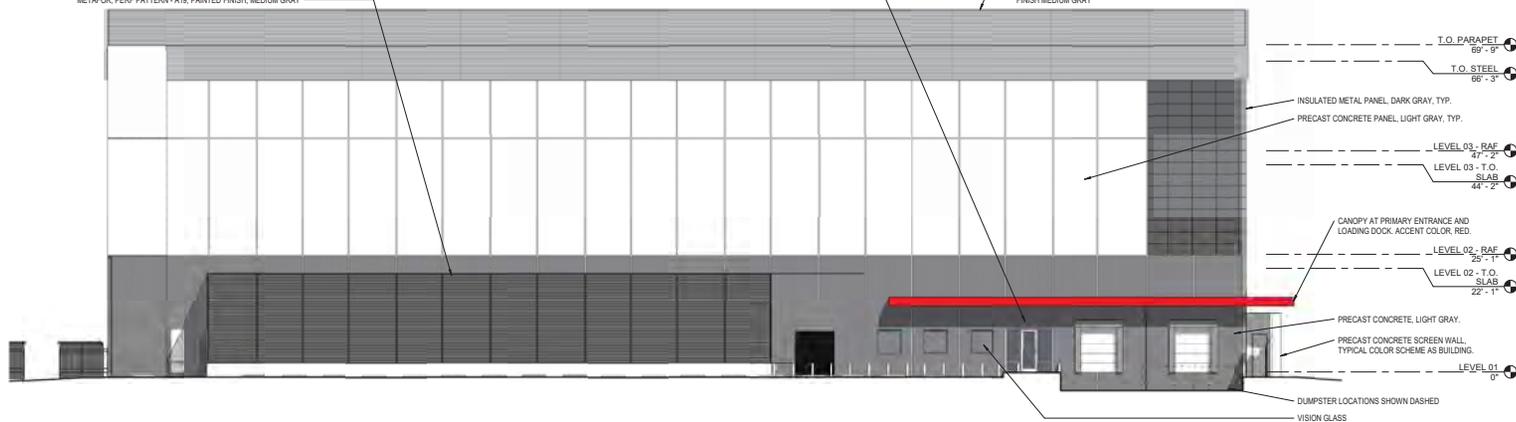
SHEET NO.
A2.4

© 2019 Gensler

EQUIPMENT YARD SCREEN
3'-0" PRECAST CONCRETE BASE WITH
PERFORATED METAL PANEL ABOVE. ATAS INTERNATIONAL
PROFILE - METAFOR, PERF PATTERN - A19, PAINTED FINISH
MEDIUM GRAY

PRIMARY ENTRANCE
STOREFRONT SYSTEM

ROOFTOP EQUIPMENT SCREEN
PERFORATED METAL PANEL ATAS INTERNATIONAL
PROFILE - METAFOR, PERF PATTERN - A19, PAINTED
FINISH MEDIUM GRAY



BUILDING ELEVATION - NORTH
SCALE: 3/32" = 1'-0"

01



BUILDING ELEVATION - WEST
SCALE: 3/32" = 1'-0"

02

ISSUES & REVISIONS

Issue #	Issue Date	Issue Description
01	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
03	05/17/2019	PCC REVIEW #2 COMMENTS
04	08/29/2019	PCC UPDATE

SEAL SIGNATURE

**PRELIMINARY
FOR DESIGN REVIEW**

SHEET TITLE

BUILDING ELEVATIONS - NORTH & WEST

Scale: 3/32" = 1'-0"

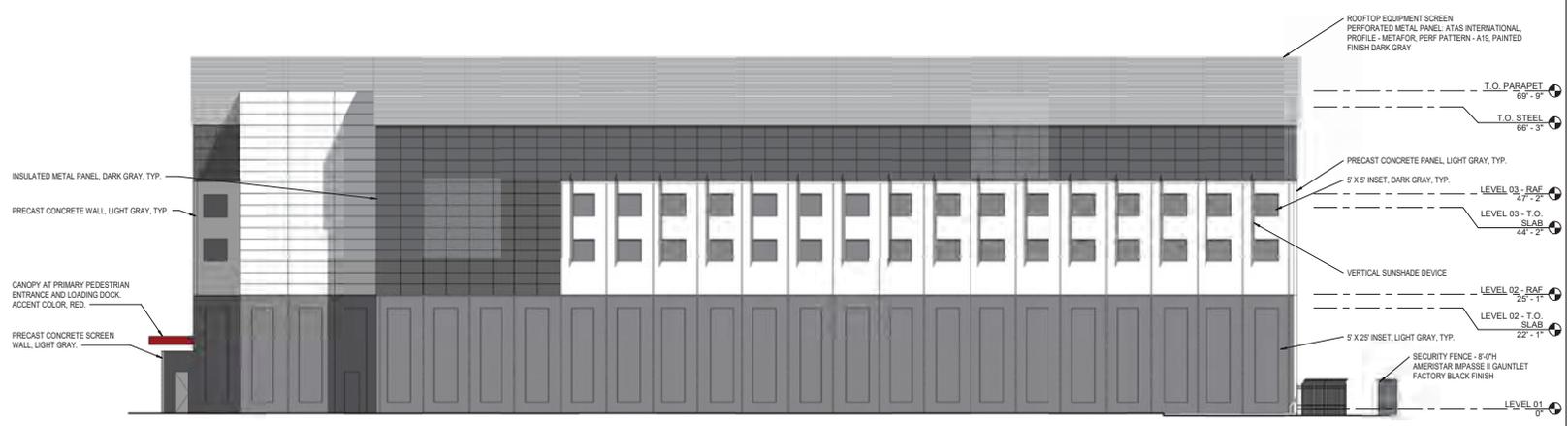
ISSUAL
REVIEW:
PROJECT NO.: 27.7267.011

SHEET NO.

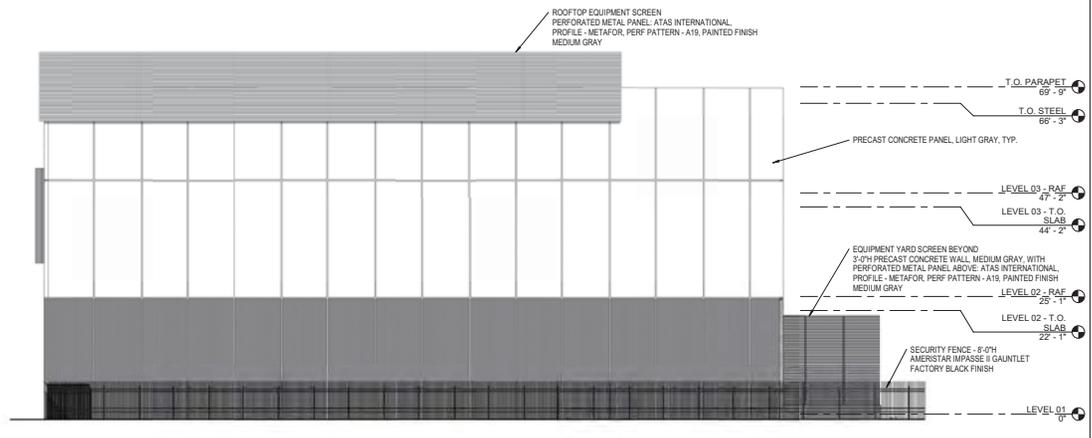
A3.1

LIGHTSTONE

PROJECT: LSI
 ADDRESS
 2175 MARTIN AVE.
 SANTA CLARA, CA 95050



BUILDING ELEVATION - SOUTH 01
 SCALE: 3/32" = 1'-0"



BUILDING ELEVATION - EAST 02
 SCALE: 3/32" = 1'-0"

ISSUES & REVISIONS

Issue #	Issue Date	Issue Description
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
04	08/29/2019	PCC UPDATE

SEAL SIGNATURE

PRELIMINARY FOR DESIGN REVIEW

SHEET TITLE

BUILDING ELEVATIONS - SOUTH & EAST

Scale: 3/32" = 1'-0"

DRWING

REVIEW: PROJECT NO.: 27.7267.011

SHEET NO.

A3.2

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RENDERING - SOUTH-WEST CORNER



RENDERING - NORTH-WEST CORNER

BCEI
BUDY COMPUTER ENVIRONMENTS, INC.
1900 Rodgers Road
Houston, Texas 77070
Phone: 281-374-8644
Fax: 281-374-8992

Gensler
5005 Greenville Ave.
Dallas, TX 75206
USA
Tel: 214.273.1500
Fax: 214.273.1505

CFLA
74 Dudley Avenue
Piedmont, CA 94611
Phone: 510/601-8022

BKF
1730 N. 1st Street
Suite 650
San Jose, CA 95112
Phone: 408/467-9100

LIGHTSTONE

PROJECT: LSI
ADDRESS
2175 MARTIN AVE.
SANTA CLARA, CA 95050

ISSUES & REVISIONS		
ISSUE #	Issue Date	Issue Description
02	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #2
04	08/29/2019	PCC UPDATE

SEAL SIGNATURE

**PRELIMINARY
FOR DESIGN REVIEW**

3D VIEWS

SHEET TITLE

Scale:

ISSUAL
REVIEW:
PROJECT NO.: 27.7267.011

SHEET NO.
A3.3

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CITY OF SANTA CLARA ARBORIST NOTES

- GENERAL**
- Removal of any part of any tree, including roots, shall be done without severing unremoved adjacent portions from the city arborist or arborist employed by city (88-112-3063)
- No cutting above part of private trees, including roots, shall be done without direct supervision of an International Society of Arboriculture (ISA) certified arborist.
- When construction occurs within the drip line of existing trees, contractor shall place all on the side away from the tree. When this is not possible, place on the surface to be cut, but no more than 18" from the trunk. Prevent cutting into the soil surface to less than two inches below the trunk.
- Multi-species trunks only within hours of excavation when they occur within the drip line of existing trees. If this is not possible and to ensure safety, site or nearby contractor must have root ends cut or covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be replaced every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°F, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry up and die in 30-45 minutes. Larger roots can survive in an hour or less under unfavorable weather conditions.
- When roots 2" or larger are required to be cut, shrouding burlap near the roots and spray the roots with an industry approved preservative. Roots that are accidentally broken should be placed in a bucket with the damaged soil. Cracked or torn roots are more likely to allow decay to begin. Shrouding must include protection of both tree roots helping the tree to recover from the injury.
- Contractor shall notify the city arborist or arborist employed by the city 15 hours in advance of any work requiring digging around or within the drip line of existing trees. Contractor shall secure approval of such work from the city arborist or arborist employed by city.
- A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such work from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, pads, and all other construction items shall not be placed within the drip line of existing trees.

CITY OF SANTA CLARA ARBORIST NOTES

- Tree cut lines to be retained to completely enclose the tree shall be done prior to demolition, grading or grading. Pruning shall be allowed on the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A maximum of 15% of the canopy shall be removed on each tree. The cut shall be a minimum of 1/3" and clearly show "warning - live protection area this fence shall be removed without approval from the city arborist/contract arborist". Fences shall be 6 feet high and 1/2 inch thick.
- Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of the ISA certified arborist.
- Grading shall not create drainage problems for trees by channeling water into them, or creating erosion areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade of the base of existing trees shall not be modified. If a grade increase is necessary, the grade shall be used.
- When trenching is allowed, the contractor must install root cuts with a vertical root collar prior to any trenching to minimize the risk of girdling.
- Trees that are deemed to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance that is not related to the work shall be replaced by the city at the contractor's expense.

CITY OF SANTA CLARA ARBORIST NOTES

- Contractor shall tag and identify existing trees which are to remain within the project limits and the drip line of any private trees. Removal of all minor damage to tagged trees shall be performed by the contractor or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently damaged or removed, the contractor shall replace the tree with an equal or better tree within 12 months of removal.
- Contractor shall tag and identify existing trees which are to remain within the project limits and the drip line of any private trees. Removal of all minor damage to tagged trees shall be performed by the contractor or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently damaged or removed, the contractor shall replace the tree with an equal or better tree within 12 months of removal.

CITY OF SANTA CLARA ARBORIST NOTES

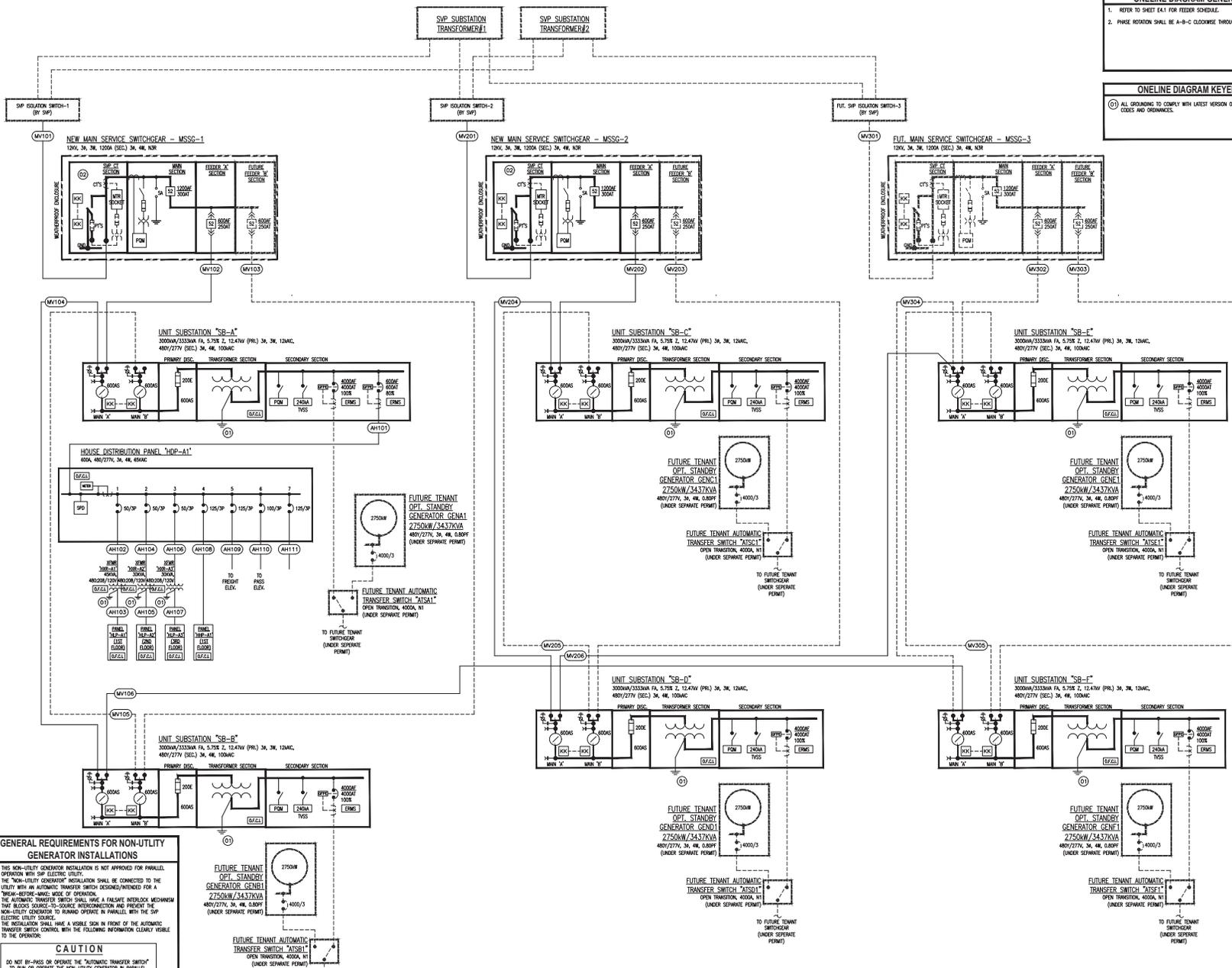
- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protective and maintenance. The payment should be in accordance with the following table:
- | Tree Diameter (inches) | Value (\$) |
|------------------------|------------|
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| 3/4 | 5,000 |
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TRUNK PROTECTION

- Contractor shall tag and identify existing trees which are to remain within the project limits and the drip line of any private trees. Removal of all minor damage to tagged trees shall be performed by the contractor or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently damaged or removed, the contractor shall replace the tree with an equal or better tree within 12 months of removal.

ARBOR CARE SCHEDULE

Tree ID	Common Name	Scientific Name	Health*	DBH (inches)	Within or Adjacent to the Project Site	Protected Tree	City-Designated or Heritage Tree	Tree to be Removed (Reason)
1	Coast Redwood	Sequoia sempervirens	Healthy	26	Adjacent	Yes	No	Preserve
2	Canary Island Pine	Pinus canariensis*	Moderate	24	Within	No	No	Remove (Driveway)
3	Canary Island Pine	Pinus canariensis*	Moderate	20	Within	No	No	Remove (Healthy)
4	White Birch	Betula papyrifera*	Healthy	8	Within	No		



ONLINE DIAGRAM GENERAL NOTES

- REFER TO SHEET E41 FOR FEEDER SCHEDULE.
- PHASE ROTATION SHALL BE A-B-C CLOCKWISE THROUGHOUT SYSTEM.

ONLINE DIAGRAM KEYED NOTES

- ALL GROUNDING TO COMPLY WITH LATEST VERSION OF THE NEC AND ALL LOCAL CODES AND ORDINANCES.

GENERAL REQUIREMENTS FOR NON-UTILITY GENERATOR INSTALLATIONS

- THIS NON-UTILITY GENERATOR INSTALLATION IS NOT APPROVED FOR PARALLEL OPERATION WITH SVP ELECTRIC UTILITY.
- THE "NON-UTILITY GENERATOR" INSTALLATION SHALL BE CONNECTED TO THE UTILITY WITH AN AUTOMATIC TRANSFER SWITCH DESIGNED/PURCHASED FOR A "BREAK-BEFORE-MAKE" MODE OF OPERATION.
- THE AUTOMATIC TRANSFER SWITCH SHALL HAVE A FAILURE MODE/OPERATION THAT BLOCKS SOURCE-TO-SOURCE INTERCONNECTION AND PREVENTS THE NON-UTILITY GENERATOR FROM OPERATING IN PARALLEL WITH THE SVP ELECTRIC UTILITY SOURCE.
- THE INSTALLATION SHALL HAVE A WORKING SIGN IN FRONT OF THE AUTOMATIC TRANSFER SWITCH CONTROL WITH THE FOLLOWING INFORMATION CLEARLY VISIBLE TO THE OPERATOR:

CAUTION

DO NOT BY-PASS OR OPERATE THE "AUTOMATIC TRANSFER SWITCH" TO RUN OR OPERATE THE NON-UTILITY GENERATOR IN PARALLEL WITH THE UTILITY SOURCE.

THIS "NON-UTILITY GENERATOR" IS NOT AN APPROVED INSTALLATION FOR OPERATING IN PARALLEL WITH THE UTILITY SOURCE.

PLEASE REFER TO THE FOLLOWING GENERATOR CAUTION SIGN

- A RETURN TO UTILITY THE ONLY MINIMUM SETTING OF TEN MINUTES IS RECOMMENDED TO KEEP THE LOAD ON THE GENERATOR SET UNTIL A STABLE UTILITY LINE IS PRESENT. THIS SETTING SHOULD BE ADJUSTED TO THE "BREAK-BEFORE-MAKE" MODE OF OPERATION.
- ALL SWITCHING OPERATIONS SHALL BE "OPEN-TRANSITION-ONLY" MODE.
- THE ACTION OF SVP'S BREAKER IS LIMITED ONLY TO THE OPERATIONAL ASPECTS OF THE DESIGN TO BE IN COMPLIANCE WITH THE UTILITY'S NON-PARALLEL GENERATOR INTERCONNECTION.

ELECTRICAL ONE-LINE DIAGRAM - HOUSE
SCALE: NOT TO SCALE



LIGHTSTONE

PROJECT: LSI

275 MARTIN AVENUE
SANTA CLARA, CA 95050

ISSUES & REVISIONS

No.	Date	Description
1	02/15/2019	PROJECT CLEANUP COMMITTEE REVIEW

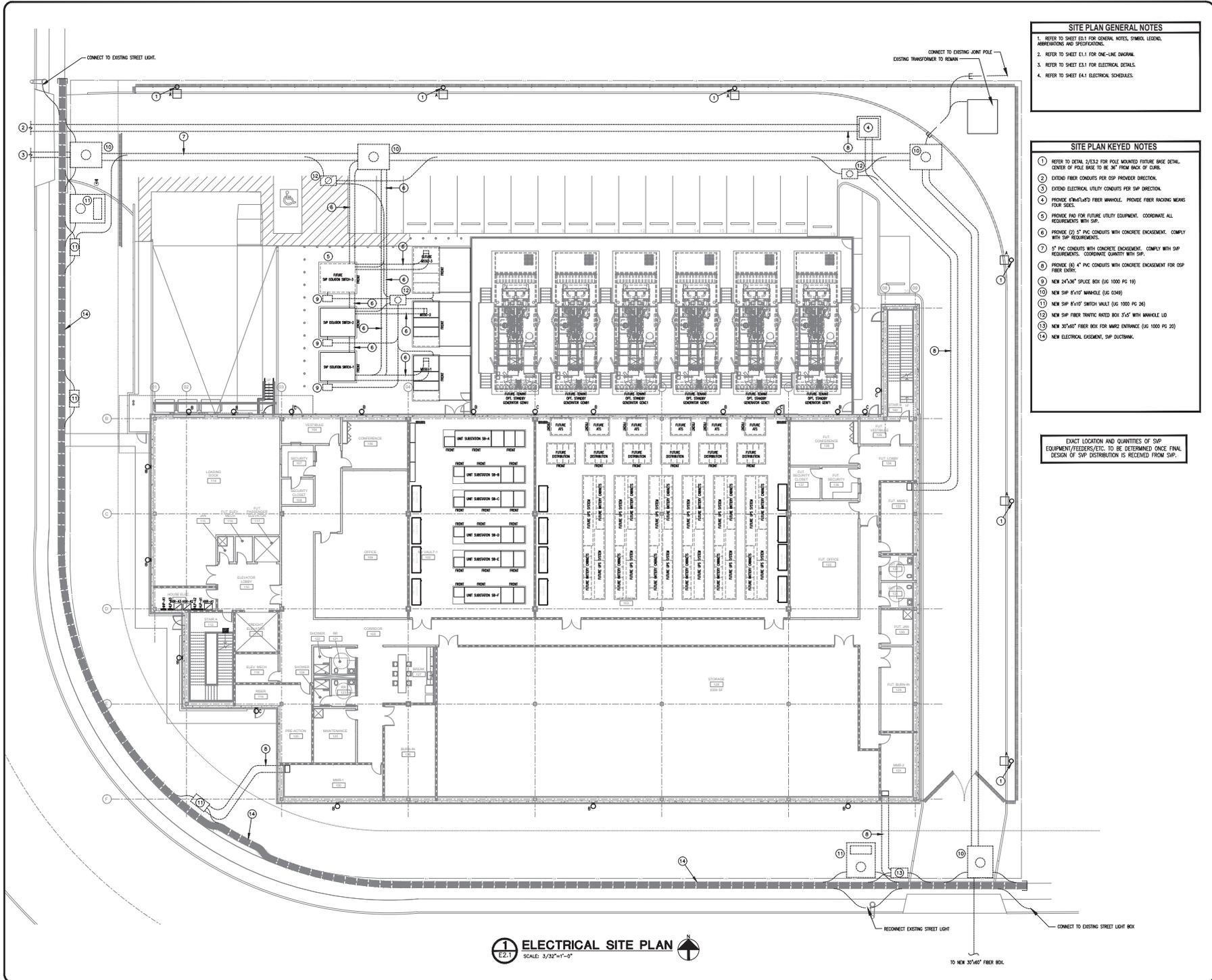
DESIGN DEVELOPEMENT SET - NOT FOR CONSTRUCTION

ELECTRICAL ONE-LINE DIAGRAM - HOUSE

DESIGN: GSS
REVIEWED: BOC
PROJECT NO: C1774.00

E1.1

REPRODUCED NOT FOR DISSEMINATION OR USE WITHOUT THE WRITTEN CONSENT OF BUREAU COMPUTER ENVIRONMENTS, INC.



SITE PLAN GENERAL NOTES

- REFER TO SHEET E01 FOR GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS AND SPECIFICATIONS.
- REFER TO SHEET E11 FOR ONE-LINE DIAGRAM.
- REFER TO SHEET E13 FOR ELECTRICAL DETAILS.
- REFER TO SHEET E41 ELECTRICAL SCHEDULES.

SITE PLAN KEYED NOTES

- REFER TO DETAIL 2/312 FOR POLE MOUNTED FUTURE BASE DETAIL. CENTER OF POLE BASE TO BE 3/4" FROM BACK OF CURB.
- EXTEND FIBER CONDUITS PER OSP PROVIDER DIRECTION.
- EXTEND ELECTRICAL UTILITY CONDUITS PER SVP DIRECTION.
- PROVIDE 8" DIA. 1/2" FIBER MANHOLE. PROVIDE FIBER RACKING MANG FOUR SIDES.
- PROVIDE PAD FOR FUTURE UTILITY EQUIPMENT. COORDINATE ALL REQUIREMENTS WITH SVP.
- PROVIDE (2) 4" PVC CONDUITS WITH CONCRETE ENCASUREMENT. COMPLY WITH SVP REQUIREMENTS.
- 5" PVC CONDUITS WITH CONCRETE ENCASUREMENT. COMPLY WITH SVP REQUIREMENTS. COORDINATE QUANTITY WITH SVP.
- PROVIDE (6) 4" PVC CONDUITS WITH CONCRETE ENCASUREMENT FOR OSP FIBER ENTRY.
- NEW 24"x36" GROUND BOX (UG 1000 PG 19)
- NEW SVP 8"x10" MANHOLE (UG 0348)
- NEW SVP 8"x10" SWITCH VAULT (UG 1000 PG 20)
- NEW SVP FIBER TRAFFIC RATED BOX 3'x3' WITH MANHOLE LID
- NEW 30"x60" FIBER BOX FOR WARE ENTRANCE (UG 1000 PG 20)
- NEW ELECTRICAL EXEMPT, SVP DUCTBANK.

EXACT LOCATION AND QUANTITIES OF SVP EQUIPMENT/FIBERS/ETC. TO BE DETERMINED ONCE FINAL DESIGN OF SVP DISTRIBUTION IS RECEIVED FROM SVP.

BCEI
BUREAU COMPUTER ENVIRONMENTS, INC.
6800 Piedmont Road
HOUSTON, TEXAS 77060
Ph: 281-974-8844
Fax: 281-974-8882

Gensler
505 Greenville Avenue
Dallas, TX 75206
Phone: 214/273-1559

CFLA
74 Dudley Avenue
Piedmont, CA 94611
Phone: 510/601-8022

Bkf
1730 N. 1st Street
Suite 503
San Jose, CA 95112
Phone: 408/467-9100

LIGHTSTONE
PROJECT: LSI
2175 MARTIN AVENUE
SANTA CLARA, CA 95050

ISSUES & REVISIONS

No.	Date	Description
1	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW
2	04/02/2019	PROJECT CLEARANCE COMMITTEE REVIEW #1/01
3	05/17/2019	PEC REVIEW #2 COMMENTS

REAL

ELECTRICAL SITE PLAN

DRAWN: GSS
REVIEWED: BOC
PROJECT NO: C1774.50
SHEET NO: **E21**
DISCLAIMER: NOT FOR CONSTRUCTION OR USE WITHOUT THE WRITTEN CONSENT OF BUREAU COMPUTER ENVIRONMENTS, INC.

1 ELECTRICAL SITE PLAN
SCALE: 3/32"=1'-0"

ISSUES & REVISIONS

No.	Date	Description
1	02/15/2019	PROJECT CLEARANCE COMMITTEE REVIEW

DESIGN DEVELOPEMENT SET - NOT FOR CONSTRUCTION

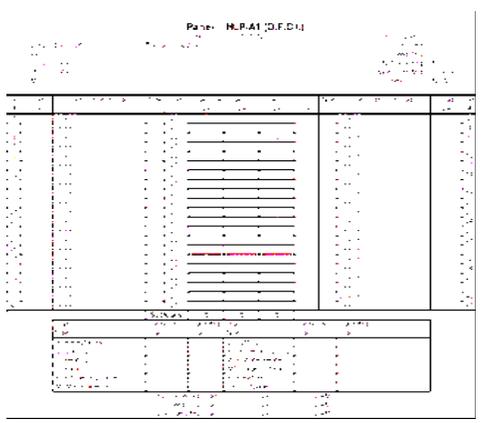
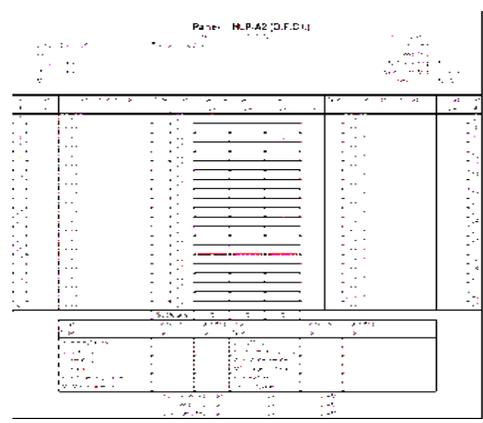
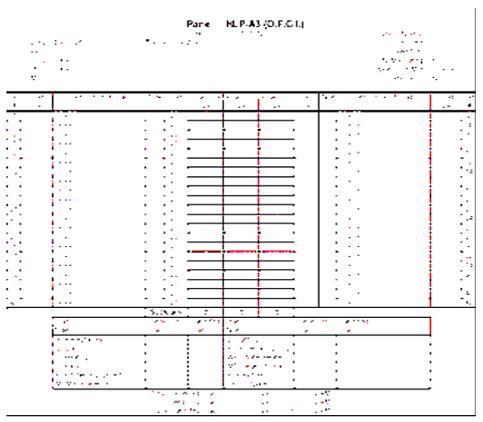
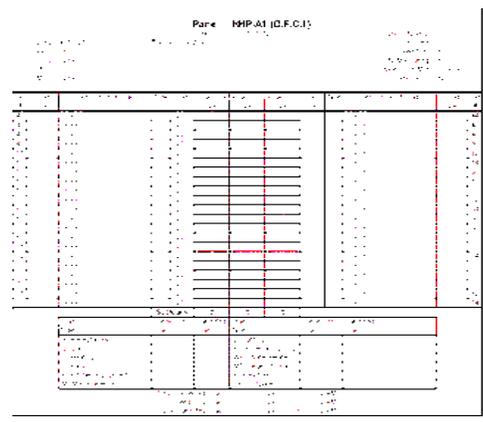
ELECTRICAL SCHEDULES

FEEDER SCHEDULE - HOUSE

MARK	FROM	TO	FEEDER CONDUCTORS										APPROX FEEDER LENGTH (FT)	NOTES
			PHASE COND PER SET	PHASE COND SIZE	NEUT COND PER SET	NEUT COND SIZE	GRD COND PER SET	GRD COND SIZE	COND TYPE ALU/CU	COND T SIZE	NUMBER OF SETS	FEEDER AMP'S		
MV01	NEW SVP PAD MOUNTED SWITCH-1	MSGG-1	--	--	--	--	--	--	5'	2	300	100		
MV02	MSGG-1	SUBSTATION SB-A	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MV03	MSGG-1	SUBSTATION SB-B	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MV04	SUBSTATION SB-A	SUBSTATION SB-B	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MV05	SUBSTATION SB-B	SUBSTATION SB-A	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MV06	SUBSTATION SB-B	SUBSTATION SB-F	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MQ01	NEW SVP PAD MOUNTED SWITCH-2	MSGG-2	--	--	--	--	--	--	5'	2	300	100		
MA02	MSGG-2	SUBSTATION SB-C	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MA03	MSGG-2	SUBSTATION SB-D	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MA04	SUBSTATION SB-C	SUBSTATION SB-D	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MA05	SUBSTATION SB-D	SUBSTATION SB-C	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MA06	SUBSTATION SB-D	SUBSTATION SB-E	3	#3/0	0	--	1	#1	CU	4"	1	250	100	
MO01	FUTURE SVP PAD MOUNTED SWITCH-3	MSGG-2	--	--	--	--	--	--	5'	2	300	100		
MO02	FUTURE MSGG-3	SUBSTATION SB-E	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MO03	FUTURE MSGG-3	SUBSTATION SB-F	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MO04	SUBSTATION SB-E	SUBSTATION SB-F	--	PULLSTRING	--	--	--	--	4"	1	250	100		
MO05	SUBSTATION SB-F	SUBSTATION SB-E	--	PULLSTRING	--	--	--	--	4"	1	250	100		
AH01	SUBSTATION SB-A	HOUSE PANEL HOP-A1	3	350CM	1	350CM	1	#1	CU	2"	2	600	100	
AH02	HOUSE PANEL HOP-A1	HOUSE XFRM HOR-A1	3	#4	0	--	1	#8	CU	1-1/2"	1	70	100	
AH03	HOUSE XFRM HOR-A1	HOUSE PANEL HLP-A1	3	#10	1	#10	1	#8	CU	2"	1	150	10	
AH04	HOUSE PANEL HOP-A1	HOUSE XFRM HOR-A2	3	#6	0	--	1	#10	CU	1"	1	50	100	
AH05	HOUSE XFRM HOR-A2	HOUSE PANEL HLP-A2	3	#1	1	#1	1	#8	CU	1-1/2"	1	100	10	
AH06	HOUSE PANEL HOP-A1	HOUSE XFRM HOR-A3	3	#6	0	--	1	#10	CU	1"	1	50	100	
AH07	HOUSE XFRM HOR-A3	HOUSE PANEL HLP-A3	3	#1	1	#1	1	#8	CU	1-1/2"	1	100	10	
AH08	HOUSE PANEL HOP-A1	HOUSE PANEL HHP-A1	3	#1	1	#1	1	#8	CU	1-1/2"	1	125	100	
AH09	HOUSE PANEL HOP-A1	FREIGHT ELEVATOR	3	#1	0	--	1	#8	CU	1-1/2"	1	125	100	
AH10	HOUSE PANEL HOP-A1	PASSENGER ELEVATOR	3	#1	0	--	1	#8	CU	1-1/2"	1	100	10	
AH11	HOUSE PANEL HOP-A1	HOUSE LOADS	3	#1	0	--	1	#8	CU	1-1/2"	1	125	100	

PRELIMINARY ELECTRICAL SYSTEM LOADS (kW)

IT load	850k
UPS Load (3.2%)	272
UPS Batt charge (5%)	425
PDU ineff (1.56%)	132.6
MV xtrn ineff (1.38%)	204
Data room cooling (1.18PUE)	2805
Infrastructure room cooling	425
lights (1 watt)	37
PRAC	50
Total support	4425.0
PUE	1.520588k



LIGHT FIXTURE SCHEDULE

MARK	LAMPS NO.	LAMPS TYPE	VOLTAGE (V)	WATTS	DESCRIPTION	MANUFACTURERS	CATALOG NUMBER	MOUNTING	REMARKS
A	1	LED	UNIVERSAL70W	DSX1 LED P2 49K 8LC MVOLT	LITHONA LIGHTING	DSX1 LED P2 49K 8LC MVOLT	POLE		
B	1	LED	UNIVERSAL109W	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LEDs, 1000mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LITHONA LIGHTING	DSXW2 LED 30C 1000 49K T4M MVOLT	SURFACE		
C	1	LED	UNIVERSAL25W	WST LED, PERFORMANCE PACKAGE 2, 4000 K, VISUAL COMFORT FORWARD THROW, MVOLT	LITHONA LIGHTING	WST LED P2 49K VP MVOLT	SURFACE		



Meeting Date: September 18, 2019

File No.(s): PLN2019-13745

Location: **2175 Martin Avenue**, a 1.68 acre site located on the north and east of Martin Avenue, approximately 775 feet west of Scott Boulevard; APN: 224-10-115; property is zoned Light Industrial (ML).

Applicant: Scott Rynders, LVP Martin Avenue Associates

Owner: LVP Martin Avenue Associates

Request: Adoption of a **Mitigated Negative Declaration; Architectural Review** Architectural Review to allow construction of a new approximately 80,000 square foot 3-story (69'-9" high) data center building. The project includes demolition of the existing 31,500 square foot one-story office/warehouse building.

CEQA Determination: IS/MND

Project Planner: Nimisha Agrawal, Assistant Planner I

Staff Recommendation: **Approve**, subject to conditions

Project Data

Lot Size: 1.68 acre	73,386 sf			
	Existing Floor Area (sq.ft.)	Demolish (sq.ft.)	Addition (sq.ft.)	Proposed Floor Area (sq.ft.)
Gross Floor Area	31,500	31,500	79,356	79,356
Lot Coverage	31,500/73,386 = 42.9 %			26,452/73,386 = 36 %
F.A.R.	.4			1.08
Parking	80 spaces			20 spaces

Points for consideration for the Architectural Committee

Mitigated Negative Declaration

- The project proposes to demolish an existing one-story office/warehouse building and associated surface parking, and constructs a new three-story, approximately 80,000 square foot datacenter building and a paved surface parking lot.
- A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with the California Environmental Quality Act (CEQA). The MND and Notice of Availability were posted on the City's website at www.santaclaraca.gov/ceqa and circulated for 20-day review on August 6, 2019 and closed on August 26, 2019, in accordance with CEQA requirements.
- The MND identified potentially significant quality, cultural resources, tribal resources, biological resources, geology and soils, hazards and hazardous material, and noise impacts with project development that with implementation of mitigation measures identified in the MND and Mitigation Monitoring and Reporting Program (MMRP) would reduce the potentially significant impacts to less than significant.
- The Planning Division received agency and public comment letters in response to the MND from the Valley Water, VTA, Adams Broadwell Joseph & Mr. Suds Jain. Responses to comments received on the MND are being prepared at the time of preparation of this report and will be posted on the City's website and available for the Committee's review before the meeting.
- The Architectural Committee will need to make the determination that the project will not have a significant effect on the environment, that mitigation measures will be made a condition of the

approval of the project and adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting proposed for this project.

Building Design

- The project site is currently designated Low Intensity Office/R&D in the City of Santa Clara 2010-2035 General Plan (General Plan) and is zoned Light Industrial (ML). The proposed use is consistent with the General Plan and zoning designations for the property.
- The proposed FAR for the project is 1.08, exceeding the base FAR of 1.0 set by the City of Santa Clara General Plan. However, it is within the 20 percent FAR increase allowance for data centers per the General Plan Discretionary Policy 5.5.1-P9.
- The height of the proposed building is approximately 70 feet, which is higher than the surrounding low to mid-rise structures. However, it is within the 70 foot maximum permissible height in the Light Industrial (ML) zone.
- The façades, the design, and materials for the proposed building consist primarily of articulated precast concrete panels with painted surfaces and includes use of decorative metal louvers.
- Screening of ground mounted and rooftop equipment with metal louvers from view along the public right-of-way are integrated into the site and building design. Rooftop structures would be concealed from view by an approximately 10-foot-high perforated metal screen along the rooftop perimeter.
- Three dumpsters for the collection of recyclable and waste material generated by the project is located within the proposed loading dock on the western portion of the site. The loading docks are screened from the public view by a precast concrete wall that is integrated into the building design.
- The project provides pedestrian connections to neighboring development with the construction of a complete street section (5' landscape strip and 5' sidewalk) along the project frontage.

Parking

- A total of 20 on-site parking spaces will be provided along the northern sides of the building, consistent with the 1:4,000 parking requirement for data center uses in the zoning code.
- 10 Class I bicycle spaces and 4 Class II bicycle spaces are provided onsite.

Trees and Landscaping

- Construction of the proposed data center and parking lot would require removal of 12 of the 20 non-protected species trees on-site;
- There are three Coastal redwood trees (*Sequoia sempervirens*) onsite and two on an adjacent parcel of the site that would remain in place.
- 15 new trees (evergreen magnolia trees) would be planted around the perimeter of the project site. In addition, shrubs and ground cover would be planted throughout the project site.
- Final tree removal and landscape plans, including potential off-site replacement, would be subject to review and approval by the Community Development Department with consultation with the City Arborist.

Community Outreach

- A notice of development was posted on the property at least 10 days prior to the scheduled public hearing.
- The notice of public hearing for this item was posted within 300 feet of the site and was mailed to property owners within 500 feet of the project site.
- Two comments were received from Laborers International Union of North America in response to the Initial Study/proposed MND. One comment requested notices of CEQA actions and public hearings. The second comment suggests that the project may have significant environmental impacts and

should require an Environment Impact Report. The City acknowledges the receipt of the comments and has provided responses (attached).

- The City had received a call from the business across the street – Fujifilm Open Innovative Hub expressing concern about the noise from the project that may impact the sensitive equipment they use for their business. Applicant met with them to address their concerns and these have been addressed through the noise study for the proposed project and through the mitigation measures in the Mitigated Negative Declaration.

Findings

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City are a part of the proposed development, in that;*
 - The development provides 20 on-site parking spaces consistent with the 1:4,000 parking requirement for data center uses SCCC 18.74.040 (d)(2) – Data Centers.
 - The project includes off-site public improvements along the public right of-way fronting the project site and on-site landscape improvements in the parking areas. A five-foot clear landscape strip adjacent to the curb with a five-foot sidewalk behind are proposed to link adjacent properties and provide pedestrian access to the site consistent with complete streets design. The project also includes landscaping within the front building setback and parking areas in conformance with the development standards for the ML zoning district. At grade outdoor equipment would be screened from the public right-of-way behind the proposed building and adjacent building on the property to the north. Roof mounted equipment would be screened from view along the public-right-way by high perforated metal screen along the rooftop perimeter.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The development is generally consistent with the City's Design Guidelines. Exterior building materials would include articulated precast concrete panels with painted surfaces with use of decorative metal louvers for screening. Mechanical screen and equipment screens will be provided at the rooftop perimeter.
 - The project invests in the site improvements that will enhance the streetscape and increase property values by replacing derelict buildings, asphalt surface parking areas, and minimal landscaping on-the site and provide a catalyst for future investment for enhancement and development opportunities in the project area.
 - The project site is located within the ML zoning district. Data centers generate few employees and relatively infrequent delivery of materials; consequently, the Project is not anticipated to produce many vehicle trips. Moreover, a data center is a permitted use within the ML zoning district.
 - Sufficient parking is provided to accommodate employee parking demands on-site and prevent spillover parking onto the public right-of-way. Vehicle ingress and egress would be provided by two new gated driveways along Martin Avenue, located along the western perimeter and the southern perimeter of the project site enable efficient traffic flow along the street and site circulation on the property.

- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The project site is developed with a single-story building that is currently vacant; it was previously used for industrial warehousing, manufacturing, and office purposes. The proposed development is a 2-3 stories higher than the surrounding low to mid-rise structures, but consistent to the adjacent industrial uses.
 - The proposal is to redevelop and improve the project site with construction of a three-story, approx. 80,000 square foot data center with a strong, contemporary urban design that would improve the visual character of the zone. The project would include ancillary equipment (backup generators and above ground fuel storage tanks), loading dock, circulation and parking, and landscape improvements in conformance with the ML zoning district development standards and consistent with the development of data centers throughout the City.
 - The project provides setback and landscaping along the street frontage consistent with surrounding properties.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is generally consistent with adjacent industrial and commercial development in terms of visual character and quality.
 - The data center use and associated parking are self-contained within the limits of the property. There are no residential developments immediately adjacent that would be impacted with privacy concerns.
 - The project site is currently vacant and is an attractive nuisance for graffiti, trespassing, and dumping of materials. The proposal is to invest in the redevelopment of the site and improve the property with construction of a data center and associated improvements, that includes on-site security and gated entries. The project includes conditions of approval and would be subject to the City Code and the mitigation measures set forth in the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program with project development to minimize impacts of development on neighboring properties.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The development is a modern data center facility that is allowed in the ML Zoning District. The proposed development provides for an aesthetically attractive building, and ample employee parking.
 - The project supports high quality design in keeping with adopted design guidelines for industrial development and the City's architectural review process consistent with General Land Use Plan Policy 5.3.1-P3 as follows:
 - i. The building design avoids the orientation of equipment yard, service areas, and large expanses of blank walls facing toward the street.
 - ii. The bulk, scale and height of the building is appropriate for the industrial sector and approved data centers within the City.

- Façade elements and treatments are incorporated in the exterior building design to enrich the building appearance.
- Driveway entrances are appropriate in number and location and are emphasized by landscaping to provide a suitable focus and identification.
- The project provides pedestrian connections to neighboring development with the construction of a complete street section (5' landscape strip and 5' sidewalk) along the project frontage.
- Screening of ground mounted and rooftop equipment from view along the public right-of-way are integrated into the site and building design.
- The trash enclosure is incorporated within the loading dock with screening so as not to be visible from the public right-of-way and is accessible for service pick up.

Attachments

1. Conditions of Approval
2. Development Plans
3. Response to comments (to be provided at the hearing)

CONDITIONS OF APPROVAL

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

- C1. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. If this project involves land area of 1 acre or more, the developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A storm water pollution prevention plan is also required with the NOI.
- C2. Submit plans for final architectural review to the Architectural Committee and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, trash enclosure details, lighting and signage. Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- C3. The project would not qualify for exemption under CEQA guidelines and shall require an initial study /mitigated negative declaration.
- C4. Project shall provide a 5' wide sidewalk and at least 5' wide landscaping strip along Martin Avenue surrounding the project site.
- C5. A Landscape plan showing the tree protection plan and a replacement plan for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of the existing trees on the site. Landscape plan to include type and size of proposed trees. Coordinate with the City Arborist for the type, location, installation and maintenance of large canopy street trees fronting the project site along the public right-of-way. Type and size of tree replacement on project site shall be at the direction of the City Arborist and require Planning Division review and approval. Installation of root barriers and super-soil may be required with the installation of trees where electric, water, and sewer utilities are in proximity.
- C6. Project site landscaping shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval. Trees permitted by the City for removal shall be replaced at a 2:1 ratio with 24-inch box specimen tree, or equal alternative as approved by the Director of Community Development.
- C7. A complete landscape plan that includes, type, size and location of all plant species shall be required as part of architectural review of the project. Review and approval of the complete landscape plan, including water conservation calculations and irrigation plan shall be required prior to issuance of building permits. Installation of landscaping is required prior to occupancy permits.
- C8. Commercial, industrial, and multi-family residential buildings must have enclosures for solid waste and recycling containers. The size and shape of the enclosure(s) must be adequate to serve the estimated solid waste and recycling needs and size of the building(s) onsite, and should be designed and located

on the property so as to allow ease of access by collection vehicles. As a general rule, the size of the enclosure(s) for the recycling containers should be similar to the size of the trash enclosure(s) provided onsite. Roofed enclosures with masonry walls and solid metal gates are the preferred design. Any required enclosure fencing (trash area, utility equipment, etc.) if not see-thru, shall have a six (6) inch opening along the bottom for clear visibility. Any gates or access doors to these enclosures shall be locked.

