

# PROJECT DIRECTORY

**OWNER:** TERRA & ANTHONY VITARELLI  
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(408) 209-2034  
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E-MAIL: robin@archstudioinc.com

# PROJECT DATA

**PROJECT ADDRESS & ZONING:**  
ADDRESS: 807 PARK COURT, SANTA CLARA, CA 95050  
APN: 303-21-009  
ZONING: R14L SINGLE STORY

**PROJECT DESCRIPTION:**  
1. REMODEL AND ADDITION TO EXISTING 1.5 SINGLE STORY RESIDENCE.  
2. CONSTRUCTION OF A NEW SECOND STORY ADDITION.  
3. ENLARGE EXISTING TWO-CAR GARAGE.  
4. REPLACE DRIVEWAY & WALKWAY HARDSCAPE

**OWNER INFO:**  
FIRE SPRINKLERS REQUIRED: —  
FLOOD ZONE: X (100BL)  
HISTORIC: NO  
EASEMENT AT FRONT: YES, TRACT #428, 18 FT. B.S.L.  
EASEMENTS: 2.5 FT. P.S.E. & T.E. EASEMENT AT BACK, 5 FT. P.S.E. & T.E. EASEMENT AT BACK

**DEFFERED SUBMITTALS: —**

**BUILDING CODE INFORMATION:**  
OCCUPANCY TYPE: R-2 / U  
CONSTRUCTION TYPE: V-B  
STORIES: TWO-STORY  
TOTAL NEW FLOOR AREA: 3,129 SF W/O GARAGE

**ZONING REQUIREMENTS:**  
MIN. LOT AREA: 6,000 SF  
MIN. LOT WIDTH: 40 FT  
EXISTING LOT AREA: 9,202 SF  
MAXIMUM HEIGHT: 2-STORY, 25 FT MAX  
F.A.R. ALLOWED: 45%, ONLY APPLICABLE FOR LOTS < 6,000 SF

**ALLOWABLE SETBACKS:**  
MIN. FRONT SETBACK: EACH LOT SHALL HAVE A FRONT YARD NOT LESS THAN TWENTY (20) FEET IN DEPTH, A MINIMUM OF THIRTY-FIVE PERCENT (35%) OF THE FRONT YARD SHALL BE PERMANENTLY MAINTAINED AS LANDSCAPED AREA.  
MIN. SIDE SETBACKS: EACH LOT SHALL HAVE TWO SIDE YARDS, EACH HAVING A WIDTH OF NOT LESS THAN FIVE FEET NOTWITHSTANDING THE ABOVE, THE SIDE YARD ON THE STREET SIDE OF EACH CORNER LOT EXCLUSIVE OF FRONT YARD SHALL NOT BE LESS THAN FIFTEEN (15) FEET IN WIDTH, A MINIMUM OF THIRTY-THREE PERCENT (33%) OF THE STREET SIDE YARD SHALL BE PERMANENTLY MAINTAINED AS LANDSCAPED AREA.  
MIN. REAR SETBACK: A REAR YARD IS REQUIRED AT THE REAR OF EVERY LOT. SUCH REAR YARD SHALL NOT BE LESS THAN TWENTY (20) FEET IN DEPTH, NOTWITHSTANDING THE ABOVE, CORNER LOT REAR YARDS MAY BE INTERCHANGED TO SET FROM THE INTERIOR, OR HOUSING STREET SIDE YARD LOT LINE.

