



Agenda Report

23-666

Agenda Date: 6/14/2023

REPORT TO PLANNING COMMISSION

SUBJECT

Action on a Rezone from PD - Planned Development to MH - Heavy Industrial and Variance for the properties located at 700 Mathew Street (CEQA: Categorical Exemption, Class 1 Section 15301 Existing Facilities)

REPORT IN BRIEF

Applicant: Brian Brown, HPC Architecture

Owner: Andrew Czisch, QMS Shields

General Plan: Heavy Industrial

Zoning: Planned Development (PD)

Site Area: 64,898 square feet

Existing Site Conditions: The property is developed with an industrial building that is currently vacant and surface parking.

Surrounding Land Uses:

North: Vantage Data Center

South: Digital Realty Data Center

East: Heavy Industrial Uses

West: Heavy Industrial Uses

Issues: Consistency with the City's General Plan and conformance with the City's Zoning Ordinance

Staff Recommendation: Approve a Class I Categorical Exemption per Section 15301, Existing Facilities of the CEQA Guidelines, adopt a resolution approving a Variance for the front setback, landscaping, and parking, and adopt a resolution recommending the City Council approve the Rezone from Planned Development (PD) to Heavy Industrial (MH) for the property located at 700 Mathew Street, subject to conditions of approval.

BACKGROUND

On February 16, 2023, Brian Brown with HPC Architecture ("Applicant"), on behalf of Andrew Czisch with QMS Shields ("Owner") filed an application (File No. PLN23-00054) to change the use of two parcels (APNs: 224-03-086 and 224-03-000) located at 700 Mathew Street. The proposal includes interior changes and site improvements to use the existing buildings on the site for a Heavy Industrial use of metal fabrication/spinning for the business operating as Quality Metal Spinning.

The project site consists of two buildings, Building A (22,032 square feet) and Building B (16,503 square feet) that are currently vacant. They were previously occupied with a business, "Off the Wall Soccer", and a warehouse use. In 2005, the City Council approved a request (File No. PLN2005-05047) to rezone the parcel (APN: 224-04-082) from Heavy Industrial (MH) to Planned Development

(PD) to allow for the sale of the building located at 2201 Lafayette Street. Along with the Rezoning, the City Council also approved a Tentative Parcel Map (File No. PLN2005-04910) to subdivide the property into two parcels with one common area parcel. This created three parcels- Parcel One (700 Mathew Street, APN: 224-03-086), Parcel Two (2201 Lafayette Street, APN: 224-03-087) and Parcel Three (Parking lot along Mathew Street, APN: 224-03-000). The rezoning was approved with specific conditions of approval restricting the use of Parcel One to warehouse use or a soccer recreational facility that was an existing approved use through a previous Use Permit. A parking variance was also approved by the Planning Commission to provide 48 parking spaces, where 58 parking spaces were required by Code. A Parking Agreement was executed between Parcel One and Parcel Two, where ten parking spaces on Parcel Three would be available for use by Parcel Two.

The current application includes only Parcel One (warehouse/former indoor recreation) and Parcel Three (surface parking lot). Given the specific uses allowed in the existing PD zoning, the proposal to use this site for Heavy Industrial use (Quality Metal Spinning) would require a Rezone from Planned Development (PD) to Heavy Industrial (MH). Both buildings have been vacant since November 2021 and the existing Use Permit has expired. The proposal would preserve the configuration of the required 10 parking spaces on Parcel Three and they would continue to be available for use by Parcel Two per the existing Parking Agreement. This project also includes a Variance as discussed below.

DISCUSSION

The proposal includes interior remodeling, adding a mezzanine area for office use, equipment platforms in each of the buildings, restriping the parking lot, adding a new trash enclosure, adding a sidewalk and other site improvements. The footprint of the existing buildings would not change. Parcel One does not have any parking and would require an off-site parking permit to utilize the parking on Parcel Three to provide the required 32 parking spaces for the proposed heavy industrial use. Per Section 18.86.040, off-site parking permits shall be granted administratively by the Zoning Administrator. With the new requirement to add a sidewalk along the project frontage and improve Fire access, the proposal will be short of the required parking by six spaces and would require a parking variance. Additionally, the project proposal includes a variance request for the required front setback and landscaping in the Heavy Industrial Zoning district for Parcel One as the existing building is built to the property line and a variance for required landscaping for Parcel Three to accommodate the new sidewalk. The project was reviewed by applicable City departments at the Project Clearance Committee meeting on May 23, 2023. The property owner has worked with the City departments to develop a phased approach for the construction of the project and appropriate conditions of approval have been added (Attachment 3).

General Plan Conformance

The land use designation for site is currently Heavy Industrial that allows primarily manufacturing, refining, warehouse and distribution, and similar activities. Therefore, the proposed Rezoning from Planned Development (PD) to Heavy Industrial (MH) will be consistent with the General Plan. Further, the proposed project is consistent with existing General Plan Policies as follows:

General Land Use Policies

- 5.3.1-P8: Work with property owners to improve or redevelop underutilized and vacant properties.
- 5.3.1-P9: Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

The project would revamp the vacant and underutilized property by locating a new Quality Metal Spinning business. The project site is located in an urban environment surrounded by primarily industrial uses and is served by existing public services, facilities, infrastructure, and amenities. The proposal will make necessary infrastructure upgrades to serve the new use.

Office and Industrial Land Use Policies

- 5.3.5 P1 Work with existing Santa Clara businesses to retain and expand employment opportunities and strengthen the existing tax base.
- 5.3.5-P11 Construct sidewalks in industrial areas, with priority along streets served by existing or planned transit services.
- 5.3.5-P16 Protect the industrial land use designations from incompatible uses in order to maintain the City's strong fiscal health and quality services that are supported by new businesses and technologies and retention of well established existing businesses.

The proposed business would have up to 35 employees, providing employment opportunities in Santa Clara. The project has a condition of approval to construct a sidewalk along Mathew Street. The proposed heavy industrial use will be consistent with the industrial land use designation for the parcel.

Zoning Conformance

The project site is zoned PD with specific conditions of approval restricting the use of Parcel One to warehouse use or a soccer recreational facility. The proposed rezone to MH from PD would allow for heavy industrial use, which was the original use at this site. The project site consists of two parcels (224-03-086 and 224-03-000) that will meet all the regulations listed in Chapter 18.50 Heavy Industrial Zoning District except the required front setback and landscaping. The MH Zoning district requires a front setback of 15 feet and a minimum of ten feet of the required front yard to be maintained as open landscape area. The existing buildings on 'Parcel One' (700 Mathew Street; 224-03-086) are constructed with zero front setback and do not provide the required landscaping. Similarly, 'Parcel Three' does not meet the ten feet landscaping requirement of the MH zoning district. The proposal includes a request for a variance from Sections 18.50.080 Front Setback and 18.50.120(a) Landscaping of the zoning code.

The project site will be accessed through a 26-foot wide circular driveway. A five-foot wide sidewalk meandering around the existing transmission poles will be constructed along the project frontage along Mathew Street behind the existing landscaping fronting the site. Per Section 18.74.020(h)(3) (A), the proposed use will require 32 parking spaces at a ratio of 1 space per 1,500 square feet of floor area. The project provides 26 parking spaces and would therefore require a Variance for Parking.

Variance Request

In order to grant a Variance, the Planning Commission must make the findings listed in the Zoning Code (SCCC Section 18.108.040). The Zoning Code limits granting of Variances to situations where the peculiar physical characteristics of a site would make it difficult to develop consistent with standard regulations. A Variance may be granted in order to enable the development of a disadvantaged property at the equivalent level of use enjoyed by nearby properties in the same zone. The subject site has an unusual condition in that the Rezoning and Tentative Map approval in 2005

created a substandard condition for front setback and landscaping in that the building on Parcel One is built at the front property line thereby not allowing for a setback or landscaping. Additionally, the existing buildings were constructed in the 70's with reduced parking. The proposed use would repurpose the existing industrial site and the variance is necessary for the preservation and enjoyment of the substantial property rights of the owner.

The Variance is recommended for approval by the Planning Commission, but would only become effective in the event that the City Council approves the proposed rezoning. If the City Council declines to approve the rezoning, the Variance resolution will be null and void. If the City Council approves the rezoning, then the Variance resolution shall become effective on the effective date of the rezoning.

Conclusion

The project site is located in a heavy industrial neighborhood originally zoned MH and developed with industrial buildings and uses. Therefore, the proposed project to rezone the property to MH meets the purpose and intent of the Zoning Code and is in conformance with the General Plan designation of Heavy Industrial.

ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the California Environmental Quality Act ("CEQA") per CEQA Guidelines section 15301 (Class 1 - "Existing Facilities"), because the proposal involves interior remodel and exterior modifications to the site without expanding the existing buildings.

FISCAL IMPACT

There is no fiscal impact to the City for processing the requested application other than administrative time and expense typically covered by processing fees paid by the applicant.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

On June 1, 2023, a notice of public hearing on this item was posted in three conspicuous locations within 300 feet of the project site and mailed to property owners within 300 feet of the project site. At the time of this staff report, Planning staff has not received public comments in support or opposition to the proposed project.

RECOMMENDATION

1. Approve the use of the Class I Categorical Exemption per Section 15301, Existing Facilities of the CEQA Guidelines;
2. Adopt a resolution approving the Variance for front setback, landscaping, and parking, including the required findings; and
3. Adopt a resolution recommending City Council approve the Rezone from Planned Development (PD) to Heavy Industrial (MH) for the property located at 700 Mathew Street, subject to conditions of approval.

Prepared by: Nimisha Agrawal, Senior Planner

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Resolution recommending approval for Rezone
2. Resolution approving the Variance
3. Conditions of Approval
4. Applicant Statement of Justification and Operational Plan
5. Development Plans

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE A REZONING FROM PLANNED DEVELOPMENT (PD) TO HEAVY INDUSTRIAL (MH) TO ALLOW THE PROPOSED USE OF HEAVY INDUSTRIAL AT 700 MATHEW STREET, SANTA CLARA

(File No. PLN23-00054- Rezoning and Variance)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on February 16, 2023, Brian Brown with HPC Architecture (“Applicant”), on behalf of Andrew Czisch with QMS Shields (“Owner”) filed an application (PLN23-00054) for the 64,989 square foot site consisting of two contiguous parcels (APN: 224-03-086 and 224-03-000) located at 700 Mathew Street with a surface parking lot and two one-story industrial buildings totaling 38,535 square feet (“Project Site”);

WHEREAS, the General Plan land use designation for the Project Site is Heavy Industrial, and it is zoned Planned Development (PD);

WHEREAS, the Project Site is developed with two industrial buildings that were previously occupied by a recreation business, ‘Off the Wall Soccer’, warehouse, and surface parking;

WHEREAS, the Property Owner applied to rezone the Project Site from Planned Development (PD) to Heavy Industrial (MH) to allow the existing buildings to be used for a heavy industrial business (“Project”) as shown on the development plans, attached hereto and incorporated herein by reference;

WHEREAS, the Project is Categorically Exempt from formal environmental review per Section 15301, Class 1 “Existing Facilities” of the Guidelines of the California Environmental Quality Act (“CEQA”), which applies to small additions and minor modifications to existing facilities. Here the proposal involves a small mezzanine addition inside the building without changing the building footprint and site improvements, and would have negligible effects on the environment;

WHEREAS, on June 1, 2023, the notice of meeting date for this item was posted in three conspicuous locations within 300 feet of the Project Site and mailed to property owners within a 300 foot radius of the Project Site for the Planning Commission hearing on June 14, 2023; and,

WHEREAS, on June 14, 2023, the Planning Commission held a duly noticed public hearing to consider the Variance application, during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the proposed Project.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby recommends that the City Council rezone the Project Site from Planned Development (PD) to Heavy Industrial (MH) to allow the existing buildings on the project site to be used for a heavy industrial business; as depicted on the attached Illustration Plan, incorporated herein by this reference.

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3. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A SPECIAL MEETING THEREOF HELD ON THE 14th DAY OF JUNE 2023, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:
1. Development Plans

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, APPROVING A VARIANCE FOR THE FRONT SETBACK, REQUIRED LANDSCAPING AND PARKING TO ALLOW THE PROPOSED USE OF HEAVY INDUSTRIAL AT 700 MATHEW STREET, SANTA CLARA

(File No. PLN23-00054- Rezoning and Variance)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on February 16, 2023, Brian Brown with HPC Architecture (“Applicant”), on behalf of Andrew Czisch with QMS Shields (“Owner”) filed an application (PLN23-00054) requesting a Variance for the property located at 700 Mathew Street (APN: 224-03-086 and 224-03-000) (“Project Site”) in the City of Santa Clara;

WHEREAS, the General Plan land use designation for the Project Site is Santa Clara Station Heavy Industrial;

WHEREAS, the Project Site is zoned Planned Development (PD);

WHEREAS, the Project Site is developed with two industrial buildings that were previously occupied with a recreation business, ‘Off the Wall Soccer’, warehouse and surface parking;

WHEREAS, the Property Owner has submitted an application for a Variance (“Project”) to Section 18.50.080 of the City Code to allow a zero front setback, where 15 feet is required, a Variance to Section 18.50.120(a) of the City Code’s landscaping requirement for the first minimum of ten feet of the required front yard to be maintained as open landscape area, and a Variance from Section 18.74.020(h)(3)(A) of the City Code for reduced parking of 26 spaces where 32 parking spaces are required to allow the existing buildings to be used for a heavy industrial business;

WHEREAS, the Project is Categorically Exempt from formal environmental review per Section 15301, Class 1 “Existing Facilities” of the Guidelines of the California Environmental Quality Act (“CEQA”), which applies to small additions and minor modifications to existing facilities. Here the

proposal involves a small mezzanine addition inside the building without changing the building footprint and site improvements and would have negligible effects on the environment;

WHEREAS, on June 1, 2023, the notice of meeting date for this item was posted in three conspicuous locations within 300 feet of the Project Site and mailed to property owners within a 300 foot radius of the Project Site for the Planning Commission hearing on June 14, 2023; and,

WHEREAS, on June 14, 2023, the Planning Commission held a duly noticed public hearing to consider the Variance application, during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the proposed Variance.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. That the Planning Commission hereby approves the Variance to the Heavy Industrial (MH) zoning regulations and parking regulations to allow the existing buildings on the project site to be used for a heavy industrial business; as depicted on the attached Illustration Plan and subject to the attached Conditions of Approval, all of which are incorporated herein by this reference.

3. That pursuant to SCCC Section 18.108.040, the Planning Commission hereby makes the following findings related to the Variance request:

A. That there are special conditions and extraordinary circumstances applicable to the property involved or its intended uses and which were not created by the owner or his/her tenant, in that the Rezoning and Tentative Map approval in 2005 for the project site created a substandard condition for front setback and landscaping, and that a parking variance was also approved at that time.

B. That the granting of the Variance is necessary for the preservation and enjoyment of substantial property rights of the petitioner, in that it would allow the rehabilitation of the existing

underutilized site that is almost fully built out by existing buildings and is significantly constraint in the approved use of recreation soccer or warehouse through the PD approval.

C. That literal enforcement of the provisions of the Heavy Industrial Zoning district and parking regulations would result in unnecessary hardship inconsistent with the spirit and intent of the zoning code, in that the project utilizes the existing footprint of the industrial buildings to establish a heavy industrial business consistent with the General Plan land use designation of Heavy Industrial.

D. That the granting of such Variance shall not, under the circumstances of the particular case, materially affect adversely the health, safety, peace, comfort or general welfare of persons residing or working in the neighborhood of the applicant's property, and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood, in that the proposal would allow the adaptive reuse of the existing vacant industrial buildings, site improvements and better connectivity to the neighborhood.

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4. Effective date. This project comprises two entitlements: the variance approved by this resolution, and a separate rezoning to be approved by the City Council. This resolution shall become effective only in the event that the City Council approves that rezoning. If the City Council declines to approve the rezoning, this resolution shall be null and void. If the City Council approves the rezoning, then this resolution shall become effective on the effective date of the rezoning.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A SPECIAL MEETING THEREOF HELD ON THE 14th DAY OF JUNE 2023, BY THE FOLLOWING VOTE:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:
1. Conditions of Approval
2. Development Plans

CONDITIONS OF APPROVAL

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
 - a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD2. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
 - <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD3. No construction code review or analysis is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.
 - During construction retaining a single company to install all fire rated penetrations is highly recommended.
 - The grade level lobbies shall be min.1 hour rated all sides and above.
 - All stair shafts shall be min. 1 hour rated.
 - All elevator shafts shall be min. 1 hour rated.
 - All trash chute shafts shall be min. 1 hour rated.

- Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
 - Any trash rooms shall be min. 1 hour rated all sides and above.
- BD4. The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- BD5. Temporary Certificates of Occupancy will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.
- BD6. See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.

PLANNING DIVISION

- P1. Any modification to the approved statement of operations shall require an amendment to the use permit subject to Planning Commission review and approval prior to commencement of any new or modified business operation.
- P2. Any new or existing lighting shall be adequately addressed in the interest of safety and sensitivity to nearby properties.
- P3. The existing landscape cover shall be maintained and supplemented with new ground cover/plants matching the existing. Additionally, the existing irrigation system shall be maintained, and necessary repairs shall be made to help sustain the ground cover on the property.
- P4. The business owner shall be responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P5. Rooftop equipment, if any, shall be screened.
- P6. Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- P7. Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to site plans, floor plans, elevations, landscaping, lighting and signage. Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Planning and Inspection. Lighting details shall be provided as part of the Architectural Review for the project and shall be designed and maintained to avoid light trespass and reflect away from residential properties and public streets.
- P8. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P9. Provide trash enclosure, the location and design of which shall be approved by the Director of Planning and Inspection prior to issuance of any building permits. Commercial, industrial, and multi-family residential buildings must have enclosures for solid waste and recycling containers. The size and shape of the enclosure(s) must be adequate to serve the estimated solid waste and recycling needs and size of the building(s) onsite and should be designed and located on the property so as to allow ease of access by collection vehicles. As a general rule, the size of the enclosure(s) for the recycling containers should be similar to the size of the trash enclosure(s) provided onsite. Roofed enclosures

- with masonry walls and solid metal gates are the preferred design.
- P10. Use shall operate in a manner such that it does not create a public or private nuisance.

