



City of Santa Clara

Meeting Agenda

Historical & Landmarks Commission

Thursday, September 4, 2025

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Meeting ID: 972 3326 2035

How to Submit Written Public Comment Before Historical and Landmarks Commission Meeting:

By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Historical and Landmarks Commission Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Historical and Landmarks Commission items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

CALL TO ORDER AND ROLL CALL

CONSENT CALENDAR

- 1.A 25-984 [Historical and Landmarks Commission Meeting Minutes of June 5, 2025 \(Continued from the August 7, 2025 HLC Meeting\)](#)

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the June 5, 2025 Meeting.

- 1.B 25-947 [Historical and Landmarks Commission Meeting Minutes of August 7, 2025](#)

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the August 7, 2025 Meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. 25-922 [Public Hearing: Recommendation on the Significant Property Alteration / Architectural Review \(PLN25-00116\) for a 465 Square Foot First Floor Addition Resulting in a 1,559 Square-Foot Single-Story Residence on the Historic Resource Inventory Located at 834 Main Street](#)

Recommendation: Recommend that the Historical and Landmarks Commission find that the proposed project located at 834 Main Street will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and that the proposed construction is compatible with the resource and recommend approval of the Significant Property Alteration.

3. 25-938 [Report on Completion of the 2024–2025 Mills Act Audit](#)

Recommendation: There is no staff recommendation.

4. 25-945 [Election of Historical and Landmarks Commission Chair and Vice Chair \(Continued from the August 7, 2025 HLC Meeting\)](#)

Recommendation: There is no staff recommendation.

STAFF REPORT

1. Training and Travel Request

COMMISSIONERS REPORT

1. Subcommittee Reporting - 20 Minutes

2. Board/Committee

Lead/Alternate

Santa Clara Arts and Historic Consortium

Vargas-Smith / Romano

Historic Preservation Society of Santa Clara

Vargas-Smith / Leung

Old Quad Residents Association

Leung

Development Review Hearing

Romano /Vargas-Smith

BART/ High Speed Rail/ VTA BRT Committee

Vargas-Smith/ Leung

El Camino Real Specific Plan Community Advisory Committee

Leung

Downtown Precise Plan

Vargas-Smith/Stocks

Santa Clara Station Area Task Force

Leung/Stocks

ADJOURNMENT

The next regular scheduled meeting is on Thursday, October 2, 2025 at 6 p.m.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

25-984

Agenda Date: 9/4/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Historical and Landmarks Commission Meeting Minutes of June 5, 2025 (Continued from the August 7, 2025 HLC Meeting)

RECOMMENDATION

Approve the Historical and Landmarks Commission Meeting Minutes of the June 5, 2025 Meeting.



City of Santa Clara

Meeting Minutes

Historical & Landmarks Commission

06/05/2025

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

- Via Zoom:

- o <https://santaclaraca.zoom.us/j/97233262035> or

- o Phone: 1 (669) 900-6833

Webinar ID: 972 3326 2035

Public Comments prior to meeting may be submitted via email to PlanningPublicComment@santaclaraca.gov no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

PUBLIC PARTICIPATION IN ZOOM WEBINAR:

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press *9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press *6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, you may leave the meeting.

CALL TO ORDER AND ROLL CALL

Chair Leung called the meeting to order at 6:06 p.m.

Commissioner Kirby participated in the meeting remotely under AB 2449 in Government Code § 54953(f) due to emergency circumstances.

Present 5 - Commissioner Amy Kirby, Chair Patricia Leung, Commissioner Ed Stocks, Vice Chair Ana Vargas-Smith , and Commissioner Yvonne Inciarte

Absent 2 - Commissioner Michael Celso , and Commissioner Kathleen Romano

A motion was made by Commissioner Vargas-Smith, seconded by Commissioner Inciarte, to excuse Commissioner Celso, and Commissioner Romano.

Present 5 - Commissioner Amy Kirby, Chair Patricia Leung, Commissioner Ed Stocks, Vice Chair Ana Vargas-Smith , and Commissioner Yvonne Inciarte

Excused 2 - Commissioner Michael Celso , and Commissioner Kathleen Romano

CONSENT CALENDAR

1. [25-648](#) Historical and Landmarks Commission Meeting Minutes of April 3, 2025

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the April 3, 2025 Meeting.

A motion was made by Commissioner Stocks, seconded by Commissioner Inciarte, to approve staff recommendation.

Aye: 5 - Commissioner Kirby, Chair Leung, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Inciarte

Excused: 2 - Commissioner Celso, and Commissioner Romano

PUBLIC PRESENTATIONS

Public Comments: **None.**

GENERAL BUSINESS

2. [25-455](#) PUBLIC HEARING: Recommendation on a Proposed 987 Square Foot First Floor Addition and 942 Square Foot Second Story Addition (PLN25-00049) to an Existing Potentially Historic Resource at 642 Park Court Located Within 200 Feet of Historic Resource Inventory Properties.

Recommendation: Recommend that the Historical and Landmarks Commission find that the proposed project located at 642 Park Court will not destroy or have significant adverse effect on the integrity of the HRI listed properties within 200 feet of the subject property; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

Assistant Planner, Alex Tellez provided the staff presentation.

Homeowner, Sai Adivi spoke regarding the project.

Project Architect, Scott Galka provided the applicant presentation.

Public Speakers:

City Historian Lorie Garcia

David Keith

Graham Cramb

Monica Miller

Denice Walker

Lorrie Furtado

Ricardo Marino

Richard Mitchell

Carol Mitchell

Jorge Cano

John M.

Mark Kelsey

Wendy Hoag

Mark Hoag

Terry Jansen

Aejaie Sellers

Katie

Judy Hoffman

Ling Lom

Dustin Eng

Joel McQueen

Mariya Malneva

Mari Iwata

A motion was made by Commissioner Vargas-Smith, seconded by Commissioner Inciarte, to close public hearing.

Aye: 5 - Kirby, Chair Leung, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Inciarte

Excused: 2 - Commissioner Celso, and Commissioner Romano

A motion was made by Commissioner Kirby, seconded by Commissioner Inciarte, to continue this item to either: a Special Historical and Landmarks Commission Meeting to be scheduled in July 2025; or the August 7, 2025 Historical and Landmarks Commission Meeting.

Aye: 5 - Kirby, Chair Leung, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Inciarte

Excused: 2 - Commissioner Celso, and Commissioner Romano

STAFF REPORT

1. Training and Travel Request

None.

COMMISSIONERS REPORT

Subcommittee Reporting - 20 Minutes

Board/Committee

Lead/Alternate

Santa Clara Arts and Historic Consortium
Historic Preservation Society of Santa Clara
Old Quad Residents Association

Vargas-Smith / Romano
Vargas-Smith / Leung
Leung

Development Review Hearing

Romano /Vargas-Smith

BART/ High Speed Rail/ VTA BRT Committee

Vargas-Smith/ Leung

El Camino Real Specific Plan Community Advisory Committee

Leung

Downtown Precise Plan

Vargas-Smith/Stocks

Santa Clara Station Area Task Force

Leung/Stocks

Commissioners provided updates on various items, meetings, and groups that they are assigned to.

Commissioner Vargas-Smith provided a presentation on the California Preservation Conference she attended.

ADJOURNMENT

A motion was made by Commissioner Inciarte, seconded by Commissioner Vargas-Smith, to adjourn the meeting at 9:43 p.m.

Aye: 5 - Kirby, Chair Leung, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Inciarte

Excused: 2 - Commissioner Celso, and Commissioner Romano

The next regular scheduled meeting is on Thursday, August 7, 2025 at 6 p.m.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

25-947

Agenda Date: 9/4/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Historical and Landmarks Commission Meeting Minutes of August 7, 2025

RECOMMENDATION

Approve the Historical and Landmarks Commission Meeting Minutes of the August 7, 2025 Meeting.



City of Santa Clara

Meeting Minutes

Historical & Landmarks Commission

08/07/2025

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Meeting ID: 972 3326 2035

How to Submit Written Public Comment Before Historical and Landmarks Commission Meeting:

By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Historical and Landmarks Commission Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Historical and Landmarks Commission items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

CALL TO ORDER AND ROLL CALL

Chair Leung called the meeting to order at 6:02 p.m.

Present 6 - Commissioner Michael Celso , Chair Patricia Leung, Commissioner Kathleen Romano, Commissioner Ed Stocks, Vice Chair Ana Vargas-Smith , and Commissioner Kaushal Varshney

Absent 1 - Commissioner Yvonne Inciarte

A motion was made by Commissioner Romano, seconded by Commissioner Stocks, to excuse Commissioner Inciarte.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

CONSENT CALENDAR

1. [25-803](#) Historical and Landmarks Commission Meeting Minutes of June 5, 2025

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the June 5, 2025 Meeting.

Chair Leung made a motion for this item to be continued to the date certain September 4, 2025 Historical and Landmarks Commission Meeting due to members absence.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

PUBLIC PRESENTATIONS

Public Speaker:
Charles Bartlett, UMC Santa Clara

GENERAL BUSINESS

2. [25-823](#) PUBLIC HEARING: Recommendation on the Significant Property Alteration / Architectural Review (PLN25-00300) for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street.

Recommendation:

Recommend that the Historical and Landmarks Commission find that the proposed project located at 4120 Bassett will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and that the proposed construction is compatible with the resource and recommend approval of the Significant Property Alteration.

Principal Planner Rebecca Bustos provided the staff presentation.

Homeowner Otoniel Rojas Campos spoke about the project.

Public Comments: **None.**

A motion was made by Commissioner Stocks, seconded by Commissioner Romano, to close public hearing.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

A motion was made by Commissioner Romano, seconded by Vice Chair Vargas-Smith, to approve this item, with the condition to use new siding on the bay window.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

3. [25-753](#) Election of Historical and Landmarks Commission Chair and Vice Chair

Recommendation: There is no staff recommendation.

Chair Leung made a motion to continue this item date certain to the September 4, 2025 Historical and Landmarks Commission Meeting.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

STAFF REPORT

1. Training and Travel Request

No updates on this item.

2. Commission Workplan

No updates on this item.

COMMISSIONERS REPORT

1. Subcommittee Reporting - 20 Minutes

No updates on this item.

2. Board/Committee

Lead/Alternate

Santa Clara Arts and Historic Consortium	Vargas-Smith / Romano
Historic Preservation Society of Santa Clara	Vargas-Smith / Leung
Old Quad Residents Association	Leung
Development Review Hearing	Romano /Vargas-Smith
BART/ High Speed Rail/ VTA BRT Committee	Vargas-Smith/ Leung
El Camino Real Specific Plan Community Advisory Committee	Leung
Downtown Precise Plan	Vargas-Smith/Stocks
Santa Clara Station Area Task Force	Leung/Stocks

Commissioners provided updates on various items, meetings, and groups that they are assigned to.

ADJOURNMENT

A motion was made by Commissioner Romano, seconded by Commissioner Vargas-Smith, to adjourn the meeting at 7:23 p.m.

Aye: 6 - Commissioner Celso, Chair Leung, Commissioner Romano, Commissioner Stocks, Vice Chair Vargas-Smith, and Commissioner Varshney

Excused: 1 - Commissioner Inciarte

The next regular scheduled meeting is on September 4, 2025

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



Agenda Report

25-922

Agenda Date: 9/4/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Public Hearing: Recommendation on the Significant Property Alteration / Architectural Review (PLN25-00116) for a 465 Square Foot First Floor Addition Resulting in a 1,559 Square-Foot Single-Story Residence on the Historic Resource Inventory Located at 834 Main Street

File No.: PLN25-00116

Location: **834 Main Street**, a 5,694 square foot lot located on the west side of Main Street approximately 116 feet north of Lexington Street; APN: 269-28-062; zoned Single-Family Residential (R1-6L)

Applicant: German A. Villarraga

Owner(s): Rebecca and Andrew Fung

Request: **Significant Property Alteration and Architectural Review** for a 465 square-foot addition resulting in a 1,559 square-foot single-story residence on the City's Historic Resource Inventory (HRI).

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of one-story residences, multi-family residences, public park, and 11 other Historic Resource Inventory (HRI) properties. See Vicinity Map in Attachment 1.
- 1 The property is listed on the city's HRI and was constructed in 1932. The site includes an existing single-family residence with a 231 square-foot ADU that was converted from a detached one-car garage. The residence is currently subject to a Mills Act Contract.
- 2 The project is before the Historical and Landmarks Commission (HLC) in accordance with Historic Preservation Ordinance (Santa Clara City Code 18.130.050), which requires any project determined to be considered a major alteration to a HRI property shall first receive a recommendation from the HLC.
- 3 The proposed project involves interior and exterior alterations and new construction to provide additional living area and functional use of the home. The proposed project is for the construction of a 465 square-foot extension which will include a new bedroom, a full-sized bathroom, and a walk-in closet.
 - The addition is to the rear right side of the property. The addition is designed to minimize its impact on the neighborhood and uses exterior finish materials to differentiate between the existing residence.
 - 1 The new roof tiles will naturally differ from the existing roof tiles at the front due the wear.
 - 2 The proposed stucco will feature a subtle color wash variation to distinguish it from the

original structure.

- An analysis of the proposed project's consistency with the Secretary of the Interior's Standards (SOIS) was prepared by Page & Turnbull (Attachment 5). Attachment 5 also includes a copy of the 2020 DPR prepared for the Mills Act Contract.
 - The analysis finds the project was designed to comply with the Secretary of Interior's Standards in that:
 - The project does not propose adding conjectural features or elements from other historic properties.
 - 1 The existing windows are to be salvaged.
 - 2 The proposed project will not result in the substantial diminution or loss of the resource's materials, features, or craftsmanship.
 - 3 The project does not propose repair or replacement of deteriorated historic features.
 - 4 The project does not propose chemical treatments.
 - 5 The old and new volumes are differentiated, and the proposed addition could be removed in the future while retaining the essential form and integrity of the house.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.130.
 - 1 There are no active City code enforcement cases for this property.
 - 2 A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Significant Property Alteration approval requires the following findings consistent with City Code Section 18.130.050(D):

- 1) *The alterations shall be designed to the essential character, features, and defining elements that make the Historic Resource Inventory property significant, in that:*
 - The addition is proposed at a lower height than the existing ridge and the roof and exterior finish material are compatible, but distinct from the original structure.
 - The addition includes the low-pitched roof and stucco finish material which is compatible with the Spanish Eclectic/Revival architecture style.
- 2) *The project proposal shall not have a significant adverse effect on the integrity of the Historic Resource Inventory property, in that:*
 - The proposal includes removal of three original windows which will be salvaged to be reused in the original home in the future.
 - The addition does not impact the exterior chimney, a distinctive feature.
 - The massing and height are visually subordinate to the historic house.
- 3) *The alterations must be compatible with the existing structure or district, in that:*
 - The addition continues the low-pitched, cross-gable roof form and the stucco asymmetrical façade with little decorative detail to maintain the historic residence's Spanish Eclectic/Revival architecture.
- 4) *The alterations must be consistent with the Secretary of the Interior's Treatment Standards, in that:*
 - The project plans include an analysis of the proposed project against the Secretary of the Interior's Standards (Attachment 5).

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Exemption Sections 15332 - Infill and 15331 - Historical Resource Restoration/Rehabilitation, in that the project involves an addition and renovations of a historic single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Historical and Landmarks Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on August 21, 2025. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

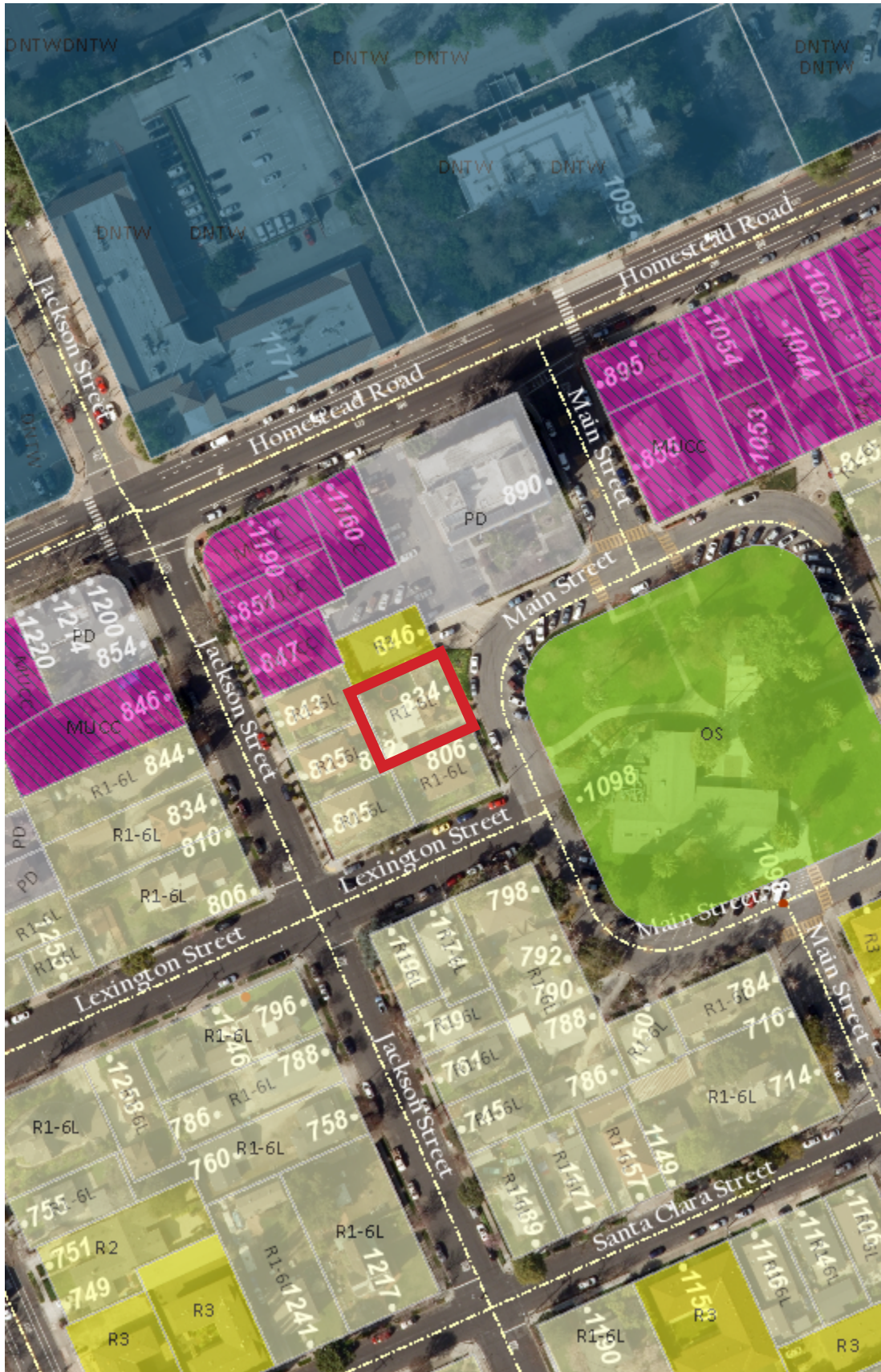
Recommend that the Historical and Landmarks Commission find that the proposed project located at 834 Main Street will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and that the proposed construction is compatible with the resource and recommend approval of the Significant Property Alteration.

Prepared by: Meha Patel, Associate Planner, Community Development Department
Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department
Approved by: Lesley Xavier, Planning Manager, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans
5. SOIS Analysis Memo

Vicinity Map (Zoning) - 834 Main Street



Legend

Residential

- R1-6L - Single Family
- R1-8L - Single Family
- R2 - Low Density Residential
- R3 - Medium Density Residential
- R4 - High Density Residential
- R5 - Very High Density Residential
- TN - Transit Neighborhood
- UC - Urban Center
- UV - Urban Village
- VR - Village Residential
- PH-R5 - Patrick Henry - Very High Density Residential
- HDF - High Density Flex
- LSAP - Lawrence Station Area Plan

Mixed Use

- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use Neighborhood Commercial
- MURC - Mixed Use Regional Commercial
- SCS - Santa Clara Station Focus Area

Public / Open Space

- OS - Parks/Open Space
- PQP - Public / Quasi Public

Commercial

- CC - Community Commercial
- CN - Neighborhood Commercial
- CR - Commercial Regional

Industrial

- HI - Industrial Heavy
- LI - Industrial Light

Office - R&D

- HO-RD - Office/R&D-High Intensity
- LO-RD - Low-Intensity Office/R&D

Form Based

- DNTW - Downtown

Planned Development

- PD - Planned Development
- PD-MC - Planned Development Master Community

0 200 400
ft



NAD_1983_2011_StatePlane_California_III_FIPS_0403_Ft_US
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance

Project Address: 834 Main Street
Zoning: R1-6L

Project Number: PLN25-00116

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	5,694	5,694	6,000	Y
Building Square Footage (SF)				
1st Floor:	1,028	1,493	--	--
Existing ADU:	231	231	--	--
Porch/Patio:	66	66	--	
Total without ADU:	1,094	1,559		
Total:	1,325	1,790	--	--
Floor Area Ratio:	0.23	0.31		
Building Coverage (%)				
Building Coverage (All):	19%	27%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	19'	42' 9"	20'	Y
Left Side (1st floor):	13'	13'	5'	Y
Right Side (1st floor):	31'	5'	5'	Y
Rear (1st floor):	17'	20'	20'	Y
Height (FT)				
Main building:	13'	13'	25'	Y
# of Bedrooms/Bathrooms:	2/1	3/2	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				
Off-street	0	0	--	--
Common Living Area (SFR)	--	72%	Min 25%	--

Conditions of Significant Property Alteration Permit Approval

PLN25-00116 / 834 Main Street

Significant Property Alteration and Architectural Review for a 465 square-foot addition resulting in a 1,559 square-foot single-story residence on the City's Historic Resource Inventory (HRI)

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is September 17, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

SITE PLAN NOTES

SITE PLAN NOTES

1. BUILDING ADDRESS SHALL BE VISIBLE FROM STREET. VERIFY STANDARD WITH CITY OF SANTA CLARA AND FIRE DEPARTMENT.
2. THIS DRAWING IS INTENDED TO PROVIDE INFORMATION DESCRIBING ARCHITECTURAL FEATURES ONLY.
3. ALL DOOR LANDINGS TO COMPLY WITH C.B.C. SECTION 1003.3.1.5, 1003.3.1.6 & 1003.3.1.7. SLOPE LANDING AWAY FROM DOOR AT 1/4" PER FOOT MINIMUM.