**ZONING REQUIREMENTS (CONT.):**  
**18,12,120 MINIMUM PARKING REQUIREMENTS:**  
A) EXCEPT AS OTHERWISE PROVIDED IN SCC 18.12.200(D)(2), EACH SINGLE-FAMILY DWELLING SHALL HAVE TWO GARAGE OR CARPORT PARKING SPACES. THESE PARKING SPACES SHALL BE PROVIDED IN REQUIRED FRONT YARDS OR CORNER LOT SIDE YARDS. A MINIMUM DRIVEWAY LENGTH OF TWENTY (20) FEET IS REQUIRED BETWEEN SAID PARKING AND ANY STREET RIGHT-OF-WAY LINE.  
B) ADDITIONAL PARKING SHALL BE PERMITTED IN REQUIRED FRONT YARDS OR CORNER LOT SIDE YARDS, WHEN MOTOR VEHICLES, TRAILERS, AND BOATS PARKED IN AN ORDERLY MANNER, GENERALLY PERPENDICULAR TO THE STREET. SUCH PARKING SHALL BE PROVIDED IN THE THIRTY-FIVE PERCENT (35%) MINIMUM LANDSCAPED AREA. MOTOR VEHICLES THAT DO NOT COMPLY WITH RESTRICTIONS IMPOSED BY OTHER SECTIONS OF THE TITLE ARE PROHIBITED.  
C) PARKING SHALL ONLY BE ALLOWED ON AREAS SURFACED WITH ALL-WEATHER MATERIALS SUCH AS CONCRETE, ASPHALT, BRICK, STONE, OR GRAVEL.

**FLOOR AREA CALCULATIONS:**  
**EXISTING FLOOR AREA (SQ. FT.):**  
(E) LIVING AREA: 1,589 SF  
(E) STORAGE: 264 SF  
TOTAL (E) FLOOR AREA: 1,853 SF  
**PROPOSED FLOOR AREA (SQ. FT.):**  
(E) MAIN FLOOR: 1,589 SF  
(N) MAIN FLR. ADDITION: 264 SF  
(E) UPPER FLOOR ADDITION: 3,129 SF  
TOTAL (N) FLOOR AREA: 3,129 SF  
(E) GARAGE FLOOR AREA: 349 SF  
(E) GARAGE ADDITION: 343 SF  
(N) GARAGE TOTAL: 732 SF  
(E) STORAGE BUILDING: 605 SF (NO CHANGE)  
(N) COVERED PORCH: 78 SF  
**PROPOSED LOT COVERAGE:**  
(E) MAIN FLOOR: 1,589 SF  
(N) MAIN FLR. ADDITION: 264 SF  
(N) GARAGE: 732 SF  
(E) SHED: 60 SF  
(E) STORAGE BUILDING: 605 SF  
TOTAL LOT COVERAGE: 3,270 SF  
3,270 SF / 9,202 SF = 35.5% < 40% MAX.

**BEDROOMS:** EXISTING: 3 PROPOSED: 4  
**BATHROOMS:** EXISTING: 1.5 PROPOSED: 3  
**TOTAL DEMOLITION:** 0 SF  
**TOTAL REMODELED:** 1,410 SF  
**COMMON LIVING SPACE:** 1,497 SF / 3,129 SF = 48%  
**OPEN LANDSCAPE AREA:** 1,042 SF (SEE SHEET A1-2)  
**2ND FLOOR RATIO:** 1,274 SF / 2,350 SF = 49%

# SHEET INDEX

**ARCHITECTURAL**

- CS-1 COVER SHEET
- A1-1 DEMOLITION SITE PLAN
- A1-2 PROPOSED SITE PLAN
- A2-1 DEMOLITION FLOOR PLAN
- A2-2 DEMOLITION ROOF PLAN
- A3-2 DEMOLITION FLOOR PLAN
- A2-3 DEMOLITION ROOF PLAN
- A2-4 BUILDING STORAGE ELEVATIONS
- A3-1 PROPOSED MAIN FLOOR PLAN
- A3-2 PROPOSED UPPER FLOOR PLAN
- A4-1 PROPOSED ROOF PLAN
- A5-1 PROPOSED EXTERIOR ELEVATIONS
- A5-2 PROPOSED EXTERIOR ELEVATIONS
- A6-1 BUILDING SECTIONS

# LEGEND

- (N) FULL-HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- SHEAR WALL
- 1 DOOR SYMBOL, SEE SCHEDULE
- 2 WINDOW SYMBOL AND SKYLIGHT SYMBOL, SEE SCHEDULE
- 9 DETAIL NUMBER SHEET NUMBER
- A SECTION LETTER SHEET NUMBER
- X SPECIFIC OR KEY NOTE
- OFFICE ROOM NAME ROOM FINISH FLOOR ELEVATION ROOM FINISH FLOOR CARPET
- INTERIOR ELEVATION IDENTIFICATION
- REVISION
- C CENTER LINE
- DATUM LINE