FIRE

- F1. Prior to Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup:
- a. Department of Toxic Substances Control (DTSC);
 - b. State Water Resources Control Board; or
 - c. Santa Clara County, Department of Environmental Health.
 - d. If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.
- F2. Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement is required to be submitted and reviewed.
- F3. Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.
- F4. Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F5. Prior to Building Permit Issuance, a separate construction permit for fire hydrants shall be obtained from the fire department. The required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants will be required.
- F6. Prior to the issuance of the Building Permit, a construction permit from the fire department apparatus access roads is required to be submitted for review and approval. Roadways must be provided to comply with all the following requirements:
- a. Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the "entire" face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been agreed to during the planning stage. A formal alternate means permit is needed to document that and needs to be submitted concurrently with the Building Plans.
 - b. The parking garage fire department drive-thru shall have a minimum vertical clearance of not less than 16 feet. For all other areas, the "minimum" unobstructed vertical clearance shall not be less than 13 feet 6 inches.
 - c. The "minimum" width of aerial roadways for aerial apparatus is 26 feet.

- d. The minimum inside turning radius shall be 30 feet, and minimum outside of 56 feet.
 - e. The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building.
 - f. Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
 - g. Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
 - h. Trees at full development must not exceed 30’ in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access. Exception: Existing Redwoods trees around the perimeter of the proposed parking garage.
 - i. Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.
 - j. Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.
 - k. Prior to Building Permit Issuance, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F7. Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed and approved during the PCC process. The AMM permit is formally documenting that and still needs to be submitted. Conversely, mitigation methods may have not been specified during the PCC process in which case the AMM permit will be evaluated at the Building Permit phase. Due to this building being a change of occupancy, any alternate means permit approved will need to have any mitigation methods completed before occupancy of the building.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.

- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. Construct minimum 5' ADA compliant sidewalk and driveways along entire frontage.
- E5. Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E6. Dedicate new public utility easement and vacate existing public utility easement so there is no encroachment of existing building into easement.
- E7. Submit Vehicle Miles Travel and vehicle trip calculations in accordance with the City transportation policy <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/engineering/traffic-engineering/transportation-analysis-policy-update>
- E8. Landscape improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- E9. All on-site structures must be clear of Driveway Visibility Clearance Areas per City Standard Detail TR-9.
- E10. Trash collection shall be conducted on-site.
- E11. Design and construct minimum 5-foot wide sidewalk along project frontage. A minimum 4-foot clearance around obstructions in sidewalk is required.
- E12. Design and construct driveway in accordance with City Standard Detail ST-8.
- E13. Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction
- E14. Bicycle parking shall be 2 Class I spaces (1 per 20 employees) and 10 Class II spaces (1 per 5,000 s.f.) per VTA Bicycle Technical Guidelines.
- E15. Class I and Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.

STREETS DIVISION

Right of Way Landscape

- L1. Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. No removal or cutting of any part of **trees in the ROW**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).
- L3. Trees that are removed from City ROW are subject to a 2:1 replacement. If replacement ratio can't be met, a tree planting fee shall be paid by the developer.
- L4. Identified existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L5. All approved landscaping shall be maintained by the development.

Solid Waste

- SW1. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@SantaClaraCA.gov or (408) 615-3080 for more information.
- SW2. The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines.

- SW3. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.
- SW5. This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW6. This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.
- SW7. All refuse from all residential, commercial, industrial and institutional properties within the city shall be collected at least once a week, unless otherwise approved in writing (SCCC 8.25.120). All project shall submit to the Public Works Department the preliminary refuse service level assessment for approval.

Stormwater

- ST1. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the [SCVURPPP Countywide Construction BMPs Plan Sheet](#) with the plans.
- ST2. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST3. Full Trash capture devices shall be installed in any site drain that is not part of a stormwater bioretention treatment area that connects to the City's stormdrain system. Devices installed shall meet the State Water Resources Control Board standard and manufacturer and type shall be chosen from the [State Water Resources Control Board's Certified Full Capture System List of Trash Treatment Control Devices](#).
- ST4. Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST5. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST6. All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.
- ST7. The use of architectural copper is discouraged. If such material is used, all wastewater generated by the installation, cleaning, treating, or washing of the surface of copper architectural features, including copper roofs, shall not be discharged to the City's storm drain system.

SILICON VALLEY POWER

- SVP1. Applicant has a separate permit BLD22-65860 for the electrical upgrades to this building. As part of this permit a developers work drawing will be require for new conduits/infrastructure along the frontage. This may be completed with an SVP estimator or through the applicant design process. Please reach out to your key customer representative "Ashley Sterling <ASterling@SantaClaraCA.gov>" if you wish to proceed with the applicant design process.

- SVP2. Loads for the parcel are not to exceed 2.5MVA cumulatively between the two services.
- SVP3. Clearances: **(Make sure job notes do not conflict with SVP clearance requirements)**
- a. EQUIPMENT
 - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
 - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
 - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
 - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
 1. Thirty (30) inches from side of equipment sides.
 2. Forty Eight (48) inches in front of access doors.
 - a. Barrier Pipes in front of access doors shall be removable.
 - b. CONDUITS
 - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
 - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
 - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
 - iv. Three (3) foot minimum clearance is required between sign posts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
 - v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
 - vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
 - vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
 - c. VAULTS/MANHOLES
 - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
 - ii. Five (5) foot minimum clearance is required between adjacent conduits.
 - iii. Minimum 36" from face of curb, or bollards required.
 - d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
 - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
 - e. Guy Anchors
 - i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).
 - f. Trees
 - i. OH 1230 for Overhead Lines
 - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- SVP4. Reference listed SVP standards for clearances.
- a. Installation of Underground Substructures by Developers
 - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 – Remote Switch Pad
 - d. OH1230 – Tree Clearances From Overhead Electric Lines
 - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities

- SVP5. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a "Load Survey" form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a "Service Investigation Form" and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- SVP6. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- SVP7. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- SVP8. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- SVP9. Underground service entrance conduits and conductors shall be "privately" owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP10. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP11. If the "legal description" (not "marketing description") of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have it's own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- SVP12. If transformer pads are required, City Electric Department requires an area of 17' x 16'-2", which is clear of all utilities, trees, walls, etc. This area includes a 5'-0" area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8'-0" apron to a 3'-0", providing the apron is back of a 5'-0" min. wide sidewalk. Transformer pad must be a minimum of 10'-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- SVP13. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE's or electric easements.
- SVP14. Any relocation of existing electric facilities shall be at Developer's expense.
- SVP15. Electric Load Increase fees may be applicable.
- SVP16. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).
- SVP17. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- SVP18. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans.

Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

- SVP19. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- SVP20. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publically-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1' clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- SVP21. Proper clearance must be maintained from all SVP facilities, including a 5' clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- SVP22. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.
- SVP23. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- SVP24. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.
- SVP25. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- SVP26. High Rise Metering and Multi-Floor Infrastructure Requirements
- a. Refer to UG0250 – High Density Residential Metering Requirements
 - b. Refer to FO-1901 – Fiber Optic Splicing and Testing Methods
- SVP27. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”), and cannot be supported on parking garage ceilings or placed on top of structures.
- SVP28. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.
- SVP29. In events where electric load demand exceeds 2MVA or service size exceeds 4000 Amps at 480V for a building, the Customer shall take service at 12KV. If electric load for a single metered location service exceeds 4.5MVA, additional 12KV service(s) may be provided. All 12KV utility connection points terminate at the Customer Switchgear. UGEE easement up to the Customer Switchgear is required, along with an 18' drivable space. 10' working clearance is required in front of and behind the switchgear. 5' working clearance is required on the sides of the switchgear (with no panels). Customer 12KV Switchgear must be located outdoors on “real dirt” unless otherwise agreed upon with SVP. SVP owns and maintains the cable/conduit up to the customer switchgear.
- SVP30. In events where electric service is provided at 120/208V or 277/480V the utility connection point is at the secondary compartment of SVP transformers. Customer owns and maintains the cable and conduits up to the SVP transformers.

SVP31. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

WATER & SEWER

Conditions that are to be met with Phase 0

W1. Upgrade Fire Service Backflows: All existing backflows for all fire services that will remain shall be upgraded to meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.

Conditions that are to be met with Phase 1

W2. City Standard Meters and Backflows: All remaining meters and backflows for all water services that will remain but have not been upgraded shall be upgraded to meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.

W3. Recycled Water Use: Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City's existing Recycled Water System.

W4. Recycled Water Design: Each Recycled Water land use (irrigation, dual-plumbing, cooling system, industrial processes, etc.) shall have a separate metered service connection to the main. Applicant shall verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.

W5. Onsite Recycled Water Review: The applicant shall submit all completed SBWR Proposed Use Request Applications to the Compliance Division of Water and Sewer Utilities at watercompliance@santaclaraca.gov for review and approval. All on-site recycled water plans shall be reviewed, approved, and signed by the City of Santa Clara, SBWR, and Department of Drinking Water. All three entities must individually review and approve a plan set for Final Approval. Contact the Compliance Division of Water and Sewer Utilities via email or by phone at (408) 615-2002 for more information.

W6. On-site Recycled Water Construction: Construction and installation of all on-site recycled water system equipment shall not begin until the Compliance Division of Water and Sewer Utilities has approved the on-site recycled water design. Please note on-site designs are generally not the same as the Building Permit plans. On-site recycled water plans require SBWR and California State Water Resources Control Board, Division of Drinking Water signatures for final approval.

W7. On-site Recycled Water Inspection: Inspections are required at all on-site recycled water systems being installed prior to backfilling trenches or cover in walls and ceilings. Request a recycled water inspection by email watercompliance@santaclaraca.gov or call (408) 615-2002. Please provide the site location, SBWR project ID, and date and time preferences. These inspections are in addition to the Building Permit inspections.

- a. Need to verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.

Conditions that are to be met with all Phases

W8. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.

W9. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details.

Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.

- W10. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W11. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W12. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. All existing meters and backflows for all water services that will remain shall be upgraded to meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W13. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If existing services will be used, all existing meters and backflow devices shall be upgraded to meet current City standards. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W14. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W15. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W16. Landscaping: All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be California native, non-invasive, low water-using or moderate water-using. High water-using plants and nonfunctional turf are prohibited.
- W17. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features shall be permanently connected to the City's recycled water supply.

- W18. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W19. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W20. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W21. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation

QMS Owner's Operation Summary

QMS – Quality Metal Spinning and Machining, Inc. is a sheet metal forming and CNC machining company which primarily manufactures machined products delivered on a contractual basis.

The property at 700 Mathew St. will be an expansion to the company's current operations and will primarily support high volume / low mix production on machines with a large degree of automation. This automation allows for a reduced workforce when compared to traditional manufacturing methods.

There are two major manufacturing processes utilized for our production – Metal Spinning and CNC routing. The metal spinning process transforms sheet metal into round cylindrical shaped products. The CNC machining process is utilized for traditional “subtractive routing” of billet materials and further processing of the formed sheet metal into finished products.

The equipment utilized onsite includes metal spinning lathes and various CNC support equipment (laser cutting, milling and inspection equipment). Additional operational support includes air compressors, welding, deburring, ultrasonic cleaning and degreasing, forklifts, material handling, automated storage and vending equipment. The primary raw materials processed include aluminum, stainless steel and brass as well as other common materials and alloys.

Our operations do not require any high hazard materials. All chemicals used onsite are primarily standard lubricants for the equipment, mild degreasing and cleaning supplies, glycol and compressed gases (oxygen, argon, nitrogen and propane) - all well below the MAQ for this building type. The primary uses of the compressed gases are for shielding-gas for welding, laser cutting and packaging, and process heating for the metal spinning production process.

PHASE '0' (August 2023 – February 2024):

This first phase will be limited to setup for the production line to deliver on a time-critical contract. The scope will require limited TI work with no alteration to the footprint or floorspace of the buildings. TI modifications including large openings in the exterior to bring in equipment and raw materials, a remodel of an existing space into a quality control room, repair/replacement of the existing floor inside the building, and an electrical service upgrade which is already in process thru an existing permit (submitted on 6/24/2022 - currently in review with SVP).

Footings for future equipment platforms and mezzanines will also be added at the owner's risk with the hope of acquiring entitlement to build those structures at a future date under a separate permit. The work area in this phase would be limited to approximately half of building A and all of Building B. This would allow the company to start bringing in revenue from the property which is required to continue any additional development.

PHASE '1' (May 2024 – November 2024):

This next phase would bring in additional equipment and utilize the remainder floorspace for both Building A and Building B. Further repair/ replacement of the floor in the building would be required along with new engineered footings for future equipment platforms and mezzanines.

PHASE '2' (March 2027 – September 2027):

This subsequent phase would include the buildout of the elevated equipment platforms, mezzanines, recessed truck dock in Building B, additional restroom facilities and additional second floor office space. Office space would remain at/under 10% of the floorspace of the property.

STAFFING:

The company aims to run a 24-hour operation with the bulk of the employees working during the day, and a limited night shift primarily monitoring the automated equipment. The split would be roughly 70% to 80% of the employees working during the day with the remainder working the night shift. Day shift is generally from 6AM – 8PM with employees staggering the start times of their standard 8-hour workdays based upon specific responsibilities. Second shift would be 6PM – 8AM again with staggered start times.

Phase 0 would require approximately 8 employees split between the two shifts.

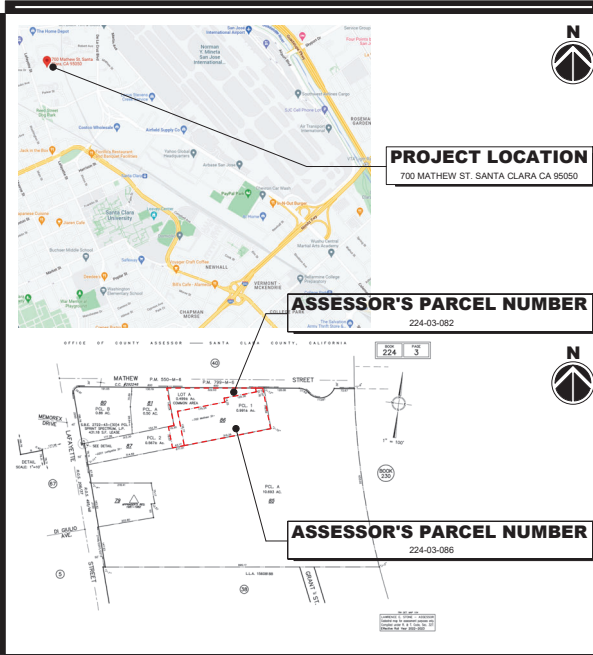
Phase 1 would increase to 16 employees.

Phase 2 would potentially increase to 20 employees, up to a max of 35 employees.

RE-ZONING PERMIT FOR



700 MATHEW ST,
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PROJECT DATA

TOTAL SITE AREA	64,898 S.F.
EXISTING BUILDING AREA	BUILDING A: 22,032 S.F. B: 16,503 S.F.
EXISTING USE	INDOOR SOCCER FACILITY
PROPOSED BUILDING AREA	BUILDING A: 23,623 S.F. B: 34,062 S.F.
PROPOSED USE	HEAVY MANUFACTURING
LOT COVERAGE	59.8%
OCCUPANCY	B, F-1
NUMBER OF PROPOSED STORIES	2
MAX HEIGHT	35' - 0"
CONSTRUCTION TYPE	BUILDING A: V-A BUILDING B: V-A
FIRE SPRINKLERED	YES

ALLOWABLE AREA ANALYSIS

AREA:	BUILDING A: 23,623 S.F.
	BUILDING B: 24,062 S.F.
BUILDING TYPE:	BUILDING A: V-A WITH SPRINKLERS BUILDING B: V-A WITH SPRINKLERS
BUILDING ALLOWABLE STORIES:	BUILDING A: 3 BUILDING B: 2
ALLOWABLE AREA:	BUILDING A: 42,000 S.F. BUILDING B: 42,000 S.F.
AREA	BUILDING A 23,623 S.F. < 42,000 S.F. ALLOWABLE BUILDING B 24,062 S.F. < 25,500 S.F. ALLOWABLE

SHEET INDEX

ARCHITECTURAL
 PL0 COVER SHEET
 PL1-0 PHASING SITE PLAN
 PL1-1 EXISTING SITE PLAN
 PL2 PROPOSED SITE PLAN
 PL3 FLOOR PLANS EXISTING
 PL4-1 FLOOR PLANS PROPOSED - PHASE 0
 PL4-2 FLOOR PLANS PROPOSED - PHASE 1
 PL4-3 FLOOR PLANS PROPOSED - PHASE 2
 PL5 ELEVATIONS
 PL6 EXISTING AND PROPOSED RENDERINGS
 PL7 EXTERIOR IMAGES & PROPOSED RENDERINGS

FIRE PROTECTION RESPONSE
 FP1-0 PROPOSED SITE ACCESS IMPROVEMENTS
 FP1-1 EXISTING STANDPIPES AND PROPOSED ROOF ACCESS

CIVIL
 C1-0 EXISTING CONDITIONS & DEMO PLAN
 C2-0 GRADING, DRAINAGE, & UTILITY PLAN
 C2-1 GRADING, DRAINAGE & UTILITY PLAN
 C3-0 STORMWATER CONTROL PLAN

ELECTRICAL
 ED-0 ELECTRICAL GENERAL INFORMATION
 E1-0S ELECTRICAL SITE PLAN
 E5-0 ELECTRICAL ONE LINE DIAGRAM
 E5-0 ELECTRICAL LOAD CALCULATION

LANDSCAPE
 L-1 LANDSCAPE PLAN
 L-2 PROPOSED LANDSCAPE PLAN

SCOPE OF WORK

Re-zoning application for existing adjacent buildings. Use to be changed from indoor soccer facility to automated metal fabrication facility for production of high precision metal components. Use will include shipping and receiving of production materials and completed fabrication products.

Scope of work to include demolition of interior asphaltic flooring to be replaced with concrete interior flooring and seismically separated foundations for large-format metal shaping tools. Scope also includes remodeling/expansion of interior 2-story office area. Both buildings will have a new elevated equipment platform within the open warehouse for tool installation and maintenance access.

