

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER(S)

230-46-069 & -070

EXISTING BUILDING ADDRESSES

1205 Coleman Ave

328 Brokaw Road
340 Brokaw Road
400 Brokaw Road

PLANNING/ZONING

EXISTING ZONING:
Light Industrial

EXISTING GENERAL PLAN DESIGNATION:
Station Area Plan

PROPOSED ZONING DESIGNATION:
Very High Density Residential

PROPOSED GENERAL PLAN DESIGNATION:
Community Commercial / Very High Density Residential

BUILDING HEIGHT

The maximum building height 85 feet and subject to the Federal Aviation Administration (FAA) regulation Part 77 height restrictions

SETBACK

Minimum building setback from Coleman Avenue is 25 feet.
Minimum building setback from Brokaw Street is 25 feet.
Minimum building setback from Champion Pkwy is 25 feet.

PROJECT DIRECTORY

OWNER

TOD Brokaw, LLC
10121 Miller Ave, Suite 200
Cupertino, CA 95014

ARCHITECT

MVE + Partners, Inc.
1900 Main Street, 8th Floor
Irvine, CA 92614

CIVIL ENGINEER

Kier + Wright
3350 Scott Blvd, Building 22
Santa Clara, CA 95054

LANDSCAPE ARCHITECT

The Guzzardo Partnership Inc.
181 Greenwich Street
San Francisco, CA 94111

VICINITY MAP



SHEET INDEX

GENERAL

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HUNTER STORM
 GATEWAY CROSSINGS
1900 Main Street, Suite 800
Irvine, California 92614
Tel: 859-3388
www.mve-arch.com

DATE: 05-29-2010
PROJECT #:
SCALE:

SHEET TITLE
PROJECT
INFORMATION,
DIRECTORY
AND INDEX

SHEET NUMBER
GEN.1

MVE
+ PARTNERS
1900 Main Street, Suite 800
Irvine, California 92614
Tel: 859-3388
www.mve-arch.com

PROJECT DATA	
PROJECTED USE:	MULTI-FAMILY RESIDENTIAL (R-2)
NUMBER OF TOTAL UNITS:	1600 UNITS
TOTAL EXISTING GROSS AREA	23.84 ACRES
TOTAL EXISTING NET AREA:	21.40 ACRES
TOTAL PROPOSED NET AREA:	21.37 ACRES
PROPOSED RESIDENTIAL AREA:	44.72 ACRES
PROPOSED COMMERCIAL AREA:	4.28 ACRES
PROPOSED RESIDENTIAL DENSITY:	74.80 DU/AC

PROJECT PROGRAM	
COMMERCIAL/ RETAIL AREA INFORMATION	
HOTEL	162,000 +/- S.F.
RETAIL	25,000 +/- S.F.
TOTAL COMMERCIAL/RETAIL AREA	187,000 +/- S.F.

*GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/RETAIL AREA CALCULATIONS.
 GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.
 ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

RESIDENTIAL BUILDING AREA INFORMATION				
	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
TYPE IA CONSTRUCTION	281,148 +/- S.F.	327,151 +/- S.F.	458,627 +/- S.F.	579,257 +/- S.F.
WOOD TYPE IIIA CONSTRUCTION	344,521 +/- S.F.	439,448 +/- S.F.	204,795 +/- S.F.	329,711 +/- S.F.
TOTAL BUILDING AREA	625,669 +/- S.F.	766,599 +/- S.F.	663,422 +/- S.F.	908,968 +/- S.F.

RESIDENTIAL UNIT DATA	
UNIT COUNT	
BUILDING 1	317 DU
BUILDING 2	399 DU
BUILDING 3	366 DU
BUILDING 4	518 DU
TOTAL	1600 DU

UNIT MIX		
UNIT TYPE	UNIT COUNT	PERCENTAGE
STUDIO	198 DU	12%
1-BEDROOM	673 DU	42%
1BD + DEN	42 DU	4%
2-BEDROOM	612 DU	38%
2BD + DEN	58 DU	4%
TOTAL	1600 DU	100%

*ALL DENIS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

BICYCLE PARKING				
CLASS I BICYCLE PARKING		CLASS II BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO	LOCATION	BICYCLE SPACES
BUILDING 1	160 SPACES	1 space / 2 DU	RESIDENTIAL	107 SPACES
BUILDING 2	200 SPACES	1 space / 2 DU	RETAIL	5 SPACES
BUILDING 3	187 SPACES	1 space / 2 DU	PARK	4 SPACES
BUILDING 4	260 SPACES	1 space / 2 DU		
HOTEL	8 SPACES	1 space /30 rooms		
RETAIL	1 SPACES	1 space /30 employees		
TOTAL	816 SPACES			

NOTE: CLASS I BICYCLE PARKING PROVIDED IN SECURED ROOM OF EACH BUILDING

HOTEL DATA			
ROOM COUNT	HOTEL ROOMS	AMENITY & SUPPORT <small>(spa, fitness, hotel bar, circulation and etc.)</small>	CONFERENCE
225	112,400 +/- SF	41,600 +/- SF	8,000 +/- SF

*VALUES SHOWN IN THIS CHART IS NOT IN ADDITION TO THE TOTAL VALUE SHOWN IN THE COMMERCIAL AREA INFORMATION.

DATE: 05-29-2019
 PROJECT #:
 SCALE:

VEHICLE PARKING												
HOTEL VEHICLE PARKING			BUILDING 1 VEHICLE PARKING					BUILDING 2 VEHICLE PARKING				
ADA	UNIVERSAL		VISITOR		RESIDENTIAL (1.28 SPACE/DU)			VISITOR		RESIDENTIAL (1.18 SPACE/DU)		
12	187		ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	ADA	UNIVERSAL	ADA	EV STATION
			5	93	10	32	357	7	10	150	10	36
		199					406					470
								8				10
* 79 PARKING SPACES PROVIDED FOR GUESTS IN HOTEL BUILDING AND 101 PARKING SPACES PROVIDED IN BUILDING 2. (0.8 KEY) SURPLUS 19 PARKING SPACES IN BUILDING 2 PROVIDED FOR MEETING ROOM AND EMPLOYEES.			* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)					* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL PARKING 0.8 KEY, RESIDENTIAL GUEST PARKING 0.1/DU)				
PARKING STALL SIZE: UNIVERSAL 8'-6" X 18'-0" ADA 9'-0" X 18'-0" COMPACT 8'-0" X 16'-0" MOTORCYCLE 3'-0" X 6'-0" DRIVE AISLE WIDTH :25'			BUILDING 3 VEHICLE PARKING					BUILDING 4 VEHICLE PARKING				
			VISITOR		RESIDENTIAL (1.22 SPACE/DU)			VISITOR		RESIDENTIAL (1.18 SPACE/DU)		
			ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	ADA	UNIVERSAL	ADA	EV STATION
			3	48	10	27	409	0	6	112	12	40
								10				
ADDITIONAL 24 PARALLEL PARKING STALLS PROVIDED FOR RETAIL AND PARK USE AT INTERNAL STREET.			* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)					* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)				

DATE: 05-29-2019
 PROJECT #:
 SCALE:

SHEET TITLE
PROJECT DATA

SHEET NUMBER
GEN.3

MVE
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 Irvine, California 92614
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HUNTER STORM

GATEWAY CROSSINGS

DATE: 3/29/2019
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE
CONTEXT PLAN

SHEET NUMBER
C1.0

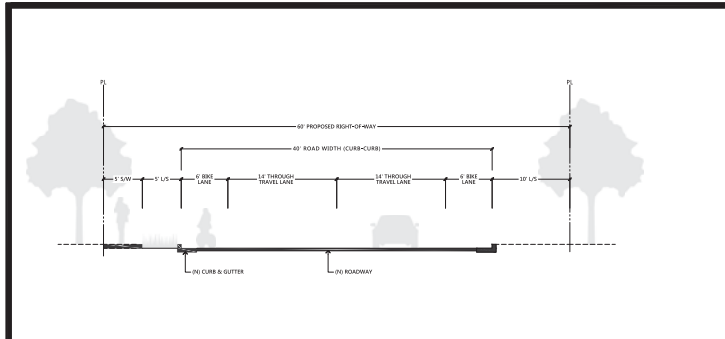
Building Number



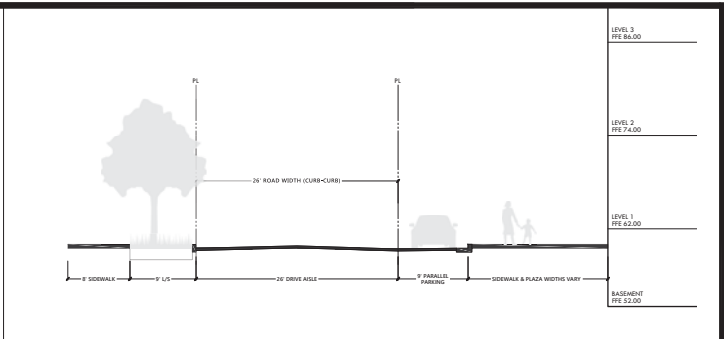
KIER & WEICHT
 CONSTRUCTION & SERVICES, INC.



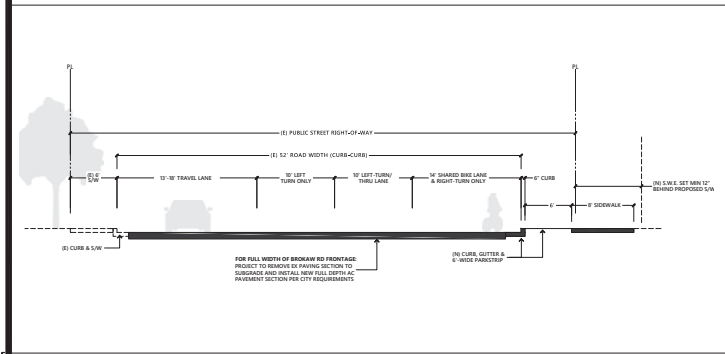
ISSUE



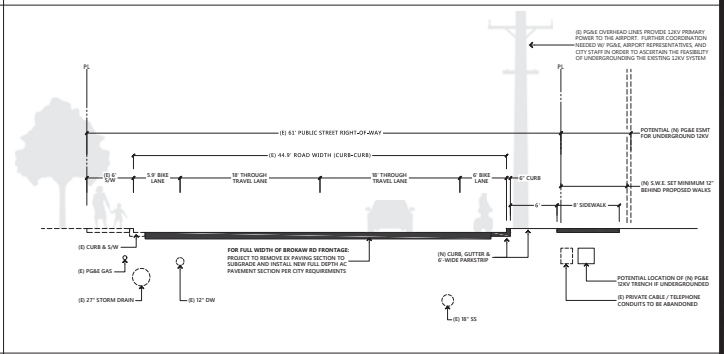
SECTION A-A: CHAMPIONS WAY (FUTURE STREET)



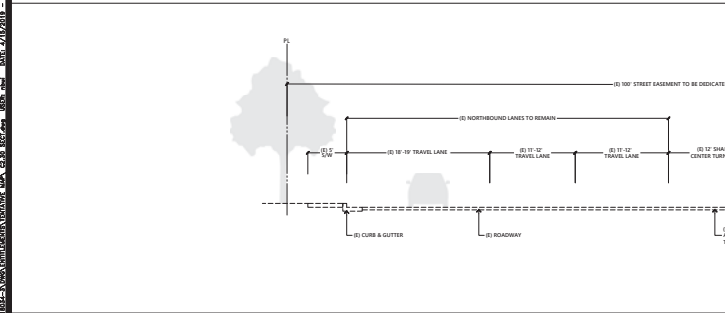
SECTION B-B: TYPICAL PRIVATE STREET ON-SITE



SECTION C-C: BROKAW ROAD SECTION AT COLEMAN INTERSECTION



SECTION D-D: BROKAW ROAD TYPICAL SECTION



SECTION E-E: COLEMAN AVENUE TYPICAL SECTION

HUNTER STORM

GATEWAY CROSSINGS

100% TYPICAL AND SECTION DRAWINGS
DATE: 08/14/2018
PROJECT: HUNTER STORM

DATE: 3/29/2019
PROJECT #: A18034-3
SCALE: AS SHOWN

SHEET TITLE

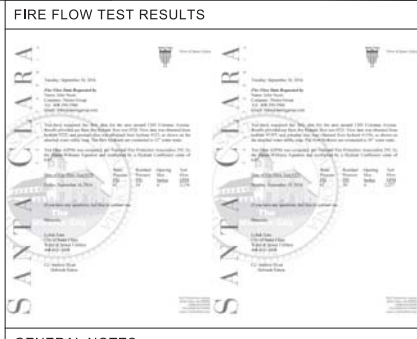
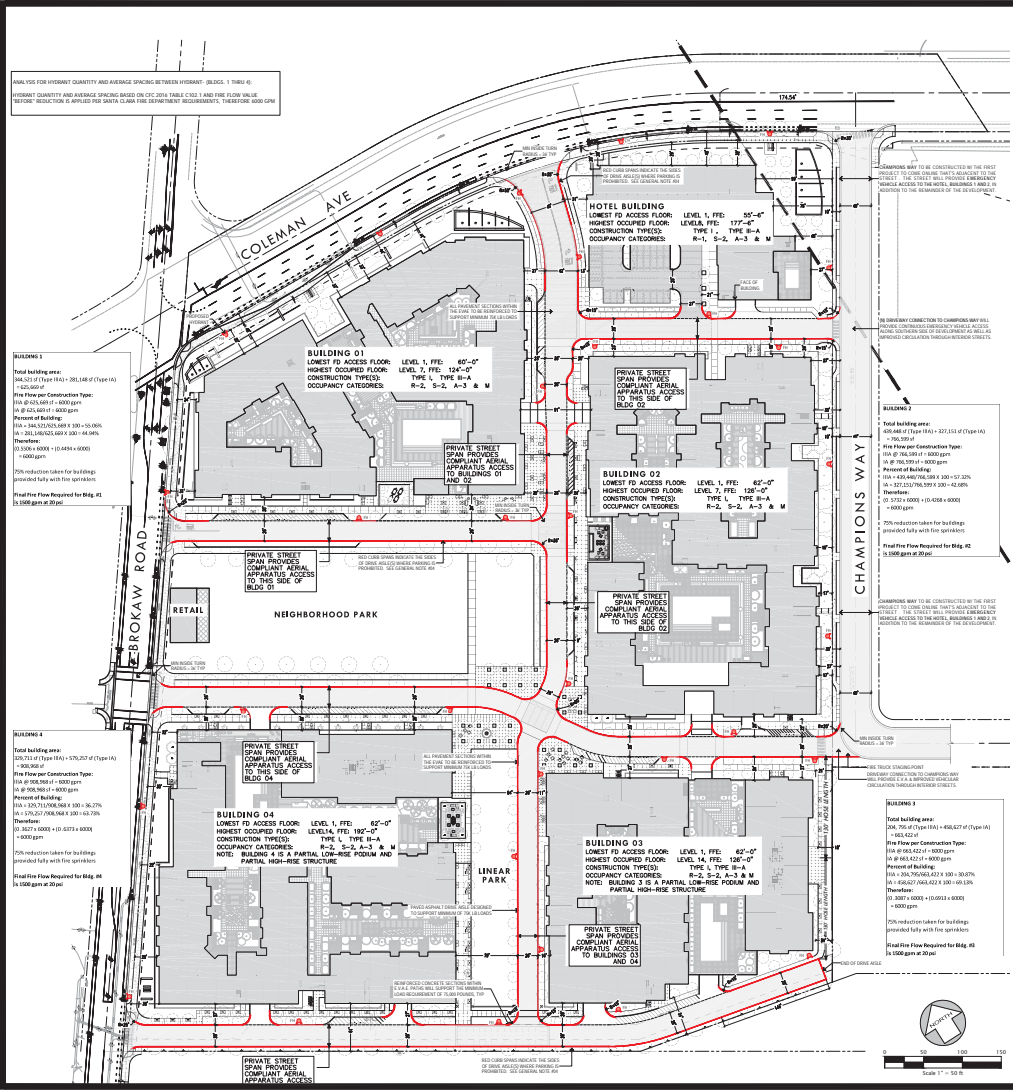
TYPICAL STREET SECTIONS