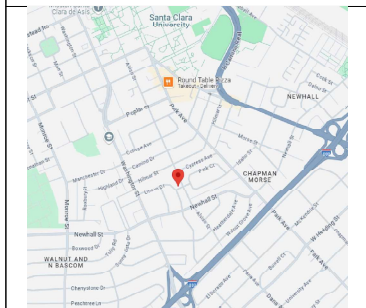
# ARCHITECTURAL REVIEW



# GENERAL NOTES

- ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY DRAWINGS, SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
  - CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)
  - CALIFORNIA PLUMBING CODE, 2022 EDITION
  - CALIFORNIA MECHANICAL CODE, 2022 EDITION
  - CALIFORNIA ELECTRICAL CODE, 2022 EDITION
  - CALIFORNIA EXISTING BUILDING CODE, 2022 EDITION
  - CALIFORNIA FIRE CODE, 2022 EDITION
  - INTERNATIONAL EXISTING BUILDING CODE, 2022 EDITION
  - CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
  - CALIFORNIA GREEN BUILDING STANDARDS, (CALGREEN) 2022 EDITION
  - 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24
- STRUCTURAL ENGINEER SHALL FIELD INSPECT FOUNDATION FOOTINGS AND WALLS PRIOR TO CONCRETE POUR AND ALL SHEAR WALLS, HOLD-DOWNS AND FRAMING.
- ALL TELEPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY REQUIREMENTS.
- ANY DIMENSION, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL EQUIPMENT SHALL BE LISTED BY THE APPROVED LISTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS.

# VICINITY MAP



**807 PARK COURT,  
SANTA CLARA, CA 95050**

# STAMPS & APPROVALS

MAJOR REMODEL & SECOND FLOOR ADDITION FOR:  
**VITARELLI RESIDENCE**  
807 PARK COURT,  
SANTA CLARA, CA 95050

DATE: 10-26-24  
SUBMITTAL: ARCHITECTURAL REVIEW  
01-13-25  
PC RESPONSE

**COVER SHEET, PROJECT INFORMATION**

DATE: 10/26/24 SCALE: SEE DRAWINGS

ALL DRAWINGS AND DETAILS SHALL BE APPROVED WITH CONSTRUCTION PERMITS AND CHANGING WORK ORDERS BY THE COUNTY OF SANTA CLARA. PERMITS AND CHANGING WORK ORDERS ARE THE RESPONSIBILITY OF THE CLIENT.