PROJECT REPRESENTATIVES

OWNER Quality Metal Spinning & Machining, Inc. 4047 Transport St. Palo Alto, CA 94303	Contact: Andrew Czisch E-mail: andrew@qmsshields.com Phone: (650) 858-2491
ARCHITECT tpc Architecture, Inc. 225 N. Market Street, Suite 255 San Jose, CA 95110	Contact: Brian Brown E-mail: bbrown@tpc-arch.com Phone: (408) 297-5454 Direct: (408) 675-1782
CIVIL JMFI Weiss, Inc. 1731 Technology Drive, Suite 880 San Jose, CA 95110	Contact: Nicholas Brown E-mail: nbrown@jmfiweiss.com Phone: (408) 286-4555
LANDSCAPE RW Stover & Associates, Inc. 1620 North Main Street, Suite 4 Walnut Creek, CA 94596	Contact: Rick Stover E-mail: rstover@rwea.com Phone: (925) 933-2983, ext 105
ELECTRICAL (For Reference Only) Serrano Electric, Inc. 15920 Concord Cir. Morgan Hill, CA 95037	Contact: Dave Haney E-mail: Dave@serranoelectric.com Phone: (408) 968-1570, ext 109

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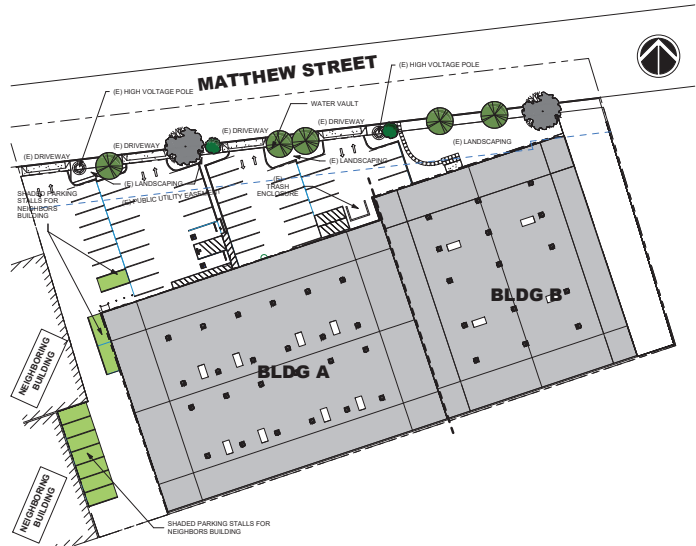
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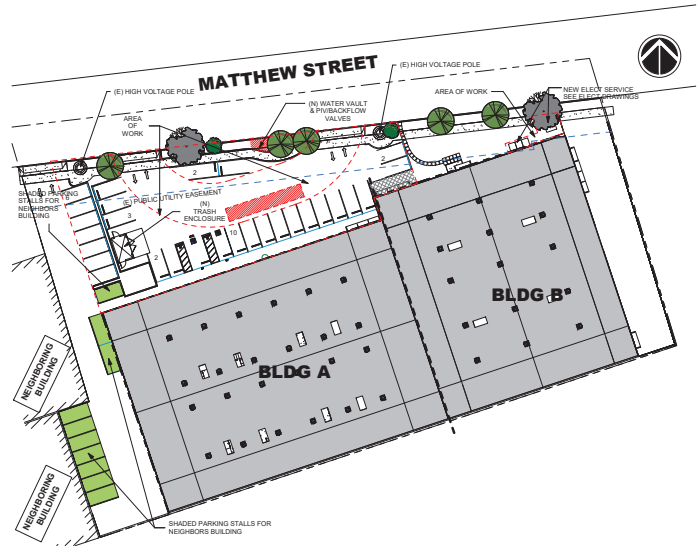


1 Phased Site Plan - Existing

SCALE: 1" = 30'-0"

EXISTING SITE NOTES:

- PENDING WORK FOR POWER UPGRADE TO BUILDING 'A' AND 'B'
- EXISTING FIRE SPRINKLER SYSTEMS FOR BUILDINGS ON SITE ARE CONSIDERED EXISTING NON-CONFORMING
- EXISTING CITY-APPROVED EVA ACCESS PLAN FOR CURRENT SITE IS NON COMPLIANT WITH CURRENT SC FIRE CODE REQUIREMENTS
- ZONING IS CURRENTLY PD WITH APPROVED USES OF:
 - INDOOR SOCCER TRAINING FACILITY
 - WAREHOUSE

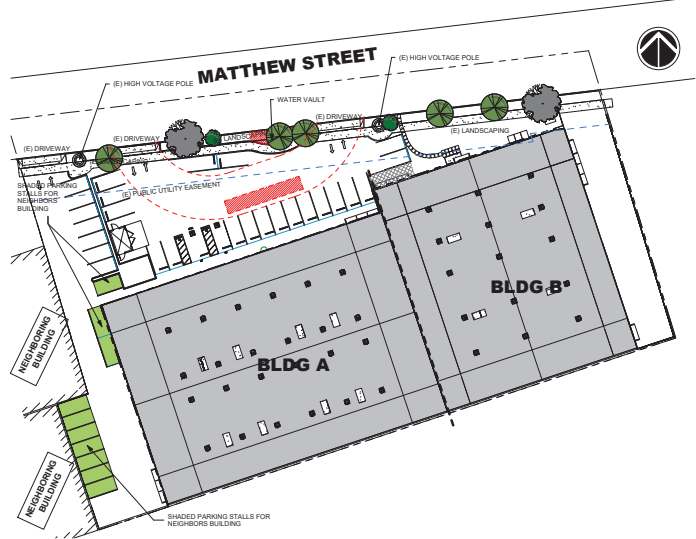


2 Phased Site Plan - Phase Zero

SCALE: 1" = 30'-0"

PHASE ZERO SITE NOTES:

- POWER UPGRADE TO BUILDING 'A' AND 'B' WILL BE CONCURRENT WITH PHASE ZERO WORK
- UPGRADED EVAE TO MEET WITH PROPOSED IMPROVEMENTS. SEE SHEET FP1.0
- PN AND FOC CONNECTIONS FOR BOTH BUILDING 'A' AND 'B' TO BE SEPARATED, INCLUDING INTERIOR FIRE SPRINKLER SYSTEM
- NEW TRASH ENCLOSURE
- EXTERIOR ROLL-UP DOORS SHALL BE ADDED DURING THIS PHASE
- NEW 5'-0" PUBLIC R.O.W. TO BE ADDED ALONG FRONTAGE OF MATHEW STREET

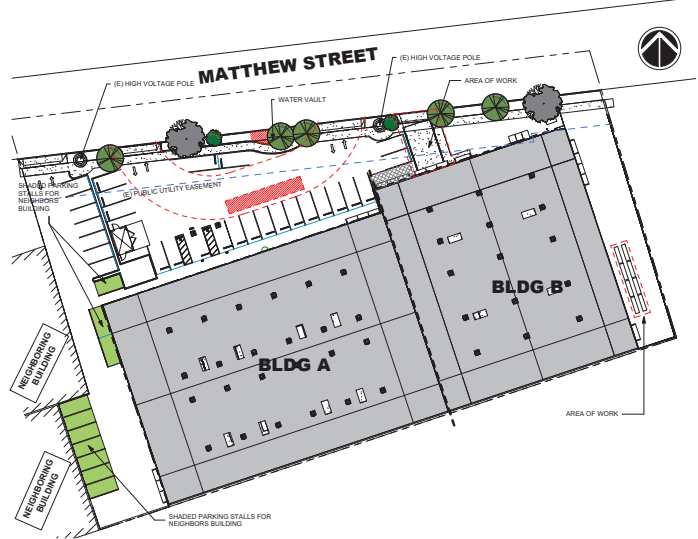


3 Phased Site Plan - Phase One

SCALE: 1" = 30'-0"

PHASE ONE SITE NOTES:

- NO SITE IMPROVEMENTS PLANNED FOR THIS PHASE



4 Phased Site Plan - Phase Two

SCALE: 1" = 30'-0"

PHASE TWO SITE NOTES:

- TRUCK DOCK ADDED TO THIS PHASE AS PART OF SHIPPING/RECEIVING BUILD OUT FOR PHASE 2
- NEW HVAC EQUIPMENT PLACED IN EAST YARD (POTENTIAL ALTERNATE PLACEMENT ONTO ROOF - REQUIRES STRUCTURAL UPGRADE)

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Scale	1" = 30'-0"

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PL1-0

SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

PARKING COUNTS

USE	PARKING REQUIRED		Parking Schedule - EXISTING	
	RATIO	AREA	REQUIRED	Count
INDOOR SOCCER OFFICE	12000	34,605 SF	18	Accessible Space - Standard 2
	1300	4,031 SF	14	Parking Space 39
	Total SF: 38,536	TOTAL	32	Grand total: 41

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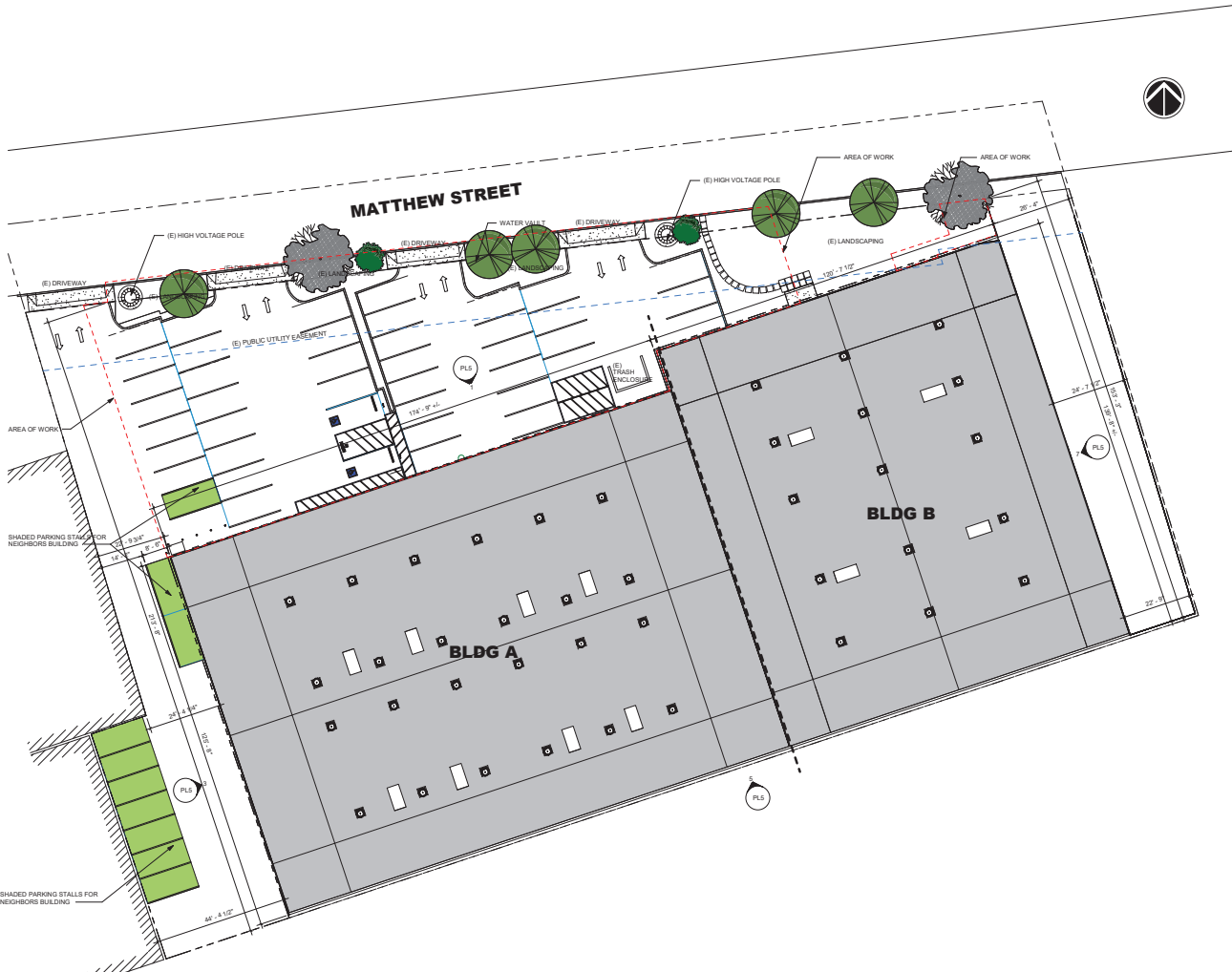
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PL1-1



1 Site - Existing
 SCALE: 1/16" = 1'-0"

SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

PARKING COUNTS

PARKING REQUIRED				PARKING PROPOSED	
USE	RATIO	AREA	REQUIRED	TYPE	COUNT
HEAVY MANUFACTURING	1:15000	47,648 SF	32	ACCESSIBLE SPACE - VAN	1
				ACCESSIBLE SPACE - STANDARD	1
				PARKING SPACE	28
TOTAL			32	TOTAL PROVIDED	28

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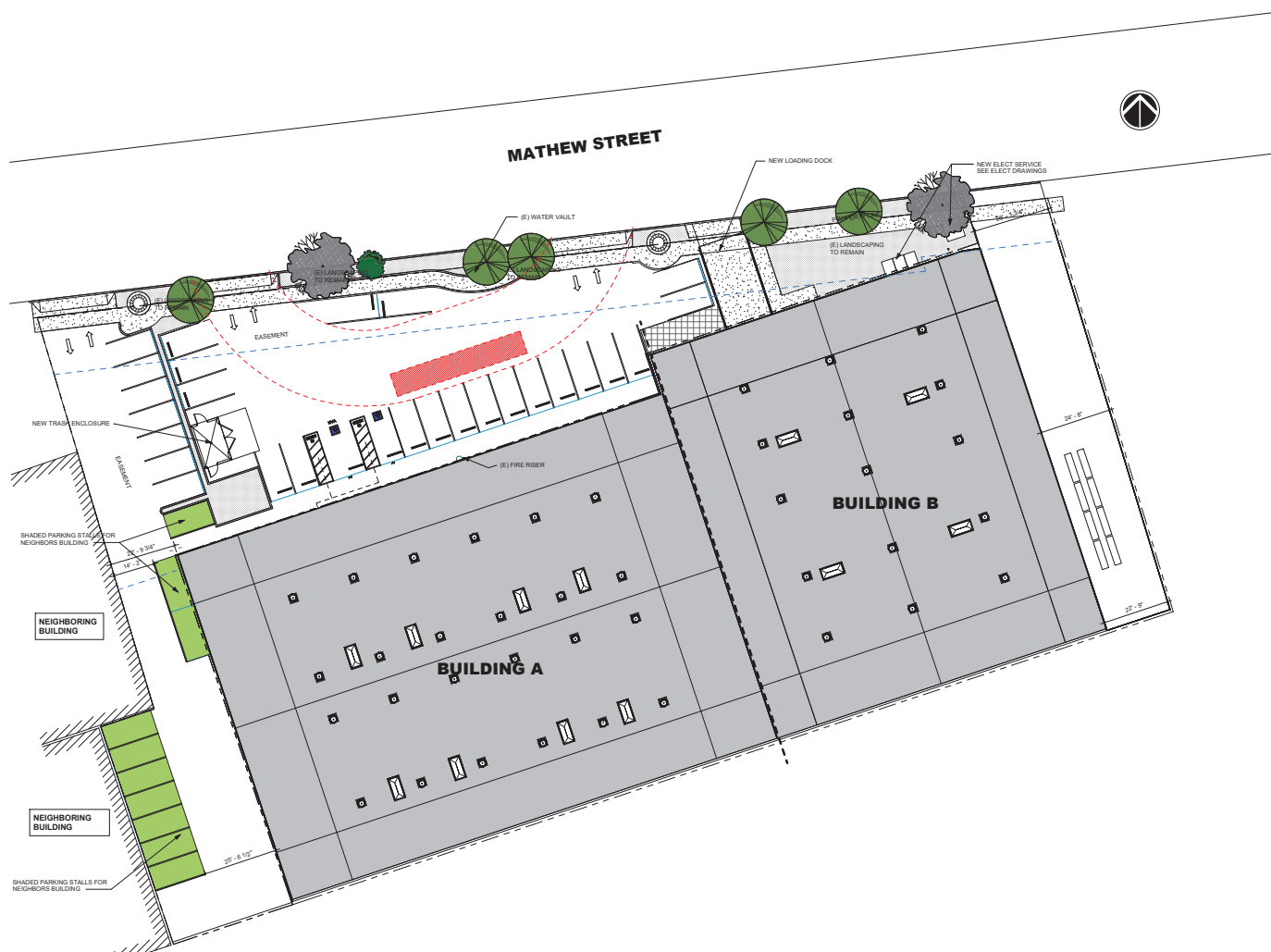
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PROPOSED SITE PLAN
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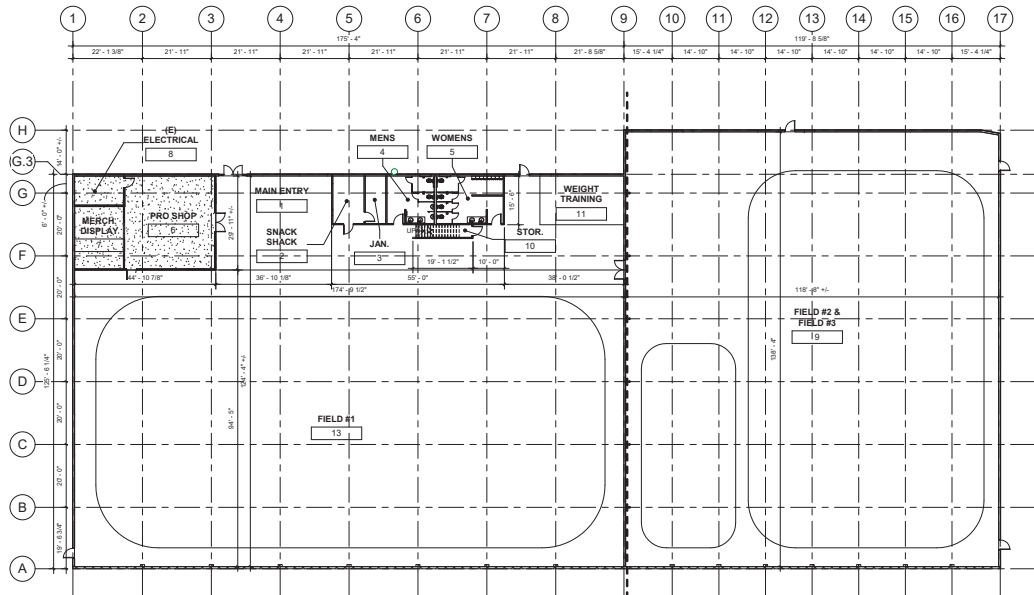
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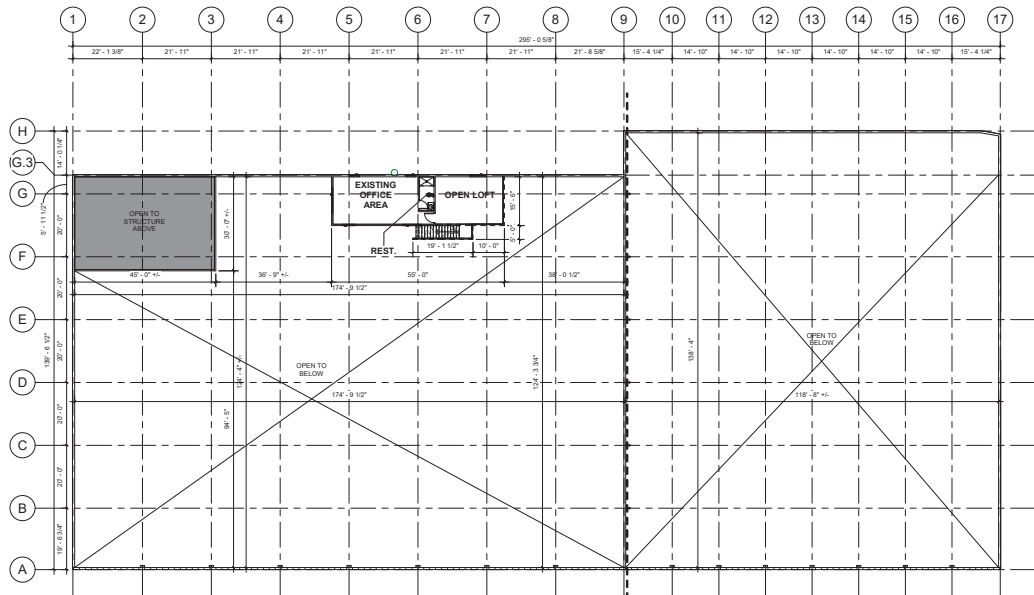
PL2