SHEET NUMBER
C2.30

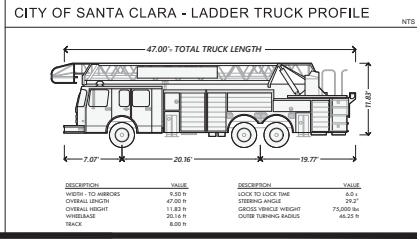
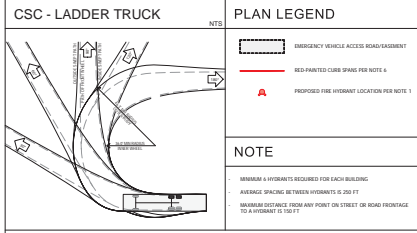
Building Number

KIER & WRIGHT
CIVIL ENGINEERS & ARCHITECTS, INC.
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1100
WWW.KIERANDWRIGHT.COM

ISSUE



- ### GENERAL NOTES
- FIRE HYDRANT LOCATIONS SHOWN ARE SCHEMATIC ONLY AND WILL BE FINALIZED AT A LATER STAGE.
 - EMERGENCY VEHICLE ACCESS ROADS ARE PROVIDED WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS. APPROVED FIRE DEPARTMENT TURNAROUNDS HAVE BEEN PROVIDED WHENEVER DEAD-END ACCESS ROADS ARE IN EXCESS OF 150 FEET.
 - ALL SHADED ROADWAYS INDICATED AS EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS. (V.A.E.) PAVING SHOWN WITH PAVES WILL BE REINFORCED TUB-BLOCK TO BE FIRE-APPROVED BY THE FIRE DEPARTMENT AT THE PERMIT STAGE.
 - ALL ON-SITE ROADWAYS AND FIRE APPARATUS ACCESS ROADS (V.A.E.) PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 20' AND MINIMUM VERTICAL CLEARANCE OF 17'-6", IN ACCORDANCE WITH THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
 - ALL PAVING MATERIALS WITHIN THE SHADED REGIONS SHOWN SHALL BE DESIGNED TO SUPPORT A MINIMUM GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
 - CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING TWO PARKING - FIRE LANE IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
 - NOTE THAT ALL INTERIOR FLOOR COURTYARDS SHOWN ARE SITUATED ABOVE THE GROUND ELEVATIONS OF EMERGENCY VEHICLE ACCESS THE V.A.E. GRADES. REFER TO ARCHITECTURAL ELEVATIONS AND SECTIONS FOR SPECIFIC DETAILS ON COURTYARD ELEVATIONS AND FLOORS.



HUNTER STORM

1001 TAMARAC AVENUE, SUITE 200, CANTON, CA 94504
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GATEWAY CROSSINGS

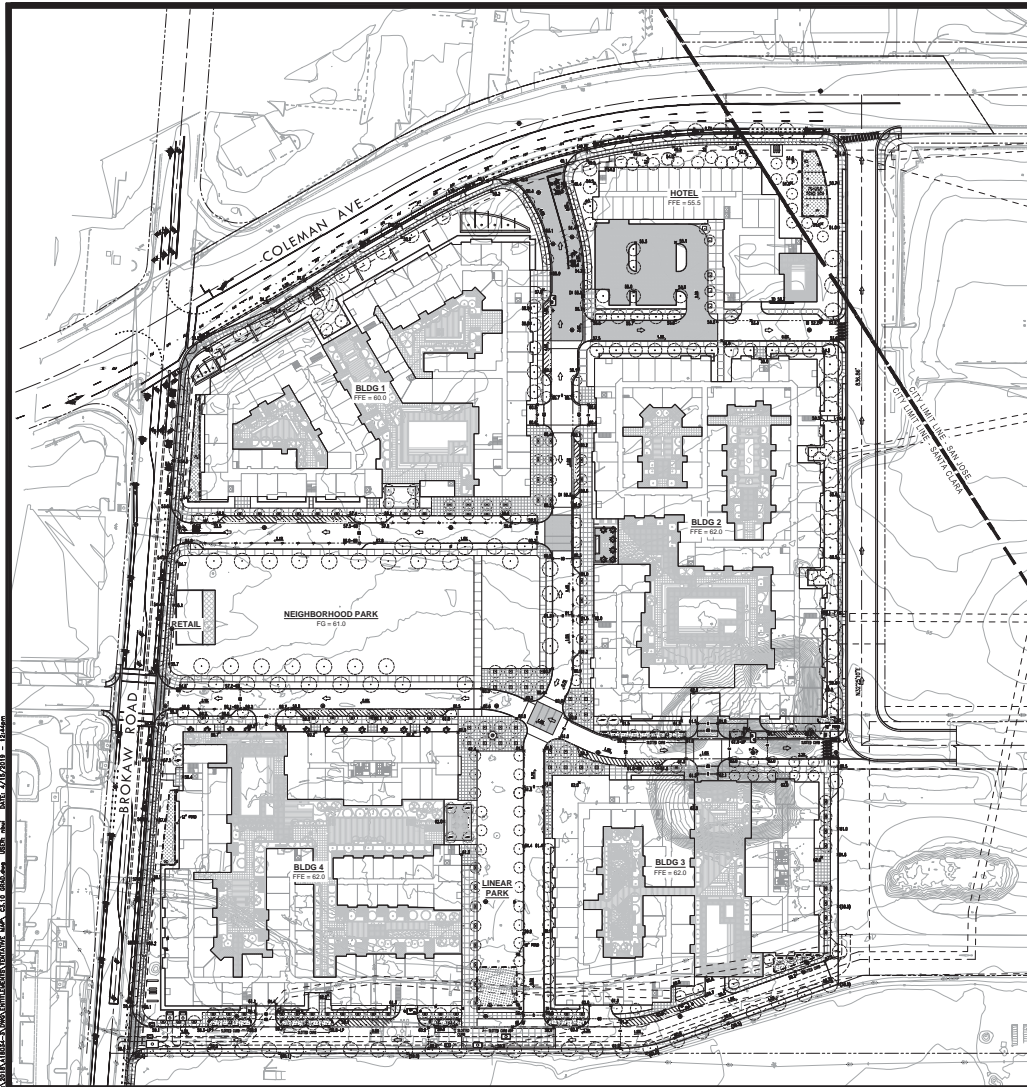
DATE: 3/29/2019
PROJECT #: A1804-3
SCALE: AS SHOWN

SHEET TITLE

FIRE ACCESS & APPARATUS

SHEET NUMBER
C2.40
Building Number

ISSUE



PLAN LEGEND

LINE/TYPE / SYMBOL	DESCRIPTION
—	EXISTING PROPERTY LINE
- - -	EXISTING ADJACENT PROPERTY LINE
—	BUILDING WALL / EDGE
—	NEW 4" CONCRETE VERTICAL CURB
—	NEW CONCRETE CURB AND GUTTER
- - -	NEW CONCRETE VALLEY GUTTER
—	NEW CONCRETE SIDEWALK
+100.0	FINISH GRADE ELEVATION
J.M.	PROPOSED GROUND SLOPE
⊙	PROPOSED STORM DRAIN MANHOLE
⊙	PROPOSED DROP INLET/CATCH BASIN
—	PROPOSED GARAGE TRENCH DRAIN
→	FLOW DIRECTION OF OVERLAND RECLAIM
⊕	PROPOSED BIOTREATMENT POND

HUNTER STORM
GATEWAY CROSSINGS

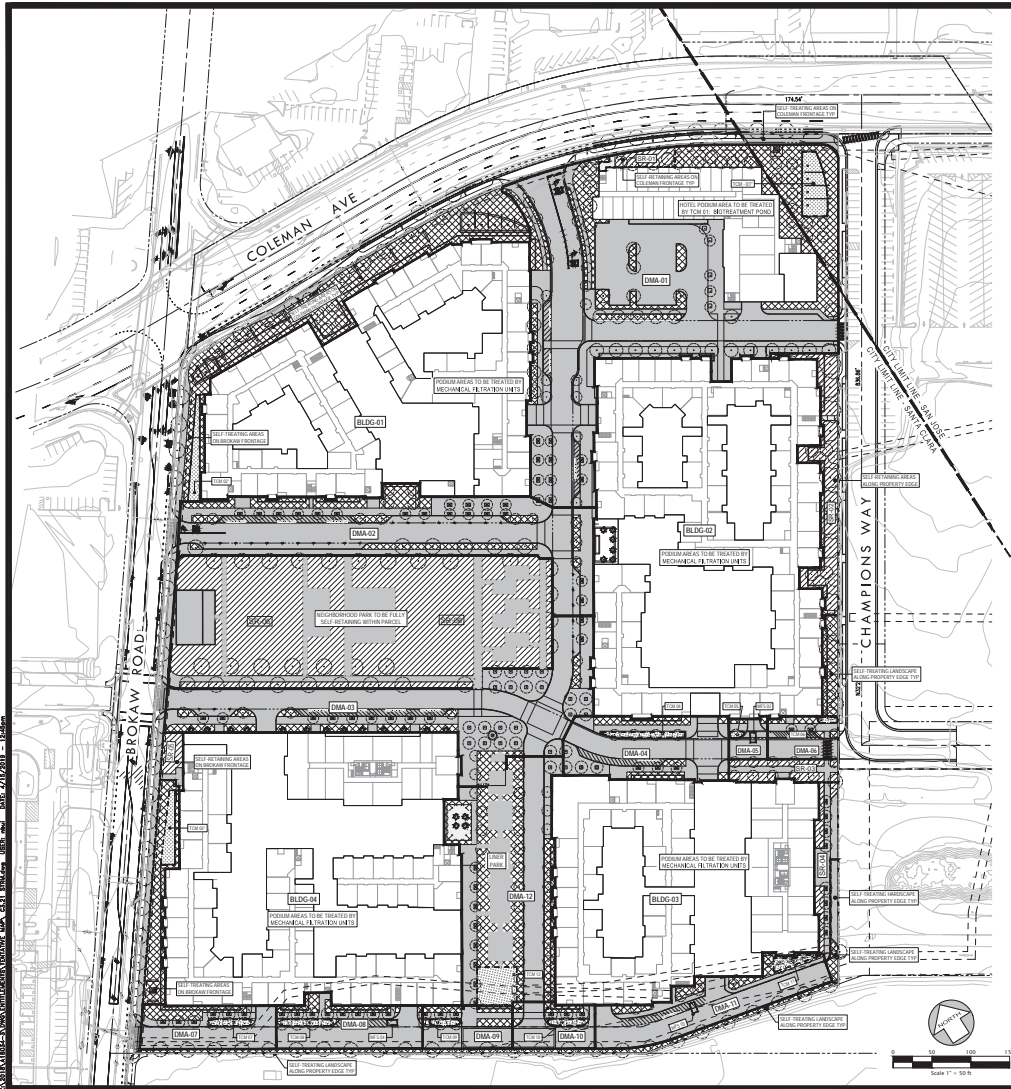
DATE: 3/29/2019
 PROJECT #: A1803-3
 SCALE: AS SHOWN

SHEET TITLE
 PRELIMINARY
 GRADING PLAN

SHEET NUMBER
C3.10
 Building Number



ISSUE



PLAN LEGEND

- DRAINAGE MANAGEMENT AREA LIMITS**
- AT-GRADE SURFACE AREAS:**
TREATMENT IN 100% L.I.D. MEASURES (FLOW-THRU PLANTERS & BIOTREATMENT)
- SELF-TREATING AREAS:**
100% PERVIOUS AREAS WITH NO IMPERVIOUS SURFACE AREA RUN-ON
- SELF-RETAINING AREAS:**
100% PERVIOUS AREAS WITH 2:1 MAX RATIO OF IMPERVIOUS SURFACE AREA RUN-ON
- STRUCTURED PODIUM FOOTPRINTS (RESIDENTIAL LOTS):**
TREATMENT FOR PODIUM DECKS, FLATWORK & ROOF AREAS VIA MECHANICAL FILTRATION SYSTEMS IN ACCORDANCE WITH THE PROVISIONS FOR SPECIAL PROJECT QUALIFICATION.
- STRUCTURED PODIUM FOOTPRINTS (HOTEL LOT):**
TREATMENT FOR PODIUM DECK, FLATWORK & ROOF AREAS USING 100% L.I.D. MEASURES (BIOTREATMENT)
- TREATMENT CONTROL MEASURES:**
FLOW-THRU PLANTERS AND BIOTREATMENT PONDS

TREATMENT NOTES

1. DUE TO THE AVAILABILITY OF RECLAIMED WATER TO THE SITE, RAINWATER HARVESTING IS INFRASTRUCTURE. STREET & SIDEWALK AREAS WILL BE TREATED VIA LANDSCAPE-BASED TREATMENT MEASURES (BIOTREATMENT POND). SPECIAL PROJECT CREDITS UP TO 70% OF TOTAL SITE MAXIMUM WILL BE UTILIZED FOR MECHANICAL TREATMENT OF THE PODIUM STRUCTURES IN ACCORDANCE WITH SUDS/PPP GUIDELINES. REMAINING LANDSCAPE AREAS WILL BE SELF-TREATING OR SELF-RETAINING.
2. ALL BIOTREATMENT AREAS OTHER THAN THE EXCEPTION OF DMA-01 AND-02 HAVE BEEN PRELIMINARY SIZES USING THE GUIDELINES IN THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM DESIGN MANUAL, PER THE 4L SIZING CRITERIA AS A CONSERVATIVE MEASURE.
3. POND AREAS MAY BE REVISED AT FURTHER DESIGN STAGES TO UTILIZE COMBINATION FLOW AND VOLUME BASED CALCULATION METHODS THAT ALLOW FOR ROOF-DECK PONDING DEPTHS AND REDUCED SURFACE FOOTPRINTS, PER SUDS/PPP GUIDELINES.
4. REFER TO THE COMPLETE STORMWATER APPLICATION PACKET FOR SIZING DETAILS INCLUDING ALL FEASIBILITY WORKSHEETS, IMPERVIOUS SURFACE FORMS AND SIZING CALCULATIONS, TO BE SUBMITTED UNDER SEPARATE COVER.