**CS-1**

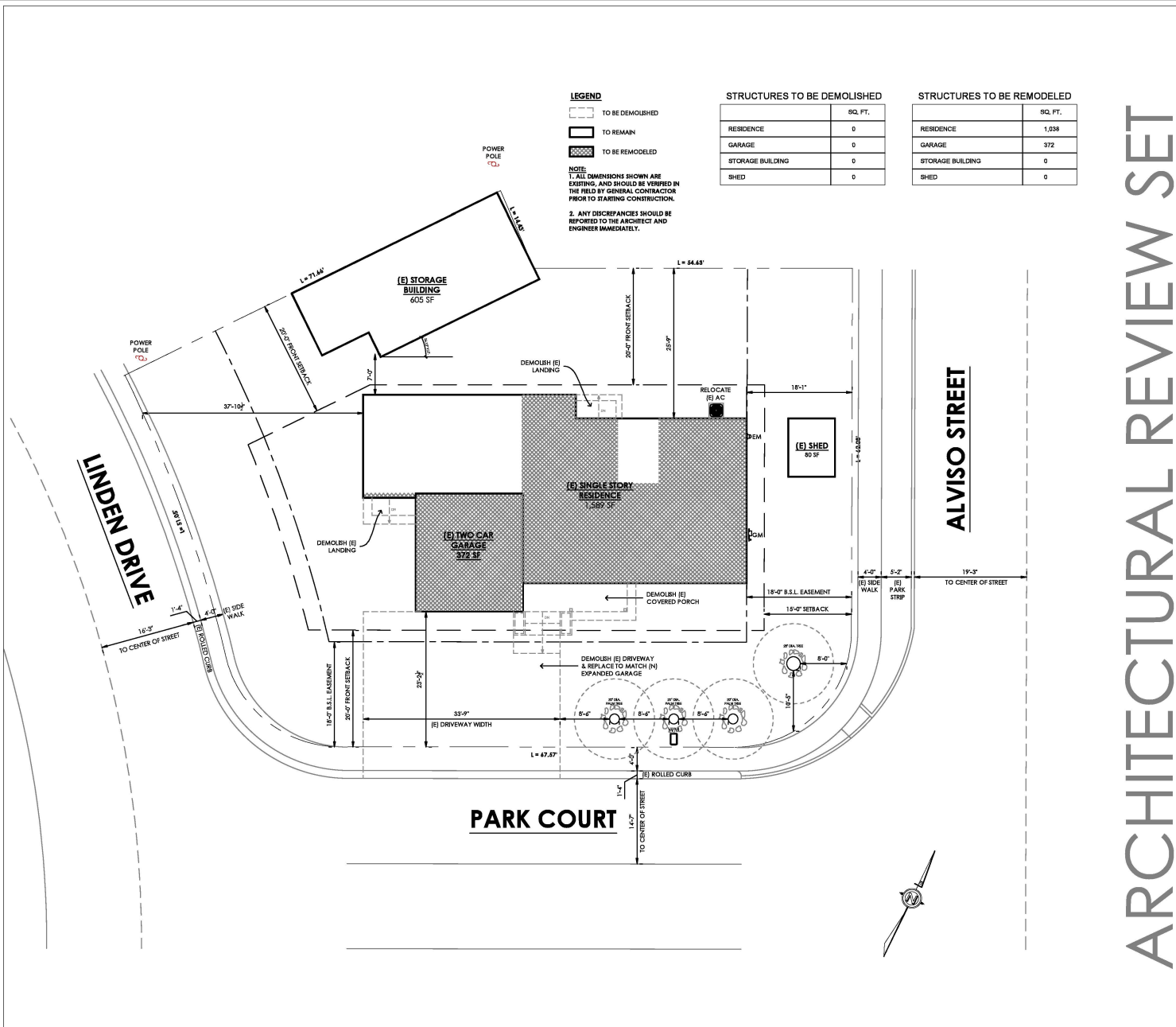
ROBIN MCCARTHY, AIA ARCHITECT #C29747  
1155 MERIDIAN AVE., #210  
SAN JOSE, CA 95125