1 Site - Proposed
 SCALE: 1/8" = 1'-0"



1 EXISTING FLOOR PLAN - LEVEL 1
SCALE: 1/16" = 1'-0"



2 EXISTING FLOOR PLAN - LEVEL 2
SCALE: 1/16" = 1'-0"

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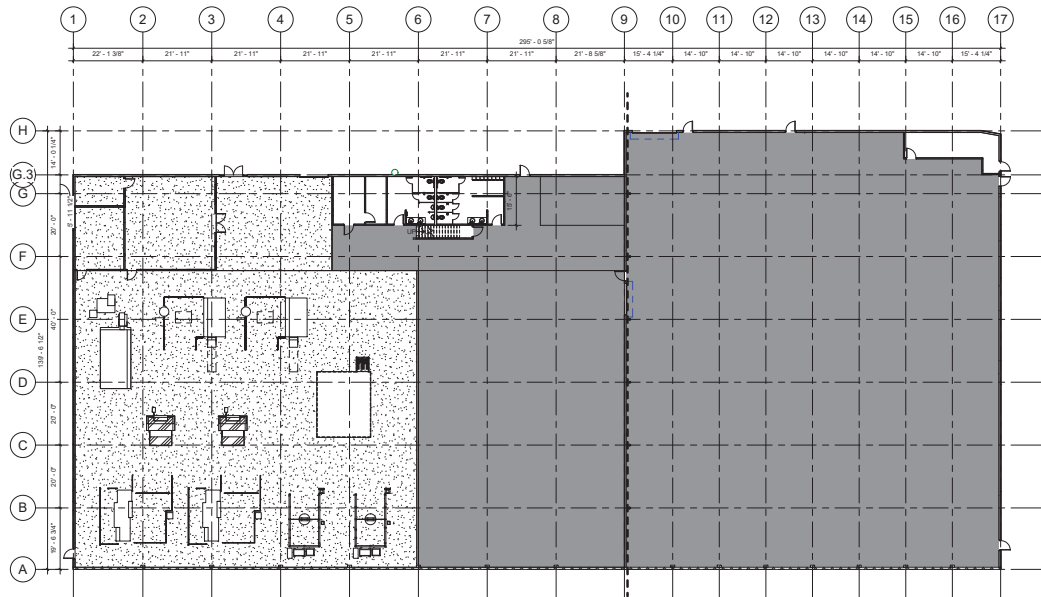
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Scale	1/16" = 1'-0"

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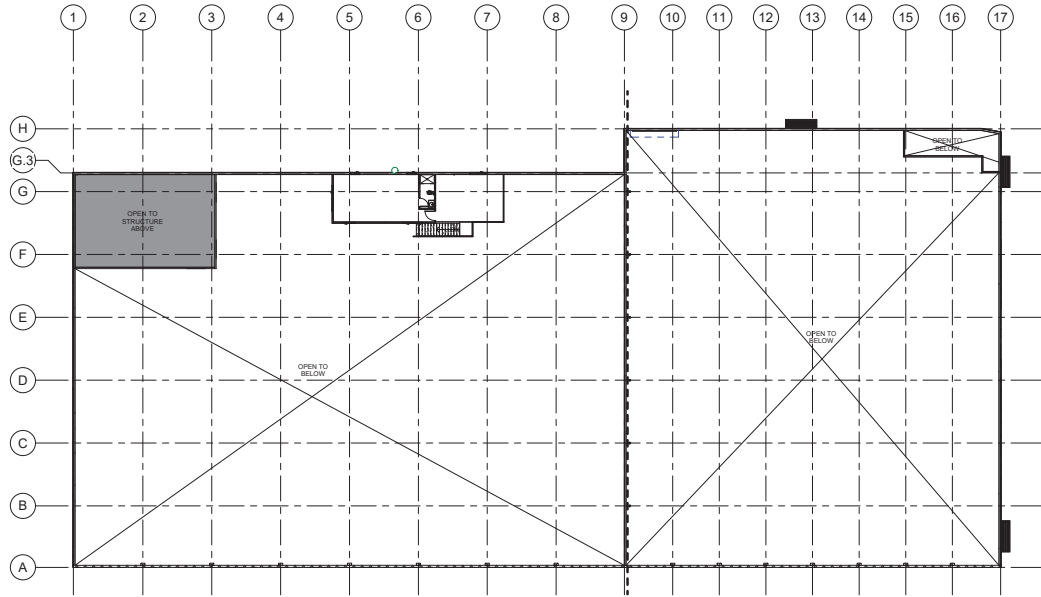
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PL3



1 PROPOSED FLOOR PLAN - PHASE 0 - LEVEL 1
SCALE: 1/16" = 1'-0"



2 PROPOSED FLOOR PLAN - PHASE 0 - LEVEL 2
SCALE: 1/16" = 1'-0"

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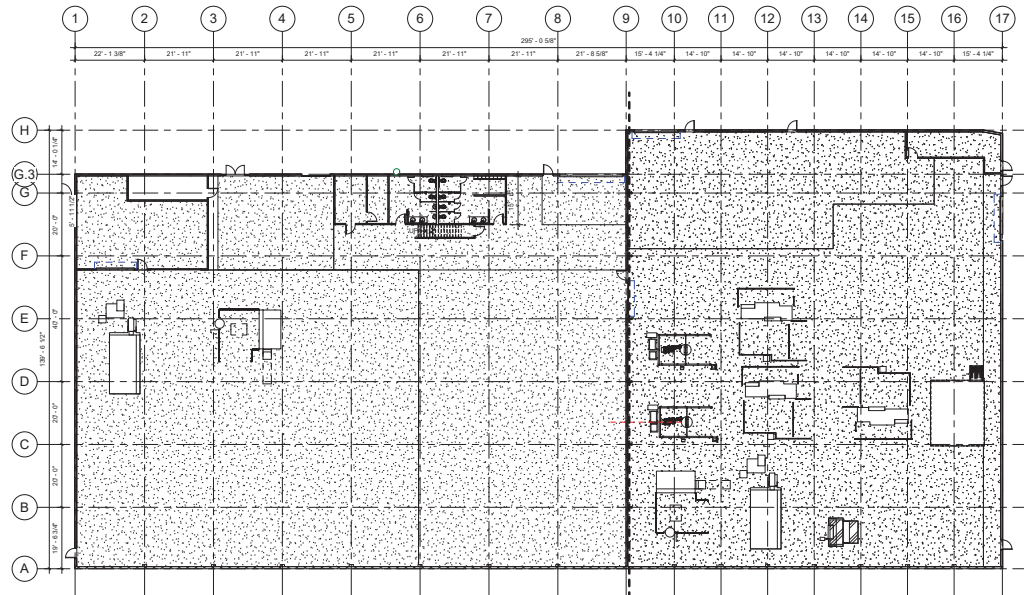
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	PROPOSED - PHASE 0
Scale	1/16" = 1'-0"

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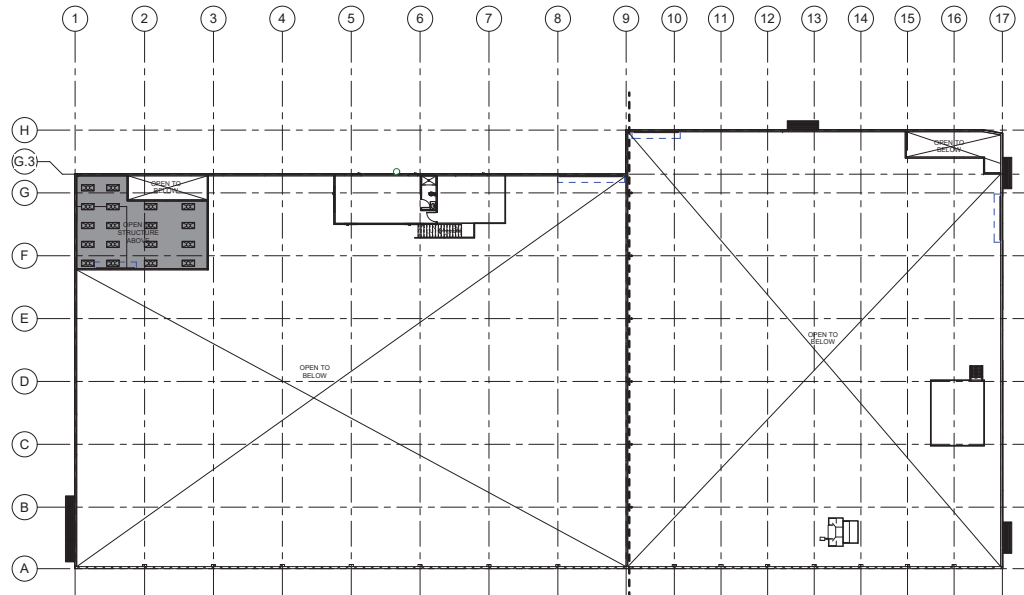
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PL4-1



1 PROPOSED FLOOR PLAN - PHASE 1 - LEVEL 1
SCALE: 1/16" = 1'-0"



2 PROPOSED FLOOR PLAN - PHASE 1 - LEVEL 2
SCALE: 1/16" = 1'-0"

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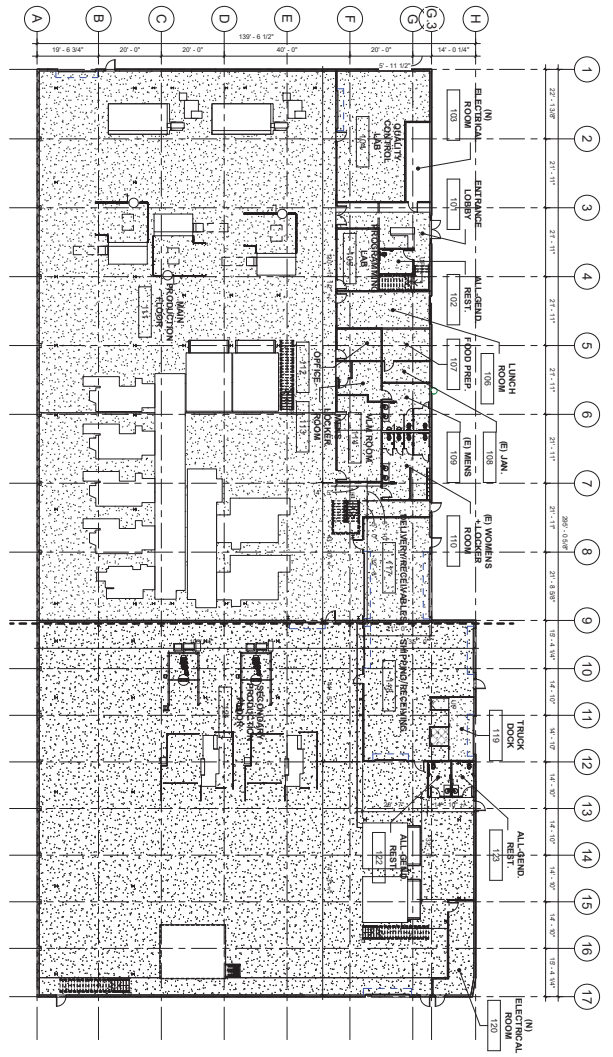
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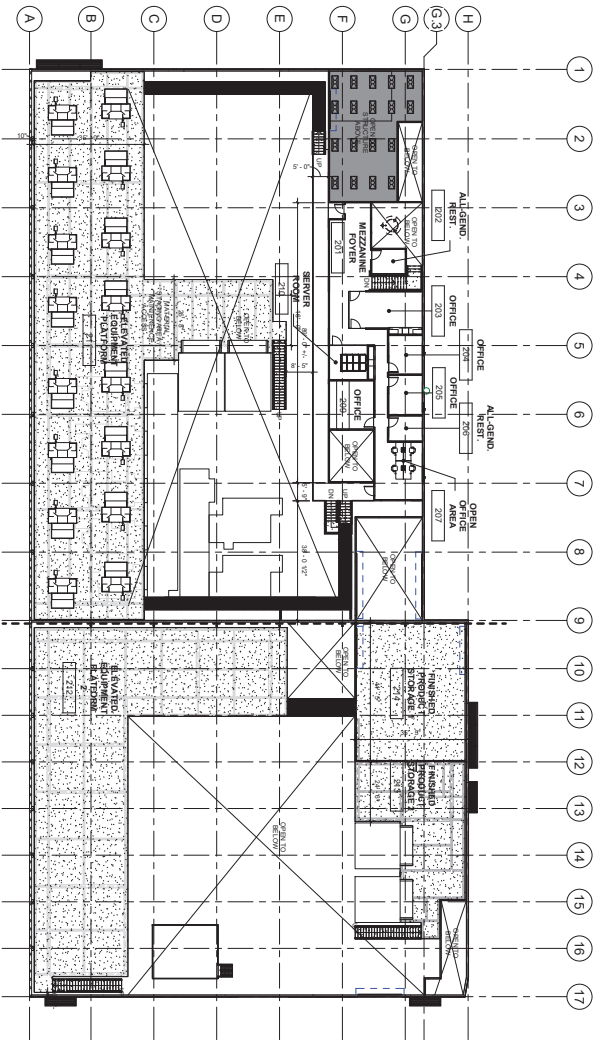
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PL4-2



2 PROPOSED FLOOR PLAN - PHASE 2 - LEVEL 1
SCALE: 1/8" = 1'-0"

PROPOSED SOFT AREAS			
USE	NO. OF	AREA	REMARKS
OFFICE (200, 201, 202, 203, 204, 205, 206, 207)	11000	4314 SF	3
MECHANICAL STORAGE	11000	268 SF	2
HEAVY MANUFACTURING	11000	6,300 SF	27
TOTAL		4782 SF	32



1 PROPOSED FLOOR PLAN - PHASE 2 - LEVEL 2
SCALE: 1/8" = 1'-0"



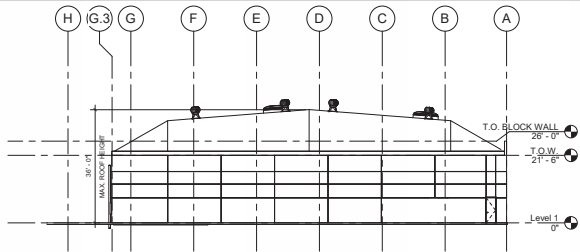
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DATE	2/20/23
BY	SM
DESCRIPTION	REVISED PHASE 2
SCALE	1/8" = 1'-0"

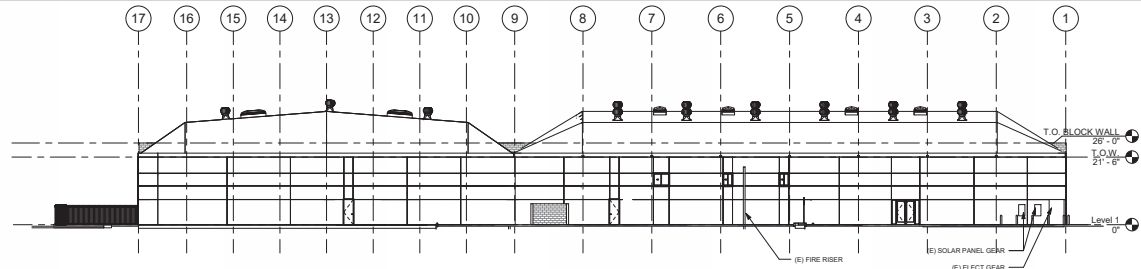
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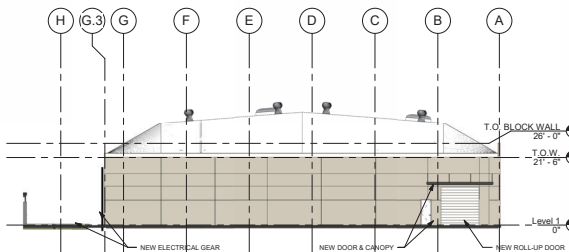
3 West Elevation - EXISTING

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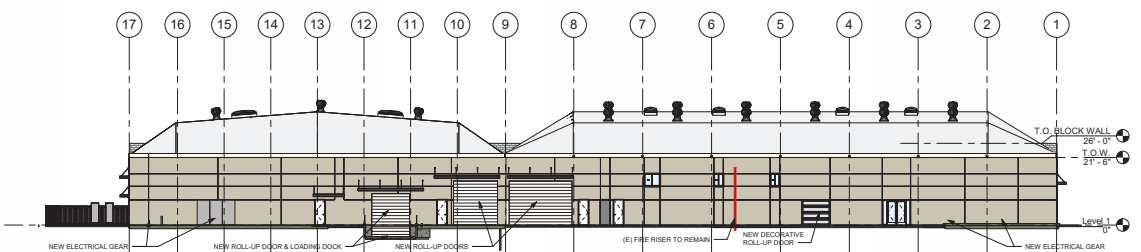
1 North Elevation - EXISTING

SCALE: 1/16" = 1'-0"