GENERAL NOTE

ALL PROPERTY LINE COORDINATES AND DIMENSIONS SHALL BE REFERENCED FROM AN OFFICIAL LAND SURVEYOR'S DRAWINGS. ANY DISCREPANCIES SHALL BE COORDINATED WITH SURVEYOR AND DESIGNER PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS REQUIRED DUE TO HIGHER FAILURE TO DO SO.

IN THE EVENT THAT THE CLIENT/PROPERTY OWNER DECIDES NOT TO HAVE AN OFFICIAL LAND SURVEY PERFORMED FOR THIS PROJECT, THE DESIGNER SHALL DO HIS BEST DUE DILIGENCE TO ESTIMATE PROPERTY LINE COORDINATES AND DIMENSIONS.

THIS SHALL NOT BE CONSIDERED AN OFFICIAL DOCUMENTATION OF THE LOCATION OF SAID PROPERTY LINES. THE DESIGNER SHALL NOT BE HELD LIABLE FOR DISCREPANCIES IN PROPERTY LINE LOCATION AND DIMENSIONS.

THERE ARE NOT ENCLOSURES ON SITE.



ANDREW & BECCA FUNG RESIDENCE

GENERAL NOTES

THESE PLANS ARE THE PROPERTY OF MR. & MRS. FUNG. ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF CIVIL DESIGNER OR ENGINEER WHOSE SIGNATURE APPEARS HEREON.

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE, AS ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. IF DISCREPANCIES ARE FOUND, CIVIL DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION BEFORE COMMENCING WORK.
3. ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE MAJOR UNIT, CENTRIFUG OF COLUMNS AND BEAMS, OR FACE OF SLOPE, UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB OR TOP OF INTERIOR FINISH UNLESS OTHERWISE NOTED.
4. THE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH INSTALLATION OF CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE ARCHITECTS AND THE CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS THAT WOULD CAUSE A CONFLICT, IT SHALL BE BROUGHT TO CIVIL DESIGNER ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN RISK AND AT NO ADDITIONAL CHARGE TO THE OWNER OR CIVIL DESIGNER.
5. ALL SYMBOLS AND ABBREVIATIONS USED ON THE PLANS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR CORRECT MEANING, CIVIL DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
6. DETAILS MARKED SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
7. ALL RUBBER AND DEBRIS RESULTING FROM DEMOLITION AND/OR NEW WORK SHALL BE RECYCLED AND/OR DISPOSED OF OFF-SITE AND SHALL NOT BE ALLOWED TO ACCUMULATE. MUST CONFORM TO THE CALIFORNIA SOLID WASTE DIVISION PLAN.
8. OPENED STOPS WHERE REQUIRED SO THAT FINISH WALL SURFACE WILL BE FLUSH. IF STRUCTURAL PANELS ARE REQUIRED ON A WALL PLANE, THE ENTIRE WALL PLANE SHALL BE FINISHED OR FINISHED FLUSH, WHERE FINISHWOOD SHEATHING IS APPLIED, TWO LAYERS OF GRADE B BUILDING PAPER IS REQUIRED PER C.B.C. 2304.4.
9. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CAPPING BEADS WHEREVER WALLBOARD, PLASTER, ETC. MEETS A DISPARATE FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CARPENTRY, STEEL BEAMS, TRUSS ACCESSORIES, PARTITIONS, AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR HVAC EQUIPMENT.
11. ALL GLAZING SHALL COMPLY WITH C.B.C. 16 C.F.R. AND C.B.C.
12. CONTACT BETWEEN DISPARATE METALS SHALL BE PROTECTED.
13. DOOR SIZES SHOWN ON PLAN ARE OPENING SIZES. ALLOWANCE FOR THRESHOLDS, ETC., SHALL BE TAKEN OFF THE DOOR.
14. DOORS AND FRAMES SHALL BE REINFORCED WHERE REQUIRED FOR GLAZING, STOPS, AND HANDRAILS.
15. FLOODLIGHTS AND DRAFTSTOPPERS SHALL BE PROVIDED THROUGHOUT AS REQUIRED PER C.B.C. SECTION 708.
16. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PIPES AND RIGS AS WELL AS POWER OR WATER AND DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH WORK.
17. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
18. AIR LEAKAGE AT EXTERIOR DOORS SHALL BE LIMITED BY THE FOLLOWING:
 - A. ALL DOORS SHALL BE PROVIDED WITH A SEAL, AS TRACER, OR BATTLE AT THE HEAD AND TAIL.
 - B. DOORS MOUNTED ON CYLINDERS THE INSIDE OR OUTSIDE OF AN EXTERIOR WALL SHALL HAVE A MINIMUM 1/2" LAP AT EACH JAMB.
 - C. DOORS REQUIRING VERTICAL TRACK OR GLIDES SHALL USE A CONTINUOUS MOUNTING ANGLE, SEALED IN ACCORDANCE WITH LISTED HERE.
 - D. DOORS MOUNTED BETWEEN THE JAMBS SHALL HAVE A CONTINUOUS SEAL OR BATTLE AT EACH JAMB.
 - E. MEETING RAILS OR SECTION DOORS AND MEETING STILES OR RAILS OR BATTLE DOORS SHALL BE PROVIDED WITH A SEAL, AS TRACER, OR BATTLE.
 - F. SWINGING AND REVOLVING DOORS SHALL BE WEATHERSTRIPPED AT THE HEAD, TAIL, AND JAMBS.
 - G. OPEN EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
19. NO TRENCHESS OR EXCAVATIONS 9" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, UNLESS THE NECESSARY PERMIT IS OBTAINED FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
20. GLASS DOORS, ADJACENT PANELS AND ALL GLAZED OPENINGS SHALL BE APPROVED FOR IMPACT HAZARD PER C.B.C. SECTION 2403.1.
21. INSTALLATION OF SHORING, UNDERPINNING, AND/OR SLIT CUTTING EXCAVATIONS SHALL BE PERFORMED UNDER THE CONTINUOUS INSPECTION AND APPROVAL OF THE FOUNDATION ENGINEER.
22. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
23. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY REGULATIONS, DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DRAWDING ALL CONDITIONS PRIOR TO SUBMITTING BASE OR COMMENCING WITH CONSTRUCTION. PROPOSALS MUST TAKE INTO CONSIDERATION ALL CONDITIONS THAT MAY AFFECT THE WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO CIVIL DESIGNER AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTIONS WILL BE SUBMITTED BY CIVIL DESIGNER PRIOR TO INSTALLATION OF ANY WORK.
24. CONTRACTORS SHALL PROVIDE AND INSTALL ALL FACE OF CONCRETE, REINFORCING BARS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, AS REQUIRED.
25. ALL EXTERIOR WALL BOARDING REQUIRED FOR SPECIFIC WALL CONSTRUCTION AND SHALL BE WALDO OR SCREWED TO ALL FRAMING MEMBERS INCLUDING TOP AND BOTTOM PLATES AS REQUIRED FOR EACH SPECIFIC ASSEMBLY.
26. PROVIDE TYPED GLASS AS REQUIRED BY C.B.C. SECTION 2403.1.5 AND BY OTHER APPLICABLE CODES.
27. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS, BATHROOMS, AND LAUNDRY ROOMS SHALL BE CAPABLE OF PROVIDING 15 CFM PER SQUARE FOOT OF FLOOR AREA.
28. WHERE GARAGE DOORS WITH SPRINGS OCCUR, THE FOLLOWING SHALL APPLY: SPRINGS SHALL BE PERMANENTLY IDENTIFIED, AND INDICATE THE MAXIMUM ALLOWABLE LIFTING STRETCH BOTH IN THE DRAWINGS AND IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE INFORMATION STATING THAT THEY HAVE BEEN MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY.
29. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED, INCLUDING POSTS AND STAIR STRINGERS.
30. STRINGERS SHALL BE MINIMUM 12" WIDE AND 12" HIGH. ALL WOOD SHALL BE PRESURE TREATED UNLESS NOT ADVISORILY AFFECTED BY MOISTURE PER C.B.C. SECTION 807.1.3 AND 29.12. SEE PLANS FOR ACTUAL HEIGHTS.
31. LIGHTING FIXTURES SHALL BE A MINIMUM 12" WIDE AND 12" HIGH.
32. ALL WATER HEATERS SHALL BE PROVIDED WITH SEISMIC STRAPS, UMC 304.4.
33. PROVIDE FLUORESCENT LIGHTING FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER 1-24 RCOT'S. AND UTILITY PLANS.
34. COMMUNITY ASSOCIATION ADVISORY: ISSUANCE OF A CITY BUILDING PERMIT DOES NOT RELIEVE THE APPLICATION OF THE LOCAL REQUIREMENT TO OBTAIN COMMUNITY ASSOCIATION APPROVAL OF THE PLANS.
35. SEPARATE REVIEW AN APPROVAL OF THIS PROJECT MAY BE REQUIRED BY YOUR COMMUNITY ASSOCIATION. CONTACT YOUR COMMUNITY ASSOCIATION FOR REQUIREMENTS.

NOTES

ALL PROPERTY LINES SHOWN HEREON ARE BASED ON RECORDS MAPS NO BOUNDARY SURVEY WAS PERFORMED AT THIS TIME.

PROJECT SHALL COMPLY WITH SECTION 5.0-5.17 OF UNIFORM SECURITY CODE, TO ENSURE ALL PARTIES ARE AWARE OF THE SECURITY CODE. ONE SHOULD BECOME FAMILIAR WITH ENTIRE CODE. HOWEVER, THESE SECTIONS ARE SPECIFIC REFERENCE BUILDING CONSTRUCTION THE SECURITY CODE DOES NOT SUPERSEDE THE UBC, LFC OR TITLE 19 REGARDING LIFE SAFETY REQUIREMENTS.

GENERAL NOTES

SHEET INDEX

ARCHITECTURAL

- A-0 COVER SHEET
- A-1 EXISTING FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ROOF PLAN
- A-4 EXISTING EXTERIOR ELEVATIONS
- A-5 PROPOSED EXTERIOR ELEVATIONS

STORMWATER NOTES

STORMWATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY DROPPED CONTROL PLAN ASSOCIATE WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

1. SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE BY SURFACE FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
3. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS.
4. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
5. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONTAMINATED WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.
6. TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSED BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICULAR TRAFFIC. WIND-EROSION DEPOSITS SHALL BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOIL OR REMOVED VEGETATION SHALL BE STABILIZED TO PREVENT EROSION BY WIND AND WATER.
9. STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.



PROJECT INFO.

PROJECT ADDRESS

834 MAIN STREET, SANTA CLARA CA 95050

PROJECT NAME

ANDREW & BECCA FUNG RESIDENCE

PROJECT SCOPE

THE PROJECT INVOLVES REMODELING AN EXISTING SINGLE-FAMILY HOUSE BY ADDING A 463-SQUARE-FOOT EXTENSION, WHICH WILL INCLUDE A NEW MASTER BEDROOM, A FULL-BATH BATHROOM, AND A WALK-IN CLOSET. THE EXTERIOR FINISH MATERIALS WILL HARMONIZE WITH THE EXISTING BUILDING, USING SUBTLY VARYING TONES FOR DIFFERENTIATION. POSITIONED AT THE BACK RIGHT SIDE OF THE PROPERTY, THE NEW ADDITION IS DESIGNED TO MINIMIZE ITS IMPACT ON THE NEIGHBORHOOD. THE NEW ROOF TIES WILL NATURALLY DIFFER FROM THE EXISTING ONES AT THE FRONT DUE TO WIND, AND THE PROPOSED STUCCO WILL FEATURE A SUBTLE COLOR WASH VARIATION TO DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.

THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.

EXISTING USE

RESIDENTIAL

NO. OF STORIES

1.5

CLIENT NAME

MR. ANDREW FUNG & MRS. BECCA FUNG

PROPOSED USE OF BUILDING

RESIDENTIAL

OVERALL HEIGHT

15'-0"

MINIMUM HEIGHT ALLOWED

15'-0"

LEGAL DESCRIPTION

THIS PROJECT IS SITUATED HEREIN BELOW IS SITUATED IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

APN 263-28-062

OCCUPANCY:

RS 1

PLUMBING & BUILDING DEPARTMENT

CITY OF SANTA CLARA

701 W. HEDDING ST., EAST WING, 7TH FLOOR

SAN JOSE, CA 95110

BUILDING CODE

THIS PROJECT SHALL COMPLY WITH THE 2022 CBC & CBC, CMC, CPC AND CCC AS AMENDED BY CITY ORDINANCE AND THE 2023 TITLE 24 ENERGY REGULATIONS.

OCCUPANCY SEPARATIONS

ONE-HOUR OCCUPANCY SEPARATIONS REQ. AT ALL HOUSE

TO GARAGE CONSTRUCTION

LOT SIZE

5,634 SF

LOT COVER / FLOOR AREA CALCULATION

EXISTING LOT COVER: 1,230 SF NEW ADDITION 463 SF - 1,793 SF

COMMON LIVING AREA CALCULATIONS:

ADU =

156 SF

MAIN HOUSE =

794 SF

NEW ADDITION =

463 SF

TOTAL OF

1,230 SF

OWNER

MR. ANDREW FUNG & MRS. BECCA FUNG

834 MAIN STREET, SANTA CLARA CA 95050

Cell: 408.650.7913

CONSTRUCTION DOCUMENTS

GERMAN & VILLARRAGA

318 W. FLORENCE MISSION VIEJO CA 94029

(Project Director)

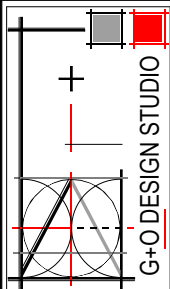
Office 951.858.1472

STRUCTURAL ENGINEER

GERMAN & VILLARRAGA

318 W. FLORENCE MISSION VIEJO CA 94029

Office 951.858.1472



34 VIA FLORENCE
MISSION VIEJO, CA 94692

SEAL-SIGNATURE

Andrew & Becca Fung
Residence

834 MAIN STREET, SANTA CLARA
CA. 95050

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SANTA CLARA
CA. 95050

REVISION

DATE DATE

SHEET TITLE

COVER SHEET

SHEET NUMBER

A-0

DATE

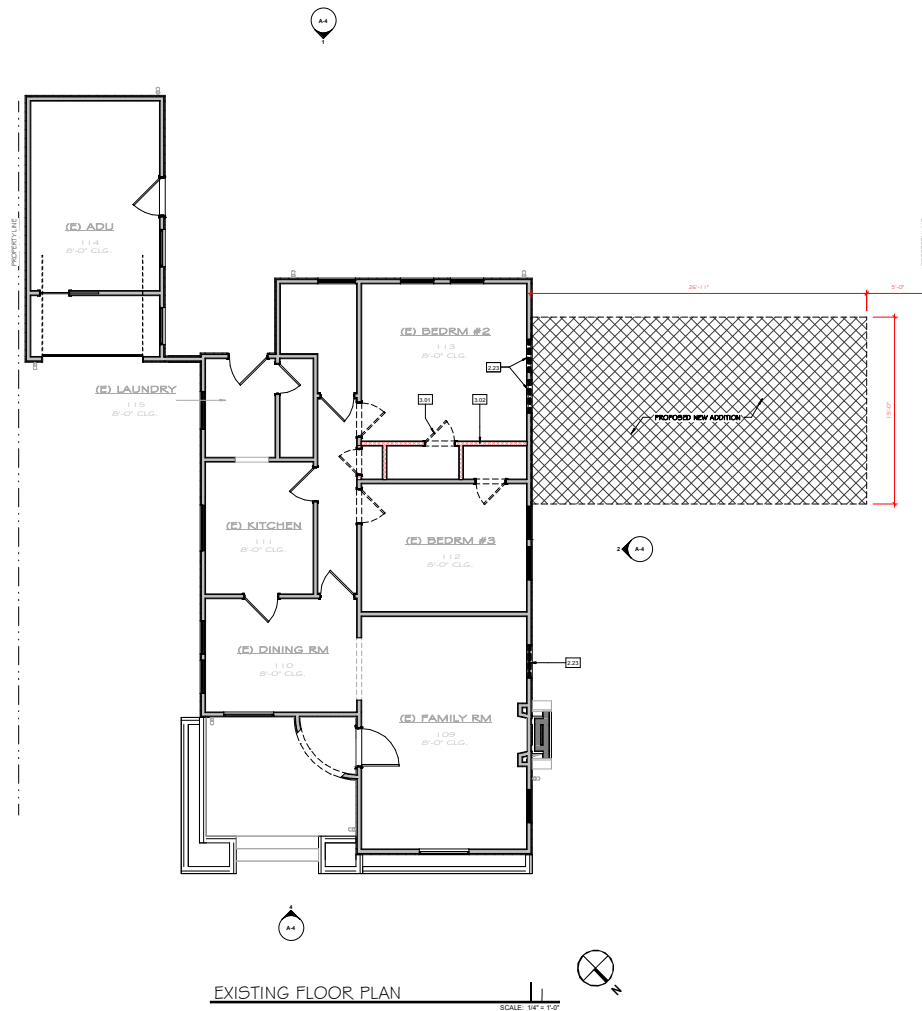
DATE

DATE

DATE

DATE

DATE



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

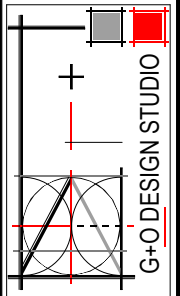
WALL LEGEND

- (E) 2X4 INTERIOR WALL TO BE DEMO
- (E) 2X INTERIOR WALL TO REMAIN
- (E) 2X EXTERIOR WALL TO REMAIN
- (N) 2X EXTERIOR WALL
- (N) 2X FURRED WALL

KEYNOTES

- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 3.01 EXISTING INTERIOR DOOR TO BE DEMO
- 3.02 EXISTING INTERIOR WALL TO BE DEMO

EXISTING IMAGES



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA

CA. 95050

REVISION

DATE	DATE

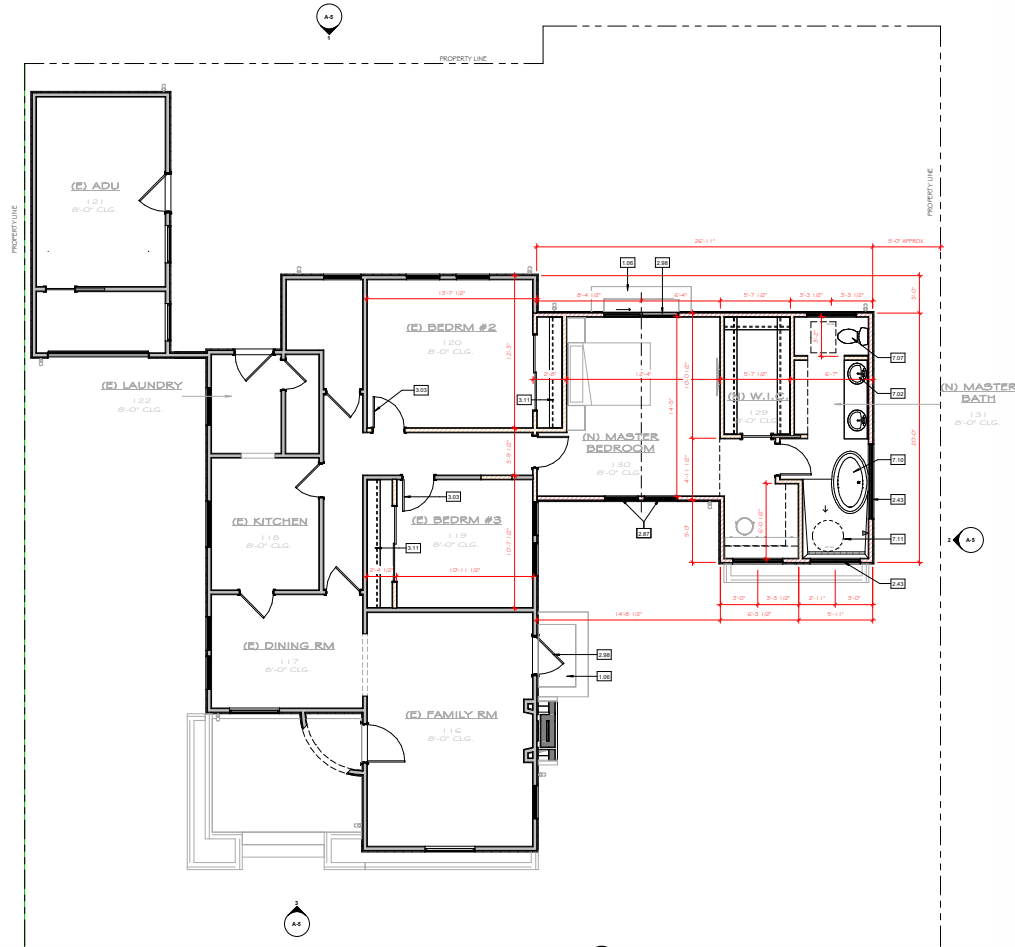
SHEET TITLE
EXISTING FLOOR PLAN

SHEET NUMBER

A-1

28 10
55-2024
JUL 10/2024
500
1/4" = 1'-0"

THIS DRAWING IS THE PROPERTY OF G+O DESIGN STUDIO. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF G+O DESIGN STUDIO IS STRICTLY PROHIBITED. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

- 1.06 PROPOSED CONCRETE LANDING - SLOPE 1/4"=1'2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE MATERIAL BY BUILDOR.
- 2.43 PROPOSED NEW ALUMINUM-CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.67 PROPOSED NEW WOOD FLOOR WINDOWS.
- 2.86 PROPOSED NEW ALUMINUM-CLAD WOOD DOOR WITH TEMPERED GLASS, ALUMINUM COLOR.
- 3.03 PROPOSED NEW INTERIOR DOOR TO MATCH EXISTING SHELF AND 1 HANGING POLE.
- 7.02 UNDERMOUNT LAVATORY SINK.
- 7.07 ELONGATED WATER CLOSET WITH 30" MIN. CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.
- 7.10 PRESTANDING TUB.
- 7.11 CUSTOM-BUILT SHOWER, HOT-MOTTED SHOWER PAN AND TILED TO 90" MIN. ATT. SHOWER HEAD AT +9'0" ATT.