- C9. The noise levels from the proposed use shall be within the maximum permissible limits in the Light Industrial (ML) zone per the City's Noise Ordinance.
- C10. The Final Storm Water Management Plan (SWMP) must be certified by a third-party consultant from SCVURPP's current list of qualified consultants. Five copies of the approval letter from the certified third-party review (wet stamped and signed) must be submitted prior to the issuance of grading or building permit.
- C11. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- C12. Prior to the issuance final occupancy, the applicant shall enter into Operations and Maintenance (O&M) agreement with the City. The project operator is responsible for the operations and maintenance of the SWMP and storm water BMPs consistent with the O&M agreement throughout the life of the project.
- C13. The Developer shall comply with the Mitigations Monitoring and Reporting Program that will be identified in the Lightstone Data Center Initial Study / Mitigated Negative Declaration and shall be incorporated in the Conditions of Approval for this project.
- C14. Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- C15. As directed by the Architecture Committee at the publicly noticed meeting on September 18, 2019, the Applicant shall work with staff to enhance the architecture of the proposed building.
- C16. As directed by the Planning Commission at the publicly noticed meeting on November 13, 2019, the Applicant will continue to work with the staff to enhance the elevations of the proposed building.

ENGINEERING

- E1. Obtain site clearance through Engineering Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Engineering Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Engineering Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement plans prepared in accordance with City Engineering Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E5. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E6. Unused sanitary sewer laterals shall be removed.

- E7. Developer shall verify that existing sanitary sewer lateral to be used shall be in good condition and complies with City standards.
- E8. All storm drain mains and laterals, sanitary sewer mains and laterals shall be outside the drip line of mature trees or 10' clear of the tree trunk whichever is greater.
- E9. Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E10. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Engineering Department, and pay all appropriate fees, prior to start of construction.
- E11. Dedicate required on-site easements for any new public utilities by means of subdivision map or approved instrument at time of development.
- E12. Entire width of Martin Avenue along the property frontage shall be cape sealed with digouts.
- E13. All proposed sidewalk, walkway, and driveway(s), shall be per ADA compliant City standard.
- E14. Show and comply with City's driveway vision triangle requirements at proposed driveway. Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and intersections in order to allow an unobstructed view of oncoming traffic. Contact Traffic Engineering at (408) 615-3000 for further information.
- E15. Provide a minimum 5' wide sidewalk along the property frontage.
- E16. Provide ADA walkways connecting the proposed buildings to public sidewalk.
- E17. All proposed driveways shall be City standard ST-8.
- E18. Provide on-site crane staging area for loading of mechanical unit(s).
- E19. All traffic signing, messages, and symbols shall be thermoplastic.
- E20. Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.
- E21. Protect in place all street signs along project frontage.
- E22. Sliding gate and swing gate at both entrances shall be at a minimum 25 feet from back of walk.
- E23. On-street parking shall not be counted towards on-site parking requirements.
- E24. Provide trash pickup on-site.
- E25. For the current proposed site development, provide the following minimum bicycle parking spaces at the main entrance and/or high visible area: 10 Class I bicycle spaces and 4 Class II bicycle spaces

ELECTRICAL

- EL1. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a "Load Survey" form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a "Service Investigation Form" and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- EL2. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- EL3. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- EL4. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- EL5. Underground service entrance conduits and conductors shall be "privately" owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.

- EL6. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- EL7. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have it’s own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- EL8. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk. Transformer pad must be a minimum of 10’-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- EL9. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE’s or electric easements.
- EL10. Any relocation of existing electric facilities shall be at Developer’s expense.
- EL11. Electric Load Increase fees may be applicable.
- EL12. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).
- EL13. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- EL14. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be “Open-Transition-Mode”, unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- EL15. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- EL16. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publically-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1’ clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- EL17. Proper clearance must be maintained from all SVP facilities, including a 5’ clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.

- EL18. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.
- EL19. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- EL20. SVP does not utilize any sub-surface (below grade) devices in it's system. This includes transformers, switches, etc.
- EL21. All interior meter rooms are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- EL22. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka "real dirt"),and cannot be supported on parking garage ceilings or placed on top of structures.
- EL23. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.

WATER

- W1. The Water & Sewer Utilities Department highly recommends installing two fire services from different sides of the property separated by a main valve for a looped system.
- W2. The applicant shall coordinate with Mike Vasquez, Water Compliance Manager, regarding recycled water use for irrigation. Mike may be reached at (408)-615-2006.
- W3. The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project.
- W4. The applicant shall submit a composite utility plan showing all utilities (including proposed fiber/electrical) and landscaping (trees/shrubbery) so that the Water Department can verify conflicts for proposed water services. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area or in the landscape strip behind the curb.
- W5. Applicant shall adhere to and provide a note indicating all horizontal and vertical clearances. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities).
- W6. Applicant shall submit plans showing proposed water, sanitary sewer, and fire service connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities.

- Different types of water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited.
- W7. No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer and/or water utilities and easements.
- W8. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants.
- W9. The applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W10. Approved backflow prevention device(s) are required on all potable water services. The applicant shall submit plans showing the location of the approved backflow prevention device(s). Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area.
- W11. Approved reduced pressure detector assembly device(s) are required on all fire services. The applicant shall submit plans showing existing and proposed fire service upgraded with reduced pressure detector assembly device, as per city standard 17, to the satisfaction of the Director of Water & Sewer Utilities.
- W12. A fire service upgrade may be required if the existing fire service is below ground. Applicant's fire service upgrade shall adhere to the requirements in Water and Sewer Utilities Standard Detail No. 31.
- W13. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W14. Applicant must clearly identify between public and private water mains, indicating which services and mains belong to public and private streets. No public mains should be shown on private property or streets.
- W15. There is an existing 12" potable water AC main along Martin Avenue. Any connection of new service and/or abandonment of existing service will require a new section of main at the point of connection.
- W16. Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W17. Prior to issuance of Building Permits, the applicant shall provide the profile section details for utilities crossing water, sewer, or reclaimed water mains to ensure a 12" minimum vertical clearance is maintained.
- W18. The applicant must indicate the pipe material and the size of existing water and sewer main(s) on the plans.
- W19. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408) 615-2000.
- W20. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18.
- W21. Prior to issuance of Building Permits, the applicant shall submit design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W22. Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall

submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.

W23. Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the on-site public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities.

POLICE

PD1. A Coded Entry System is required for police access to enclosed parking lots and gated communities. This can be accomplished with a coded key pad system or the Police Department Knox Box key system.

We understand security is a prime concern for the tenants of the project, which necessitates some sort of secure building and admittance process. By having either of these secure access systems for law enforcement, it will allow us to better respond to emergency situations should they arise in the development. Examples of these systems can be reviewed at the following projects:

- 2585 El Camino Real (Coded key pad access)
- 3555 Monroe Street (Knox box key access)

This is for the sliding entry gate into the private parking lot.

PD2. The developer shall meet the City of Santa Clara's guidelines established for radio signal penetration, detailed in the Communications Department's Public Safety Radio System Building Penetration Guidelines. The intended use of telecommunications sites shall be clearly and accurately stated in the use permit. The signal, of whatever nature, of any communications facility or system, shall in no way whatsoever interfere with or affect any police communication or police communication system.

FIRE

F1. Traffic calming devices are not permitted on any designated fire access roadway, unless approved by the Fire Prevention & Hazardous Materials Division.

F2. All Fire Department Access roadways shall be recorded as an Emergency Vehicle Access Easement (EVAE) on the final map. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

F3. Provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment and two-way communications systems for elevator landings/areas of refuge, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.

F4. Trees or other obstructions shall not interfere with aerial ladder access.

F5. Prior to issuance of a Building Permit, Steps 1 through 3 summarized below must be addressed during the planning phase of the project. The development projects Phase I and/or Phase II environmental documents will be the project guiding documents:

- a. Step 1 – Hazardous Materials Closure (HMCP): This is a permit issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- b. Step 2 – Site Mitigation: Site mitigation is the cleanup or management of chemical contaminants in soil, soil vapor or groundwater. The type and extent of contamination on site(s) governs which of the regulatory agencies noted below will supervise the cleanup.
 - Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division (CUPA)
 - Department of Toxic Substances Control (DTSC)

- State Water Resources Control Board
 - Santa Clara County, Department of Environmental Health.
- c. Step 3 – Community Development, Building Division Demolition Application: For the majority of projects within the City of Santa Clara, Steps 1 and/or 2 described above need to be completed prior to proceeding to demolition application in order to avoid permit approval delays. The purpose of a demolition permit is to ensure that the parcel is clear of debris and other health hazard material (lead, asbestos, etc.) and that the utility connections have been plugged and sealed.”

STREETS

Solid Waste

- ST1. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit a Construction and Demolition Debris Recycling Report through the City’s online tracking tool at <http://santaclara.wastetracking.com/>.
- ST2. For projects that involve a Rezoning, the applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City’s exclusive franchise hauling area. If so, the applicant may be required to use the City’s exclusive franchise hauler and rate structure for solid waste services.
- ST3. The applicant shall review the a site plan showing all proposed locations of solid waste containers, enclosure locations, and street/alley widths to the Public Works Department, Street Maintenance Division. All plans shall comply with the City’s Development Guidelines for Solid Waste Services as specified by development type. Contact the Street Maintenance Division at Street@santaclaraca.gov or at (408) 615-3080 for more information.

Stormwater

- ST4. Prior to City’s issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan and update the [SCVURPPP C.3 Data Form](#).
- ST5. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter shall be submitted with the Plan.
- ST6. For projects that disturb a land area of one acre or more, the applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State Construction General Permit (Order No. 2009-0009-DWQ) prior to issuance of any building permit for grading or construction. A copy of the NOI shall be submitted to the City Building Inspection Division, along with a stormwater pollution prevention plan (SWPPP). Active projects covered under the Construction General Permit will be inspected by the City once per month during the wet season (October – April).
- ST7. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans in accordance with the City’s Urban Runoff Pollution Prevention Program standards prior to the issuance of Building or Grading Permits. Proposed BMPs shall be submitted to and thereafter reviewed by the Planning Division and the Building Inspection Division for incorporation into construction drawings and specifications.
- ST8. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party inspection letter shall be submitted to the Public Works Department, Street Maintenance Division. Building occupancy will not be issued until all stormwater treatment measures have been adequately inspected. For more information contact Street Maintenance at (408) 615-3080.

- ST9. The property owner shall enter into an Inspection and Maintenance (I&M) Agreement with the City for all installed stormwater treatment measures in perpetuity. Applicants should contact Karin Hickey at (408) 615-3097 or KaHickey@santaclaraca.gov for assistance completing the Agreement. For more information and to download the most recent version of the I&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>.
- ST10. Any site design measures used to reduce the size of stormwater treatment measures shall not be removed from the project without the corresponding resizing of the stormwater treatment measures and an amendment of the property's I&M Agreement.
- ST11. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST12. All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.
- ST13. Wastewater generated by the installation, cleaning, treating, or washing of the surface of copper architectural features, including copper roofs, shall not be discharged to the City's storm drain system.

HOUSING & COMMUNITY SERVICES

- H1. This Project is subject to the Affordable Housing requirements which may be met through payment of an impact fee of \$2.00 per square foot. The estimated fees are calculated as follow: 79,396 sq ft (proposed) minus 31,088 sq ft (existing) = \$96,616. Applicant shall pay impact fees prior to the issuance of the occupancy certificate of the building.

**LOCATION MAP
PLN2019-13745**



EXCERPT ARCHITECTURAL COMMITTEE MEETING MINUTES OF SEPTEMBER 18, 2019

8.A File No.(s):	PLN2019-13745
Location:	2175 Martin Avenue , a 1.68 acre site located on the north and east of Martin Avenue, approximately 775 feet west of Scott Boulevard; APN: 224-10-115; property is zoned Light Industrial (ML).
Applicant:	Scott Rynders, LVP Martin Avenue Associates
Owner:	LVP Martin Avenue Associates
Request:	Adoption of a Mitigated Negative Declaration; Architectural Review Architectural Review to allow construction of a new approximately 80,000 square foot 3-story (69'-9" high) data center building. The project includes demolition of the existing 31,500 square foot one-story office/warehouse building.
CEQA Determination:	IS/MND
Project Planner:	Nimisha Agrawal, Assistant Planner I
Staff Recommendation:	Approve , subject to conditions

Assistant Planner Nimisha Agrawal presented the project with recommendations for approval.

Following the staff presentation, the applicant provided a brief overview of their organization and the proposed project. The Committee then opened the meeting to public comment at which time Andrew Messing of the law firm Adams Broadwell Joseph & Cardozo, on behalf of Santa Clara Citizens for Sensible Industry (SCCSI) spoke in opposition of the project.

Mr. Messing reiterated the comments previously submitted by the firm Adams Broadwell Joseph & Cardozo during the public review period of the MND. In his comments, Mr. Messing requested the preparation of an Environmental Impact Report (EIR) and that the Architectural Committee disapprove the MND and deny the Architectural application. The comments included claims of fair argument that the proposed project could result in potentially significant impacts to air quality, land use, energy and biological resources. Some of the major comments point to inadequacy in analyzing special-status species in the vicinity, deficiencies in cumulative analysis of energy impacts, underestimation of project's diesel particulate matter (DPM) emissions and potential health risks, inadequate mitigations for impacts to biological resources, inconsistency with the City's General Plan, and the assertion that there is not substantial evidence to make the findings for architectural approval of the project.

There were no other public comments on the project. The Committee then closed the public hearing. As a rebuttal, staff and Alex Merit representing the applicant commented that there were no new comments from the previously submitted comment letter and that these comments were thoroughly addressed by the City in the Response to Comments (*Attachment 1* for the Project's CEQA link to Responses to Comments (RTC) Received on the MND).

The Committee deliberated on the project. Development Review Officer Gloria Sciara explained that the environmental documents (MND and supportive documents) were reviewed by the CAO and that it was found to be legally adequate, sufficient to satisfy the requirements under CEQA. Commissioner Lance agreed that the City has professionals that have

reviewed and evaluated the MND thoroughly and that it fulfills the CEQA requirements. Commissioner Lance further commented on the proposed architecture of the building, that while the efforts have been put in with different materials, it still a concrete box with a dull color palate and lacks the character to have a positive influence or create interest in the neighborhood. Commissioner Anthony agreed that the Applicant needs to work on the aesthetics of the proposed building.

Applicant, Scott Rynders said he appreciates the feedback, and pointed out that the proposed building was in an industrial environment, and that they have worked hard to integrate on-site and off-site improvements to preserve the neighborhood. The Architect from Gensler, representing the Applicant pointed that the efficiency and security was their primary concerns while designing the building.

Both Commissioners advised the Applicant to work with the staff to further enhance the architecture of the proposed building.
and subject to conditions of approval established by the City's Project Clearance Committee

Motion/Action: Motion to approve the architecture of the project with the added condition that the Applicant shall work with the staff to further enhance the architecture of the proposed building and subject to conditions of approval established by the City's Project Clearance Committee was made by Planning Commissioner Lance Salem, seconded by Planning Commissioner Anthony Beker and unanimously approved by the Architectural Committee (2-0-0-0).

A second motion to approve and adopt the MND and MMRP of the project was made by Planning Commissioner Anthony Beker, seconded by Planning Commissioner Lance Salem and unanimously approved by the Architectural Committee (2-0-0-0).

Project Data

Lot Size: 1.68 acre (73,386 Sq. ft.)				
	Existing Floor Area (sq. ft.)	Demolish (sq. ft.)	Addition (sq. ft.)	Proposed Floor Area (sq. f t.)
Gross Floor Area	31,500	31,500	79,356	79,356
Lot Coverage	31,500/73,386 = 42.9 %			26,452/73,386 = 36 %
F.A.R.	.4			1.08
Parking	80 spaces			20 spaces



Agenda Report

21-1503

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on the proposed 781 square feet attached Accessory Dwelling Unit (ADU) at 2043 Larsen Court

File No.(s): PLN2021-15034

Location: 2043 Larsen Court, an 8,001 square feet lot at the end of the cul-de-sac on Larsen Court; APN: 216-07-006; property is zoned Single-family Residential (R1-6L).

Applicant: Hao Wang

Owner: Jenny Qian

Request: Architectural Review of a 781 square foot two-bedroom and one-bathroom attached accessory dwelling unit (ADU) located outside of the building envelope.

Project Data: see Attachment 2 for full-sized table

Lot Size: 8,001 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,123		1,123
Second Floor	647		647
Garage	416		416
ADU	n/a	781	781
Covered Patio	n/a		
Gross Floor Area	1,770		2,551
Lot Coverage	1,1539/8,001= 19.24%		2,320/8,001 = 29.12%
F.A.R.	1,1539/8,001= .1455		2,551/8,001 = 0.3189
Bedrooms/Baths	5/3		5/3
ADU Bedrooms/Baths	n/a		1/1
Flood Zone	X		X

Points for consideration

- The project includes a 781 square foot attached Accessory Dwelling Unit (ADU) located outside of the building envelope which provides a 4-foot side setback and a 10-foot rear setback.

- The proposed ADU will have 2:12 roof pitch and will match the existing composition asphalt roof material.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces with an existing 416 square foot two car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed attached ADU would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed ADU, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The proposed ADU located to the rear of the main residence is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of primarily one- and two-story residences.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same*

extent as if written into and made a part of this title, in that;

- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the ADU will have similar massing and height to the adjacent properties.

Conditions of Approval:

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

ENVIRONMENTAL REVIEW

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 22, 2021, a notice of public hearing of this item was posted within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

RECOMMENDATION

Approve the 781 square-foot two-bedroom and one-bathroom attached accessory dwelling unit (ADU) located outside of the building envelope, subject to conditions.

Prepared by: Steve Le, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Department

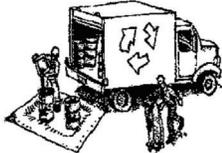
ATTACHMENTS

1. Development Plans
2. Project Data

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficient erosion control and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as berms, rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use liner fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



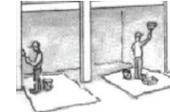
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

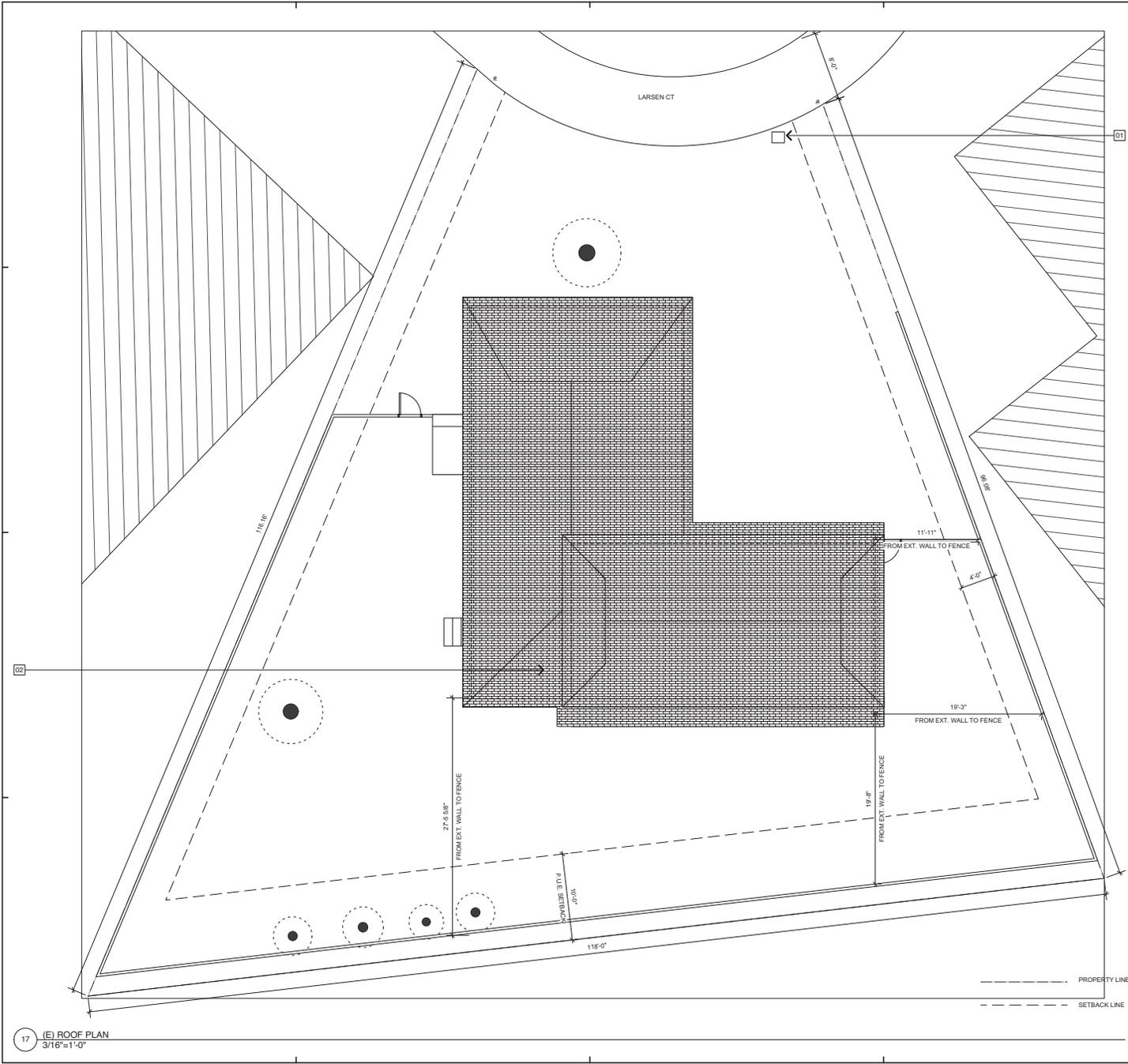
Storm drain polluters may be liable for fines of up to \$10,000 per day!

LARSEN CT
 2043 LARSEN CT
 SANTA CLARA,
 CA 95051

FOR _____
 BUILDING PERMIT _____
 DATE _____
 20 SEPTEMBER 2001
 SCALE _____
 AS NOTED
 DRAWN BY _____
 HW _____
 JOB NUMBER _____
 200K _____
 REVISIONS _____

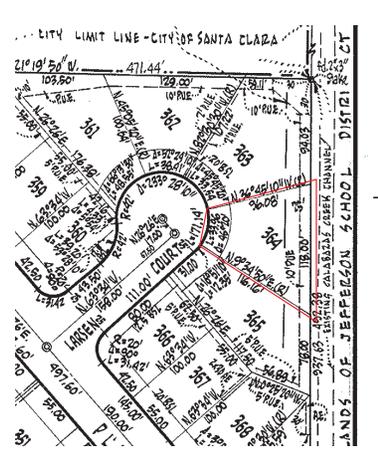
BMPs

A0.03



KEY NOTES

1	WATER METER.
2	(E) HIP ROOF TO BE REBUILT AS A GABLE ROOF. SEE A2.01 & A3.01 FOR DETAILS.
3	
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17 (E) ROOF PLAN
3/16"=1'-0"

1 PARCEL MAP

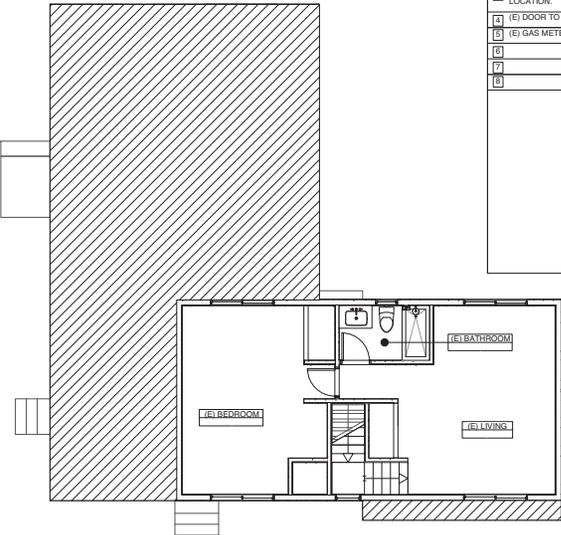
LARSEN CT
2043 LARSEN CT
SANTA CLARA,
CA 95051

FOR
BUILDING PERMIT
DATE
26 SEPTEMBER 2001
SCALE
AS NOTED
DRAWN BY
HW
JOB NUMBER
200K
REVISIONS

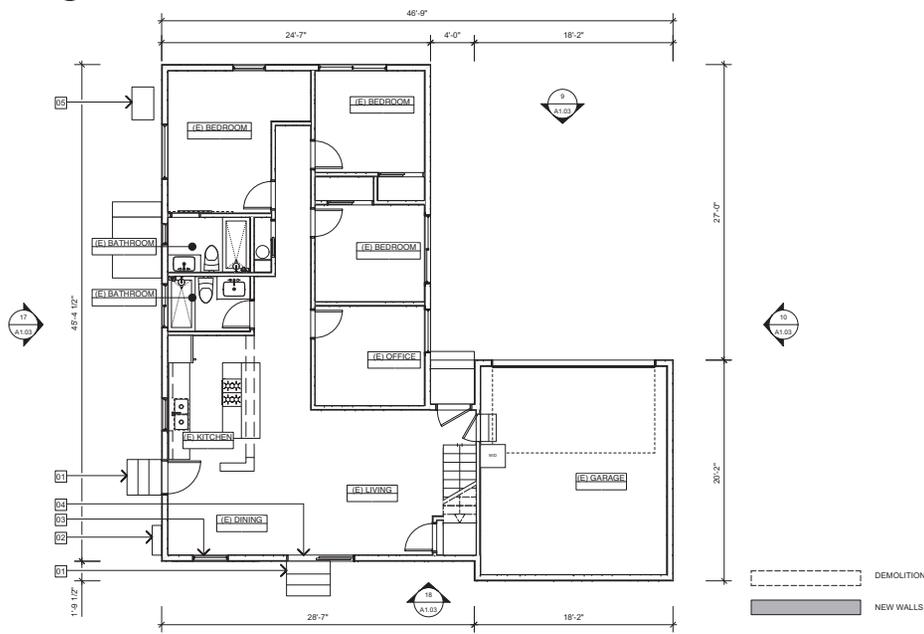
(E) SITE & ROOF PLAN

A1.01

KEY NOTES	
1	(E) STAIRCASE TO BE REMOVED.
2	(E) ELECTRICAL PANEL & METER.
3	(E) WINDOW TO BE REMOVED AND A (N) DOOR TO BE INSTALLED AT THE SAME LOCATION.
4	(E) DOOR TO BE REMOVED.
5	(E) GAS METER.
6	
7	
8	



11 (E) SECOND FLOOR PLAN
3/16"=1'-0"



9 (E) FIRST FLOOR PLAN
3/16"=1'-0"

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2043 LARSEN CT
SANTA CLARA,
CA 95051

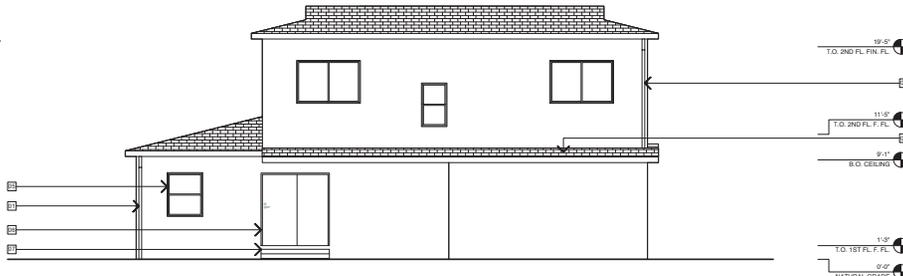
FOR
BUILDING PERMIT
DATE
20 SEPTEMBER 2001
SCALE
AS NOTED
DRAWN BY
HW
JOB NUMBER
2008
REVISIONS

(E) FLOOR PLAN

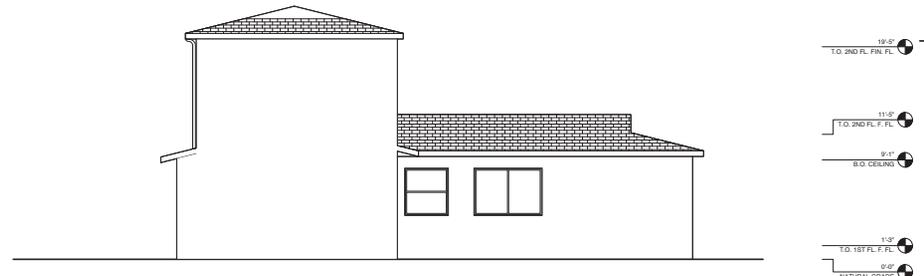
A1.02

KEY NOTES

- [1] (E) DRAIN TO BE REMOVED AND RELOCATED. SEE A3.01 FOR NEW LOCATION.
- [2] (E) STAIR TO BE IMPROVED. SEE A2.02 AND A3.01 FOR NEW LANDING AND STAIR.
- [3] (E) ROOF TO BE REMOVED.
- [4] (E) DRAIN TO BE ADJUSTED TO ACCOMMODATE THE NEW ROOF.
- [5] (E) WINDOW TO BE REMOVED AND REPLACED BY NEW DOOR.
- [6] (E) SLIDING DOOR TO BE REMOVED.
- [7] (E) STAIR TO BE REMOVED.
- [8]
- [9]
- [10]



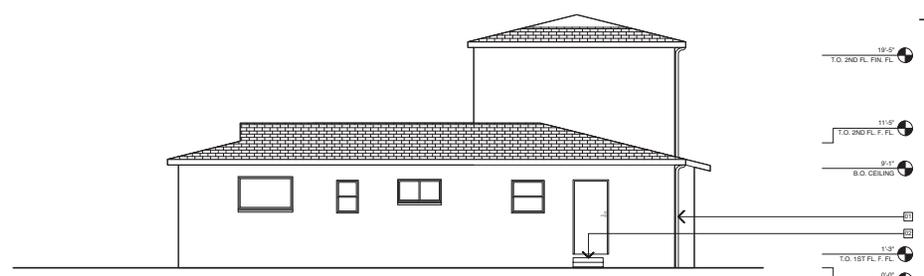
18 EXISTING REAR ELEVATION
3/16"=1'-0"



10 EXISTING FRONT ELEVATION
3/16"=1'-0"



17 EXISTING RIGHT ELEVATION
3/16"=1'-0"

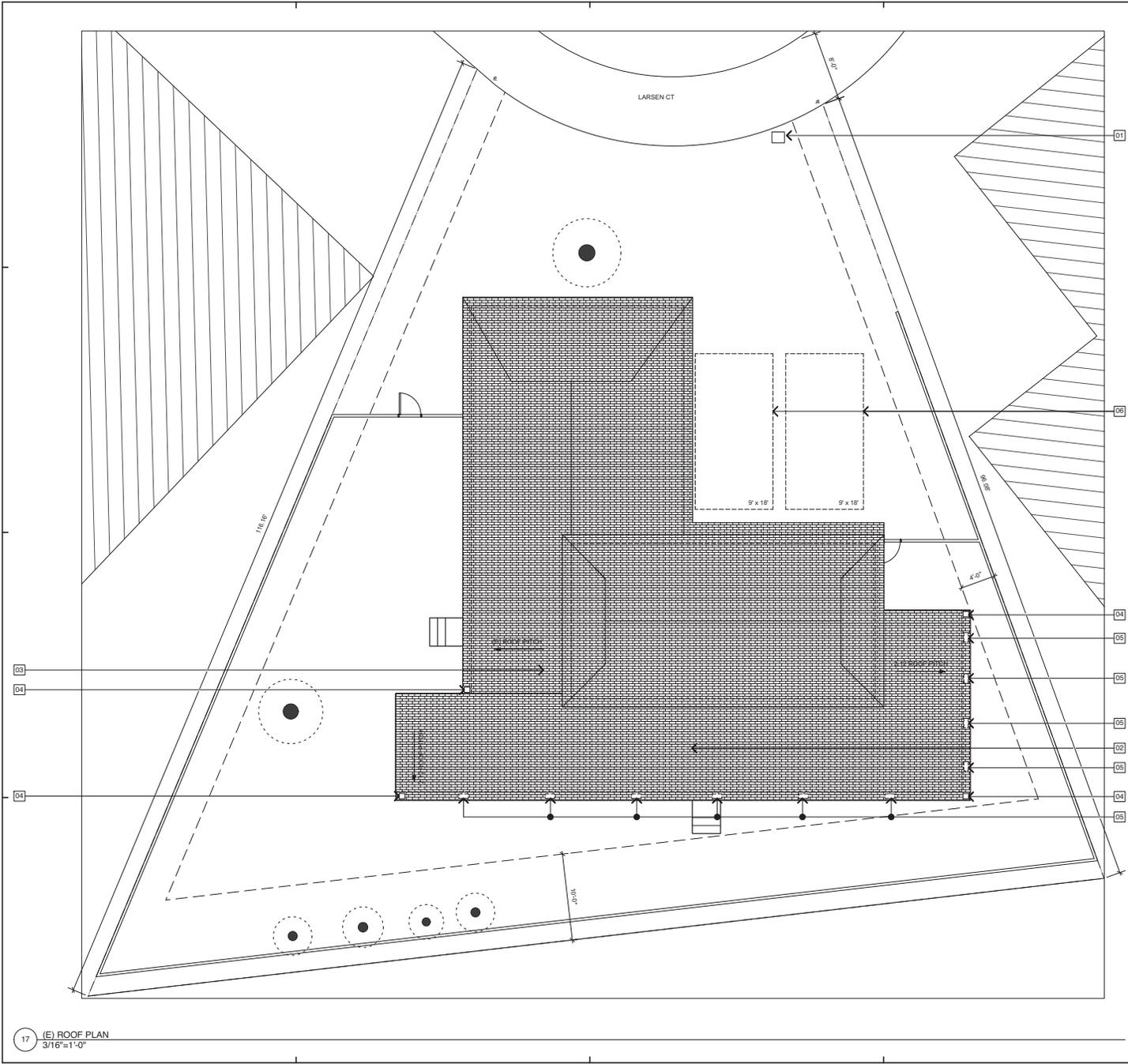


9 EXISTING LEFT ELEVATION
3/16"=1'-0"

LARSEN CT
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SANTA CLARA,
CA 95051

FOR BUILDING PERMIT
DATE 26 SEPTEMBER 2001
SCALE AS NOTED
DRAWN BY
HW
JOB NUMBER 2001
REVISIONS

(E) ELEVATIONS



KEY NOTES	
1	WATER METER.
2	(N) ATTACHED ADU TO BE INSTALLED.
3	(N) GABLE ROOF TO BE INSTALLED. SEE 9 / A3.01 FOR NEW CONFIGURATION.
4	(N) DRAIN DOWNSPOUT.
5	(N) 6" X 13" SOFFIT VENT.
6	9' X 18' OFF-STREET PARKING.
7	
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REQUIRED ATTIC VENT:
 791 / 150 = 5.21 SF
 5.21 SF X 144 = 749.76 SI
 ATTIC VENT 6 X 13 = 78 SI
 ADDING 10 ATTIC VENTS
 10 X 78 = 780 SI > 749.76 SI

----- PROPERTY LINE
 - - - - - SETBACK LINE

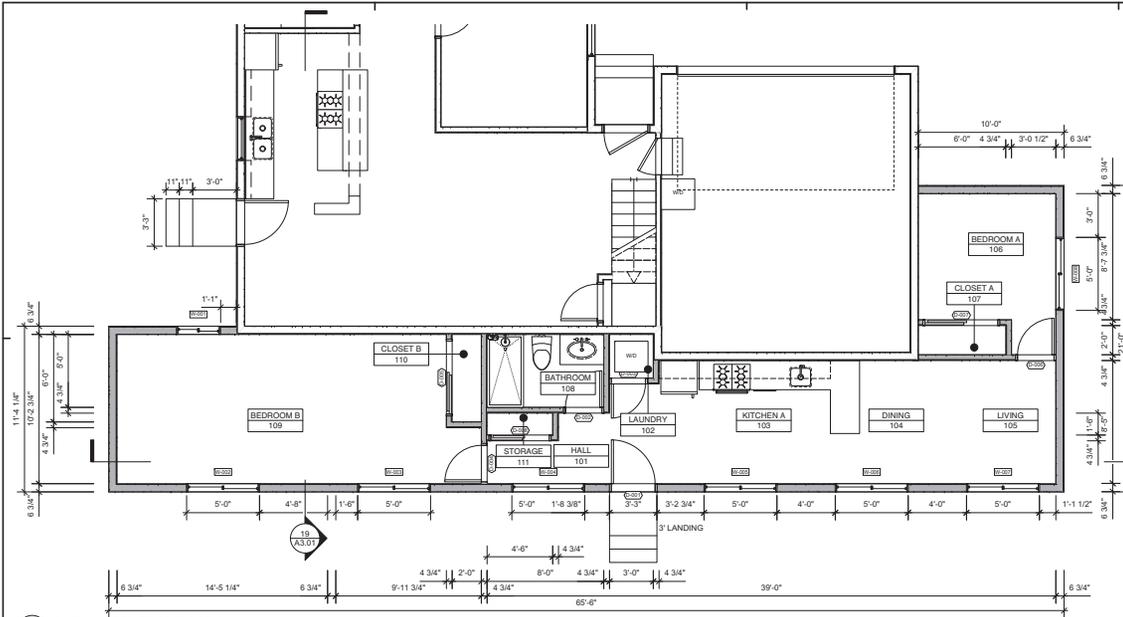
17 (E) ROOF PLAN
 3/16"=1'-0"

LARSEN CT
 2043 LARSEN CT
 SANTA CLARA,
 CA 95051

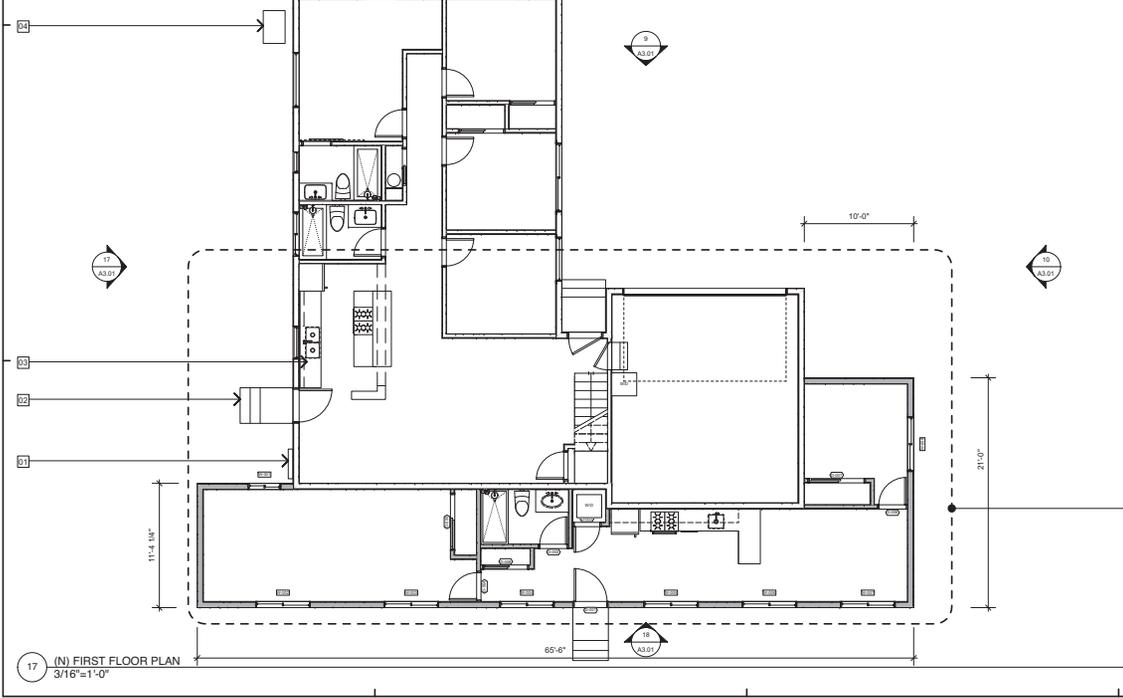
FOR _____
 BUILDING PERMIT _____
 DATE _____
 20 SEPTEMBER 2021 _____
 SCALE _____
 AS NOTED _____
 DRAWN BY _____
 HW _____
 JOB NUMBER _____
 200K _____
 REVISIONS _____

(N) SITE & ROOF PLAN

A2.01



19 (N) ENLARGED FIRST FLOOR PLAN
1/4"=1'-0"



17 (N) FIRST FLOOR PLAN
3/16"=1'-0"

WINDOW SCHEDULE						
#	LOCATION	WIDTH	HEIGHT	SILL	TYPE	TEMPERED
W-001	BEDROOM B	5'-0"	3'-0"	40"	SLD	NO
W-002	BEDROOM B	5'-0"	4'-0"	32"	SLD	NO
W-003	BEDROOM B	5'-0"	4'-0"	32"	SLD	NO
W-004	HALL	5'-0"	4'-0"	32"	SLD	YES
W-005	KITCHEN A	5'-0"	4'-0"	32"	SLD	YES
W-006	DINING	5'-0"	4'-0"	32"	SLD	NO
W-007	LIVING	5'-0"	4'-0"	32"	SLD	NO
W-008	BEDROOM A	5'-0"	4'-0"	32"	SLD	NO

DOOR SCHEDULE					
#	LOCATION	WIDTH	HEIGHT	TYPE	LOCK TYPE
D-001	HALL	3'-0"	6'-8"	LH	KEY LOCK
D-002	BATHROOM	2'-6"	6'-8"	RH	PRIVACY
D-003	LAUNDRY	2'-6"	6'-8"	RH	PRIVACY
D-004	BEDROOM B	2'-6"	6'-8"	LH	PRIVACY
D-005	CLOSET B	2'-6"	6'-8"	SLD	PRIVACY
D-006	BEDROOM A	2'-6"	6'-8"	RH	PRIVACY
D-007	CLOSET A	2'-6"	6'-8"	SLD	PRIVACY
D-008	STORAGE	4'-0"	6'-8"	SLD	PRIVACY
D-009	BEDROOM B	3'-0"	6'-8"	LH	KEY LOCK

KEY NOTES	
1	(E) ELECTRICAL METER AND PANEL TO BE UPGRADED TO 200 AMP.
2	(N) LANDING AND STAIR TO BE INSTALLED.
3	(N) COUNTER TOP.
4	(E) GAS METER.
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6	
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NOTES

THE DIRECTION OF DRAINAGE SHOULD NOT BE DIRECTED TOWARDS THE PROPERTY LINE OF THE ENIGHBOR.

ELECTRICAL NOTES

- GFCI PROTECTION SHALL BE PROVIDED FOR ALL COUNTERTOP RECEPTACLES, RECEPTACLES WITHIN 6' OF SINK AND FOR RECEPTACLES SUPPLYING DISHWASHER. (CEC 210.80)
- A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN THE KITCHEN, PANTRY AND DINING ROOM. (CEC 210.11A)
- INDIVIDUAL (DEDICATED) CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSALS, MICROWAVES, COMPACTORS AND DISHWASHERS. (CEC 210.19A1b)
- AFCI PROTECTION IS REQUIRED FOR ALL 120V 15A/20 AMP KITCHEN CIRCUITS. (CEC 210.12A)
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" HORIZONTALLY FROM AN OUTLET IN THE SPACE (CEC 210.52c1)
- RECEPTACLES SHALL BE PROVIDED AT ALL COUNTERTOP AREAS WITH A MINIMUM DIMENSION OF 12" (CEC210.52c1)
- ISLANDS AND PENINSULAS SHALL HAVE AT LEAST ONE RECEPTACLE MOUNTED NO MORE THAN 12" BELOW THE COUNTERTOP AND WHERE THE COUNTERTOP DOES NOT EXTEND MORE THAN 6" BEYOND ITS BASE. (CEC210.52A1A2)
- ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY AND CONTROLLED BY EITHER A DIMMER SWITCH OR VACUANCY SENSOR SWITCH. ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JAB-2015. SCREW BASE BULBS ARE NOT PERMITTED IN RECESSED LIGHTING. (CEC210.50.0K)
- RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED LIST ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT (AT) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING (CENC 150.100(IC))
- ALL 125-VOLT, 15- AND 20-AMPERE RECEPTABLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES PER CEC 408.12
- ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTABLES SHALL BE INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS PER CEC 210.12(A)
- ALL NEWLY INSTALLED INTERIOR LIGHTING TO BE HIGH EFFICACY PER CENC 150.0K(1A)
- ALL NEWLY INSTALLED EXTERIOR LIGHTING TO BE HIGH EFFICACY AND BE CONTROLLED BY AN ON AND OFF SWITCH THAT DOES NOT OVERRIDE THE AUTOMATIC ACTIONS OF ITEMS SHOWN ON CENC 150.0K(3)(9) OR CENC 150.0K(3)(9)(I)
- AT LEAST ONE LIGHT FIXTURE IN THE MASTER BATHROOM TO BE CONTROLLED BY VACUANCY SENSOR PER CENC 150.0K(2)(J)

PLUMBING NOTES

- DISHWASHERS SHALL BE CONNECTED WITH AN APPROVED DRAINAGE AIR GAP DEVICE LOCATED ABOVE THE FLOOD LEVEL RM OF THE SINK (CPC 807.3)
- KITCHEN FAUCETS SHALL NOT EXCEED 1.80 GALLONS PER MINUTE AT 60 PSI (CALGREEN 901.1.1)
- PROVIDE 2" DRAIN LINE.
- NEW GAS APPLIANCES AT KITCHEN SHOULD BE SPECIFIED. PROVIDE A SINGLE LINE DIAGRAM OF GAS PIPING, SHOW PIPE SIZES, LENGTHS AND BUT DEMAND RATINGS FOR ALL GAS APPLIANCES IN THE HOUSE.
- AN ACCESSIBLE VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUT LET INSTALLED WITHIN 6' OF THE APPLIANCE IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. (CPC807.4)
- ALL THE NEW SHOWER HEAD TO HAVE A MAX FLOW OF 1.8 GPM AND FAUCETS TO HAVE A MAX FLOW OF 1.2GPM PER CGBC 4.303.
- DIMENSION A MINIMUM CLEARANCE OF 15" FROM THE CENTERLINE OF THE WATER CLOSET TO THE SIDE WALLS AND MINIMUM 24" IN FRONT OF WATER CLOSET PER CPC SECTION 402.5.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER CRC R307.2.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.9.
- TOILET FLOW RATE TO BE 1.28 GPF, MAXIMUM. CPC 403.2.1.