L.I.D. ACRONYMS

DM-01	DRAINAGE MANAGEMENT AREAS	TCM-01	TREATMENT CONTROL MEASURES
ST-01	SELF-TREATING AREAS	MFS-01	MEDIA FILTRATION SYSTEMS
SR-01	SELF-RETAINING AREAS		

ON-SITE TCM SUMMARY TABLE

AREAS	TREATMENT METHOD	PERVIOUS	PERVIOUS
DMA NUMBER	TREATMENT METHOD	AREA (SQ. FT.)	AREA (SQ. FT.)
DMA-01	SELF-TREATING	10,000	10,000
DMA-02	SELF-TREATING	15,000	15,000
DMA-03	SELF-TREATING	20,000	20,000
DMA-04	SELF-TREATING	25,000	25,000
DMA-05	SELF-TREATING	30,000	30,000
DMA-06	SELF-TREATING	35,000	35,000
DMA-07	SELF-TREATING	40,000	40,000
DMA-08	SELF-TREATING	45,000	45,000
DMA-09	SELF-TREATING	50,000	50,000
DMA-10	SELF-TREATING	55,000	55,000
DMA-11	SELF-TREATING	60,000	60,000
DMA-12	SELF-TREATING	65,000	65,000
SELF-RETAINING AREAS		PERVIOUS	PERVIOUS
SR-01	SELF-RETAINING	10,000	10,000
SR-02	SELF-RETAINING	15,000	15,000
SR-03	SELF-RETAINING	20,000	20,000
SR-04	SELF-RETAINING	25,000	25,000
SR-05	SELF-RETAINING	30,000	30,000
SR-06	SELF-RETAINING	35,000	35,000
MECHANICAL TREATMENT (SEE SHEET C3.1 FOR DETAILS)		PERVIOUS	PERVIOUS
BLDG-01	MECHANICAL	10,000	10,000
BLDG-02	MECHANICAL	15,000	15,000
BLDG-03	MECHANICAL	20,000	20,000
BLDG-04	MECHANICAL	25,000	25,000
GRAND TOTAL IMPERVIOUS AREA TREATED		649,908 sf	
SELF-TREATING AREAS		PERVIOUS	PERVIOUS
SELF-TREATING AREAS ON COLEMAN FRONTAGE	1,811 sf	18,212 sf	22,023 sf
SELF-TREATING AREAS ON BROKAW FRONTAGE	4,145 sf	8,469 sf	10,614 sf
SELF-TREATING AREAS ALONG SOUTH PROPERTY EDGE	6 sf	5,161 sf	7,267 sf
SELF-TREATING AREAS ALONG WEST PROPERTY EDGE	1,641 sf	3,313 sf	4,954 sf
GRAND TOTAL SELF-TREATING IMPERVIOUS		11,603 sf	
OVERALL TOTAL PERVIOUS		660,923 sf	
OVERALL TOTAL PERVIOUS			271,256 sf

HUNTER STORM
 1001 TAMPA AVENUE, SUITE 200, CORPUS CHRISTI, TEXAS 78401
 TEL: 361.655.1111 FAX: 361.655.1112
GATEWAY CROSSINGS

DATE: 3/29/2019
 PROJECT #: ASB03-3
 SCALE: AS SHOWN

SHEET TITLE
 PRELIMINARY
 STORMWATER
 CONTROL PLAN

SHEET NUMBER
 C3.20
 Building Number

KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1001 TAMPA AVENUE, SUITE 200, CORPUS CHRISTI, TEXAS 78401
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MEDIA FILTRATION SYSTEM DETAILS & TABLE

PLAN VIEW

SECTION A-A

STORMWATER DESIGN NOTES

FRAME AND COVER

1. MEDIA FILTRATION SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS AND DETAILS SHOWN ON THESE DRAWINGS. THE SYSTEM SHALL BE MAINTAINED AND OPERATED AS SHOWN ON THESE DRAWINGS. THE SYSTEM SHALL BE MAINTAINED AND OPERATED AS SHOWN ON THESE DRAWINGS.

2. THE MEDIA FILTRATION SYSTEM SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/4" SAND AND A MAXIMUM OF 10" OF 1/8" SAND PER HOUR.

3. THE MEDIA FILTRATION SYSTEM SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/4" SAND AND A MAXIMUM OF 10" OF 1/8" SAND PER HOUR.

4. THE MEDIA FILTRATION SYSTEM SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/4" SAND AND A MAXIMUM OF 10" OF 1/8" SAND PER HOUR.

5. THE MEDIA FILTRATION SYSTEM SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/4" SAND AND A MAXIMUM OF 10" OF 1/8" SAND PER HOUR.

SOURCE CONTROL MEASURES IMPLEMENTED

- SD-10: SITE DESIGN & LANDSCAPE PLANNING**
- MAXIMIZED TREES AND PLANTING WITHIN NEW HARDSCAPE AREAS AND LANDSCAPED AREAS.
 - VEGETATION/PLANTING FOR ALL LANDSCAPE AREAS WHICH SLOPE DOWN AT A RATIO OF LESS THAN 3:1.
- SD-11: EFFICIENT IRRIGATION**
- RAIN-TRIGGERED SHUTOFF DEVICES FOR IRRIGATION SYSTEMS TO PREVENT OPERATION AFTER RAINFALL.
 - IRRIGATION SYSTEMS DESIGNED SPECIFICALLY TO ACCOMMODATE THE PROJECT'S IRRIGATION WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE**
- ALL CATCH BASINS AND INLETS TO BE STENCILED W/ PROHIBITIVE LANGUAGE REGARDING DUMPING, IN ACCORDANCE WITH CITY & SCURPPPP STANDARDS.

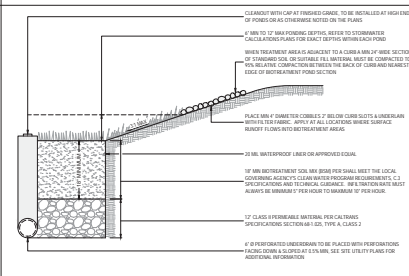
OVERALL SITE PERMEABILITY TABLE

A. TOTAL SITE AREA		B. TOTAL SITE AREA DISTURBED		C. TOTAL PERVIOUS AREA	
GATEWAY CROSSINGS	EXISTING AREA	PROPOSED AREA	REPLACED	NEW	TOTAL POST-PROJECT AREA
PERVIOUS AREA					
ROOF	20,580 sq ft	20,580 sq ft	170,446 sq ft	417,333 sq ft	
PARKING	40,363 sq ft	25,588 sq ft	0 sq ft	0 sq ft	
SEWERAGE & STREETS & HARDSCAPE	74,538 sq ft	24,458 sq ft	18,833 sq ft	18,833 sq ft	
C. TOTAL IMPERVIOUS AREA	135,481 sq ft	70,626 sq ft	189,279 sq ft	606,963 sq ft	
D. TOTAL NEW & REPLACED IMPERVIOUS AREA			189,279 sq ft		
PERVIOUS AREA					
PERVIOUS PAVING	145,749 sq ft	145,749 sq ft	34,711 sq ft	236,466 sq ft	
PERVIOUS PAVING ETC	0 sq ft	0 sq ft	42,476 sq ft	42,476 sq ft	
E. TOTAL PERVIOUS AREA	145,749 sq ft	145,749 sq ft	77,187 sq ft	278,942 sq ft	
F. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS					
REPLACED TOTAL IMPERVIOUS AREA / EXISTING TOTAL IMPERVIOUS AREA x 100% =					48.36 %

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM)** SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "L" OF THE MUNICIPAL REGIONAL PERMIT (MRP), ADOPTED BY THE REGIONAL WATER BOARD ON NOVEMBER 28TH, 2011. THE BSM SHALL ACHIEVE AN INFILTRATION RATE BETWEEN A MINIMUM OF 1/4-INCHES AND MAXIMUM OF 10-INCHES PER HOUR.
- SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCURPPPP), DATED APRIL 8TH, 2014, AVAILABLE AT: www.scurpppp.com/inf_wg_0814
- BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER. PERCOLATION TESTS SHALL BE PERFORMED BY THE SOILS ENGINEER ON-SITE BEFORE AND AFTER INSTALLATION.
- PERMEABLE MATERIAL SHALL COMPLY WITH CALTRANS STANDARD SPECIFICATIONS SECTION 66-1.025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
- SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "D" OF THE C.S. STORMWATER HANDBOOK, DATED APRIL, 2012. INSTALL AND MAINTAIN A 3-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

TYPICAL BIOTRETENTION AREA HALF-SECTION



COMBINATION VOLUME & FLOW SIZING CALCULATIONS FOR TREATMENT CONTROL MEASURES: TCM-01, TCM-02, and TCM-03

Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

1.1 Project Name: **XXXXXXXXXX**

1.2 Project Location: **XXXXXXXXXX**

1.3 Project Date: **XXXX/XX/XX**

1.4 Project Engineer: **XXXXXXXXXX**

1.5 Project Designer: **XXXXXXXXXX**

1.6 Project Checker: **XXXXXXXXXX**

1.7 Project Approver: **XXXXXXXXXX**

1.8 Project Status: **XXXXXXXXXX**

1.9 Project Notes: **XXXXXXXXXX**

1.10 Project Comments: **XXXXXXXXXX**

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2.1 Name of DMA: **XXXXXXXXXX**

2.2 Area of DMA: **XXXXXXXXXX**

2.3 Area of Impervious Surface: **XXXXXXXXXX**

2.4 Percentage of Impervious Surface: **XXXXXXXXXX**

3.0 Calculate Unit Area Storage Volume in Inches

3.1 Name of Storage: **XXXXXXXXXX**

3.2 Area of Storage: **XXXXXXXXXX**

3.3 Unit Area Storage Volume: **XXXXXXXXXX**

4.0 Calculate the Duration of the Rain Event

4.1 Name of Storage: **XXXXXXXXXX**

4.2 Duration of Rain Event: **XXXXXXXXXX**

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 Name of Storage: **XXXXXXXXXX**

5.2 Surface Area of Treatment Measure: **XXXXXXXXXX**

6.0 Final Adjustment of Depth of Surface Storing Area

6.1 Name of Storage: **XXXXXXXXXX**

6.2 Depth of Surface Storing Area: **XXXXXXXXXX**

7.0 Estimate Size of Treatment Measure

7.1 Name of Storage: **XXXXXXXXXX**

7.2 Size of Treatment Measure: **XXXXXXXXXX**

BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES. INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE ALSO DESIRABLE. INSPECT BASIN ONCE DURING WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN THE TIMEFRAME, REMOVE & REPLACE TOP 2 INCHES OF FILTER MEDIA. 	<p>POST CONSTRUCTION</p> <p>SEMI-ANNUAL</p> <p>SEMI-ANNUAL</p>
<ul style="list-style-type: none"> HOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED. IRRIGATE DURING DRY SEASON (APRIL - OCTOBER) OR WHEN NEEDED TO MAINTAIN VEGETATION. PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES. REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DEPOSE OF PROPERLY. REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY. 	<p>AS NEEDED (FREQUENT, SEASONALLY)</p> <p>SEMI-ANNUAL</p>
<ul style="list-style-type: none"> CORRECT ANY EROSION PROBLEMS WITHIN THE SAND/SOIL BED. PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED. RESEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1-2 INCHES OF MULCH, PREFERABLY IN JUNE AFTER WEEDING. REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT PROPER OPERATION OF BIO TREATMENT PONDS. REMOVE SEDIMENT WHEN BUILD UP REACHES 3 INCHES AT ANY SPOT. IF IT COVERS VEGETATION, OR IF IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE ANY GRASS AREAS DAMAGED IN THE PROCESS. ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED IF TREATMENT AREA DOES NOT DRAIN DOWN WITHIN 48 HOURS. 	<p>AS NEEDED</p> <p>ANNUAL (AS NEEDED)</p> <p>SEMI-ANNUAL</p> <p>AS NEEDED (INFREQUENT)</p> <p>AS NEEDED</p>

HUNTER STORM
 1001 MARKET AVENUE, SUITE 200, COVINGTON, CA 95924
 (925) 938-2200
GATEWAY CROSSINGS

DATE: 3/29/2019
 PROJECT #: A18043
 SCALE: AS SHOWN

SHEET TITLE

PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER
C3.21

Building Number

KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1001 MARKET AVENUE, SUITE 200, COVINGTON, CA 95924
 (925) 938-2200

ISSUE



GENERAL NOTES

1. THE SHADED REGIONS WHICH OVERLAY UTILITY MAINS AND LATERALS ON THIS PLAN DEPICT A 5-FOOT OFFSET ON EITHER SIDE OF THE UTILITY PIPING, PROVIDING A REPRESENTATION OF 10- FEET CLEAR SPACE FROM EDGE TO EDGE.
2. THE GREEN CIRCLES REPRESENT 20-FOOT DIAMETER CLEAR ZONES CENTERED ON EACH PROPOSED TREE LOCATION. THESE CIRCLES DEPICT THE REQUIRED 10-FOOT RADIUS OF CLEAR SPACE REQUIRED BETWEEN TREES AND MOST UTILITY LINES.
3. WHERE THE SHADED PIPELINE REGION INTERSECTS A TREE 'GREEN ZONE' RADIUS THIS REPRESENTS AN ENCROACHMENT INTO THE REQUIRED 10-FOOT CLEAR SPACE. A PIPELINE'S SHADED REGION WOULD NEED TO TOUCH OR OVERLAP THE CENTER OF A PROPOSED TREE IN ORDER TO VIOLATE THE MINIMUM 5-FOOT CLEAR SPACE ALLOWED WHEN ROOT BARRIERS ARE INSTALLED IN LIEU OF PROVIDING 10- FEET CLEAR.