FLOOR PLAN LEGEND

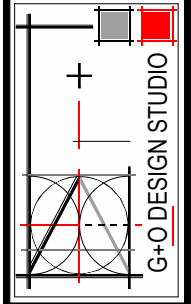
- DOOR TAG
WINDOW TAG
SOFFIT TAG
WALL TAG
KEYNOTE TAG
EGRESS WINDOW
TEMPERED GLASS
- Room name
ROOM NAME
ROOM NUMBER
CEILING HEIGHT
FLOOR FINISH
- DROPPED CEILING HATCH
- CS: CASEMENT WINDOW TYPE
FX: FIXED WINDOW TYPE
SLDR: SLIDER WINDOW TYPE
AW: AWNING WINDOW TYPE
- NOTE: DIMENSIONS ARE TO FACE OF FRAMING U.N.D.

WALL LEGEND

- (E) 2X4 INTERIOR WALL TO BE DEMO
(E) 2X INTERIOR WALL TO REMAIN
(E) 2X EXTERIOR WALL TO REMAIN
(N) 2X EXTERIOR WALL
(N) 2X FURRED WALL

FLOOR PLAN NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE MASONRY, UNLESS NOTED OTHERWISE.
 2. ANY DISCREPANCY FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF G+O DESIGN STUDIO PRIOR TO ANY CONSTRUCTION.
 3. SLOTTED, DROPPED CEILING 4 INCHES ARE INDICATED WITH HATCHING ON THE PLANS.
 4. ALL EXTERIOR FINISHING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 5. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
 6. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY.
 7. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR DESIGN AND DETAILS.
 8. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
 9. ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MFPS RECOMMENDATIONS.
 10. FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM F 648, AND SMOKE DENSITY RATING OF LESS THAN 450 PER EGES.
 11. MINIMUM FOUR AND ONE-HALF INCH (4 1/2") JAMB ON HINGE SIDE, UNLESS NOTED OTHERWISE.
 12. PROVIDE THE FOLLOWING AT EGRESS WINDOWS:
5'7 1/2" TT OF CLEAR OPENABLE AREA, NET OPENABLE HEIGHT SHALL BE 24" MIN. NET OPENABLE WIDTH SHALL BE 20" MIN. BOTTOM OF CLEAR OPENING SHALL BE A MAX HEIGHT OF 4'4" MIN.
 13. WINDOW/DOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER 2.4.
 14. BATHROOM AND SHOWER FLOORS, AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF AT LEAST 6 FEET ABOVE THE FLOOR. (IRC K307.2)
- AT ROLLIN SHOWERS PROVIDE FULL EXTENT WATER PROOFING IN THE ENTIRE BATHROOM.



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

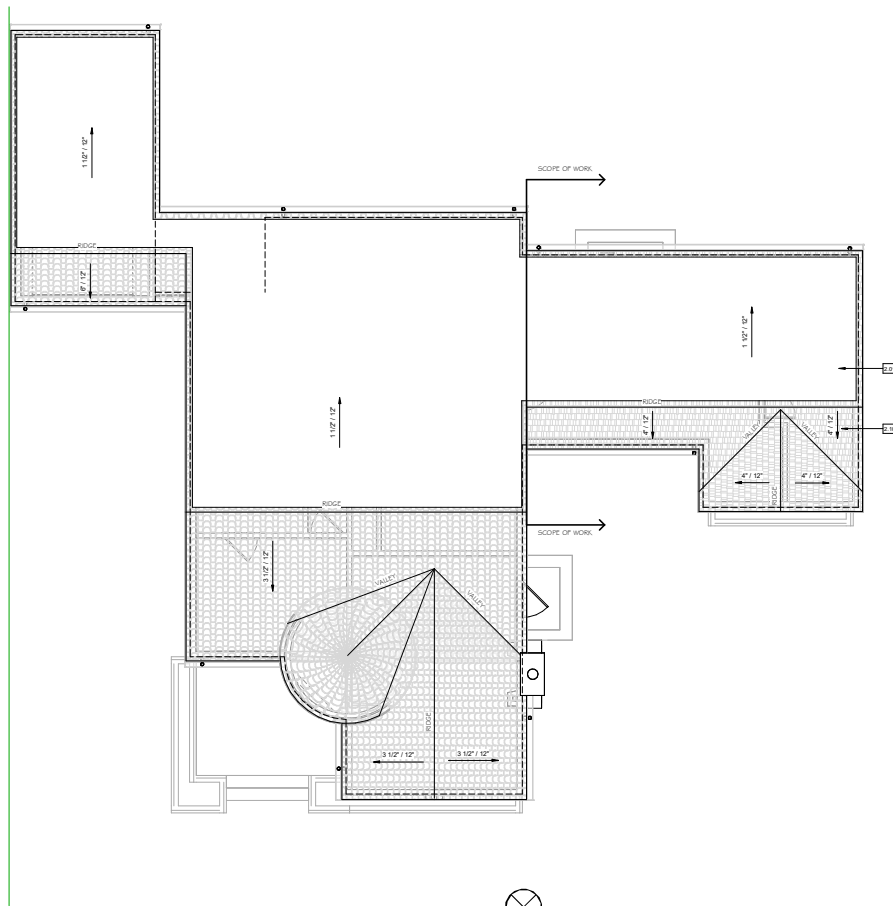
SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE
834 MAIN STREET, SATE CLARA
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE
PROPOSED FLOOR PLAN

SHEET NUMBER
A-2



PROPOSED ROOF PLAN



SCALE: 1/8" = 1'-0"

Area Schedule (Roof Area)

Name	Area	Calculation Ratio	# of Ventilation Required	Roof Vent	SQ. Inches Per Vent	# of Vents	# of Ventilation Provided

ROOF LEGEND

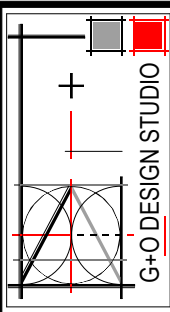
- WALL TAG
- KEYNOTE TAG
- CLOAKED ROOF VENT
- ROOF PITCH SYMBOL:
 - ARROW POINTS DOWNSLOPE
 - FIRST NUMBER IS VERTICAL RISE
 - SECOND NUMBER IS HORIZONTAL RUN
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- METAL FLASHING
- METAL SADDLE AND CRICKET FLASHING
- TYPICAL DOWNSPOUT AND GUTTER, COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.
- SPOT ELEVATION

KEYNOTES

- PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- PROPOSED NEW ROOF: 1/2" BROWN GRAY RANGE, GOLDEN EAGLE PROFILE, BY EAGLE ROOFING. INSTALLED PER MANUFACTURER SPECS.



THIS DOCUMENT IS THE PROPERTY OF G+O DESIGN STUDIO. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

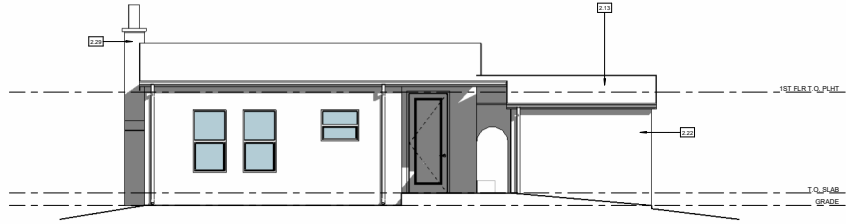
ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA

CA. 95050

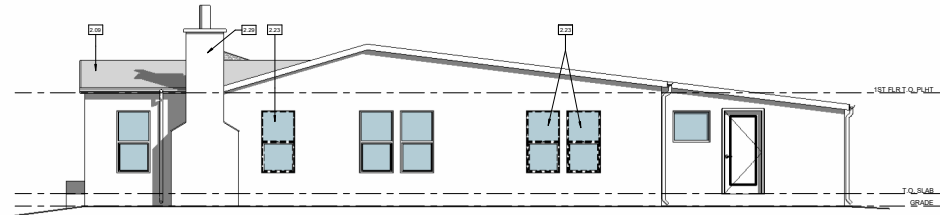
REVISION		DATE	DATE
1			
2			
3			
4			
5			

SHEET TITLE		28.10
PROPOSED ROOF PLAN		55.2024
SHEET NUMBER		11/16/2024
A-3		500
		1/4" = 1'-0"



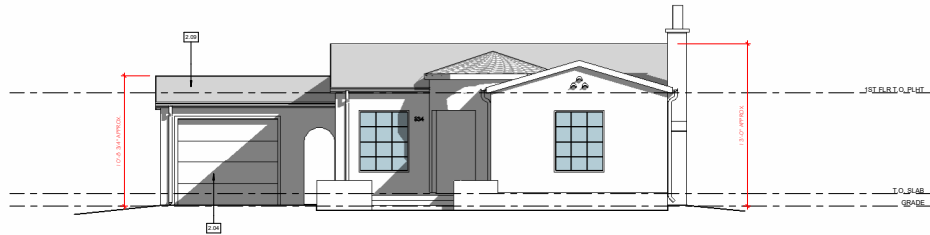
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



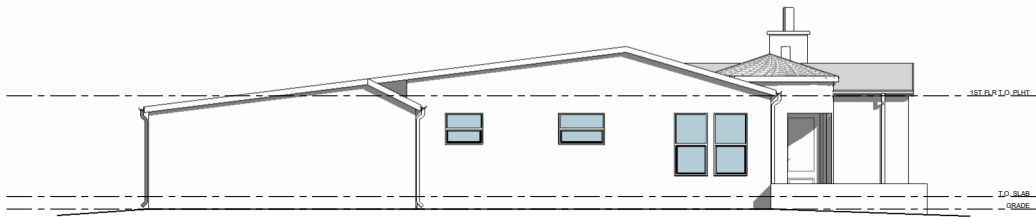
EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

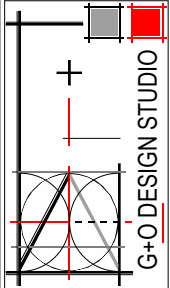
1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR FINISH AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

KEYNOTES

- 2.04 EXISTING GARAGE DOOR
- 2.09 EXISTING ROOF BY CLAY TILE TO REMAIN
- 2.13 EXISTING SHUT-UP ROOF SYSTEM TO REMAIN
- 2.22 EXISTING WALL WITH STUCCO TO REMAIN
- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 2.29 EXISTING FIREPLACE TO REMAIN

ELEVATION LEGEND

1.01 KEYNOTE TAG



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SANTA CLARA

CA. 95050

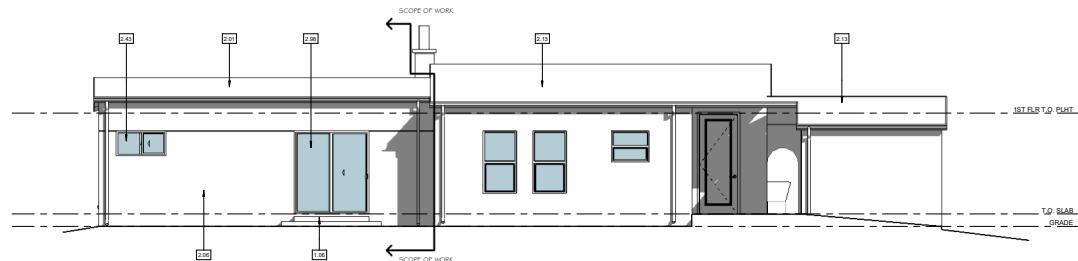
REVISION	
DATE	DATE

SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

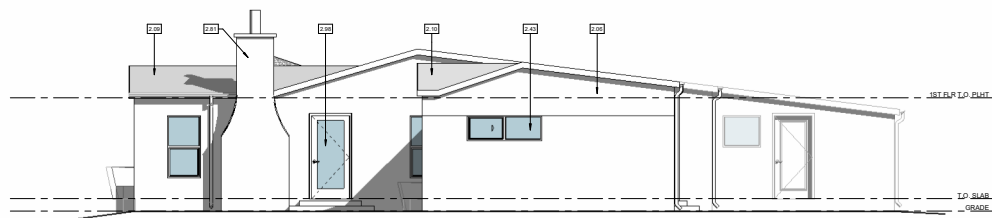
SHEET NUMBER
A-4

28 MAY 2024
JUL 10 2024
5:00 PM
As indicated

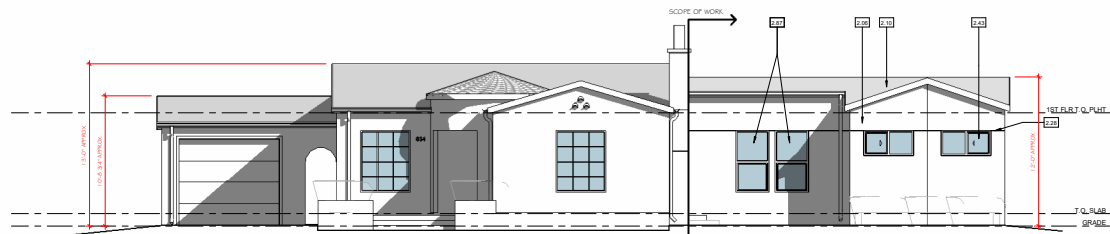
THIS DOCUMENT IS THE PROPERTY OF G+O DESIGN STUDIO. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF G+O DESIGN STUDIO IS PROHIBITED. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



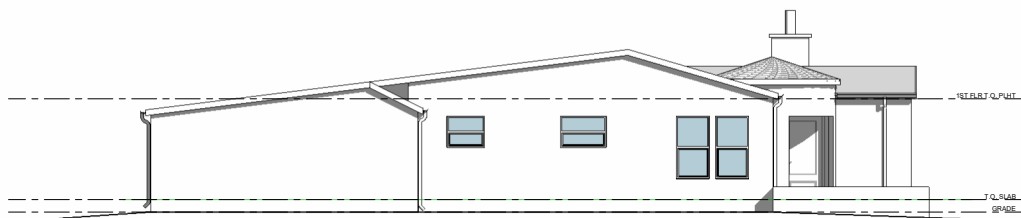
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

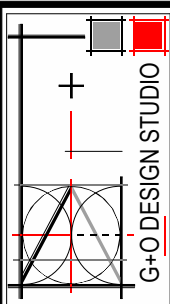
1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR FINISHES AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

KEYNOTES

- 1.06. PROPOSED CONCRETE LANDING - SLOPE 1/4"=1'2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TYPICAL MATERIAL BY BUILDER.
- 2.01. PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.06. PROPOSED NEW EXTERIOR WALL WILL FEATURE A STUCCO FINISH WITH A COLOR AND FINISH MATCH DESIGNED TO DISTANCE VARIATION AND DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.
- 2.09. EXISTING ROOF-W/CLAY TILE TO REMAIN.
- 2.10. PROPOSED NEW ROOF - 1/2" BROWN GRAY RANGE, GOLDEN EAGLE PROFILE BY SHAGG ROOFING INSTALLED PER MANUFACTURER SPECS.
- 2.13. EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 2.28. STUCCO CONTROL JOINT.
- 2.43. PROPOSED NEW ALUMINUM CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.81. EXISTING BRICK FIREPLACE TO REMAIN.
- 2.87. PROPOSED NEW WOOD HUNG WINDOWS.
- 2.96. PROPOSED NEW ALUMINUM CLAD WOOD DOOR WITH TYPICAL GLASS, ALUMINUM COLOR.

ELEVATION LEGEND

1.01 KEYNOTE TAG



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA

CA. 95050

REVISION	
DATE	DATE

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER
A-5

28.01
5.3.2024
JUL 10, 2024
500
As indicated

MEMORANDUM

DATE	March 14, 2025	PROJECT NUMBER	25057
TO	Rebecca and Andrew Fung	PROJECT	834 Main Street, Santa Clara
OF	834 Main Street Santa Clara, CA 95050 ptdrbecca@gmail.com ; andrew.h.fung@gmail.com	FROM	Jen Hembree, Cultural Resources Planner, Page & Turnbull
CC	C. Dikas, Principal Page & Turnbull; S. Kozakavich, Cultural Resource Studio Director, Page & Turnbull	VIA	Email

REGARDING 834 Main Street, Santa Clara – Secretary of the Interior’s Standards Analysis (SOIS Analysis) - DRAFT

INTRODUCTION

Page & Turnbull prepared this memorandum at the request of Rebecca and Andrew Fung, regarding a proposed project at the property at 834 Main Street in Santa Clara (APN 269-28-062). The single-family property, built ca. 1932 in a Spanish Colonial Revival style, is included in the City of Santa Clara’s (City) Historic Resource Inventory as an Architecturally or Historically Significant Property. It was found eligible for listing in the California Register and the City’s Historic Resource Inventory in 2020 as a good example of its architectural style and is currently subject to a Mills Act Historic Property Preservation Agreement (Mills Act Contract) between the City and owners. The project proposes to construct an addition to the house and an analysis of the project’s compliance with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* is required as part of the Mills Act Contract. Page & Turnbull reviewed the 2021 Historic Property Preservation Agreement and other project materials to provide our professional opinion on the proposed project’s compliance with the SOI Standards.

The residential property is located downtown Santa Clara, on the west side of Main Street between Lexington Street and Homestead Road and opposite City Park Plaza (**Figure 1 and Figure 2**). The roughly square-shaped parcel includes a one-story single-family residence, built ca. 1932 with a accessory dwelling unit (now a vehicular garage), as well as contemporary non-permanent shed and

chicken coop structures. The property was originally owned and occupied by the Harold Slavens family and is referred to in existing documentation as the 'Slavens House.'

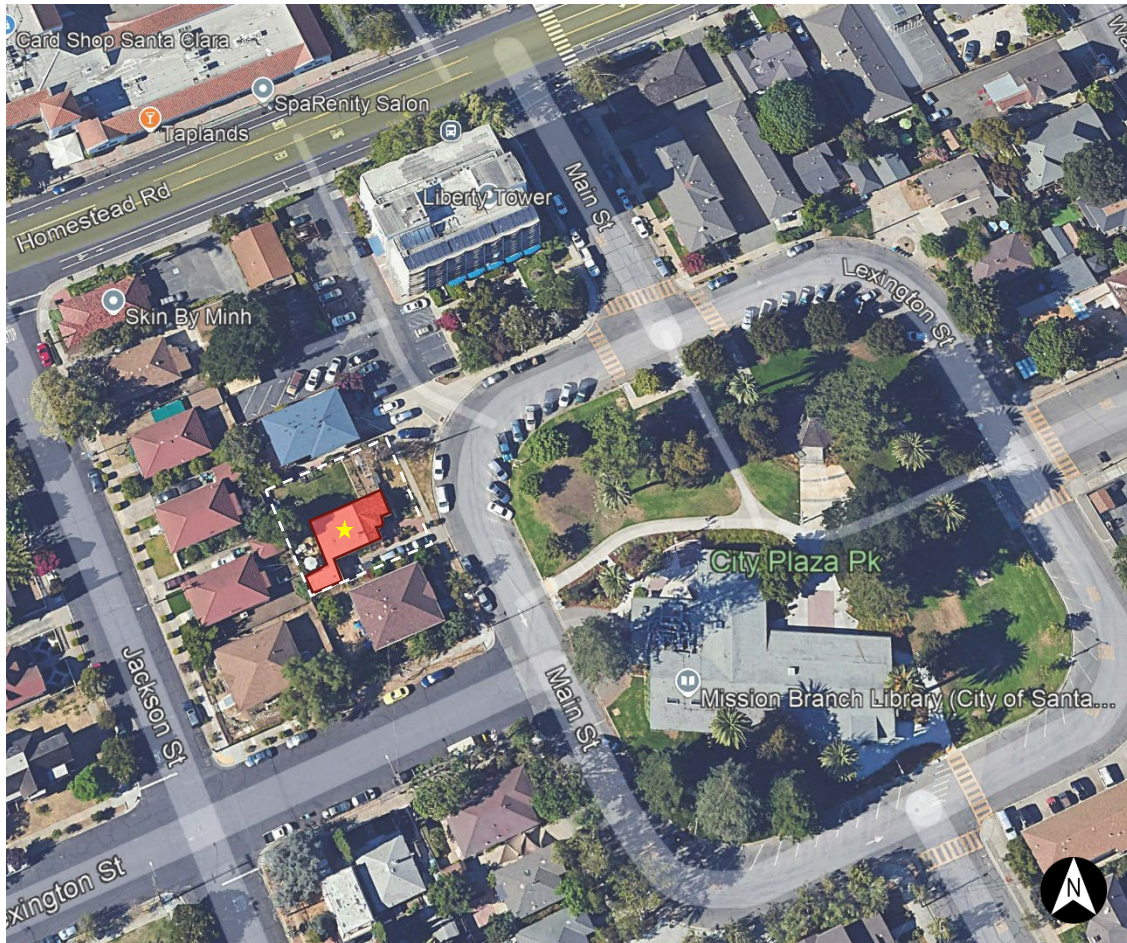


Figure 1. Aerial view of subject property dated 2023. Current footprint of house and garage at 834 Main Street shaded red, parcel boundary indicated by white dashed line. Source; Google Earth, edited by Page & Turnbull.