MECHANICAL NOTES

- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWNDRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. (CMC 504.30)
- THE EXHAUST HOOD SHALL HAVE A MINIMUM EXHAUST RATE OF 100CFM. (CENC 150 (9), EXC. 5 TO 152 (A) & ASHRAE 570, 62.2) AND TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3' FROM OTHER OPENINGS INTO THE BUILDING (CMC 502.2.1)
- KITCHEN RANGE HOODS REQUIRED MINIMUM VENTILATION PER 2016 ASHRAE 62.2, SECTION 5 (SECTION 150 (9)(9)(B)) AND MAXIMUM SOUND RATING PER 2016 ASHRAE 26.2, SECTION 7.2 (SECTION 150 (9) (D) (1)).
- THE MINIMUM BATHROOM EXHAUST FAN RATING SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM CONTINUOUS VENTILATION. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND PROVIDED WITH HUMIDITY CONTROL. CRC R303.3 EXCEPTION & CGBC 4.506.1.

MINIMUM 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED PER 2016 EDITION OF THE CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1.

NOTE:
MATERIAL OF WATER LINE IS COPPER MATERILA OF DRAIN; WASTE AND VENT PIPE IS PVC.

LARSEN CT
2043 LARSEN CT
SANTA CLARA,
CA 95051

FOR BUILDING PERMIT

DATE: 20 SEPTEMBER 2021

SCALE: AS NOTED

DRAWN BY: HW

JOB NUMBER: 2008

REVISIONS:

(N) FLOOR PLAN

A2.02

SWITCH SCHEDULE

SWITCH	TYPE	LOCATION	NOTES
A		101	
B		102	
C		103	
D		104	
E		105	
F		106	

LEGEND

⊕	DUPLEX RECEPTACLE	▽	TELEPHONE
⊕	1/2 SWITCHED DUPLEX RECEPTACLE	▼	DATA
⊕	DEDICATED DUPLEX RECEPTACLE	▽	TELEPHONE AND DATA
⊕	DEDICATED DUPLEX RECEPTACLE 220V	⊠	SHADE CONTROL
⊕	QUADPLEX RECEPTACLE	⊠	THERMOSTAT
⊕	FLOOR RECEPTACLE	⊠	INTERCOM SYSTEM
⊕	CEILING RECEPTACLE	CAM	SECURITY CAMERA
⊕	PHOTOSENSOR	⊠	AV CONTROL TOUCH PANEL
⊕	HDMI CABLE	⊠	FAN CONTROL
		⊠	WIRELESS ACCESS POINT

LEGEND

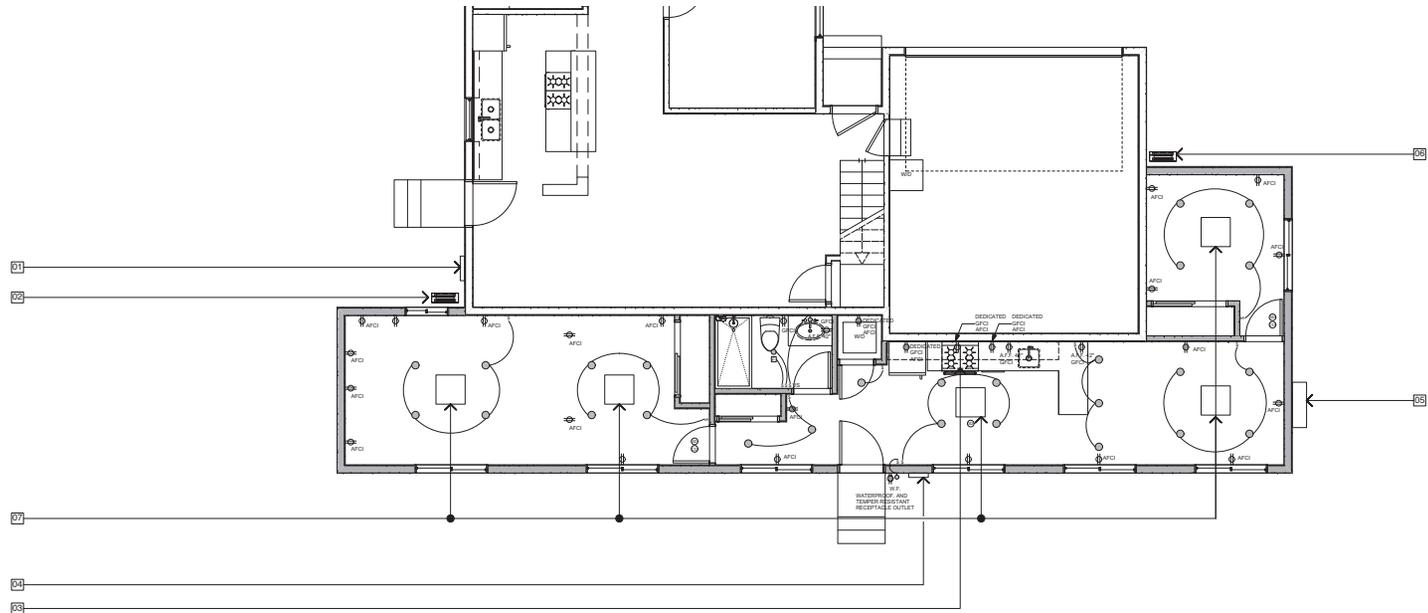
⊕	CEILING MOUNTED FIXTURE	⊕	FLUORESCENT PENDANT OR CEILING MOUNTED FIXTURE
⊕	SURFACE MOUNTED WALL FIXTURE	⊕	FLUORESCENT UNDERCABINET FIXTURE
⊕	SURFACE MOUNTED WALL FIXTURE WITH SWITCH / DIMMER ON FIXTURE	⊕	SURFACE OR PENDANT MOUNTED TRACK FIXTURE
⊕	PENDANT MOUNTED FIXTURE	⊕	SURFACE MOUNTED DOUBLE-HEADED WALL FIXTURE
⊕	RECESSED FIXTURE	⊕	WALL SWITCH @ 48" A.F.F. TO THE CENTER OF THE SWITCH AND IF FROM THE DOOR HAMB TO THE CENTER OF THE SWITCH
⊕	ADJUSTABLE RECESSED FIXTURE	⊕	DIMMER
⊕	RECESSED WALL WASH FIXTURE	⊕	FAN CONTROL
⊕	LED LINEAR FIXTURE	⊕	SMOKE DETECTOR
⊕	FLUORESCENT WALL MOUNTED FIXTURE	⊕	RECESSED FAN
⊕	FLUORESCENT SURFACE MOUNTED FIXTURE	⊕	SPEAKER - CEILING MOUNT
⊕	VANITY LIGHT	⊕	CO2 MONITOR
⊕	EXIT SIGN	⊕	CONTROL GROUP
⊕	LOW LEVEL EXIT SIGN	⊕	LIGHTING CONTROL PANEL
⊕	FIXTURE TAG	⊕	LIGHTING KEYPAD
⊕	TRANSFORMER	⊕	CONTROL STATION
⊕	BALLAST	⊕	OCCUPANCY SENSOR
⊕	PROJECTOR	⊕	WIRELESS ACCESS POINT
		⊕	PROJECTOR SCREEN

KEY NOTES

- 1 (E) ELECTRICAL PANEL TO BE UPGRADED TO 200 AMP.
- 2 (E) DUCTLESS AC FOR MAIN HOUSE HEATING & COOLING.
- 3 MIN. 100 CFM EXHAUSTED HOOD.
- 4 (N) 100 AMP ELECTRICAL PANEL TO BE INSTALLED FOR THE ATTACHED ADU.
- 5 (N) ELECTRICAL TANKLESS WATER HEATER.
- 6 (N) DUCTLESS AC FOR (N) ADU HEATING & COOLING. SEE 9 / A6.01 FOR SPEC.
- 7 2 X 2' MITSUBISHI CASSETS TO BE INSTALLED ON THE CEILING.

SHEET NOTES

- A THE CONTRACTOR IS TO PROVIDE THE OWNER AND THE TOWN BUILDING DIVISION W/ A COPY OF THE COMPLETED CP-RH INSTALLATION CERTIFICATE PRIOR TO FINAL INSPECTION.
- B VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF ALL LIGHTING FIXTURES AND SWITCHES WITH ARCHITECT PRIOR TO ROUGH INSTALL.
- C SEE INTERIOR ELEVATIONS FOR HEIGHTS OF WALL MOUNTED FIXTURES.
- D ALL SMOKE DETECTORS SHALL BE HARD-WIRED WITH A BATTERY BACK-UP. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS.
- E ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY.
- F ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX J48. EXCEPT HALLWAYS AND CLOSETS OVER 70 SF, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. THIS ALSO APPLIES TO ALL GU-24 LED'S AND RECESSED LUMINAIRES. CBEES 150.0(K)(K).
- G LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR. CBEES 150.0(K)(L).
- H LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/DAMP LOCATIONS SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" PER CEC 418.4(a).
- I LUMINAIRES RECESSED INTO CEILING SHALL MEET ALL OF THE FOLLOWING PER 150.0(K)(C) LISTED FOR ZERO CLEARANCE INSULATION, LABELLED THAT CERTIFIES THE LUMINAIRE IS AIR-TIGHT WITH A LEAKAGE LESS THAN 25 CFM AT 75 PASCALS, SEALED WITH A GASKET OR CAULK, ALLOW REPLACEMENT AND MAINTENANCE TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN THE CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS, AND SHALL CONTAIN LIGHTING SOURCES THAT COMPLY WITH J48.
- J CLOTHES CLOSET LIGHT FIXTURE CLEARANCES SHALL CONFORM TO CEC 410-6.
- K ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING - CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL, AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM. 150.0(K)
- L ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES RESIDENTIAL COMPLIANCE MANUAL TABLE 6-1 AND TABLE 150.0-A.
- M UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. 150.0(K)(L)



13 RCP AND POWER PLAN
1/4"=1'-0"

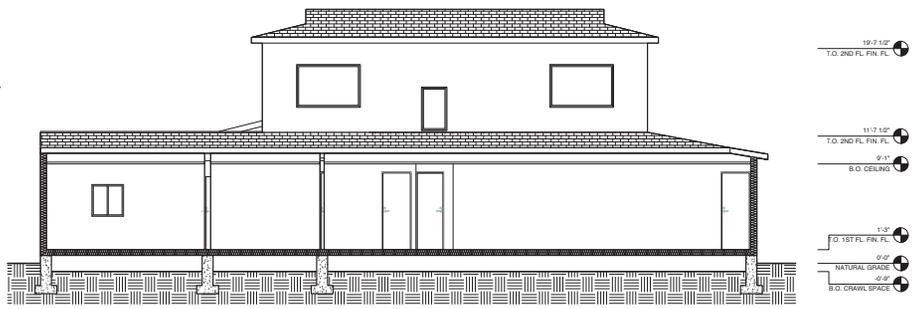
LARSEN CT
2043 LARSEN CT
SANTA CLARA,
CA 95051

FOR BUILDING PERMIT
DATE: 20 SEPTEMBER 2021
SCALE: AS NOTED
DRAWN BY: HW
JOB NUMBER: 200P
REVISIONS:

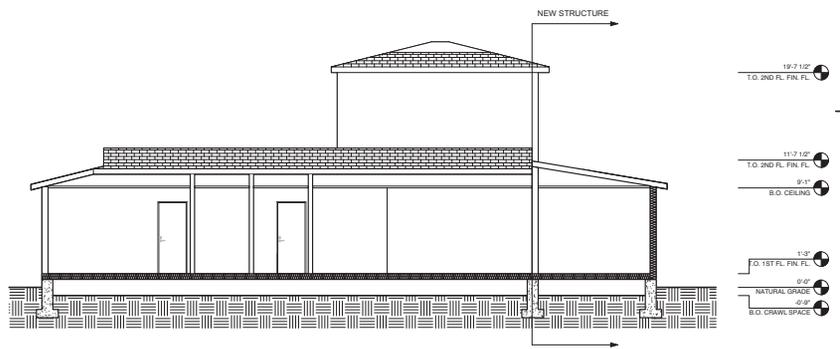
(N) RCP AND POWER PLAN

A2.03

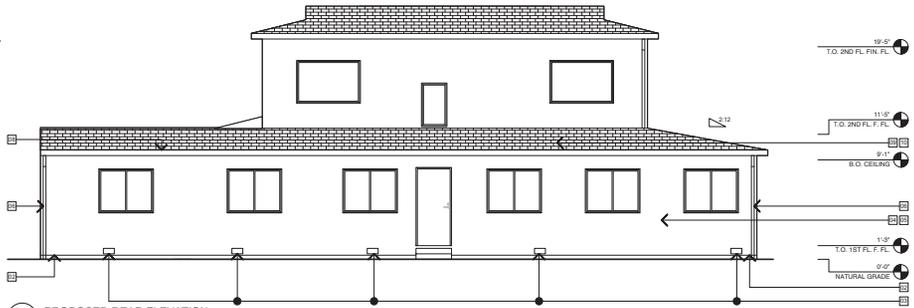
KEY NOTES	
[1]	ACCESS TO CRAWL SPACE.
[2]	WEEP SCREED.
[3]	CRAWL SPACE VENT 6" X 12".
[4]	EXTERIOR FINISH TO MATCH WITH (E) MAIN HOUSE.
[5]	2 LAYERS OF UNDERLAYMENT TYPE "D" PAPER TO BE INSTALLED UNDER STUCCO.
[6]	(N) DRAIN TO BE INSTALLED.
[7]	(E) DRAIN AFTER ADJUSTED TO BE ACCOMMODATE TO THE (N) ROOF.
[8]	(N) GUTTER TO BE INSTALLED.
[9]	ROOF FINISH TO MATCH WITH (E) MAIN HOUSE.
[10]	UNDERLAYMENT CLASS B TO BE INSTALLED UNDER THE ASPHALT SHINGLES.
[11]	(N) GABLE ROOF TO BE INSTALLED.



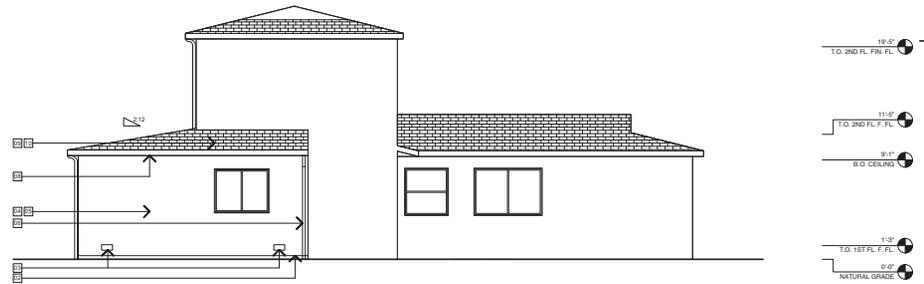
19 PROPOSED SECTION B
3/16"=1'-0"



11 PROPOSED SECTION A
3/16"=1'-0"



18 PROPOSED REAR ELEVATION
3/16"=1'-0"



10 PROPOSED FRONT ELEVATION
3/16"=1'-0"



17 PROPOSED RIGHT ELEVATION
3/16"=1'-0"



9 PROPOSED LEFT ELEVATION
3/16"=1'-0"

LARSEN CT
2043 LARSEN CT
SANTA CLARA,
CA 95051

FOR BUILDING PERMIT
DATE: 26 SEPTEMBER 2001
SCALE: AS NOTED
DRAWN BY:
HW
JOB NUMBER: 20007
REVISIONS:

(N) ELEVATION & SECTION

A3.01

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-01

Item	Qty	Unit	Rate	Amount	Notes
1.00	1.00	cu yd	120.00	120.00	Concrete
2.00	1.00	sq ft	10.00	10.00	Formwork
3.00	1.00	hr	100.00	100.00	Labor
4.00	1.00	lb	0.50	0.50	Reinforcement
5.00	1.00	sq ft	5.00	5.00	Paint
6.00	1.00	hr	50.00	50.00	Other Labor
7.00	1.00	sq ft	2.00	2.00	Other Materials
8.00	1.00	hr	25.00	25.00	Other Labor
9.00	1.00	sq ft	1.00	1.00	Other Materials
10.00	1.00	hr	15.00	15.00	Other Labor
11.00	1.00	sq ft	0.50	0.50	Other Materials
12.00	1.00	hr	10.00	10.00	Other Labor
13.00	1.00	sq ft	0.25	0.25	Other Materials
14.00	1.00	hr	5.00	5.00	Other Labor
15.00	1.00	sq ft	0.125	0.125	Other Materials
16.00	1.00	hr	2.50	2.50	Other Labor
17.00	1.00	sq ft	0.0625	0.0625	Other Materials
18.00	1.00	hr	1.25	1.25	Other Labor
19.00	1.00	sq ft	0.03125	0.03125	Other Materials
20.00	1.00	hr	0.625	0.625	Other Labor
21.00	1.00	sq ft	0.015625	0.015625	Other Materials
22.00	1.00	hr	0.3125	0.3125	Other Labor
23.00	1.00	sq ft	0.0078125	0.0078125	Other Materials
24.00	1.00	hr	0.15625	0.15625	Other Labor
25.00	1.00	sq ft	0.00390625	0.00390625	Other Materials
26.00	1.00	hr	0.078125	0.078125	Other Labor
27.00	1.00	sq ft	0.001953125	0.001953125	Other Materials
28.00	1.00	hr	0.0390625	0.0390625	Other Labor
29.00	1.00	sq ft	0.0009765625	0.0009765625	Other Materials
30.00	1.00	hr	0.01953125	0.01953125	Other Labor
31.00	1.00	sq ft	0.00048828125	0.00048828125	Other Materials
32.00	1.00	hr	0.009765625	0.009765625	Other Labor
33.00	1.00	sq ft	0.00012109375	0.00012109375	Other Materials
34.00	1.00	hr	0.002421875	0.002421875	Other Labor
35.00	1.00	sq ft	0.0000306640625	0.0000306640625	Other Materials
36.00	1.00	hr	0.00061328125	0.00061328125	Other Labor
37.00	1.00	sq ft	0.0000076904296875	0.0000076904296875	Other Materials
38.00	1.00	hr	0.000153809375	0.000153809375	Other Labor
39.00	1.00	sq ft	0.000001921875	0.000001921875	Other Materials
40.00	1.00	hr	0.0000384375	0.0000384375	Other Labor
41.00	1.00	sq ft	0.00000048046875	0.00000048046875	Other Materials
42.00	1.00	hr	0.000009609375	0.000009609375	Other Labor
43.00	1.00	sq ft	0.0000001201171875	0.0000001201171875	Other Materials
44.00	1.00	hr	0.00000240234375	0.00000240234375	Other Labor
45.00	1.00	sq ft	0.000000030029296875	0.000000030029296875	Other Materials
46.00	1.00	hr	0.0000006005859375	0.0000006005859375	Other Labor
47.00	1.00	sq ft	0.00000000750732421875	0.00000000750732421875	Other Materials
48.00	1.00	hr	0.000000150146484375	0.000000150146484375	Other Labor
49.00	1.00	sq ft	0.0000000018768309375	0.0000000018768309375	Other Materials
50.00	1.00	hr	0.0000000375366171875	0.0000000375366171875	Other Labor
51.00	1.00	sq ft	0.000000004689578125	0.000000004689578125	Other Materials
52.00	1.00	hr	0.00000000937915625	0.00000000937915625	Other Labor
53.00	1.00	sq ft	0.00000000117239453125	0.00000000117239453125	Other Materials
54.00	1.00	hr	0.0000000023447890625	0.0000000023447890625	Other Labor
55.00	1.00	sq ft	0.000000000293098671875	0.000000000293098671875	Other Materials
56.00	1.00	hr	0.0000000058619734375	0.0000000058619734375	Other Labor
57.00	1.00	sq ft	0.00000000073274671875	0.00000000073274671875	Other Materials
58.00	1.00	hr	0.0000000014654934375	0.0000000014654934375	Other Labor
59.00	1.00	sq ft	0.000000000183189171875	0.000000000183189171875	Other Materials
60.00	1.00	hr	0.0000000036637834375	0.0000000036637834375	Other Labor
61.00	1.00	sq ft	0.00000000045797291875	0.00000000045797291875	Other Materials
62.00	1.00	hr	0.0000000009159458375	0.0000000009159458375	Other Labor
63.00	1.00	sq ft	0.0000000001144932296875	0.0000000001144932296875	Other Materials
64.00	1.00	hr	0.00000000228986458375	0.00000000228986458375	Other Labor
65.00	1.00	sq ft	0.000000000286233071875	0.000000000286233071875	Other Materials
66.00	1.00	hr	0.0000000057246614375	0.0000000057246614375	Other Labor
67.00	1.00	sq ft	0.000000000715582671875	0.000000000715582671875	Other Materials
68.00	1.00	hr	0.00000000143116534375	0.00000000143116534375	Other Labor
69.00	1.00	sq ft	0.000000000178895671875	0.000000000178895671875	Other Materials
70.00	1.00	hr	0.0000000035779134375	0.0000000035779134375	Other Labor
71.00	1.00	sq ft	0.000000000447239171875	0.000000000447239171875	Other Materials
72.00	1.00	hr	0.00000000089447834375	0.00000000089447834375	Other Labor
73.00	1.00	sq ft	0.00000000011180978125	0.00000000011180978125	Other Materials
74.00	1.00	hr	0.000000002236195625	0.000000002236195625	Other Labor
75.00	1.00	sq ft	0.00000000027952446875	0.00000000027952446875	Other Materials
76.00	1.00	hr	0.000000005590489375	0.000000005590489375	Other Labor
77.00	1.00	sq ft	0.000000000700061171875	0.000000000700061171875	Other Materials
78.00	1.00	hr	0.00000000140012234375	0.00000000140012234375	Other Labor
79.00	1.00	sq ft	0.000000000175027791875	0.000000000175027791875	Other Materials
80.00	1.00	hr	0.0000000035005558375	0.0000000035005558375	Other Labor
81.00	1.00	sq ft	0.00000000043756946875	0.00000000043756946875	Other Materials
82.00	1.00	hr	0.0000000008751389375	0.0000000008751389375	Other Labor
83.00	1.00	sq ft	0.000000000109392391875	0.000000000109392391875	Other Materials
84.00	1.00	hr	0.0000000021878478375	0.0000000021878478375	Other Labor
85.00	1.00	sq ft	0.00000000027348096875	0.00000000027348096875	Other Materials
86.00	1.00	hr	0.000000005469619375	0.000000005469619375	Other Labor
87.00	1.00	sq ft	0.00000000068370241875	0.00000000068370241875	Other Materials
88.00	1.00	hr	0.0000000013674048375	0.0000000013674048375	Other Labor
89.00	1.00	sq ft	0.000000000170880646875	0.000000000170880646875	Other Materials
90.00	1.00	hr	0.0000000034176129375	0.0000000034176129375	Other Labor
91.00	1.00	sq ft	0.00000000042720161875	0.00000000042720161875	Other Materials
92.00	1.00	hr	0.0000000008544032375	0.0000000008544032375	Other Labor
93.00	1.00	sq ft	0.00000000010680040625	0.00000000010680040625	Other Materials
94.00	1.00	hr	0.000000002136008125	0.000000002136008125	Other Labor
95.00	1.00	sq ft	0.00000000026700101875	0.00000000026700101875	Other Materials
96.00	1.00	hr	0.000000005340020375	0.000000005340020375	Other Labor
97.00	1.00	sq ft	0.000000000667502546875	0.000000000667502546875	Other Materials
98.00	1.00	hr	0.00000000133500509375	0.00000000133500509375	Other Labor
99.00	1.00	sq ft	0.000000000166875671875	0.000000000166875671875	Other Materials
100.00	1.00	hr	0.0000000033375134375	0.0000000033375134375	Other Labor

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-02

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-03

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-04

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-05

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-06

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-07

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-08

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-09

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-10

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-11

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-12

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-13

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-14

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-15

Code Reference: ACI 318M-11, Section 15.2.4.1

General Information: 15.2.4.1

Material Properties: 15.2.4.1

Design Parameters: 15.2.4.1

Reinforcement: 15.2.4.1

Design Summary: 15.2.4.1

Maximum Forces & Moments for Load Combinations: 15.2.4.1

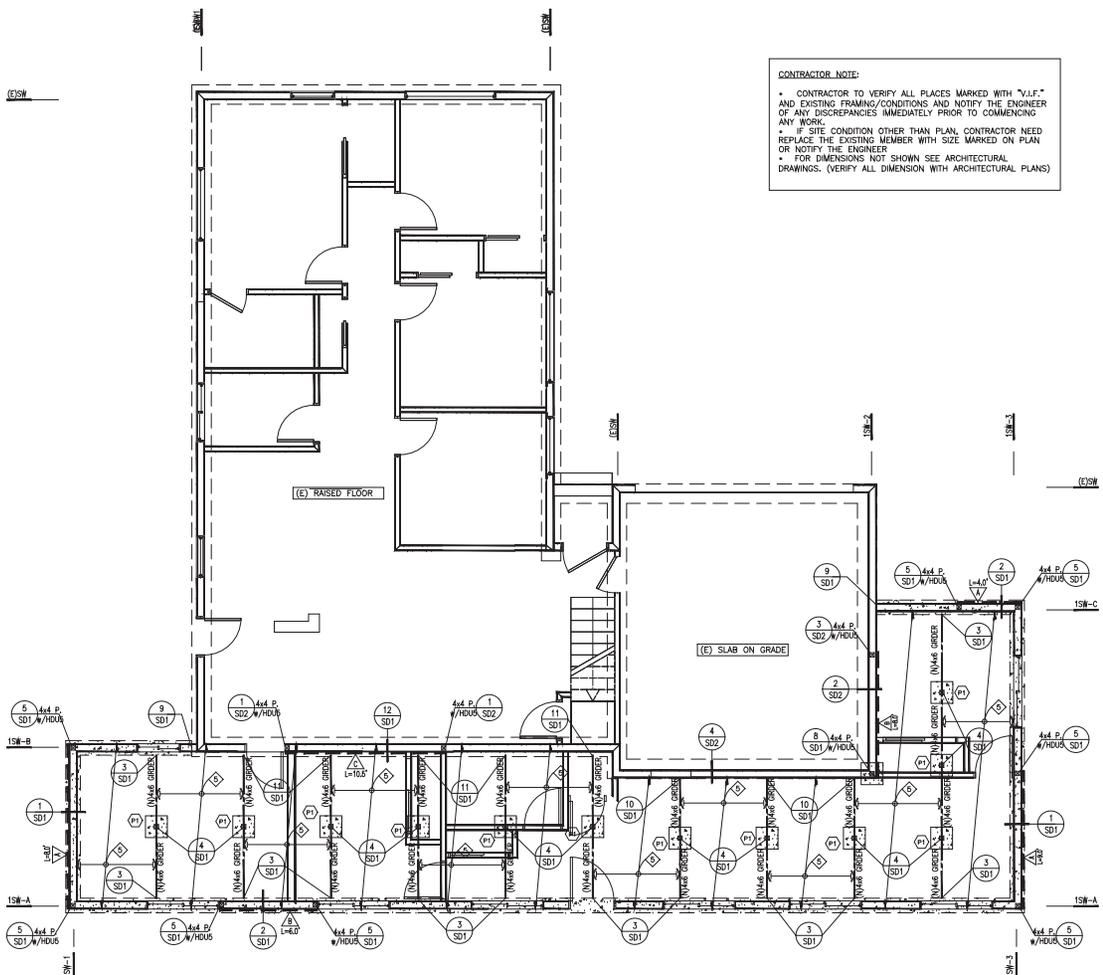
Design Tables: 15.2.4.1

The Block 1
The Building Name
Project Title
Project No.

General Footing

SECTION: F01-16

Code Reference: ACI



FOUNDATION PLAN
Scale: 1/4"=1'-0"

CONTRACTOR NOTE:

- CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "A.L.F." AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
- IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER.
- FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

STRUCTURAL NOTES

(E) 16" WIDE X 24" DEEP CONCRETE FOOTING (CONTRACTOR TO VERIFY)

(N)1-STORY 12" WIDE X 24" MIN. DEEP CONCRETE FOOTING W/(2)-#4 T.&B.

ADDITIONAL NOTES

- 5/8" dia. A.B. (R.H., EPOXY BOLTS) @ 48" O.C. TYP. U.O.N. FOR SH. W. A.B.'S SEE G.N. SHEET, SH. WALL SCHEDULE
 - NAILS IN PRESSURE TREATED WOOD SILL PLATES SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER.
 - ALL HOLD-DOWN CONNECTIONS SHALL BE TIGHTENED JUST PRIOR TO ENCLOSURE.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE W/CAL/OSHA REGULATIONS.
 - CONTINUOUS INSPECTION BY A LICENSED DEPUTY INSPECTOR IS REQUIRED FOR ALL EPOXY WORKS AND FOR CONCRETE WITH $f'c > 3500$ PSI.
- 4" THK. CONCRETE SLAB ON GRADE W/ #4 BARS @ 16" O.C. E.W. CENTERED
- PER CITY REQUEST, A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. A MOISTURE BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. CARE SHALL BE EXERCISED TO AVOID DAMAGE OF MOISTURE BARRIER DURING CONSTRUCTION.

PAD FOOTING SCHEDULE

(F) 1'-6" SQ.X12" DEEP FTG. W/(3)-#4 E.W.

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLD-DOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW /MENTIONED ON PLANS SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.
2. THIS PROJECT ONLY INCLUDED NEW 1-STORY ADDITIONAL PART AT REAR OF EXISTING BUILDING DESIGN.
3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.
4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

TYPICAL FLOOR SHT'G

3/4" PLYWOOD SHEATHING
A PANEL INDEX OF 24" O. (ORIENTED STRAND BOARD).
B.N.L: 10x COMMON NAL AT 6" O.C.
E.N.L: 10x COMMON NAL AT 6" O.C.
F.N.L: 10x COMMON NAL AT 12" O.C. (USE COMMON NALS)
FOR TYPICAL DIAPHRAGM DET. SEE (7) FOR MORE INFORMATION.

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC SPS-95 AND/ OR PS2-92.

FRAMING SCHEDULE

- (E) 2X R.R. REMAIN (CONTRACTOR VERIFY SIZE AND DIRECTION)
- (E) 2X F.L. REMAIN (CONTRACTOR VERIFY SIZE AND DIRECTION)
- (N) 2X8 DF#2 R.R. @ 16" O.C.
- (N) 2X8 DF#2 C.J. @ 16" O.C.
- (N) 2X6 DF#2 F.J. @ 16" O.C.

SYMBOLS & LEGENDS

- SD1 4X4 COLUMN PER PLAN U.O.
- SD2 SPAN AND DIRECTION OF JOIST FRAMING MEMBER PER PLAN
- SD3 FLOOR JOIST/ ROOF RAFTER
- SD4 SHEAR PANEL NUMBER, MIN. LENGTH NOTED. REFER TO "SHEAR WALL SCHEDULE" ON S-9 FOR MORE INFO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)
- DETAIL NUMBER
DETAIL SHEET NUMBER
- CONC. FTG. EDGE
- (N) PAD FTG. SIZE PER TABLE
- BEAM OR HEADER
- (E)/(N) 2X WOOD STUD WALL PER ARCH PLAN

OWNER/SUBDIVIDER:
JENNY QIAN
2043 LARSEN CT.
SANTA CLARA, CA 95051

2043 LARSEN CT,
PROJECT ADDRESS
2043 LARSEN CT.
SANTA CLARA, CA 95051

PLANS PREPARED BY:
W.H. CONSULTANT, INC.
1000 AVENUE 100, SUITE 100, SAN JOSE, CA 95128
PH: (415) 251-1000 FAX: (415) 251-1001
WWW.WHCONSULTANT.COM

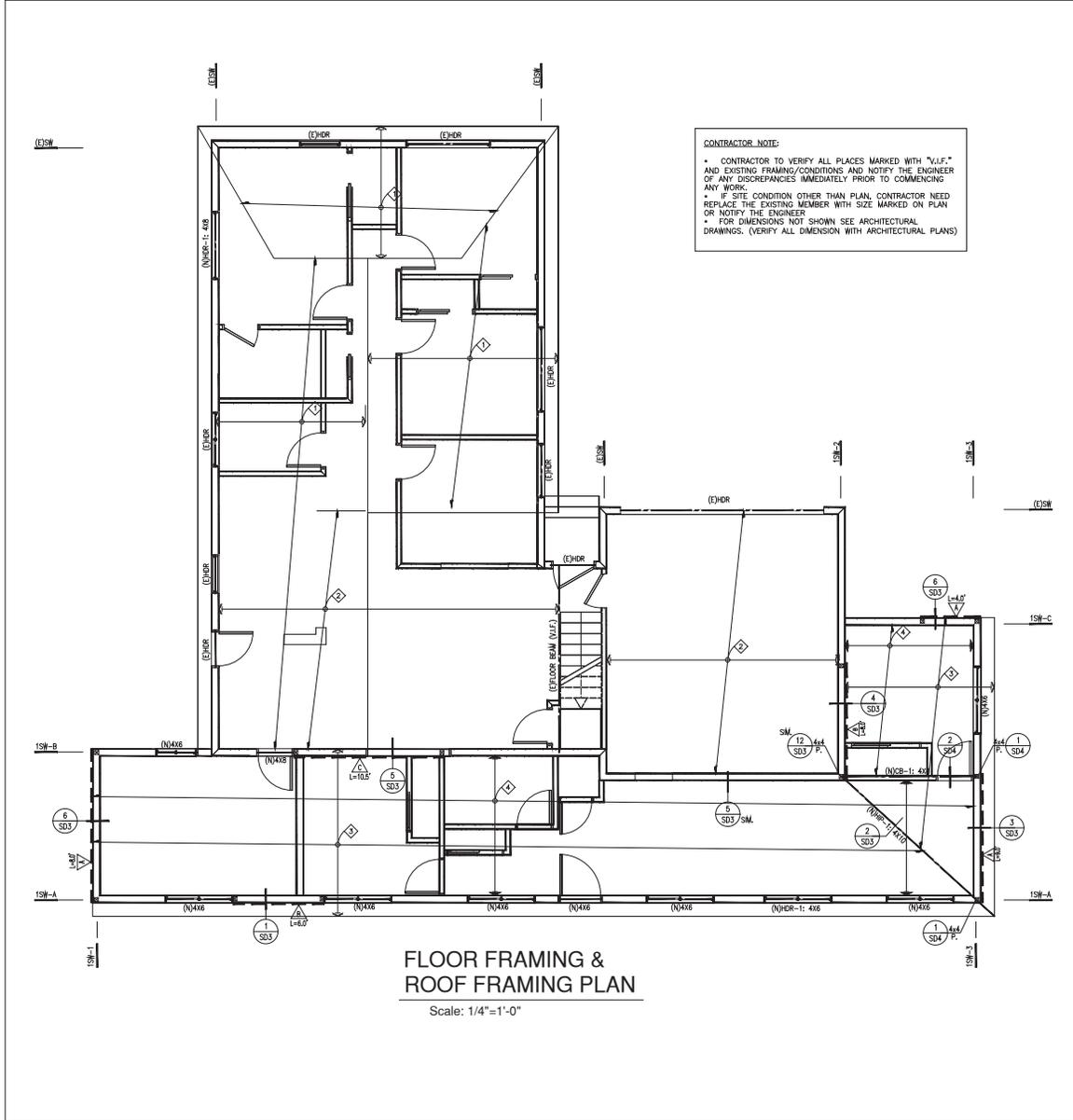
REGISTERED PROFESSIONAL ENGINEER
No. C88467
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

DESIGNER	CHECKED BY	DATE	REVISIONS	APPROVED BY	CHECKED BY	DATE

TITLE:
FOUNDATION PLAN

PROJECT NO.:
21160

SHEET NO.:
S-1



CONTRACTOR NOTE:

- * CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.L.F." AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
- * IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER.
- * FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

FLOOR FRAMING & ROOF FRAMING PLAN

Scale: 1/4"=1'-0"

TYPICAL ROOF SHT'G

5/8" TAG APA RATED PLYWOOD
 A PANEL INDEX OF 24/0.
 (ORIENTED STRAND BOARD).
 S.M.: 10# COMMON NAIL AT 4" O.C.
 E.N.: 10# COMMON NAIL AT 6" O.C.
 F.N.: 10# COMMON NAIL AT 12" O.C.
 (USE COMMON NAILS)
 FOR TYPICAL DIAPHRAGM DET. SEE (7) FOR MORE INFORMATION.

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC P5-95 AND/ OR P52-92.

FRAMING SCHEDULE

- ◇ (E) 2X R.R. REMAIN (CONTRACTOR VERIFY SIZE AND DIRECTION)
- ◇ (E) 2X F.J. REMAIN (CONTRACTOR VERIFY SIZE AND DIRECTION)
- ◇ (N) 2X8 DF#2 R.R. @ 16" O.C.
- ◇ (N) 2X8 DF#2 C.J. @ 16" O.C.
- ◇ (N) 2X6 DF#2 F.J. @ 16" O.C.

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW /MENTIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.
2. THIS PROJECT ONLY INCLUDED NEW 1-STORY ADDITIONAL PART AT REAR OF EXISTING BUILDING DESIGN.
3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.
4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

SYMBOLS & LEGENDS

- ⊠ 4X4 COLUMN PER PLAN U.N.O.
- DETAIL NUMBER
- DETAIL SHEET NUMBER
- SPAN AND DIRECTION OF JOIST FRAMING MEMBER PER PLAN
- BEAM OR HEADER
- ↔ FLOOR JOIST/ ROOF RAFTER
- ↔ CEILING JOIST
- △ SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)
- ▬ (E)/(N) 2X WOOD STUD WALL PER ARCH PLAN

OWNER/SUBDIVIDER:
 JENNY QIAN
 2043 LARSEN CT.
 SANTA CLARA, CA 95051

**2043 LARSEN CT.,
 PROJECT ADDRESS
 2043 LARSEN CT.
 SANTA CLARA, CA 95051**

PLANS PREPARED BY:
 W.H CONSULTANT, INC.
 1000 CALIFORNIA AVENUE, SUITE 100, SAN JOSE, CA 95128
 4081 CALIFORNIA AVENUE, SUITE 100, SAN JOSE, CA 95128
 WWW.WHCONSULTANT.COM

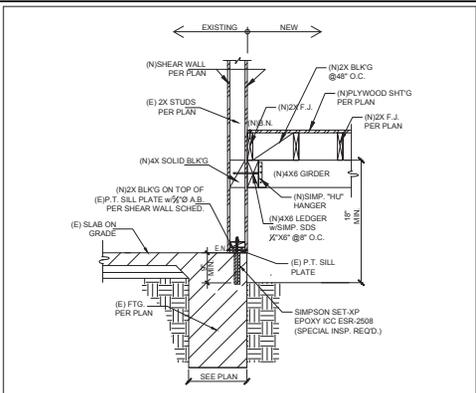


DESIGNER	JANFENG	DATE	
DRAWN BY	JANFENG	APPROVED BY	
CHECKED BY	JANFENG	DATE	
DATE		DATE	

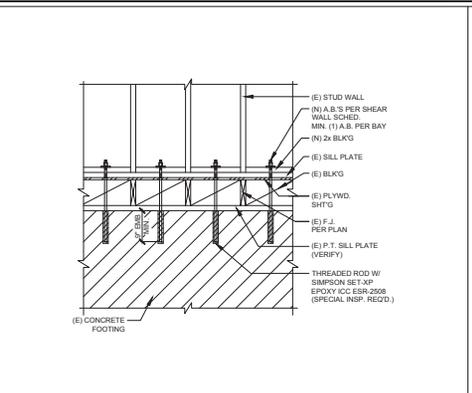
TITLE:
 ROOF FRAMING & FLOOR FRAMING PLAN

PROJECT NO.:
 21160

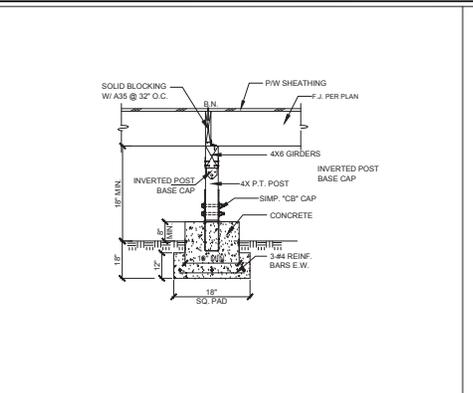
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 S-2



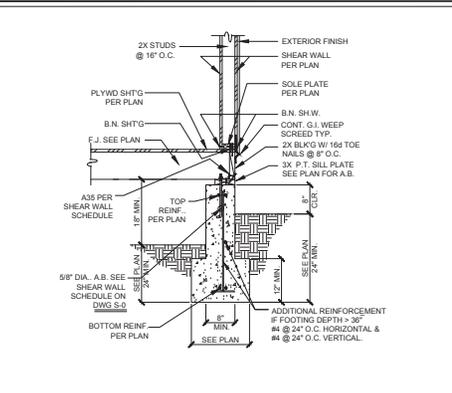
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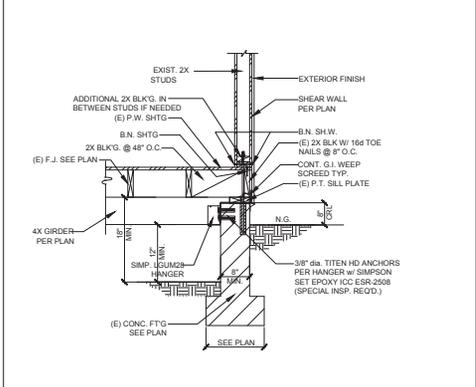
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N.T.S. TYPICAL NEW SHEAR WALL TO EXISTING CONCRETE FOOTING



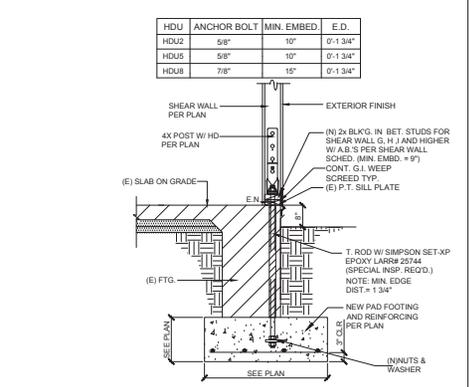
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N.T.S. TYPICAL PIER FOOTING



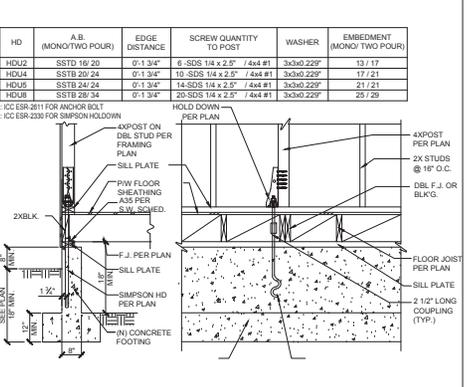
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N.T.S. PERPENDICULAR F.J. TO EXTERIOR FOOTING DETAIL



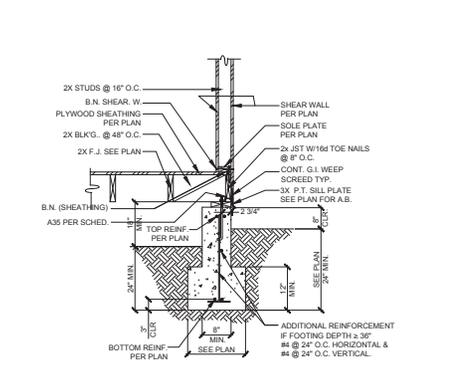
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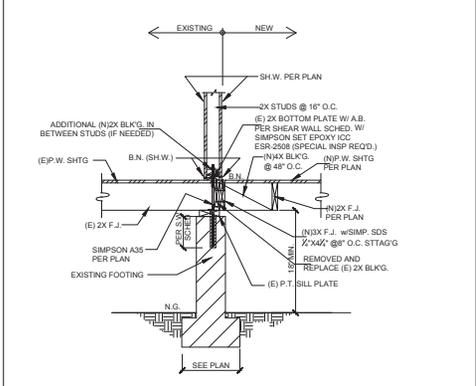
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N.T.S. PAD FOR POST W/HOLD-DOWN



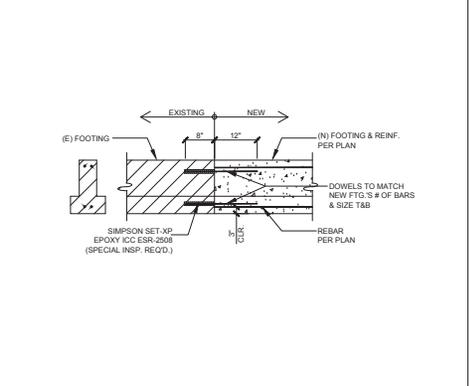
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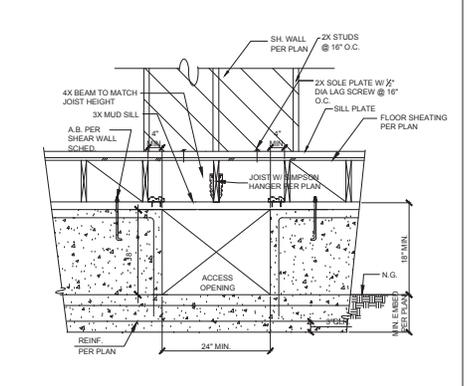
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N.T.S. PARALLEL F.J. TO EXTERIOR NEW FOOTING DETAIL