HUNTER STORM

GATEWAY CROSSINGS

1001 MARKET AVENUE, SUITE 200, COVINGTON, LA 70044

DATE: 3/29/2019

PROJECT #:

SCALE:

AS SHOWN

SHEET TITLE

COMPOSITE SITE
UTILITY & TREE
OVERLAY PLAN

SHEET NUMBER

C4.10

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

Building Number

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Building Number

Building Number

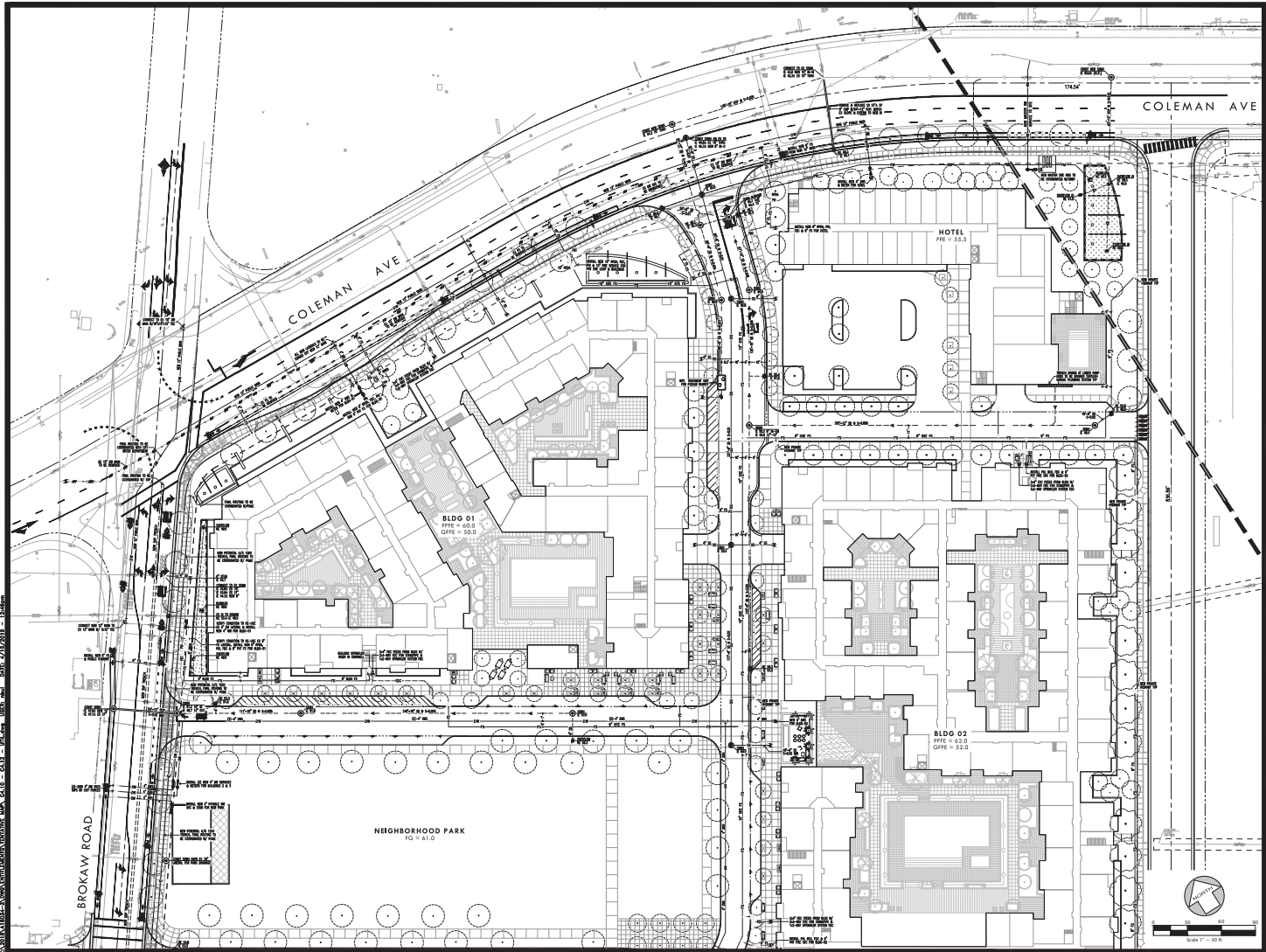
Building Number

Building Number

Building Number

Building Number

ISSUE



HUNTER STORM
 GATEWAY CROSSINGS

DATE: 3/29/2019
 PROJECT #: A1804-3
 SCALE: AS SHOWN

SHEET TITLE
 PRELIMINARY
 UTILITY PLAN

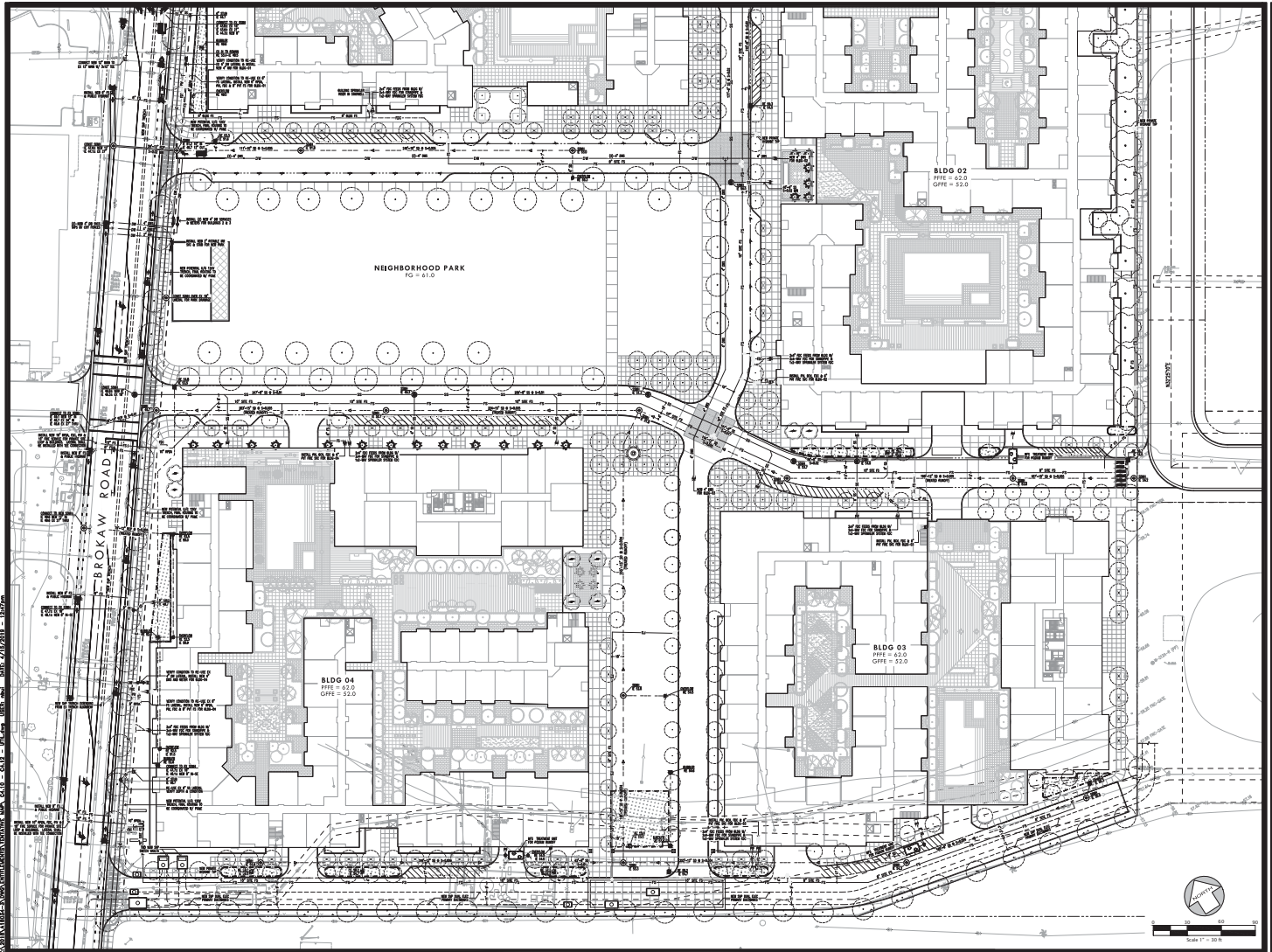
SHEET NUMBER
 C4.11
 Building Number



KIRK & WRIGHT
 CONSULTING ENGINEERS, INC.

3/29/2019 10:58 AM C:\Users\jwright\Documents\Projects\A1804-3\A1804-3.dwg 4/18/2019 10:58 AM

ISSUE



HUNTER STORM

GATEWAY CROSSINGS

DATE: 3/29/2019
 PROJECT #: A1804-3
 SCALE: AS SHOWN

SHEET TITLE

PRELIMINARY UTILITY PLAN

SHEET NUMBER
C4.12
 Building Number


 KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1001 MARKET AVENUE, SUITE 200, COVINGTON, LA 70044
 TEL: 504.835.1100 FAX: 504.835.1101
 WWW.KIERANDWRIGHT.COM

ISSUE



BUILDING 1 BASEMENT PARKING DATA

VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING	
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	6	32	201	7	8	0	
NA				246					

BUILDING 2 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING	
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	0	36	306	0	10	0	
NA				342					

BUILDING 3 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING	
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	10	27	190	0	10	0	
NA				227					

BUILDING 4 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING	
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	6	27	271	19	13	0	
NA				323					

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 8 ADA PARKING SPACES.
 THERE ARE IN TOTAL 60 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





HOTEL GROUND LEVEL PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	75	0	NA	8
79				

*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

BUILDING 1 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
5	93	N/A	4	0	41	0	NA	160
98"			45					

*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 0.20E SF, RESIDENTIAL GUEST PARKING 0.10U)

BUILDING 2 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
10	58	N/A	10	0	118	0	NA	200
68"			128					

*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL 0.8 KEY, RESIDENTIAL GUEST PARKING 0.10U)

BUILDING 3 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
3	48	N/A	0	0	73	0	NA	185
51"			73					

*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 0.20E SF, RESIDENTIAL GUEST PARKING 0.10U)

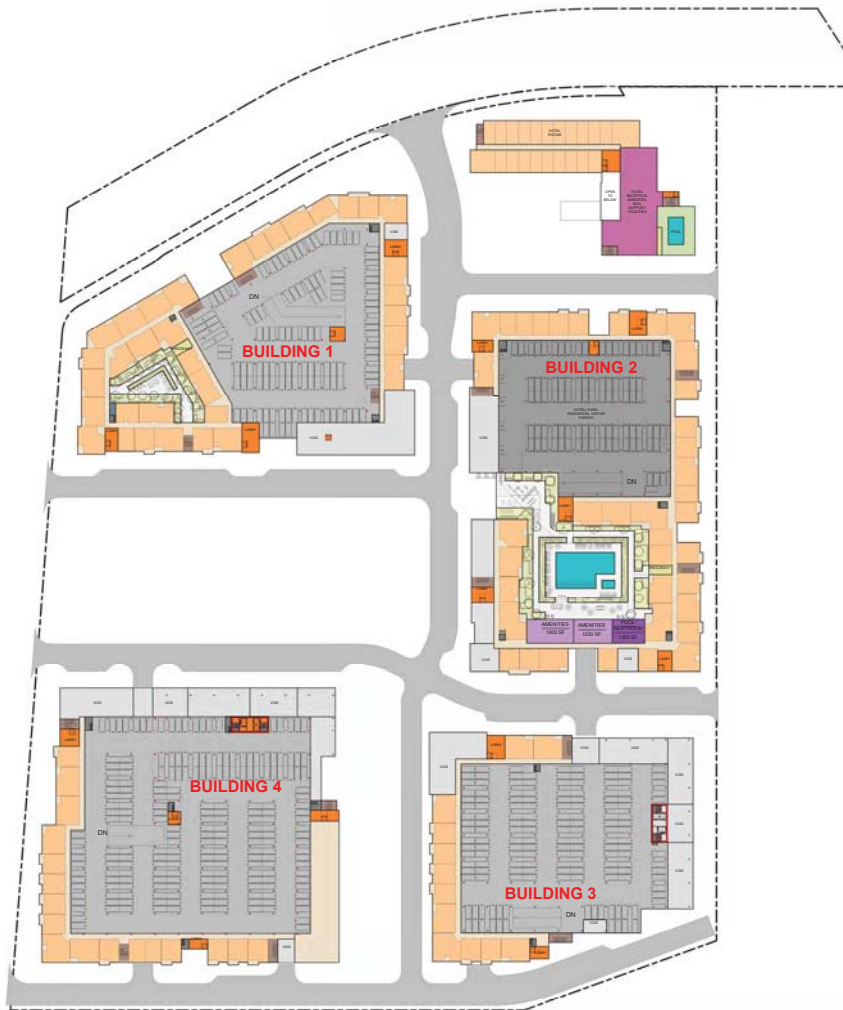
BUILDING 4 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
6	112	N/A	6	13	64	0	NA	260
118"			83					

*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 0.20E SF, RESIDENTIAL GUEST PARKING 0.10U)

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
 THERE ARE IN TOTAL 84 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





BUILDING 1 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	115	0	N/A	N/A
N/A			115					

BUILDING 2 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	92	N/A	0	0	0	0	N/A	N/A
92			0					

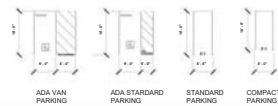
BUILDING 3 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	146	0	N/A	N/A
N/A			146					

BUILDING 4 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	204	0	N/A	N/A
N/A			204					

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
 THERE ARE IN TOTAL 66 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





1 UNIT - STUDIO
14' x 13'



6 UNIT - 1BR (A)
14' x 12'



2 UNIT - 1BR (B)
14' x 12'



3 UNIT - 1BR (C)
14' x 12'



7 UNIT - 1BR (D)
14' x 12'

UNIT TYPE	TOTAL	UNIT	UNIT COUNT	UNIT SIZE (sf)	DECK SIZE (sf)
STUDIO	230	-	230	625	N/A
1-BEDROOM	633	A	34	795	66
		B	479	722	78
		C	60	693	N/A
		D	41	773	47
		CUSTOM*	19	VARIES	VARIES
1-BED + DEN	127	A	83	875	57
		B	44	1000	114
2-BEDROOM	562	A	83	1080	45
		B	376	1036	62
		C	71	1185	51
		CUSTOM*	32	VARIES	VARIES
2-BED + DEN	48	-	48	1355	115

*CUSTOM UNIT PLANS NOT INCLUDED IN DRAWING SET. SIZE, DECK, AND FOOTPRINT VARY PER LOCATION.

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

DATE: 03-29-2019
PROJECT #: 14' x 12'
SCALE: 1/4" = 1'-0"

SHEET TITLE
TYPICAL UNIT PLANS

SHEET NUMBER
A1.11

MVE
PARTNERS
1700 Main Street, Suite 800
Irvine, California 92614
Tel: 949.338.3388
www.mve-of-california.com



4 UNIT - 1BR + DEN (A)
1/4" = 1'-0"



5 UNIT - 1BR + DEN (B)
1/4" = 1'-0"



6 UNIT - 2BR + DEN
1/4" = 1'-0"



1 UNIT - 2BR (A)
1/4" = 1'-0"



2 UNIT - 2BR (B)
1/4" = 1'-0"



3 UNIT - 2BR (C)
1/4" = 1'-0"

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING
ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

DATE	03-29-2019
PROJECT #	
SCALE	1/4" = 1'-0"
	0 8 16

NORTH
SHEET TITLE
TYPICAL UNIT
PLANS

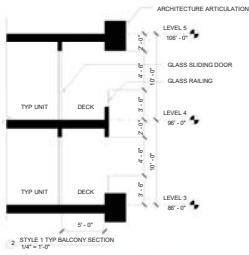
SHEET NUMBER
A1.12

MVE
+ PARTNERS
1700 Main Street, Suite 800
Irvine, California 92614
Tel 949 338
www.mve-architects.com

STYLE 1

STYLE DESCRIPTION

- Facades articulated with expressed columns and beams.
- Defined base, middle, and top proportions.
- Recessed and grouped windows and fenestration patterns.
- Simple canopy and cornice used to terminate architectural forms.



ARCHITECTURAL IMAGERY



NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 METAL TRIM
- 2 CLADDING PANEL
- 3 CLADDING/ METAL CORNICE
- 4 STUCCO
- 5 METAL CANOPY
- 6 JULIET BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH PANELIZED RAILING



BUILDING 2 NORTH ELEVATION
(FRONTING INTERNAL STREET)
1/8" = 1'-0"

HUNTER STORM

GATEWAY CROSSINGS

PROJECT # 03-20-2019
SCALE: As indicated
8 10

SHEET TITLE
ARCHITECTURAL
STYLE 1

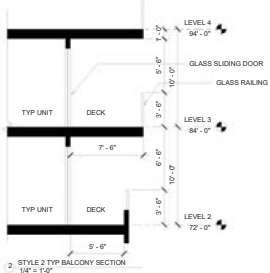
SHEET NUMBER
A2.01

MVE
+ PARTNERS

STYLE 2

STYLE DESCRIPTION

- Abstract fenestration patterns.
- Facades defined by floating planes that project beyond the building mass.
- Windows grouped vertically within floating planes.
- Horizontal slatted members define shading and railing devices.