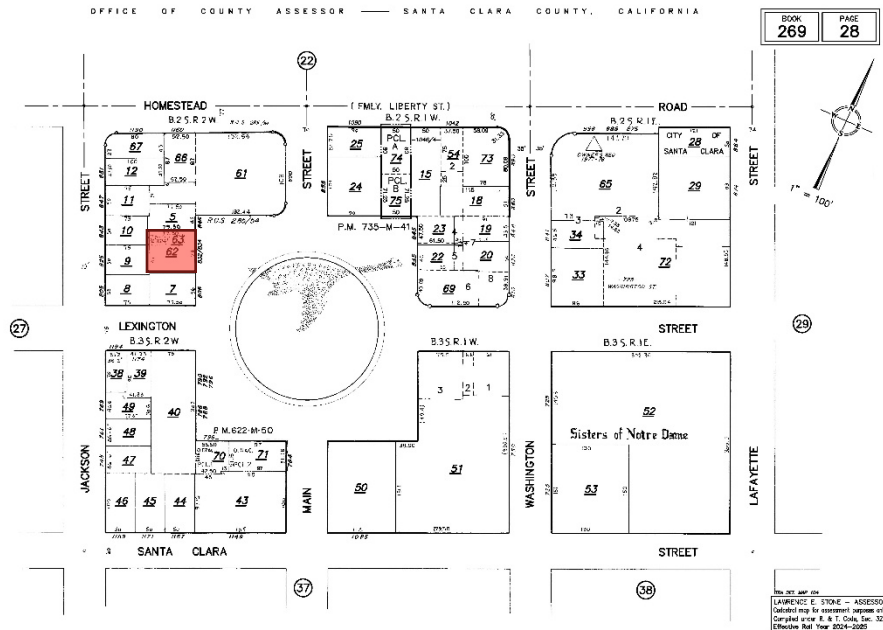


Figure 2. Site plan of 834 Main Street, current footprint of property shaded red. Source: Office of County Assessor – Santa Clara County, 2024-25, edited by Page & Turnbull.

The property is listed on the City of Santa Clara’s Historic Preservation and Resource Inventory and is associated with a Mills Act contract. It is not listed in the most recent version available of the State of California Office of Historic Preservation (OHP) Built Environment Resources Directory (BERD) for Santa Clara County, issued in September 2022. The property is not currently listed in the National Register of Historic Places (National Register), nor is it currently listed in the California Register of Historical Resources (California Register).

Summary of Findings

Page & Turnbull finds that the project, as designed and with the inclusion of standard protocols for the treatment of archaeological resources, complies with Rehabilitation Standards 1, 3, 4, 5, 6, 7, 8, and 10. As designed, the project would not comply with Standards 2 and 9 due to incompatible design elements. Recommendations for project improvements include altering proposed fenestration and removing or revising elements of the new addition’s design to help make clear what is historic and what is new. If recommendations are adopted into a revised project, the design would meet all ten Standards.

Methodology

This report includes a summary of the property's current historic status, a brief physical description, a list of previously determined character-defining features that enable the property to convey its historic significance, and an evaluation of the proposed project using the *Secretary of the Interior's Standards for Rehabilitation*.

Page & Turnbull consulted the following documents in preparation of this memorandum:

- *Historic Property Preservation Agreement (834 Main Street)*, September 1, 2021 (**Appendix A**)
- DPR 523 Forms for 834 Main Street, Lorie Garcia, October 2020 (**Appendix A**)
- Andrew and Becca Fung Residences, proposed project drawings prepared by G+O Design Studio, November 13, 2024 (**Appendix B**)

Page & Turnbull conducted a site visit of the subject property on February 20, 2025 to take photographs and observe existing conditions (**Table 1**). Site photographs in this report were taken by Page & Turnbull on February 20, 2025 unless otherwise noted.

Historic Status

In 2020, historic preservation consultant Lorie Garcia evaluated the potential historic significance of 834 Main Street, and prepared State of California Department of Parks & Recreation (DPR) 523A (Primary Record) and 523 B (Building, Structure, and Object Record) forms for the property (hereafter referred to as the 2020 DPR 523 Forms). The 2020 DPR 523 Forms evaluated the property for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources and the City of Santa Clara Historic Resource Inventory. This evaluation found the following:

- The property may be potentially eligible for the National Register of Historic Places under Criterion C for architecture for embodying the distinctive characteristics of the Spanish Revival style.
- The property is eligible for listing in the California Register of Historic Resources under Criterion 3 as an example of the Spanish Revival style architecture.
- The property does meet City of Santa Clara Historically or Cultural Significance Criteria 1 and 5 for its association with family members who contributed to the heritage of the historical development of the City and because it reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20th Century.
- The property does meet City of Santa Clara Architectural Significance Criteria 1 and 5 as a rare example of the Spanish Revival architectural style found in Santa Clara and because of its visual appeal for the community due to its unusual style and prominent location.

- The property meets the City of Santa Clara Geographic Significance Criterion 2 as representative of the development of the Old Quad during the first decade of the 20th century.

Character-Defining Features

Character defining features are the essential physical features that enable an historic resource to convey its historic identity. The character-defining features of the Spanish Revival style are outlined in the 2020 DPR 523 forms as a property exhibiting the following:

- Low-pitched, red tiled roof gabled-roof, usually with little or no eave overhang;
- Asymmetrical façade with little decorative detail;
- Stucco wall surface;
- One or more prominent arches placed above a main door or main window.¹

The character-defining features of the Slaven's House that contribute to its historic identity as a Spanish Revival style residence are outlined in the following list. Photographs are provided in **Table 1**. This list includes the features explicitly called out in the 2020 DPR 523 Forms as well as those features which are identified in the DPR 523 Forms as representing the building's original architectural style:

- Low pitched, cross-gable roof form with red tile covering and no eave overhang; and a
- Flat roof portion covered with tar and gravel;
- Asymmetrical façade;
- Stucco walls extending into the gable without a break;
- Tile weep holes;
- Tower;
- Arcaded wing wall;
- Prominent arch above front entry door;²
- Two chimneys with elaborated chimney tops [which are] "common to Spanish Revival architecture"³; and
- "...rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows"⁴

¹ 2020 DPR 523 Forms,7.

² 2020 DPR 523 Forms,7.

³ 2020 DPR 523 Forms, 2.

⁴ 2020 DPR 523 Forms, 3.

Table 1. Existing Conditions Photos, Facades and Details



Figure 3. East (primary/front) façade, view west

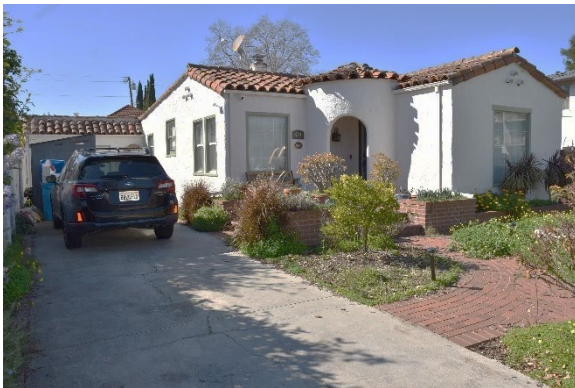


Figure 4. East façade, view northwest



Figure 5. East façade, south end view west to garage and arcaded wing wall

Table 1. Existing Conditions Photos, Facades and Details



Figure 6. South façade, view northeast



Figure 7. East façade, south end (garage) and arcaded wing wall detail



Figure 8. North façade, view southwest

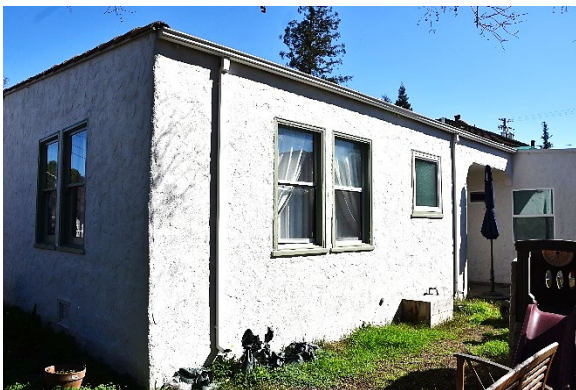


Figure 9. Northwest corner, view southeast towards west façade.



Figure 10. West façade of house (left) and north façade of garage (right), view southeast.

Table 1. Existing Conditions Photos, Facades and Details



Figure 11. East façade, view towards tower and prominent arch at entry.



Figure 12. Detail of stucco wall, tile weep holes and red roof tiles.



Figure 13. Detail of red roof barrel tiles.



Figure 14. Detail of exterior brick chimney on north façade.

Project Description

Page & Turnbull reviewed project drawings prepared by G+O Design Studio and dated, November 13, 2024 (**Appendix B**). The project proposes to construct a one- story addition on the north (right) side towards the rear (south) of the historic residence to provide a master bedroom with ensuite bathroom and a walk-in closet.⁵ The addition would be in a form akin to a hyphen; it would have a squat, L-shaped footprint pulled in from the rear of west side of the residence with its entirety set back substantially from the front or eastern edge of the residence and behind the north side chimney. To connect the addition to the original building, two original wood windows and surrounding stucco wall material would be removed from the north facade. (**See Table 2 and Table 3.**) The addition would have a combination low-pitched gable roof at the east inclusive of weep holes, and an uneven gabled roof at the north. The roof would be clad in a combination of new clay tiling matching existing clay tile on the original residence on the front or east facing slope, with the rear or west facing slope finished in built-up roofing matching that of the existing flat roof components of the residence. The addition's walls would be clad in stucco in a color and finish wash varied from that of the original structure. The maximum height of the addition is proposed to be slightly lower than the maximum height of the roof ridge of the north façade's cross gable and thus, also lower than the maximum height of either of the residence's two chimneys.

Fenestration on the new addition would be limited. At the addition's east façade (facing Main Street), a pair of one-over-one hung windows would be provided in its recessed portion; no openings are proposed in the east façade's projecting, gabled portion. At the north (right) façade of the new addition, a single horizontal slider window would be installed in the eastern portion to provide natural light and ventilation into the bathroom beyond. At the rear or west façade of the addition, a fully glazed vinyl sliding door would be installed in the southern portion with a new concrete landing (stoop) and step down to grade for ingress/egress. In the northern portion, a horizontal slider window would also be installed for additional natural lighting and ventilation into the bathroom beyond. All windows and door would be in a color that matches existing window and door colors.

Another alteration would be made to the north facade of the historic building as part of the proposed project. To serve as ingress/egress from the living or family room beyond, the window adjacent and to the west of the exterior chimney would be removed and the opening both lengthened to grade and widened to accommodate a fully glazed vinyl sliding door. (**See Table 3.**) A concrete landing and step would also be installed.

⁵ The parcel is aligned slightly west of true north, but for simplicity the façade of building facing Main Street is described as facing north, the façade facing the rear of the parcel is described as facing south, and so on. Note also that as a result of the alignment, facades of the property in the provided architectural drawings are referred to as simply "front" (north), "rear," (south), "right" (west), and "left" (east).

No landscape drawings were provided and thus any proposed landscape or site work required as part of the project is neither described nor assessed in this report.

Table 2. Existing Condition Photos showing features and materials to be altered (north façade)



Figure 15. Views showing approximate location of materials/features to be removed (shaded pink) to accommodate the new addition.

Table 2. Existing Condition Photos showing features and materials to be altered (north façade)



Figure 16. Views of original wood windows to be removed to accommodate new addition (above) and view of original wood window to be removed and opening enlarged to accommodate new sliding door (right).



Table 3. Views from public right-of-way with location of the proposed new addition indicated



Figure 17. View southwest from Main Street.



Figure 18. View southwest from Main Street.



Figure 19. View west from Main Street.



Figure 20. View west from Main Street.



Figure 21. View south from adjacent property driveway.



Figure 22. View south from adjacent property driveway.

Table 3. Views from public right-of-way with location of the proposed new addition indicated



Figure 23. View northwest from City Park Plaza.



Figure 24. View northwest from City Park Plaza.

The Secretary of the Interior's Standards for Rehabilitation

This property is under a Mills Act Contract under which the City of Santa Clara and owners have made an "Agreement both to protect and preserve the characteristics of historical significance of the Historic Property and to qualify the Historic Property for an assessment of valuation pursuant to Section 439.2 of the California Revenue and Taxation Code." The Agreement furthers that, "Owners shall preserve and maintain the characteristics of historical significance of the Historic Property. The Secretary of the Interior's Standards for Rehabilitation...contains a list of those minimum standards and conditions for maintenance, use, and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement."⁶

This section of the Memorandum addresses the requirements of the Agreement wherein the Secretary of the Interior's Standards for Rehabilitation is applied to the proposed project, and a statement of how the proposed project meets those standards is outlined.

The following table summarizes Page & Turnbull's analysis. Additional discussion is provided below for two of the ten standards.

Standard No.	Standard for Rehabilitation	Page & Turnbull Finding and Rationale
1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.</i>	Consistent with Standard 1. Use of building would remain residential.
2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.</i>	Inconsistent with Standard 2. See following discussion.
3	<i>Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i>	Consistent with Standard 3. The project does not propose adding conjectural features or elements from other historic properties.
4	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	Consistent with Standard 4. The residence was constructed in 1932. The original wood framed front

⁶ Historic Property Preservation Agreement, Section B(3)(a).

		<p>casement windows were replaced by 1993. Rear and south side windows (except kitchen window) were replaced in post-1993. The accessory dwelling unit (ADU) was converted to a garage and its large front window replaced with a garage door, between 1979 and 1993. None of these alterations have acquired historical significance in their own right. The existing converted ADU and the existing replacement windows are to be retained in place as part of the project.</p>
5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p>Consistent with Standard 5.</p> <p>As part of the project, some stucco wall material will be removed from a portion of the north façade to accommodate the physical connection of the new addition to the original house as well as to accommodate the proposed sliding door adjacent to the exterior chimney. However, these changes are proposed for a secondary façade that is less prominent than the front or the south façade. The stucco wall material will also otherwise be preserved at the remainder of the north façade, and the entirety of the primary east façade, the south façade and the west façade. The</p>

		residence's tile weep holes, tower, arcaded wing wall, prominent arch above front entry door, existing chimneys are distinctive and will also be preserved. The proposed project will thus not result in the substantial diminution or loss of the resource's materials, features or craftsmanship.
6	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	Consistent with Standard 6. The project does not propose repairing or replacement of deteriorated historic features.
7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	Consistent with Standard 7 The project does not propose chemical treatments.
8	<i>Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	Consistent with Standard 8. In the event of the inadvertent discovery of archaeological materials during ground disturbing activity, provided that standard discovery procedures for the City of Santa Clara are followed, the proposed project would be consistent with Standard 8.
9	<i>New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</i>	Inconsistent with Standard 9. See following discussion.

10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	Consistent with Standard 10. Because the proposed addition is not flush with the rear or west façade of the home, but is rather attached to the historic home with a smaller-scale recessed hyphen-like form, the old and new volumes are differentiated and the proposed addition could be removed in the future while retaining the essential form and integrity of the house.
----	--	---

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

Discussion: As designed, the proposed project would alter a total of three existing openings on the north facade. All three of these openings appear be original and hold “original wood windows” per the 2020 DPR 523 forms and the visual site inspection conducted by Page & Turnbull in February 2025. Although wood windows and these window openings are not specifically called out in the 2020 DPR 523 forms list of character-defining features, the wood windows are original and therefore are historic fabric and are representative of the building’s original architectural style. The proposed project would physically connect the historic building at its north façade to the new addition, which would require removal of some existing stucco wall cladding materials, a character-defining feature as determined per the 2020 DPR 523 forms. **(See Table 2.)** Implementation of the proposed project would therefore result in removal of features dating to the property’s original construction including two historic wood windows and associated window openings, as well as some stucco wall fabric to construct the new addition. Implementation of the proposed project would also result in the removal of a third historic window and associated window opening, as well as additional stucco wall fabric to provide a sliding door opening. This alteration would decrease the solid-to-void ratio of this portion of the facade and would be incompatible in size and scale with the fenestration of this façade.

All of the above changes would be confined to a secondary façade of the historic building, and the character-defining features such as the tower, arcaded wing wall and prominent arch above the front entry door would remain prominently visible at the primary (front) east façade. Original openings at the east end of the north façade and the east portion of the south facade, both of which are visible from both Main Street would remain. However, Page & Turnbull notes that the National Park Service, per written guidance outlined in the publication, *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings* does not recommend, "Installing secondary service entrances and porches that are incompatible in size and scale with the historic building."⁷ The installation of a large, fully glazed sliding door opening in place of a single hung opening is incompatible in size and scale with existing fenestration.

As such, the proposed project is inconsistent with Standard 2.

Page & Turnbull recommends the following project improvements to bring the project into compliance with Standard 2:

1) The third window opening's width and head height would be retained to avoid disrupting the proportions of the façade and its fenestration. For example, the window would instead be lengthened to grade to accommodate a half-lite door or two-lite door to better reflect the original solid-to-void appearance at this location and to be more compatible in size and scale with the fenestration of this façade. Page & Turnbull further recommends that the new entrance door be of compatible material with the original wood window. The use of an in-kind wood, or aluminum-clad wood door would ensure that the replacement unit was compatible in both visual and physical characteristics, including finish as the building's original openings.

2) Page & Turnbull also notes that per preservation best practices, the three removed original one-over-one wood windows, which are historic material dating to the building's original construction period, would best be salvaged for potential reuse in the original house, such as at existing window locations of the historic home which received contemporary one-over-one aluminum hung windows. (Utilizing salvaged original wood windows in the new addition would not be appropriate as such would result in a false sense of historical development.)

If such design revisions are implemented for the proposed project, it would comply with *Standard 2*.

⁷ <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 40.

Rehabilitation Standard 9: *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Discussion: The National Park Service recommends that “new additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation. New design should always be clearly differentiated so that the addition does not appear to be part of the historic resource.”⁸ In addition, the National Park Service recommends, “Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.”

Construction of the proposed north addition would alter the spatial relationship between the existing house and existing rear outbuildings, such as the shed and chicken-coop; however, these buildings are contemporary non-permanent structures and are not character-defining features of the property. The proposed project would not otherwise impact spatial relationships at the site, particularly between the house and its converted ADU (now a garage). The dimensions of the lot would remain unaltered, and its relatively open character in the northeastern portion of the lot particularly retained.

Overall, Page & Turnbull finds that although the proposed north side addition is not located on the rear of the building, it is substantially set back from the primary, front façade and therefore is proposed for a less conspicuous location of the side (north) façade. (**See Table 2, above.**) It thus also avoids impacting the exterior chimney, a distinctive feature. Overall, the proposed form, massing and limited height would ensure it remains visually subordinate to the historic house. Simple in its recessed hyphen-like or L-shaped massing, its maximum height does not extend above that of the gabled peak of the north façade. Its roof slopes’ otherwise align with or are lower than that of the existing gable’s sloped sides. The addition’s combination roof form with exterior walls clad in compatible, yet not identical stucco, would provide some visual distinction from the historic residence.

However, Page & Turnbull notes that the use of “clay tile matching existing” is not an appropriate material for the addition’s new gabled roof portion. The use of clay tile matching that of the existing adjacent original clay tile roof will not differentiate the addition’s roof from that of the original

⁸<https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 90.

character-defining red clay barrel tiles and may therefore appear to be part of the historic resource. The new addition's gabled end on its east façade also includes a grouping of three weep holes, which are another character-defining feature of the original residence. The National Park Service guidance *does not* recommend "Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building."⁹

The project also proposes the use of vinyl windows and vinyl sliding door in the new addition's openings. Painted wood was the typical original material of the residence's windows and doors. The National Park Service guidance recommends that new additions "be compatible in terms of mass, *materials* [emphasis added], relationship of solids to voids, and color..."¹⁰ The use of the synthetic material of vinyl is generally not considered compatible in visual and physical characteristics including finish appearance with that of painted wood.