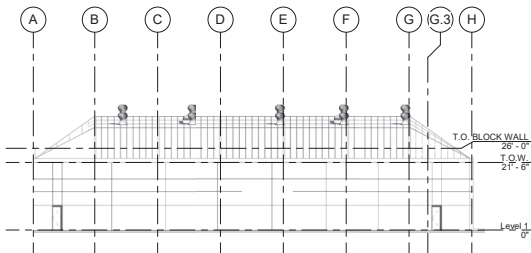
4 West Elevation - PROPOSED

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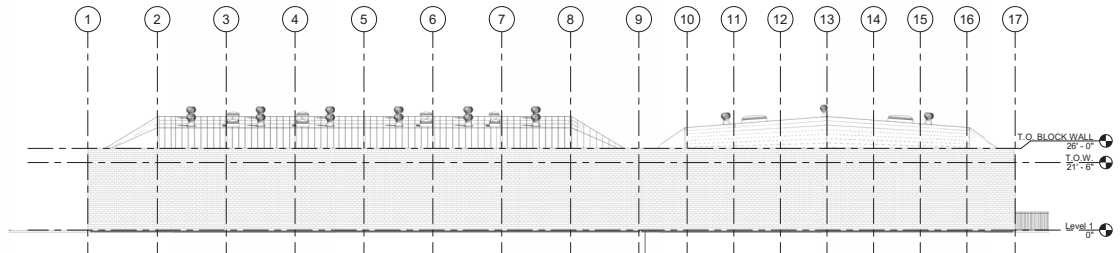
2 North Elevation - PROPOSED

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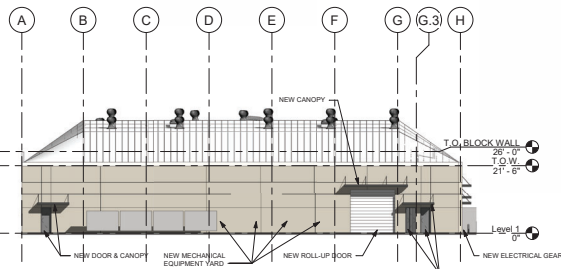
7 EAST ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



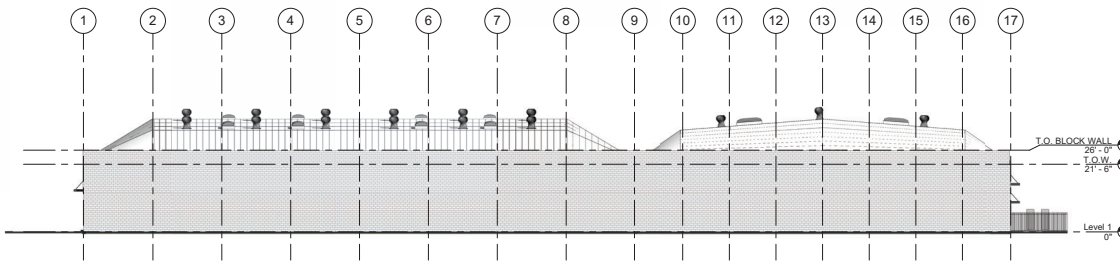
5 SOUTH ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



8 EAST ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



6 SOUTH ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"

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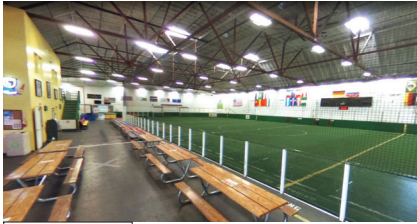
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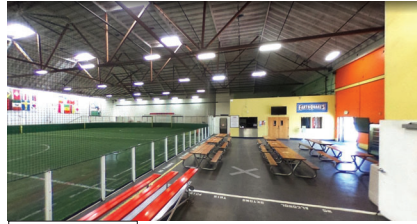


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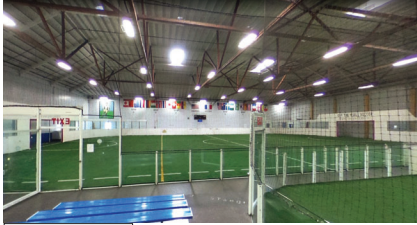
PL5



E1 - EXISTING INTERIOR BUILDING 'X'



E2 - EXISTING INTERIOR BUILDING 'X'



E3 - EXISTING INTERIOR BUILDING 'B'



E4 - EXISTING INTERIOR BUILDING 'B'



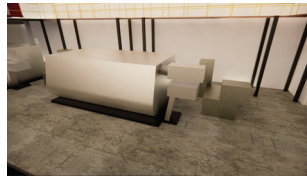
P2 - VERTICAL LIFT MODULE AND MATERIAL STAGING PLATFORM - BUILDING 'X'



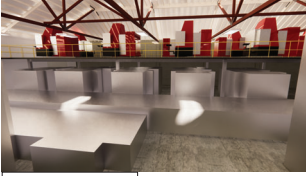
P3 - ROBOTIC LATHE AND EQUIPMENT YARD - BUILDING 'X'



P4 - ROBOTICALLY FED 5-AXIS LATHE ARRAY - BUILDING 'X'



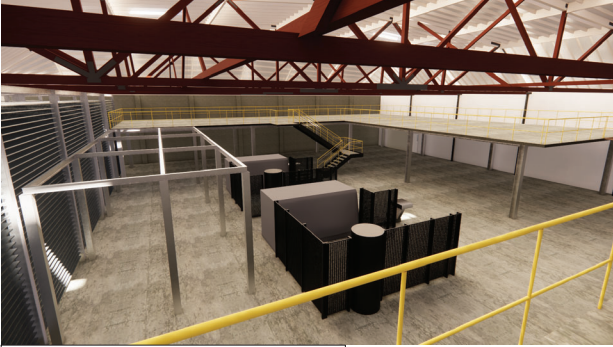
P5 - SELF-CONTAINED 3-AXIS LATHE UNIT - BUILDING 'X'



P6 - FUTURE TOOL AREA - BUILDING 'X'



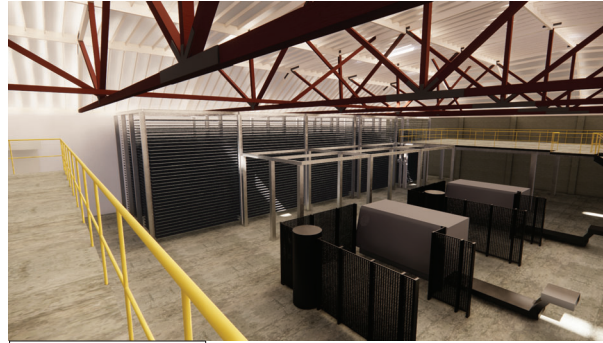
P7 - METAL SPINNING UNITS - BUILDING 'X'



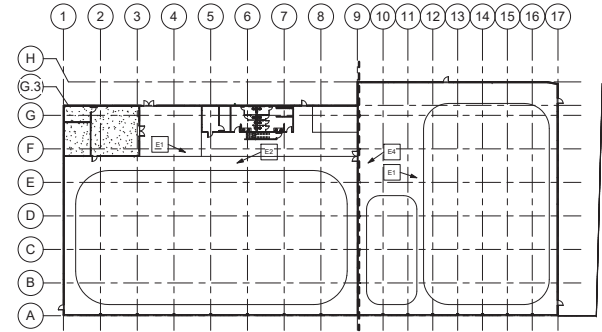
P9 - LASER ENGRAVING SYSTEM and ROBOTIC LATHE w/ EQUIPMENT YARD - BUILDING 'B' (PROPOSED)



P1 - EQUIPMENT FLOOR VIEW - BUILDING 'A' (PROPOSED)

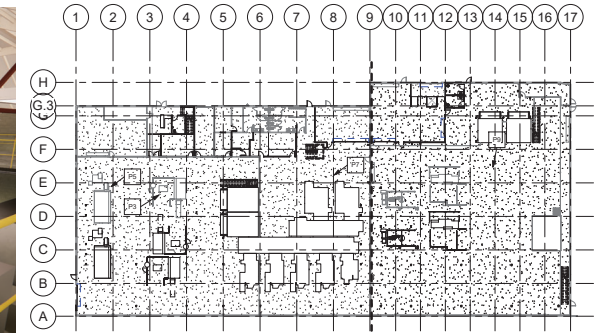


P8 - EQUIPMENT FLOOR VIEW - BUILDING 'B' (PROPOSED)



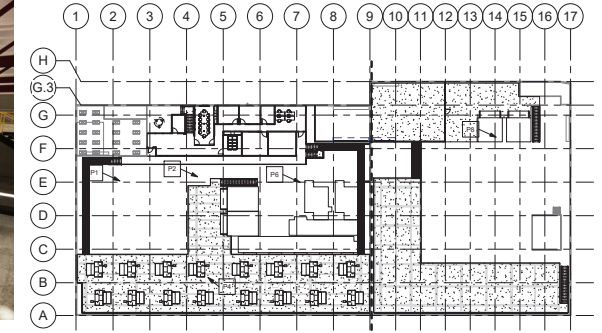
1 KEY PLAN - 1ST FLR (E)

SCALE: 1" = 30'-0"



2 KEY PLAN - 1ST FLR (PROPOSED)

SCALE: 1" = 30'-0"



3 KEY PLAN - 2ND FLR (PROPOSED)

SCALE: 1" = 30'-0"

hpc architecture, inc.
Steven M. Cox, A.I.A., Architect
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San Jose, CA 95110
408.297.5454 | www.hpc-arch.com



QMS - Santa Clara
700 MATHEW ST,
SANTA CLARA, CA 95050
QMS
QUALITY METAL FINISHING

Job Number
22032
Date
2023.01.09
Drawn
Author
Sheet Title
EXISTING AND
PROPOSED
RENDERINGS
Scale
1" = 30'-0"

Revisions
▲
▲
▲
▲
▲

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RECYCLED PAPER

PL6



E1 - EXISTING STREET PERSPECTIVE FOR SITE CONTEXT



E2 - EXISTING EAST YARD AND NORTHEAST CORNER OF BUILDING B



E3 - EXISTING NORTH ELEVATION OF BUILDING B AND BUILDING A



E4 - EXISTING NORTH ELEVATION OF BUILDING A



AERIAL VIEW - EXISTING



AERIAL VIEW - PROPOSED



P1 - PROPOSED EAST YARD AND NORTHEAST CORNER OF BUILDING B



P2 - PROPOSED NORTHERN ELEVATION FOR BUILDING A



P3 - PROPOSED TRUCK DOCK FOR BUILDING B



P4 - PROPOSED NORTHERN ELEVATION FOR BUILDING A & BUILDING B



1 KEY SITE PLAN
SCALE: 1" = 30'-0"

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.
2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S REVIEW AND DOCUMENTATION PURPOSES UNLESS SPECIFICALLY NOTED OTHERWISE.
3. THESE PLANS AND DETAILS THEREON, SHALL BE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
4. ANY REVISIONS TO THESE PLANS SHALL BE INDICATED BY A REVISION TABLE.

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700 MATHEW ST.
SANTA CLARA, CA 95050



Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	EXTERIOR IMAGES & PROPOSED RENDERINGS
Scale	1" = 30'-0"

Revisions	
▲	
▲	
▲	
▲	

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PL7

SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

PARKING COUNTS

PARKING REQUIRED				PARKING PROPOSED	
USE	RATIO	AREA	REQUIRED	TYPE	COUNT
HEAVY MANUFACTURING	1/1500	43,027 SF	29	ACCESSIBLE SPACE - VAN	1
				ACCESSIBLE SPACE - STANDARD	1
				PARKING SPACE	26
TOTAL			29	TOTAL PROVIDED	28

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.
 2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S STAMP AND SIGNATURE PURPOSES FOR CONTRACT AND WORK.
 3. THESE PLANS AND PRINTS THROUGHOUT THIS SHEET ARE THE PROPERTY OF HPC ARCHITECTURE, INC. AND ARE TO BE KEPT IN THE PROJECT OFFICE. ANY REVISIONS TO THESE PLANS MUST BE SUBMITTED TO HPC ARCHITECTURE, INC. FOR APPROVAL.

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 408.297.5654 | www.hpc-arch.com



GMS - Santa Clara
 700 MATHEW ST,
 SANTA CLARA, CA 95050

QUALITY METAL FINISHING

Job Number
22032
 Date
2023.01.09
 Drawn
Author
 Sheet Title
PROPOSED SITE PLAN - EVA LAYOUT
 Scale
As Indicated

Revisions

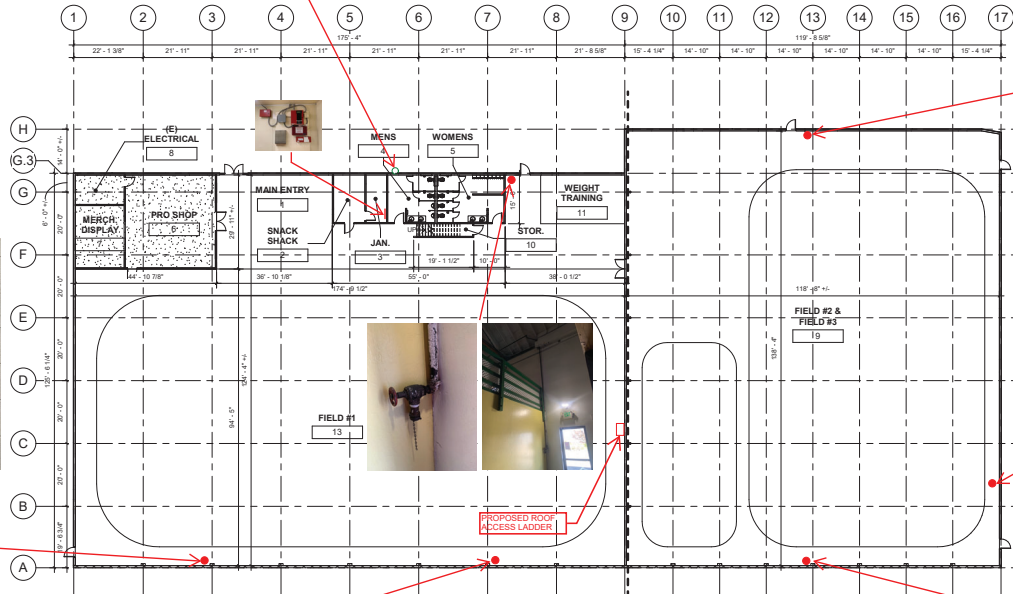
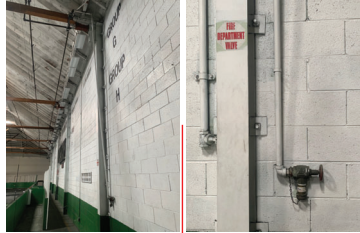
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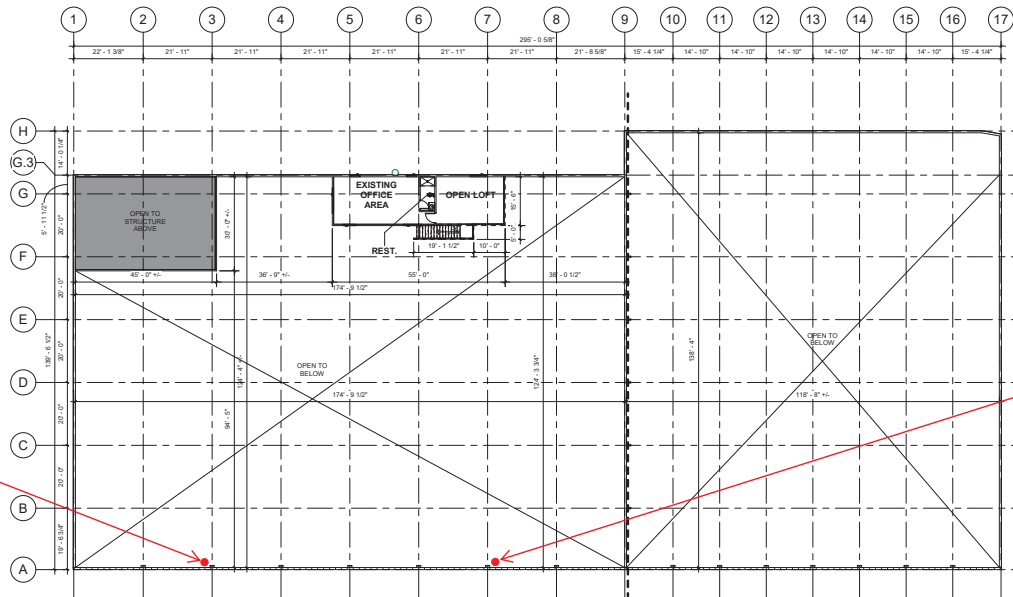
FP1.0



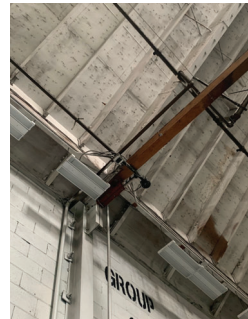
1 Site Plan - Proposed EVA Route
 SCALE: 1/8" = 1'-0"



1 EXISTING FLOOR PLAN - LEVEL 1
SCALE: 1/16" = 1'-0"



2 EXISTING FLOOR PLAN - LEVEL 2
SCALE: 1/16" = 1'-0"



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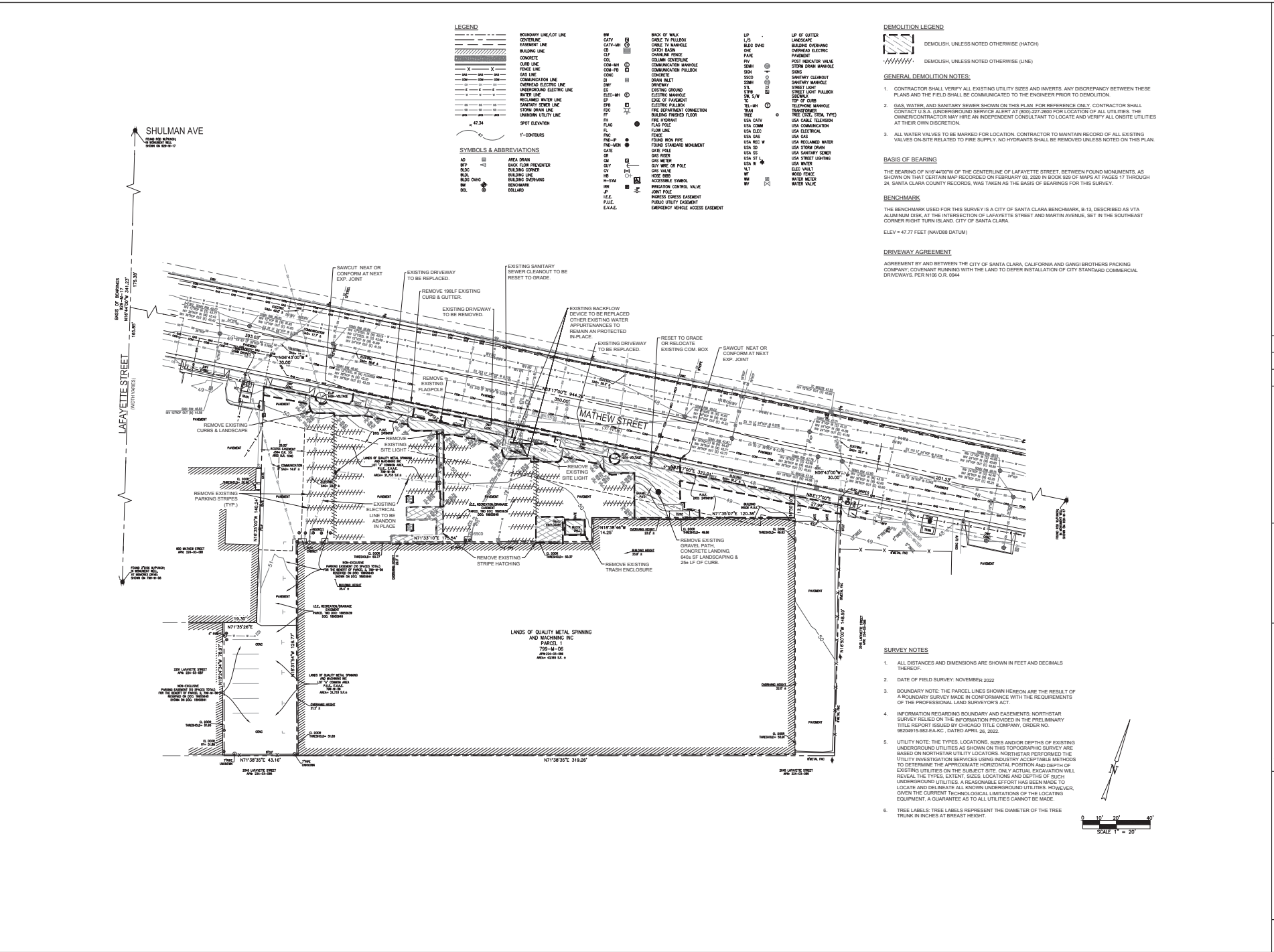
QMS - Santa Clara
700 MATHEW ST,
SANTA CLARA, CA 95050
QMS
QUALITY METAL BUILDINGS