ARCHITECTURAL IMAGERY



KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENGINEERED COMPOSITE SLATTED SCREEN
- 2 ENHANCED GLAZING SYSTEM
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 STUCCO
- 6 CLADDING/ METAL CORNICE
- 7 GFRC/ CLADDING/ METAL PANEL



BUILDING 1 NORTH ELEVATION
(FRONTING COLEMAN AVE)
1/8" = 1'-0"

NOTE: REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN. STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

HUNTER STORM
GATEWAY CROSSINGS

DATE: 03-29-2010
PROJECT #: [REDACTED]
SCALE: As indicated
SHEET NUMBER: A2.02

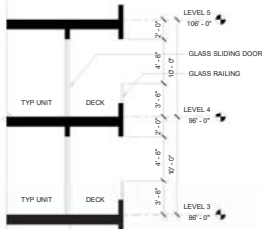
SHEET NUMBER
A2.02

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+ PARTNERS
1700 Main Street, Suite 800
Irvine, California 92614
Tel: 949.338.1111
www.mve-architect.com

STYLE 3

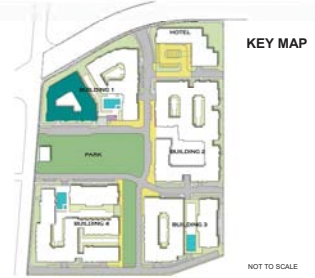
STYLE DESCRIPTION

- Projecting frames used to group fenestrations and create a vertical rhythm.
- Juliet balconies add texture and shadow between frames.
- Solid, defined horizontal base organizes the facade composition.
- Enhanced glazing and vertical articulation accent and mark important corners.



1 STYLE 3 TYP BALCONY SECTION
1/4" = 1'-0"

ARCHITECTURAL IMAGERY



KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENHANCED GLAZING SYSTEM
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 STUCCO
- 5 RAINSCREEN BASE
- 6 BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH METAL RAILING

ELEVATOR PENTHOUSE



BUILDING 1 SOUTH ELEVATION
1 (FRONTING THE PARK)
1/8" = 1'-0"

NOTE: REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN. STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

HUNTER STORM
1100 Main Street, Suite 800
Irvine, California 92614
Tel: 949.338.1000 Fax: 949.338.1001
GATEWAY CROSSINGS

DATE: 03-29-2010
PROJECT #: As indicated
SCALE: 8 16
NORTH

SHEET TITLE
**ARCHITECTURAL
STYLE 3**

SHEET NUMBER
A2.03

MVE
PARTNERS
1700 Main Street, Suite 800
Irvine, California 92614
Tel: 949.338.1000
www.mve-partners.com

STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

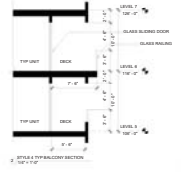
ARCHITECTURAL IMAGERY



- 1 METAL PANEL
- 2 BRICK
- 3 METAL AWNINGS
- 4 BALCONY WITH PANELIZED RAILING
- 5 BALCONY WITH GRILL RAILING
- 6 CONTEMPORARY ACCENT GLAZING
- 7 TRADITIONAL WAREHOUSE GLAZING
- 8 LOUVERED SCREEN
- 9 OPERABLE STOREFRONT
- 10 METAL CORNICE
- 11 STUCCO



KEY MAP



- 11 LEVEL 100'-0"
- 10 LEVEL 97'-0"
- 9 LEVEL 94'-0"
- 8 LEVEL 91'-0"
- 7 LEVEL 88'-0"
- 6 LEVEL 85'-0"
- 5 LEVEL 82'-0"
- 4 LEVEL 79'-0"
- 3 LEVEL 76'-0"
- 2 LEVEL 73'-0"
- 1 LEVEL 70'-0"
- GROUND LEVEL 67'-0"

RENDERING BY: [unreadable]

NOTES:
1. ALL LEVELS, UNLESS OTHERWISE INDICATED FOR THE PREVIOUS SECTION.
2. AFTER CONSULTATION WITH ARCHITECTURE, STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER CONSULTANTS, AND SUBJECT TO CHANGES AS DEEMED APPROPRIATE.

HUNTER BYDRM

GATEWAY CROSSINGS

PROJECT NUMBER: A2.04

MVE PARTNERS

STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

ARCHITECTURAL IMAGERY



- METAL PANEL
- BRICK
- METAL AWNINGS
- BALCONY WITH PANELIZED RAILING
- BALCONY WITH GRILL RAILING
- CONTEMPORARY ACCENT GLAZING
- TRADITIONAL WAREHOUSE GLAZING
- LOUVERED SCREEN
- OPERABLE STOREFRONT
- METAL CORNICE
- STUCCO



KEY MAP

NOT TO SCALE



- PROJECT NUMBER: 2017-0017
- NO. LEVEL: 0000
- NO. LEVEL: 01
- NO. LEVEL: 02
- NO. LEVEL: 03
- NO. LEVEL: 04
- NO. LEVEL: 05
- NO. LEVEL: 06
- NO. LEVEL: 07
- NO. LEVEL: 08
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- NO. LEVEL: 97
- NO. LEVEL: 98
- NO. LEVEL: 99
- NO. LEVEL: 100

HUNTER STORM

GATEWAY CROSSINGS

PROJECT NUMBER: 2017-0017

SCALE: 1/8" = 1'-0"

DATE: 10/20/17

PROJECT: PRELIMINARY ARCHITECTURAL STYLE 4 TOWER

SHEET NUMBER: A2.05

MVE PARTNERS

STYLE 5

STYLE DESCRIPTION

- Contemporary warehouse expression defined by traditional use of materials, prominent grid organization and interpretive forms.

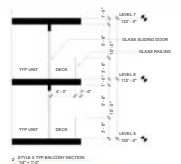
ARCHITECTURAL IMAGERY



- 1 METAL PANEL
- 2 ARCHITECTURAL TILE
- 3 METAL AWNINGS
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 METAL TRELLIS
- 7 LOUVER
- 8 PANELIZED RAILING
- 9 OPERABLE STOREFRONT



KEY MAP



1. REFERENCE TO OTHER SHEETS FOR DIMENSIONS
 1/2" = 1'-0"

NOTE:
 REFERENCE TO OTHER SHEETS FOR DIMENSIONS
 BALCONY RAILINGS SHOWN FOR ILLUSTRATIVE PURPOSES
 BALCONY RAILINGS MATCH THE HEIGHT OF THE ROOF PARAPET

HUNTER SYDRM

GATEWAY CROSSINGS

PROJECT NUMBER
A2.06

MVE

STYLE 6

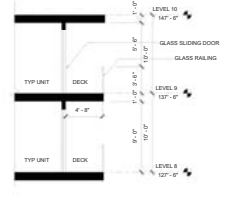
STYLE DESCRIPTION

- Simple massing composition with well ordered articulation.
- Facades characterized by vertical and horizontal expressions.
- Appealing fenestration patterning defined by the use of alternate windows.

ARCHITECTURAL IMAGERY



- 1 METAL PANEL
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 LOUVERED SCREEN
- 7 PANELIZED RAILING
- 8 VERTICAL SHADE



HUNTER STORM

14575 Highway 101, Suite 100
Houston, TX 77060
Phone: (281) 415-1100 Fax: (281) 415-1101

GATEWAY CROSSINGS

DATE: 02/20/19
PROJECT #: A4-000001
SCALE: As Shown
1" = 1'-0"

NORTH

SHEET TITLE
**ARCHITECTURAL
STYLE 6 -
HOTEL**

SHEET NUMBER
A2.07

MVE
+ PARTNERS

1750 West Loop, Suite 603
Houston, Texas 77056
713.261.2200
www.mve.com

SPRING
MARCH 1

SUMMER
JUNE 1

AUTUMN
SEPTEMBER 1

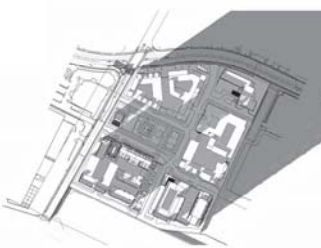
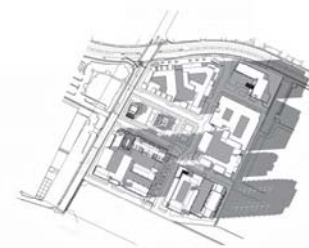
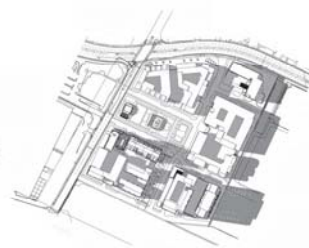
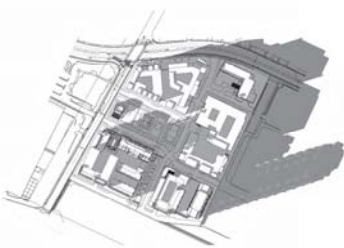
WINTER
DECEMBER 1



9 AM



12 PM



4 PM

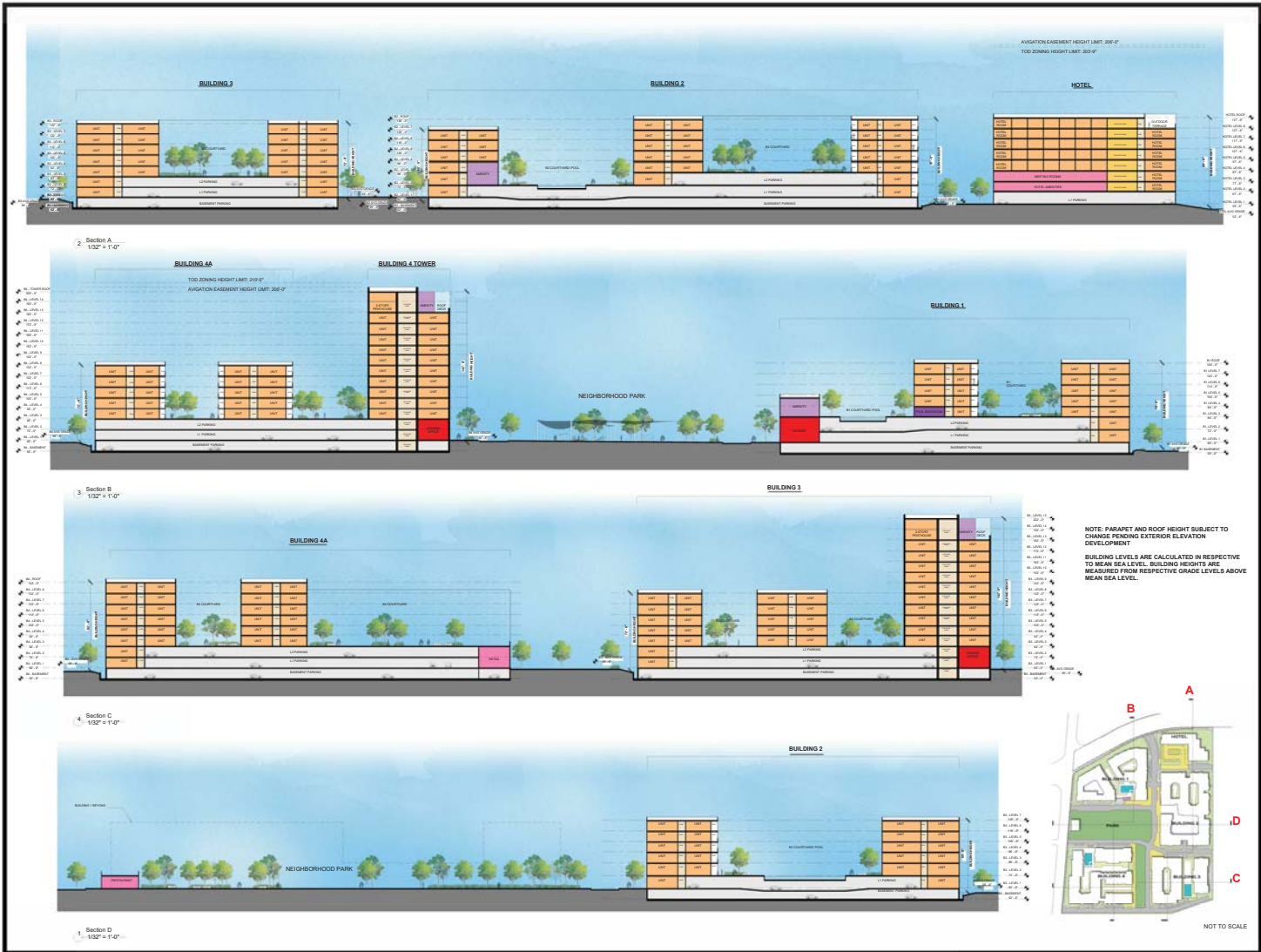
HUNTER STORM
GATEWAY CROSSINGS

DATE: 03-29-2010
PROJECT #:
SCALE:
0 8 16
NORTH

SHEET TITLE
SHADOW STUDIES

SHEET NUMBER
A2.08

MVE
+ PARTNERS
1700 Main Street, Suite 800
Hayward, California 94541
Tel: 855-3388
www.mve-at-chencc.com



HUNTER STORM

15151 LEMAY AVE SUITE 200, CUMMINGS, GA 30041
PH: 770.886.8800 FAX: 770.886.8801
WWW.MVE-CPARTNERS.COM

GATEWAY CROSSINGS

DATE: 03-29-2010
PROJECT #: 10000000000000000000
SCALE: 1/32" = 1'-0"
50 100
NORTH

SHEET TITLE
CONCEPTUAL SITE SECTIONS

SHEET NUMBER
SP1.00

MVE
+ PARTNERS

1700 Main Street, Suite 800
Irvine, California 92614
Tel: 949.338.1000
www.mve-projects.com



BUILDING 1 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,502'	
Open Length Required	601'	40%
Length Reduction		30%
Facade Length Required	858'	
Facade Length Provided	874'	
AREA (sq ft)		
Total Garage Wall Area	14,014 sq ft	
Wall Height	9.33'	
Opening Height	7.5'	
% Open Area (Screen)		65%
Open Area Required	2,929 sq ft	20%
Open Area Provided	2,929 sq ft	

BUILDING 2 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,749'	
Open Length Required	700'	40%
Length Reduction		30%
Facade Length Required	921'	
Facade Length Provided	939'	
AREA (sq ft)		
Total Garage Wall Area	16,318 sq ft	
Wall Height	9.33'	
Opening Height	7.5'	
% Open Area (Screen)		65%
Open Area Required	3,411 sq ft	20%
Open Area Provided	3,411 sq ft	

BUILDING 3 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,249'	
Open Length Required	500'	40%
Length Reduction		30%
Facade Length Required	714'	
Facade Length Provided	732'	
AREA (sq ft)		
Total Garage Wall Area	11,663 sq ft	
Wall Height	9.33'	
Opening Height	7.5'	
% Open Area (Screen)		65%
Open Area Required	2,436 sq ft	20%
Open Area Provided	2,436 sq ft	

BUILDING 4 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,530'	
Open Length Required	614'	40%
Length Reduction		30%
Facade Length Required	778'	
Facade Length Provided	797'	
AREA (sq ft)		
Total Garage Wall Area	14,331 sq ft	
Wall Height	9.33'	
Opening Height	7.5'	
% Open Area (Screen)		65%
Open Area Required	2,965 sq ft	20%
Open Area Provided	2,965 sq ft	



SHEET INDEX

- L-1.0 Schematic Landscape Plan - Overall
- L-1.1 Park Master Plan
- L-1.2 Park Credit Legend
- L-1.3 Planting Notes and Legends
- L-2.1 Schematic Landscape Plan - Site
- L-2.2 Schematic Landscape Plan - Site
- L-2.3 Schematic Landscape Plan - Site
- L-2.4 Schematic Landscape Plan - Site
- L-2.5 Schematic Landscape Plan - Site
- L-2.6 Schematic Landscape Plan - Site
- L-2.7 Schematic Landscape Plan - Padium Building 1
- L-2.8 Schematic Landscape Plan - Padium Hotel
- L-2.9 Schematic Landscape Plan - Padium Building 2
- L-2.10 Schematic Landscape Plan - Padium Building 3
- L-2.11 Schematic Landscape Plan - Padium Building 4
- L-3.1 Irrigation Zoning Diagram - Site and Padium
- L-3.2 Irrigation Legend, Notes and Water-use Calculations
- L-3.3 Irrigation Details
- L-3.4 Irrigation Details
- L-4.1 Site Section
- L-4.2 Site Section
- L-4.3 Landscape Details
- L-4.4 Landscape Details
- L-4.5 Landscape Details

HUNTER STORM

GATEWAY CROSSINGS

10101 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 254-1007 Fax: (408) 255-5422

DATE: 02/19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic Landscape Plan - Overall

SHEET NUMBER
 L-1.0

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners

101 Downhill Road
 San Ramon, CA 94583
 T 925 452 4812
 F 925 452 3905

LEGEND

COLOR	CATEGORY
[Red hatched pattern]	NEIGHBORHOOD PARK
[Green hatched pattern]	LINEAR PARK
[Purple hatched pattern]	COMMUNITY THEME GARDENS
[Green solid]	OUTDOOR SEATING, FIREPLACE
[Orange solid]	OUTDOOR GRILL, DRIVING AREA
[Blue solid]	POOL AND SPA
[Light blue solid]	COMMON FITNESS, GAME AREA, SCREENING ROOM
[Dark blue solid]	INDOOR FITNESS, AMENITY AREA



SEE SHEET L-1.2 FOR PARK CREDIT LEGEND.
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.