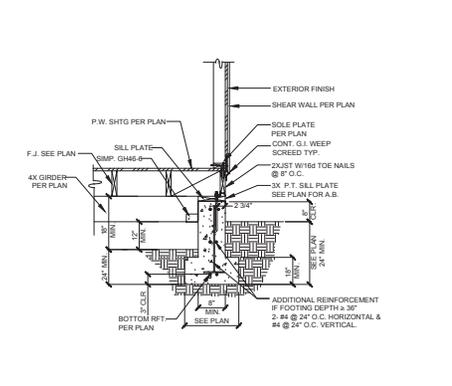
SCALE: 12
N.T.S. (N)F.J. TO (E)F.J. CONNECTION DETAIL



SCALE: 9
N.T.S. TYPICAL (N)CONCRETE FOOTING TO (E)CONCRETE FOOTING



SCALE: 6
N.T.S. TYPICAL OPENING ACCESS



SCALE: 3
N.T.S. TYPICAL GIRDER TO NEW CONCRETE FOOTING

OWNER/SUBDIVIDER:
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SANTA CLARA, CA 95051

2043 LARSEN CT.,
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2043 LARSEN CT.,
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WWW.WHCONSULTANT.COM

REGISTERED PROFESSIONAL ENGINEER
No. C88467
Exp. 03-31-22
CIVIL
STATE OF CALIFORNIA

DESIGNER	DRAWN	CHECKED	DATE
APPROVED BY	APPROVED BY	APPROVED BY	DATE

TITLE:
STRUCTURAL DETAILS

PROJECT NO.:
21160

SHEET NO.:
SD-1

OWNER/SUBDIVIDER:
JENNY QIAN
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SANTA CLARA, CA 95051

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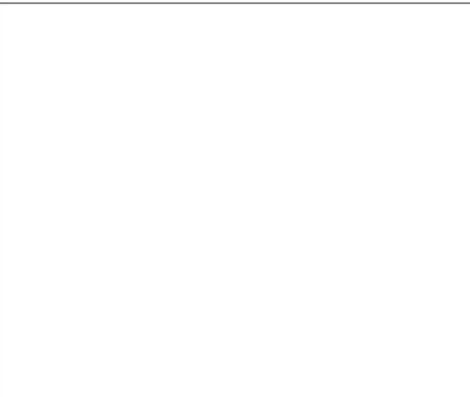


DESIGNER	JANFENG	DATE	
DRAWN	JANFENG	APPROVED BY	H.Y.
CHECKED BY	JANFENG	DATE	
REVISIONS	APPROVED BY	DATE	

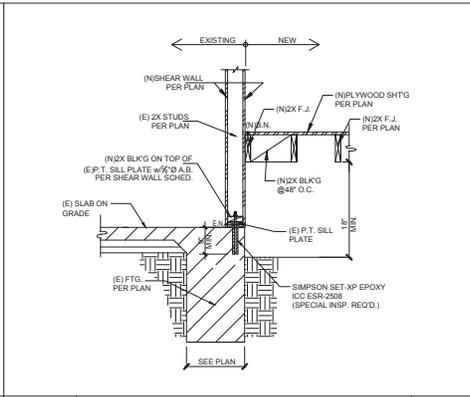
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STRUCTURAL DETAILS

PROJECT NO:
21160

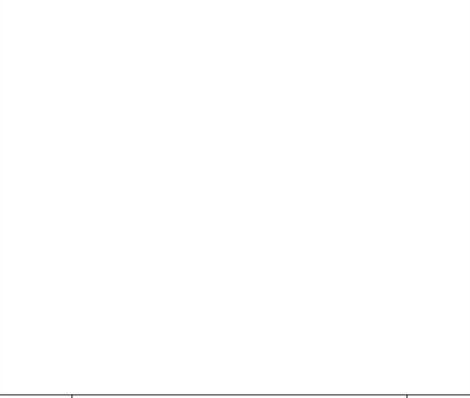
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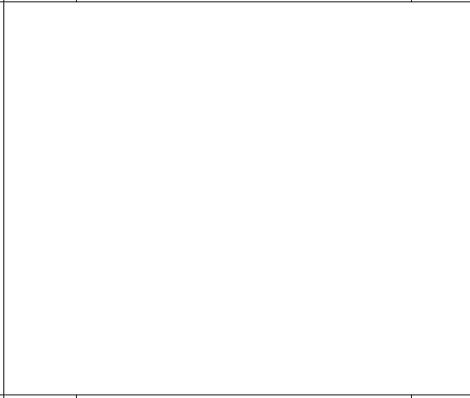
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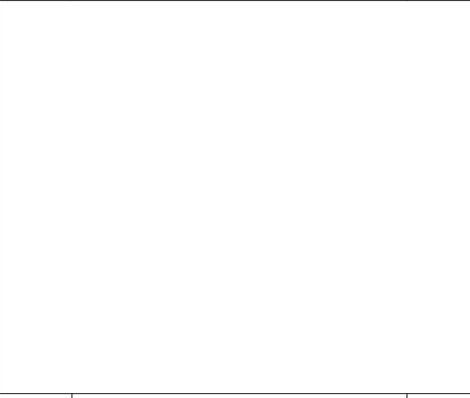
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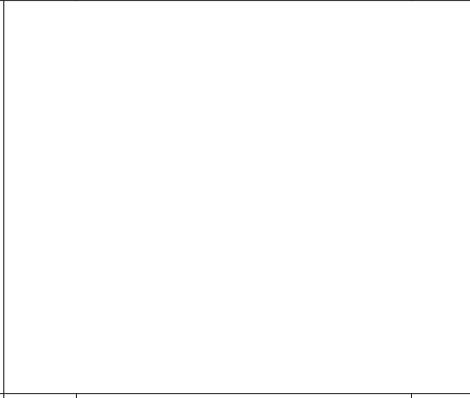
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SCALE: N.T.S. 5



SCALE: N.T.S. 11



SCALE: N.T.S. 2



SCALE: N.T.S. 12



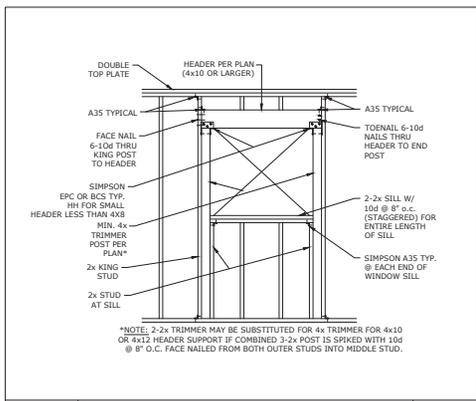
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H.D.	A. B. DIAMETER	EDGE DISTANCE	SCREW QUANTITY TO POST	WASHER	EMBEDMENT (MONOTWO POUR)
HDU8	5/8"	1.34	14 SDS 14 x 2.5" / 4x4 #1	3x3/4x22F	12"
HDU8	7/8"	1.34	25 SDS 14 x 2.5" / 4x4 #1	3x3/4x22F	15"
HDU11	1"	1.78	30 SDS 14 x 2.5" / 6x6 #1	3x3/4x22F	18"
HDU14	1"	1.78	36 SDS 14 x 2.5" / 6x6 #1	3x3/4x22F	24"

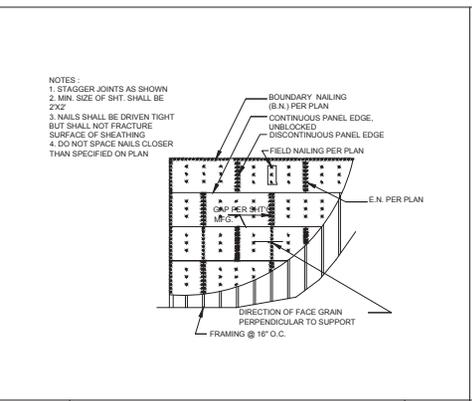
ICC ESR-2011 FOR ANCHOR BOLT
ICC ESR-2250 FOR SIMPSON HOLD-DOWN
EXPOST ON DBL STUD PER FRAMING PLAN
HOLD-DOWN PER PLAN
SILL PLATE PER PLAN
PW FLOOR SHEATHING
4X POST PER FRAMING PLAN
2X STUDS PER PLAN
BOLT HOLES PER HD PATTERN
DBL F.J. OR BJK.
SILL PLATE
PW SHEATHING
F.J. PER PLAN
SILL PLATE
F.J. PER PLAN
CONCRETE FOOTING
CONCRETE FOOTING
THREADED ROD W/ SIMPSON SET EPOXY LARR #2744 SPECIAL INSPECTION REQUIRED

HDU	BOLT Ø	EMBED.	E.D.
HDU2	Ø-0 5/8"	0'-10"	0'-1 7/8"
HDU5	Ø-0 5/8"	1'-0"	0'-1 7/8"
HDU8	Ø-0 7/8"	1'-3"	0'-2 1/2"
HDU11	Ø-1"	1'-6"	0'-2 1/2"
HDU14	Ø-1"	2'-0"	0'-2 1/2"

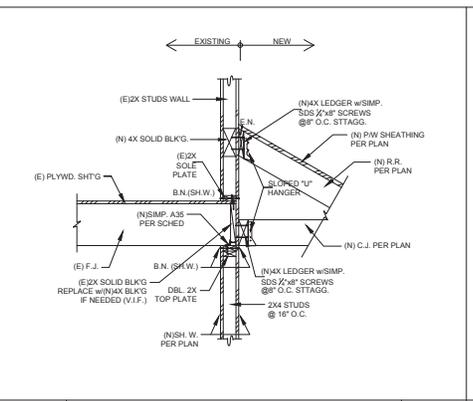
(N) HOLD-DOWN PER PLAN
(E) 2X STUDS PER PLAN
THREADED ROD W/ SIMPSON SET-XP EPOXY LARR #2744 (SPECIAL INSP. REQ'D.)
(E) CONCRETE FOUNDATION
4X POST PER FRAMING PLAN
(N) ANCHOR BOLTS PER S.W. SCHED.
W/ SIMP. SET EPOXY W/ SIMP. SET STUDS
(E) SILL PLATE
E.D. PER TABLE
SPECIAL INSPECTION IS REQUIRED



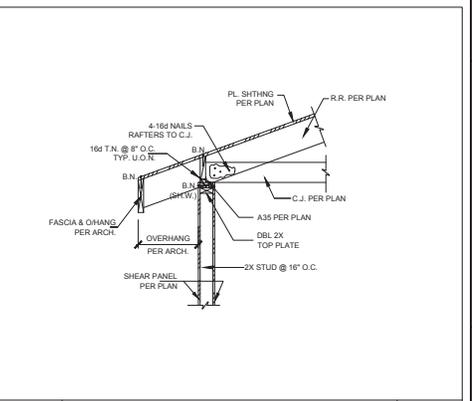
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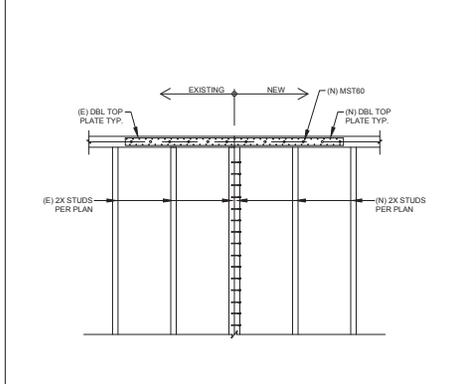
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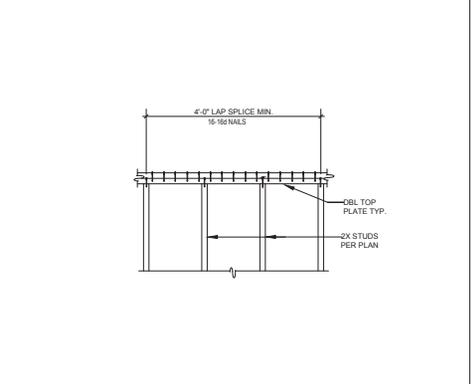
SCALE: N.T.S. (N)ROOF FRAMING TO (E)FLOOR CONNECTION DETAIL 4



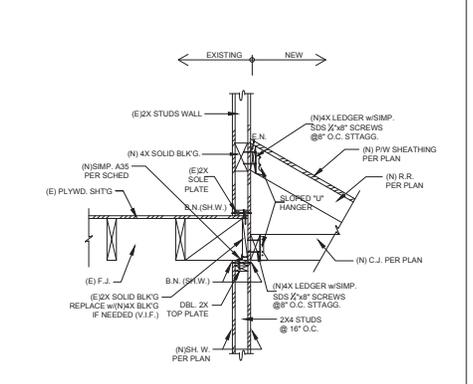
SCALE: N.T.S. ROOF RAFTERS PERPENDICULAR TO EXTERIOR SHEAR WALL DETAIL 1



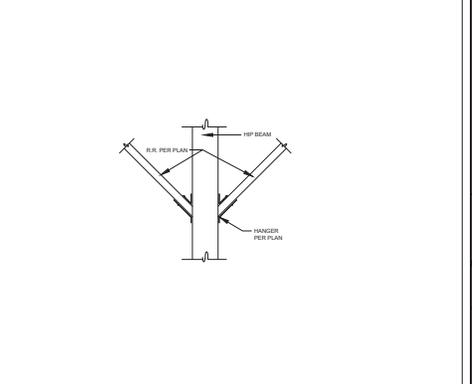
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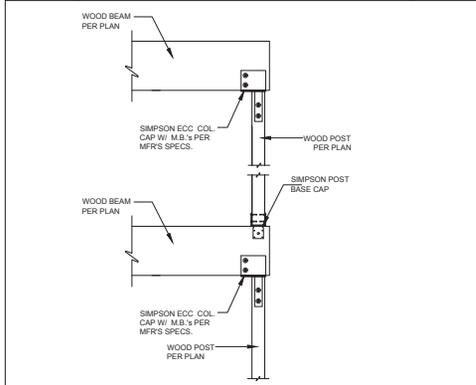
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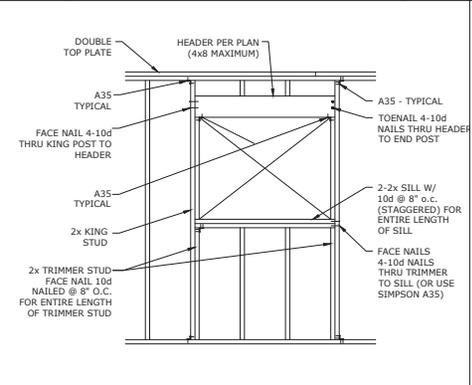
SCALE: N.T.S. (N)ROOF FRAMING TO (E)FLOOR CONNECTION DETAIL 5



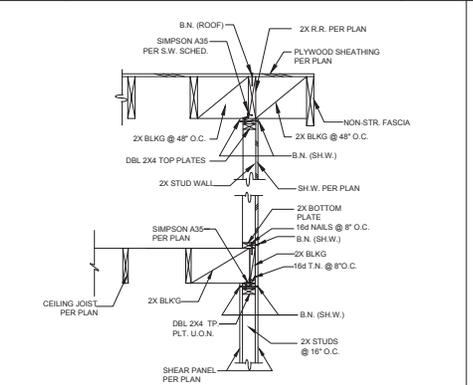
SCALE: N.T.S. ROOF RAFTER TO HIP BEAM CONNECTION DETAIL 2



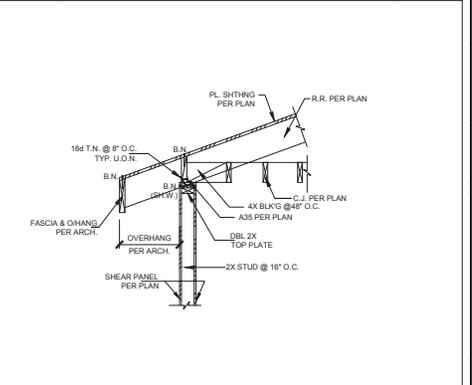
SCALE: N.T.S. DIFFERENT LEVEL OF BEAM TO POST CONNECTION DETAIL 12



SCALE: N.T.S. TYPICAL HEADER DETAIL (4x8 MAX.) 9



SCALE: N.T.S. ROOF RAFTERS PARALLEL TO EXTERIOR SHEAR WALL DETAIL 6



SCALE: N.T.S. ROOF RAFTERS PERPENDICULAR TO EXTERIOR SHEAR WALL DETAIL 3

OWNER/SUBDIVIDER:
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2043 LARSEN CT.,
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DESIGNER	JANFENG	DATE	
DESIGNED BY	JANFENG	DATE	
QUANTIFIED BY	JANFENG	DATE	
APPROVED BY		DATE	

TITLE:
STRUCTURAL DETAILS

PROJECT NO.:
21160

SHEET NO.:
SD-3

Attachment 2: Project Data**2043 Larsen Court**

Lot Size: 8,001 sq. ft.	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,123		1,123
Second Floor	647		647
Garage	416		416
ADU	n/a	781	781
Covered Patio	n/a		
Gross Floor Area	1,770		2,551
Lot Coverage	$1,1539/8,001 = 19.24\%$		$2,320/8,001 = 29\%$
F.A.R.	$1,1539/8,001 = .19$		$2,551/8,001 = 0.32$
Bedrooms/Baths	5/3		5/3
ADU Bedrooms/Baths	n/a		1/1
Flood Zone	X		X



Agenda Report

21-910

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on Architectural Review of a new 9,310 square-foot, single-story retail building including 12 outdoor seats at 4565 Stevens Creek Boulevard and 40 Woodhams Road

File No.(s): **PLN2020-14755**

Location: 4565 Stevens Creek Boulevard and 40 Woodhams Road, a 1.03-acre project site consisting of two parcels located at the northwest corner of Stevens Creek Boulevard and Woodhams Road, APNs: 296-21-029 and 296-21-030, project site is zoned Thoroughfare Commercial (CT).

Applicant: Andrew Whiting Architecture

Owner: Lisa Wong

Request: **Architectural Review** of the demolition of the remaining 6,190 square foot retail building destroyed by fire and a separate 2,660 square foot commercial office building on a 1.029 acre site, for the replacement construction of a new 9,310 square foot, single-story retail commercial building including 12 outdoor seats for China Delight Restaurant and other sitework including landscaping and 54 on site parking stalls.

Project Data - see Attachment 2 for full-sized table

	Existing	Proposed
General Plan Designation	Regional Commercial	Same
Zoning District	Thoroughfare Commercial (CT)	Same
Land Use	Commercial	Same
Lot Size	1.029 acres	Same
Commercial Square Footage (sf)	Approximately 8,850 sf (including remnant structure)	9,310 sf
Height	One-story	One-story at approximately 27-feet, 6-inches in overall height
Floor Area Ratio (FAR)	0.20	0.22
Parking	75	54
Bicycle Parking	N/A	6 bicycle parking spaces
Electrical Parking	N/A	4 electric vehicle spaces

Points for consideration

1. 500-foot neighborhood notice was distributed for this project review.
2. There are no active City Code enforcement cases for this property.
3. The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk

area.

The project would demolish all existing building, site paving and landscape improvements on two parcels that share common driveway access onto both Stevens Creek Boulevard and Woodhams Road, including remaining building foundation and basement improvements of a former 6,190 square foot building destroyed by fire in 2018. The proposal would construct a new 9,310 square foot, one-story retail commercial building toward the front of the lot at a 16-foot front yard building setback along Stevens Creek Boulevard, and an 11-foot street side yard building setback along Woodhams Road, with two driveways to be constructed on site in close proximity to the existing driveways. Fifty-four on site vehicle parking spaces are proposed in a rear parking lot along with on-site bicycle parking and four on site parking spaces dedicated for electric vehicle parking. The proposal includes outdoor seating for up to 12 seats along Woodhams Road, and also provides a 630 square foot outdoor patio area at the southeast corner of the building which may accommodate potential additional future outdoor seating. The project proposes a complete street treatment along Stevens Creek Boulevard including a new sidewalk separated by a nine foot street planter planted with new street trees and new VTA bus stop improvements including a new bus parking pad, bench and trash receptacle improvements. Larger 36-inch box sized sycamore trees would be planted in the planter strip that separates the sidewalk and the vertical curb along Stevens Creek Boulevard, and 36-inch box size Crape Myrtle Street trees are proposed to be planted behind the sidewalk along Woodhams Road over the proposed outdoor seating area. An 8-foot masonry wall would be constructed along the north property line bordering single family residential properties to the north, and a five-foot landscape planter planted with Carolina Cherry Laurel screening shrubs is also proposed as an additional measure to buffer the rear parking lot from adjoining residential properties to the north.

Overall proposed building height is 27-feet, 6-inches to the upper roof screen parapet, and 20-feet, 6-inches to primary building wall parapet. The proposed building would be clad primarily by cement plaster stucco siding and bronze aluminum-framed storefront glass and would be accented by composite wood siding and decorative wall light fixtures. The application also includes a conceptual sign program with proposed tenant wall signs of a brushed aluminum finish to be mounted along the upper wall parapets of the building.

The design and massing of the proposed development is consistent in scale with adjacent commercial and residential development and the City's Design Guidelines, and staff therefore supports the application subject to the conditions of approval attached at the end of this report.

Findings

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The development provides 54 on-site parking spaces and provide adequate circulation for vehicular access.

- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed project is Categorically Exempt from CEQA per section 15303 of the CEQA Guidelines and would not generate a significant increase vehicle miles traveled to the project site over the current office and previous retail development destroyed by fire. Further, the project development and use will be subject to conditions of approval designed to prevent and otherwise minimize affects associated with the construction and use of the proposed development on nearby residential and commercial properties.

- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The development is a one-story structure that is in scale with current development along Stevens Creek Boulevard and the adjoining single family residential neighborhood to the north.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The development is consistent with the City's overall vision for retail development and uses along the Stevens Creek Boulevard corridor and the site's Community Mixed Use designation.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The proposed design and form of the building is consistent with the City's Design Guidelines and General Plan policies.

ENVIRONMENTAL REVIEW

Categorically Exempt per CEQA Section 15303(c) - New Construction or Conversion of Small Structures

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

Planning Staff has received comments for this application from Santa Clara Valley Transportation Authority attached to this report, dated May 19, 2021, pertaining to maintenance and upgrades to the bus stop and transit access along the project site frontage which have been incorporated into the project design for this application.

A Community meeting was held by the developer on June 7, 2021 from 6:00 pm to 7:15 pm, at which seven community members participated. The participants questioned the developer on development plan details including the proposed building and trash enclosure setbacks from the north property line, proposed building construction measures to prevent future fires, proposed perimeter eight-foot masonry wall material along the north property line, proposed restaurant operating hours from 11:00 am to 9:00 pm, proposed on-site parking and construction management plan and dust control plans.

On October 21, 2021, a notice of public hearing of this item was posted 500 feet of the project site and mailed to property owners within 500 feet of the project site. At the time of this report preparation, no additional public comments were received.

RECOMMENDATION

Approve construction of a new 9,310 square-foot, single-story retail building including 12 outdoor seats at 4565 Stevens Creek Boulevard and 40 Woodhams Road, subject to conditions.

Prepared by: Jeff Schwilk, Associate Planner, Community Development Department
Approved by: Gloria Sciara, Development Review Officer, Community Development

ATTACHMENTS

1. Development Plans
2. Project Data
3. Correspondence
4. Conditions of Approval

CHINA DELIGHT RETAIL

4565 STEVENS CREEK BLVD, SANTA CLARA, CA 95051

A DEVELOPMENT FOR SAM AND LISA WONG



VIEW FROM STEVENS CREEK BLVD AND WOODHAMS ROAD INTERSECTION

PLANNING SET: PLN2020-14755
FOURTH ROUND PLAN CHECK COMMENTS
09/10/21

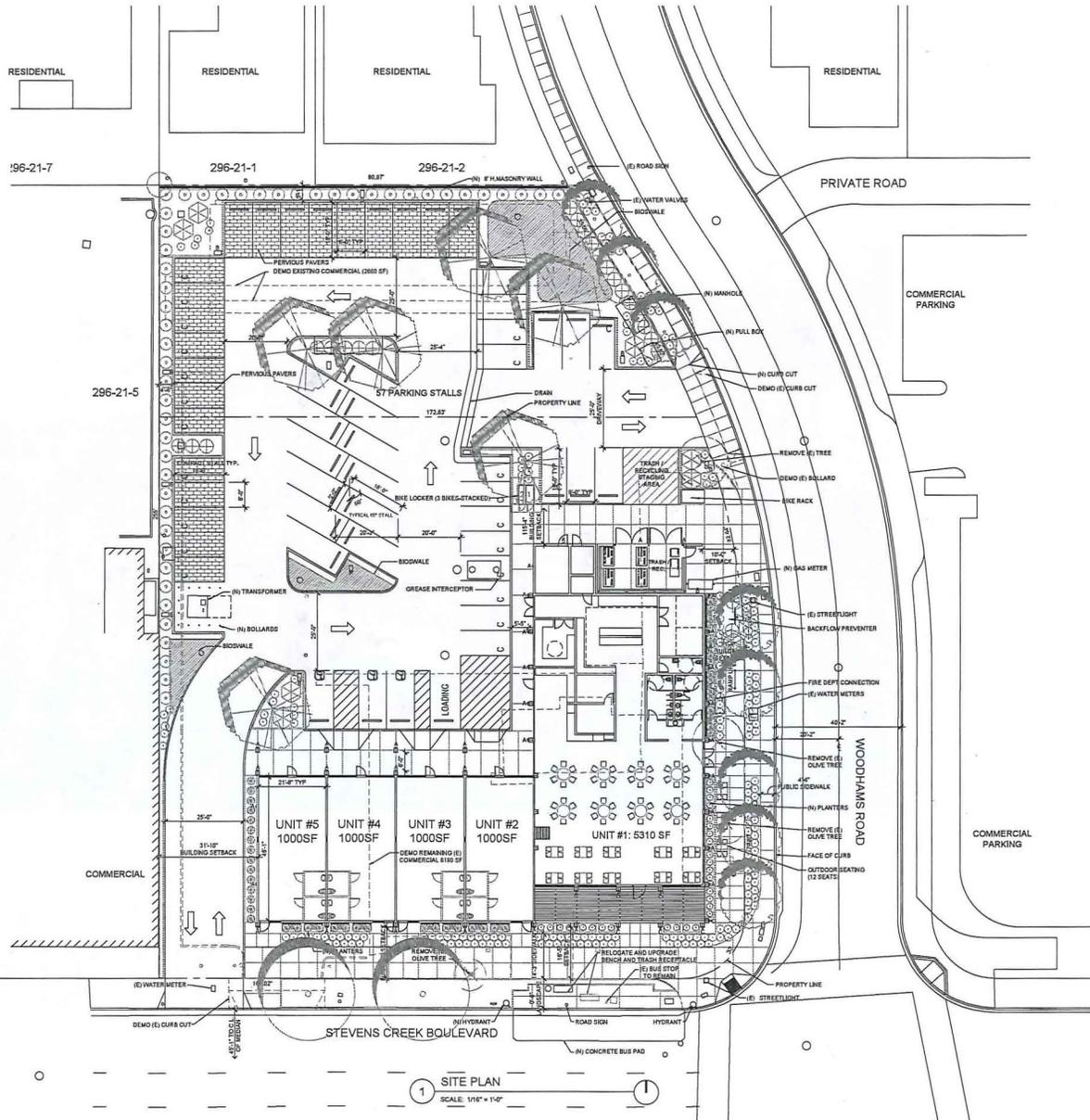
Bega pole light Type C



Bega pole light (Type B)



Bega wall luminaire (Type A)



1 SITE PLAN
SCALE: 1/8" = 1'-0"

SHEET NOTES

PROJECT DESCRIPTION
NEW CONSTRUCTION OF SINGLE STORY RETAIL SPACES INCLUDING A NEW RESTAURANT, "CHINA DELIGHT". NO BELOW GRADE CONSTRUCTION.

ADJ:
296-21-29, 296-21-30.

SITE AREA
0.261 ACRES PLUS 0.769 ACRES = 1.029 ACRES (44,823 SF)
PERCENTAGE OF LOT COVERAGE = 22%

AREAS
NEW BUILDING FOOTPRINT = 8,745 SF
PERCENTAGE OF LOT COVERAGE = 22%

NET AREA:
RESTAURANT (UNIT #1) = 5,310 SF
RESTAURANT PATIO = 430 SF
UNITS #2 THRU #5 (4 X 1000SF) = 4,000 SF
TOTAL PROPOSED NEW RETAIL SPACE = 9,740 SF

BUILDING HEIGHT
TOP OF PARAPET: 21'-4"
PARAPET HEIGHT SCREENING ROOFTOP EQUIP: 0'

RESTAURANT SEATING
• 88 SEATS INSIDE
• 12 SEATS EXTERIOR (WOODHAMS RD SIDEWALK)

PARKING
• 1 PARKING STALL REQUIRED PER 200SF OF RETAIL
• 1 PARKING STALL PER 3 RESTAURANT SEATS

RETAIL RESTAURANT = 4,000/200 = 20 RESTAURANT SEATS
54 STALLS TOTAL REQUIRED
54 STALLS TOTAL PROVIDED
(26 COMPACT, 28 STANDARD, INCL 3 ADA + 1 LOADING STALL)

EXISTING USE
1. DEMO FOUNDATIONS OF PREVIOUS RESTAURANT (BURNED DOWN JULY 2018, APPROX 6000SF)
2. DEMO EXISTING 2400 SF COMMERCIAL BUILDING

PROPOSED OCCUPANCY TYPE
A2 ASSEMBLY, RESTAURANT
B BUSINESS, 24 RETAIL UNITS

PROPOSED CONSTRUCTION TYPE
TYPE SA, PROTECTED STEEL COLUMN WITH PROTECTED OPEN WEB STEEL JOISTS

EVGA ACCESS
EMERGENCY VEHICLE ACCESS VIA STREET OR ORWAYWAY TO BE WITHIN 150' OF ALL EXTERIOR PORTIONS OF THE BUILDING

VICINITY MAP



CITY STAMP



ANDREW WRITING ARCHITECTURE
3115 Sweet Drive
Livermore, CA 94550
Phone: 415.822.8261
andrew@andrew.com

CHINA DELIGHT RETAIL
A PROJECT FOR SAM AND LISA WONG
4565 STEVENS CREEK, SANTA CLARA, CA 95051

- △ REVISIONS
- △ 1ST ROUND PLAN CHECK 4/21/21
- △ 2ND ROUND PLAN CHECK 6/21/21
- △ 3RD ROUND PLAN CHECK 8/15/21

SITE PLAN

Issue: 12.17.20

Job: SCB01

Sheet



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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SHEET NOTES

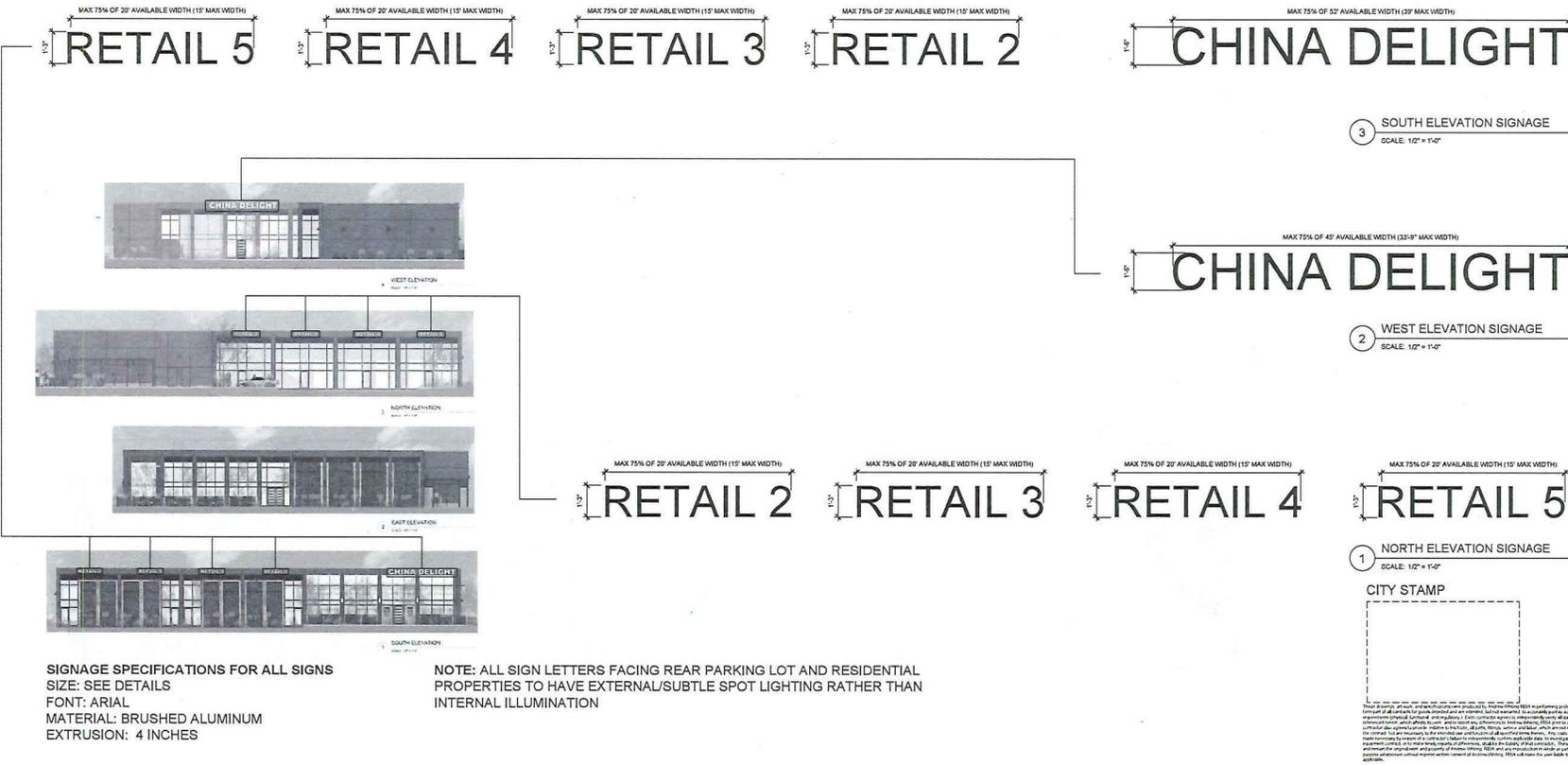
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2 2ND ROUND PLAN CHECK 6/2/21
3 3RD ROUND PLAN CHECK 9/18/21

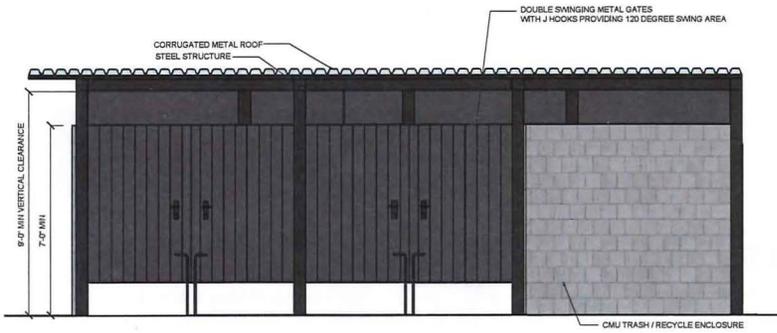
SIGNAGE

Issue: 12.17.20

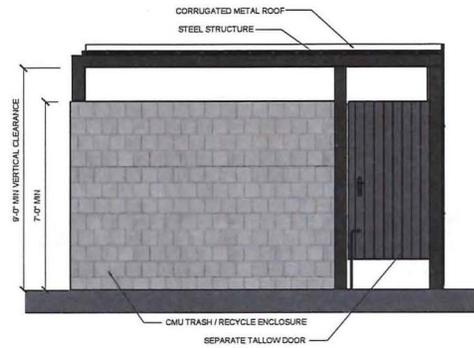
Job: SCB01

Sheet

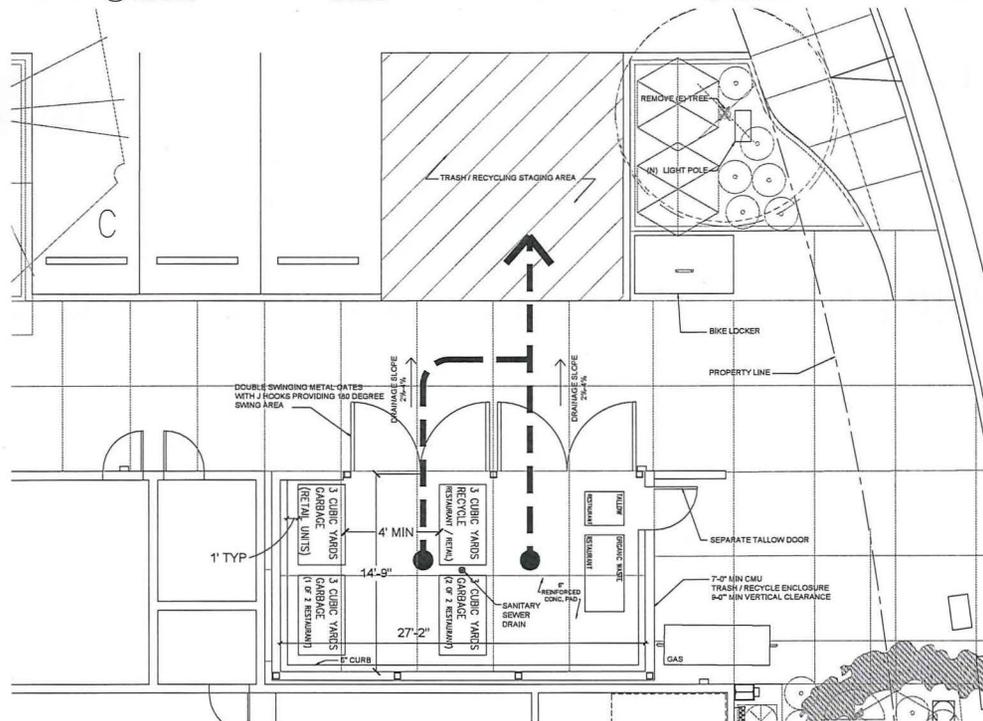




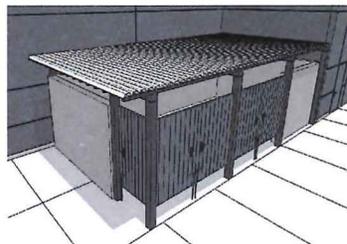
3 NORTH ELEVATION TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"
NORTH SIMILAR



2 EAST ELEVATION TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"
WEST SIMILAR



1 ENLARGED TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



4 3D RENDER
SCALE: NTS

SHEET NOTES

TRASH / RECYCLING PICK-UP DESCRIPTION
SIDE LOAD TRUCK PICK UP FROM WOODHAMS ROAD DRIVEWAY
ALL CONTAINERS WHEELED OUT BY SITE STAFF, TWICE A WEEK
TO STAGING AREA.
TRASH PICK-UP SCHEDULED FOR TWO TIMES PER WEEK

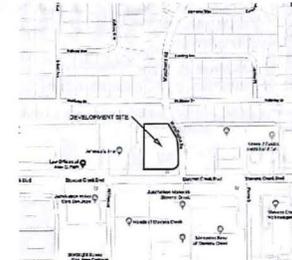
TRASH / RECYCLING COLLECTION CONTAINERS
REQUIREMENTS FOR RESTAURANT GARBAGE:
RESTAURANT REQUIRES 3 CUBIC YARDS PER 2000SF PER WEEK
RESTAURANT SIZE: 8316SF
7.97 CUBIC YARDS REQUIRED (4 CUBIC YARDS 8-WEEKLY)
6 CUBIC YARDS PROVIDED (2 CONTAINERS)

REQUIREMENTS FOR RETAIL GARBAGE:
RETAIL REQUIRES 3 CUBIC YARDS PER 8000SF
RETAIL SIZE: 1006SF 5'4" x 4000SF
1.5 CUBIC YARDS REQUIRED (75 CUBIC YARDS 8-WEEKLY)
3 CUBIC YARDS PROVIDED (1 CONTAINER)

REQUIREMENTS FOR RESTAURANT / RETAIL RECYCLING:
2.5 CUBIC YARDS 96 GALLONS X 5'S REQUIRED FOR ALL BUSINESSES
3 CUBIC YARDS PROVIDED FOR ALL BUSINESSES

ADDITIONAL:
3 CUBIC YARDS OF ORGANIC WASTE AND SEPARATE TALLOW
COLLECTION CONTAINERS PROVIDED

VICINITY MAP



CITY STAMP



CHINA DELIGHT RETAIL
A PROJECT FOR SAM AND LISA WONG
4565 STEVENS CREEK, SANTA CLARA, CA 95051

REVISIONS
1ST ROUND PLAN CHECK 4/27/21
2ND ROUND PLAN CHECK 6/21/21
3RD ROUND PLAN CHECK 8/19/21

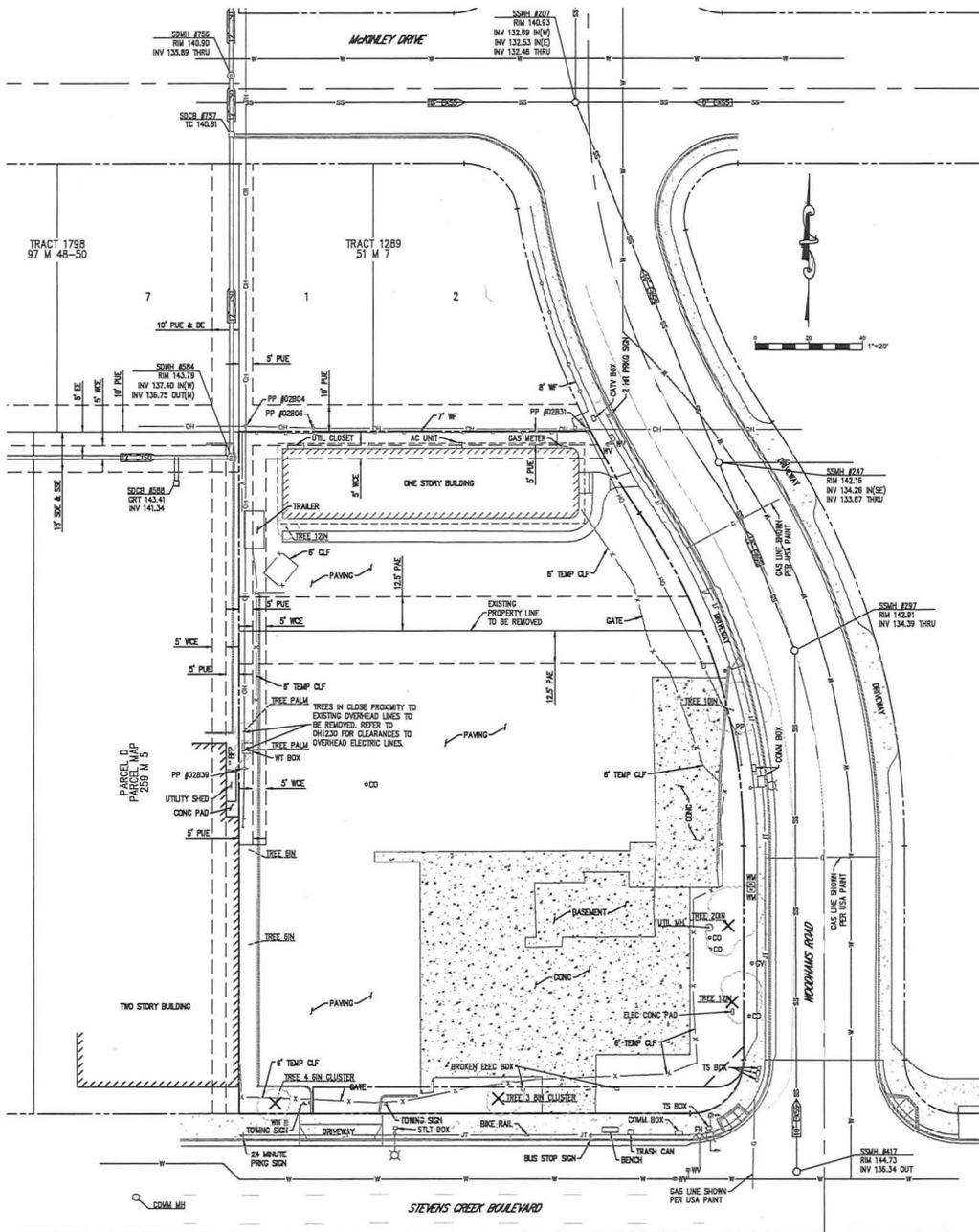
TRASH / RECYCLE
PICK-UP DIAGRAM

Issue: 12.17.20

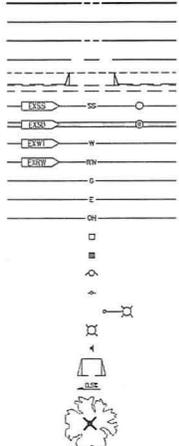
Job: 62801

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A4.3



LEGEND



- BOUNDARY
PROPERTY LINE
RIGHT OF WAY
CENTER LINE
CURB, CUTTER, SIDEWALK & DRIVEWAY
SANITARY SEWER PIPE & MANHOLE
STORM DRAIN PIPE & MANHOLE
WATER MAIN
RECYCLED WATER MAIN
GAS LINE
ELECTRIC LINE
OVERHEAD LINE
CURB INLET
FIELD INLET
FIRE HYDRANT
POWER POLE
ELECTRODER
MISSION BELL ELECTRODER
SIGN
ACCESS RAMP
DIRECTION OF FLOW & GRADIENT
EXISTING TREE TO BE REMOVED