As such, the proposed project is inconsistent with Standard 9.

Therefore, Page & Turnbull recommends the following project improvements to bring the project into compliance with Standard 9:

- 1) that the weep holes be removed from the new addition's design, or that they be differentiated in appearance (such as in shape or reduced in quantity) from those of the historic resource; and
- 2) that in lieu of "clay tile matching existing," an alternate roofing material with a less conspicuous profile (IE flat) and a lighter color be used. Examples of alternate materials may be concrete tiling or asphalt tiling in a light color. These changes to the proposed design will "make clear what is historic and what is new;"¹¹ and
- 3) Use wood or aluminum-clad wood windows and glazed wood or aluminum- clad wood doors rather than proposed vinyl windows and doors at the proposed addition. This would increase compatibility with the character of the original windows and doors present at 834 Main Street.

If such design revisions are implemented for the proposed project, it would comply with *Standard 9*.

⁹ <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 91.

¹⁰ <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 41.

¹¹ <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 91.

Summary of Standards Analysis

Following review of the proposed project and supporting documentation, Page & Turnbull finds that the project as designed would comply with *Secretary of the Interior's Standards for Rehabilitation* Nos. 1, 3, 4, 5, 6, 7, and 10. With implementation of standard protocols for discovery of archaeological materials, it would comply with Standard 8. As currently designed, the proposed project would not comply with Standards 2 or 9. The proposed changes to the historic building's north facade and incompatible aspects of the proposed addition would not be consistent with the minimum standards and conditions for maintenance, use, and preservation of a historic property which accompany the property's Mills Act contract.

Revisions to the proposed design could bring the project into fuller compliance with the *Standards for Rehabilitation*. Making the following potential changes to the proposed design would improve compatibility and reduce impacts to historic features and materials:

- Reduce the size of the proposed enlarged opening at the north façade. The use of a half-lite or two-lite door in lieu of the proposed sliding door, for example, would reduce the impact to historic stucco wall fabric and increase compatibility with the fenestration pattern of the historic building.
- Alter the new addition's east façade design features such that the weep holes are removed or are differentiated in appearance, such as in shape or reduced in quantity, from those of the historic resource. This will help make clear what is historic and what is new.
- In lieu of "clay tile matching existing," use an alternate roofing material with a less conspicuous profile (IE flat) and a lighter color for the addition's gabled roof portion. Examples of alternate materials may be concrete tiling or asphalt tiling in a light color. This will help make clear what is historic and what is new.
- Salvage the three original wood hung windows to be removed as part of the project for potential reuse, such as at existing window locations of the historic home that have previously received contemporary one-over-one aluminum hung windows.
- Use wood or aluminum-clad wood windows and glazed wood or aluminum-clad wood doors rather than proposed vinyl windows and doors at the proposed addition and new opening in the historic building. This would increase compatibility with the character of historic windows and doors present at 834 Main Street.

CONCLUSION

At the request of Andrew and Rebecca Fung, Page & Turnbull has reviewed the proposed project plans for the residential property located at 834 Main Street in Santa Clara, CA (APN 269-28-062) dated September 1, 2021. We reviewed project drawings for a proposed addition to the historic house, which is designated as a historic resource in the City of Santa Clara and has been found eligible for listing in the California Register under Criterion 3. Page & Turnbull found that the proposed project complies with the Standards for Rehabilitation 1, 3, 4, 5, 6, 7, and 10. With implementation of standard protocols for discovery of archaeological materials, the project would comply with Standard 8. However, as designed, the proposed project would not comply with Standards 2 and 9. Recommended revisions to the project's design could increase compatibility of the proposed addition with the historic character of 834 Main Street and reduce impacts to historic features and materials. With appropriate revisions, the project could be fully compliant with the ten Rehabilitation Standards.

APPENDIX A

Historic Property Preservation Agreement (834 Main Street), September 1, 2021; and
DPR 523 Forms for 834 Main Street, prepared by Lorie Garcia, October 2020

**RECORD WITHOUT FEE
PURSUANT TO GOV'T CODE SECTION 6103**

Recording Requested by:
Office of the City Attorney
City of Santa Clara, California

When Recorded, Mail to:
Office of the City Clerk
City of Santa Clara
1500 Warburton Avenue
Santa Clara, CA 95050

25086169

Regina Alcomendras
Santa Clara County - Clerk-Recorder

09/01/2021 11:25 AM

Titles: 1 Pages: 32

**Fees: \$0.00
Taxes: \$0
Total: \$0.00**



Form per Gov't Code Section 27361.6

[SPACE ABOVE THIS LINE FOR RECORDER'S USE]

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Agreement, (herein, "Agreement"), is made and entered into this July day of 2021, ("Effective Date"), by and between Andrew Fung and Rebecca Fung, owners of certain real property located at 834 Main Street, Santa Clara, CA 95050 ("OWNERS") and the City of Santa Clara, California, a chartered California municipal corporation with its primary business address at 1500 Warburton Avenue, Santa Clara, California 95050 ("CITY"). CITY and OWNERS may be referred to herein individually as a "Party" or collectively as the "Parties" or the "Parties to this Agreement."

A. Recitals.

(1) California Government Code Section 50280, et seq. authorizes the CITY to enter into a contract with the OWNERS of qualified Historical Property to provide for the use, maintenance, and restoration of such Historical Property so as to retain its characteristics as property of historical significance.

(2) OWNERS possesses fee title in and to that certain real property, together with associated structures and improvements thereon, shown on the 2020 Santa Clara County Property Tax Rolls as Assessors' Parcel Number 269-28-062, and generally located at the street address 834 Main Street, in the City of Santa Clara ("Historic Property"). A legal description of the Historic Property is attached hereto as "Legal Description," marked as "Exhibit A," and incorporated herein by reference.

(3) The Historic Property is on the City of Santa Clara Architecturally or Historically Significant Properties list. OWNERS submitted a Mills Act Proposal to City on January 22, 2021. The Proposal included a Primary Record from the State of California's Department of Parks and Recreation. A true and correct copy of the Proposal is attached to this Agreement as "Exhibit B".

(4) CITY and OWNERS, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property and to qualify the Historic Property for an assessment of valuation pursuant to Section 439.2 of the California Revenue and Taxation Code.

B. **Agreement.**

NOW, THEREFORE, CITY and OWNERS, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

(1) **Effective Date and Term of Agreement.** The term of this Agreement shall commence on the effective date of this Agreement and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such term will automatically be extended as provided in paragraph 2, below.

(2) **Renewal.**

(a) Each year on the anniversary of the effective date of this Agreement, ("renewal date"), one (1) year shall automatically be added to the term of this Agreement unless notice of nonrenewal is mailed as provided herein.

(b) If either the OWNERS or CITY desires in any year not to renew the Agreement, OWNERS or CITY shall serve written notice of nonrenewal of the Agreement. Unless such notice is served by OWNERS to CITY at least ninety (90) days prior to the annual renewal date, or served by CITY to OWNERS at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the balance of the remaining term of the Agreement as provided herein.

(c) OWNERS may make a written protest of a nonrenewal notice issued by CITY. CITY may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to OWNERS of nonrenewal. If either CITY or OWNERS serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, from either original execution date or the last renewal date of the Agreement, whichever is applicable.

(3) **Standards for Historical Property.** During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements, and restrictions:

(a) OWNERS shall preserve and maintain the characteristics of historical significance of the Historic Property. "The Secretary of the Interior's Standards for Rehabilitation," marked as "Exhibit C" to this agreement, and incorporated herein by this reference, contains a list of those minimum standards and conditions for maintenance, use, and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.

(b) OWNERS shall, when necessary or as determined by the Director of Planning and Inspection, restore and rehabilitate the property to conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, the United States Secretary of the Interior Standards for Rehabilitation and the California Historical Building Code and in accordance with the attached schedule of potential home improvements, drafted by the OWNERS and approved by the City Council, attached hereto as "The Description of the Preservation and Restoration Efforts," marked as "Exhibit D" to this agreement, and incorporated herein by this reference.

(c) OWNERS shall allow, and CITY requires, that after five (5) years, and every five (5) years thereafter, an inspection of the property's interior and exterior shall be conducted by a Historic Property Preservation Agreement/834 Main Street
Typed: 05/14/2019

party appointed by CITY, to determine OWNERS' continued compliance with the terms of this Agreement. OWNERS acknowledge that the required inspections of the interior and exterior of the property were conducted prior to the effective date of this Agreement.

(4) Provision for Information.

(a) OWNERS hereby agree to furnish CITY with any and all information requested by the CITY to determine compliance with the terms and provisions of this Agreement.

(b) It shall be the duty of the OWNERS to keep and preserve, for the term of the Agreement, all records as may be necessary to determine the eligibility of the property involved, and the OWNERS compliance with the terms and provisions of this Agreement, including, but not limited to blueprints, permits, historical and/or architectural review approvals, and schedules of potential home improvements drafted by the OWNERS and approved by the City Council.

(5) Cancellation.

(a) CITY, following a duly noticed public hearing as set forth in California Government Code Section 50280, et seq., shall cancel this Agreement or bring an action in court to enforce this Agreement if it determines any one of the following:

(i) the OWNERS breached any of the terms or conditions of this Agreement; or

(ii) the OWNERS have allowed the property to deteriorate to the point that it no longer meets standards for a qualified historic property.

(b) CITY may also cancel this Agreement if it determines that:

(i) the OWNERS have allowed the property to deteriorate to the point that it no longer meets building standards of the City Code and the codes it incorporates by reference, including, but not limited to, the Uniform Housing Code, the California Historical Building Code, the California Fire Code, and the Uniform Code for the Abatement of Dangerous Buildings or;

(ii) the OWNERS have not complied with any other local, State, or federal laws and regulations.

(iii) the OWNERS have failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of this Agreement.

(c) In the event of cancellation, OWNERS shall pay those cancellation fees set forth in California Government Code Section 50280, et seq. As an alternative to cancellation, OWNERS may bring an action in court to enforce the Agreement.

(6) No Waiver of Breach.

(a) No waiver by CITY of any breach under this Agreement shall be deemed to be a waiver of any other subsequent breach. CITY does not waive any claim of breach by OWNERS if CITY does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for under the terms of this Agreement or in the City's laws and regulations are available to the City.

(7) Mediation.

(a) Any controversies between OWNERS and CITY regarding the construction or application of this Agreement, and claim arising out of this contract or its breach, shall be submitted to mediation upon the written request of one party after the service of that request on the other party.

(b) If a dispute arises under this contract, either party may demand mediation by filing a written demand with the other party.

(c) The parties may agree on one mediator. If they cannot agree on one mediator, there shall be three: one named in writing by each of the parties within five days after demand for mediation is given, and a third chosen by the two appointed. Should either party refuse or neglect to join in the appointment of the mediator(s) or to furnish the mediator(s) with any papers or information demanded, the mediator(s) may proceed ex parte.

(d) A hearing on the matter to be arbitrated shall take place before the mediator(s) in the city of Santa Clara, County of Santa Clara, State of California, at the time and place selected by the mediator(s). The mediator(s) shall select the time and place promptly and shall give party written notice of the time and place at least fifteen (15) days before the date selected. At the hearing, any relevant evidence may be presented by either party, and the formal rules of evidence applicable to judicial proceedings shall not govern. Evidence may be admitted or excluded in the sole discretion of the mediator(s). The mediator(s) shall hear and determine the matter and shall execute and acknowledge the award in writing and cause a copy of the writing to be delivered to each of the parties.

(e) The submission of a dispute to the mediator(s) and the rendering of a decision by the mediator(s) shall be a condition precedent to any right of legal action on the dispute. A judgment confirming the award may be given by any Superior Court having jurisdiction, or that Court may vacate, modify, or correct the award in accordance with the prevailing provisions of the California Mediation Act.

(f) Each party shall bear their own cost(s) of mediation.

(8) Binding Effect of Agreement.

(a) The OWNERS hereby subjects the Historic Property described in Exhibit "A" hereto to the covenants, reservations, and restrictions as set forth in this Agreement. CITY and OWNERS hereby declare their specific intent that the covenants, reservations, and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the OWNERS successors and assigns in title or interest to the Historic Property. Each and every contract, deed, or other instrument hereinafter executed, covering, encumbering, or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the covenants, reservations, and restrictions expressed in this Agreement, regardless of whether such covenants, reservations, and restrictions are set forth in such contract, deed, or other instrument.

(b) CITY and OWNERS hereby declare their understanding and intent that the burden of the covenants, reservations, and restrictions set forth herein touch and concern the land in that OWNERS' legal interest in the Historic Property.

(c) CITY and OWNERS hereby further declare their understanding and intent that the benefit of such covenants, reservations, and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Historic Property for the benefit of the CITY, public (which includes, but is not limited to the benefit to the public street generally located at 904 Madison Street), and OWNERS.

(9) **Notice.**

(a) Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

CITY: City of Santa Clara
Attn: City Clerk
1500 Warburton Avenue
Santa Clara, CA 95050

OWNERS: Andrew Fung
834 Main Street
Santa Clara, CA 95050

Rebecca Fung
834 Main Street
Santa Clara, CA 95050

(b) Prior to entering a contract for sale of the Historic Property, OWNERS shall give thirty (30) days notice to the CITY and it shall be provided at the address of the respective parties as specified above or at any other address as may be later specified by the parties hereto.

(10) **No Partnership or Joint Enterprise Created.** None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns; nor shall such terms, provisions, or conditions cause them to be considered joint ventures or members of any joint enterprise.

(11) **Hold Harmless and Indemnification.** To the extent permitted by law, OWNERS agree to protect, defend, hold harmless and indemnify CITY, its City Council, commissions, officers, agents, and employees from and against any claim, injury, liability, loss, cost, and/or expense or damage, however same may be caused, including all costs and reasonable attorney's fees in providing a defense to any claim arising there from for which OWNERS shall become legally liable arising from OWNERS' acts, errors, or omissions with respect to or in any way connected with this Agreement.

(12) **Attorneys' Fees.** In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to costs and other relief ordered by the court.

(13) **Restrictive Covenants Binding.** All of the agreements, rights, covenants, reservations, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner pursuant to this Agreement.

(14) **Mills Act Historic Property Contract Application Requirements.** An application for a Mills Act Historic Property Contract shall be made through the Planning Division and shall include the following:

- a. a Historic Resources Inventory form;
- b. the description of the preservation or restoration efforts to be undertaken as referenced in paragraph 3 (b) as Exhibit "D";
- c. a statement of justification for the Mills Act Historic Property designation and reassessment; and,
- d. the Mills Act Historic Property Contract filing fee pursuant to paragraph 17.

(15) **Mills Act Historic Property Contract Approval.** Based upon the Historical and Landmarks Commission's ("Commission") review of the Mills Act Historic Property Contract criteria and recommendation to Council, and based upon the recommendation and approval by Council, a Mills Act Historic Property Contract may be entered into with OWNERS. The decision of the City Council shall be final and conclusive in the matter.

(16) **Recordation and Notice.** No later than twenty (20) days after the parties execute and enter into this Agreement, the CITY shall cause this Agreement to be recorded in the office of the County Recorder of the County of Santa Clara.

(17) **Fees.** The Planning Department may collect such Mills Act Historic Property Contract application fee of \$7,564.00 (seven thousand, five hundred, and sixty-four dollars), or other fees for the administration of this contract as are authorized from time to time by the City Council. Such fees do not exceed the reasonable cost of providing the service for which these fees are charged. OWNERS shall pay the County Recorder's Office recordation fees for recordation of this Mills Act Historic Property Contract and the recordation of the OWNERS updated Historic Resources Inventory form.

(18) **Ordinary Maintenance.** Nothing in this contract shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in or on any Historic Property covered by this contract that does not involve a change in design, material, or external appearance thereof, nor does this contract prevent the construction, reconstruction, alteration, restoration, demolition, or removal of any such external architectural feature when the Director of Planning and Inspection determines that such action is required for the public safety due to an unsafe or dangerous condition which cannot be rectified through the use of the California Historical Building Code and when such architectural feature can be replaced according to the Secretary of Interior's Standards.

(19) **California Historical Building Code.** The California Historical Building Code ("CHBC") provides alternative building regulations for the rehabilitation, preservation, restoration, or relocation of structures designated as Historic Properties. The CITY's building permit procedure shall be utilized for any Historic Property which is subject to the provisions of this Agreement, except as otherwise provided in this Agreement or the CHBC. Nothing in this Agreement shall be deemed to prevent any fire, building, health, or safety official from enforcing laws, ordinances, rules, regulations, and standards to protect the health, safety, welfare, and property of the OWNERS or occupants of the Historic Property or the public.

(20) **Conservation Easements.**

(a) Conservation easements on the facades of the Historical Property may be acquired by the CITY, or on the CITY's behalf, by a nonprofit group designated by the CITY through purchase, donation, or condemnation pursuant to California Civil Code Section 815.

(b) The OWNERS, occupant, or other person in actual charge of the Historical Property shall keep in good repair all of the exterior portions of the Historic Property, and all interior portions thereof whose maintenance is necessary to prevent deterioration and decay of any exterior architectural feature.

(c) It shall be the duty of the Director of Planning and Building Inspection to enforce this section.

(21) **Severability.** If any section, sentence, clause, or phrase of this Agreement is, for any reason, held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, or by subsequent preemptive legislation, such decision shall not affect the validity and enforceability of the remaining provisions or portions of this Agreement. CITY and OWNERS hereby declare that they would have adopted this Agreement, and each section, sentence, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases may be declared invalid or unconstitutional.

(22) **Integrated Agreement - Totality of Agreement.** This Agreement embodies the agreement between CITY and OWNERS and its terms and conditions. No other understanding, agreements, or conversations, or otherwise, with any officer, agent, or employee of CITY prior to execution of this Agreement shall affect or modify any of the terms or obligations contained in any documents comprising this Agreement. Any such verbal agreement shall be considered as unofficial information and in no way binding upon CITY.

(23) **Captions.** The captions of the various sections, paragraphs and subparagraphs are for convenience only and shall not be considered or referred to in resolving questions of interpretation.


(24) **Statutes and Law Governing Contract.** This Agreement shall be governed and construed in accordance with the statutes and laws of the State of California.

(25) **Amendments.** This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.


IN WITNESS WHEREOF, CITY and OWNERS have executed this Agreement on the day and year first written above.

**CITY OF SANTA CLARA, CALIFORNIA,
a chartered California municipal corporation**

APPROVED AS TO FORM:




Brian Doyle
City Attorney



Deanna J. Santana
City Manager

Ruth M. Shikada

ATTEST:



Nora Pimentel, MMC
Assistant City Clerk

1500 Warburton Avenue
Santa Clara, CA 95050
Telephone: (408) 615-2210
Fax Number: (408) 241-6771

“CITY”

**Andrew Fung and Rebecca Fung,
Owners of 834 Main Street**

By: 

Andrew Fung
834 Main Street
Santa Clara, CA 95050

By: 

Rebecca Fung
834 Main Street
Santa Clara, CA 95050

“OWNERS”

Exhibits:

- A – Property Description
- B – Primary Record
- C – Standards for Rehabilitation
- D – Restoration Schedule

I:\PLANNING\2021\Project Files Active\PLN2021-14790 834 Main Street\HLC\Mills Act Contract.doc

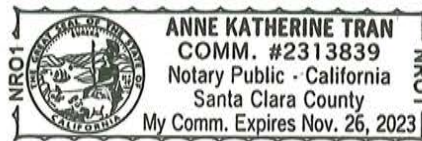
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Santa Clara

On July 30, 2021, before me, Anne Katherine Tran, Notary Public, personally appeared Ruth Mizobe Shikada, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.



Signature

(Seal)

California All-Purpose Certificate of Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Santa Clara

S.S.

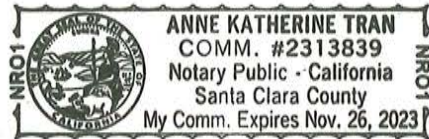
On July 1, 2021 before me, Anne Katherine Tran,
Name of Notary Public, Title

personally appeared Rebecca S. Fung and
Name of Signer (1)

Andrew H. Fung
Name of Signer (2)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.



WITNESS my hand and official seal.

[Signature]
Signature of Notary Public

Seal

OPTIONAL INFORMATION

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this acknowledgment to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

The preceding Certificate of Acknowledgment is attached to a document titled/for the purpose of _____

containing _____ pages, and dated _____

The signer(s) capacity or authority is/are as:

- ☐ Individual(s)
☐ Attorney-in-fact
☐ Corporate Officer(s) _____
Title(s)

- ☐ Guardian/Conservator
☐ Partner - Limited/General
☐ Trustee(s)
☐ Other: _____

representing: _____
Name(s) of Person(s) Entity(ies) Signer is Representing

Additional Information

Method of Signer Identification

Proved to me on the basis of satisfactory evidence:

- ☐ form(s) of identification ☐ credible witness(es)

Notarial event is detailed in notary journal on:

Page # _____ Entry # _____

Notary contact: _____

Other

- ☐ Additional Signer ☐ Signer(s) Thumbprints(s)

☐ _____

ORDER NO. : 0631027735-GA

EXHIBIT A

The land referred to is situated in the County of Santa Clara, City of Santa Clara, State of California, and is described as follows:

Beginning on the Southwesterly line of Main Street, distant thereon Northwesterly 56 feet from the intersection thereof with the Northwesterly line of Lexington Street; thence from said point of beginning Northwesterly along said line of Main Street, 73.50 feet; thence at right angles Southwesterly 77.50 feet to the Northeasterly line of the Parcel of Land conveyed to George J. Harkey, et ux, by Deed recorded February 27, 1923, Book 14 Official Records, Page 494; thence Southeasterly along said Northeasterly line of said Harkey Parcel of Land and the Southeasterly prolongation thereof, 73.50 feet; thence Northeasterly at right angles, 77.50 feet to the point of beginning and being a portion of Lot 2 in Block 2 South, Range 2 West in said City of Santa Clara.