Job Number
22032
Date
2023.01.09
Drawn
Author
Sheet Title
FLOOR PLANS
EXISTING
Scale
1/16" = 1'-0"

Revisions
▲
▲
▲
▲
▲

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FP1.1



LEGEND

BOUNDARY LINE (ADT LINE)	EXISTING LINE	CONCRETE	FINISH LINE	GAS LINE	CONCRETE	EXISTING SANITARY SEWER LINE	UNDERGROUND ELECTRIC LINE	RECYCLED WATER LINE	SANITARY SEWER LINE	STORM DRAIN LINE	UNKNOWN UTILITY LINE	SPOT ELEVATION	°-CONTours
BOUNDARY LINE (ADT LINE)	EXISTING LINE	CONCRETE	FINISH LINE	GAS LINE	CONCRETE	EXISTING SANITARY SEWER LINE	UNDERGROUND ELECTRIC LINE	RECYCLED WATER LINE	SANITARY SEWER LINE	STORM DRAIN LINE	UNKNOWN UTILITY LINE	SPOT ELEVATION	°-CONTours

SYMBOLS & ABBREVIATIONS

AD	AREA DRAIN	AC	AREA CURB
BT	BACK FLOW PREVENTER	BLOC	BUILDING CORNER
BLD	BUILDING	BLD OVRN	BUILDING OVERHANG
BSZ	BUS STOP	BOL	BOLLARD
CD	CABLE TV MANHOLE	DB	DRAIN BASIN
CS	CONCRETE	CF	CONCRETE FINISH
COU-WH	CORNER OF UTILITY	COU	CORNER OF UTILITY
CS	CONCRETE	COU-WH	CORNER OF UTILITY
CS	CONCRETE	CS	CONCRETE
CS	CONCRETE	CS	CONCRETE
CS	CONCRETE	CS	CONCRETE

DEMOLITION LEGEND

DEMOLISH, UNLESS NOTED OTHERWISE (MATCH)

DEMOLISH, UNLESS NOTED OTHERWISE (LINE)

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY SIZES AND INVERTS. ANY DISCREPANCY BETWEEN THESE PLANS AND THE FIELD SHALL BE COMMUNICATED TO THE ENGINEER PRIOR TO DEMOLITION.
- GAS, WATER, AND SANITARY SEWER SHOWN ON THIS PLAN FOR REFERENCE ONLY. CONTRACTOR SHALL CONTACT U&A UNDERGROUND SERVICES ALERT AT 800-327-2800 FOR LOCATION OF ALL UTILITIES. THE OWNER/CONTRACTOR MAY HIRE AN INDEPENDENT CONSULTANT TO LOCATE AND VERIFY ALL ON-SITE UTILITIES AT THEIR OWN DISCRETION.
- ALL WATER VALVES TO BE MARKED FOR LOCATION. CONTRACTOR TO MAINTAIN RECORD OF ALL EXISTING VALVES ON-SITE RELATED TO FIRE SUPPLY. NO HYDRANTS SHALL BE REMOVED UNLESS NOTED ON THIS PLAN.

BASIS OF BEARING

THE BEARING OF N1°44'00"W OF THE CENTERLINE OF LAFAYETTE STREET, BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN MAP RECORDED ON FEBRUARY 10, 2020 IN BOOK 229 OF MAPS AT PAGES 17 THROUGH 24, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS A CITY OF SANTA CLARA BENCHMARK, B-13, DESCRIBED AS VIA ALUMINUM DISK, AT THE INTERSECTION OF LAFAYETTE STREET AND MARTIN AVENUE, SET IN THE SOUTHEAST CORNER RIGHT TURN ISLAND, CITY OF SANTA CLARA.

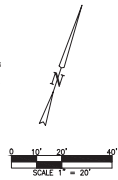
ELEV = 47.77 FEET (NAVD83 DATUM)

DRIVEWAY AGREEMENT

AGREEMENT BY AND BETWEEN THE CITY OF SANTA CLARA, CALIFORNIA AND GANGI BROTHERS PACKING COMPANY, COVENANT RUNNING WITH THE LAND TO PERMIT INSTALLATION OF CITY STANDARD COMMERCIAL DRIVEWAYS, PER N106 O.R. 0944.

SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATE OF FIELD SURVEY: NOVEMBER 2022
- BOUNDARY NOTE: THE PARCEL LINES SHOWN HEREON ARE THE RESULT OF A BOUNDARY SURVEY MADE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT.
- INFORMATION REGARDING BOUNDARY AND EASEMENTS: NORTHESTAR SURVEY RELEASOR HAS PROVIDED THE INFORMATION PROVIDED IN THE PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, ORDER NO. B200415-005-EA-NC, DATED APRIL 28, 2022.
- UTILITY NOTE: THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON NORTHESTAR UTILITY LOCATORS. NORTHESTAR PERFORMED THE UTILITY INVESTIGATION SERVICES USING INDUSTRY ACCEPTABLE METHODS TO DETERMINE THE APPROXIMATE HORIZONTAL POSITION AND DEPTH OF EXISTING UTILITIES ON THE SUBJECT SITE. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES HOWEVER, GIVEN THE CURRENT TECHNOLOGICAL LIMITATIONS OF THE LOCATING EQUIPMENT, A GUARANTEE AS TO ALL UTILITIES CANNOT BE MADE.
- TREE LABELS: TREE LABELS REPRESENT THE DIAMETER OF THE TREE TRUNK IN INCHES AT BRISTLE HEIGHT.



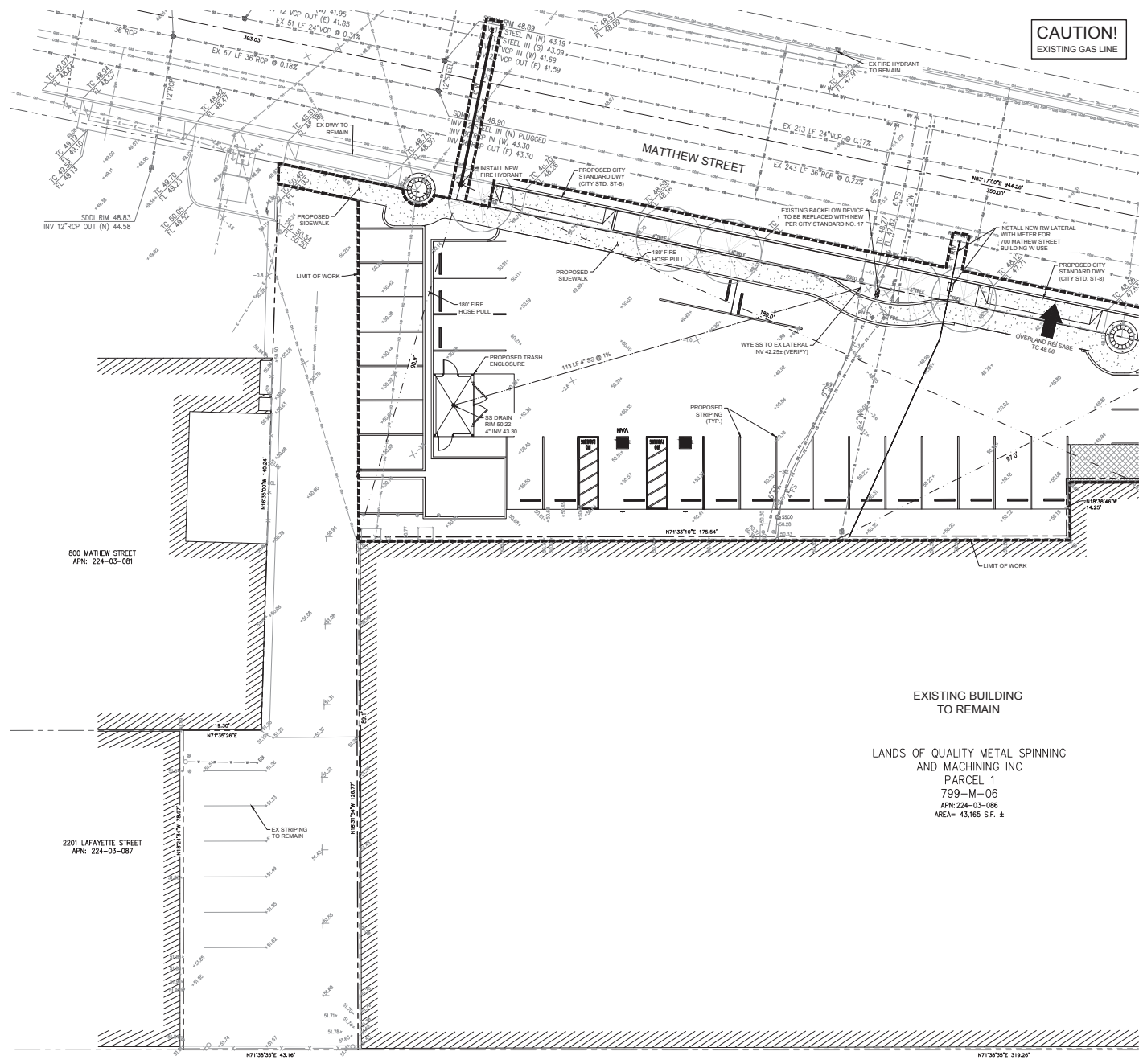
IMPROVEMENT PLANS FOR 700 MATHEW STREET PLN23-XXX

weiss
Real Estate Development Consultants
1731 Technology Drive, Suite 880, San Jose, CA 95110
T: 408.264.6555 www.jthweiss.com

SHEET C1.0
1 OF 4 SHEETS

DATE	BY	SCALE	DATE

CAUTION!
EXISTING GAS LINE



SEE SHEET C2.1



EXISTING BUILDING
TO REMAIN

LANDS OF QUALITY METAL SPINNING
AND MACHINING INC
PARCEL 1
799-M-06
APN: 224-03-086
AREA= 43,165 S.F. ±

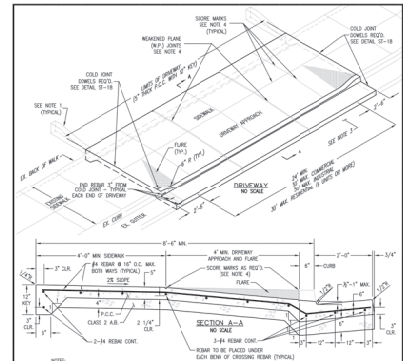
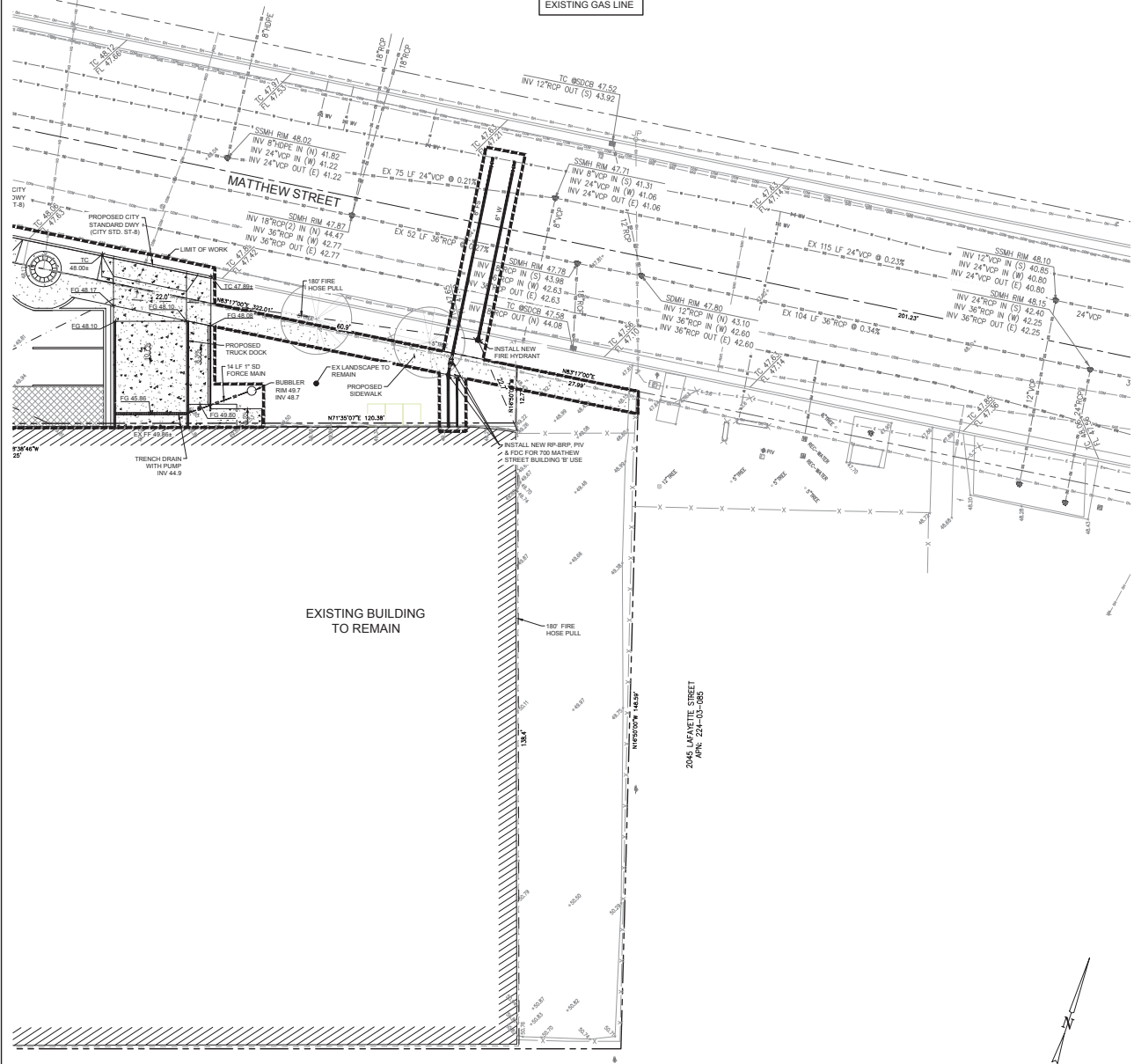
800 MATTHEW STREET
APN: 224-03-081

2201 LAFAYETTE STREET
APN: 224-03-087

2045 LAFAYETTE STREET
APN: 224-03-085

IMPROVEMENT PLANS FOR 700 MATTHEW STREET PLN23-XXX	S.A.N.T.A. C.L.A.R.A. - CALIFORNIA PROFESSIONAL ENGINEER LICENSE NO. 50812 EXPIRES 01/31/2024		THIS WORK WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER. I WILL BE UNDER MY SUPERVISION. DATE: 11/20/2023 11:45 AM DRAWN BY: T. EDWARDS PLOT: C-20
SHEET C2.0 2 OF 4 SHEETS	WEISS J M H Real Estate Development Consultants 1731 Technology Drive, Suite 880, San Jose, CA 95110 T: 408.264.6555 www.jmhw.com		

CAUTION!
EXISTING GAS LINE



NOTES:

- CONCRETE CURB SHALL NOT ENCRUST INTO PUBLIC RIGHT-OF-WAY AND SHALL BE FLUSH AT BACK OF WALK.
- COMMERCIAL DRIVEWAY SHALL BE INSTALLED IN ZONES DESIGNATED COMMERCIAL, INDUSTRIAL, AND RESIDENTIAL WITH A LIMIT OF 30 FEET.
- 3\"/>

4. JOINT/SURE MARK TABLE

DRIVEWAY WIDTH	MINIMUM PLAN JOINT	SCORE MARKS
10'	1	1/2, 3/2
12'	2	1/2, 3/2, 5/2
14'	3	1/2, 3/2, 5/2, 7/2
16'	4	1/2, 3/2, 5/2, 7/2, 9/2
18'	5	1/2, 3/2, 5/2, 7/2, 9/2, 11/2

SCORE MARKS REQUIRED AT DRIVEWAY EDGE BEING PARALLEL TO EXISTING FACE OF CURB

DRAWN BY: K TRAN
CHECKED BY: F AMIN
APPROVED BY: G GOMEZ
DATE: DECEMBER 2014

COMMERCIAL DRIVEWAY WITH/
WITHOUT SEPARATED SIDEWALK
CITY OF SANTA CLARA

ST-8
PAGE 8

JM Weiss, Inc. 75078 - 700 Mathew Street Santa Clara, CA May 2023
700 Mathew Street Santa Clara, CA