HUNTER STORM

GATEWAY CROSSINGS

10712 Miller Ave., Suite 200, Cupertino, CA 95014
Phone: (408) 254-1207 Fax: (408) 254-2425

DATE: 05.2019
PROJECT #:
SCALE: As Noted

SHEET TITLE
Park Master Plan

SHEET NUMBER
L-1.1

THE GUZZARDO PARTNERSHIP, LLC
Landscape Architects - Land Planners
1800 Downer's Way
San Ramon, CA 94583
T 925.652.4672
F 925.652.7025

PARK CREDIT LEGEND

SITE - ON GRADE

COLOR	CATEGORY	PROGRAM USES	ELEMENTS	AREA PROVIDED	PARK CREDIT AREA
	NEIGHBORHOOD PARK	OPEN LAWN AREA EXERCISE AREA PLAY AREA GRILL AND PICNIC AREA PAVILION WITH COVERED SEATING SEATING PLAZA	OPEN LAWN BASKETBALL COURT, 8 SEATING SPACES 10 PLAY EQUIPMENT FOR ALL AGE GROUPS, 9 BENCHES 6 BBQ GRILLS, 6 COVERED PICNIC TABLES, 72 SEATING SPACES, LAWN AREA SHADE STRUCTURE, 24 SEATING SPACES SCULPTURE, 8 SEATING SPACES, 6 BIKE LOCKERS	88,426 SF	
	LINEAR PARK	OPEN LAWN AREA FIREPLACE WITH LOUNGE SEATING ACTIVITY AREA SCULPTURE GARDEN FOUNTAIN PLAZA	OPEN LAWN 2 FIREPLACES, 24 SEATING SPACES 1 BOCCIE BALL COURT, 8 SEATING SPACES, 6 BENCHES SCULPTURE, RAISED PLANTERS, 16 SEATING SPACES 1 FOUNTAIN, 52 SEATING SPACES, 16 BIKE PARKING SPACES	22,262 SF	
	LANDSCAPED AND FURNISHED QUIET AREAS	RED GARDEN BLUE GARDEN HAMMOCK GARDEN	ART STUDIO SPACES, 14 SEATING SPACES, 4 PLANTER POTS, LIVING WALL, STRING LIGHTS FOUNTAIN, 16 SEATING SPACES, 4 BIKE PARKING SPACES, 12 PLANTER POTS 4 HAMMOCKS IN PALM TREE GROVE	3,785 SF	
				114,473 SF TOTAL	AT 100% 114,473 SF

BUILDING 1 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (4,374 sf) OUTDOOR SEATING AREA (667 sf)	4 FIREPLACES, 42 SEATING SPACES, 7 PLANTER POTS 12 SEATING SPACES	5,041 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES (1,093 sf)	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES	1,093 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,746 sf) SPA (144 sf) POOL DECK AND LOUNGE AREA (4,718 sf)	4 SWIMMING LANES 14'x16' SPA 50 CHAISE LOUNGE SEATING	7,608 SF	
	INDOOR AMENITY AREA	CENTRAL GYM, CLUBHOUSE, POOL FACILITIES, VIEW LOUNGE		5,600 SF	
				19,342 SF TOTAL	AT 50% 9,671 SF

BUILDING 2 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE AND LOUNGE SEATING	2 FIREPLACES, 26 SEATING SPACES, 3 PLANTER POTS	2,961 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 4 COVERED TABLES, 2 COMMUNAL TABLES, 42 SEATING SPACES, 3 SHADE STRUCTURES, 11 PLANTER POTS	2,965 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,940 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,234 sf)	4 SWIMMING LANES 10'x16' SPA 30 CHAISE LOUNGE SEATING	8,014 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	OUTDOOR SCREENING ROOM (805 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (2,275 sf)	MOVIE SCREEN WITH 8 SEATING SPACES 2 FITNESS STATIONS, RUBBERIZED PLAYGROUND, 4 BENCHES	3,030 SF	
	INDOOR AMENITY AREA	GAME ROOM, CLUBHOUSE, POOL FACILITIES		7,300 SF	
				24,279 SF TOTAL	AT 50% 12,140 SF

BUILDING 3 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (2,552 sf) COVERED SEATING AREA (869 sf)	1 FIREPLACES, 30 LOUNGE SEATING SPACES, 6 PLANTER POTS 1 SHADE STRUCTURE, 20 SEATING SPACES, 4 PLANTER POTS	3,421 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLES (1,274 sf) BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLE (ROOF DECK) (4,014 sf)	5 BBQ GRILLS, 2 COMMUNAL TABLES, 44 SEATING SPACES, 4 PLANTER POTS, 2 SHADE STRUCTURES	5,288 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	MINI GOLF ZONE	PUTTING GREEN, 4 BENCH SEATINGS	2,217 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,193 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,475 sf)	2 SWIMMING LANES 10'x16' SPA 22 CHAISE LOUNGE SEATING	7,828 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		12,200 SF	
				30,954 SF TOTAL	AT 50% 15,477 SF

BUILDING 4 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (663 sf) LOUNGE SEATING AREA (3,949 sf) SCULPTURE FOREST WITH SEATING (3,986 sf) OUTDOOR WORK PLACE (140 sf)	1 FIREPLACE, 9 LOUNGE SEATING SPACES 62 LOUNGE SEATING SPACES, 5 PLANTER POTS VERTICAL SCULPTURES, 4 HAMMOCKS, 26 SEATING SPACES, 8 PLANTER POTS 7 LOUNGE SEATING SPACES, CHARGING STATIONS, WIFI	8,728 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 1 SHADE STRUCTURE, 3 HIGH TOPS WITH 6 SEATING SPACES, 2 COMMUNAL TABLES WITH 16 SEATING SPACES, 12 BAR SEATINGS	1,762 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,718 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (3,756 sf)	4 SWIMMING LANES 10'x16' SPA 21 CHAISE LOUNGE SEATING	6,572 SF	
	GAME AREA, SCREENING ROOM	OUTDOOR MOVIE SCREEN (779 sf) OUTDOOR GAME ROOM (517 sf)	MOVIE SCREEN, 8 SEATING SPACES, 4 PLANTER POTS 1 BOCCIE BALL COURT	1,295 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		11,200 SF	
				29,557 SF TOTAL	AT 50% 14,779 SF
				PARK CREDIT TOTAL	168,547 SF

A BUFFER STRIP/SETBACK OF AT LEAST 4 FEET BETWEEN BUILDINGS AND PUBLIC PARKLAND/AMENITIES IS DEDUCTED FROM AREA CALCULATIONS.
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

HUNTER STORM
1000 N. Main St., Suite 200, Orem, UT 84057
Phone: (801) 226-4100 Fax: (801) 226-4200

GATEWAY CROSSINGS

DATE: 03/21/19
PROJECT #:
SCALE: As Noted

SHEET TITLE
Park Credit Legend

SHEET NUMBER
L-1,2

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planning
181 S. Westvale Street
Salt Lake City, UT 84115
741.433.8022
441.433.0001



HUNTER STORM

18121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 254-1007 Fax: (408) 255-8425

GATEWAY CROSSINGS



DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Site

SHEET NUMBER
 L-2.1

THE GUZZARDO PARTNERSHIP, INC.
 Landscape Architects - Land Planners
 1811 Government Street
 San Francisco, CA 94111
 T 415.443.4622
 F 415.443.1655



HUNTER STORM
 18121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 254-1207 Fax: (408) 254-2423

GATEWAY CROSSINGS



DATE: 05/20/19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.2

THE GUZZARDO PARTNERSHIP, INC.
 Landscape Architects - Land Planners
 1811 Diamond Street
 San Francisco, CA 94111
 T 415.443.4433
 F 415.443.1633



HUNTER STORM

GATEWAY CROSSINGS

15121 Miller Ave., Suite 200, Cupertino, CA 95014
Phone: (408) 254-1207 Fax: (408) 254-2425

DATE: 05/29/19
PROJECT:
SCALE: As Noted

SHEET TITLE
Schematic
Landscape Plan -
Site

SHEET NUMBER
L-2.3

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
181 Government Street
San Francisco, CA 94111
Tel: 415.443.4020
F: 415.433.9833



DATE: 05/29/19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.4

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 1811 Diamond Street
 San Ramon, CA 94583
 T 925.452.4622
 F 925.452.9833



DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.5

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 1811 Diamond Street
 San Francisco, CA 94111
 T 415.433.4633
 F 415.433.1633



HUNTER STORM

18121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 254-1007 Fax: (408) 988-8423

GATEWAY CROSSINGS



DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.6

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 1811 Diamond Street
 San Ramon, CA 94583
 T 925.453.4622
 F 925.453.9833



Building 1 - with Typical Fireplace Seating Area
Planting Scheme

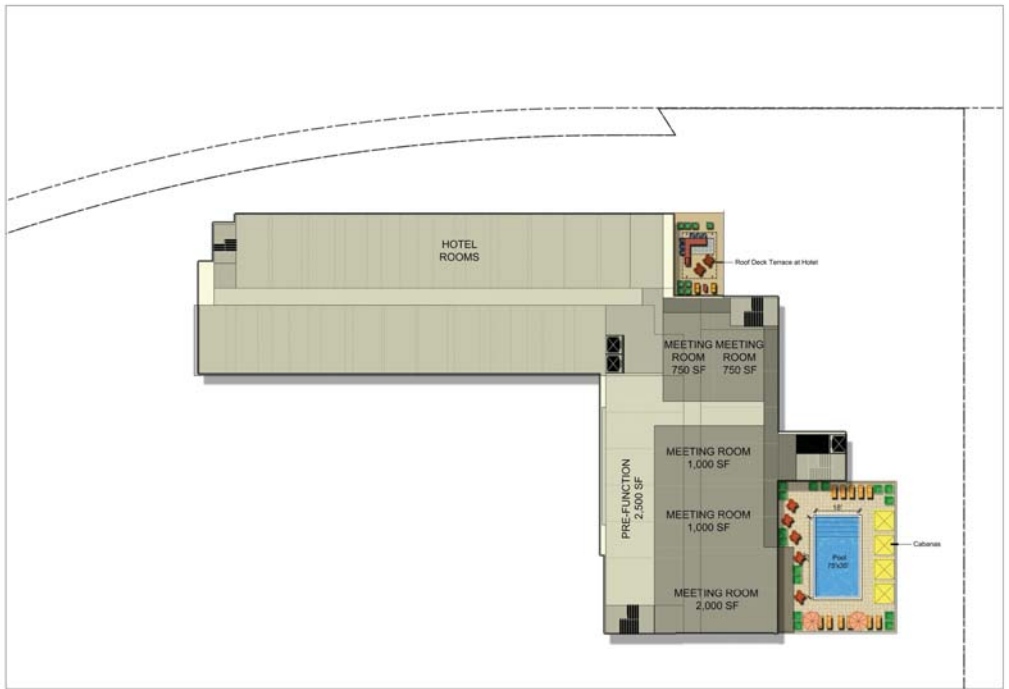


DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Podium Building 1

SHEET NUMBER
 L-2.7

THE GUZZARDO PARTNERSHIP, INC.
 Landscape Architects - Land Planners
 18150 Greenwood Street
 San Ramon, CA 94583
 Tel: 925.452.4622
 Fax: 925.452.9855



Hotel - Level 2 and Roof Deck on Level 8



DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Podium Hotel

SHEET NUMBER
 L-2.8

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 1815 Diamond Street
 San Francisco, CA 94111
 T 415.433.4622
 F 415.433.9833



Building 2 - with Typical Sunny Area Planting Scheme



DATE: 05/29/18
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Podium Building 2

SHEET NUMBER
 L-2.9

THE GUZZARDO PARTNERSHIP, INC.
 Landscape Architects - Land Planners
 1811 Diamond Street
 San Ramon, CA 94583
 Tel: 925.452.4422
 Fax: 925.452.9855



Building 3 - with Typical Shady Area Planting Scheme



DATE: 05.29.19
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Podium Building 3

SHEET NUMBER
 L-2.10

THE GUZZARDO PARTNERSHIP, INC.
 Landscape Architects - Land Planners
 1815 Diamond Street
 San Francisco, CA 94111
 Tel: 415.433.4622
 Fax: 415.433.9852



Building 4 - with Typical Sunny Seating Area Planting Scheme

HUNTER STORM

GATEWAY CROSSINGS







DATE: 05/20/18
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan-
 Podium Building 4