APN: 269-28-062
ARB: 269-28-006
ARB1: 269-28-006-01

I have read & understand this report.

Rebecca Fry 1/19/2021
Arty 1/19/2021

Exhibit B

State of California — The Resources Agency		Primary# _____
DEPARTMENT OF PARKS AND RECREATION		HRI# _____
PRIMARY RECORD		Trinomial _____
		NRHP Status Code _____
Other Listings _____		
Review Code _____	Reviewer _____	Date _____

Page 1 of 18 *Resource Name or #: (Assigned by recorder) Harold Slavens House

P1. Other Identifier: Slavens House

*P2. Location: ☐ Not for Publication ☐ Unrestricted *a. County Santa Clara

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Jose West Date 1980 photo revised T 7S; R 1W; unsectioned; Mt. Diablo B.M.

c. Address 834 Main Street City Santa Clara Zip 95050

d. UTM: (Give more than one for large and/or linear resources) Zone _____, _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 269-28-062

West side of Main Street between Homestead and Lexington Streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

834 Main Street is located in the urban setting of an L-shaped block, which partially surrounds a large open park area and that was developed over a span of a century. The northeastern half of the block was originally developed during the 1850s and redeveloped a century later; the western quarter of the block, the Jackson Street block face, remained undeveloped land until it was developed in the first decade of the twentieth century and has remained intact since then. The southeastern portion, the lower Main Street block face, was also developed in the 1850s and then redeveloped in the first third of the twentieth century while the northeastern portion of Main Street, which connects with Homestead Road, was redeveloped in the last half. Since the 1960s, the northern portion of the block has (Continued on page 2, form 523L)

*P3b. Resource Attributes: (List attributes and codes) HP2 Single – Family Property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

*P5b. Description of Photo: (view, date, accession #)

Front façade (view from street facing west)
Photo No: 100_2690_09/2020

*P6. Date Constructed/Age and Source:

☒ Historic ☐ Prehistoric ☐ Both

Constructed 1932

Assessor's Records; Sanborn maps; Polk City & County Directories

*P7. Owner and Address:

Andrew Hok-Cay Fung & Rebecca Sanders Fung

Vincent Lap Wing Fung & Julie Suk-Mei Fung

834 Main Street

Santa Clara, CA 95050

*P8. Recorded by: (Name, affiliation, and address)

Lorie Garcia

Beyond Buildings

P.O. Box 121

Santa Clara, California 95052

*P9. Date Recorded: October 1, 2020



*P10. Survey Type: (Describe) Intensive

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historic Resources Inventory Form "Slavens House," Nov. 8, 1993.

*Attachments: NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 2 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☐ Update

(Continued from page 1, Form 523A, P3a. Description)

undergone multiple changes, including its widening and name change from Liberty Street to Homestead Boulevard. Currently the area is developed with a mix of mostly single-family construction with a multi-story senior housing building fronting on Main Street and commercial properties facing on Homestead Boulevard.

The specific property on which this residence is located is a center lot fronting on Main Street with single family construction to the side and rear. With the exception of the lot on which the subject property is located, which is 73' wide, the majority of the single-family lots have similar widths ranging from 45" to 55," and similar lengths at 75.' The homes also have similar setbacks from the street with urban sized front yards and, with the exception of the Homestead block face, the streetscape is a pleasant one which evokes the sense of an early neighborhood.

Constructed in 1932, the primary building on the site is a 1,028 sq. ft., one-story house, designed in the Spanish Revival architectural style. Set on a small 5,662 sq. ft. lot, the house fronts roughly east onto Main Street and is set back from the street allowing for an open landscaped area with a cultivated lawn and planting beds with ornamental shrubbery. A sinuous red brick walkway, leads from both the front sidewalk and driveway to the front entry landing. A branch off of this walkway continues past the front of the house to an entry gate that provides access the rear of the site. The house is offset on its 73' x 77.5," lot allowing for a relatively large north side-yard. A narrow planting bed and a concrete driveway which opens onto Main Street, are located on the south side. The rear of the property is shallow but connects with the north side-yard to form a large L-shaped open area, which includes lawn area, planting beds and large trees.

The plan of this single-family residence is basically L-shaped. It has a low-pitched, cross-gabled roof with a prominent, front-facing gable (usually found in Spanish Revival L-shaped houses), punctuated by a small rounded arrow-shaped tower roof. A secondary flat roof covers the rear body of the house. A similar flat roof is found behind a parapeted wall on the garage and on the arcaded wing wall, which connects the house and the garage. The gabled roof and garage parapet are sheathed with regularly laid, individual, straight barrel red mission tiles placed in interlocking rows, alternately facing up and down and the flat roof is covered with gravel and tar. Both roof styles are characteristic of Spanish Revival architecture. The tiled roof has little eave-overhang. Weep holes, a typical Spanish

Revival detail, are set close to the eaves in the front and side facing gable faces. The façade is asymmetrical, due to a round tower that projects between the front-facing and side gables. Note: whether round, square or polygonal, a tower is a common elaboration found in Spanish Revival houses, as is the home's arcaded wing wall. The house has two chimneys with elaborated chimney tops (common to Spanish Revival architecture). One punctuates the roof in the center of the house and the other an external, red brick chimney, with the bricks laid in a decorative pattern, projects from the north side-elevation.

The house is set over a partial basement, which elevates the living area approximately 18" above the ground. The walls of the house are finished with stucco and, as there is no eave or trim beneath the gable in a Spanish Revival house, the wall surface extends into the gable without a break.

(Continued on page 3, Form 523L)

Supplemental Photograph or Drawing



Description of Photo: (view, date, accession #)
(Camera pointing NW) South side-elevation, tower, front facade, arcaded wing wall and garage. Photo No: 100_2692; 9/2020.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 3 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 2, Form 523L)

The garage is set towards the rear of the property on the south property line. Like the main body of the house and the attached arcaded wing wall, it is sheathed in stucco and has a small extension clad in wide horizontal siding at the rear. A wooden man door, located towards the front of its north side elevation, provides entry to the garage from the back yard. A new garage roll-up door in the front facade has replaced the original large 12-pane window, which, as seen in a 1979 photo, was in place when this part of the structure was used as an accessory dwelling unit.

The main entry to the house is through an arched entryway in the tower that projects between the front facade and south side-elevation. It is accessed from the street by two (2) wide, red brick steps leading to a large, square, open, red brick porch. A similar set of steps provides access from the driveway. A large, rectangular red brick planter with ornamental shrubbery is set between the inner edge of each set of steps and the house wall, with an L-shaped red brick planter set at the open porch corner. The front, or main door, is centered in the tower's small, round, sheltered entry space. This original, solid wood plank door is one of the typical Spanish Revival patterns for doors. It has simple wood molding door surrounds.

Located in the rear facade and sheltered by the arcaded wing wall, a secondary entrance provides access to the house from both the garage and the rear of the property. Access to this door is by a two-step wood landing. The door (not original) has 2 large, metal-framed panes of clear glass set in the top half of a solid door.

A wood-plank, arched Dutch-door, set into the wing wall's arched opening, secures access from the driveway to the rear house entry, the garage's man-door entry and the rear yard.

Fenestration of the front facing gable and the street-side elevation of the south facing gable, currently consists of a large, centered, vertically orientated, rectangular 12-paned aluminum window, which had by 1993 replaced the original wood-framed casement windows. Plain molding frames these windows. Fenestration of the remainder of the house consists of large, rectangular, vertically-orientated, 1-over-1 double hung windows, with two medium-size square windows at the rear of the south side-elevation and a similar window on the rear facade. With the exception of the rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows, the original windows have been replaced with new, aluminum framed, 1-over-1 double-hung windows. However, all of the house's windows are set into their original openings. All the double-hung windows have a projecting sill and are surrounded by narrow, wooden, molded frames.

The property is in very good condition and, with the exception of the new windows and garage door, appears to have had little external change since its construction.

B4. Present Use: *Single family residential*

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 5 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 4, Form 523B, B10. Significance)

On the C. E. Moore Map of the Town of Santa Clara, drawn in December 1893, J. M. Kenyon is now indicated as the owner of Lot 2. Although the Female Institute was no longer used for education, the building was still in existence and the rest of the 152.5' x 302.5' lot was still undeveloped land. One of the early settlers in Santa Clara, James Monroe Kenyon had arrived from Ohio in 1849 and settled on 240 acres of land (near Lawrence Expressway and Homestead Rd.). A staunch Methodist, he was one of the early supporters of the M.E. Church in Santa Clara. In 1893, the Brick M.E. Church was still in existence on Lot 1 and would be until it was severely impacted by the 1906 earthquake, which caused walls to fall and the church steeple to collapse into Main Street. (Two years later a new Methodist church was constructed on the site.)

In August, 1907, when he was 90, James Monroe Kenyon passed away; four months after his wife, Martha. Lot 2, B2S, R2W, was part of his estate. James and Martha had raised five children, one of which was a daughter, Emma, who had married Henry H. (Harrison) Slavens, 25 years earlier. As the result of a bequest from Emma's father, Henry H. Slavens became the owner of Lot 2. At the time of her father's death, Emma and Henry had been married 25 years, and they had three children; a son, Harold now 22, a daughter Effie, age 18, and a daughter Ollie, age 12. Henry H. Slavens was an astute businessman and while at the turn of the Twentieth Century he had been a grocer, he now became a house contractor in order to meet the rising demand in the township for additional housing.

This demand was the result of the escalating rise in population, which was due to the work of entities like the Santa Clara Commercial League, which promoted the area's beautiful climate and the opportunities to be found. As more and more people were attracted to the region. In the Town of Santa Clara, agricultural production expanded and manufacturing enterprises began to grow. The township's 3,650 residents in 1900 were estimated at 4,000 by 1902 and had increased to around 5,000 by the end of the first decade. These new Santa Clara residents needed affordable homes in which to live and as a result many of the larger lots within the township were divided into smaller parcels.

H. H. Slavens went into business with S. H. Goodwin, forming the real estate firm of Slavens & Goodwin. Utilizing the Lot 2 portion of B2S, R2W, land he now owned, Henry H. Slavens proceeded to subdivide the western half of his parcel that fronted on Jackson Street between Liberty (today's Homestead) and Lexington Street, into 6 individual lots, upon which he constructed residential structures. The eastern portion of Lot 2 was not subdivided. However, a house was constructed facing Liberty Street, between the house on the newly parceled lot at SE corner of Jackson and Liberty, and the property line between Lot 2 and Lot 1. H. H. Slavens also constructed an additional residence, which fronted on Main Street, on a new lot on the south-eastern portion of Lot 2 at the NW corner of Lexington and Main Streets. This home was for his family.

Unlike others who had sold their land, or built houses on their land and then sold the houses, Henry H. Slavens developed his land as an investment. He maintained ownership of the newly constructed residential structures and rented them. The proximity of these new homes to Santa Clara's main business district, which was located on Main and Franklin Streets, seems to have resulted in the new residents of the homes being for the most part more "middle-class" than laborers or working class individuals; i.e., Lumber Mill Superintendent, Architect, Attorney, Teacher, Police Court Justice, etc.. By 1910 all the homes were occupied, and Henry H. Slavens had, with Emma and Ollie, moved into his new house at 806 Main Street.

Along with the new residential construction, the Female Institute building was reconfigured and given a new use. In order to construct the new residence at the NE corner of Jackson and Lexington Streets and the one at the NW corner of Main and Lexington Streets, the U-shaped portion of the Female Institute (near Lexington Street) had to be demolished. Now, the remainder of the building, the central section and northern dormitory wing facing Main Street, was painted and turned into apartments (826 and 834 Main Street). One of the occupants of the "new" apartments was Henry Slavens' son, Harold H. According to the 1910 Census, Harold H. Slavens rented an apartment in the 826 Main Street portion.

By 1917, Harold Slavens was married and with his wife, Marie, had moved to a home at 1491 Lexington, which the 1920 Census shows he owned, although with a mortgage. Here, in 1918, their daughter, Marie Ellen was born. Then, in 1923, Harold sold this home and moved with Marie and their daughter, Mary Ellen, back into a unit in the 834 Main Street portion of the apartments.

Henry H. Slavens passed away in 1929 and Harold Slavens inherited the 826 and 834 Main Street apartments (valued according to the 1930 Census at \$3,500). Here, Harold and his family continued to occupy their 834 Main Street apartment, while he rented out the

(Continued on Page 6, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 6 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 5, Form 523L)

remaining two apartments of that unit, along with those at the 826 Main Street address.

Until 1932 there was minimal change to the block. However, that year, the remainder of the Female Institute was demolished and Harold Slavens had a new house constructed facing Main Street, next to the home his father had occupied at 806 Main Street. He located his new house, (the subject property identified as 834 Main Street), on the portion of the property that had been occupied by what had at first been the Institute's central section and then the 826 Main Street apartment unit. Upon its completion, Harold moved into his new home with his wife, Marie, and their daughter, Mary Ellen. Three years later, his new home's location would prove to be very fortuitous when, in 1935, the United States Government constructed its first post office building in Santa Clara at the corner of Jackson and Franklin Streets, less than 2 blocks away.

Harold Slavens was well-known as a mail-carrier in Santa Clara in Santa Clara, having started delivering the mail in 1903 when he was 18 years old. At that time, he delivered mail on a rural route with a horse and buggy and on a bicycle for a salary of \$50 a month. By the time he retired in 1945 at age 60, he had been employed as a mailman for 42 years. Upon his retirement from the Post Office, Harold Slavens went to work as a watchman for the Santa Clara Walnut Growers, whose processing plant was on Lafayette Street near the railroad tracks.

Harold Slavens died in 1966 and the City Directories show that Marie, now listed as "widow Harold H.," continued to live in their home. In 1978, Marie Slavens passed away. While the subject residence retained the same configuration during the time the Slavens lived in the residence at 834 Main Street, there appears to have been a different use to one portion of it than what would occur later on. According to Harold and Marie's daughter, Mary Ellen (Slavens) Johnson, the building marked as A on the 1950 Sanborn map was used by the Slavens' as an accessory dwelling unit. Photos of the house taken in 1979 show a large 12-paned front window in this portion of the house, which was later removed and replaced by a garage door when the unit was converted into the garage that exists today.

During the last decade that Harold Slaven lived in the residence, Urban Renewal affected all of Lot 1 of Block 2 South, Range 2 West and impacted the City park area to the east of the home. During this time, the Methodist Church was demolished and Liberty Towers, an 11-story Methodist retirement home was constructed on the Lot 1 property. Across the Street to the east, in 1955 the Historic City Plaza Park with its bandstand and paths became the site for the erection of a new Santa Clara Public Library, relocated from its previous location on the second-floor of City Hall downtown. When the Central Library was opened in 1967, the library was renamed the Mission Branch Library.

In 1989 the home was purchased by Judi R. and Kipp Thomas and in 1994, they petitioned the City of Santa Clara to add the subject residence to the Architecturally and/or Historically Significant property list. The City Council adopted a Resolution doing so in January 1995. In March 2016, the then owner of 834 Main Street, Barton Scott, a professor at Santa Clara University, sold it to the current owners, Andrew Hok-Cay Fung and Rebecca Sanders Fung.

Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

Age Requirement.

Constructed in 1932, the subject residence at 834 Main Street is over 50 years old and thus meets the age requirement.

(Continued on Page 7, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 7 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 6, Form 523L)

Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

The property at 834 Main Street has been well maintained and the architectural integrity of the structure has only been slightly diminished by the replacement of some of the original wooden windows. There has been only minimal alteration to the home's exterior since it was constructed and the visual and character defining features of the historic building have been preserved and retained. The residence retains its original configuration and location. The historical use of the building has not changed and it remains a single-family home. The subject property is set within a historic residential setting in the area of Santa Clara known as the "Old Quad," and the immediate surroundings retain the majority of the qualities that reflect the period in which it was constructed.

The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).

National Register of Historic Places Criteria.

There are not any events associated with the residence at 834 Main Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). The building has had 4 known sets of owners over the 88 years of its existence and none appear to reach the level of significant influence required under Criterion B to be considered eligible for the National Register. Neither do any of the other occupants appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the building at 834 Main Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). Although its original windows have been mostly replaced, the majority of the character-defining features of its 1932 construction as a Spanish Revival architectural style remain. These include its low-pitched cross-gabled roof with red tile roof covering and no eave overhang and its flat roof covered with tar and gravel, its asymmetrical façade, its stucco walls that extend into the gable without a break, its tile "weep-holes," its round tower, its arcaded wing wall, and its prominent arch placed above the main entry door and thus under National Register Criterion C the residence at 834 Main Street does "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a significant and distinguishable entity whose components may lack individual distinction" and, due to its prominent location and proximity to other historically significant homes in the area, it does contribute to a potentially eligible Historic District. Therefore, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C.

California Register of Historic Resources Criteria

The Criteria for listing in the California Register of Historical Places are consistent with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events) and California Register Criterion 2, the equivalent of National Register Criterion B (persons). The property at 834 Main Street does not appear to be eligible for the California Register based on Criterion 1, or Criterion 2. Criterion 3, the California Register equivalent of the National Register Criterion C, addresses the distinctive characteristics

(Continued on Page 8, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 8 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 7, Form 523L)

of a type, period, region, or method of construction. With a normally asymmetrical façade, which generally had little decorative detail and instead emphasized its varied massing and that was characterized by the use of a stucco wall surface and a low-pitched, red tiled roof gabled-roof, usually with little or no eave overhang, and one or more prominent arches placed above a main door or main window, the Spanish Revival architectural style, (sometimes referred to as Mediterranean in the San Francisco Bay Area), (1915-1940) was introduced at the Panama-Pacific Exposition held in San Diego in 1915 and was based on prototypes found in Spain. Prior this, the majority of Spanish style houses were based on early Spanish mission architecture. Constructed in 1932, the subject building is an example of the Spanish Revival architectural style. The property remains as designed with only a minimal modification to its windows and the integrity of the residence is intact. Thus, it appears to reach the level of significance necessary to be eligible individually for the California Register of Historic Resources under Criterion 3.

City of Santa Clara Criteria for Local Significance

In 2004, The City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible," to be a "Qualified Historic Resource." The evaluator finds that the property meets the following criteria:

Criteria for Historically or Cultural Significance:

To be historically or culturally significant a property must meet at least one of the following criteria:

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state or nation.

While it is not associated with a historical event, this property has character, interest and integrity and is located in a block that encapsulates the heritage of Santa Clara and the building's association with family members who contributed to this heritage reflects the historical development of the city.

5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities.

The building does have a direct association with the broad patterns of Santa Clara's history and its historical development. From the time when the site on which it is located was part of Mission Santa Clara (the mission corral) and then developed as the site for the church buildings related to the first American religious organization to be established in the town and then owned by one of the earliest American settlers in Santa Clara, to the home's construction by the member of that early family, this home reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20th Century.

The subject property does meet Criteria 1 and 5 for Historically or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria 2, 3, 4 or 6 for Historically or Cultural Significance.

Criteria for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.

The several versions of Period Revival styles which evolved during the early part of the twentieth century, provided the ideal architectural response to the subdivision of residential land into small lots for affordable homes. The subject property was constructed in one of those styles, the Spanish Revival architectural style (1915-1935), which came into vogue following the San Diego Panama Pacific Exposition in 1915. Unlike the Mission Revival style that it resembles in its use of stucco walls and red tile roofs, which was based on the early Spanish missions, the Spanish Revival architectural style was mainly influenced by building styles found in Spain,

(Continued on Page 9, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 9 of 18

*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

(Continued from page 8, Form 523L)

particularly in rural Andalusian houses. As the coastal climate of California is classified as Mediterranean and its natural setting is very much like that of the countries on the Mediterranean shore, this style, which combined architectural elements from the lands which border the Mediterranean Sea - Spain, Italy and the Islamic world of North Africa - fit perfectly in the State.

From its red roof tiles, placed in interlocking rows on the gable-roofed section of the house, to the entry tower with its rounded arched opening, to the weep holes, which protrude through the façade, and its arcaded wing wall, this home, constructed in 1932, is one of the rare examples of the Spanish Revival architectural style found in Santa Clara.

5. The property has a visual symbolic meaning or appeal for the community.

Due to its unusual architectural style and prominent location directly across from the public park and Mission Branch Library, this historic house has a visual appeal for the community.

The subject property does meet Criteria for Architectural Significance 1 and 5 of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 3, 4, 6 or 7.

Criterion C: Geographic significance

To be geographically significant a property must meet at least one of the following criteria:

2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

While most of the homes on this portion of this block were constructed in the first decade of the 20th Century, accounting for the compatibility of the building styles in the neighborhood, the home at 834 Main Street, constructed in 1932, in an architectural style reflective of that period, is compatible to the earlier neighboring residential structures. It is representative of the development of the Old Quad during this period and important to the integrity of the historic area in which it is located.