ABBREVIATIONS

- AP ANGLE POINT
AC ASPHALT CONCRETE
APN ASSESSORS PARCEL NUMBER
BK BACK OF WALK
BFP BACK FLOW PREVENTOR
BLG BELLING
BLDG BUILDING
CB CATCH BASIN
CC CURB CUT/THRU CURB DRAIN
CL CENTERLINE
CLF CHAIN LINE FENCE
CO CLEANOUT
COP CONCRETE
COR CORNER
D/W DRIVEWAY
EP EDGE OF PAVEMENT
ELEC ELECTRICAL
ELECT ELECTRODER
ENCL ENCLOSURE
ENCR ENCRUSHING
EX EXISTING
FS FACE OF CURB
FEN FENCE
FL FLOWLINE
FDC FIRE DEPARTMENT CONNECTION
FH FIRE HYDRANT
GV GAS VALVE
GRT GRATE
H/C HANDICAP
INV INVERT
L/L LATERAL
MH MANHOLE
M MARKS
MON MONUMENT
OR OFFICIAL RECORDS
PAE PUBLIC ACCESS EASEMENT
PAGE PAGE
PIV POST INDICATOR VALVE
PP POWER POLE
PSSM PRIVATE SS MANHOLE
PSSCO PRIVATE SS CLEANOUT
PSSMH PRIVATE SS MANHOLE
PL PROPERTY LINE
PUE PUBLIC UTILITY EASEMENT
R/W RIGHT OF WAY
SAN SANITARY
S/S SANITARY SEWER
STD STANDARD
STM STORM
SD STORM DRAIN
STB STREET LIGHT BOX
TO TOP OF CURB
TO TOP OF WALK
VLT WATER
WB WATER BOX
WCE WIRE CLEARANCE EASEMENT
WM WATER METER
WV WATER VALVE
WD WOOD

Civil Engineers - Planners - Surveyors
2025 Gateway Plaza Suite 500
Santa Clara, CA 95051
T: (408) 451-1066



CHINA DELIGHT RETAIL
A PROJECT FOR LISA WONG
4656 STEVENS CREEK, SANTA CLARA, CA 95051

REVISIONS

EXISTING CONDITION PLAN

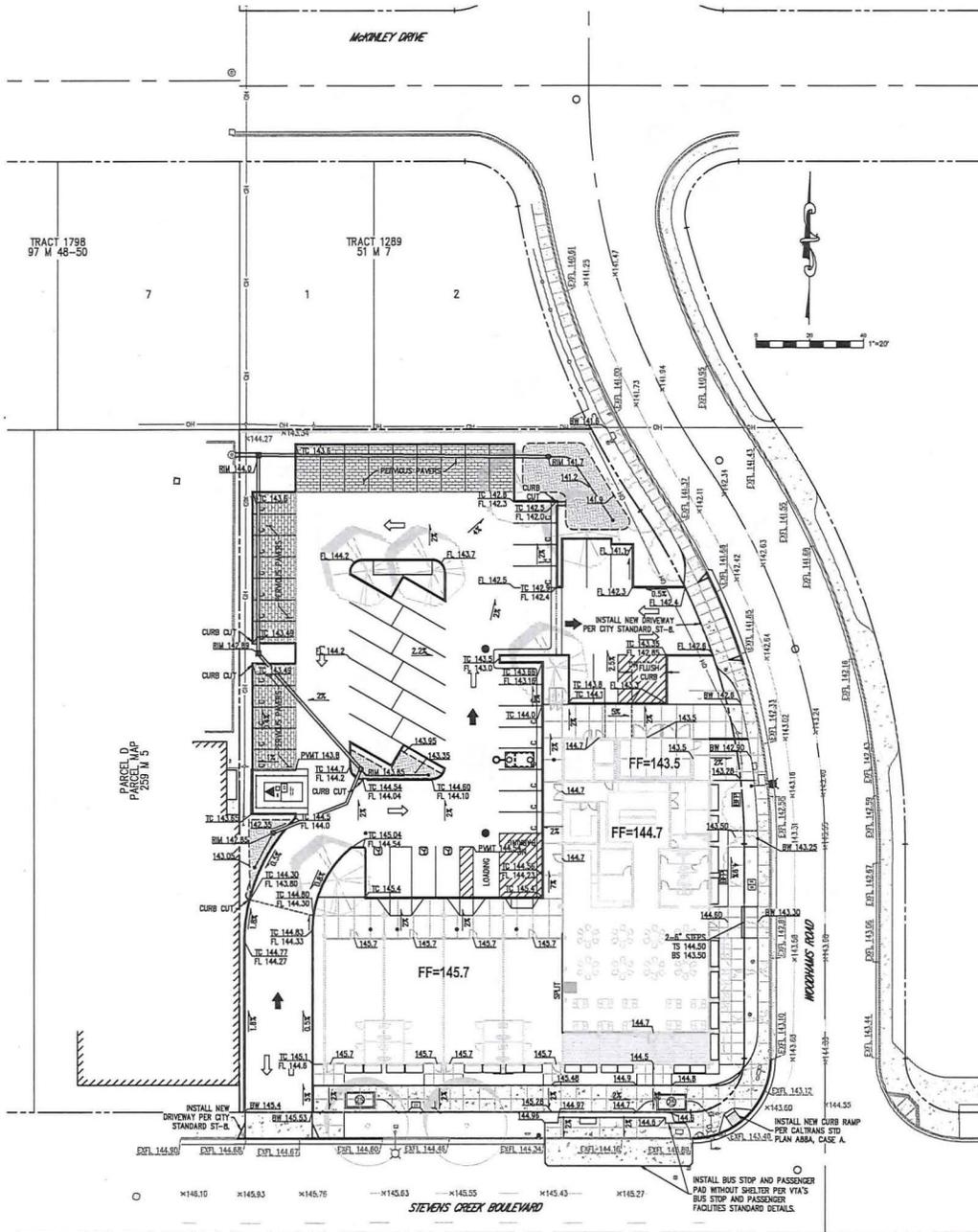
DATE: 6/21/2021

Job: 20-141

Sheet

C1

E:\PROJECTS\2021\0614 China Delight - Survey\PLAN\EXISTING CONDITION PLAN.dwg Sep 15, 2021



TO BE CONSTRUCTED	EXISTING	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		RIGHT OF WAY
		CENTER LINE
		EASEMENT LINE
		CURB, GUTTER, SIDEWALK & DRIVEWAY
		SANITARY SEWER PIPE & MANHOLE
		STORM DRAIN PIPE & MANHOLE
		WATER MAIN & VALVE
		RECYCLED WATER MAIN & VALVE
		OVERHEAD LINE
		CURB INLET
		FIELD INLET
		AREA DRAIN PIPE & AREA DRAIN
		FIRE HYDRANT
		WATER METER & AIR RELEASE VALVE
		POWER POLE
		ELECTROUSER
		SURVEY MONUMENT
		SIGN
		DIRECTION OF FLOW & GRADIENT
		DIRECTION OF FLOW
		CURB RAMP
		STORMWATER TREATMENT PLANTER
		UTILITY BOXES & VAULTS
		CURB TRANSITION

Civil Engineers - Planners - Surveyors
 2020 Gateway Plaza, Suite 500
 Irvine, CA 92618
 Tel: (949) 453-1000



CHINA DELIGHT RETAIL
 A PROJECT FOR LISA WONG
 4565 STEVENS CREEK, SANTA CLARA, CA 95051

REVISIONS

GRADING AND DRAINAGE PLAN

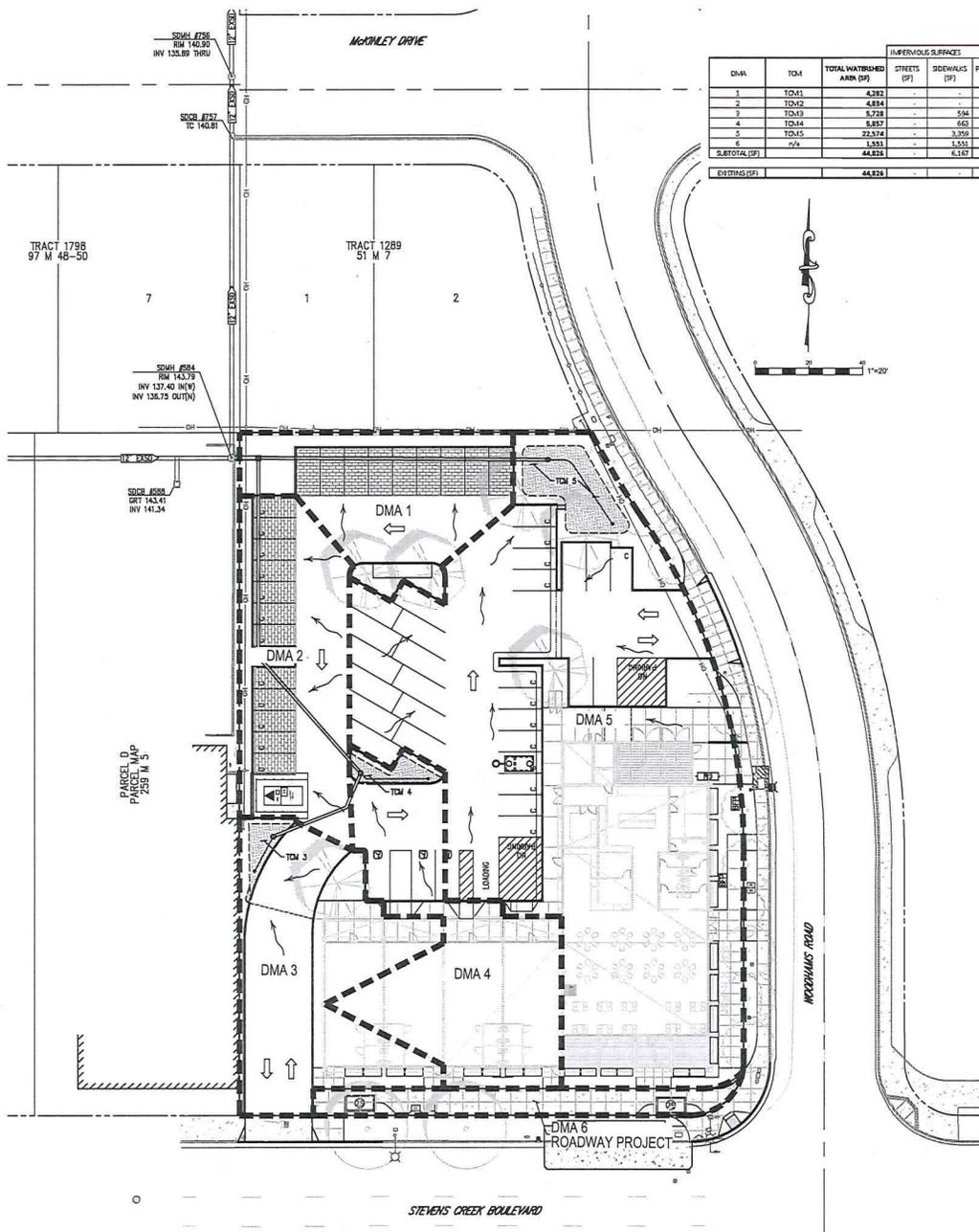
Issued: 6/21/2021

Job: 20-141

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STORMWATER TREATMENT SUMMARY TABLE

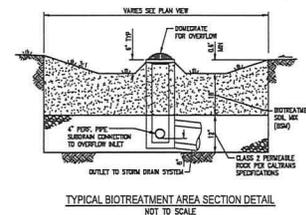
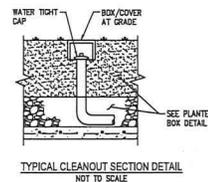
DMA	TCA	TOTAL WATERSHED AREA (SF)	IMPERVIOUS SURFACES				PERVIOUS SURFACES				TREATMENT MEASURES								
			STREETS (SF)	SIDEWALKS (SF)	PARKING LOTS (SF)	DRIVEWAYS/ DRIVEWAYS (SF)	BUILDINGS (SF)	TOTAL (SF)	STREETS (SF)	SIDEWALKS (SF)	PARKING LOTS (SF)	LANDSCAPE (SF)	TOTAL (SF)	PROPOSED TREATMENT	REQUIRED TREATMENT	POUNDING EXHIBIT	IMPERVIOUS TO PERVIOUS RATIO	CALCULATION METHOD	TREATMENT METHOD
1	TCA1	4,392	-	-	1,504	-	-	1,504	-	-	1,428	1,320	2,778	N/A	N/A	N/A	0.543	2.1 MGR	SELF-RETAINING
2	TCA2	4,894	-	-	2,570	-	-	2,570	-	-	1,535	779	2,284	N/A	N/A	N/A	1.143	2.1 MGR	SELF-RETAINING
3	TCA3	9,728	-	684	2,652	-	-	1,101	4,985	-	3,277	1,877	187	174	6"	3.163	4%	BIO-TREATMENT	
4	TCA4	5,857	-	663	1,443	-	-	3,072	5,178	-	-	679	679	25.0	207	6"	7.631	4%	BIO-TREATMENT
5	TCA5	22,574	-	3,359	9,965	-	-	5,956	18,280	-	-	3,784	3,296	850	771	6"	5.855	4%	BIO-TREATMENT
6	N/A	1,931	-	1,351	-	-	-	-	1,351	-	-	-	-	N/A	N/A	N/A	N/A	N/A	N/A
SUBTOTAL (SF)		44,824	-	6,167	15,134	-	-	10,133	34,454	-	-	7,399	16,392	-	1,207	1,132	-	-	-
EXISTING (SF)		44,824	-	-	25,184	-	-	25,761	58,845	-	-	-	5,661	5,881	-	-	-	-	-

SITE INFORMATION AND NOTES

- PROPERTY INFORMATION
4565 STEVENS CREEK BOULEVARD
SANTA CLARA, CALIFORNIA
- APH NUMBERS: 296-21-029, 030
- PROPOSED SITE AREA = 1,029 AC
- THE PROJECT IS NOT SUBJECT TO HYDROMODIFICATION REQUIREMENTS. THE PROJECT IS LOCATED WITHIN AN AREA THAT DRAINS TO A HARDENED CHANNEL AND/OR TOTAL AREA AS SHOWN ON THE HMP APPLICABILITY MAP FOR THE CITY OF SANTA CLARA. SITES WITHIN THESE AREAS ARE EXEMPT FROM HMP REQUIREMENTS.
- RETAINMENT SYSTEM FOR THE STORM WATER: CITY OF SANTA CLARA PUBLIC STORM DRAIN SYSTEM WHICH ULTIMATELY FEEDS TO SAN FRANCISCO BAY.

LEGEND

- BIOTREATMENT AREAS
- PERVIOUS PAVERS
- WATERSHED BOUNDARY



NOTE:
BIOTREATMENT SOIL MIX (BSM) SHALL CONFORM TO THE MUNICIPAL REGIONAL PERMIT REQUIREMENTS SET FORTH IN PROVISION C.3.e.(1)(b)(v)

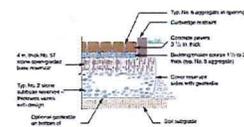
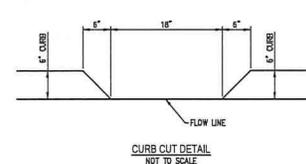
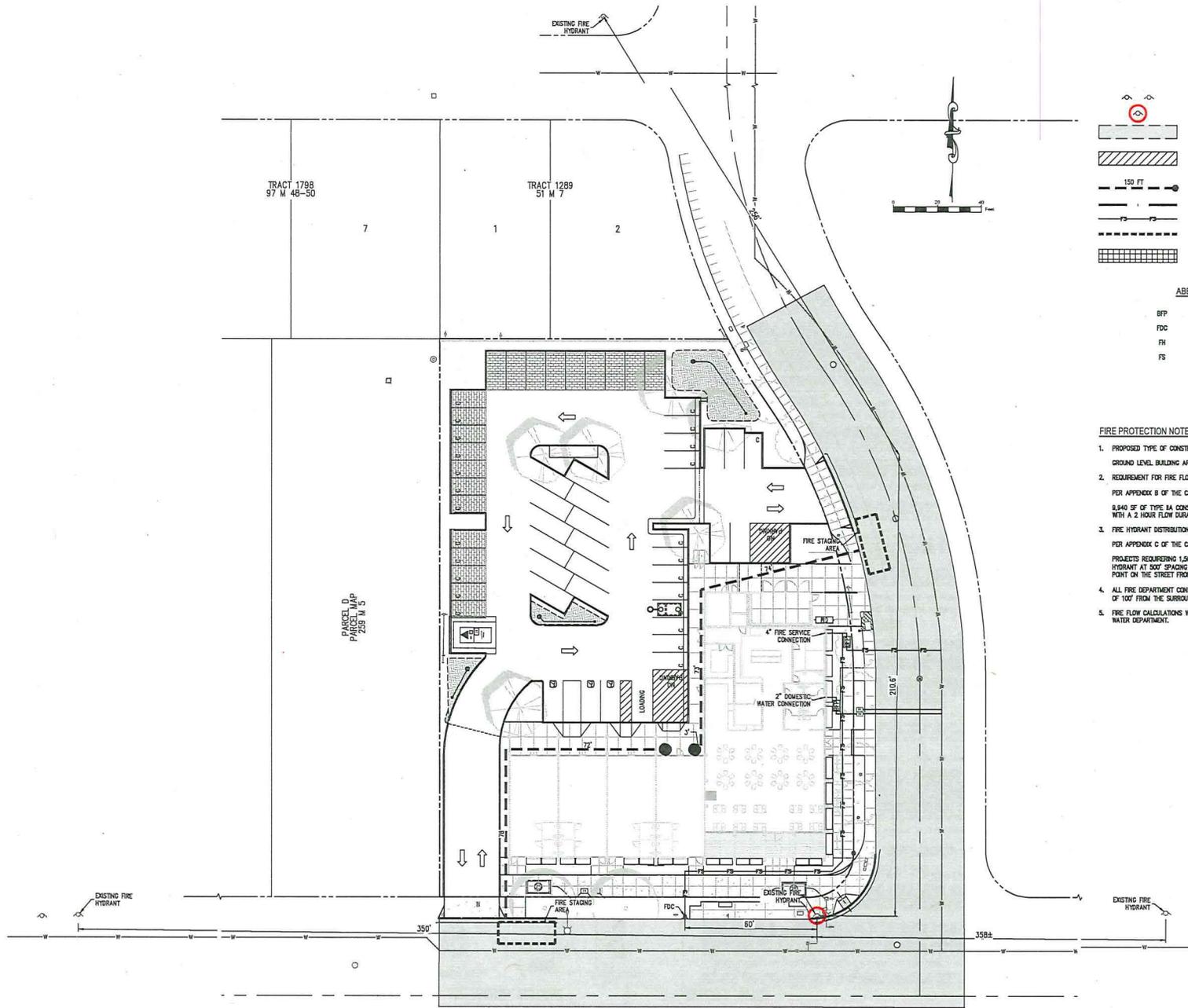


Figure 6-37. Typical Permeable Interlocking Concrete Pavement
Note: ASTM No. 20-4 stone may be substituted for No. 2 stone.
Note: ASTM No. 20-4 stone may be used in the lower openings.
(Source: Interlocking Concrete Pavement Institute)





LEGEND

- FIRE HYDRANT (PROPOSED AND EXISTING)
- FIRE HYDRANT USED FOR FIRE PROTECTION STRATEGY
- EMERGENCY VEHICLE ACCESS WITHIN PUBLIC RIGHT OF WAY
- DENOTES BLDG AREA NOT REACHABLE BY HOSE WRAP (BUILDINGS PROPOSED TO BE PROTECTED BY ALTERNATE MEANS AND METHODS)
- DENOTES THE REACH (150' MAX.) OF HOSE FROM HYDRANT OR FACE OF CURB
- EMERGENCY VEHICLE ACCESS SETBACK
- FIRE SERVICE LINE
- FIRE STAGING AREA
- AERIAL APPARATUS ACCESS

ABBREVIATIONS

- BFP BACKFLOW PREVENTER
- FDC FIRE DOMESTIC CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE

FIRE PROTECTION NOTES:

1. PROPOSED TYPE OF CONSTRUCTION: TYPE IA - SINGLE STORY
GROUND LEVEL BUILDING AREA: 9,210 SF
2. REQUIREMENT FOR FIRE FLOW:
PER APPENDIX B OF THE CALIFORNIA FIRE CODE, TABLE B105.1(2):
9,840 SF OF TYPE IA CONSTRUCTION = 1,500 GPM REQUIRED FIRE FLOW WITH A 2 HOUR FLOW DURATION
3. FIRE HYDRANT DISTRIBUTION REQUIREMENT:
PER APPENDIX C OF THE CALIFORNIA FIRE CODE, TABLE C102.1:
PROJECTS REQUIRING 1,500 GPM WILL REQUIRE A MINIMUM OF 1 FIRE HYDRANT AT 500' SPACING WITH A MAXIMUM DISTANCE OF 250' FROM ANY POINT ON THE STREET FRONTAGE TO THE HYDRANT.
4. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE LOCATED A MAXIMUM OF 100' FROM THE SURROUNDING FIRE HYDRANT.
5. FIRE FLOW CALCULATIONS WILL BE PROVIDED BY THE CITY OF SANTA CLARA WATER DEPARTMENT.

R:\PROJECTS\2020\10141 China Delight - Shopping\PLANS\CDR FIRE PROTECTION PLAN.dwg Sep 15, 2020

UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

-PRELIMINARY-
NOT FOR CONSTRUCTION

THIS IS NOT A BID DOCUMENT
THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

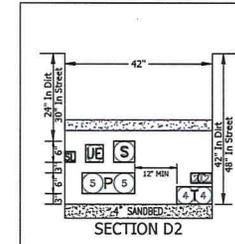
NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

LEGEND:

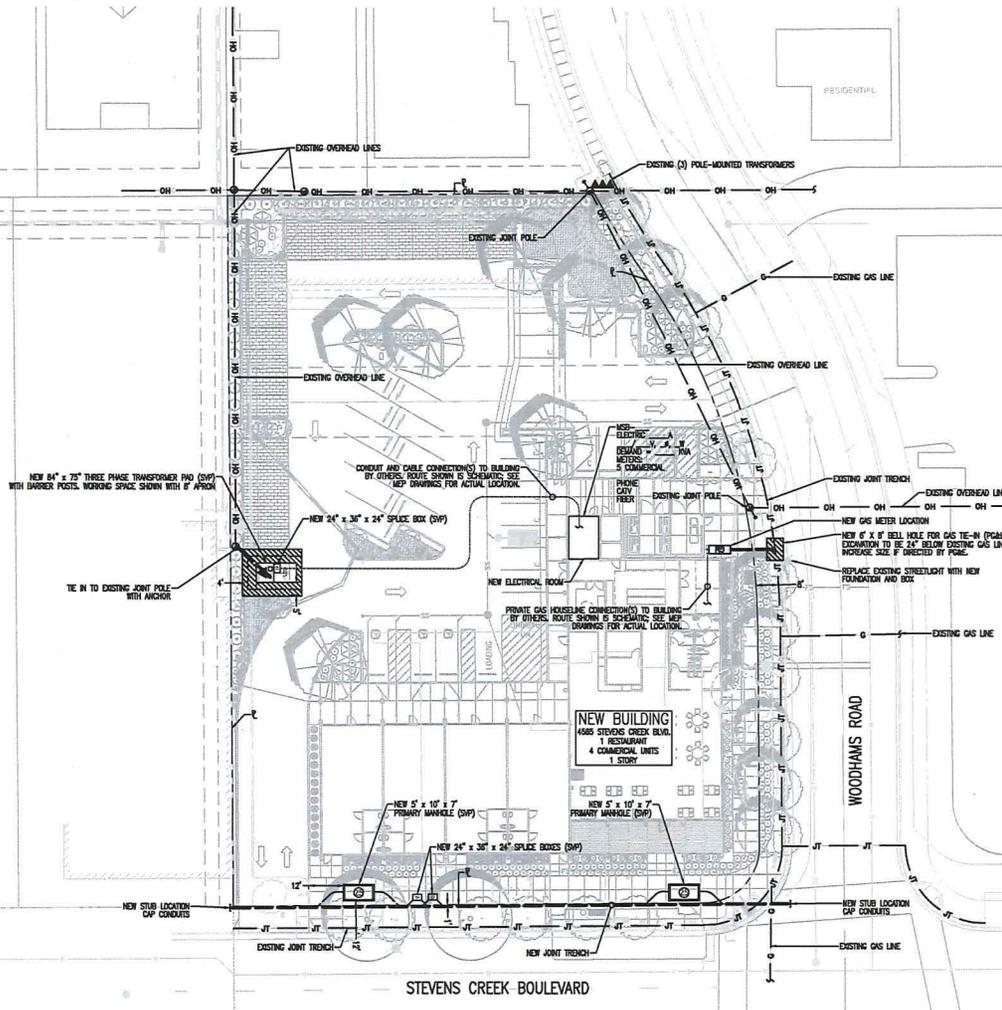
NEW	DESCRIPTION
	JOINT TRENCH
	84" x 75" THREE PHASE TRANSFORMER PAD (SWP) WITH BARRIER FOSTS. WORKING SPACE SHOWN WITH 6" APRON
	GAS METER LOCATION
	5' x 10' x 7' PRIMARY MANHOLE (SWP) FULL TRAFFIC RATED
	4' x 6' x 6'-6" PRIMARY PULLBOX (SWP)
	24" x 36" x 24" SPLICE BOX (SWP)

EXISTING	DESCRIPTION
	JOINT TRENCH
	OVERHEAD LINE
	POLE-MOUNTED TRANSFORMER
	JOINT POLE
	GAS LINE

LEGEND NTS



STANDARD TRENCH SECTION
SCALE: 3/4" = 1'



NOTE TO DEVELOPER: POthOLE NEW VAULT LOCATIONS TO
CONFIRM ACTUAL LOCATION OF EXISTING UNDERGROUND
UTILITIES PRIOR TO START OF TRENCHING WORK.

NOTE TO CONTRACTOR:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND
VAULTS. DEVELOPER TO PROVIDE TRENCH.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A
LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE
SHEET (JT-1) REGARDING EXISTING CONDITIONS.



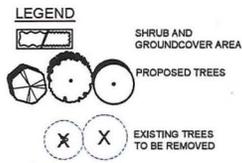
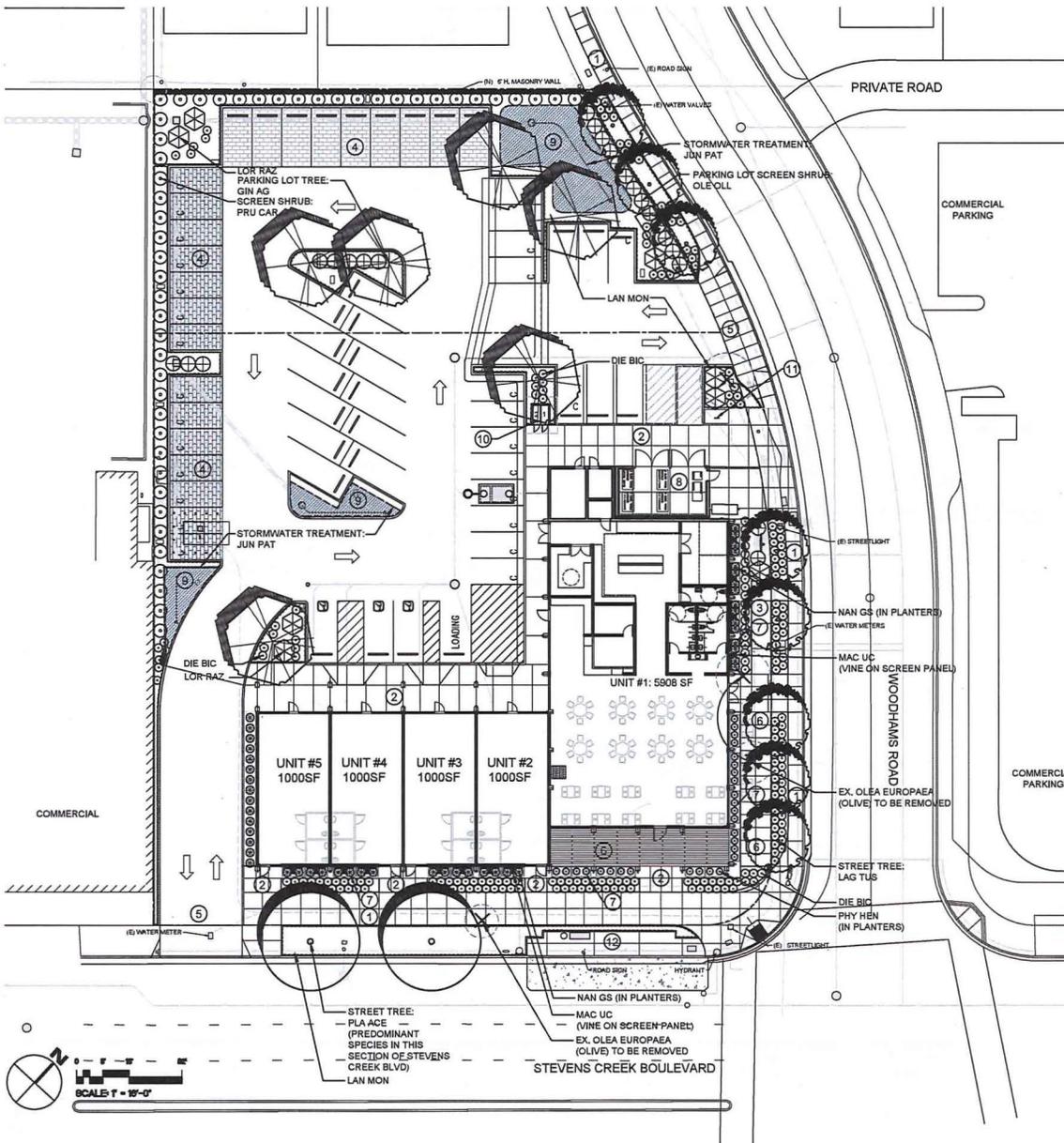
SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH INTENT



DATE:	
REVISION:	
DATE/NAME:	
JOINT TRENCH INTENT CHINA DELIGHT INTENT LISA WONG	
SANTA CLARA CALIFORNIA	
RADIUS DESIGN UTILITY DESIGN CONSULTANTS & ENGINEERS 1600 BARKER LANE, SUITE 200 SAN JOSE, CA 95131	
PROJECT NUMBER:	21-1125
SCALE:	1" = 20'
PROJECT PROVIDED BY:	MICHAEL COLE
DRAWN BY:	MICHAEL ELI
CHECKED BY:	MICHAEL COLE
DATE DRAWN:	09-09-2021
DRAWING PURPOSE:	JT-2
SHEET:	2 of 2

DRAWING NAME: \\radius\proj\21-1125-1125-005.dwg
 DATE PLOTTED: 9/21/2021 10:25:25 AM
 PLOTTED BY: MICHAEL ELI



- KEY NOTES**
- PROPOSED CONCRETE CITY SIDEWALK
 - PROPOSED CONCRETE PAVING
 - PEDESTRIAN RAMP
 - PERMEABLE PAVERS
 - DRIVEWAY
 - OUTDOOR SEATING AREA
 - PLANTERS
 - TRASH/RECYCLING-SEE ARCH. DWGS
 - STORMWATER TREATMENT AREA-SEE CIVIL ENG DWGS
 - CLASS ONE BIKE STORAGE (LOCKERS FOR 3 BIKES-2 UNITS STACKED)
 - CLASS TWO BIKE STORAGE (RACK FOR 3 BIKES)
 - TRANSIT STOP

- NOTES**
- FOR STORMWATER TREATMENT FACILITIES REFER TO CIVIL PLANS
 - CLEARANCES FROM UTILITY LINES
 10' SEWERS
 5' ELECTRICITY/GAS
 5' DOMESTIC WATER/RECYCLED WATER (WITH ROOT BARRIER)
 10' DOMESTIC WATER/RECYCLED WATER (WITHOUT ROOT BARRIER)
 - ROOT BARRIERS PER CITY OF SANTA CLARA WILL BE USED WHEN THE DRIP LINE OF THE CANOPY AT MATURITY COVERS THE SIDEWALK. ROOT BARRIERS SHALL BE 12 FEET LONG OR EXTEND TO THE DRIP LINE OF THE MATURE TREE, WHICHEVER IS GREATER, AND BE 2.0 FEET DEEP, AND CENTERED ON TREES. ROOT BARRIERS FOR CURB AND GUTTER PROTECTION SHALL BE 12 FEET LONG OR EXTEND TO DRIP LINE OF THE MATURE TREE, WHICHEVER IS GREATER, AND BE 2 FEET DEEP, AND CENTERED ON TREES.
 - I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.
 - SEE SHEET L-2: IRRIGATION HYDROZONE PLAN FOR CONCEPTUAL IRRIGATION APPROACH, IRRIGATION STANDARDS, AND WATER USE.



PLANT LIST

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	MISC. NOTES & REQUIREMENTS
TREES				
GRN AG	<i>Gleditsia triacanthos</i>	Australian Gled	24" Box	Main stems only not barriers
LAG TU	<i>Lagotis tinctoria</i>	Orange Myrtle Tree	30" Box	SLINK for Matched root barriers
PLA OIL	<i>Platanus americana</i>	London Plane Tree	30" Box	SLINK for Matched root barriers
SHRUBS				
DIE BIC	<i>Desfontainia</i>	Fortnight Lily	1 G.C.	F & B Br Gr
LOR RAZ	<i>Lonicera chrysantha</i>	Waxbloom	5 G.C.	F & B Br Gr
NAN GS	<i>Nandina domestica</i>	Heavenly Bamboo	1 G.C.	F & B Br Gr
OLE OLL	<i>Olea europaea</i>	Olive Tree (Shrub)	5 G.C.	F & B Br Gr
PHY HEN	<i>Phytolacca aggra</i>	Black Bamboo	5 G.C.	F & B Br Gr
PRU CAR	<i>Prunella caroliniana</i>	Carolina Cherry Laurel	5 G.C.	F & B Br Gr
GROUNDCOVERS				
LAN MON	<i>Lantana montevidensis</i>	Trailing Lantana	1 G.C.	Plant at 2'x2' o.c.
VINES				
MAC UP	<i>Mandevilla sargenti-cala</i>	Cath's Claw Creeper	5 G.C.	
EDGE: STORMWATER TREATMENT				
COV 101	<i>Cortaderia jubata</i>	Colombia Grass	1 G.C.	Plant at 15' o.c.

PLANT LIST ABBREVIATIONS:

Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery orders.

SL: Single main, straight, summit, leader
 H: Br: High branches—bowed limbs, bend above rootball 5' min. for 15 gallon can 6' min. for 24" box trees
 No Top: No topping or pruning of upper branches
 Br: Gr: Branched to ground
 F & B: Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no ornamental plants.
 Match: Matched size, form, color, branching and culture. Select from one lot, one grower, for guaranteed consistency through life of plants.
 In general plants within a group or area are to be matched, unless noted otherwise.
 G.C.: Common Name
 N.C.N.: No Common Name
 O.C.: On Order

CHINA DELIGHT RETAIL

4555 Stevens Creek
 Santa Clara, CA
 95051

Taniguchi Landscape Architecture
 1013 South Claremont St., Ste 1
 San Mateo, CA 94402
 V 650.638.9985 | F 650.638.9986
 C.L.A.#2942



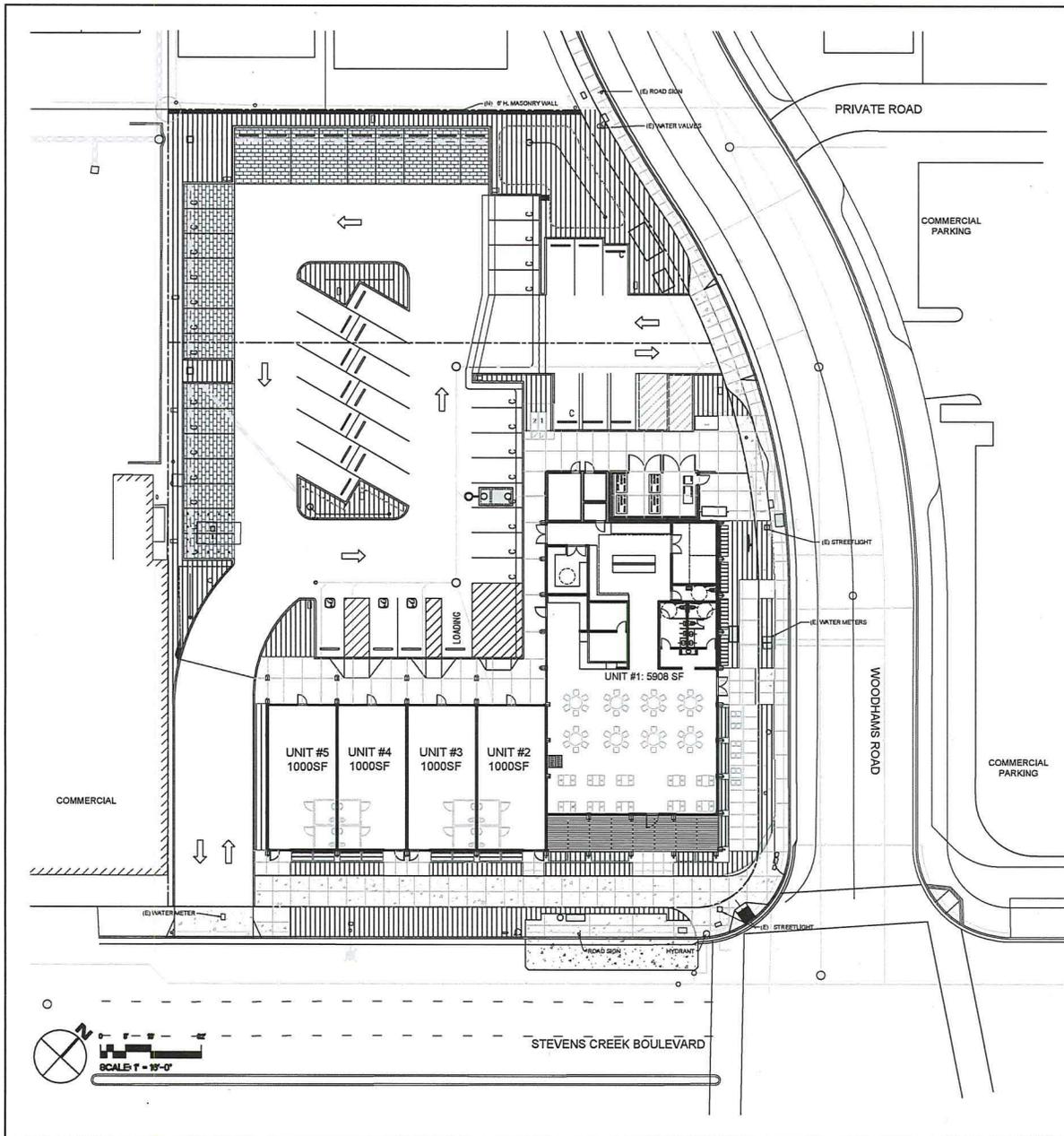
DATE	DESCRIPTION	BY
07/15/21	ISSUED FOR PERMITS	TD
07/15/21	ISSUED FOR PERMITS	TD
07/15/21	ISSUED FOR PERMITS	TD

SCALE: 1" = 30'-0"

PROJECT NUMBER: 15-001-001

SHEET TITLE: SCHEMATIC LANDSCAPE PLAN

SHEET NO.: L-1



CONCEPTUAL IRRIGATION STATEMENT

- 1 Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials, 2) groundcovers, and 3) native and water conserving plant materials.
- 2 Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- 3 Part shade areas include moderate water use areas having morning and/or afternoon shade.
- 4 Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide most conditions.
- 5 Layout shall be designed for minimum runoff and overspray onto non-landscaped areas.
- 6 Low volume spreaders shall be used wherever possible with head to head coverage.
- 7 Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- 8 Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- 9 The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- 10 Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

STANDARDS FOR IRRIGATION EQUIPMENT

- 1 Mainlines shall be 1120 pro-schedule 40 for pipe size 1 1/2" and smaller, 1120 pro-class 315 for pipe sizes 2" and 2 1/2", ball and ring pro-class 160 for pipe sizes 3" and larger.
- 2 Lateral lines shall be 1120 pro-class 200.
- 3 Depth of mainline: 24" of cover
Depth of lateral line: 18" of cover
Depth of pipe under paving: 24" of cover encased in a sleeve
- 4 Backflow preventer shall be a type approved by and installed per local codes.
- 5 Sprinklers shall have matched precipitation rates within each control valve circuit.
- 6 Precipitation rates for sprinklers shall match soil absorption rates.
- 7 Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- 8 Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- 9 Rain sensing override devices shall be installed with controller.

HYDROZONE LEGEND

- LOW WATER USE: 7,864 SF (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- MEDIUM WATER USE: 256 SF (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- HIGH WATER USE: 0 SF (NO AREAS)

NOTES:

1. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

CHINA DELIGHT RETAIL

4565 Stevens Creek
Santa Clara, CA
95051

Taniguchi Landscape Architecture
1013 South Claremont St., Ste 1
San Mateo, CA, 94402
V 650.638.9885 | F 650.638.9886
CLA #2842



DATE	DESCRIPTION	BY
11/11/2021	ISSUE FOR PERMIT	DT
11/11/2021	REVISED PERMIT	DT
11/11/2021	REVISED PERMIT	DT
11/11/2021	REVISED PERMIT	DT

SCALE: 1" = 10'-0"
PROJECT NUMBER: TLA-2021-02
SHEET TITLE:

IRRIGATION HYDROZONE PLAN

SHEET NO. **L-2**

Project Data - 4565 Stevens Creek Boulevard and 40 Woodhams Road

	Existing	Proposed
General Plan Designation	Regional Commercial	Same
Zoning District	Thoroughfare Commercial (CT)	Same
Land Use	Commercial	Same
Lot Size	1.029 acres	Same
Commercial Square Footage (sf)	Approximately 8,850 sf (including of remnant structure)	9,310 sf
Height	One-story	One-story at approximately 21-feet, 6-inches in overall height
Floor Area Ratio (FAR)	0.20	0.22
Parking	N/A	54
Bicycle Parking	N/A	6 bicycle parking spaces
Electrical Parking	N/A	4 electric vehicle spaces

From: Pearse, Brent <Brent.Pearse@vta.org>
Sent: Wednesday, May 19, 2021 3:59 PM
To: Jeff Schwilk <JSchwilk@santaclaraca.gov>
Cc: Jonathan Yee <JYee@Santaclaraca.gov>; Allie Jackman <AJackman@SantaClaraCA.gov>
Subject: VTA Comments on 4665 Stevens Creek | China Delight - Planning Submittal

Hi Jeff,

Thank you for the opportunity to review this project. VTA has the following comments.

Access to Transit

VTA has no plans to consolidate bus stops near Stevens Creek & Woodhams intersection. The stop in question along the project frontage has good ridership, is at a signalized crosswalk, and Woodhams is a good connector street that feeds into the residential neighborhood. The negative impacts of moving the bus stop nearside would include increasing transit delay, less sight distance for pedestrians, and introducing additional right hand turn conflicts. Therefore, relocating the bus stop is not a viable option.

VTA Bus Stop

VTA has an existing bus stop at the frontage of the proposed China Delight development that serves Frequent Bus Route 23 that connects from DeAnza College, Valley Fair, Downtown San Jose and East San Jose. VTA recommends:

- Maintaining the bus stop farside the intersection. VTA's best practice is to locate bus stops farside of intersection, this position reduces transit delays, reduces sight distance of pedestrians crossing the intersection, and does not conflict with right turn movements.
- Installing a bus boarding island or bulb out treatment. The current curb lane width is 20' which can accommodate in-lane boarding for transit and any future bikeway plans on Stevens Creek. VTA has bus boarding island design standards. VTA believes the separated landscaping and bus stop boarding island can both be accommodated given the width of the curb lane.
- Upgrading the wooden bench and trash receptacle to VTA's new metal bench and trash receptacle. Specs and images attached.
- Include a call out and note on the off-site plans to contact VTA three (3) business days prior to construction at bus.stop@vta.org or 408-321-5800.
- VTA is open to shifting the bus stop slightly along the project frontage should this accommodate the project design and function.

VTA would like the opportunity to review updated site plans to ensure the placement of driveways, landscaping and any other features do not conflict with bus operations. VTA's Transit Passenger Environment Plan provides design guidelines for bus stops. This document can be downloaded at <https://www.vta.org/projects/transit-passenger-environment-plan>. VTA has a Bus Stop Placement, Closures and Relocations Policy (<https://www.vta.org/sites/default/files/documents/busstoppolicy.pdf>). Prior to any construction or bus stop impact, please contact bus.stop@vta.org.

Transit Signal Priority

VTA operates the Rapid 523 along Stevens Creek Boulevard with transit signal priority (TSP). This intersection is equipped with GPS based TSP equipment that is provided by EMTRAC Systems.

- It appears that the northwest and northeast quadrants of Stevens Creek and Woodhams are being modified, and these modification could trigger some traffic signal modifications. If the traffic signal is being modified, this modification must accommodate the existing transit signal priority (TSP) equipment and this equipment must remain operational during the construction and post construction phases.
- The TSP antenna shall be installed on the closest adjacent traffic signal pole next the traffic signal controller cabinet and must be placed 17 feet above the finished ground surface facing the street.
- The cabling for the TSP antenna shall use an outdoor rated coaxial cable (e.g. RG6, RG8 cable), grounded in the traffic signal controller cabinet, and include an in-line lightning suppression unit.
- If any replacement of the traffic signal controller cabinet is planned or expected, the new traffic signal controller cabinet and the associated hardware contained in the cabinet should meet or exceed the TTSP – Enhanced Traffic Signal Controller guidance document, see attached.
- VTA must be notified when any modification to TSP operations is to be implemented during the construction or post construction phases.

Bike Parking

VTA does not recommend stacking long term bike parking lockers if it can be avoided. Lifting a bike is not an option for all users and this decreases the likelihood the locker will be used. VTA recommends reconfiguring the lockers, so they are side by side, please consult Chapter 9 and 10 of [VTA's Bike Technical Guidelines](#) for bike parking guidance.

Please let us know if you have any questions.

Regards,
Brent

Brent Pearse (He/Him)

Transportation Planner

Direct 408-550-4559

WFH Schedule 6-11 a.m.; 1-4:30 p.m.