**ARCH STUDIO**

No. C29747  
9-30-25

CALIFORNIA ARCHITECTS BOARD

# SITE DEMOLITION PLAN



## SITE DEMOLITION GENERAL NOTES:

- PARTIAL OF EXISTING HOME AND SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO CONCRETE WALKWAYS, PATIOS, DECKS, SHEDS, AND PLANTERS) SHALL BE COMPLETELY DEMOLISHED AND REMOVED FROM SITE. SEE PLAN FOR EXTENTS.
- CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF AND SECURE EXISTING GAS LINES TO PROPERTY.
- CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF EXISTING ELECTRICAL SERVICE TO BUILDING. SET UP NEW TEMPORARY POWER POLE AS REQUIRED TO PROVIDE POWER DURING CONSTRUCTION.
- CONTRACTOR TO SHUT OFF EXISTING WATER SERVICE AS REQUIRED TO UPGRADE WATER SERVICE TO NEW HOME. PROVIDE TEMPORARY WATER ACCESS AT SITE AS REQUIRED FOR USE DURING CONSTRUCTION.
- STOCKPILING OF MATERIALS IS NOT ALLOWED ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE PROMPTLY.
- PER THE MOST CURRENT CALGREEN BUILDING CODE, THE GENERAL CONTRACTOR SHALL SUBMIT A WASTE HANDLING PLAN AND RECYCLING DEBRIS FOR THE FOLLOWING:
  - RECYCLE 100% OF ASPHALT AND CONCRETE.
  - RECYCLE UNIVERSAL WASTE PROPERLY.
  - RECYCLE 68% OF THE REMAINING MATERIALS GENERATED BY THE PROJECT.
  - SEPARATE PLANT/TREE DEBRIS FROM OTHER MATERIAL, AND COMPOST 100% OF PLANT DEBRIS.
- ALL MATERIALS SHALL GO IN A CITY APPROVED DEBRIS BOX.
- IF CONTRACTOR USES SELF-HAUL USING THEIR OWN EQUIPMENT AND VEHICLES, THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL MATERIALS TO AN APPROVED RECYCLING FACILITY.
- CONTRACTOR SHALL SAVE ALL RECEIPTS FOR SUBMITTAL WITH A FINAL DIVERSION REPORT. FAILURE TO PROVIDE PROPER DOCUMENTATION MAY RESULT IN A \$1000/TON PENALTY FOR EACH TON NOT RECYCLED.
- CONTRACTOR TO HIRE A CIVIL ENGINEER OR SPECIAL INSPECTION AGENCY AS REQUIRED TO SUPERVISE THE COMPACTION OF THE SITE AREA LOCATED WITHIN THE BUILDABLE AREA OF THE NEW HOME. PROVIDE A COMPACTION REPORT AS REQUIRED.

ARCHITECTURAL REVIEW SET

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS

ARCH  
STUDIO

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ARCHITECT #C29767  
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SAN JOSE, CA 95125

MAJOR REMODEL & SECOND FLOOR  
 ADDITION FOR:  
**VITARELLI  
RESIDENCE**  
 807 PARK COURT,  
 SANTA CLARA, CA 95050

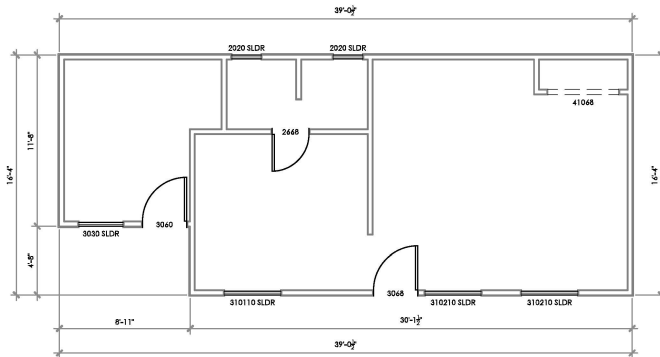
DATE	DESCRIPTION	SUBMITTAL
10-29-24	ARCHITECTURAL REVIEW	1
01-18-25	PC RESPONSE	2

### SITE DEMOLITION PLAN

DATE: 10/29/24 SCALE: 1/8" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIALS APPROVED FROM CONSTRUCTION DRAWINGS AND SUBMITTED WITH A PROFESSIONAL ARCHITECTURAL SEAL AND SIGNATURE TO BE VALID FOR THE PROJECT WITHIN THE JURISDICTION OF THE STATE OF CALIFORNIA.





**STORAGE BUILDING**  
NO CHANGE  
1/4" = 1'-0"

**LEGEND**  
 [Solid line] TO REMAIN  
 [Dashed line] TO BE DEMOLISHED

**IMPORTANT NOTE:**  
 ALL DIMENSIONS SHOWN ON THE PLAN ARE EXISTING CONDITIONS AND MUST BE VERIFIED IN THE FIELD BEFORE STARTING CONSTRUCTION.