Criteria for Archaeological Significance:

As the property at 834 Main Street is not known to contain any known or unknown prehistoric or historic archaeological resources, it would not be Archaeologically Significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

Conclusions and Recommendations

Currently, this property is on The City of Santa Clara Architecturally or Historically Significant Properties list. In this update of the November 8, 1993 Historic Resources Inventory for the City of Santa Clara, the evaluator finds 834 Main Street to be a nice example of the Spanish Revival architectural style and, as it has undergone no significant alteration since the time of its designation as a Historically Significant Property for the City of Santa Clara, to retain sufficient integrity to qualify as a historic property. It appears to continue to be, based on compliance with the National Register of Historic Places Criteria, the California Register of Historic Resources Criteria and the City of Santa Clara's Local Significance Criteria, eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 10 of 18

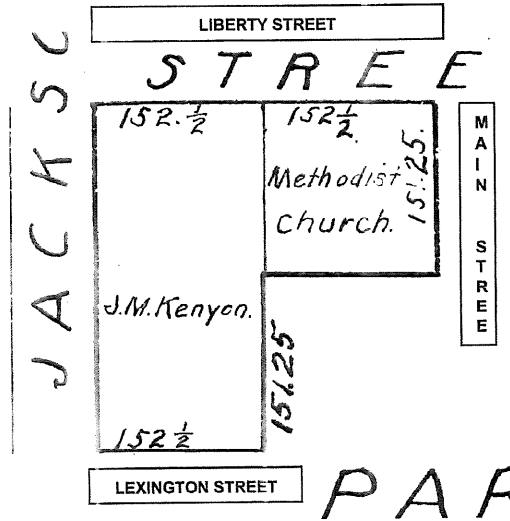
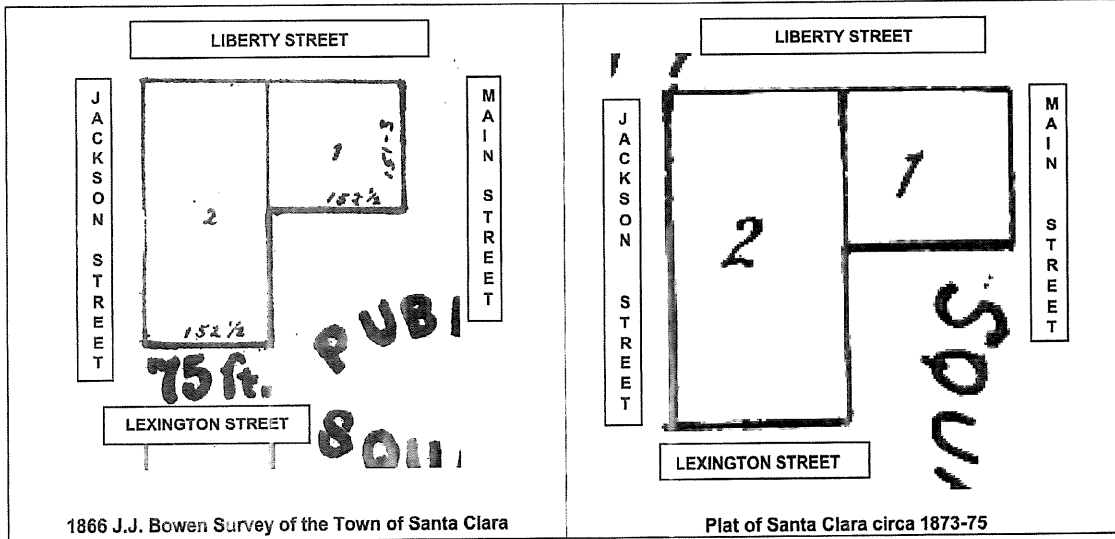
*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

HISTORIC MAPS



NOTE: LIBERTY STREET was later renamed HOMESTEAD ROAD

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 11 of 18

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

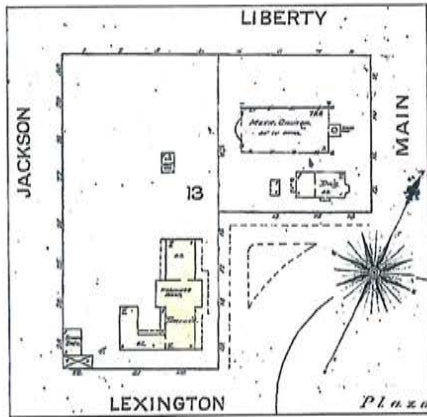
*Recorded by: Lorie Garcia

*Date 10/01/2020

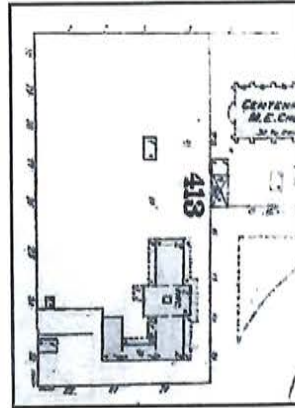
☒ Continuation ☒ Update

SANBORN FIRE INSURANCE MAPS

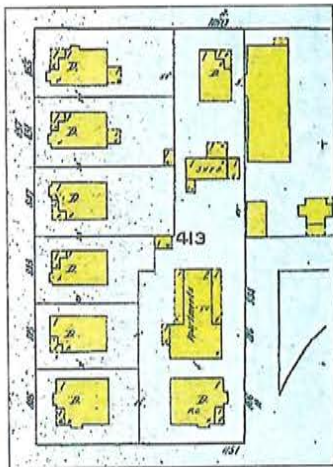
1887 SANBORN MAP



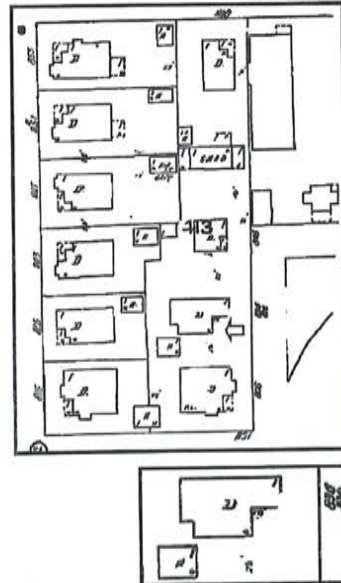
1901 SANBORN MAP



1915 SANBORN MAP



1950 SANBORN MAP



Note:  indicates 834 Main Street

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 12 of 18
*Recorded by: Lorie Garcia

*Resource Name or # (Assigned by recorder) Harold Slavens House
*Date 10/01/2020

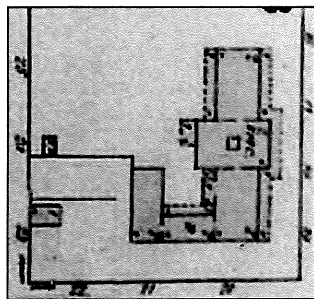
☒ Continuation ☒ Update

HISTORIC PHOTOS

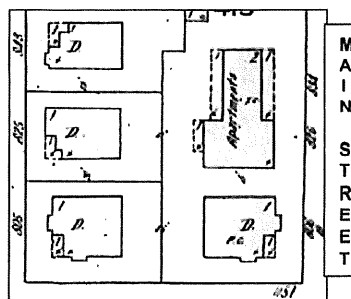
1907 Photo of The Female Institute



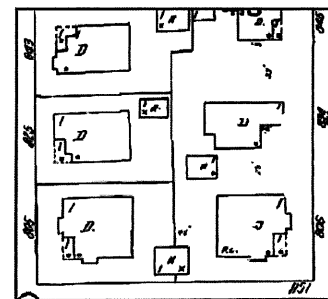
The above photo taken in 1907, shows the Female Institute, facing Main Street, as it appeared at that time. By 1915, the main center portion and the wing to the right had been converted into apartments with the rest of the building demolished. In 1932 the remainder was razed and the residence at 834 Main Street constructed in the right wing's location. (see 1901, 1915 and 1950 Sanborn Maps below).



1901 Sanborn Map



1915 Sanborn Map



1950 Sanborn Map

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 13 of 18

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

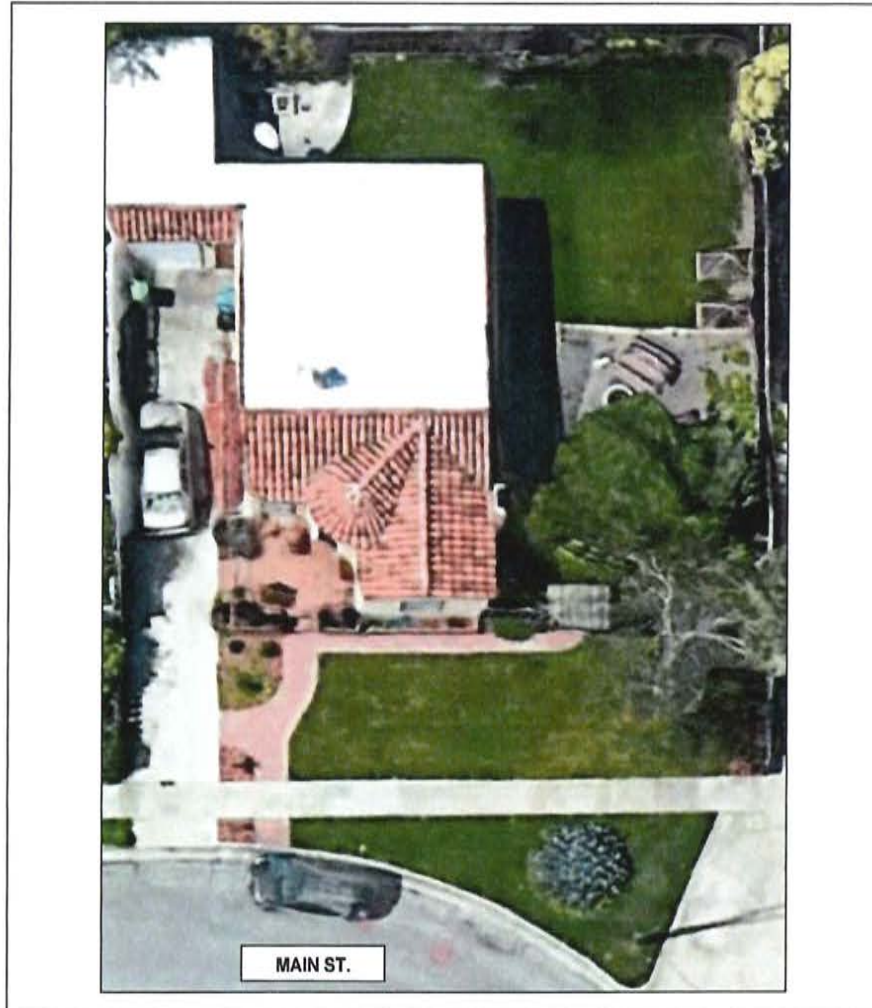
*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation

☒ Update

Google Aerial Photo 2020



The above aerial photo shows placement of house on the lot and the combination red straight barrel mission tile gabled roof and garage parapet along with and tar and gravel flat roof (white) on the rear of the house, arcaded wing wall and garage.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 14 of 15

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

Additional Photos – South and North side-elevations



Photo No: 100_2732; View: South side-elevation and Front façade from Main street.
Photo Date: Sept., 2020; Camera Facing: West.



Top: Photo No: 100_2731; View: North side-elevation and partial Front façade from Main Street.
Photo Date: Sept., 2020; Camera Facing South.



Photo No: 100_2719; View: S side-elevation from rear towards Main St.
Photo Date: August, 2020; Camera Facing: NNE.



Photo No: 100_2705; View: N side-elevation.
Photo Date: Sept., 2020; Camera Facing: SE.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 15 of 18

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

Additional Photos – Arcaded Wing Wall



Photo No: 100_2869

View: Garage and Arcaded Wing Wall exterior view from driveway.
Photo Date: Sept., 2020; Camera Facing: SW.



Photo No: 100_2717; View: Arcaded Wing Wall interior
view looking out onto driveway.
Photo Date: Sept., 2020; Camera Facing: NE.



Photo No: 100_2712; View: Arcaded Wing Wall interior view & N side elevation of
garage.
Photo Date: Sept., 2020; Camera Facing: SSE.

Page 16 of 18

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation

☒ Update

Additional Photos – House Rear Façade and Rear Yard



Photo No: 100_2701; View: Rear Façade.
Photo Date: Sept., 2020; Camera Facing: E.



Photo No: 100_2700
View: Rear yard toward north property line. Photo Date: Sept., 2020;
Camera Facing: NNW.



Photo No: 100_2703
View: Rear yard toward east property line (Main Street). Photo
Date: Sept., 2020; Camera Facing: ENE.

Page 17 of 18

*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

Additional Photos — Entry doors



Photo No: 100_2723; View: Main Entry door (rectangular solid wood plank with decorative detailing);
Photo Date: Sept., 2020;
Camera Facing: NW.



Top: Photo No: 100_2699; View: Arcaded Wing Wall door (arched solid wood plank with iron strap hinges);
Photo Date: Sept., 2020;
Camera Facing: WSW.



Photo Nos: L -100_2715; View: Rear Entry. R. 100_2714; View: Rear Entry door (new);
Photo Date: Sept, 2020; Camera Facing: NE.



Photo No: 100_2716; View: Garage Man-door;
Photo Date: Sept., 2020;
Camera Facing: SE.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 18 of 18

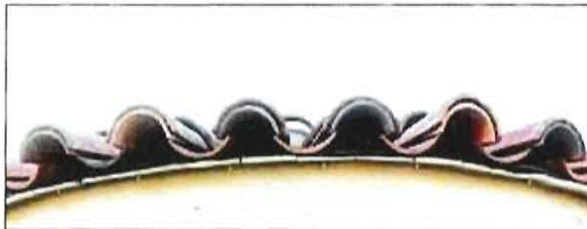
*Resource Name or # (Assigned by recorder) *Harold Slavens House*

*Recorded by: Lorie Garcia

*Date 10/01/2020

☒ Continuation ☒ Update

Additional Photos — Spanish Revival Typical Patterns and Elaborations on House



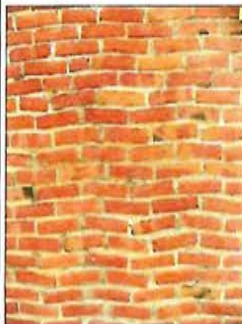
Straight Barrel Mission Tile (Regularly laid)

Photos Date: Sept., 2020; Camera Facing: SW (Top photo) & NW (Bottom).



Weep Holes

Photo No: 100_2720; Photo Date: Sept., 2020; Camera Facing: SW.



Decorative Chimney Brick Pattern



Elaborated Chimney Top

Photos Date: Sept., 2020; Camera Facing: SE (Left photo) & W (Right photo).



Roughly-laid Stucco Wall Finish



Decorative Iron Sconce

Photos Date: Sept., 2020; Camera Facing: NE (Top) and SW (Left photo)

Statement of Justification for the Mills Act Historic Property Designation & Reassessment

Our application for the Mills Act is long overdue. Already, our unique Spanish Revival home at 834 Main Street has been listed on the Historic Resources Inventory and we respectfully submit this application to complete this process. We have enjoyed learning from our neighbor (who knew the Slavens when he was young) and our historian about the people who made memories here before us.

While dating in 2016, Becca rented a small 1 bedroom apartment on Bellomy Street where she fell in love with the charm of the Old Quad Neighborhood. She had previously owned a 1930s home in a historic Atlanta neighborhood. There she came to appreciate the character & history that comes with owning an older home. We knew the Santa Clara Old Quad was where we wanted to build our home together. While in escrow, Andrew proposed to Becca in the gazebo next to the Mission Branch Library, in view of our new home.

When we first moved in, we knew the location was desirable, but over the past four years, we regularly marvel at the opportunities our locale affords. We enjoy regular walks to Santa Clara University, where our 18 month old daughter has learned to run up and down hills, waive at strangers, and smell the flowers. The farmer's market is a weekly stop for fresh produce and fish. Taplands has been a frequent stop to meet with friends, watch a Quakes game, and grab a drink. And of course, we are so excited at the prospect of a revitalized historic downtown area.

In the quickly changing landscape of the Bay Area, we believe that civic pride and investment in the community is a rare commodity. We believe we have found this still alive in the Old Quad Neighborhood and hope to continue to be a part of it for years to come.

We intend to continue to carefully maintain and preserve our home, while highlighting its historic appeal. Making upgrades that honor the home's historicity but allow for modern efficiencies will be a priority. These include replacing damaged aluminum framed windows, upgrading HVAC systems, and replacing old electrical wiring. Regular maintenance such as repairing dry rot, rain gutters, repainting the exterior and chimney repair are also part of our preservation plan.

It is with the aforementioned priorities that we respectfully submit our request for the Mills Act Contract which would enable us to preserve and restore our beloved home.

ANDREW AND REBECCA FUNG

834 MAIN STREET

Exhibit C

Secretary of Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Exhibit D

10 Year Preservation & Restoration Proposed Plan

2022

- Replace and repair aged and dysfunctional rain gutters in the back of the house
- Replace and repair dry rot in garage eaves
- Install new irrigation system for the backyard and upgrade the frontyard's irrigation system to reduce water waste

2023

- Restore aluminum framed windows & repair dry rot when present
- Replace large front facing windows leaks have had to be repaired and moisture intruded between the double panes

2024

- Restore and repair weight and pulley systems in 1-over-1 wood double hung windows & repair dry rot on window panes when present

2025

- Replace rotting and termite damaged fence and gate.
- Repaint interior doors

2026

- Repaint house exterior and trim

2027

- Install/upgrade HVAC system to include air conditioning, furnace and new duct work

2028

- Upgrade electrical box and replace remaining knob and tube wiring

2029

- Mortar joints on the chimney fireplace are damaged and worn. The chimney exterior needs to be repaired.

2030-31

- Remodel kitchen & mud/laundry area
- Repair/restore back door stairs
- Repaint interior walls/moldings

APPENDIX B

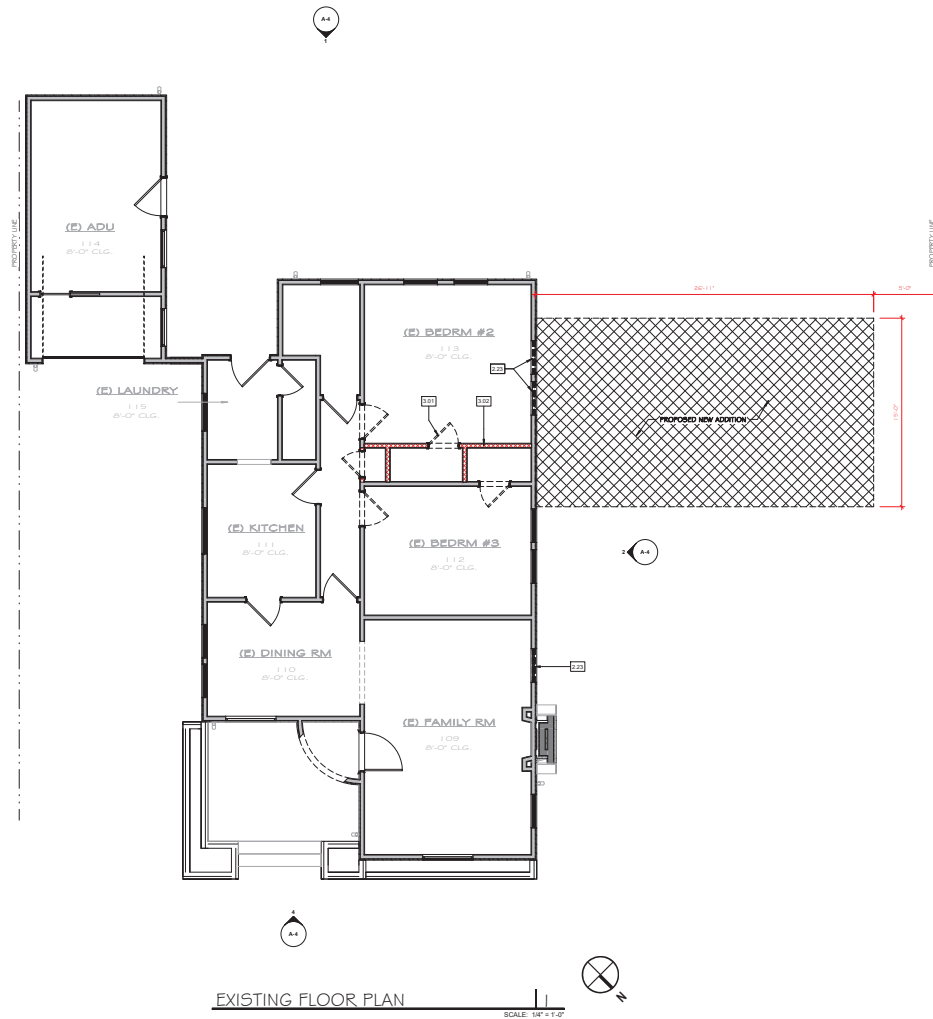
Andrew and Becca Fung Residences, prepared by G+O Design Studio, November 13, 2024 (drawings)

THERE ARE NOT EASEMENTS ON SITE.