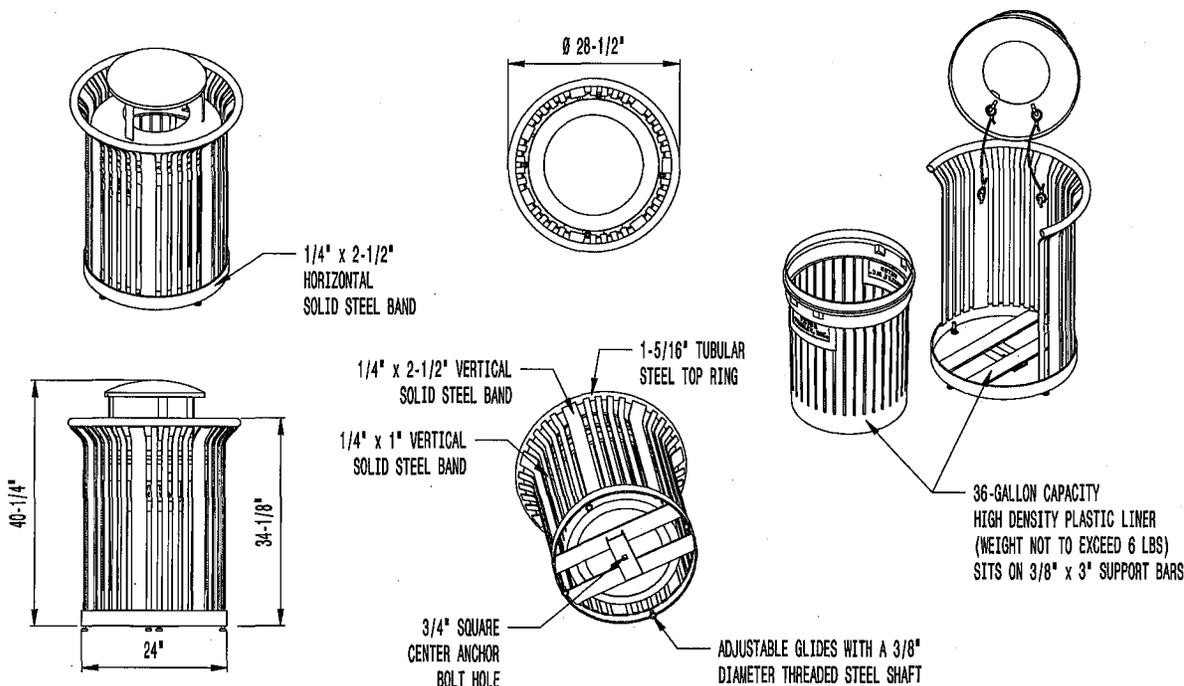




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POWDER COATING

10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE)

CUSTOM PLAQUES & DECALS

AVAILABLE WITH STEEL PLAQUES IN VARIOUS SIZES AND PRESSURE SENSITIVE VINYL OUTDOOR DECALS

LIDS

STANDARD TAPERED FORMED LID. AVAILABLE WITH OPTIONAL DOME LID, DOME LID WITH STAINLESS STEEL ASHTRAY, CONVEX LID, CONVEX LID WITH SELF-CLOSING DOOR, RAIN BONNET LID (AS SHOWN), RAIN BONNET LID WITH STAINLESS STEEL ASHTRAY, AND RECYCLE LIDS. ASHTRAYS AVAILABLE WITH OPTIONAL ASHTRAY COVER.

SECURITY

LID SECURED WITH VINYL COATED GALVANIZED STEEL AIRCRAFT CABLE. CABLE IS LOOPED AROUND WELDED IN PLACE ATTACHMENT BRACKETS AND CRIMPED IN PLACE.

NOTES:

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD FILM COATING. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. VICTOR STANLEY, INC., PLASTIC INNER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING CRITICAL MOLDED RIBS, INTEGRAL HANDHOLDS, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE WHILE AFFORDING LONG SERVICE LIFE.
5. ANCHOR BOLT(S) NOT PROVIDED BY VICTOR STANLEY, INC.
6. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
8. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.



36-GALLON LITTER RECEPTACLE
 SHOWN: OPTIONAL RAIN BONNET LID

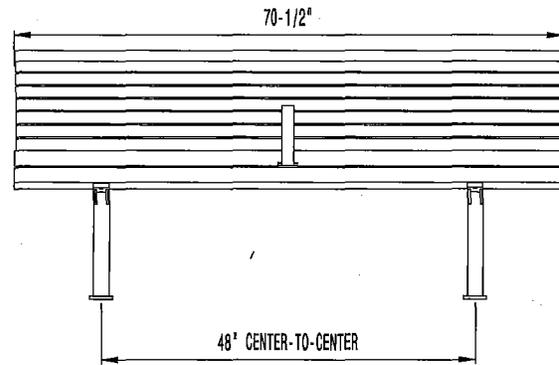
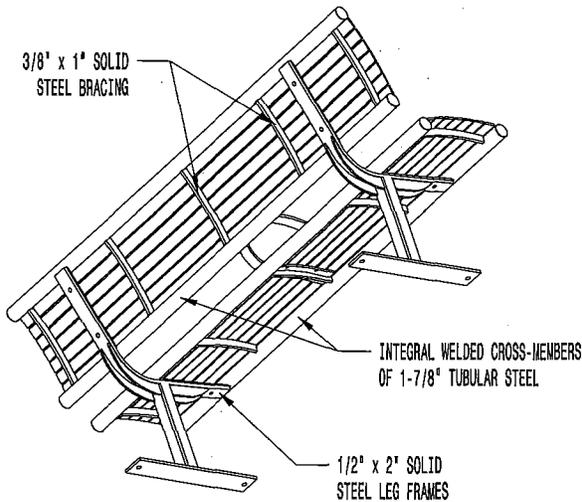
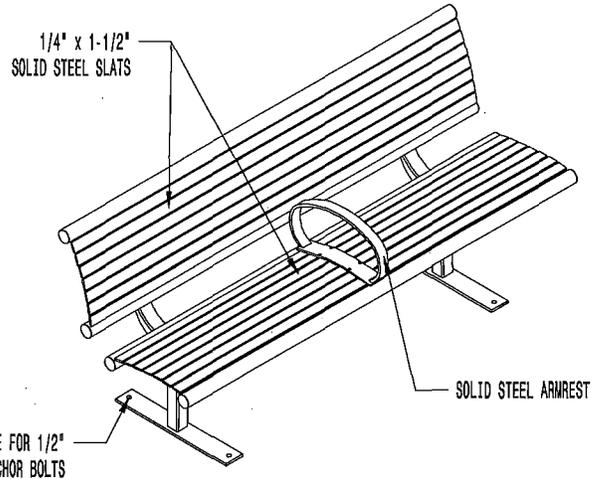
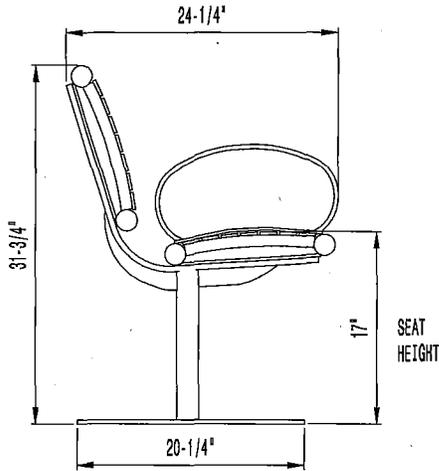


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AVAILABLE OPTIONS:

POWDER COATING

10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS,
 CUSTOM COLORS (INCLUDING THE RAL RANGE)

INTERMEDIATE & CENTER ARMRESTS

4', 6', & 8' AVAILABLE WITH OPTIONAL ARMRESTS

LENGTHS

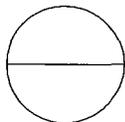
STANDARD 4'
 STANDARD 6' LENGTH SHOWN
 STANDARD 8'

MOUNTING

STANDARD SURFACE (AS SHOWN) AND IN-GROUND

NOTES:

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
5. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
7. THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.



FBF-50

STREETSIITES SERIES™

ALL STEEL BENCH
 SHOWN: STANDARD 6-FOOT LENGTH
 STANDARD SURFACE MOUNT
 OPTIONAL CENTER (1) ARMREST

CONDITIONS OF APPROVAL
4565 Stevens Creek Boulevard and 40 Woodhams Road
PLN2020-14755

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. As this project involves land area of one acre or more, the Developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A stormwater pollution prevention plan is also required with the NOI.

HOUSING & COMMUNITY SERVICES DIVISION

- H1. This Project is subject to the Affordable Housing requirements, however, there is no fee applicable at the time because the net new floor area of this retail project is less than 5,000 sf [9,940 sq ft (proposed) minus 8,941 sq ft (existing) = 999 sf]. If this Retail project changes to Office or Commercial, an impact fee would apply based on the new net floor area of 999 sf. The current Commercial fee is \$5.56/sf and Office <20k sf is \$11.11/sf. Applicant shall pay impact fees prior to the issuance of the occupancy certificate of the building. Fees are based on the current Municipal Fee Schedule in effect at the time the project is approved and must be paid prior to the issuance of the occupancy certificate of the building.

PLANNING DIVISION

- P1. Submit plans for final architectural review to the Planning Division for Architectural Committee review and approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations including rooftop equipment screening, landscaping, site lighting plans including photometric evaluation, a master sign program, and stormwater management plan.
- P2. Submit complete landscape plans, including irrigation plan and composite utility and tree layout overlay plan, for Planning Division review and approval with installation of required landscaping prior to the issuance of occupancy and or final building permits. Landscape plan to include type and size of proposed trees. Type and size of tree replacement on project site shall be at the direction of the City Arborist and require Planning review and approval. Coordinate with the Street Department and City Arborist for the type, location, installation, and maintenance of street trees fronting the project site along the public right-of-way. Installation of root barriers and super-soil may be

CONDITIONS OF APPROVAL
4565 Stevens Creek Boulevard and 40 Woodhams Road
PLN2020-14755

- required with the installation of trees where electric, water, and sewer utilities are in proximity.
- P3. Developer shall file an application for a Lot Line Adjustment to merge both parcels into one parcel and shall obtain approval prior to issuance of building permits.
- P4. The Developer must provide third party certification of the final stormwater management plan for conformance with C3 requirements as part of the architectural submittal, prior to building permit issuance.
- P5. Prior to issuance of demolition permits and during construction, the project is required to conform to the following regulatory programs and to implement the following measures to reduce hazards due to the presence of Asbestos containing materials (ACMs) and/or lead-based paint (LBP):
- 1) In conformance with state and local laws, a visual inspection/pre-demolition survey, and possible sampling, shall be conducted prior to the demolition of on-site buildings to determine the presence of asbestos-containing materials and/or LBP.
 - 2) Prior to demolition activities, all building materials containing LBP shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employee training, employee air monitoring, and dust control. Any debris or soil containing LBP or coatings would be disposed of at landfills that meet acceptance criteria for the waste being disposed.
 - 3) All potentially friable ACMs shall be removed in accordance with NESHAP guidelines prior to any building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with California Occupational Safety and Health Administration (Cal/OSHA) standards contained in Title 8 of CCR, Section 1529, to protect workers from exposure to asbestos.
 - 4) A registered asbestos abatement contractor shall be retained to remove and dispose of ACMs identified in the asbestos survey performed for the site in accordance with the standards stated above.
 - 5) Materials containing more than one percent asbestos are also subject to BAAQMD regulations. Removal of materials containing more than one percent asbestos shall be completed in accordance with BAAQMD requirements.
- P6. Prior to the issuance of demolition and building permits, Developer shall prepare and submit a detailed construction management plan for Planning Division approval, which incorporates the following construction management measures:
- 1) In the event that prehistoric or historic resources are encountered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped, the Community Development Director will be notified, and a qualified archeologist shall examine the find and provide recommendations for further treatment, if warranted. Construction and potential impacts to the area(s) within a radius determined by the archaeologist shall not recommence until the assessment is complete.
 - 2) In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American origin or whether an investigation into the cause of death is required. If the remains are determined

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to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants shall make recommendations regarding proper burial, which shall be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines. The descendants may, with the permission of the owner of the land, or his or her authorized representative, inspect the site of the discovery of the Native American human remains and may recommend to the owner or the person responsible for the excavation work means for treatment or disposition, with appropriate dignity, of the human remains and any associated grave goods. The descendants shall complete their inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site.

- 3) Submit a truck hauling route for demolition, soil, debris and material removal.
 - 4) Businesses, residences, and other noise-sensitive land uses adjacent to the construction site shall be notified of the estimated construction schedule in writing. Designate a "construction liaison" that would be responsible for responding to any local complaints about construction noise or dust. The liaison would determine the cause of the noise complaints (e.g., starting too early, bad muffler, etc.) and institute reasonable measures to correct the problem. Conspicuously post a sign on site with contact information for the liaison in a location clearly visible from the public right-of-way, for the duration of project construction.
 - 5) Developer (including construction employee) parking shall not occur on nearby residential streets.
 - 6) Noise generating construction activity (e.g., demolition, heavy equipment operations, jack hammering, truck loading and unloading of construction materials) not confined within a building shall be limited to the hours of 8:00 a.m. to 6:00 p.m. weekdays, 9:00 a.m. to 6:00 p.m. on Saturdays, and not permitted on Sundays and State and federal holidays for projects. Construction activity confined within a building shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays, and prohibited on Sundays and State and federal holidays. These hours may be amended at the discretion at the Director of Community Development based on disturbance complaints received.
 - 7) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved roads) shall be watered two times per day, except on days when rain occurs.
 - 8) All visible mud or dirt track-out onto the adjacent public right-of-way shall be removed using wet power vacuum street sweeper at least once per day. The use of dry power sweeping shall be prohibited.
 - 9) Additional dust and noise abatement measures may be required on the project site at the discretion of the Community Development Director to provide additional sound attenuation and fugitive dust abatement. This may include additional noise monitoring and installation of a temporary noise control blanket barrier, if necessary, along building facades facing construction sites if conflicts occurred which are irresolvable by proper scheduling.
- P7. The project shall implement the following measure to reduce stationary noise sources at or below 55 dBA daytime noise limit and 50 dBA nighttime noise limit at adjacent residential property lines: On-site mechanical equipment shall be selected and designed to reduce impacts to off-site e.g to meet the City's daytime and nighttime noise limits.

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Noise reduction measures may include, but are not limited to, selection of equipment that emits low noise levels and installation of noise barriers, such as enclosures or parapet walls to block the line-of-sight between the noise source and the nearby properties.

- P8. Project site landscaping including street trees planted on site and in the public right-of-way shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval.

POLICE

- PD1. The property should be fenced off during demolition and construction as a safety barrier to the public and deterrent to theft and other crime. Consider not having any screening material on the fence so passing Police Patrol checks will be able to see into the site.
- PD2. Address numbers should be a minimum of twelve (12) inches in height for commercial or industrial buildings. Consider illuminated numbers during the hours of darkness, and in a color that is contrasting to the background material. They shall be clearly visible from the street. Where multiple units or buildings occupy the same property, each unit/building address shall be clearly visible. A monument sign, preferably at all entrances to the property, should be prominently displayed showing all unit/building numbers, addresses, etc. A map is recommended for large complexes with multiple streets or walkways.
- PD3. In a development where there is an alley, driveway, etc. providing a rear entrance or access, the address shall be displayed to both the front and rear of the individual buildings. Where an alley, driveway, etc. provided vehicular access, address numbers shall be clearly visible from that access.
- PD4. Businesses with rear alley entrance doors shall be numbered with the same address numbers or suite numbers as the front doors. Numbers that are a minimum height of 4" are recommended.
- PD5. Each distinct unit within the building shall have its address displayed on or directly above both front and rear doors.
- PD6. When there is an alley or driveway to the rear of the business or commercial establishment that provides pedestrian or vehicle access, that area should be fenced and locked after hours. A 'Knox Box' or key coded system shall be used for police and fire emergency access.
- PD7. Landscaping should follow the National Institute of Crime Prevention standards. That standard describes bushes/shrubs not exceeding 2' in height at maturity, or maintained at that height, and the canopies of trees should not be lower than 6' in height. Crime deterrent vegetation is encouraged along the fence and property lines and under vulnerable windows.
- PD8. Lighting for the project to be at the IES (Illuminating Engineering Society of North America) standards and include the features listed below: White light source, Pedestrian Scale, Full cut-off or shoebox design, Unbreakable exterior, tamper-proof housings, wall mounted lights/10' high. These features increase natural surveillance, support and/or enhance security camera capabilities, and increase Police Patrol effectiveness.
- PD9. Any required enclosure fencing (trash area, utility equipment, etc.) would preferably be see-thru. If for aesthetic reasons prohibit that, the fencing should have a six (6) inch opening along the bottom for clear visibility. Any gates or access doors to these enclosures should be locked.
- PD10. If the project includes any benches, these benches should not be longer than 5 feet in length, and should have arm rests at both ends. If the benches are longer than 5 feet in

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- length, there should be a divider (arm rest or similar) in the middle of the bench in addition to the arm rests on both ends. This helps prevent unlawful lodging and/or skateboarding. Another option to benches could be cubes, knee walls, or other creative types of seating possibilities.
- PD11. The developer should install skate stoppers on any low clearance wall of 36 inches in height or lower to prevent vandalism/damage to the wall from skateboarding or similar activities. If there is outdoor seating associated with a restaurant or similar business which is near vehicle parking stalls, the outdoor space will be designed to ensure the safety of the public from possible vehicular related incidents.
- PD12. All exterior doors should be adequately illuminated at all hours with their own light source.
- PD13. All construction of dwelling units shall conform to the requirements of the Uniform Building Security Code as adopted by the City of Santa Clara City Council.
- PD14. Other line of sight obstructions (including recessed doorways, alcoves, etc.) should be avoided on building exterior walls and interior hallways.
- PD15. All business or commercial establishments, of whatever nature, should have an electronic intruder alarm system installed. The system should cover the interior and perimeter of structures determined to be a value target. Also, consideration should be given to exterior areas that are or contain value targets, such as a product display lot, company vehicle parking area, etc.
- PD16. The installation and use of interior and exterior security cameras and recording devices is highly encouraged.
- PD17. "White" light meeting the IES standard should be considered. There should be no "dark" areas inside the structure.
- PD18. The interior of the parking structure should be painted a light, highly reflective color. This increases the natural lighting available and can help prevent dark areas that attract criminal activity.
- PD19. All entrances to the parking areas (structure, surface, subterranean, etc.) shall be posted with appropriate signage to discourage trespassing, unauthorized parking, etc. (See California Vehicle Code section 22658(a) for guidance)
- PD20. Alcoves and other visual obstructions that might constitute a hiding place should be eliminated whenever structurally possible. Pillars, columns, and other open construction should be considered over a solid wall design.
- PD21. Consider storage, maintenance, and trash rooms within the parking garage having doors which cannot be locked from the inside and that close and lock quickly and automatically upon exit.
- PD22. Public Safety Radio Systems Penetration Guidelines have been established by the city of Santa Clara Communications Department for radio signal penetration during emergencies. The developer is advised that the project may be required to install equipment for adequate radio coverage for the City Of Santa Clara Radio communications System, including but not limited to Police & Fire emergency services. The developer should contact the director of communications at (408) 615-557 (for high rises).
- PD23. When in the opinion of the fire code official, a new structure obstructs the line of sight of emergency radio communications to existing buildings or to any other locations, the developer of the structure shall provide and install the radio retransmission equipment necessary to restore communications capabilities. The equipment shall be located in an approved space or area within the new structure.

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- PD24. Applicant shall contact the Santa Clara Police Department "Intelligence" unit (408-615-4849) for Alcohol Beverage Control (ABC) licensing review.
- PD25. The business shall undergo a 6 month and 1 year review, including a check for ABC violations and police service calls.
- PD26. Applicant shall contact the Santa Clara Police Department "Intelligence" unit (408-615-4849) for entertainment permit requirements.
- PD27. A Coded Entry System is required for police access to enclosed parking lots and gated communities. This can be accomplished with a coded key pad system or the Police Department Knox Box key system. We understand security is a prime concern for the tenants of the project, which necessitates some sort of secure building and admittance process. By having either of these secure access systems for law enforcement, it will allow us to better respond to emergency situations should they arise in the development. Examples of these systems can be reviewed at the following projects: 2585 El Camino Real (Coded key pad access) and 3555 Monroe Street (Knox box key access) ****KNOX Box/Coded key pad per building, gated parking garages, pool area etc...***
- PD28. The developer shall meet the City of Santa Clara's guidelines established for radio signal penetration, detailed in the Communications Department's Public Safety Radio System Building Penetration Guidelines. The intended use of telecommunications sites shall be clearly and accurately stated in the use permit. The signal, of whatever nature, of any communications facility or system, shall in no way whatsoever interfere with or affect any police communication or police communication system.
- PD29. Public Safety Radio Systems Penetration Guidelines have been established by the city of Santa Clara Communications Department for radio signal penetration during emergencies. The developer is advised that the project may be required to install equipment for adequate radio coverage for the City Of Santa Clara Radio communications System, including but not limited to Police & Fire emergency services. The developer should contact the director of communications at (408) 615-5571. (for high rises)
- PD30. Applicant shall contact the Santa Clara Police Department "Intelligence" unit (408-615-4849) for Alcohol Beverage Control (ABC) licensing review.
- PD31. Applicant shall install signage to prevent theft from vehicles in the parking lots. In addition, the use of quality lighting, installation of high-quality video cameras/recorders, and license plate readers are highly encouraged to prevent thefts from vehicles.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.

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- E3. Submit public improvement plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of subdivision map and/or issuance of building permits.
- E4. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E5. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E6. Remove unused sanitary sewer laterals per City standards.
- E7. Sanitary sewer lateral from main to property line cleanout/manhole shall use "Tap-Tite" connection to City sanitary sewer main and be 2% minimum slope.
- E8. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E9. Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the Public Works Director.
- E10. FDC shall be within private property, service lateral shall be on Stevens Creek Boulevard, if possible.
- E11. Provide "S" or transitional curve for sidewalk to the east of the western driveway on Stevens Creek Boulevard.
- E12. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.
- E13. Sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape
- E14. Dedicate, as required, on-site easements for new sidewalk, storm drain main, storm drain overland release, emergency vehicle access, and any other new utilities by means of parcel/final map or approved instrument at time of development.
- E15. File a Lot-Line-Adjustment application prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges with all required fees to combine or reconfigure the subject parcels and record the approved Lot-Line-Adjustment with the County Recorder, all to the satisfaction of the City Engineer.
- E16. Proposed trees shall be five (5) feet minimum clear of sidewalks. Provide root barrier if trees are planted such that the drip line of the mature trees covers the sidewalk. Root barriers shall be 12' long x 2' deep, and centered on trees.
- E17. Woodhams Road was paved with the City's 2020 pavement maintenance program. Per the City pavement moratorium (Ordinance No. 1998), no pavement cuts are permitted until after 12/31/2023. Refer to <https://www.santaclaraca.gov/our-city/departments-g->

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z/public-works/maintenance-operations/street-maintenance/pavement-preservation-ordinance for more information.

- E18. Stevens Creek Boulevard along the project frontage is planned to be paved by the City of San Jose in 2022. This project is in early stages of planning and treatment type has not been finalized. After pavement work is completed, no pavement cuts are permitted per the City pavement moratorium (Ordinance No. 1998).
- E19. Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.
- E20. Construct new concrete bus pad and upgrade existing bus bench at the existing bus stop at the northwest corner of the Woodhams Road and Stevens Creek Boulevard intersection. Construct per VTA Standard Figure 3 and coordinate with VTA, brent.pearse@vta.org, to confirm additional requirements as needed.
- E21. Improvements adjacent to any driveway must be less than 3 feet or greater than 10 feet in accordance with City Standard Detail TR-9.
- E22. To satisfy driveway sight triangle requirements, install R26(S)(CA) and R28(S)(CA) signs to establish no stopping zones on (1) Woodhams Road, north of driveway to northerly property line, (2) Woodhams Road, south of driveway to existing streetlight, and (3) Stevens Creek Boulevard, east of driveway to existing streetlight.
- E23. Bicycle parking shall be a minimum of three (3) Class I spaces and three (3) Class II spaces (5% of vehicle parking) per 2019 California Building Code 5.106.4.
- E24. Class I and Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.
- E25. Design and construct minimum 5-foot wide sidewalk.
- E26. Design and construct driveways in accordance with City Standard Detail ST-8.
- E27. Design and construct curb ramp at northwest corner of the Woodhams Road and Stevens Creek Boulevard intersection in accordance Caltrans Std Plan A88A, Case A.
- E28. At northwest corner of traffic signal, furnish and install Caltrans Type 15TS pole, remove/replace signals and buttons, and install/connect conductors to meet California MUTCD Figure 4D-105(CA) and provide lighting over Woodhams Road crosswalk.

STREETS DIVISION

Landscape

- L1. Include City of Santa Clara Tree Preservation/City Arborist specifications on all improvement plans.
- L2. No cutting of any part of private trees, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).
- L3. Identified existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City of Santa Clara prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.

Solid Waste

- SW1. No comments.

Stormwater

- ST1. Stormwater treatment facilities shall be designed and installed to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook. Prior to City's issuance of Building or Grading Permits, the applicant shall

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- develop a Final Stormwater Management Plan, update the [C.3 Data Form](#), and the Special Project narratives/worksheet (as appropriate).
- ST2. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the [SCVURPPP List of Qualified Consultants](#), and a 3rd party review letter shall be submitted with the Plan.
- ST3. For projects that disturb a land area of one acre or more, the applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State Construction General Permit (Order No. 2009-0009-DWQ) prior to issuance of any building permit for grading or construction. Active projects covered under the Construction General Permit will be inspected by the DPW Code Enforcement staff once per month during the wet season (October – April). The applicant shall prepare an Erosion and Sediment Control Plan.
- ST4. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans in accordance with the City’s Urban Runoff Pollution Prevention Program standards prior to the issuance of Building or Grading Permits. Include the [SCVURPPP Countywide Construction BMPs Plan Sheet](#) with the plans.
- ST5. Include [the C.3 Treatment Facilities Construction Notes](#) on the Improvement Plans and/or Stormwater Control Plans.
- ST6. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the [SCVURPPP List of Qualified Consultants](#), and a 3rd party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. As-Built drawing shall be submitted to the Public Works Department. Include [C.3 Stormwater Treatment Facilities Construction general notes](#) on the improvement plans.
- ST7. **Permeable Pavement** shall be inspected by a third-party reviewer and/or manufacturer representative for conformance with the details and specifications. If necessary, percolation test shall be performed to ensure proper installation. The number, location and species of the interceptor trees shall be confirmed during the construction.
- ST8. Soils for bioretention facilities must meet the specifications accepted by the Water Board. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix.
- ST9. The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures in perpetuity. Applicants should contact Karin Hickey at (408) 615-3097 or KaHickey@santaclaraca.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City’s stormwater resources website at <http://santaclaraca.gov/stormwater>. **For porous pavement, inspection of these facilities is to be done annually.**
- ST10. Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property’s O&M Agreement.
- ST11. Developer shall install an appropriate stormwater pollution prevention message such as “No Dumping – Flows to Bay” on any storm drains located on private property.
- ST12. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City’s storm drain system.

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SILICON VALLEY POWER

- SVP1. Existing Streetlight & Fiber Circuits and Conduits along Steven's Creek shall be relocated into the new standard SVP trench. Relocation costs are actual costs incurred.
- SVP2. Transformer requires bollard in front of doors & 5' easement around transformer pad.
- SVP3. Applicant Design Process available to Developer to expedite electric substructure design. (informational comment)
- SVP4. Clearances: (Make sure job notes do not conflict with SVP clearance requirements)
- a. EQUIPMENT
 - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
 - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
 - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
 - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
 - 1. Thirty (30) inches from side of equipment sides.
 - 2. Forty Eight (48) inches in front of access doors.
 - a. Barrier Pipes in front of access doors shall be removable.
 - b. CONDUITS
 - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
 - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
 - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
 - iv. Three (3) foot minimum clearance is required between sign posts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
 - v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
 - vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
 - vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
 - c. VAULTS/MANHOLES
 - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
 - ii. Five (5) foot minimum clearance is required between adjacent conduits.
 - iii. Minimum 36" from face of curb, or bollards required.

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- d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
 - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
- e. Guy Anchors
 - i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).
- f. Trees
 - i. OH 1230 for Overhead Lines
 - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- SVP5. Reference listed SVP standards for clearances.
 - a. Installation of Underground Substructures by Developers
 - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 – Remote Switch Pad
 - d. OH1230 – Tree Clearances From Overhead Electric Lines
 - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- SVP6. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a “Load Survey” form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a “Service Investigation Form” and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- SVP7. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- SVP8. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- SVP9. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- SVP10. Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP11. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP12. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have it’s own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- SVP13. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk.

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- Transformer pad must be a minimum of 10'-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- SVP14. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE's or electric easements.
- SVP15. Any relocation of existing electric facilities shall be at Developer's expense.
- SVP16. Electric Load Increase fees may be applicable.
- SVP17. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).
- SVP18. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- SVP19. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- SVP20. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- SVP21. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publicly-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1' clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- SVP22. Proper clearance must be maintained from all SVP facilities, including a 5' clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- SVP23. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the

CONDITIONS OF APPROVAL
4565 Stevens Creek Boulevard and 40 Woodhams Road
PLN2020-14755

building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.

- SVP24. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- SVP25. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.
- SVP26. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- SVP27. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka "real dirt"), and cannot be supported on parking garage ceilings or placed on top of structures.
- SVP28. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.

WATER & SEWER

- W1. Prior to issuance of Building Permits, the applicant shall submit design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Department Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Certificate of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W2. Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities. Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters greater than 2". Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W3. The applicant shall show all disconnection, abandonment, and disposition of all existing water, recycled water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities Department Standards and install a new service to accommodate the water needs of the project.

CONDITIONS OF APPROVAL
4565 Stevens Creek Boulevard and 40 Woodhams Road
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- W4. The applicant shall submit a composite utility plan showing all utilities (including electrical) and landscaping (trees/shrubbery) so that the Water Department can verify conflicts for proposed water services. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area within the public right-of-way.
- W5. Applicant shall adhere to and provide a note indicating all horizontal and vertical clearances. The applicant shall maintain a minimum 24" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities).
- W6. Applicant shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Department Standard Details.
- W7. Approved backflow prevention device(s) are required on all potable water services. The applicant shall submit plans showing the location of the approved backflow prevention device(s). Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area within public right-of-way.
- W8. Prior to issuance of Building Permits, provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 24" minimum vertical clearance is maintained for open cut trenching and 60" minimum vertical clearance for horizontal directional drilling per City Standard Detail 32.
- W9. For fire flow information, applicant shall contact the Water and Sewer Utilities Department at (408)615-2000.
- W10. Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the on-site public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W11. The proposed plan to use the existing 2 inch service for the restaurant is acceptable provided domestic demand is met. However, the 4 units fronting Stevens Creek Blvd shall either have a dedicated service with a master meter or 4 dedicated services for each retail unit.
- W12. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. The State of California is currently experiencing a drought and the City is currently implementing Stage 1 Response Actions. It is likely that the City will declare a Stage 2 Water Shortage soon. Stage 2 response actions include water use restrictions that limit the use of potable water for activities such as new irrigation connections, construction and dust control. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation.
- W13. Fat Oil and Grease Pre-treatment Program: For facilities involves commercial kitchen and food preparation, applicants shall coordinate with Water and Sewer Utilities Department, Compliance Division- Diane Asuncion at (408) 615-2009 and provide all information required for review and approval.

CONDITIONS OF APPROVAL
4565 Stevens Creek Boulevard and 40 Woodhams Road
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- W14. Fire service line required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W15. Pursuant to the City's Stage 2 Water Shortage Response Actions, all water used for construction and dust control is restricted to recycled water if available. Contact the Water & Sewer Utilities Department at (408) 615-2000 to inquire about obtaining access to recycled water stations.



Agenda Report

21-1485

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on the new construction of a 3,789 square-foot six bedroom and four bathroom two-story single family residence with attached 495 square-foot attached one bedroom and one bathroom accessory dwelling unit at 143 Claremont Avenue

File No.: PLN2021-14093

Location: 143 Claremont Avenue, a 6,090 square foot lot, located on the east side of Claremont Avenue at the intersection of Gibson Avenue; APN: 296-16-011; property is zoned Single-Family Residential (R1-6L).

Applicant/Owner: Prasad Kunigiri

Request: Architectural Review of the proposed substantial demolition of an existing 1,662 square foot one-story three bedroom and two bathroom house with an attached two-car garage, and new construction of a proposed 3,789 square foot two-story, six bedroom and four bathroom residence and conversion of an attached two car garage into a 495 square foot one-bedroom accessory dwelling unit.

Project Data - see Attachment 2 for full-sized table

Lot Size: 6,090 sq.ft	Existing Floor Area (sq.ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,662	2,235
Garage	426	0
Covered Porches	0	0
Second Floor	n/a	1,554
Gross Floor Area	1,694	3,789
Lot Coverage	2,088 / 6,090 = 34%	2,235 / 6,090 = 35%
ADU	n/a	495 (1 bedroom)
2 nd :1 st Floor Coverage	n/a	1,554 / 2,730 = 57%
F.A.R.	2,088 / 6,090= 0.34	3,789 / 6,090 = 0.62
Bedrooms/Baths	3 / 2	6 / 4
Flood Zone	X	X

Points for consideration

1. The project site was developed with the existing patio-style tract house built in 1957.

2. The project site is located in the Fairmede subdivision of the City - a subdivision of patio style single family homes, and is bordered to the rear by homes in a different subdivision of non-patio style architecture.
3. The project site and surrounding neighborhood are not currently designated as architecturally or historically significant.
4. 300-foot neighborhood notice was distributed for this project review. No public comments have been received as of the date of this report preparation.
5. There are no active City Code enforcement cases for this property.
6. The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
7. The project includes the substantial demolition of an existing 3 bedroom and 2 bathroom single family home, including demolition of more than 50 percent of the existing exterior walls, increase of the wall plate/ceiling height from 8 feet to 9 feet, and the removal and replacement of the existing roof for the second floor addition.
8. The project also proposes to convert the existing garage into a 495 square foot, one-bedroom and one-bathroom Accessory Dwelling Unit (ADU).
9. While second story additions to patio-style homes in neighborhoods of patio homes are discouraged by the City's recently adopted Single Family Design Guidelines, the Guidelines do provide direction for increased neighborhood compatibility in the design of second-story additions to these homes.
10. The City's single family design guidelines recommend that second-floor side and rear walls be stepped in at least three to five feet from the ground-floor walls below to minimize building massing - more if second-floors have a greater than 35% footprint over the ground floor. The applicant is proposing to address the building massing through a combination of a stepping back second floor walls at least 3 feet from ground floor walls below, and further by breaking up the second floor building walls through additional step-ins and bay window additions along the side and rear walls.
11. The City's design guidelines support 8-foot or 9-foot ceiling heights. The project proposes 9-foot ceiling heights for both floors, and a higher proposed vaulted ceiling space over the front entry foyer.
12. The City's design guidelines encourage low-pitched roofs or flat roof styles with generous roof overhangs for patio homes. The applicant is proposing a relatively low 2.75:12 roof pitch, two-foot rear and side roof eave overhangs for the first and second floors, and a larger four-foot roof eave projection over the front ground floor.
13. The project also proposes a five-foot deep by 16-foot wide balcony on the front elevation to be accessed from the second-floor family room area. The balcony is proposed to be constructed with frosted glass and cement railing to minimize privacy impacts to the yards of nearby patio homes.
14. The house would be clad in stucco siding and composition shingle roofing.
15. Overall existing and proposed building height is 25-feet, which complies with the maximum 25-foot height allowed for R1-6L zoned properties.

Findings

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The project provides two off-street parking spaces on an existing concrete

driveway to remain.

- The property is served by existing infrastructure adequate in size and capacity to support the proposed use.

2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*

- Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.

3. *That the design and location of the proposed development is such that it is not in keeping with the character of the neighborhood and could be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*

- While the proposed project design incorporates several measures intended to be compatible the neighborhood character, including a lower sloped 2.75:12 roof pitch, elevated side wall windows on the second floor, and horizontal roof lines along the street frontage, the overall design incorporates features to make it compatible with the patio-style architecture of homes in the neighborhood.

4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project would be subject to the California Building Code and City Code requirements.

5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*

- The proposed project design incorporates enough of architectural design features identified in the City's Design Guidelines for Patio Homes to make it consistent with the adopted City Single Family Residential Guidelines as a new two-story house.

Conditions of Approval:

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans and elevations.
- 2) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 3) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00

a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.

ENVIRONMENTAL REVIEW

Categorically Exempt per CEQA Section 15303 (a) - New Construction or Conversion of Small Structures.

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 21, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

RECOMMENDATION

Approve the new construction of a 3,789 square-foot six bedroom and four bathroom two-story single family residence with attached 495 square-foot attached one bedroom and one bathroom accessory dwelling unit for the property located at 143 Claremont Avenue, subject to conditions.

Reviewed by: Jeff Schwilk, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

ATTACHMENTS

1. Development Plans
2. Project Data

INDEX OF DRAWINGS:

- ARCHITECTURAL DRAWINGS
 A-0 COVER SHEET & SITE PLANS
 A-1 EXISTING & PROPOSED FLOOR PLANS
 A-2 PROPOSED FLOOR PLAN
 A-3 EXISTING & PROPOSED ROOF PLANS
 A-4 EXISTING & PROPOSED ELEVATIONS
 A-5 EXISTING & PROPOSED ELEVATIONS
 A-6 PROPOSED SECTIONS

ADU CONVERSION & ADDITION TO EXISTING 1-STORY HOME 143 CLAREMONT AVE. SANTA CLARA, CALIFORNIA 95051

OWNER DESIGNER:
**PRASAD KUNIGIRI
 & RADHIKA BUGIDI**
 143 CLAREMONT AVE.
 SANTA CLARA, CA, 95051
 (408) 836 - 4140

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 6825 EDEN STREET
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 (510) 209 - 4744

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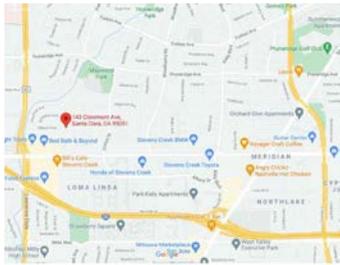
SITE INFORMATION

ASSESSORS PARCEL NO.: 296-16-011
 SITE AREA: 6,090 SF APPROX. (0.2 ACRE)
 ZONING: R1-6L
 EXISTING SITE COVERAGE: 34.2% (MAX. 40%, EXCLUDES ADU)
 PROPOSED SITE COVERAGE: 37.2% (EXCLUDES ADU & PATIO)
 2ND FLOOR COVERAGE: 1,554 / (2,235 + 495)
 OVER 1ST FLOOR & ADU: 57% (MAX. 66%) (EXCLUDES BALCONY)

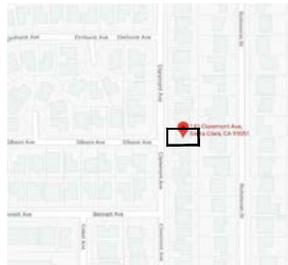
BUILDING INFORMATION

EXISTING HOME FLOOR AREA: APPROX. 1,662 SF
 EXISTING GARAGE AREA: APPROX. 426 SF
 PROPOSED 1ST FLOOR ADDITION: APPROX. 573 SF
 PROPOSED 2ND FLOOR ADDITION: APPROX. 1,371 SF
 PROPOSED NEW HOME AREA: APPROX. 3,606 SF
 PROPOSED NEW ADU AREA: APPROX. 495 SF
 EXISTING NO. OF STORIES: 1
 PROPOSED NO. OF STORIES: 2

LOCATION MAP



VICINITY MAP



SCOPE OF WORK

THE OWNER OF A ONE-STORY 3-BEDROOM & 2-BATH PRIVATE RESIDENCE WANTS TO CONSTRUCT TWO-STORY ADDITIONS TO THE FRONT AND REAR OF THE EXISTING HOME. THE EXISTING GARAGE WILL BE CONVERTED TO AN ACCESSORY DWELLING UNIT (ADU).

THERE WILL BE NO CHANGES TO THE USE OF THE EXISTING HOME. THE FOLLOWING ARE SPECIFIC CHANGES:

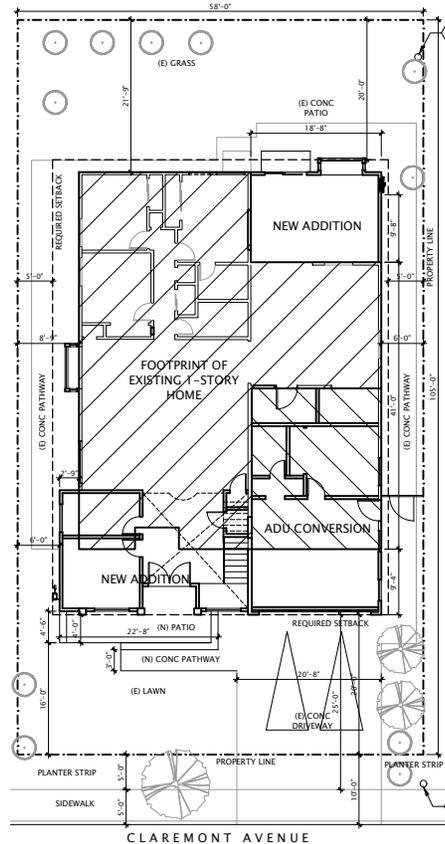
1. EXTEND ABOUT 9 FEET 4 INCHES IN THE FRONT OF HOME, RELOCATING THE OFFICE AND A NEW OTM TO THE FRONT.
2. ADD A NEW FAMILY ROOM TO THE REAR OF HOME.
3. ADD A NEW SECOND STORY WITH TWO BEDROOMS AND TWO BATHROOMS, A STORAGE ROOM AND FAMILY LOFT.
4. CONVERT PORTION OF THE GARAGE INTO AN ADU WITH A BEDROOM, BATHROOM, KITCHEN AND LIVING SPACE.