Total Required Fire Flow Estimate

Contribution Type	Light Industrial		Residential		Total	Fire Hydrant Calculation		Fire Sprinkler Calculation		Total Required Fire Flow with Reductions Proposed	
	sqft	sqft	sqft	sqft		sqgpm	sqgpm	sqgpm	sqgpm		
Type V-A	25,331				25,331	96.1%	2,750	1,544	2,063	1,375	772
Type V-B	19,798				19,798	3.9%	2,500	1,027	1,875	1,250	548
Other	45,139				45,139	100%	3,750	2,645	1,750	1,250	1,303
Round-Up							2,750				1,600

2019 CFC Table C105.1

Min. number of hydrants	300
Max. distance from any point on street to a hydrant, ft	180

Fire Flow and Hydrant Policy, Extra Hazard Occupancy or Full Flow
Required flow multiplied by 1.25 for full flow, per Fireflow Department "Fireflow Requirements with Inlet Controller" dated 11/2017
Fire Flow and Hydrant Policy, allowed for Ordinary Hazard Occupancy
Fire Flow and Hydrant Policy, allowed for Light Hazard Occupancy

WATER UTILITY SUMMARY

- EX. 6\"/>



2045 LAFAYETTE STREET
APN: 224-03-085

SEE SHEET C2.0

IMPROVEMENT PLANS FOR 700 MATHEW STREET PLN23-XXX

SANTA CLARA, CALIFORNIA
PROJECT NO. 2023-0001 (EXHIBIT 07B) (SHEET 08)

DATE: JAN 2024

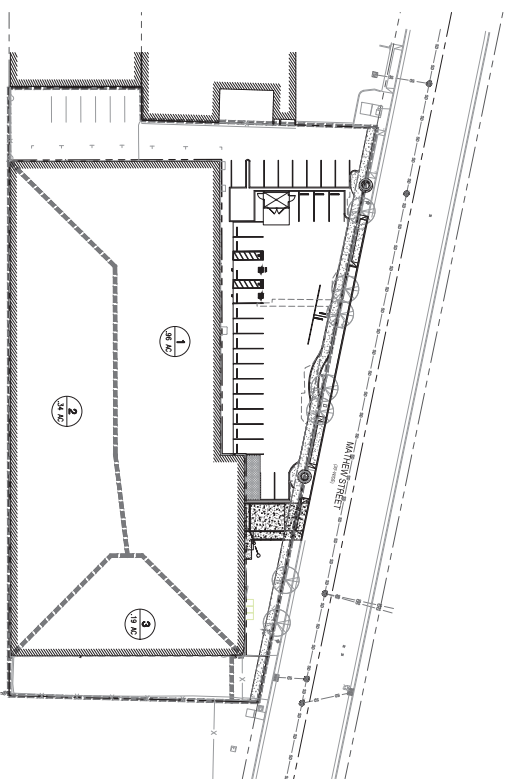
SHEET C2.1
3 OF 4 SHEETS

GRADING, DRAINAGE, & UTILITY PLAN

JM Weiss
Real Estate Development Consultants
1731 Technology Drive, Suite 800, San Jose, CA 95110
408.264.6555 www.jmweiss.com

REVISIONS

NO.	DESCRIPTION	DATE



LEGEND
 CHANGES AND REVISIONS
 CHANGES AND REVISIONS
 CHANGES AND REVISIONS

**State Chair Valley
 Planning & Development
 Permit Application Program**

City of Santa Clara
 Department of Public Works
 49823



Provision C.3 Data Form

1. Project Size
 a. Is the total area less than 2,000 sq. ft.?
 b. Is the total area between 2,000 and 4,999 sq. ft.?
 c. Is the total area between 5,000 and 9,999 sq. ft.?
 d. Is the total area between 10,000 and 49,999 sq. ft.?
 e. Is the total area 50,000 sq. ft. or more?

Impervious Area (sq. ft.)	Property Type	Existing Impervious Area (sq. ft.)	Existing Impervious Area (sq. ft.)	Existing Impervious Area (sq. ft.)	Existing Impervious Area (sq. ft.)	Total Impervious Area (sq. ft.)
0	0	0	0	0	0	0
1000	1000	1000	423	348	1771	1771
2000	2000	1297	2292	1292	4881	4881
3000	3000	1297	2292	1292	4881	4881
4000	4000	1297	2292	1292	4881	4881
5000	5000	1297	2292	1292	4881	4881
6000	6000	1297	2292	1292	4881	4881
7000	7000	1297	2292	1292	4881	4881
8000	8000	1297	2292	1292	4881	4881
9000	9000	1297	2292	1292	4881	4881
10000	10000	1297	2292	1292	4881	4881

2. Project Location
 a. Is the project located in an area of State Commission General Permit applicability?
 b. Is the project located in an area of State Commission General Permit applicability?
 c. Is the project located in an area of State Commission General Permit applicability?

3. Stormwater Management
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

4. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

5. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

6. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

7. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

8. Stormwater Management Details
 a. Will the project include stormwater management?
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 c. Will the project include stormwater management?

9. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

10. Stormwater Management Details
 a. Will the project include stormwater management?
 b. Will the project include stormwater management?
 c. Will the project include stormwater management?

IMPROVEMENT PLANS FOR 700 MATHEW STREET PLN23-XXX

700 MATHEW STREET
 SANTA CLARA, CALIFORNIA
 PROJECT NO. 2023-001 | DESIGNED BY: [Name] | CHECKED BY: [Name] | DATE: JAN 2023

WJH
 Real Estate Development Consultants
 1731 Technology Drive, Suite 880 San Jose, CA 95110
 1.408.286.4555 | www.wjhweiss.com

STORMWATER CONTROL PLAN

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION FOR THIS PROJECT WILL BE UNDER MY SUPERVISION.

DATE: [] BY: []

DELTA BY: [] DATE: []

REVISIONS

4 OF 4 SHEETS

DRAFT SET - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY

FOR REFERENCE ONLY

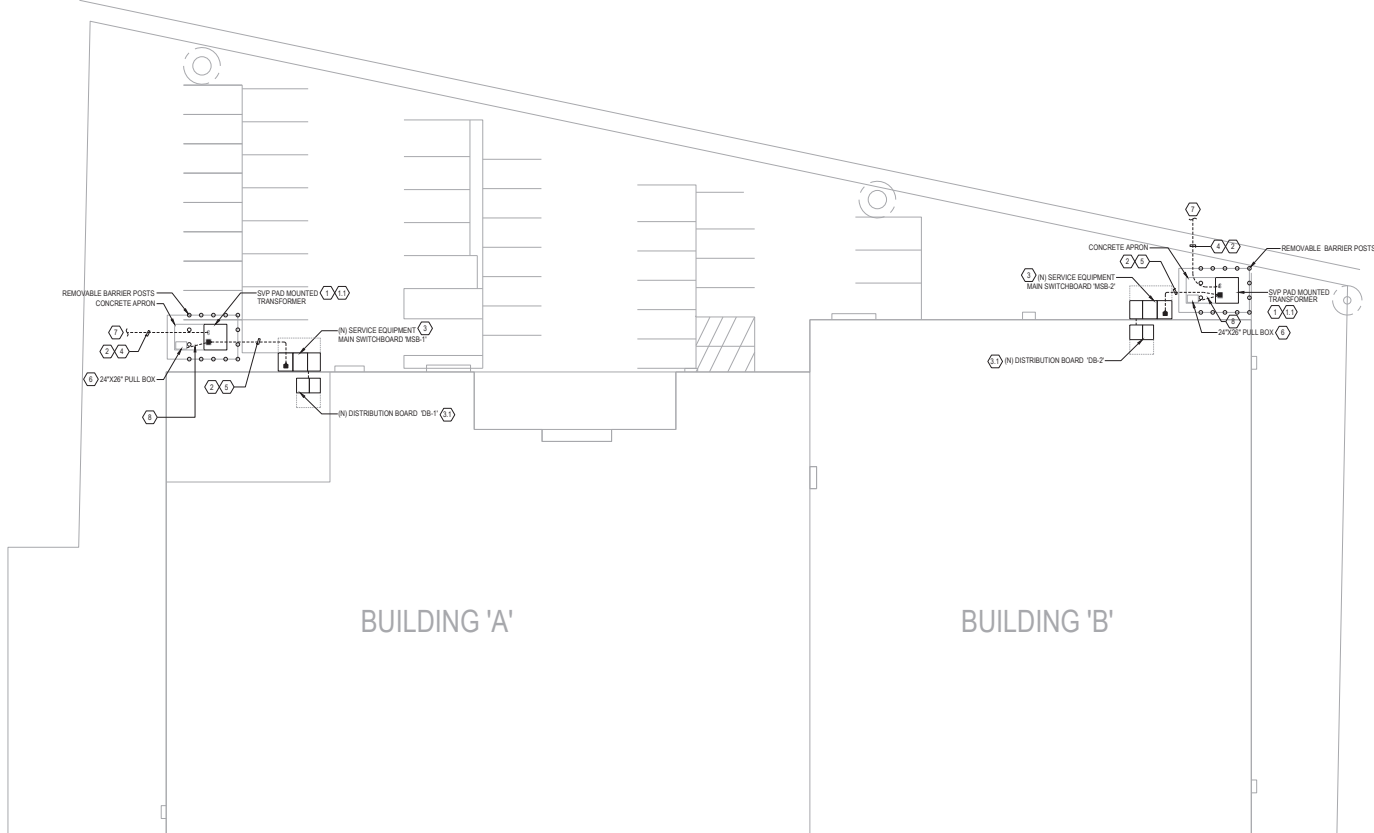
GENERAL NOTES:

- A. SEE GENERAL NOTES ON SHEET E9.00.
- B. INSTALLATION MUST COMPLY WITH SVP REQUIREMENTS.
- C. ALL TRENCHING, CUTTING AND PATCHING OF EXISTING CONCRETE SLAB FLOOR, AS REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL SYSTEMS SHOWN SHALL BE BY ELECTRICAL CONTRACTOR. PAINT ALL PATCHING TO MATCH ADJACENT EXISTING SURFACE.
- D. ALL CONDUITS AND WIRING SHALL BE UL LISTED AND MARKED FOR INTENDED USE PER NEC 2018.
- E. SEE SHEET E8.0 FOR ELECTRICAL ONE LINE DIAGRAM.

KEY NOTES: ○

- 1. SVP UTILITY TRANSFORMER. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION WITH SVP.
- 1.1 PROVIDE 8 FT CLEAR WORKING SPACE FROM THE FRONT OF THE EQUIPMENT AND 3 FT FROM ALL OTHER SIDES.
- 2. UNDERGROUND FEEDER ROUTES SHOWN ARE DIAGRAMMATIC ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND MAP-OUT ROUTING TO SUIT ACTUAL FIELD CONDITION. DAMAGED TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED BY THE ELECTRICAL GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH OTHER TRADE PRIOR TO START OF WORK.
- 3. MAIN SWITCHBOARD: 400A, 480/277V, 3PH, 4W, 65KAC, NEMA 3B. PROVIDE 4 FT WORKING SPACE IN FRONT OF MAIN SWITCHBOARD PER UTILITY COMPANY.
- 3.1 DISTRIBUTION BOARD: 400A, 480/277V, 3PH, 4W, 65KAC, NEMA 1. PROVIDE 4 FT WORKING SPACE IN FRONT OF DISTRIBUTION BOARD.
- 4. UTILITY PRIMARY SERVICE PER SVP DESIGN. ELECTRICAL CONTRACTOR TO PROVIDE TRENCHING PER SVP REQUIREMENTS.
- 5. SEE ONE LINE DIAGRAM FOR SERVICE ENTRANCE CONDUCTOR. PROVIDE TRENCHING PER SVP REQUIREMENTS.
- 6. PROVIDE 24"x36" PULL BOX PER UTILITY REQUIREMENT. EC TO VERIFY LOCATION WITH SVP.
- 7. SEE SVP DRAWINGS FOR POINT OF CONNECTION.
- 8. PROVIDE 2" CONC TO USE BOX PER SVP REQUIREMENTS.

NO.	DESCRIPTION	DATE
	PERMIT SET	06/27/2022



PROJECT:
 700 MATTHEW ST.
 SERVICE APPLICATION
 PHASE -1
 700 MATTHEW ST.
 STA. CLARA, CA 95050

SHEET TITLE:
 ELECTRICAL
 SITE PLAN

PROJECT #: SHEET NO.:
 DATE: 06/22/2022
 SCALE: AS NOTED **E1.0S**

ELECTRICAL SITE PLAN SCALE 1/8" = 1'-0" 1

GENERAL NOTES:

1. ALL ELECTRICAL EQUIPMENTS AND FEEDERS ARE NEW UNLESS OTHERWISE NOTED AS 'E' FOR EXISTING. RETORQUE ALL EXISTING TERMINATIONS PER MANUFACTURER RECOMMENDATION.
2. SWITCHBOARD SHOWN ON THE SINGLE LINE DIAGRAM SHALL BE 'FULLY RATED' ADEQUATE FOR THE MAXIMUM FAULT CURRENT AVAILABLE AT THE POINT OF APPLICATION, INCORPORATING THE CURRENT LIMITING DEVICES AS SPECIFIED. 'SERIES-RATING' FOR PANELBOARDS IS ACCEPTABLE. PROVIDE REQUIRED MARKING AS REQUIRED PER NEC ARTICLE 110.22(B) & (C) FOR SIGNAGE AT ALL PANELS AND EQUIPMENT. IF NOT 'FULLY RATED SYSTEM' CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING SERIES RATING AND INCLUDE A COPY OF ALL LABELING, INCLUDING RESPECTIVE UL LISTING, TO THE AHJ FOR REFERENCE.
3. PROVIDE PHENOLIC NAMEPLATE LABELLING & TYPE WRITTEN PANEL DIRECTORY FOR ALL PANELS.
4. INTERIOR METAL PIPING SYSTEM SHALL BE BONDED TO THE GROUNDING ELECTRODE SYSTEM.
5. GROUND AND NEUTRAL SHALL ONLY BE BONDED AT THE SERVICE EQUIPMENT AND AT THE SEPARATELY DERIVED SYSTEM.
6. EQUIPMENT LINE-UP IS BASED ON SQUARE D PRODUCT. ALTERNATE MANUFACTURER IS ACCEPTABLE PROVIDED THAT IT MEETS THE DESIGN INTENT AND CLEARANCE REQUIREMENTS.
7. ONLY UL LISTED EQUIPMENT SHALL BE USED.
8. PROVIDE ALL NECESSARY SIGNAGE, LABELING AND PLAQUES AS REQUIRED BY CEC 23-70(B), 695 & 705.
9. ELECTRICAL CONTRACTOR TO PROVIDE MAIN LUGS AND APPLICATOR LUGS AS NEEDED FOR CONNECTIONS AT PANELS, BOARDS AND EQUIPMENT.
10. ALL METERING EQUIPMENTS SHALL BE SUBMITTED TO THE UTILITY PROVIDER FOR APPROVAL.
11. INSTALL ENGRAVED BAMELITE NAMEPLATE ON SERVICE DISCONNECT SWITCH WITH SERVICE ADDRESS.
12. LOAD CALCULATION FOR FUTURE TENANT IMPROVEMENT PROJECT TO BE PROVIDED UNDER PHASE 2 PACKAGE.

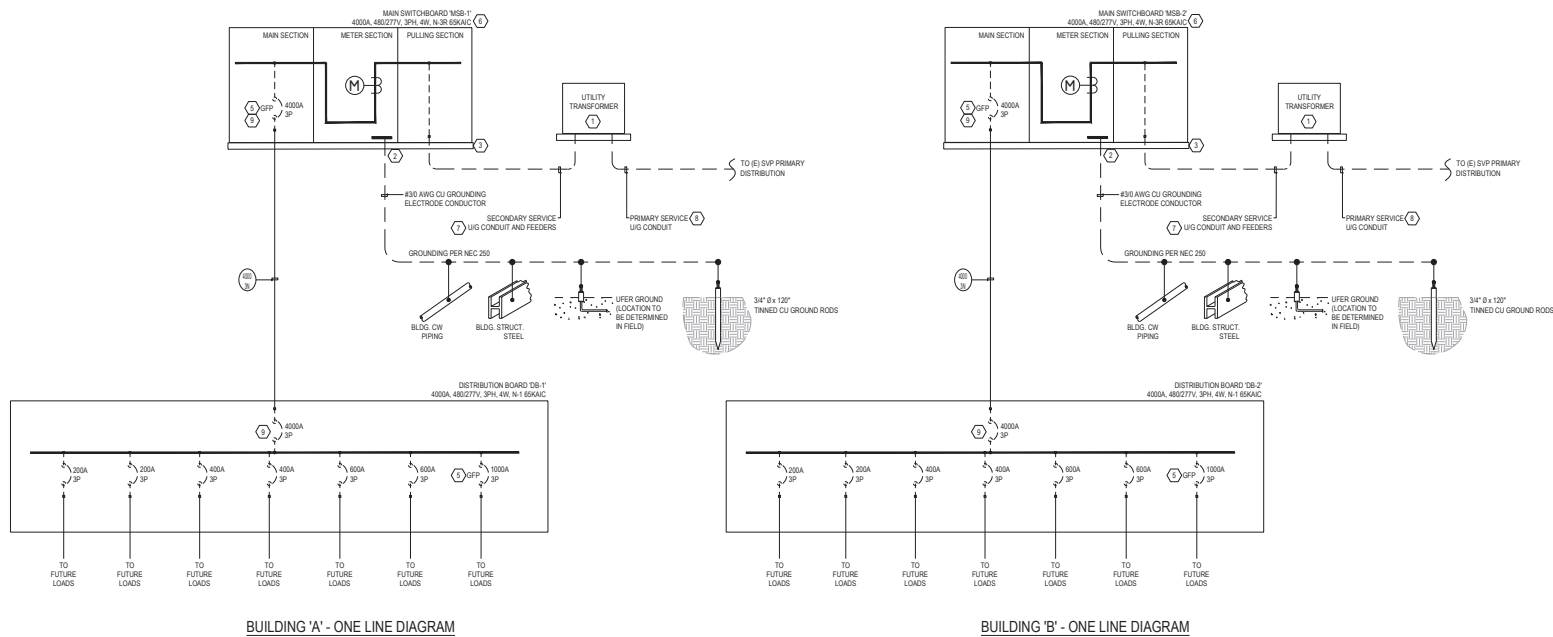
KEY NOTES: (C)

1. NEW PAD MOUNTED UTILITY TRANSFORMER; CONTRACTOR TO COORDINATE WITH SUP REPRESENTATIVE FOR WORK REQUIRED. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
2. GROUNDING ELECTRODE SYSTEM: CONNECT TO GROUNDING ELECTRODE SYSTEM USING #6 UNDERGROUND METAL WATER PIPE (WITHIN 2' OF ENTRANCE TO BUILDING). ALL METAL PIPING SYSTEM, CONTIGUOUS STRUCTURAL METAL (IF PRESENT) SHALL BE BONDED TO THE GROUNDING ELECTRODE SYSTEM IN MAIN SWITCHBOARD USING #6. PROVIDE (3) 3/4" x 12" TINNED CU GROUND ROD - MINIMUM 12' APART. USE #4 CU WIRE FOR SOLE CONNECTION TO GROUND ROD. PROVIDE ADDITIONAL GROUNDING ELECTRODE WHERE RESISTANCE TO GROUND EXCEEDS 5 OHMS.
3. PROVIDE PAD TO ENSURE LEVEL WORKING CLEARANCE IN FRONT OF EQUIPMENT. SEE PLANS FOR ADDITIONAL INFORMATION.
4. NOT USED.
5. PROVIDE CIRCUIT BREAKER WITH GROUND FAULT PROTECTION.
6. PRIOR TO PURCHASE THE EQUIPMENT, COORDINATE EXACT AVAILABLE FAULT CURRENT WITH UTILITY PROVIDER. ADJUST TO THE NEXT STANDARD SIZE IF UTILITY FAULT CURRENT IS HIGHER THAN EQUIPMENT RATING AS SHOWN.
7. PROVIDE 12 SETS OF 3 1/2" x 4800 MCM, 1# 3/8" GND FOR SECONDARY SERVICE ENTRANCE CONDUCTORS.
8. PROVIDE 3/4" EMPTY CONDUIT FOR PRIMARY SERVICE CONDUCTORS.
9. PROVIDE CIRCUIT BREAKER WITH LONG TIME, SHORT TIME AND INSTANTANEOUS TRIP SETTINGS.

TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE
(1) 3P	3#12H + 1#12G IN 1 1/2" C	(2) 3#12H + 1#12G IN 1 1/2" C	(3) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(4) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(5) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(6) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(7) 3P	3#12H + 1#12G IN 1 1/2" C	(8) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(9) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(10) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(11) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(12) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(13) 3P	3#12H + 1#12G IN 1 1/2" C	(14) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(15) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(16) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(17) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(18) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(19) 3P	3#12H + 1#12G IN 1 1/2" C	(20) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(21) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(22) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(23) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(24) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(25) 3P	3#12H + 1#12G IN 1 1/2" C	(26) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(27) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(28) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(29) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(30) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(31) 3P	3#12H + 1#12G IN 1 1/2" C	(32) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(33) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(34) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(35) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(36) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(37) 3P	3#12H + 1#12G IN 1 1/2" C	(38) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(39) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(40) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(41) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(42) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(43) 3P	3#12H + 1#12G IN 1 1/2" C	(44) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(45) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(46) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(47) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(48) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(49) 3P	3#12H + 1#12G IN 1 1/2" C	(50) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(51) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(52) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(53) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(54) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(55) 3P	3#12H + 1#12G IN 1 1/2" C	(56) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(57) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(58) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(59) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(60) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(61) 3P	3#12H + 1#12G IN 1 1/2" C	(62) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(63) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(64) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(65) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(66) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(67) 3P	3#12H + 1#12G IN 1 1/2" C	(68) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(69) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(70) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(71) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(72) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(73) 3P	3#12H + 1#12G IN 1 1/2" C	(74) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(75) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(76) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(77) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(78) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(79) 3P	3#12H + 1#12G IN 1 1/2" C	(80) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(81) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(82) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(83) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(84) 3#6H + 1#6N + 1#12G IN 1 1/2" C	
(85) 3P	3#12H + 1#12G IN 1 1/2" C	(86) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(87) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(88) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(89) 3#6H + 1#6N + 1#12G IN 1 1/2" C	(90) 3#6H + 1#6N + 1#12G IN 1 1/2" C	

NOTES:

1. ALL WIRE SHALL BE COPPER AND INSULATION SHALL BE THHN, THWN 2, XHHW 2.
2. H - HOT/UNGROUND CONDUCTOR; N - NEUTRAL/GROUNDED CONDUCTOR; G - GROUNDING CONDUCTOR; IG - ISOLATED GROUNDING CONDUCTOR.
3. UNLESS LISTED OTHERWISE, THE AMPACITY OF 600V OR LESS CONDUCTORS SHALL BE BASED ON THE TERMINALS NOT TO EXCEED 90 DEG C (140 DEG F) FOR CONDUCTOR SIZE #14 THROUGH #1 AWG OR 75 DEG C (167 DEG F) FOR CONDUCTOR SIZES OVER #1 AWG.
4. WHERE THE PHASE CONDUCTORS ARE INCREASED IN SIZE (E.G. FOR VOLTAGE DROP COMPENSATION), EQUIPMENT GROUNDING CONDUCTOR SHALL BE INCREASED IN SIZE PROPORTIONATELY ACCORDING TO CIRCULAR MIL AREA OF THE PHASE CONDUCTOR.



FOR REFERENCE ONLY

NO.	DESCRIPTION	DATE
	PERMIT SET	06/27/2022



PROJECT:
700 MATHEW ST.
SERVICE APPLICATION
PHASE -1
700 MATHEW ST.
STA. CLARA, CA 95050

SHEET TITLE:
ELECTRICAL
ONE LINE DIAGRAM

PROJECT #: _____ SHEET NO.: _____
DATE: 06/22/2022 AS NOTED E5.0
SCALE: _____

FOR REFERENCE ONLY

FOR REFERENCE ONLY

NO.	DESCRIPTION	DATE
1	PERMIT SET	06/27/2022

Building 'A' Load Calc	AREA(SQ FT)	VA PER SQ FT	Quantity	VA per Qty	VA
Lighting per CEC 220.12	22252	5.00			111260
General Receptacle loads	22252	3.00			66756
Plumbing equipment	22252	5.00			111260
Outdoor lighting per T24	12905	1.00			12905
HVAC	22252	12.00			267024
					0
Dedicated Equipment load (CNC laser Machine Metal Spinning, Lathe Machines, Inspection Machine, etc)			1	350000	350000
Ac welder	20	2000		40000	
1ØHP 1phase motor	10	11440		114400	
15HP 3phase motor	15	17459		261885	
15HP Compressor, 3phase motor	10	17459		174590	
Grinding Machine	1	150000		150000	
Data servers, UPS	1	100000		100000	
Appliances (Coffee, Refrig, etc)	25	1200		30000	
EV charger	12	7500		90000	
					0
					0
Total load					1880080

Load Type & CEC Demand Load Formula	Quantity	VA per Qty	Load VA	CEC Demand VA
Lighting per CEC 220.12 @ 125% per CEC 220.3	22252 SF		111260	111260 X125% = 139075
Signage @ 125% per CEC 220.14(F)	4 circuit	1200	4800	4800 X125% = 6000
Outdoor lighting @ 125% per CEC 220.3	12905		12905	12905 X125% = 16131
Gen Receptacle loads (per req) per CEC 220.44	6200 SF	3	18600	10000 X100% + 8600 X75% = 38375
HVAC	267024		708075	149644 X125% + 967899 X100% = 1117543
Motor loads	1 lot		350000	350000 X100% = 350000
Dedicated equipment load	22252		111260	111260 X100% = 111260
Plumbing Equipment	22252		111260	111260 X125% = 139075
Electric Vehicle Charger @ 125%	12	7500	90000	40000 X100% = 40000
Ac welder	20	2000	40000	40000 X100% = 40000
Data Servers, UPS etc	1 lot	100000	100000	100000 X125% = 125000
Appliances (Coffee, Refrig, etc)	25	1200	30000	30000 X100% = 30000
Subtotal Demand Load				2085987
Spare for future (25%)				521497
Total Demand Load				2607484
Total Demand Amperage @ 480/277V, 3PH, 4W				3136
Service Size Requested in Amps @ 480/277V, 3PH, 4W				4000

Building 'B' Load Calc	AREA(SQ FT)	VA PER SQ FT	Quantity	VA per Qty	VA
Lighting per CEC 220.12	16961	5.00			84805
General Receptacle loads	16961	3.00			50883
Plumbing equipment	16961	5.00			84805
Outdoor lighting per T24	16961	1.00			16961
HVAC	16961	12.00			203532
					0
Dedicated Equipment load (CNC laser Machine Metal Spinning, Lathe Machines, Inspection Machine, etc)			1	350000	350000
Ac welder	20	2000		40000	
1ØHP 1phase motor	10	11440		114400	
15HP 3phase motor	15	17459		261885	
15HP Compressor, 3phase motor	10	17459		174590	
Grinding Machine	1	150000		150000	
Data servers, UPS	1	100000		100000	
Appliances (Coffee, Refrig, etc)	20	1200		24000	
EV charger	16	7500		120000	
					0
					0
Total load					1787851

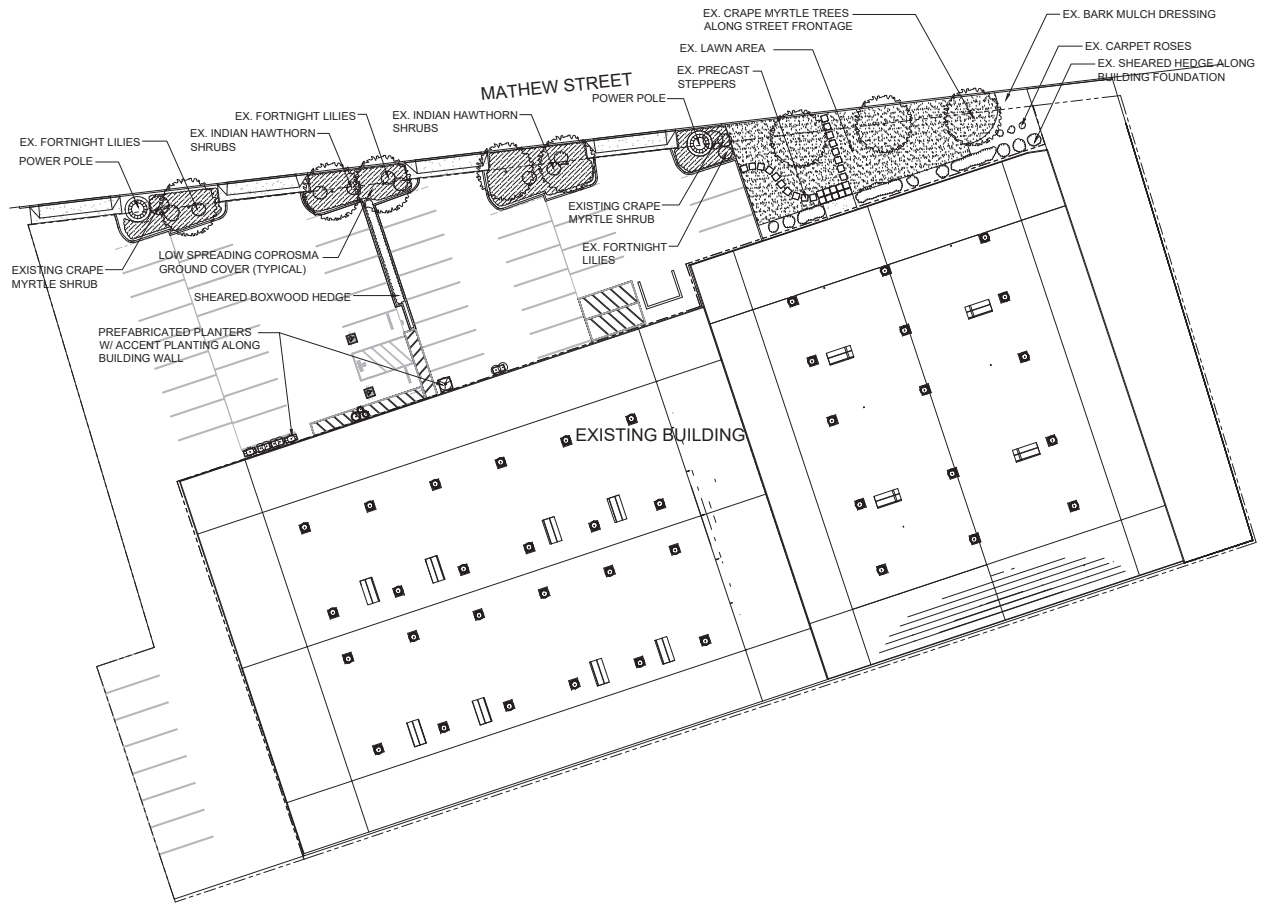
Load Type & CEC Demand Load Formula	Quantity	VA per Qty	Load VA	CEC Demand VA
Lighting per CEC 220.12 @ 125% per CEC 220.3	22252 SF		84805	84805 X125% = 106006
Signage @ 125% per CEC 220.14(F)	4 circuit	1200	4800	4800 X125% = 6000
Outdoor lighting @ 125% per CEC 220.3	16961		16961	16961 X125% = 21201
Gen Receptacle loads (per req) per CEC 220.44	6200 SF	3	18600	10000 X100% + 8600 X75% = 38442
HVAC	203532		708075	149644 X125% + 904407 X100% = 1054051
Motor loads	1 lot		350000	350000 X100% = 350000
Dedicated equipment load	22252		84805	84805 X100% = 84805
Plumbing Equipment	22252		111260	111260 X125% = 139075
Electric Vehicle Charger @ 125%	12	7500	90000	40000 X100% = 40000
Ac welder	20	2000	40000	40000 X100% = 40000
Data Servers, UPS etc	1 lot	100000	100000	100000 X125% = 125000
Appliances (Coffee, Refrig, etc)	20	1200	24000	24000 X100% = 24000
Subtotal Demand Load				2003505
Spare for future (25%)				500876
Total Demand Load				2504381
Total Demand Amperage @ 480/277V, 3PH, 4W				3012
Service Size Requested in Amps @ 480/277V, 3PH, 4W				4000



PROJECT:
**700 MATHEW ST.
 SERVICE APPLICATION
 PHASE -1**
 700 MATHEW ST.
 STA. CLARA, CA 95050

SHEET TITLE:
**ELECTRICAL LOAD
 CALCULATION**

PROJECT #: _____ SHEET NO.: _____
 DATE: 06/22/2022
 SCALE: AS NOTED **E6.0**



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 2. THIS SHEET IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, OR SURVEYING PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 3. THESE PLANS AND SPECIFICATIONS SHALL BE USED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF CALIFORNIA, LATEST EDITION, AND ANY AMENDMENTS THERE TO.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

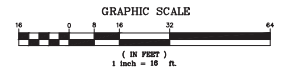
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 700 MATTHEW ST, SANTA CLARA, CA 95050

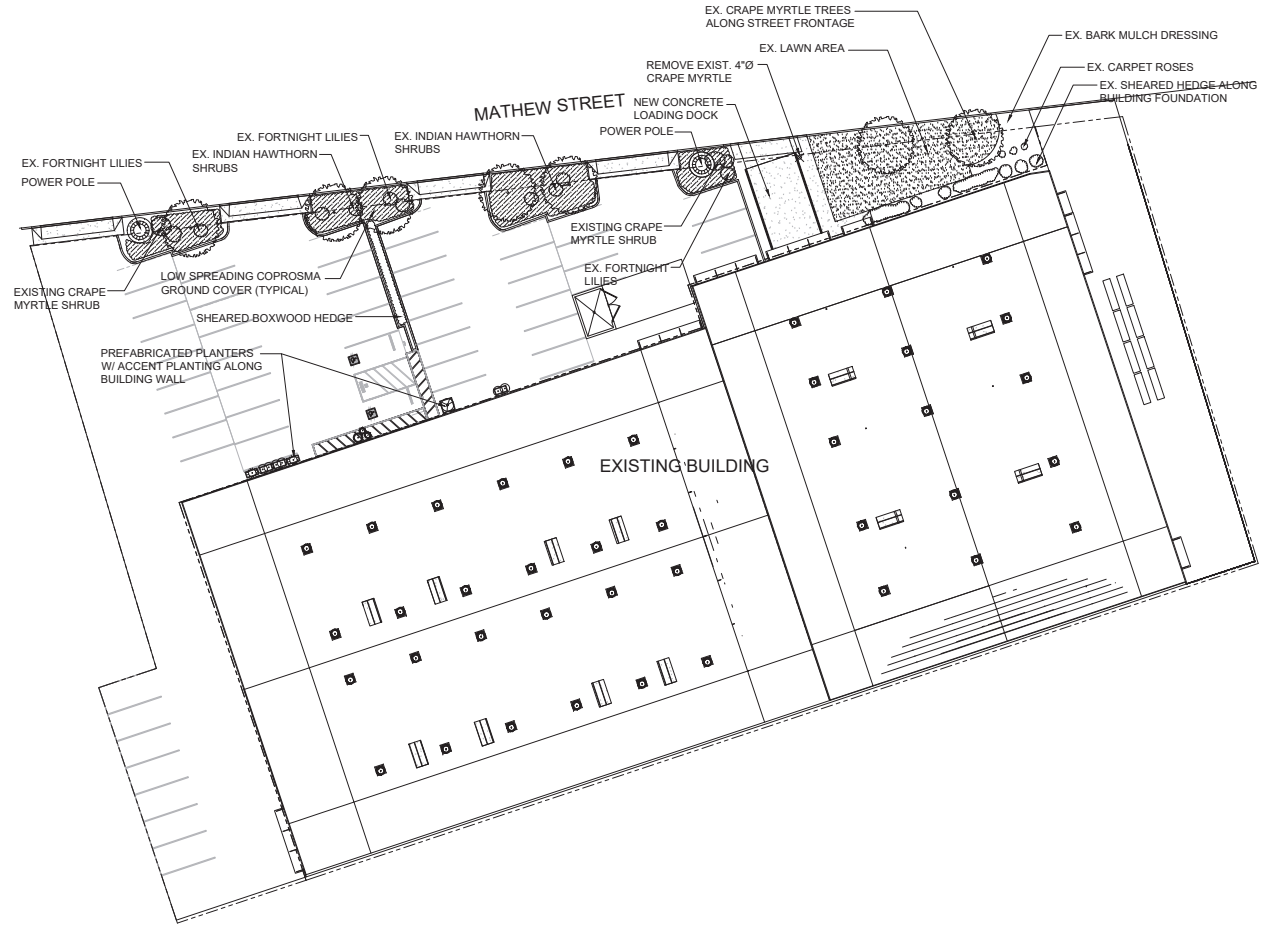
Job Number	22032
Date	2023.01.09
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Author	
Sheet Title	LANDSCAPE PLAN
Scale	

Revisions	
2023.01.09	CLP SUBMITTAL



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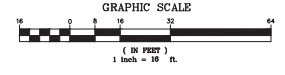
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 700 MATTHEW ST, SANTA CLARA, CA 95050



Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	PROPOSED LANDSCAPE PLAN

Revisions

2023.01.09	CLP SUBMITTAL
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L-2