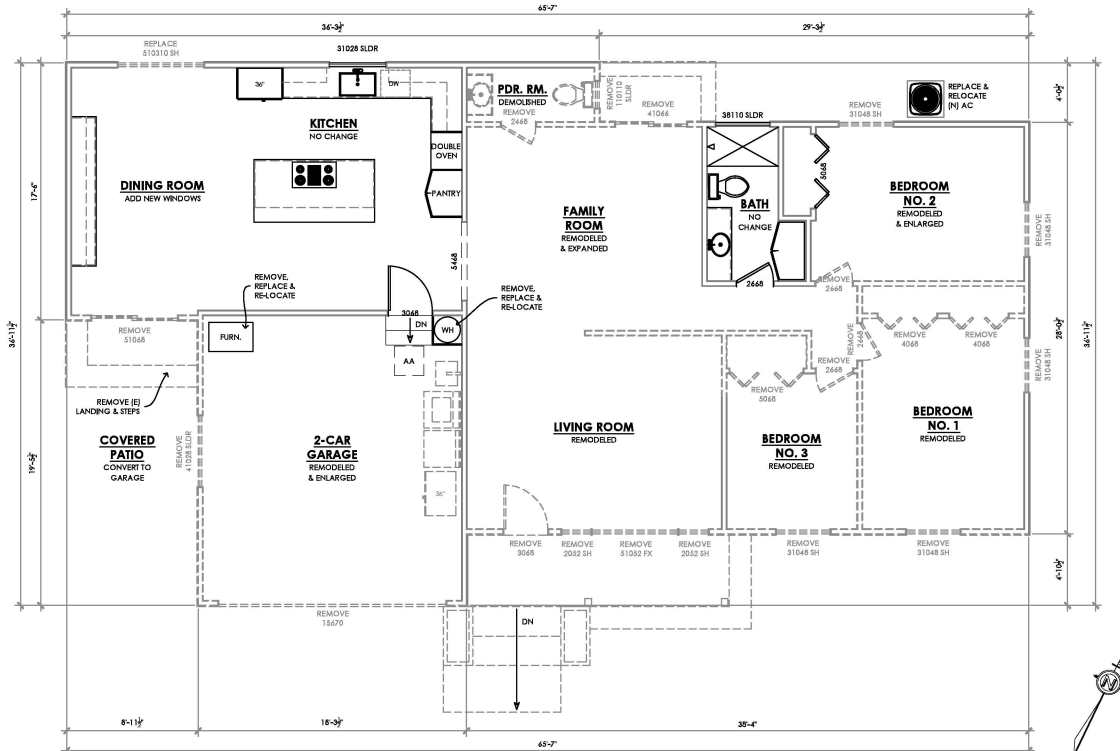
**GENERAL DEMOLITION NOTES:**

1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER, ALLED WASTE SERVICES.
2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND RECYCLING FROM THE PREMISES, USING THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
3. SEE CALGREEN RESIDENTIAL CHECKLIST AND NOTES, SHEET GN, FOR ADDITIONAL INFORMATION IN THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
4. PROVIDE PROPER SHORING & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
5. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES, AND TREE PROTECTION MEASURES AND PLAN.
6. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
7. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY.

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS



ROBIN MCCARTHY, AIA  
 ARCHITECT #C29767  
 1165 WEBERMAN AVE, #210  
 SAN JOSE, CA 95128



**MAIN RESIDENCE**  
NO CHANGE  
1/4" = 1'-0"

**DEMOLITION FLOOR PLAN**

ARCHITECTURAL REVIEW SET

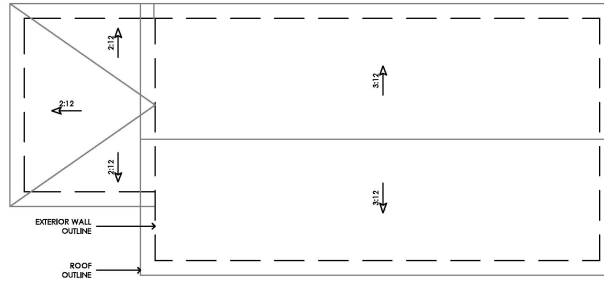
MAJOR REMODEL & SECOND FLOOR  
 ADDITION FOR:  
**VITARELLI  
 RESIDENCE**  
 807 PARK COURT,  
 SANTA CLARA, CA 95050