CODES AND STANDARDS

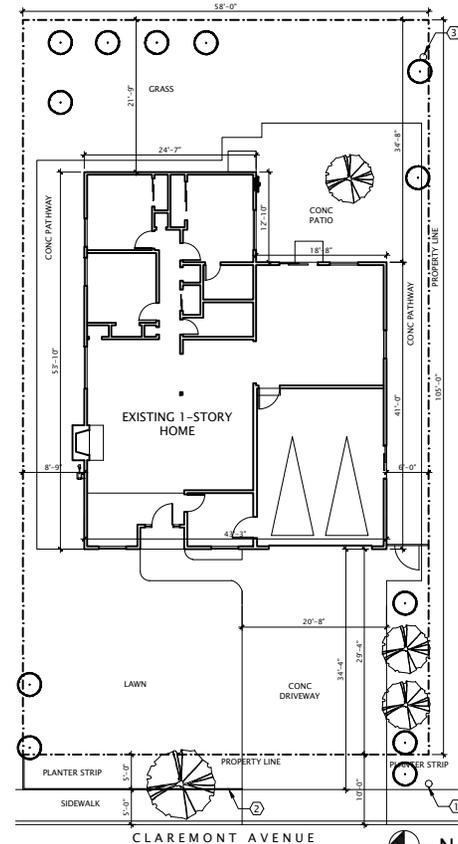
APPLICABLE CODES INCLUDES, BUT NOT LIMITED TO THE FOLLOWING:
 2019 CALIFORNIA BUILDING CODE WITH CITY OF SANTA CLARA CODE AMENDMENTS
 CITY OF SANTA CLARA GREEN BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA FIRE CODE WITH CITY AMENDMENTS
 TITLE 24, PART 6, CALIFORNIA ENERGY CODE
 2019 CALIFORNIA RESIDENTIAL CODE

SITE PLAN KEY NOTES:

- ① (E) STREET LIGHT POLE
- ② DEMO (E) PICKET FENCE IN STREET ROW
- ③ (E) POWER POLE



2
A-0 PROPOSED SITE PLAN
 SCALE: 1/8" = 1' - 0"



1
A-0 EXISTING SITE PLAN
 SCALE: 1/8" = 1' - 0"

OWNER DESIGNER

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 ADU CONVERSION &
 ADDITION TO EXISTING 1-STORY HOME
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 (408) 836 - 4140

DATE	ISSUE

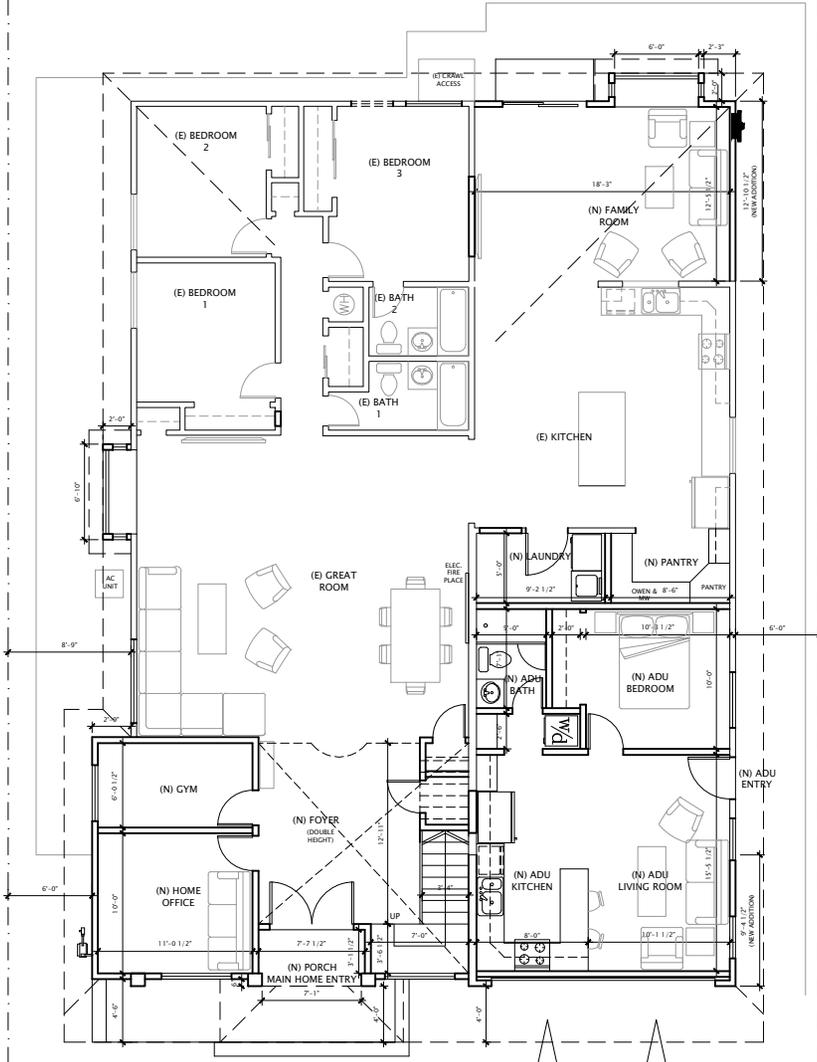
COVER SHEET &
 SITE PLANS

DATE: 09-08-2021

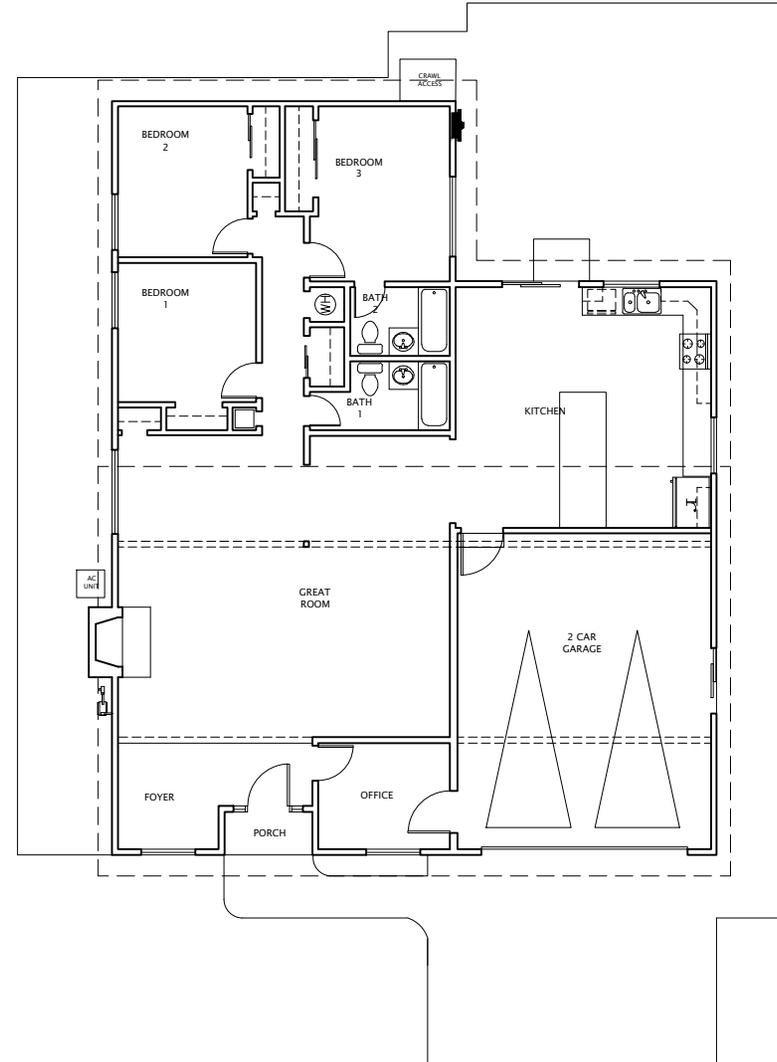
A-0

KEY NOTES:

- (E) WALLS TO REMAIN
- (N) WALLS



2 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



1 EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

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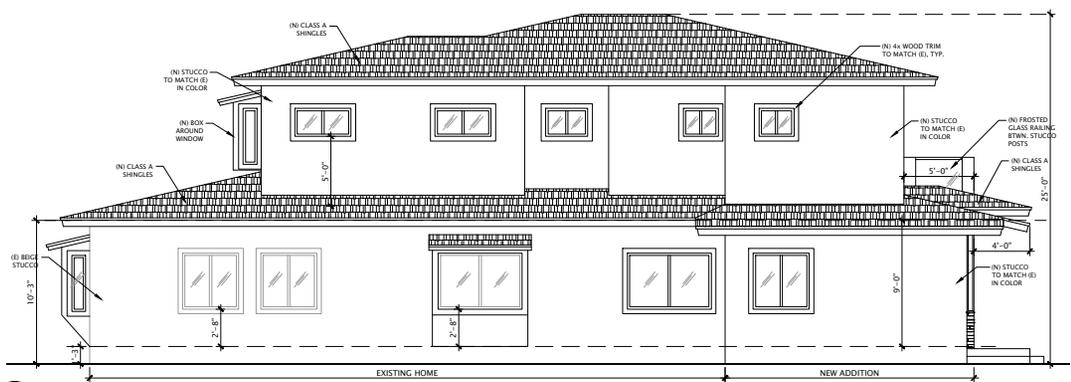
EXISTING &
PROPOSED
FLOOR PLANS
DATE: 09-08-2021



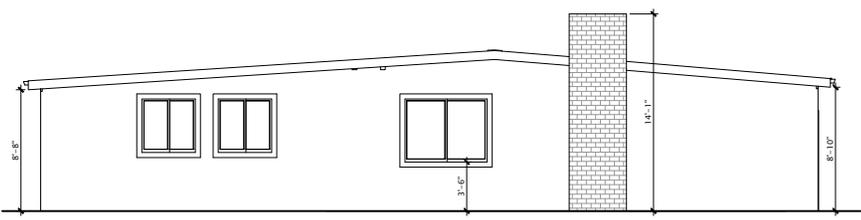
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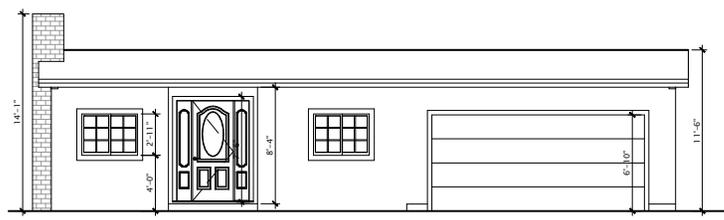
3
A-4 PROPOSED WEST / FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



4
A-4 PROPOSED NORTH / SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



2
A-4 EXISTING NORTH / SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



1
A-4 EXISTING WEST / FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

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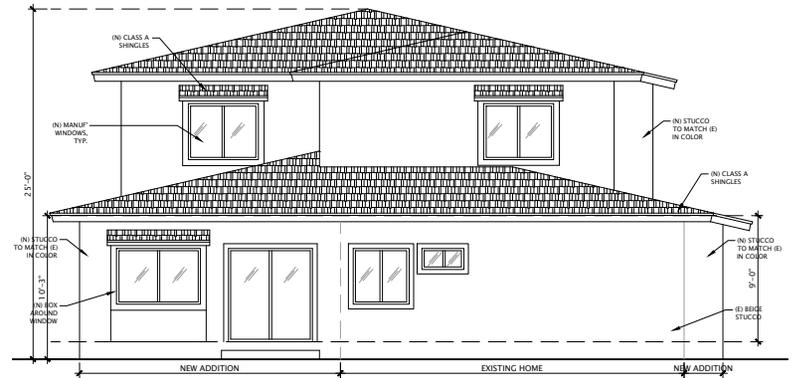
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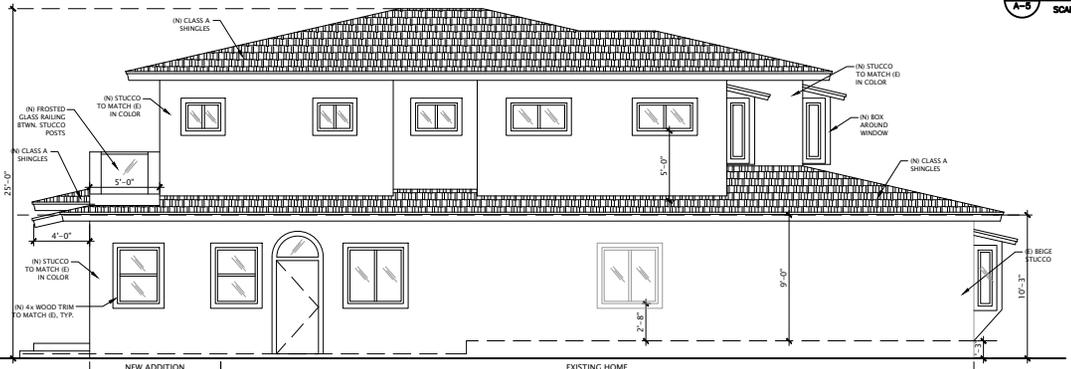
EXIST. & PROP.
ELEVATIONS

DATE: 09-08-2021

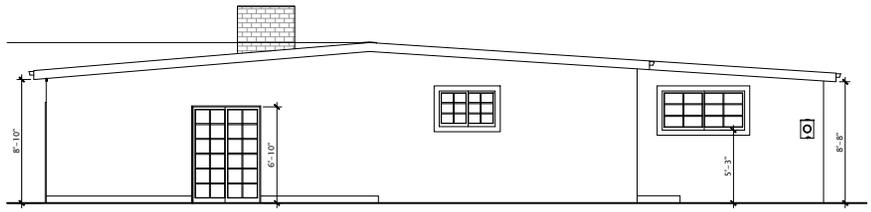
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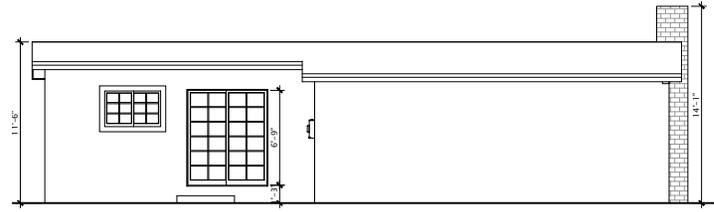
3
PROPOSED EAST / REAR ELEVATION
SCALE: 1/4" = 1' - 0"



4
PROPOSED SOUTH / SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



2
EXISTING SOUTH / SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



1
EXISTING EAST / REAR ELEVATION
SCALE: 1/4" = 1' - 0"

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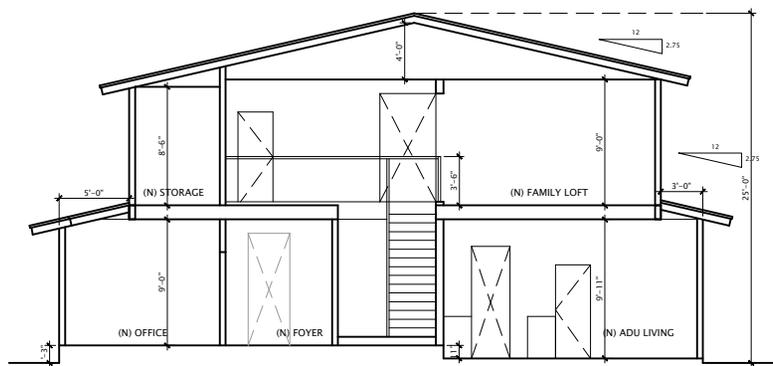
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ISSUE	DATE

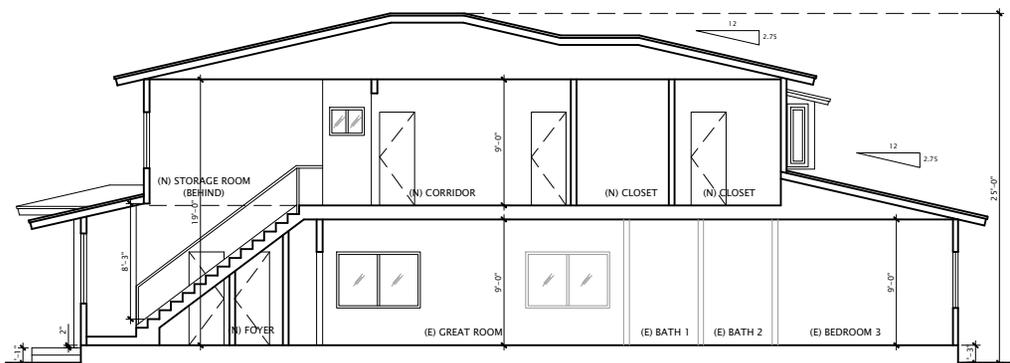
EXISTING &
PROPOSED
ELEVATIONS
DATE: 09-08-2021

A-5

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2
A-6
 PROPOSED LATERAL SECTION
 SCALE: 1/4" = 1' - 0"



1
A-6
 PROPOSED LONGITUDINAL SECTION
 SCALE: 1/4" = 1' - 0"

OWNER DESIGNER

PRASAD KUNIGIRI & RADHIKA BUGIDI
 ADU CONVERSION &
 ADDITION TO EXISTING 1-STORY HOME
 143 CLAREMONT AVE
 SANTA CLARA, CALIFORNIA 95051
 (408) 836 - 4140

NO.	REVISION	DATE

PROPOSED SECTIONS

DATE: 09-05-2021

A-6

Project Data – 143 Claremont Avenue

Lot Size: 6,090 sq.ft	Existing Floor Area (sq.ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,662	2,235
Garage	426	0
Covered Porches	0	0
Second Floor	n/a	1,554
Gross Floor Area	1,694	3,789
Lot Coverage	2,088 / 6,090 = 34%	2,235 / 6,090 = 35%
ADU	n/a	495 (1 bedroom)
2nd:1st Floor Coverage	n/a	1,554 / 2,730 = 57%
F.A.R.	2,088 / 6,090 = 0.34	3,789 / 6,090 = 0.62
Bedrooms/Baths	3 / 2	6 / 4
Flood Zone	X	X



Agenda Report

21-1508

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on the 180 square-foot first floor addition and 529 square-foot second floor addition to a one-story single-family residence at 2110 Coolidge Drive

File No.(s): PLN21-15155

Location: 2110 Coolidge Drive, a 6,000 square feet lot on the northwest side of Coolidge Drive; APN: 216-10-036; property is zoned Single-family Residential (R1-6L).

Applicant: Young Tran

Owner: Anuba Prakash

Request: Architectural Review of a 180 square feet first floor addition and a 529 square foot second floor addition to an existing 1,288 square foot 4 bedroom 2 bathroom one-story residence resulting in a 2,478 square foot 4 bedroom 3 bathroom two-story residence with a new attached 486 square foot garage.

Project Data- see Attachment 2 for full-sized table

Lot Size:6,000 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,288	180	1,468
Second Floor	n/a	529	529
Garage (converted to living space)	481		481
New Garage	n/a	486	486
Gross Floor Area	1,769		2,964
Lot Coverage	$1,769/6,000= 29\%$		$2,435/6,000 = 40\%$
F.A.R.	$1,769/6,000 = 0.293$		$2,964/6,000 = 0.494$
% of 2 nd floor to 1 st floor	n/a		$1,823/2,920=62\%$
Bedrooms/Baths	4/2		4/3
Flood Zone	X		X

Points for consideration

- The project includes a 180 square foot first floor addition and a 529 square foot second floor

addition resulting in a two-story single-family residence with 4 bedrooms and 3 bathrooms.

- The project proposes a lot coverage of 40.6% where the maximum allowed per the R1-6L Zoning District is 40%.
- The proposed addition to the residence will match the existing residence in material, with asphalt shingle roofing and stucco siding.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces within a new 486 square-foot garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed new residence resulting in 4 bedrooms and 3 bathrooms would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with Craftsman style architecture.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.

- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the subject property will have similar massing and height to the adjacent properties.

Conditions of Approval:

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage. Final plans shall reduce the lot coverage to a maximum of 40% as indicated on the staff recommendation.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

ENVIRONMENTAL REVIEW

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 21, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Public comments received on this item are attached to this report.

RECOMMENDATION

Approve the 180 square feet ground floor addition and a 529 second floor addition to an existing

1,288 square feet 4-bedroom and 2-bathroom two-story residence resulting in a two-story 2,478 square feet, 4-bedroom and 3-bathroom house with a new 486 square feet attached garage for the property located at 2110 Coolidge Drive, subject to condition that the project reduce lot coverage to a maximum of 40%.

Prepared by: Tiffany Vien, Assistant Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Department

ATTACHMENTS

1. Development Plan
2. Project Data

INTERIOR REMODEL & ROOM ADDITION 2110 COOLIDGE DRIVE SANTA CLARA, CA 95051

GENERAL NOTES

GENERAL

- A. NOTES AND DETAILS ON THE DRAWINGS AND REQUIREMENTS OF THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. REPORT CONFLICTS TO OWNER'S REPRESENTATIVE.
- B. SUBMIT REQUESTS FOR MODIFICATIONS TO THE CONTRACT DOCUMENTS IN WRITING. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE "REQUEST IN WRITING" UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING REQUESTED.
- C. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- D. THESE DRAWINGS IDENTIFY THE ANTICIPATED SCOPE OF THE WORK. EXISTING CONDITIONS AND DIMENSIONS AND ELEVATIONS HAVE BEEN ESTABLISHED BASED ON REVIEW OF EXISTING ORIGINAL DRAWINGS, EXISTING RENOVATION DRAWINGS, AND LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR INSTRUCTIONS ON REVISION TO THE WORK.
- E. THE CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE EXISTING CONSTRUCTION THAT IS INTENDED TO REMAIN. IF DAMAGE OCCURS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND REPAIR DAMAGE AT NO COST TO THE OWNER.
- F. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF EXISTING REINFORCEMENT PRIOR TO DRILLING OR CORING FOR DOWELS, EXPANSION ANCHORS, OR OTHER ATTACHMENTS TO EXISTING CONCRETE. NOTIFY THE OWNER'S REPRESENTATIVE FOR DIRECTION WHERE CONFLICT BETWEEN EXISTING REINFORCEMENT AND NEW WORK OCCURS.
- G. CUTTING EXISTING REINFORCEMENT IS NOT PERMITTED, UNLESS SPECIFICALLY CALLED OUT ON THESE DRAWINGS.
- H. SAFETY OF PERSONNEL AND PROPERTY DURING THE ENTIRE DEMOLITION AND SHORING WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE DEMOLITION, EXCAVATION, AND UNDERPINNING BEGIN, THE CONTRACTOR SHALL INSPECT EXISTING CONSTRUCTION TO IDENTIFY DEFECTS AND STRUCTURAL WEAKNESSES WHICH MAY AFFECT THE SAFETY OF THE WORK. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT THESE DEFECTS AND WEAKNESSES ARE REMEDIATED PRIOR TO PROCEEDING WITH THE WORK.
- I. THE CONTRACTOR SHALL REVIEW THE NEED FOR TEMPORARY BRACING PRIOR TO THE CUTTING AND REMOVAL OF EXISTING CONSTRUCTION. NOTES REFERRING TO SHORING ON DRAWINGS DO NOT INCLUDE ALL SHORING NECESSARY TO COMPLETE THE WORK.
- J. A PLAN FOR SHORING THE STRUCTURE SHALL BE DEVELOPED, AND ITS IMPLEMENTATION MONITORED, BY A LICENSED CALIFORNIA STRUCTURAL ENGINEER.



ASSESSOR'S MAP
SCALE: 1/8" = 1'-0"

PROJECT DATA:

OWNER:	Anubha Prakash
ADDRESS:	2110 Coolidge Drive Santa Clara, CA 95051
APN:	281-10-036
LOT SIZE:	6,000 S.F.
NUMBER OF STORY:	1
EXISTING LIVING AREA:	1,288S.F.
EXISTING GARAGE:	481 S.F.
CONVERT (E) GARAGE TO LIVING SPACE:	481 S.F.
NEW FIRST FLOOR ADDITION:	180 S.F.
NEW GARAGE:	486 S.F.
NEW 2nd STORY ADDITION:	529 S.F.
NEW LIVING AREA:	2,478 S.F.
ZONING:	R1
OCCUPANCY GROUP:	R-3/U
FIRE SPRINKLER SYSTEM:	NO
TYPE OF CONSTRUCTION:	V-8
LOT COVERAGE:	40.6%

SCOPE OF WORK:

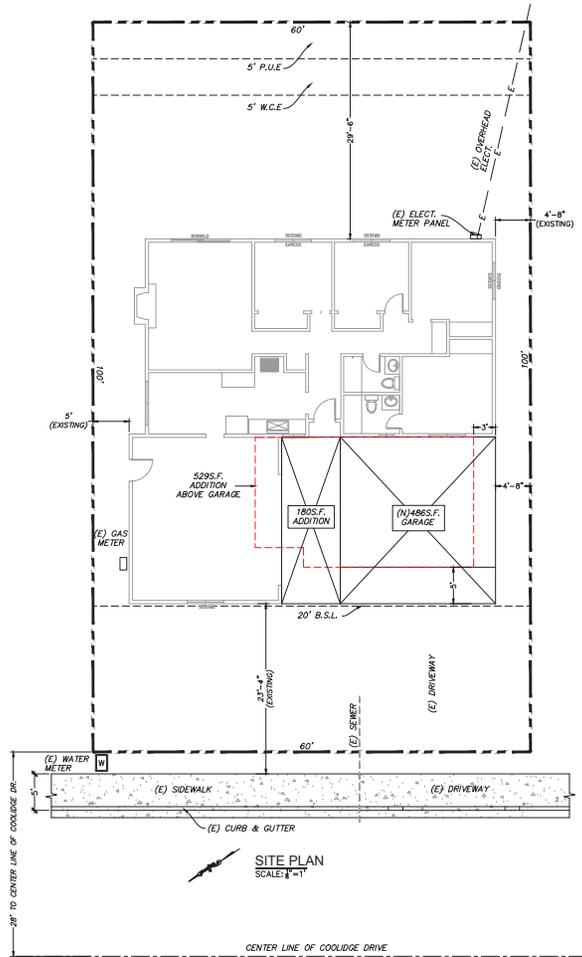
- CONVERTING EXISTING 481 S.F. ATTACHED GARAGE TO LIVING SPACE
- BUILD NEW 486 S.F. ATTACHED GARAGE AT FRONT
- ADD 180S.F. AT FRONT ON FIRST LEVEL
- ADD 529S.F. ABOVE GARAGE
- COMBINED TWO EXISTING BEDROOMS INTO ONE BEDROOM

CODE COMPLIANCE:

- ALL WORK SHALL CONFORM TO:
- 2019 CALIFORNIA BUILDINGS CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA ENRGY CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - ALL APPLICABLE LOCAL CODES AND ORDINANCES

SHEET INDEX:

A-0	SITE PLAN
CG-1	CAL GREEN
A-1	EXISTING FLOOR
A-2	NEW FLOOR PLAN
A-3	EXISTING ELEVATION
A-4	NEW ELEVATION
A-5	ROOF PLAN
B-2	FLOOR AND CEILING FRAMING PLAN
B-3	FOUNDATION PLAN
B-4	STRUCTURAL DETAILS
E-1	ELECTRICAL PLAN



YOUNG B. YOUNG, P.E.
 1745 TECHNOLOGY DRIVE, SUITE 122A
 SAN JOSE, CA 95110
 YOUNG_B_YOUNG@TRAMPYHO.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

SITE PLAN

DESIGN BY: YHT

DRAWN BY: YHT

CHECKED BY: YHT

DATE: 8/16/2021

SCALE: AS SHOWN

A-0

 City of Santa Clara Building Division 1550 Winterton Ave. Santa Clara, CA 95050 www.santacleara.gov		Building Division: 408-416-2440 Email: Building@santacleara.gov Permit Center: 408-615-3400 Email: PermitCenter@santacleara.gov Automated Inspection Scheduling System: 408-615-2400																																					
2016 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST																																							
<i>New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.</i>																																							
BUILDING PERMIT NO.: BLD20 ADDRESS:		MANDATORY MEASURES SPECIFIED (Please check boxes below)																																					
<table border="1"> <thead> <tr> <th>Feature or Measure</th> <th>Yes</th> </tr> </thead> <tbody> <tr> <td colspan="2" style="text-align: center;">SITE DEVELOPMENT (CGC 4.106)</td> </tr> <tr> <td>Storm water drainage and retention during construction. A plan shall be developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2.</td> <td><input type="checkbox"/></td> </tr> <tr> <td>Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings per CGC 4.106.3.</td> <td><input type="checkbox"/></td> </tr> <tr> <td>Electric vehicle (EV) charging for new construction. Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages, and 3% of total parking spaces, as specified for multifamily dwellings per CGC 4.106.4.</td> <td><input type="checkbox"/></td> </tr> <tr> <td colspan="2" style="text-align: center;">ENERGY EFFICIENCY (CGC 4.201)</td> </tr> <tr> <td>Building meets or exceeds the requirements of the California Building Energy Efficiency Standards per CGC 4.201.1.</td> <td><input type="checkbox"/></td> </tr> <tr> <td colspan="2" style="text-align: center;">WATER EFFICIENCY AND CONSERVATION</td> </tr> <tr> <td colspan="2" style="text-align: center;">INDOOR WATER USE (CGC 4.303)</td> </tr> <tr> <td>Water conserving plumbing fixtures and fittings. 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BLD PERMIT NO.:	
OUTDOOR WATER USE (CGC 4.304)	
Outdoor potable water use in landscape areas. New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with CGC 4.304.1.	<input type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)	
Rotient proofing. Annular spaces around pipes, electric cables, conduits or other openings in masonry/brick/plaster at exterior walls shall be rotient proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1.	<input type="checkbox"/>
CONSTRUCTION WASTE REDUCTION/RECYCLING (CGC 4.408)	
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of nonhazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management (CGC 4.408.1).	<input type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION (CGC 4.410)	
An operation and maintenance manual shall be provided to the building occupant or owner per CGC 4.410.1.	<input type="checkbox"/>
Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for depositing, storage and collection of nonhazardous materials for recycling per CGC 4.410.2.	<input type="checkbox"/>
ENVIRONMENTAL QUALITY (CGC 4.503)	
Gas fireplace. Any installed gas fireplaces shall be direct-vent sealed-combustible type per CGC 4.503.1.	<input type="checkbox"/>
Wood/ply. Any installed wood/ply or pellet stove shall comply with U.S. EPA new Source Performance standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits per CGC 4.503.1.	<input type="checkbox"/>
POLLUTANT CONTROL (CGC 4.504)	
Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final start-up of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input type="checkbox"/>
Paints, stains and other coatings shall comply with VOC limits per CGC 4.504.2.2.	<input type="checkbox"/>
Aerosol paints and coatings shall meet the product-weighted MIR limits for ROG and other requirements per CGC 4.504.2.3.	<input type="checkbox"/>
Verification. Documentation shall be provided, at the request of the Building Division, to verify compliance with VOC limit materials per CGC 4.504.2.4.	<input type="checkbox"/>
Carpet systems. All carpet installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input type="checkbox"/>
Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input type="checkbox"/>
INTERIOR MOISTURE CONTROL (CGC 4.505)	
Concrete slab foundations. Vapor retarder and capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 5" or larger clean aggregate under a 6 mil vapor retarder with joint taped not less than 6" shall be provided per CGC 4.505.2 and CRC R506.2.3.	<input type="checkbox"/>
Moisture content of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input type="checkbox"/>
Page 2 of 3	
<small>*\BLDQ\FINAL\FORMS\Informational\RG01 Green Building Residential Checklist_2016_CGC_11-2016.doc</small>	

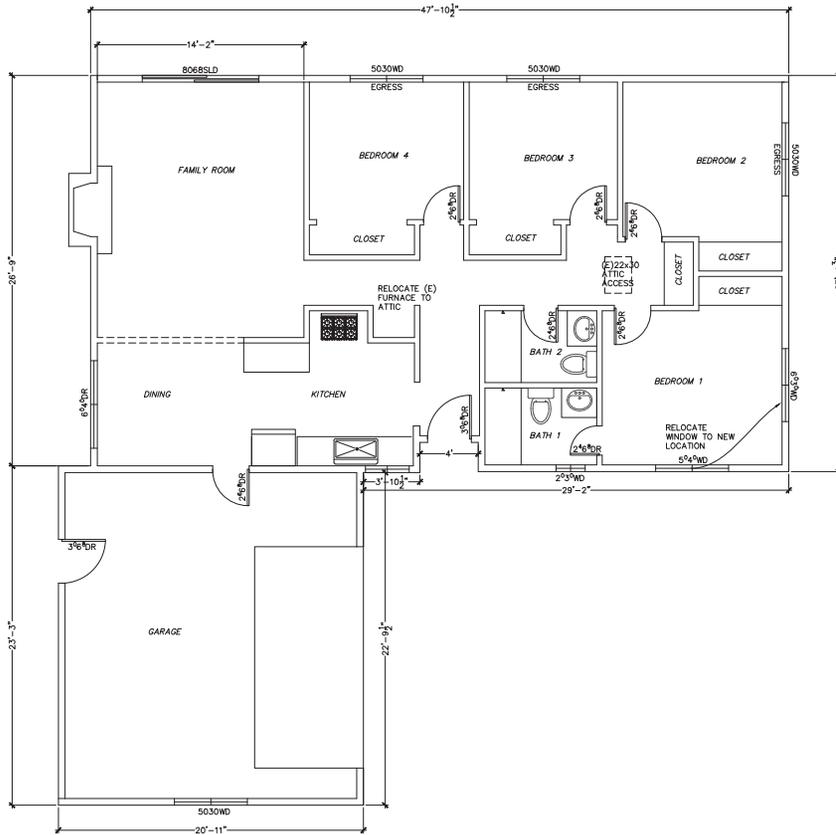
BLD PERMIT NO.:																	
ENVIRONMENTAL COMFORT (CGC 4.507)																	
Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2011 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2014 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent.	<input type="checkbox"/>																
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)																	
Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1.	<input type="checkbox"/>																
Special inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2.	<input type="checkbox"/>																
VERIFICATION (CGC 703)																	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance per CGC 703.1.	<input type="checkbox"/>																
<table border="1"> <thead> <tr> <th>Responsible Designer's Declaration Statement</th> <th>Contractor Declaration Statement</th> </tr> </thead> <tbody> <tr> <td>I hereby certify that this project has been designed to meet the requirements of the 2016 California Green Building Standards Code.</td> <td>I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.</td> </tr> <tr> <td>Name: _____</td> <td>Name: _____</td> </tr> <tr> <td>Signature: _____</td> <td>Signature: _____</td> </tr> <tr> <td>Date: _____</td> <td>Date: _____</td> </tr> <tr> <td>Company: _____</td> <td>License: _____</td> </tr> <tr> <td>Address: _____</td> <td>Address: _____</td> </tr> <tr> <td>City: _____ State: _____ Zip: _____</td> <td>City: _____ State: _____ Zip: _____</td> </tr> </tbody> </table>		Responsible Designer's Declaration Statement	Contractor Declaration Statement	I hereby certify that this project has been designed to meet the requirements of the 2016 California Green Building Standards Code.	I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.	Name: _____	Name: _____	Signature: _____	Signature: _____	Date: _____	Date: _____	Company: _____	License: _____	Address: _____	Address: _____	City: _____ State: _____ Zip: _____	City: _____ State: _____ Zip: _____
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Address: _____	Address: _____																
City: _____ State: _____ Zip: _____	City: _____ State: _____ Zip: _____																
Page 3 of 3																	
<small>*\BLDQ\FINAL\FORMS\Informational\RG01 Green Building Residential Checklist_2016_CGC_11-2016.doc</small>																	

YOUNG BUNN ET AL
 1740 ECHO AVENUE, SUITE 1000
 SAN JOSE, CA 95131
 YOUNG_BUNN@TRAMPHO.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

CAL GREEN REQUIREMENT
 DESIGN BY: YHT
 DRAWN BY: YHT
 CHECKED BY: YHT
 DATE: 8/16/2021
 SCALE: AS SHOWN

CG-1

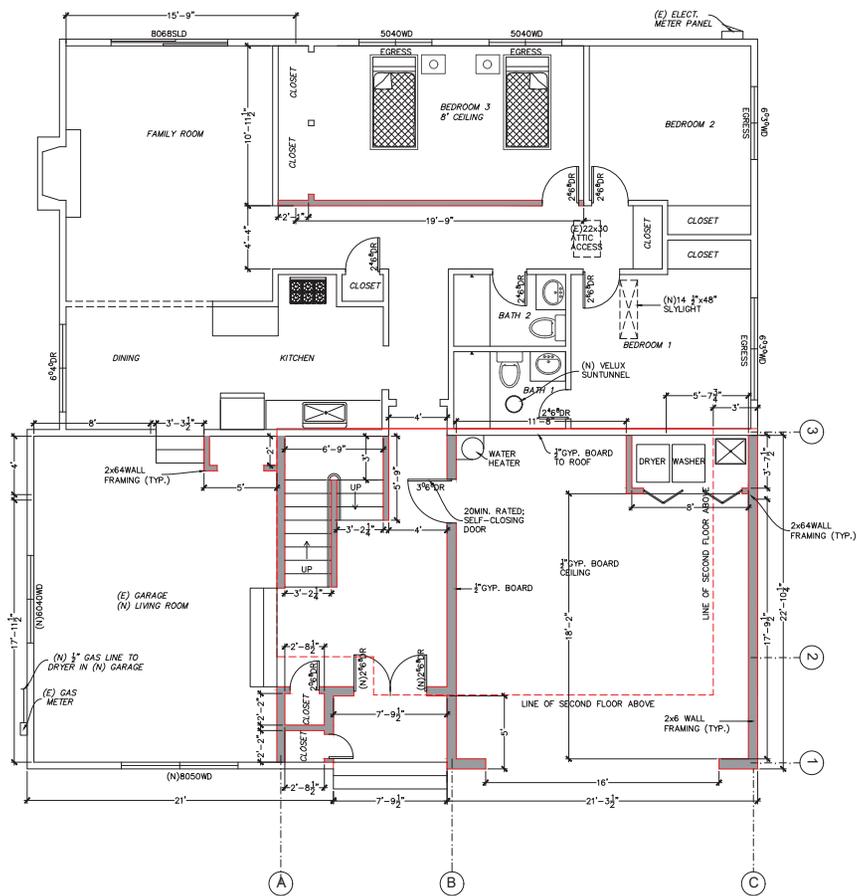


(E) FLOOR PLAN
SCALE: 1"=1'

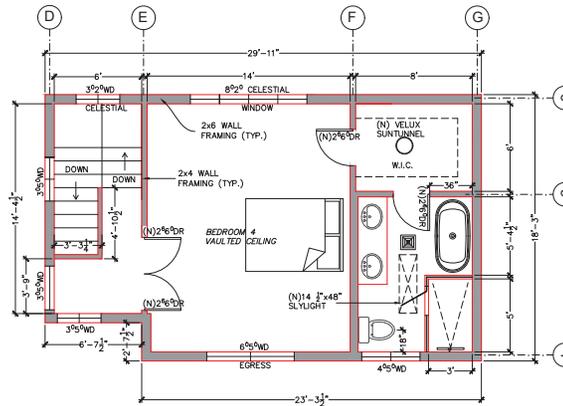
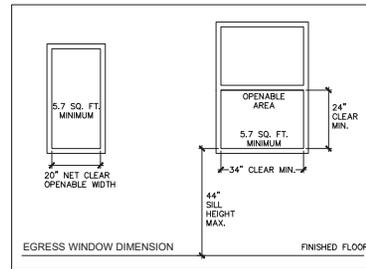
YOUNG L. TRAN, P.E.
1747 TECHNOLOGY DRIVE SUITE 122A
SAN JOSE, CA 95110
YOUNG.L.TRAN@YHO.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

EXISTING FLOOR PLAN
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'

- NOTES:**
1. ALL NEW BEDROOMS AND HALLWAYS MUST HAVE HARDWIRE SMOKE DETECTORS WITH BATTERY BACK UP. WHEN THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOM EXCEEDS THAT OF THE HALLWAY BY 2'4" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM.
 2. ALL ATTIC & UNDER FLOOR AREAS SHALL HAVE CROSS VENTILATION EQUAL TO 1/60 OF THE ATTIC AREA. ALL VENT OPENING MUST BE COVERED WITH 1" CORROSION-RESISTANT WIRE MESH.
 3. SHOWER WALLS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET.
 4. BATHROOM FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR MIN. & INTERCONNECT TO A MOISTURE SENSOR.
 5. SHOWERS AND TUB-SHOWER SHALL HAVE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
 6. ALL DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
 7. LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE DOOR'S THRESHOLD.
 8. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWING, SLIDING, BI-FOLD DOORS, SHOWER DOOR AND BATHROOM WINDOWS SHALL BE TEMPERED SAFETY GLAZING.
 9. ALL TOILETS EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.2GAL. PER FLUSH.
 10. ALL LAVATORY FAUCETS SHALL NOT EXCEED 1.5GPM.
 11. ALL SHOWER HEADS SHALL NOT EXCEED 20GPM.
 12. KITCHEN FAUCET SHALL NOT EXCEED 1.8GPM.

LEGEND:

- (E) WALL TO BE REMOVED
- (N) WALL
- (E) WALL
- DOOR/WINDOW CALL-OUT: 2'-6"-WIDTH 6'-8"-HEIGHT 2665DR
- DR=DOOR TEMP.=TEMPERED GLASS W=WINDOW SLD=SLIDING
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HOSE BIB
- SUPPLY REGISTER
- RETURN REGISTER
- (N) EXHAUST FAN W/MOTION & HUMIDITY SENSORS
- 14 2"x48" SKYLIGHT

HEADER SCHEDULE -UON					
OPENING WIDTH	4'	6'	8'	10'	12'
HEADER	4x4	4x6	4x8	4x10	4x12
POST SUPPORT	2x4	2x4	2x4	3x4	3x4

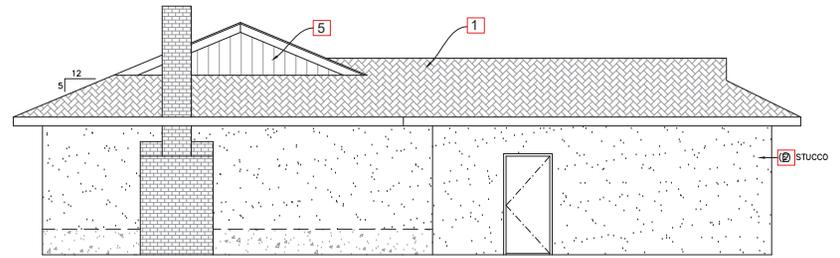
YOUNG H. TRAN, P.E.
1740 TECHNOLOGY DRIVE, SUITE 122A
SAN JOSE, CA 95110
YOUNG_H_TRAN@YHTRAD.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

FLOOR PLANS
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN

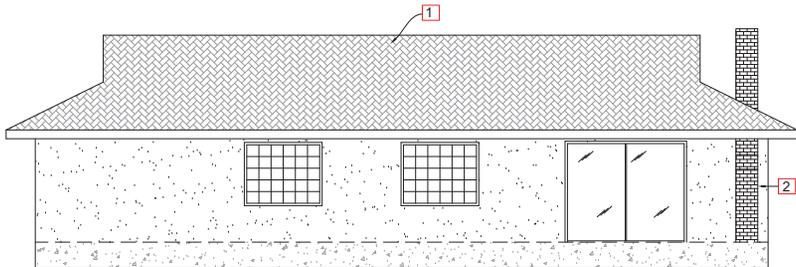


FRONT ELEVATION (EAST)
SCALE: 1/8"=1'

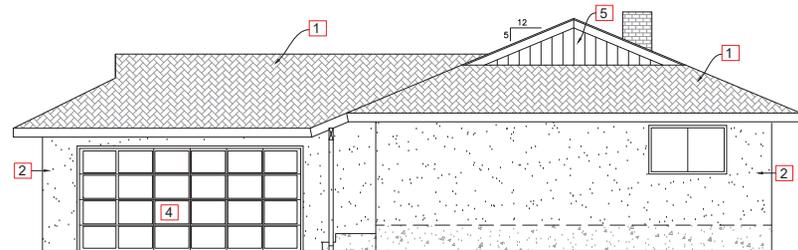


LEFT ELEVATION (SOUTH)
SCALE: 1/8"=1'

- KEY NOTES:**
- 1 (E) ASPHALT SHINGLE ROOF
 - 2 (E) STUCCO FINISHED
 - 3 (E) WINDOW TO BE REMOVED
 - 4 (E) GARAGE DOOR TO BE REMOVED
 - 5 (E) SIDING FINISHED
 - 6 (E) WINDOW - REMOVE & REPLACE WITH LARGER WINDOW



REAR ELEVATION (WEST)
SCALE: 1/8"=1'

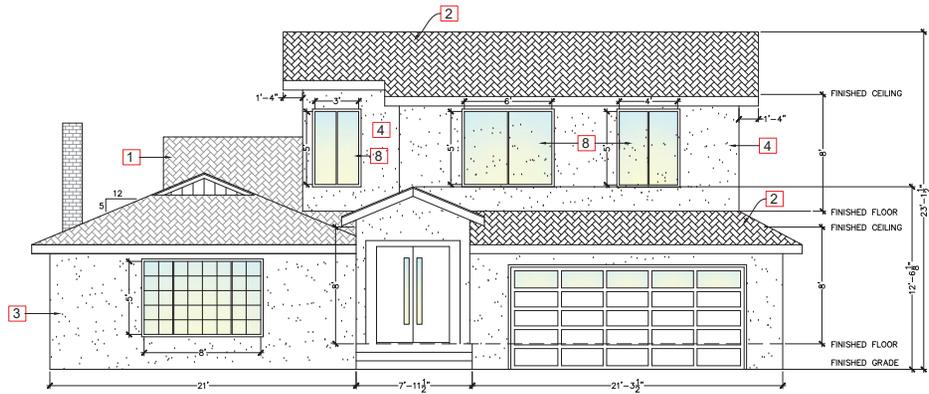


RIGHT ELEVATION (NORTH)
SCALE: 1/8"=1'

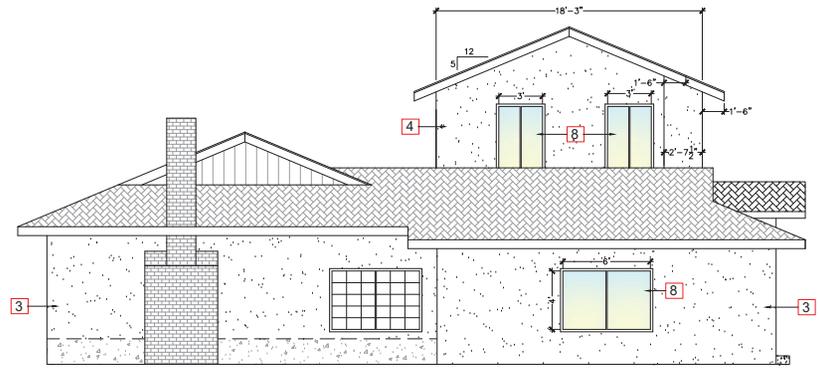
YOUNG H. YIM, P.E.
1740 TECHNOLOGY PARK SUITE 122A
SAN JOSE, CA 95110
YOUNG_H_YIM@YIMPHOTO.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

EXISTING ELEVATION
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN

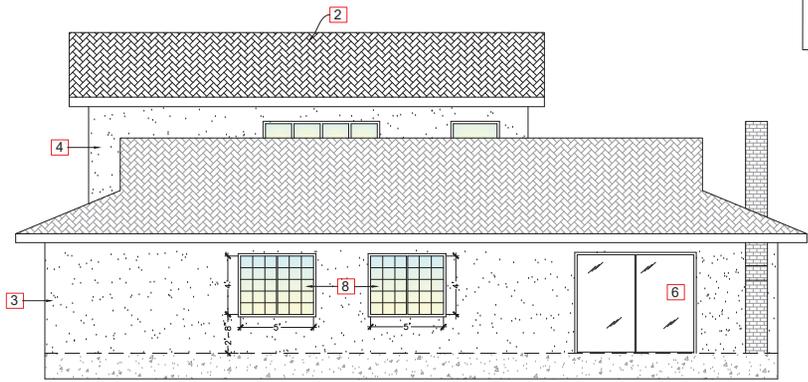


FRONT ELEVATION (EAST)
SCALE: 1/8"=1'

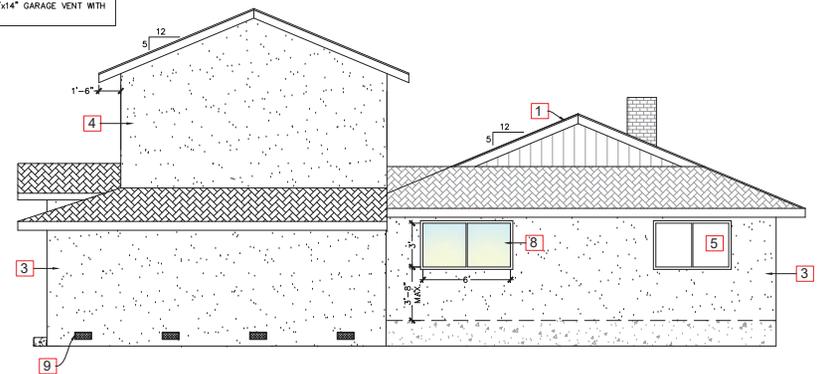


LEFT ELEVATION (SOUTH)
SCALE: 1/8"=1'

- KEY NOTES:**
- 1 (E) ASPHALT SHINGLE ROOF
 - 2 (N) ASPHALT SHINGLE ROOF. MATCH (E) PATTERN AND COLOR
 - 3 (E) STUCCO FINISHED
 - 4 (N) 3-LAYER 1/2" THICK MIN. STUCCO FINISHED. MATCH (E) PATTERN AND COLOR
 - 5 (E) WINDOW
 - 6 (E) PATIO DOOR
 - 7 (E) DOOR
 - 8 (N) WINDOW
 - 9 PROVIDE FOUR (4) 6"x14" GARAGE VENT WITH 1/2" GALV. SCREEN



REAR ELEVATION (WEST)
SCALE: 1/8"=1'