SHEET NUMBER
A-O

PLANNING SUBMITTAL SET 08/15/2025



WALL LEGEND

- (E) 2X4 INTERIOR WALL TO BE DEMO
- (E) 2X INTERIOR WALL TO REMAIN
- (E) 2X EXTERIOR WALL TO REMAIN
- (N) 2X EXTERIOR WALL
- (N) 2X FURRED WALL

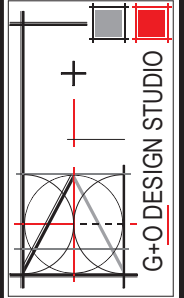
KEYNOTES

- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 3.01 EXISTING INTERIOR DOOR TO BE DEMO
- 3.02 EXISTING INTERIOR WALL TO BE DEMO

EXISTING IMAGES



THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE LOANED OR ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SARA CLARA

CA. 95050

REVISION	
DATE	DATE

SHEET TITLE
EXISTING FLOOR PLAN

SHEET NUMBER
A-1



- 1.06 PROFILED CONCRETE LANDING - SLOPE 1/4" 12" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE/MATERIAL BY BUILDER.
- 2.43 PROPOSED NEW ALUMINUM - CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS
- 2.67 PROPOSED NEW WOOD HUNG WINDOWS
- 2.96 PROPOSED NEW ALUMINUM - CLAD WOOD DOOR WITH TEXTURED GLASS, ALUMINUM COLOR
- 3.03 PROPOSED NEW INTERIOR DOOR TO MATCH EXISTING
- 3.11 SHELF AND 1 HANGING POLE
- 7.02 UNDERMOUNT LAVATORY SINK
- 7.07 ELONGATED WATER CLOSET WITH 30" MIN. CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.
- 7.10 PRE-EXISTING TUB
- 7.11 CUSTOM-BUILT SHOWER, HOT-ARMED SHOWER PAN AND TILED TO 90° MIN. AFF. SHOWER HEAD AT +90° AFF






- | | |
|--|----------------|
| | DOOR TAG |
| | WINDOW TAG |
| | SOFFIT TAG |
| | WALL TAG |
| | KEYNOTE TAG |
| | EGRESS WINDOW |
| | TEMPERED GLASS |

<u>Room name</u>	ROOM NAME
101	ROOM NUMBER

 DROPPED CEILING HATCH

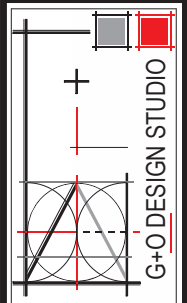
CS: CASEMENT WINDOW TYPE
FX: FIXED WINDOW TYPE
SLDR: SLIDER WINDOW TYPE
AW: AWNING WINDOW TYPE

NOTE: DIMENSIONS ARE TO FACE OF FRAMING U.N.O.

-  (E) 2X4 INTERIOR WALL TO BE DEMO
 (E) 2X INTERIOR WALL TO REMAIN
 (E) 2X EXTERIOR WALL TO REMAIN
 (N) 2X EXTERIOR WALL
 (N) 2X FURRED WALL

1. HORIZONTAL AND VERTICAL DIMENSIONS: UNLESS NOTED FROM FACE OF STUDY, FACE MASONRY, SHOWS THROUGH.
2. ANY DISCREPANCY FOLLOW IN THESE DRAWINGS.
3. ALL DIMENSIONS BROUGHT TO THE FACE UNLESS OTHERWISE NOTED.
4. DESIGN STUDY PRIOR TO ANY CONSTRUCTION.
5. ALL DIMENSIONS TO FACE UNLESS OTHERWISE INDICATED.
6. INDICATED WITH HATCHING ON THE PLANS.
7. ALL DIMENSIONS TO FACE UNLESS OTHERWISE INDICATED.
8. REFERENCE ONLY FOR LANSCAPE AND CIVIL ENGINEERING.
9. ALL MECHANICAL EQUIPMENT, GRILLS AND DUCTS TO BE REFERRED TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND CONSTRUCTION.
10. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT TO BE REFERRED TO ELECTRICAL DRAWINGS.
11. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE TO BE REFERRED TO STRUCTURAL DRAWINGS.
12. ALL STRUCTURAL ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION.
13. CONSTRUCTION TO COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND PENTRATIONS AND CONNECTIONS WITH STRUCTURAL.
14. ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE SHOWN IN SPACES RECORDED IN THE DRAWINGS.
15. FLOOR COVERINGS SHALL COMPLY WITH THE REQUIREMENTS AND SLACKS OF THE FOLLOWING:
16. TILES 450 X 600 DGG2
17. CARPETING AND OTHER PLANKS 1210 X 250 JAMB ON 19MM2 SIZE OF UNLESS OTHERWISE NOTED.
18. POLYURETHANE FLOORING SHALL BE 3.5 MM2 OF CLEAR OPERABLE AREA. NET WEIGHT SHALL BE 2.5 KG/M2.
19. OPERABLE WINDOW SHALL BE 20 X 1MM. BOTTOM OF OPERABLE WINDOW SHALL BE 1000 MM. HEIGHT OF 444 MM.
20. OPERABLE DOOR SHALL HAVE LARGEST INDICATING U-VALLUE AND SHIPPER PER 2.54
21. BATHROOM AND SINKER PANS AND WALLS SHALL BE LINED WITH GLASS OR CERAMIC.
22. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
23. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
24. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
25. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
26. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
27. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
28. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
29. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
30. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
31. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
32. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
33. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
34. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
35. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
36. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
37. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
38. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
39. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
40. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
41. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
42. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
43. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
44. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
45. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
46. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
47. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
48. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
49. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
50. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
51. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
52. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
53. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
54. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
55. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
56. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
57. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
58. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
59. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
60. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
61. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
62. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
63. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
64. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
65. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
66. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
67. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
68. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
69. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
70. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
71. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
72. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
73. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
74. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
75. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
76. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
77. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
78. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
79. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
80. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
81. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
82. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
83. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
84. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
85. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
86. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
87. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
88. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
89. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
90. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
91. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
92. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
93. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
94. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
95. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
96. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
97. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
98. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
99. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.
100. HEADS IN DOOR SINKER COMPARTMENTS SHALL BE 1000 X 1000 MM.

AT ROLLIN SHOWERS PROVIDE FULL EXTENT WATER PROOFING IN THE ENTIRE BATHROOM



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA

CA. 95050

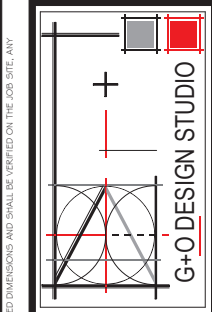
REVISION			
	DATE		DATE
△		△	
△		△	
△		△	
△		△	
△		△	

SHEET TITLE
PROPOSED FLOOR PLAN

SHEET NUMBER **A-2**

JOB NO.	53-2024
DATE	11/13/2024
SCALE	As indicated

THIS DRAWINGS & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE, ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



SEAL-SIGNATURE

CA. 95050



Area Schedule (Roof Area)						
Name	Area	Calculation Ratio	IN ² of Ventilation Required	Roof Vent	SQ. Inches Per Vent	IN ² of Ventilation Provided

WALL TAG

KEYNOTE TAG

CLOAKED ROOF VENT

ROOF PITCH SYMBOL:
DOWNPOUT POINT
DOWNSPOULE
DOWNSPOUT NUMBER IS VERTICAL
RISE
SECOND NUMBER IS HORIZONTAL RUN

LINE OF EXTERIOR FACE OF
FRAMING / STRUCTURE
BELOW

METAL FLASHING

METAL SADDLE AND CRICKET
FLASHING

TYPICAL DOWNSPOUT AND
GUTTER COORDINATE
CONNECTION TO STORM
DRAINAGE SYSTEM. REFER TO CIV. DWGS.

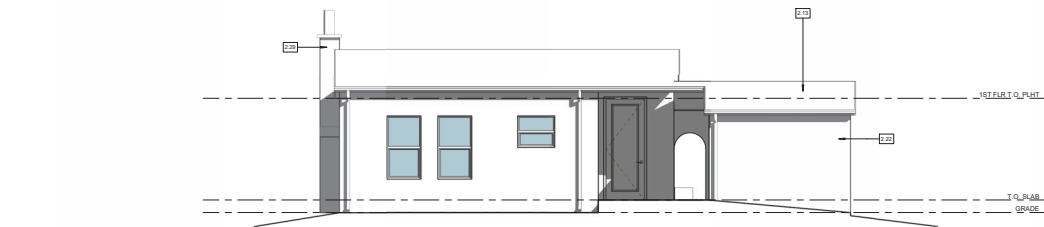
SPOT ELEVATION

2.01 PROPOSED BUILT-UP ROOF TO MATCH EXISTING
CONDITION AND SLOPE

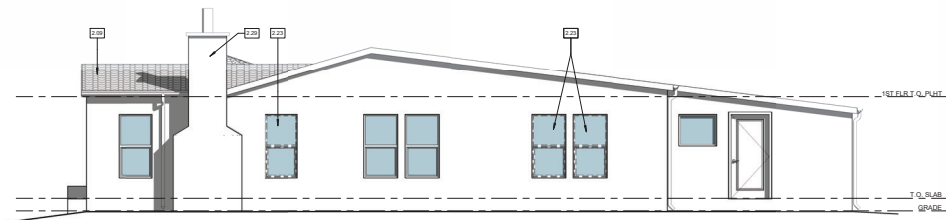
2.10 PROPOSED NEW ROOF 1687 BROWN GRAY RANGE,
GOLDEN EAGLE PROFILE, BY EAGLE ROOFING
INSTALLED PER MANUFACTURER SPECS

[illegible]

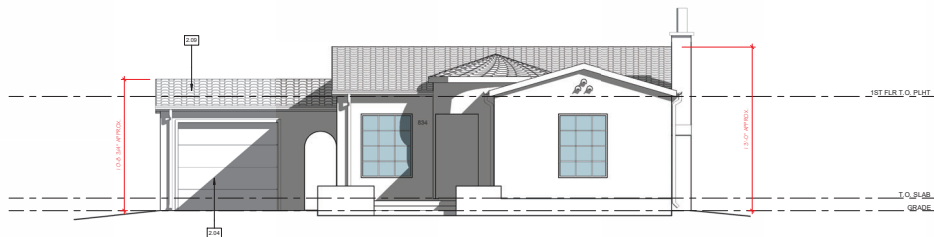
SHEET NUMBER A-3	JOB NO. 53-2024
	DATE 11/13/2024
	SCALE 1/4" = 1'-0"



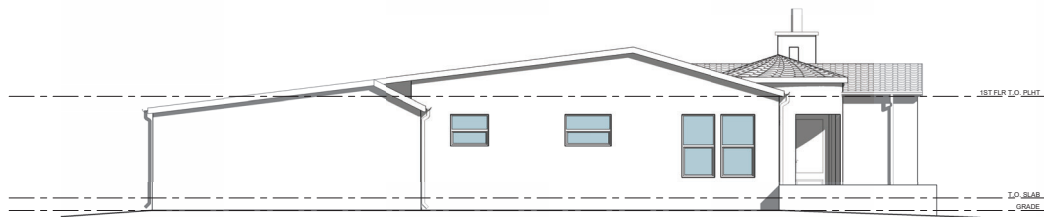
EXISTING REAR ELEVATION | 1 |
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION | 2 |
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION | 4 |
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION | 3 |
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEETING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEETING MATERIAL.
5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

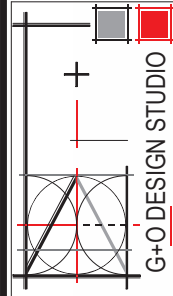
KEYNOTES

- 2.04 EXISTING GARAGE DOOR
- 2.09 EXISTING ROOF W/ CLAY TILE TO REMAIN
- 2.11 EXISTING BUILT-UP ROOF SYSTEM TO REMAIN
- 2.22 EXISTING WALL WITH STUCCO TO REMAIN
- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOUSE AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 2.29 EXISTING FIREPLACE TO REMAIN

ELEVATION LEGEND

1.01 KEYNOTE TAG

THIS DRAWING IS A SPECIFICATION AND NOT A CONTRACT. THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SARA CLARA

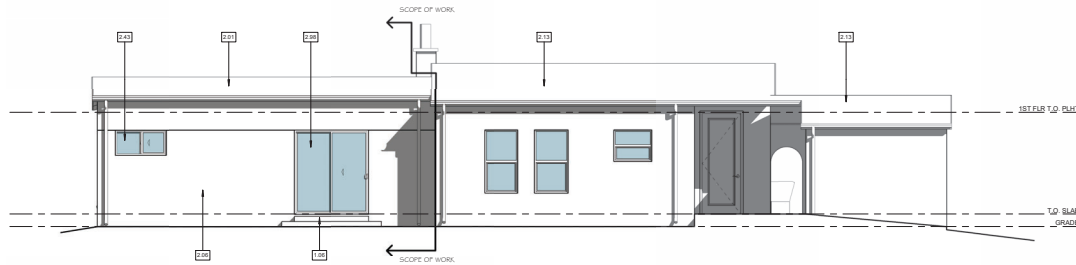
CA. 95050

REVISION	
DATE	DATE

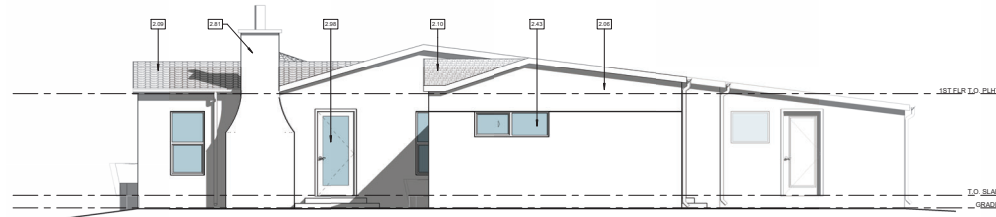
SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER
A-4

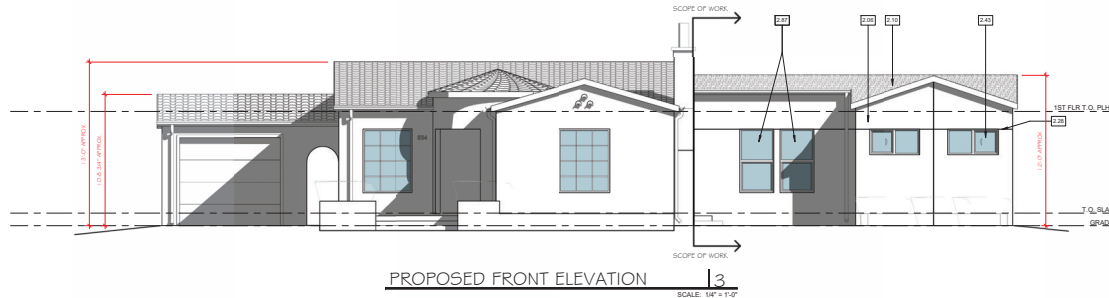
08/15/2024
JUL 15 2024
SCL
As indicated



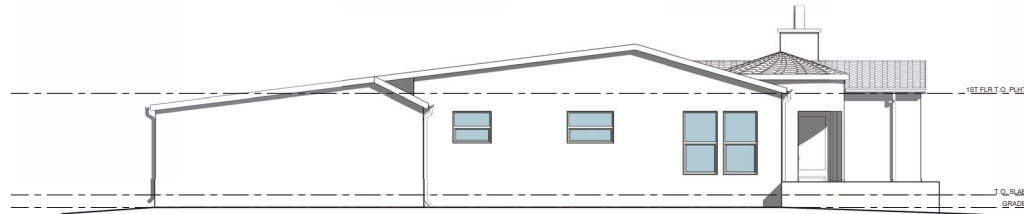
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEETING MATERIAL. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEETING MATERIAL.
4. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
5. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL ENGINEER DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
8. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

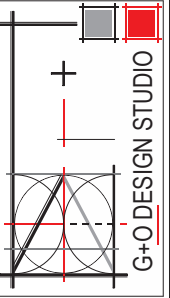
KEYNOTES

- 1.00 PROPOSED CONCRETE LANDING - SLOPE 1/4" = 1'2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE/MATERIAL BY BUILDER.
- 2.01 PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.02 PROPOSED NEW EXTERIOR WALL WILL FEATURE A STUCCO FINISH WITH A COLOR AND FINISH WASH DESIGNED TO ENHANCE VARIATION AND DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.
- 2.03 EXISTING ROOF IN CLAY TILE TO REMAIN.
- 2.10 PROPOSED NEW ROOF - G87 BROWN GRAY RANGE, GOLDEN EAGLE PROFILE, BY PAGE ROOFING INSTALLED PER MANUFACTURER SPECS.
- 2.13 EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 2.25 STUCCO CONTROL JOINT.
- 2.43 PROPOSED NEW ALUMINUM CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.81 EXISTING BRICK PREFACE TO REMAIN.
- 2.87 PROPOSED NEW WOOD HUNG WINDOWS.
- 2.96 PROPOSED NEW ALUMINUM CLAD WOOD DOOR WITH TINTED GLASS, ALUMINUM COLOR.

ELEVATION LEGEND

1.01 KEYNOTE TAG

THIS DRAWING IS THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE LOANED OR ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SARA CLARA

CA. 95050

REVISION	
DATE	DATE

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER
A-5

08/15/2024
11/15/2024
SAC
As indicated



Agenda Report

25-938

Agenda Date: 9/4/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Report on Completion of the 2024-2025 Mills Act Audit

BACKGROUND

The Mills Act is an economic incentive program for the restoration and preservation of qualified historic buildings by private property owners. Enacted in 1972, the Mills Act legislation grants participating local governments (cities and counties) authority to enter into contracts with owners of qualified historic properties who actively participate in the restoration and maintenance of their historic properties while receiving property tax relief.

The Planning Division of the Community Development Department administers the Mills Act program for the City. As part of this program, the City conducts an audit of properties with a Mills Act contract every five years. The last Mills Act audit was conducted in 2017. However, due to the COVID pandemic, the planned 2022 audit was postponed to 2024. The purpose of the audit is to ensure that property owners are following their ten-year restoration plan. Property owners are asked to provide proof of investment into the property in accordance with the ten-year restoration plan, such as receipts, invoices, and photo evidence.

Staff has completed the audit and will present a summary of the findings to the Historical and Landmarks Commission (HLC).

DISCUSSION

There are currently 132 properties in the City of Santa Clara with a Mills Act Contract. All property owners were initially contacted by mail and/or email and asked to submit self-reported documentation for the audit, such as invoices, photographs, and written descriptions. Letters were sent to both the property address and the owner's mailing address, as verified through Santa Clara County records when different. Each letter also offered property owners the option to schedule an on-site inspection with staff in lieu of submitting self-reported documentation.

A total of 128 property owners completed the Mills Act Audit. Of the 128 properties, **127** were found in compliance with their Mills Act Contract, while **one** was determined to be out of compliance. Staff is working with this property owner who completed the audit but was found out of compliance to either bring them into compliance or remove them from the program. A total of four property owners, out of 132 properties, did not complete the Mills Act Audit.

A total of 96 properties were identified with expired 10-year plans. Separate from the audit process, staff will work with these property owners to prepare updated plans, which will be agendized in batches to the HLC.

Property owners who did not respond to the initial requests sent via email and mail were subsequently contacted by telephone, certified mail, and attempted hand-delivered notices from Code Enforcement staff. Despite these efforts, four properties failed to provide the required documentation or to respond at all. One of these properties was also non-responsive during the 2017 audit.

Accordingly, staff will proceed with nonrenewal or contract termination of the following properties from the program in coordination with the City Attorney's Office:

- 1711 Main Street
- 1895 Catherine Street (also non-responsive during the 2017 audit)
- 906 Monroe / 1341 Homestead Road (currently bank-owned)
- 1077 Harrison Street

For both nonrenewal and contract termination, City Council will set a hearing date. Once scheduled, notices will be mailed to the property owners and published in the Santa Clara Weekly.

The City will conduct the next audit of properties with a Mills Act contract in 2030/2031.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" within the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378(b)(5) in that it is a governmental organizational or administrative activity that will not result in direct or indirect changes in the environment.

PUBLIC CONTACT

Public contact was made by posting the Historical and Landmarks Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

RECOMMENDATION

There is no staff recommendation.

Prepared by: Rebecca Bustos, Principal Planner and Meha Patel, Associate Planner

Approved by: Lesley Xavier, Planning Manager



Agenda Report

25-945

Agenda Date: 9/4/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Election of Historical and Landmarks Commission Chair and Vice Chair (Continued from the August 7, 2025 HLC Meeting)

BACKGROUND

City commissions rotate the position of Chair and Vice Chair each year during the beginning of the new Fiscal Year which commences on July 1. The roles of the Chair and Vice Chair are defined in the Procedures section of the City's Board, Commissions, and Committee Handbook. The Historical and Landmarks Commission Chair is responsible for the following duties:

- Preside at all official meetings of the City commission
- Consult with the staff liaison on the meeting agenda
- Attend City Council meetings as needed to represent the City commission
- Sign correspondence on behalf of the City commission

Responsibility of the Vice Chair:

- Substitute for the Chair as needed.

DISCUSSION

Patricia Leung serves as the current Historical and Landmarks Commission Chair, and Ana Vargas-Smith serves as the current Vice Chair. The Historical and Landmarks Commission may vote to elect a new Chair and Vice Chair to serve a one-year term ending on June 30, 2026. After nominations, voting and election of each officer, the new officers will assume their positions at the September 4, 2025 meeting.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" within the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378(a) as it has no potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.

RECOMMENDATION

There is no staff recommendation.

Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department

Approved by: Lesley Xavier, Planning Manager, Community Development Department