DATE	SUBMITAL
10-29-24	ARCHITECTURAL REVIEW
01-18-25	PC RESPONSE

**DEMOLITION FLOOR PLAN**

DATE: 10/29/24 SCALE: 1/4" = 1'-0"

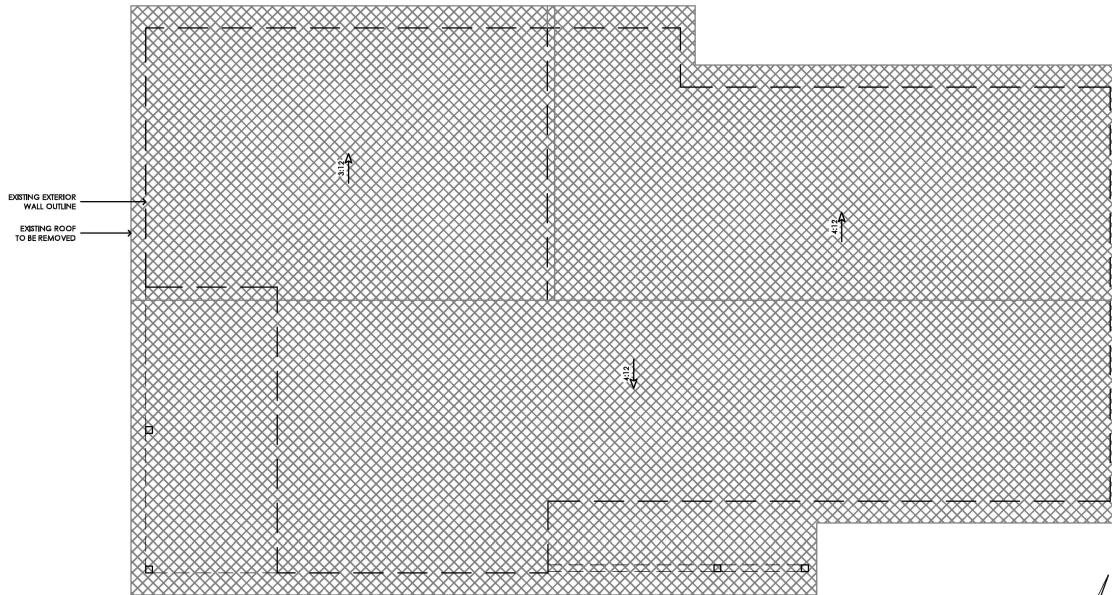
ALL DRAWINGS AND WRITTEN MATERIALS APPROVED FOR CONSTRUCTION AND SUBMITTED WITH A PROFESSIONAL ARCHITECTURAL SEAL AND SIGNATURE BY THE ARCHITECT FOR THE WORK SHOWN ON THIS DRAWING.



**STORAGE BUILDING**  
NO CHANGE 1/4" = 1'-0"

**LEGEND**  
 [---] EXISTING ROOF PLANE  
 [---] REMOVED OR MODIFIED ROOF PLANE

**NOTE:**  
 1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.  
 2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.



**MAIN RESIDENCE**  
1/4" = 1'-0"

**DEMOLITION ROOF PLAN**

ARCHITECTURAL REVIEW SET

**GENERAL DEMOLITION NOTES:**

- SEE SHEET A2-1 FOR NOTES.

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ROBIN MCCARTHY, AIA  
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MAJOR REMODEL & SECOND FLOOR