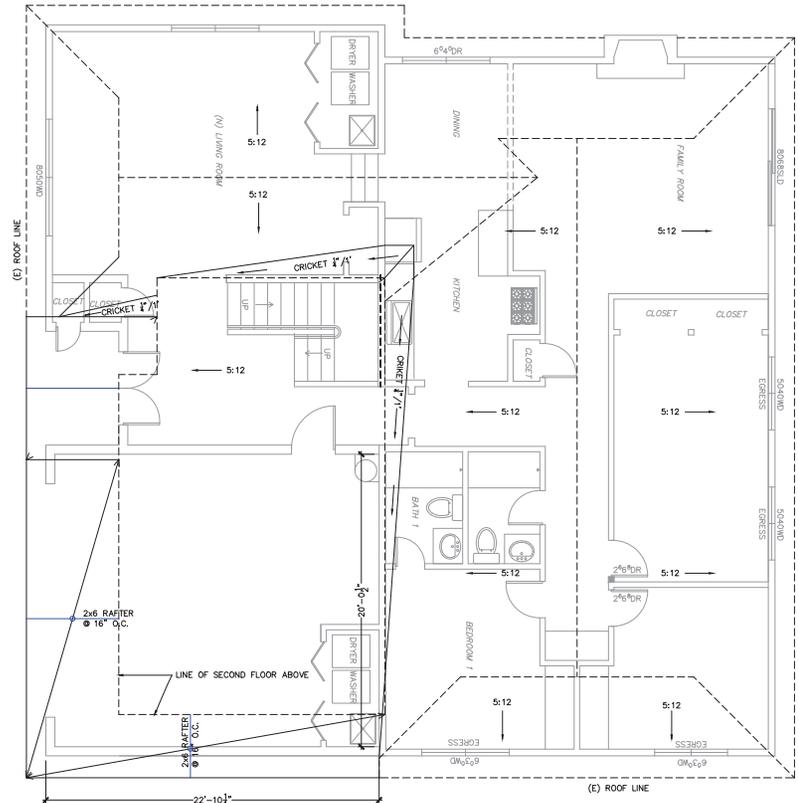


RIGHT ELEVATION (NORTH)
SCALE: 1/8"=1'

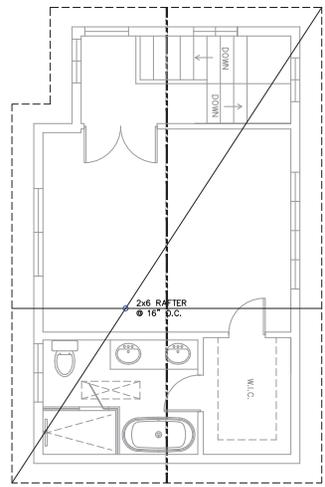
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INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

NEW ELEVATION
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN



LOWER ROOF PLAN
SCALE: 1/8"=1'

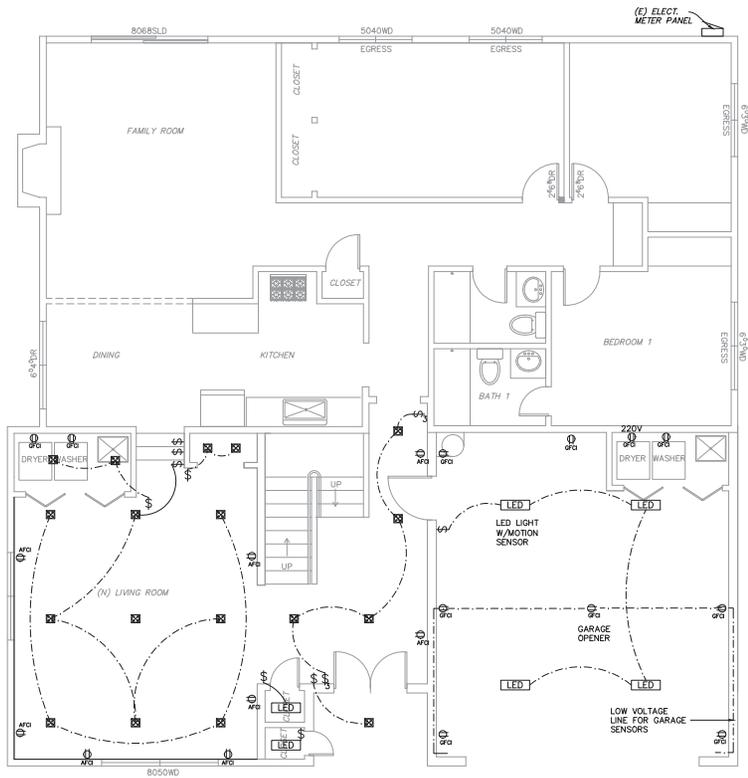


SECOND FLOOR ROOF PLAN
SCALE: 1/8"=1'

YOUNG H. TRAN, P.E.
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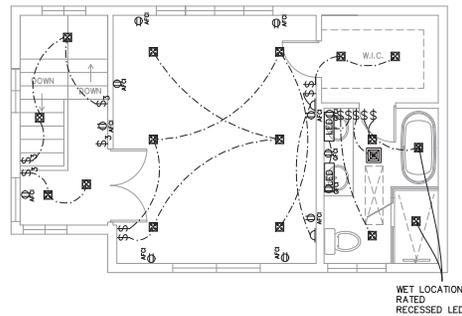
INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

ROOF PLAN
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN



FIRST FLOOR LIGHTING & ELECTRICAL PLAN

SCALE: 1/4"=1'



SECOND FLOOR LIGHTING & ELECTRICAL PLAN

SCALE: 1/4"=1'

- NOTES:**
1. ALL NEW CIRCUITS REQUIRE AFCI SHALL BE PROVIDED WITH A COMBINATION TYPE AFCI CIRCUIT BREAKER.
 2. AFCI PROTECTION FOR THE ENTIRE BRANCH CIRCUIT SUPPLYING ANY OUTLETS OR DEVICES IN KITCHEN, FAMILY ROOM, DINING ROOM, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOM, CLOSET, LAUNDRY ROOM, HALLWAYS OR SIMILAR AREAS.
 3. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED AND HAVE AFCI PROTECTION WITH A CIRCUIT BREAKER.
 4. ALL AFCI CONTROLS (BREAKER TEST BUTTONS AND OUTLET TEST BUTTONS) MUST BE ACCESSIBLE.
 5. A MINIMUM OF ONE 20A CIRCUIT IS REQUIRED FOR BATHROOM RECEPTACLES. THIS CIRCUIT CAN HAVE NO OTHER OUTLETS INCLUDING LIGHTS. IF A 20A CIRCUIT SERVES ONLY ONE BATHROOM, LIGHTS AND FANS CAN BE ON THAT CIRCUIT.
 6. HYDRO-MASSAGE TUBS SHALL HAVE A DEDICATED CIRCUIT AND READILY ACCESSIBLE GFCI PROTECTION. AN ACCESS DOOR IS REQUIRED AND MUST BE LARGE ENOUGH FOR MOTOR AND PUMP REMOVAL. CORD-CONNECTED EQUIPMENT MUST HAVE THE RECEPTACLE FACING THE OPENING AND BE NO MORE THAN 12" BEHIND THE ACCESS DOOR.
 7. RECESSED LIGHT FIXTURES IN SHOWER ENCLOSURES MUST BE LISTED FOR DAMP OR WET LOCATION.
 8. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY.
 9. AT LEAST ONE LIGHT IN BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON, AUTOMATIC-OFF).
 10. PROVIDE TWO 20A CIRCUITS MIN. FOR COUNTER TOP AND WALL RECEPTACLES IN KITCHEN, PANTRY AND DINING ROOM. BUILT-IN APPLIANCES SHALL BE ON SEPARATE CIRCUITS.
 11. PROVIDE DEDICATED CIRCUITS FOR GARBAGE DISPOSAL, MICROWAVE, COMPACTOR AND DISHWASHER.
 12. SERVICE DROP CONDUCTORS MUST HAVE A MINIMUM HEIGHT OF 12' ABOVE GROUND; 10' MIN. WHERE ACCESSIBLE ONLY TO PEDESTRIAN.
 13. ONLY POWER CONDUCTORS ARE ALLOWED ON MAST. NO CABLE TV OR PHONE WIRES ALLOWED.

LEGENDS/SYMBOLS:

- | | |
|---------------------------|-----------------------------------|
| ⊞ SWITCH | ⊙ LED SURFACE MOUNT CEILING LIGHT |
| ⊞ RECEPTACLE | ⊞ HEAT REGISTER |
| ⊞ GFCI RECEPTACLE | ⊞ RETURN AIR REGISTER |
| ⊞ WEATHERPROOF RECEPTACLE | ⊞ CEILING FAN |
| ⊞ LED LIGHT SURFACE MOUNT | ⊞ LED RECESSED LIGHT |
| ⊞ BATH ROOM EXHAUST FAN | ⊞ WATER PROOF OUTDOOR OUTLET |
| ⊞ EXTERIOR LIGHT | ⊞ CABLE/SATELLITE JACK |
| ⊞ HOSE BIB | ⊞ SMOKE DETECTOR |
| ⊞ PHONE & CATS DATA | ⊞ CO DETECTOR |
| ⊞ WALL MOUNT LED LIGHT | |

YOUNGJULIAN, INC.
1724 TECHNOLOGY DRIVE SUITE 122A
SAN JOSE, CA 95110
YOUNGJULIAN@YOUNGJULIAN.COM

INTERIOR REMODEL & ADDITION
2110 COOLIDGE DRIVE
SANTA CLARA, CA 95051

ELECTRICAL
DESIGN BY: YHT
DRAWN BY: YHT
CHECKED BY: YHT
DATE: 8/16/2021
SCALE: AS SHOWN

2110 Coolidge Drive Project Data:

Lot Size:6,000 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,288	180	1,468
Second Floor	n/a	529	529
Garage (converted to living space)	481		481
New Garage	n/a	486	486
Gross Floor Area	1,769		2,964
Lot Coverage	$1,769/6,000 = 29\%$		$2,435/6,000 = 40.6\%$
F.A.R.	$1,769/6,000 = 0.29$		$2,964/6,000 = 0.49$
% of 2nd floor to 1st floor	n/a		$1,823/2,920 = 62\%$
Bedrooms/Baths	4/2		4/3
Flood Zone	X		X



Agenda Report

21-1526

Agenda Date: 11/3/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on the demolition of an existing 157 square-foot deck and the new construction of 65 square-foot second floor balcony with an exterior staircase at the rear of the existing two-story residence at 3148 Barkley Avenue (Continued from the October 20, 2021 Development Review Hearing)

File No.(s): PLN2021-14860

Location: 3148 Barkley Avenue, an 8,645 square feet lot on the southeast corner of Calababas Boulevard and Barkley Avenue; APN: 220-29-093; property is zoned Single-family Residential (R1-6L).

Applicant: Barukh Bennaim

Owner: Kim Johnsen

Request: Architectural Review of the demolition of an existing 157 square foot deck and the new construction of 65 square foot second floor balcony with an exterior staircase at the rear of the existing two-story residence.

Project Data- see Attachment 2 for full-sized table

Lot Size: 8,645 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,019		1,019
Second Floor	1,376		1,376
Garage	410		410
Porch	43		43
Patio	157	-157	0
Second Floor Balcony	n/a	65	65
Gross Floor Area	2,962		2,913
Lot Coverage	1,629/8,645= 18.8%		1,472/8,645 = 17%
F.A.R.	2,962/8,645 = 0.34%		2,913/8,645 = 0.34%
% of 2 nd floor to 1 st floor	1,376/1,429=96%		1,376/1,429=96%
Bedrooms/Baths	4/3		4/3
Flood Zone	X		X

Points for consideration

- The project includes the demolition of an existing 157 square foot deck and the new construction of 65 square foot second floor balcony with an exterior staircase at the rear of the existing two-story residence.
- Applicant is proposing an exterior staircase to add a second egress to the existing residence. The floor plan of the existing residence has the kitchen and dining room located on the second floor, the applicant would like to utilize the proposed exterior staircase to provide more convenience to access the backyard for outdoor activities.
- Exterior staircases are not supported in single family zoning districts.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces within the existing 410 square-foot garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed balcony is 4 feet in depth which is consistent with the City's Design Guidelines.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The existing development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the*

public welfare or injuries to property or improvements in said neighborhood, in that;

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The project proposes an external staircase to the second floor which is inconsistent with the City's Single Family Residential Design Guidelines. To maintain the appearance as a single family residence, the staircases should be enclosed.

Conditions of Approval:

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits that incorporate an enclosed staircase as part of the structure. Said enclosure must meet all setback requirements for the zoning district. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

ENVIRONMENTAL REVIEW

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On October 21, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

RECOMMENDATION

Redesign the proposed project by enclosing the exterior staircase and, submit as final architectural approval by Planning staff as per the conditions of approval.

Prepared by: Tiffany Vien, Assistant Planner, Community Development Department

Approved by: Gloria Sciara, Development Review Officer, Community Development Department

ATTACHMENTS

1. Development Plan
2. Project Data
3. Supporting Documents

DECK ADDITION

3148 Barkley Ave.
 Santa Clara, CA 95051
 APN: 220-29-093

EXISTING HOUSE NOT FIRE SPRINKLER



PROJECT INFORMATION:

DRAFTER: CLARA PORTILLO
 PORAVINFO@GMAIL.COM
 408.341.5222

PARCEL MAP: 220-29-093
CONSTRUCTION TYPE: V/B
OCCUPANCY GROUP: R3/U
ZONING SITE: R1-6L
HOUSE LEVEL: 2
FIRE SPRINKLER: NONE
LOT SIZE: 10,610 SQ.FT

EXISTING
BEDROOM: 4
BATHROOM: 3 FULL
GARAGE: 2 CAR ATTACHED

DRAWING INDEX:

ARCHITECTURAL SHEETS:
 A-01 ARCHITECTURAL COVER SHEET
 A-02 ARCHITECTURAL EXISTING SETBACK PLAN
 A-03 ARCHITECTURAL PROPOSED SETBACK PLAN
 A-04 ARCHITECTURAL EXISTING FLOOR PLAN
 A-05 ARCHITECTURAL PROPOSED FLOOR PLAN
 A-06 ARCHITECTURAL ELEVATIONS
 A-07 ARCHITECTURAL ELECTRICAL PLAN

STRUCTURAL SHEETS:
 S1.0 GENERAL NOTES
 S1.2 MISC. CONCRETE DETAILS
 S1.3 SWS = DETAILS
 S1.4 CONVENTIONAL FRAMING DETAILS
 S2.0 FOUNDATION PLAN
 S2.1 SHEAR-WALL PLAN
 S3.0 2ND FLOOR PLAN

TITLE 24 CALCULATIONS:
 T24-1 TITLE 24 ENERGY CALCULATIONS SHEET 1
 T24-2 TITLE 24 ENERGY CALCULATIONS SHEET 2

BUILDING CODES:
 2019 CALIFORNIA BUILDING CODES
 2019 CALIFORNIA RESIDENTIAL CODES
 2019 CALIFORNIA ELECTRICAL CODES
 2019 CALIFORNIA MECHANICAL CODES
 2019 CALIFORNIA PLUMBING CODES
 2019 CALIFORNIA FIRE CODES
 2019 CALIFORNIA EXISTING BUILDING CODES
 2019 CALIFORNIA GREEN BUILDING CODES
 2019 BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT DATA & SUMMARY :

EXISTING PROJECT DATA:

LOT AREA: 8,645 Sq.Ft

EXISTING DATA:
 (E) 1ST FLOOR: 1,019 Sq.Ft
 (E) 2ND FLOOR: 1,376 Sq.Ft
 (E) PORCH: 43 Sq.Ft
 (E) GARAGE: 410 Sq.Ft
 (E) PATIO: 157 Sq.Ft
TOTAL: 3,005 Sq.Ft

BC: 1,629 / 8,645 = 18.84 %
FAR: 2,805 / 8,645 = 32.44 %

PROPOSED WORK:
 DEMO PATIO: 157 Sq.Ft
 2ND STORY DECK ADDITION: 65 Sq.Ft

PROPOSED PROJECT DATA:

LOT AREA: 8,645 Sq.Ft

EXISTING DATA:
 (E) 1ST FLOOR: 1,019 Sq.Ft
 (E) 2ND FLOOR: 1,376 Sq.Ft
 (E) PORCH: 43 Sq.Ft
 (E) GARAGE: 410 Sq.Ft
 (N) 2ND STORY DECK: 65 Sq.Ft
TOTAL: 2,913 Sq.Ft

BC: 1,537 / 8,645 = 17.77 %
FAR: 2,805 / 8,645 = 32.44 %

PROJECT SCOPE OF WORK:

- 1- DEMOLISH 157 Sq.Ft OF (E) PATIO.
- 2- ADD 65 Sq.Ft OF DECK AREA TO THE SECOND STORY OF THE HOUSE.
- 3- REMOVE (E) WINDOW IN DINING ROOM AND ADD A NEW 2'6" SINGLE DOOR.
- 4- NON SLIPPERY OUTDOOR FLOOR FINISH ON DECK.
- 5- NO CHANGE TO THE HOUSE SQUARE FOOTAGE.

NOTES:

THE CONTRACTOR SHALL UPRIGHT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

DATE			
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BY			
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DESCRIPTION			
NO.			

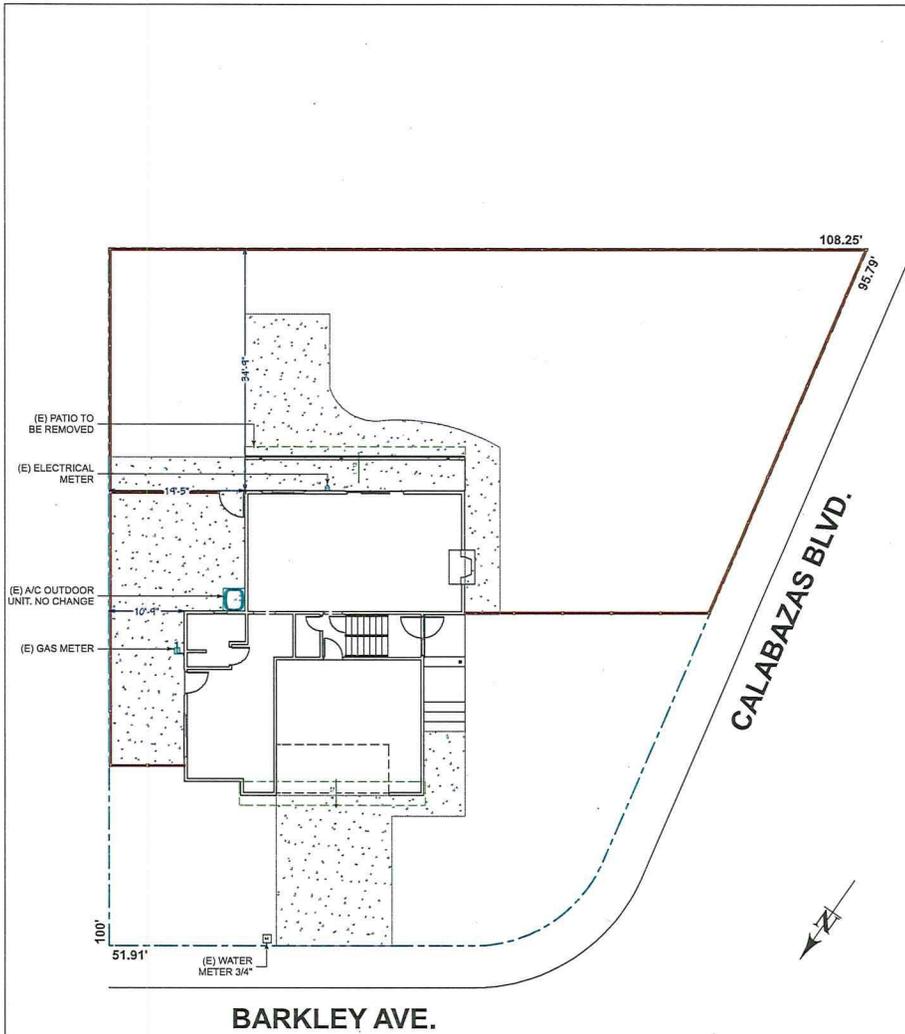
PROJECT:
 3148
 Barkley Ave.
 Santa Clara,
 CA 95051
APN:
 220-29-093

ARCHITECTURAL COVER SHEET

DATE:
 10/20/2021

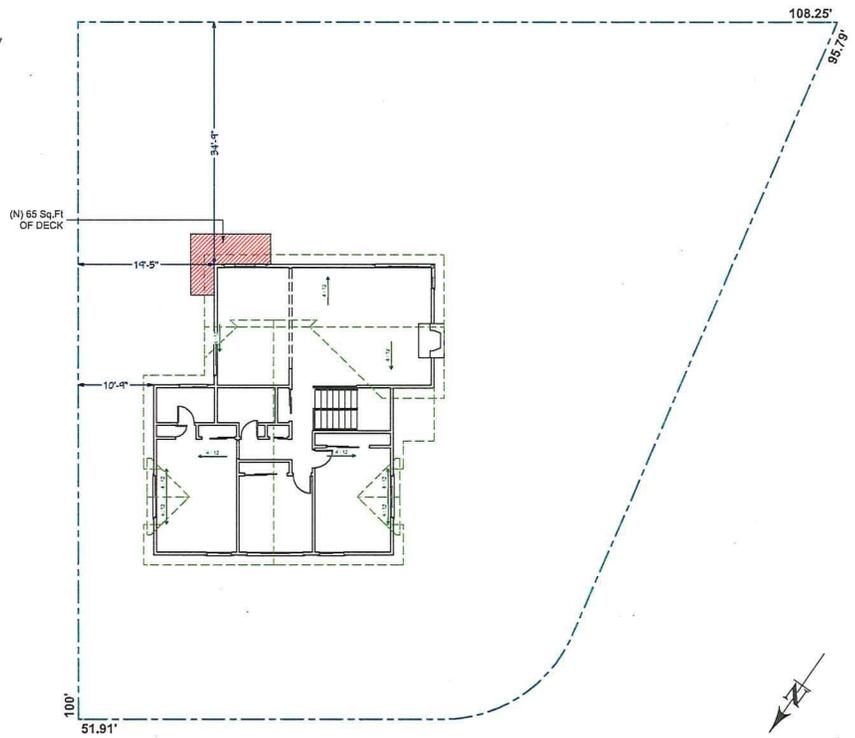
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SHEET:
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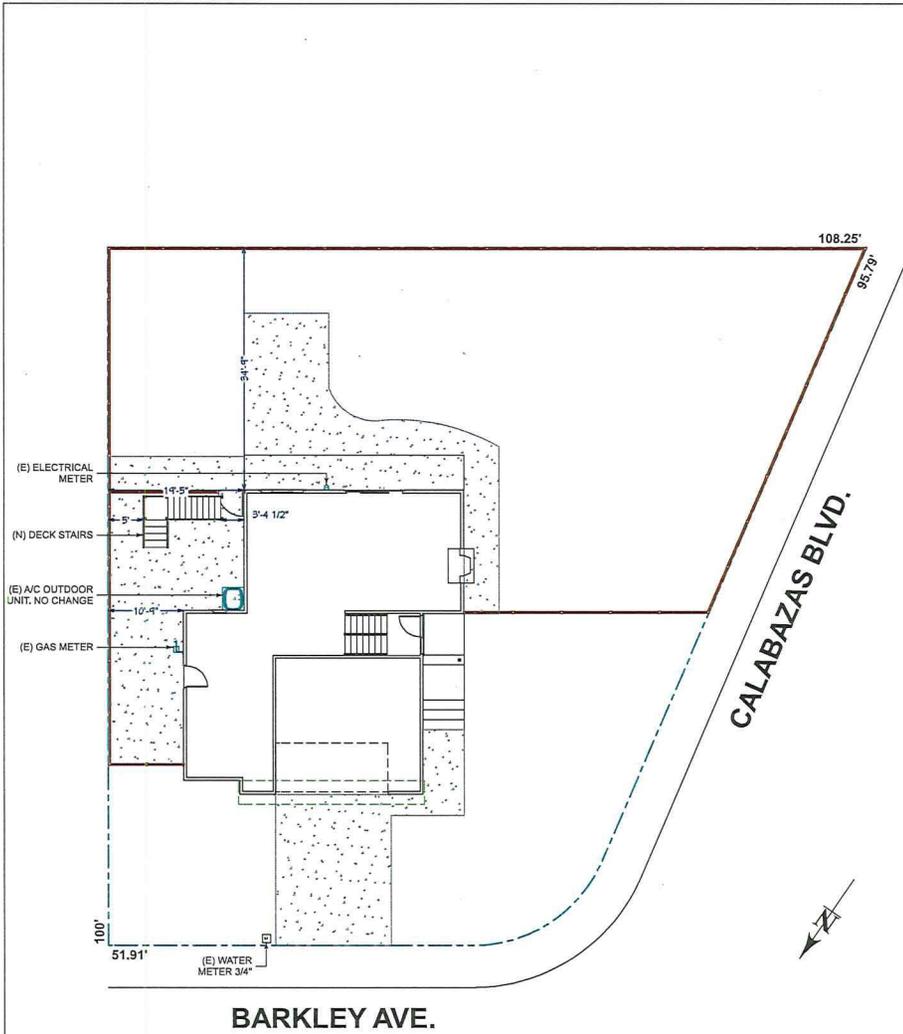
BARKLEY AVE.

EXISTING SETBACK PLAN - FIRST FLOOR
SCALE 1/8"=1'-0"

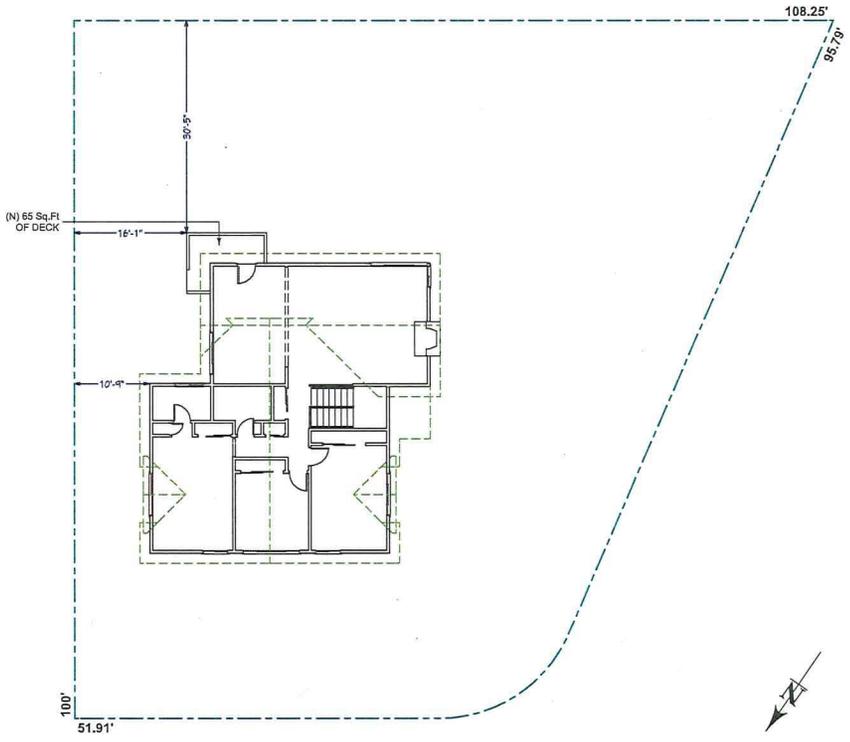


EXISTING SETBACK PLAN - SECOND FLOOR
SCALE 1/8"=1'-0"

BY	DATE		
DESCRIPTION			
NO.			
PROJECT: 3148 Barkley Ave. Santa Clara, CA 95051 APN: 220-29-093			
SHEET TITLE: ARCHITECTURAL EXISTING SETBACK PLAN			
DATE: 10/20/2021			
DESIGNERS STAMP:			
SHEET: A-02			



PROPOSED SETBACK PLAN - FIRST FLOOR
SCALE 1/8"=1'-0"



PROPOSED SETBACK PLAN - SECOND FLOOR
SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE

PROJECT:
3148
Barkley Ave.
Santa Clara,
CA 95051
APN:
220-29-093

SHEET TITLE:

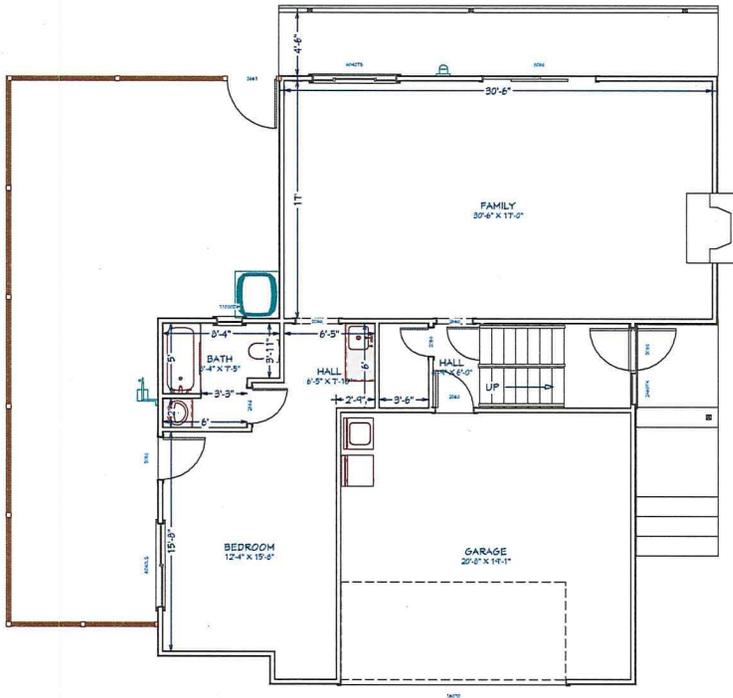
ARCHITECTURAL
PROPOSED
SETBACK PLAN

DATE:
10/20/2021

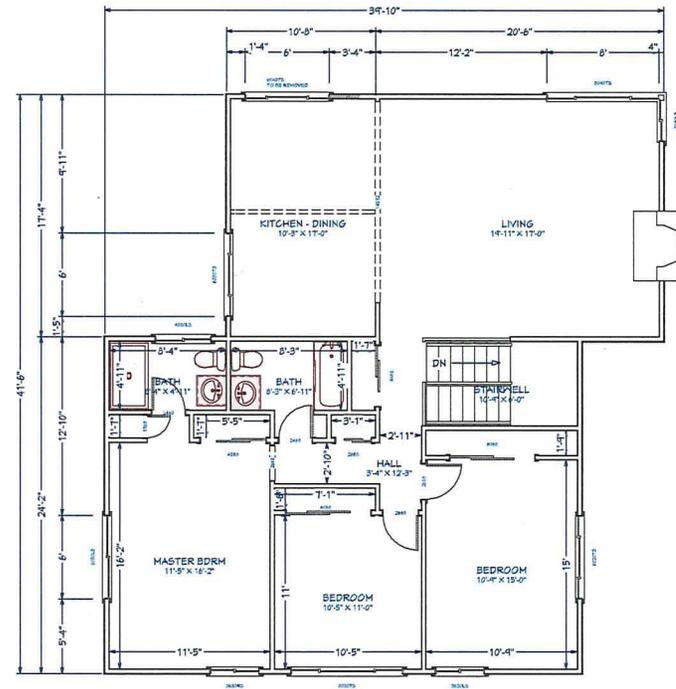
DESIGNERS STAMP:

SHEET:

A-03



EXISTING FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



EXISTING SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

PROJECT:
3148
Barkley Ave.
Santa Clara,
CA 95051
APN:
220-29-093

SHEET TITLE:
**ARCHITECTURAL
EXISTING
FLOOR PLAN**

DATE:
10/20/2021

DESIGNERS STAMP:

SHEET:

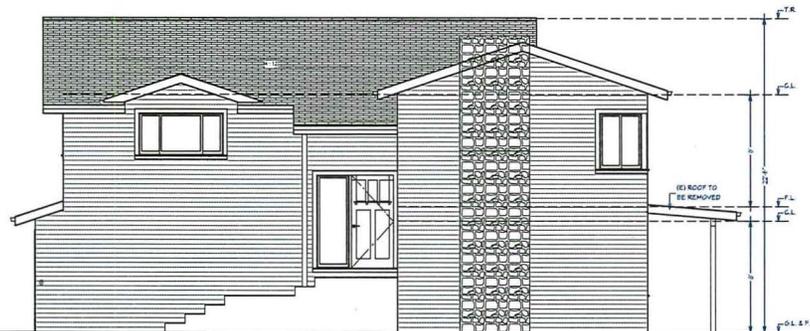
A-04



EXISTING REAR ELEVATION
SCALE 1/4"=1'-0"



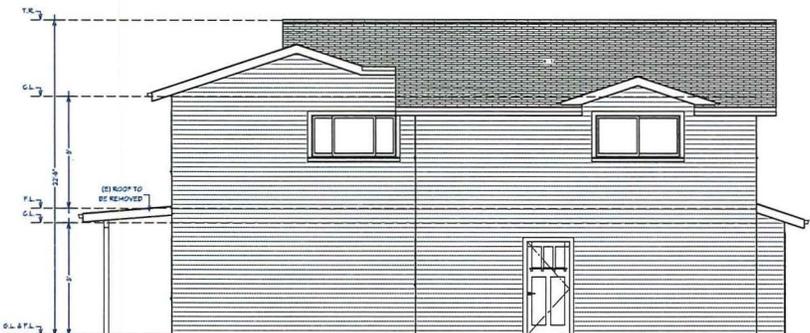
PROPOSED REAR ELEVATION
SCALE 1/4"=1'-0"



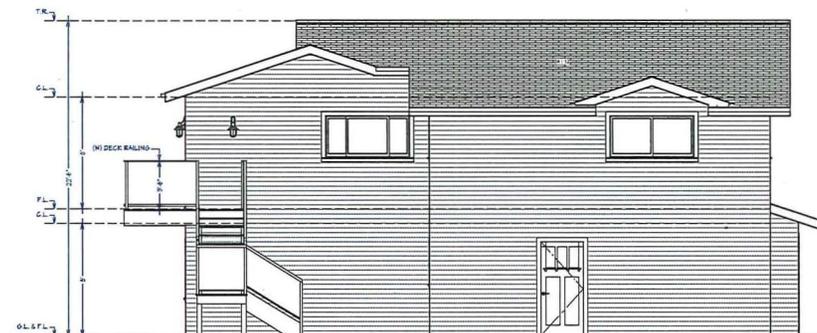
EXISTING RIGHT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED RIGHT ELEVATION
SCALE 1/4"=1'-0"



EXISTING LEFT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE 1/4"=1'-0"

DATE	BY	DESCRIPTION

PROJECT:
3148
Barkley Ave.
Santa Clara,
CA 95051
APN:
220-29-093

ARCHITECTURAL
ELEVATIONS

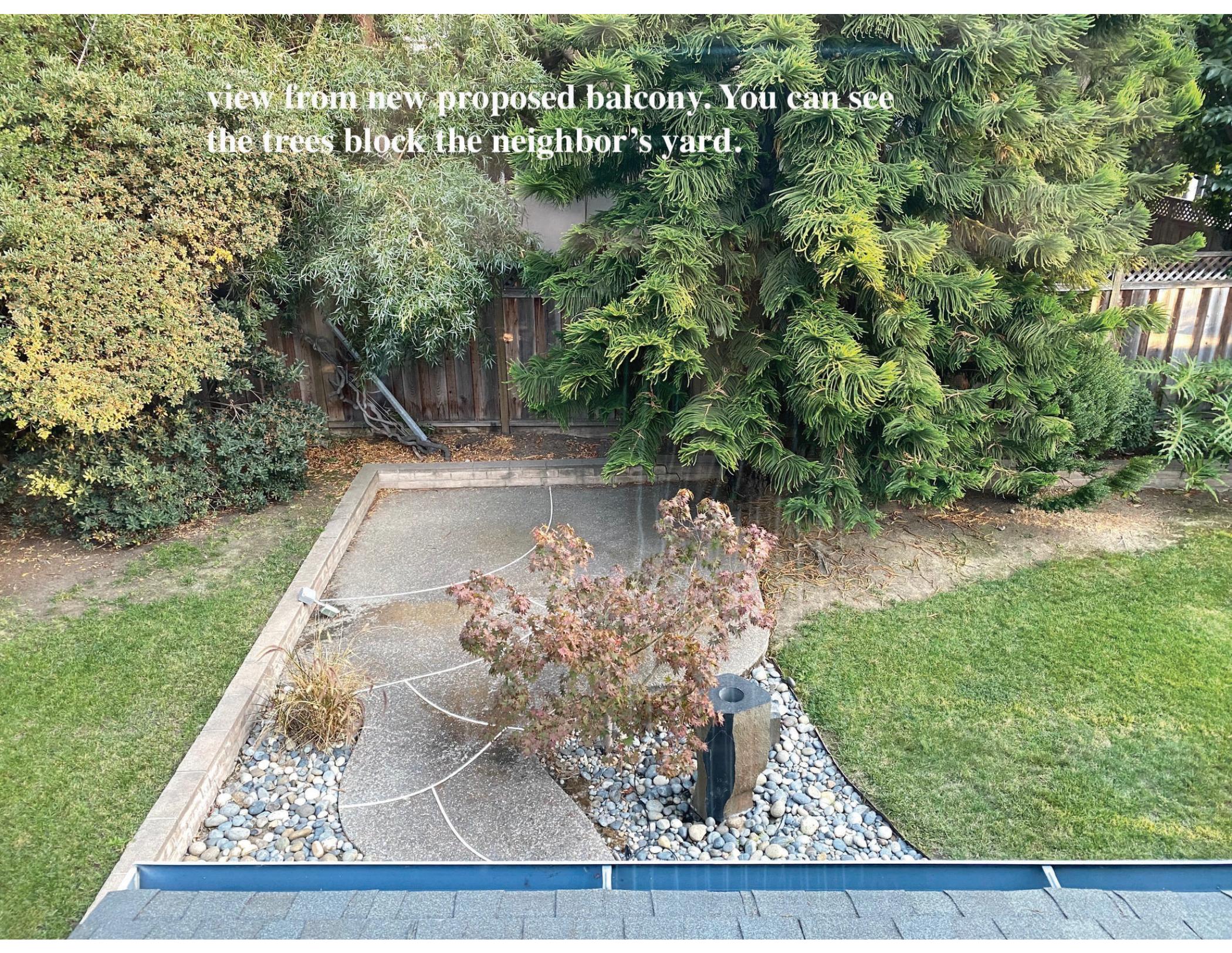
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10/20/2021
DESIGNERS STAMP:

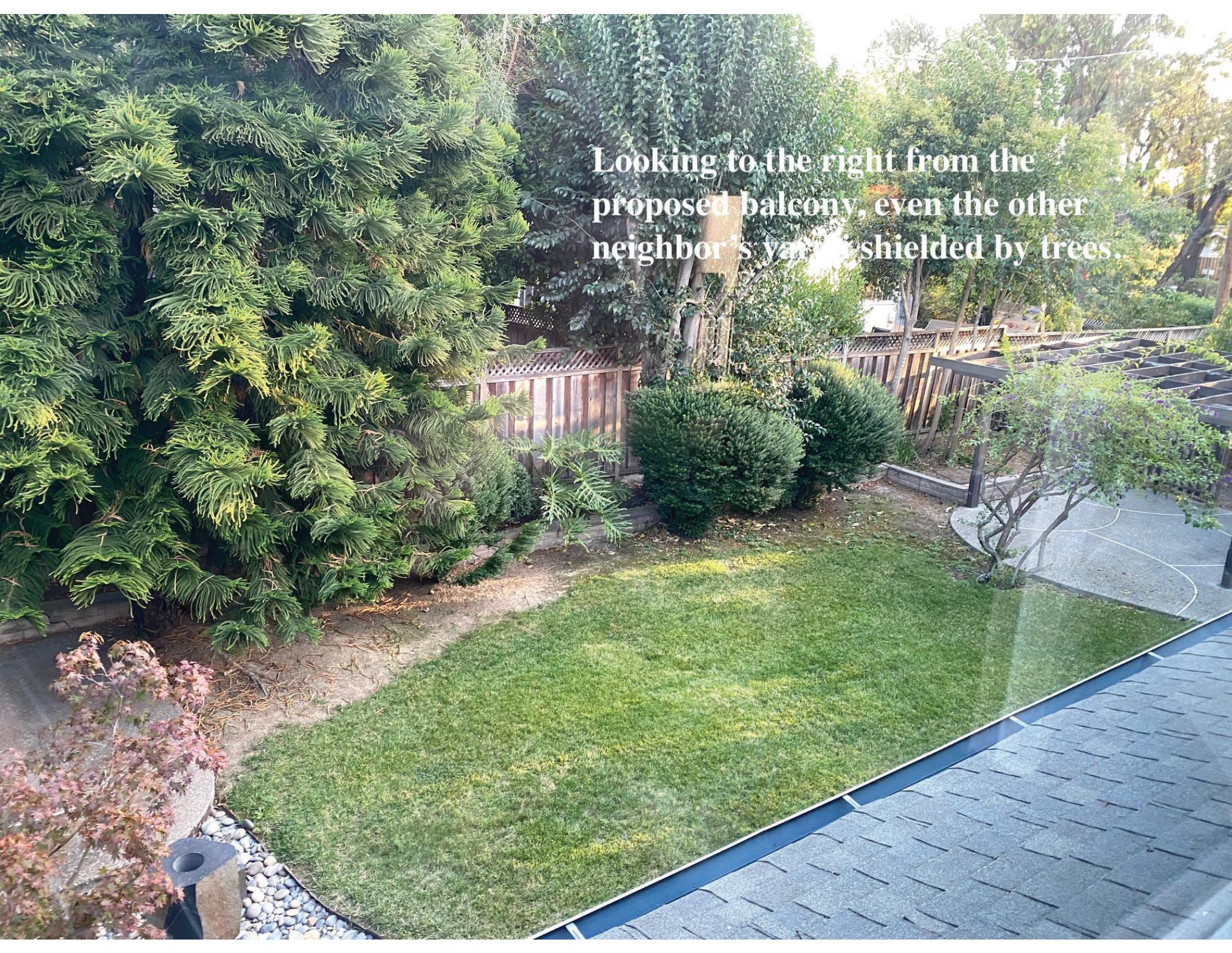
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A-06

3148 Barkley Ave Project Data

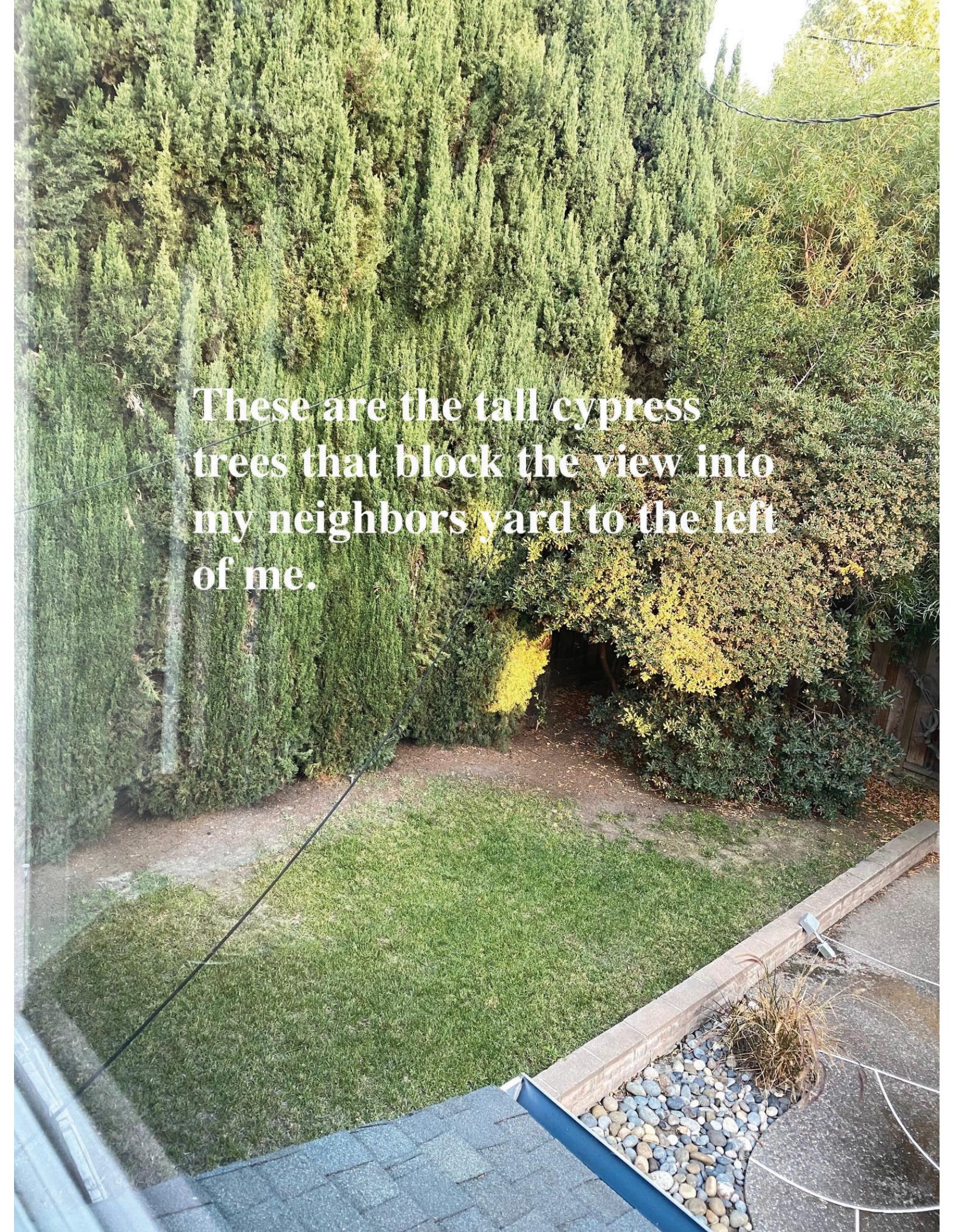
Lot Size: 8,645 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,019		1,019
Second Floor	1,376		1,376
Garage	410		410
Porch	43		43
Patio	157	-157	0
Second Floor Balcony	n/a	65	65
Gross Floor Area	2,962		2,913
Lot Coverage	1,629/8,645= 18%		1,472/8,645 = 17%
F.A.R.	2,962/8,645 = 0.34		2,913/8,645 = 0.34
% of 2nd floor to 1st floor	1,376/1,429=96%		1,376/1,429=96%
Bedrooms/Baths	4/3		4/3
Flood Zone	X		X

view from new proposed balcony. You can see
the trees block the neighbor's yard.





Looking to the right from the proposed balcony, even the other neighbor's yard is shielded by trees.

A photograph taken from an elevated position, likely a window, looking out onto a backyard. The scene is dominated by a tall, dense hedge of cypress trees that runs along the left and back sides of the yard. In the center-right, there is a large, bushy plant with bright yellow flowers. The foreground shows a grassy area, a concrete walkway, and a blue gutter on a roof. The text is overlaid in the center of the image.

These are the tall cypress trees that block the view into my neighbors yard to the left of me.