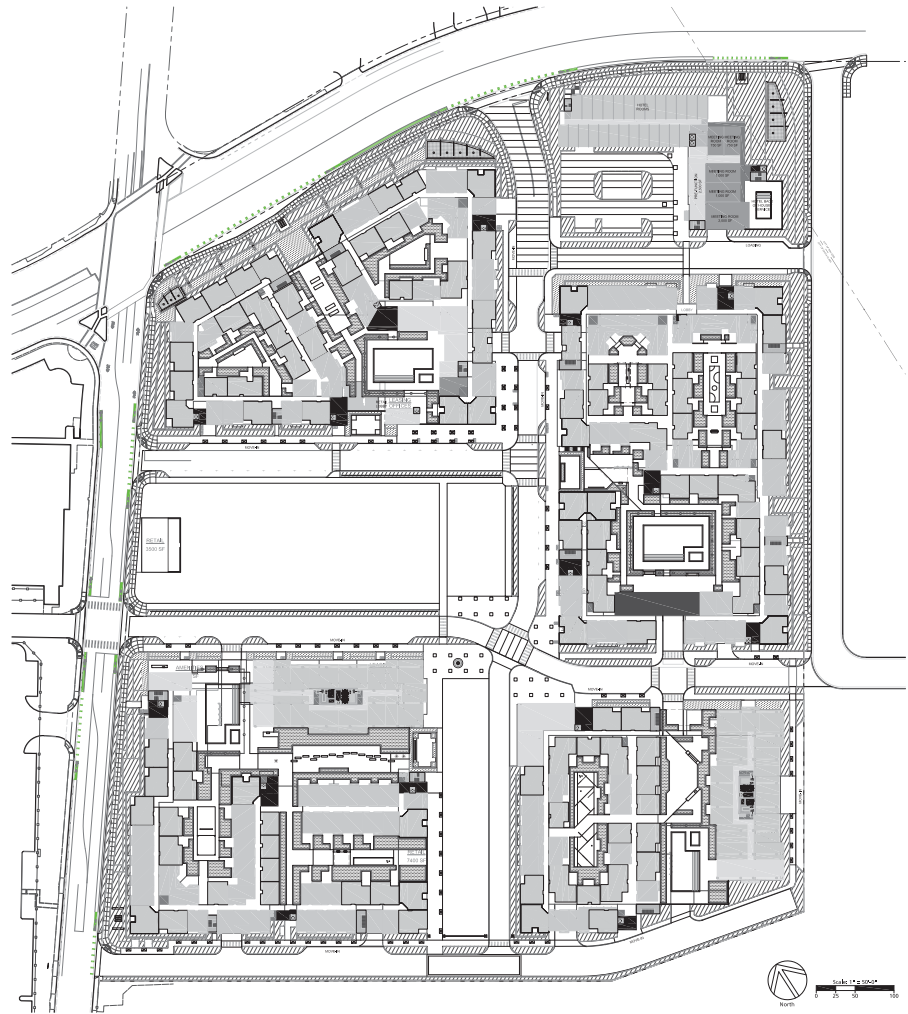
SHEET NUMBER
 L-2.11

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 1815 Diamond Street
 San Francisco, CA 94111
 Tel: 415.443.4622
 Fax: 415.443.1855

WATER USE LEGEND

Key	Water Category	Area
	Low Water Use	76,759 sf
	Medium Water Use	59,381 sf
	High Water Use	00 sf
	Water Feature	3,200 sf

Note: These area calculations do not include the Neighborhood and Linear Parks

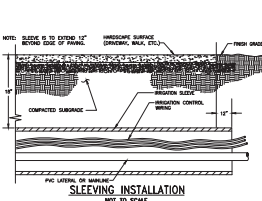
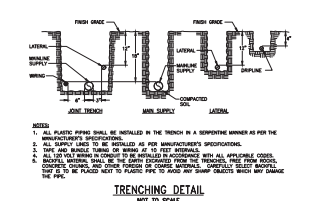
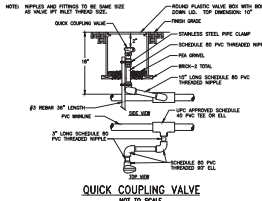
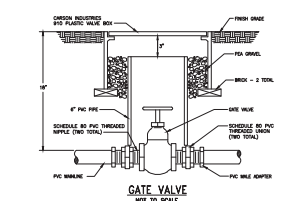
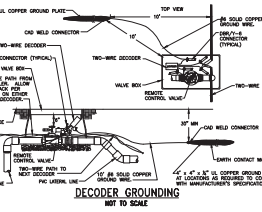
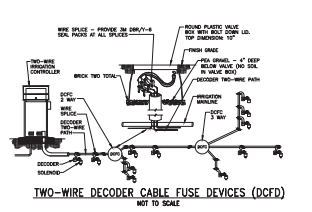
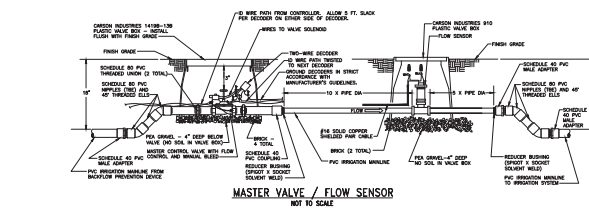
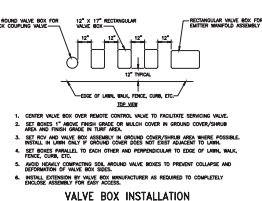
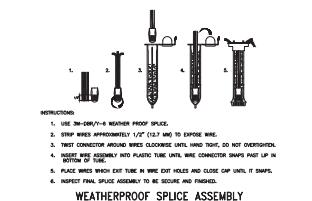
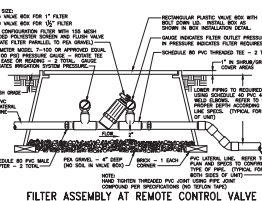
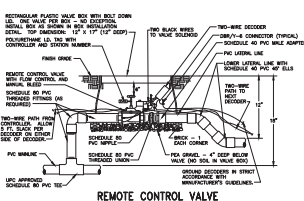
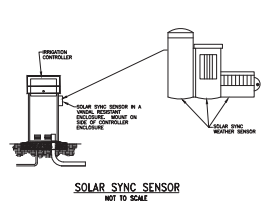
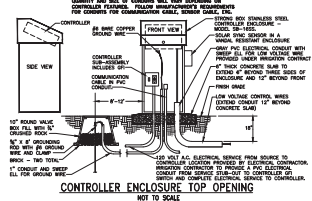
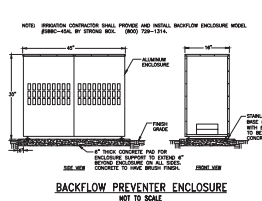
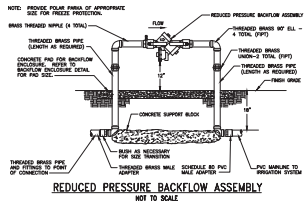


DATE: 03/25/19
 PROJECT #:
 SCALE: As Noted

SHEET TITLE
 Irrigation Zoning
 Diagram

SHEET NUMBER
 L-3,1

THE GUZZARDO PARTNERSHIP P.C.
 Landscape Architects - Land Planners
 181 Greenleaf Street
 San Francisco, CA 94111
 Tel: 415 433 8412
 Fax: 415 433 9033



PRELIMINARY
NOT FOR CONSTRUCTION

HUNTER STORM
Irrigation Control Systems, Inc.
15271 E. Main Street, Suite 100, Aurora, CO 80012
Phone: (303) 294-1000 Fax: (303) 294-8475

GATEWAY CROSSINGS

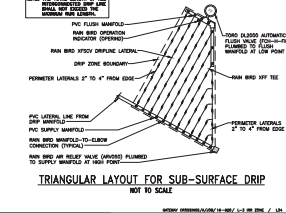
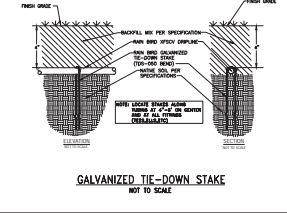
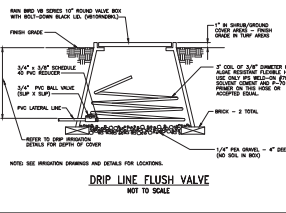
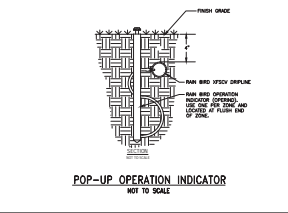
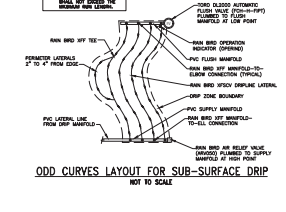
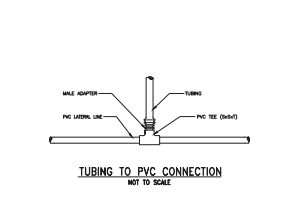
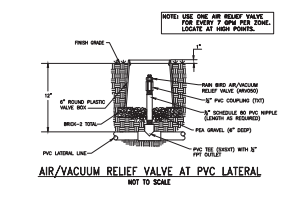
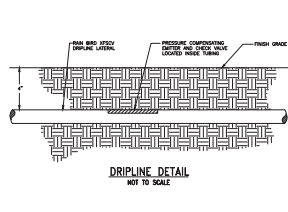
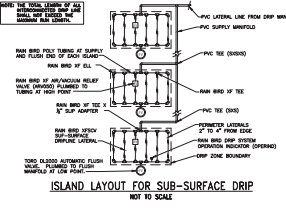
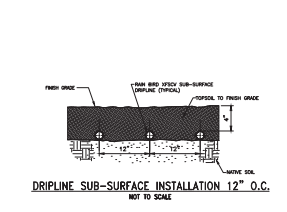
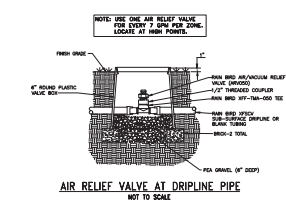
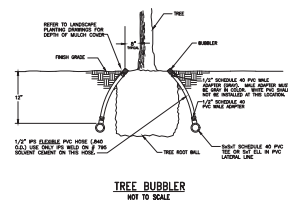
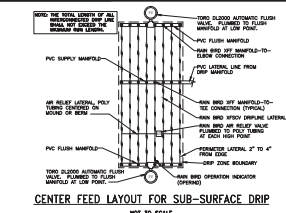
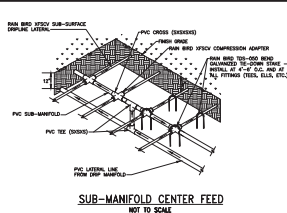
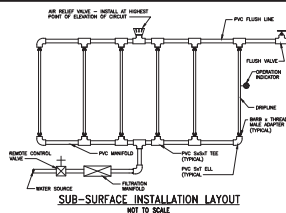
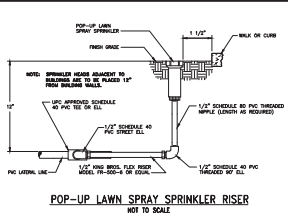
DATE: 03/20/19
PROJECT:
SCALE: 1" = 30'
NORTH

SHEET TITLE
Irrigation Details

SHEET NUMBER
L-3.3

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects, Planners & Engineers
181 Greenleaf Street
San Marcos, CA 92181
714.433.8272
714.433.8222

DICKSON & ASSOCIATES, INC.
MECHANICAL ENGINEERS
19000 PLYMOUTH ROAD
SAN MARCOS, CA 92176
714.433.8272



PRELIMINARY
NOT FOR CONSTRUCTION

DATE	03.25.19
PROJECT #	
SCALE	1" = 30'
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NORTH	

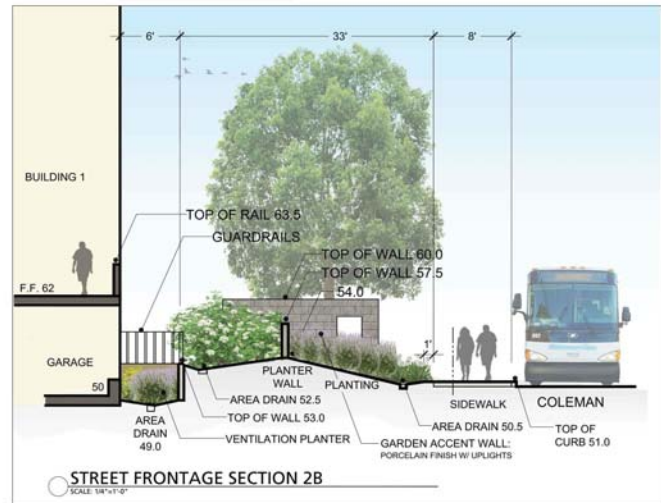
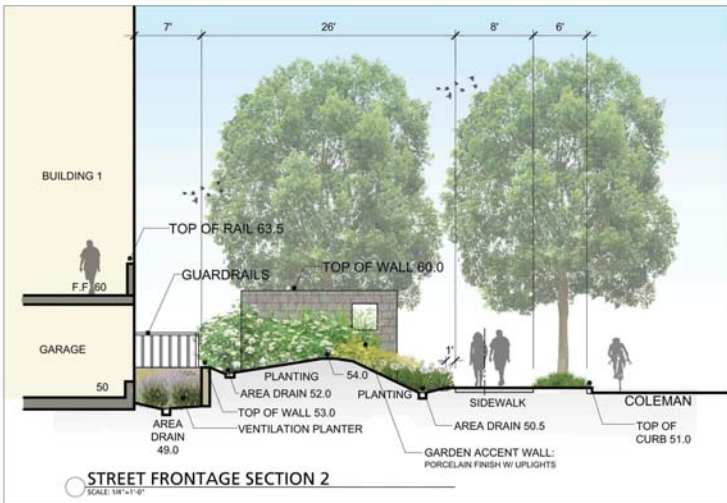
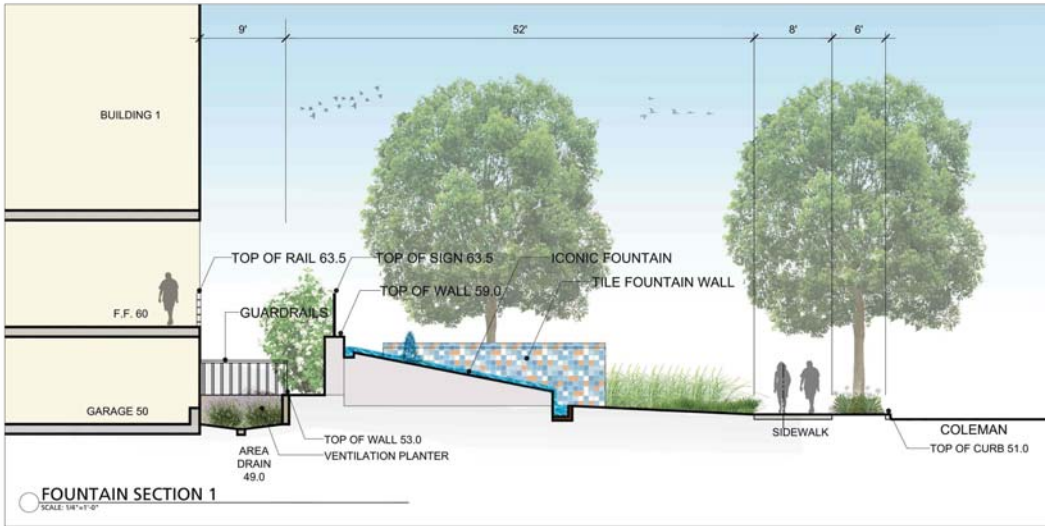
SHEET TITLE
Irrigation Details

SHEET NUMBER
L-3.4

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects, Planners & Engineers
181 Greenway Street
San Francisco, CA 94111
7415 433 8672
415 433 8602

DICKSON & ASSOCIATES, INC.
MECHANICAL ENGINEERS
16000 PLYMOUTH ROAD
SAN DIEGO, CA 92128
619 441 1000
© Dickson & Associates, Inc.

8/2019 APPROXIMATE 10'-0" O.C. 12" O.C. 15" O.C. 18" O.C. 24" O.C. 30" O.C. 36" O.C. 42" O.C. 48" O.C. 54" O.C. 60" O.C. 66" O.C. 72" O.C. 78" O.C. 84" O.C. 90" O.C. 96" O.C. 102" O.C. 108" O.C. 114" O.C. 120" O.C. 126" O.C. 132" O.C. 138" O.C. 144" O.C. 150" O.C. 156" O.C. 162" O.C. 168" O.C. 174" O.C. 180" O.C. 186" O.C. 192" O.C. 198" O.C. 204" O.C. 210" O.C. 216" O.C. 222" O.C. 228" O.C. 234" O.C. 240" O.C. 246" O.C. 252" O.C. 258" O.C. 264" O.C. 270" O.C. 276" O.C. 282" O.C. 288" O.C. 294" O.C. 300" O.C.



HUNTER STORM
GATEWAY CROSSINGS

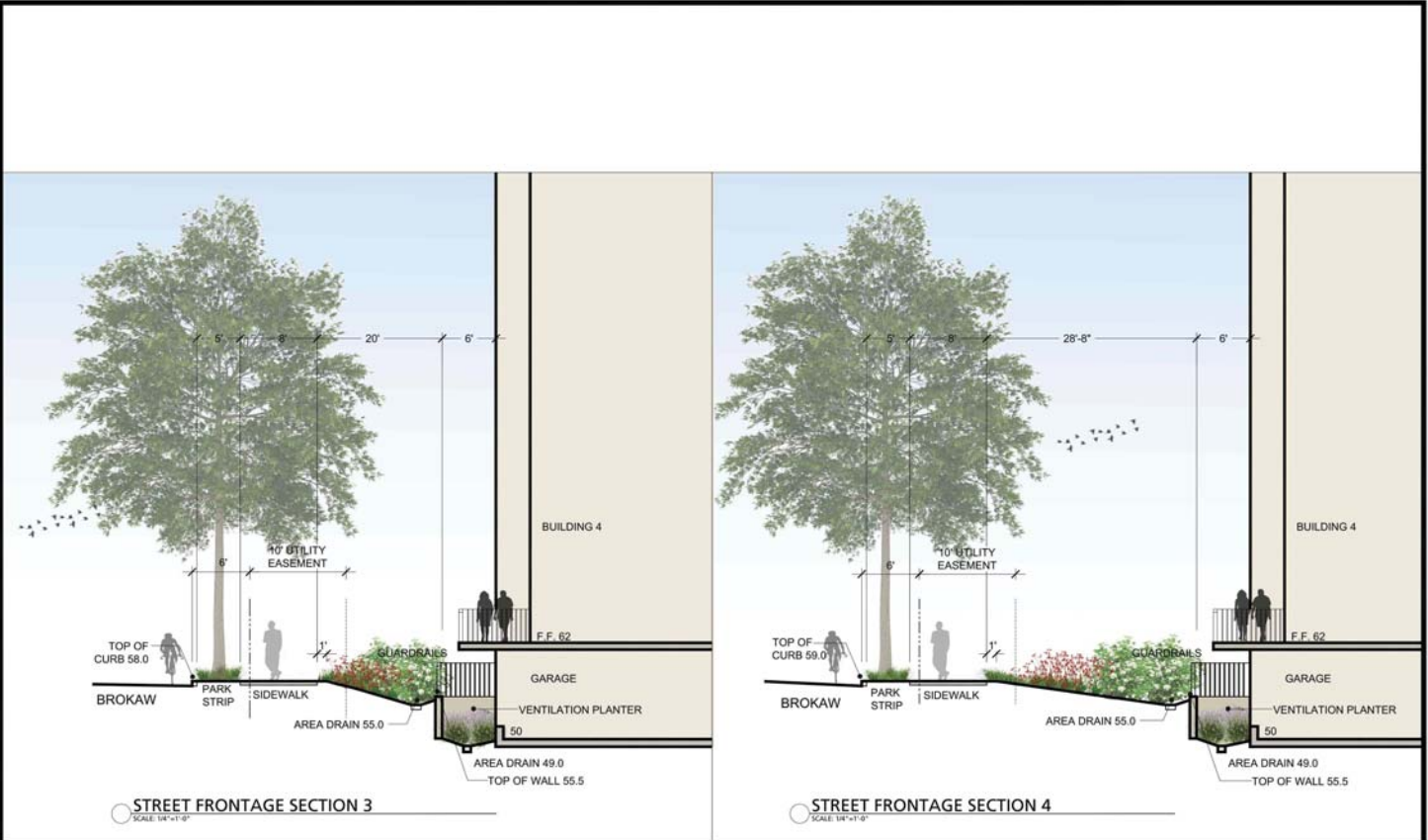


DATE: _____
PROJECT #: _____
SCALE: As Noted

SHEET TITLE
Site Sections

SHEET NUMBER
L-4.1

THE GUZZARDO PARTNERSHIP, P.C.
Landscape Architecture & Land Planning
181 Greenwood Street
San Francisco, CA 94111
415.433.8612
415.433.8665



STREET FRONTAGE SECTION 3
SCALE 1/4"=1'-0"

STREET FRONTAGE SECTION 4
SCALE 1/4"=1'-0"

HUNTER STORM
GATEWAY CROSSINGS

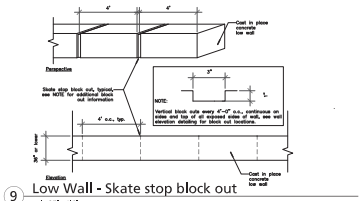


DATE	
PROJECT #	
SCALE	As Noted

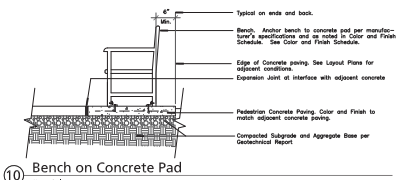
SHEET TITLE
Site Sections

SHEET NUMBER
L-4.2

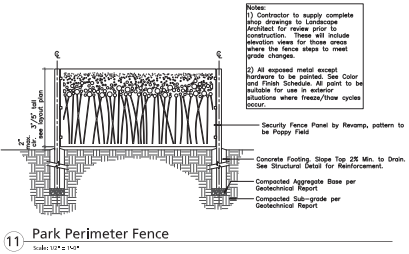
THE GUZZARDO PARTNERSHIP P.C.
Landscape Architecture - Land Planning
181 Greenleaf Street
San Francisco, CA 94111
415.433.4612
415.433.5955



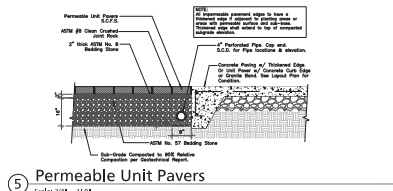
9 Low Wall - Skate stop block out
Scale: 3/4" = 1'-0"



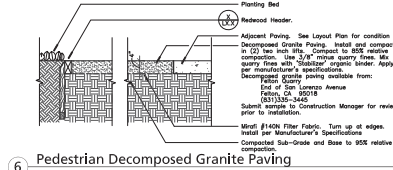
10 Bench on Concrete Pad
Not to Scale



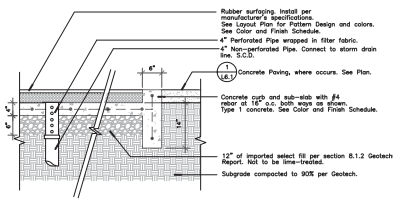
11 Park Perimeter Fence
Scale: 1/2" = 1'-0"



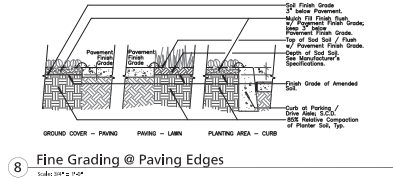
5 Permeable Unit Pavers
Scale: 3/8" = 1'-0"



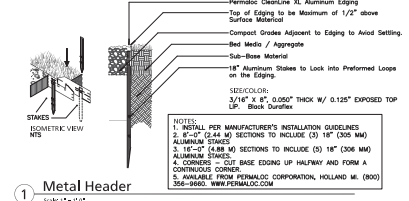
6 Pedestrian Decomposed Granite Paving
Scale: 1" = 1'-0"



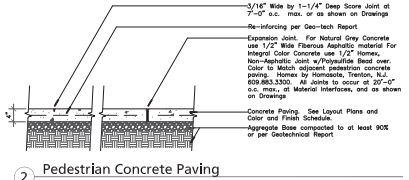
7 Poured-in-Place Rubber Surfing
Scale: 1" = 1'-0"



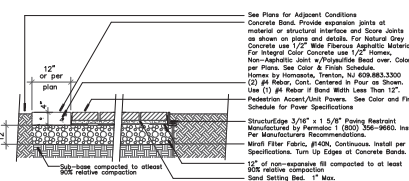
8 Fine Grading @ Paving Edges
Scale: 3/8" = 1'-0"



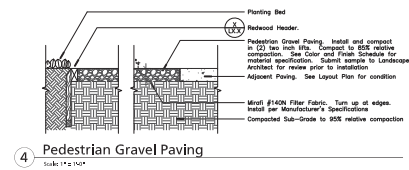
1 Metal Header
Scale: 1" = 1'-0"



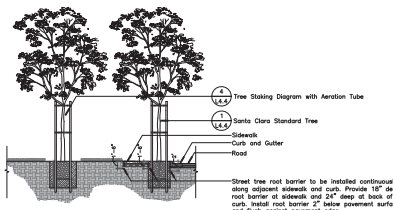
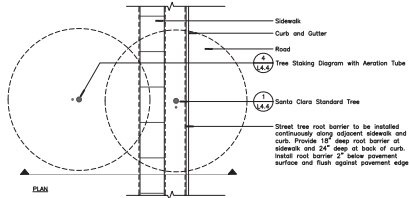
2 Pedestrian Concrete Paving
Scale: 1" = 1'-0"



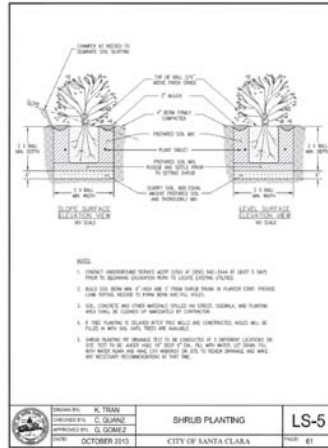
3 Pedestrian Accent Paving
Scale: 1" = 1'-0"



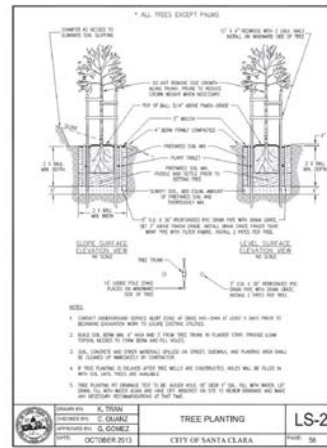
4 Pedestrian Gravel Paving
Scale: 1" = 1'-0"



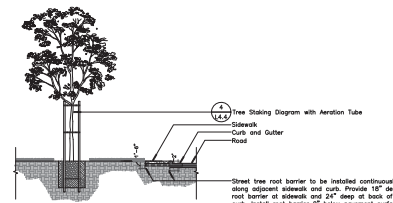
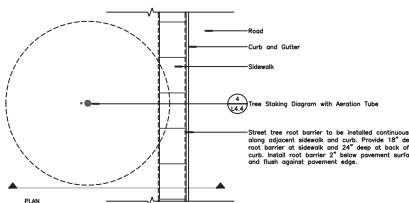
6 Street Tree Root Barrier Type 1
Scale: 1/8" = 1'-0"



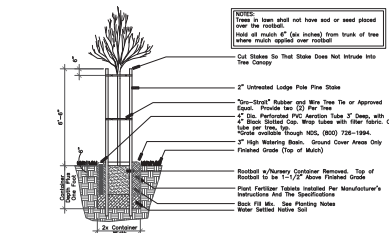
3 Santa Clara Standard Shrub Detail
Not to Scale



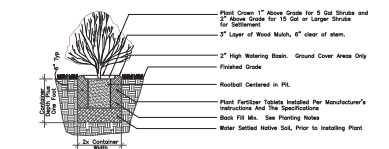
1 Santa Clara Standard Tree Detail
Not to Scale



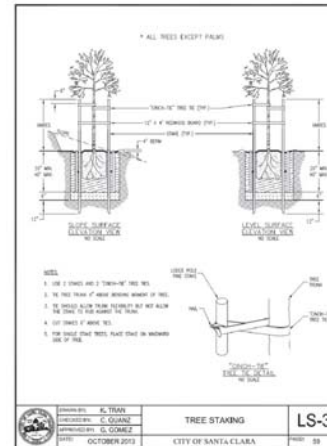
7 Street Tree Root Barrier Type 2
Scale: 1/8" = 1'-0"



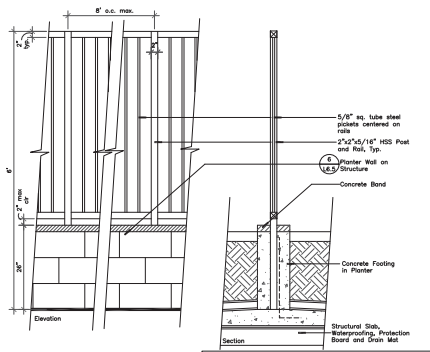
4 Tree Staking Diagram with Aeration Tube
Not to Scale



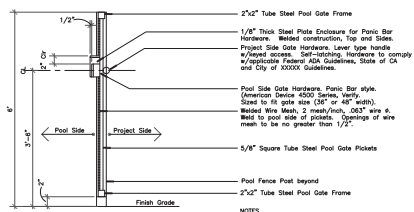
5 Shrub Planting Detail
Not to Scale



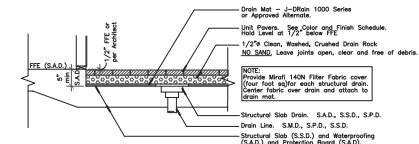
2 Santa Clara Standard Tree Detail
Not to Scale



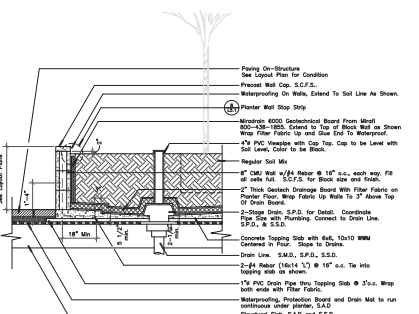
5 Pool Fence in Planter
Scale: 1/4" = 1'-0"



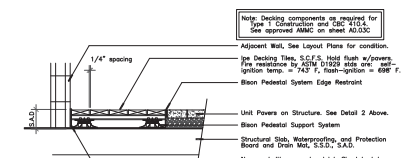
5 Pool Gate
Scale: 1/4" = 1'-0"



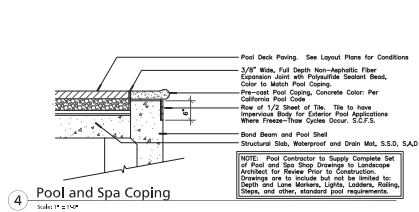
1 Unit Pavers on Structure
Scale: 1/4" = 1'-0"



2 Planter Wall on Structure
Scale: 3/4" = 1'-0"



3 Decking On-Structure
Scale: 1/4" = 1'-0"



4 Pool and Spa Coping
Scale: 1/4" = 1'-0"