ADDITION FOR:  
**VITARELLI  
 RESIDENCE**  
 807 PARK COURT,  
 SANTA CLARA, CA 95050

DATE	SUBMITTAL
10-29-24	ARCHITECTURAL REVIEW
01-18-25	PC RESPONSE

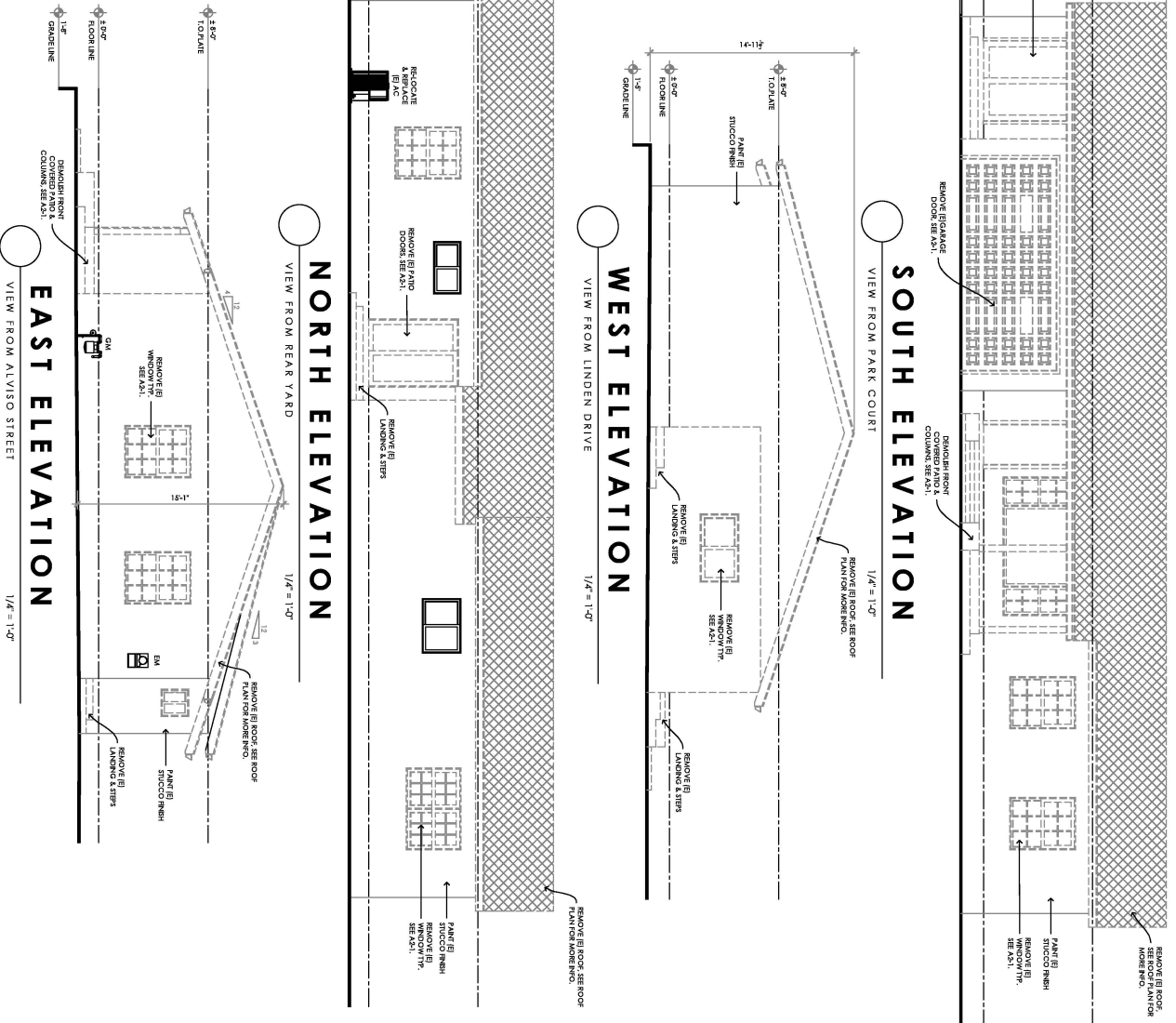
**DEMOLITION  
 ROOF PLAN**

DATE: 10/29/24	SCALE: 1" = 1'-0"
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ALL DRAWINGS AND WRITTEN MATERIAL APPROVED FROM CONSTRUCTION DRAWING AND SUBMITTED WITH A PROFESSIONAL ARCHITECTURAL SEAL AND SIGNATURE OF ROBIN MCCARTHY, AIA.

**A2-2**

# DEMOLITION ELEVATIONS



# ARCHITECTURAL REVIEW SET

GENERAL DEMOLITION NOTES:

1. SEE SHEET A-2.1 FOR NOTES.

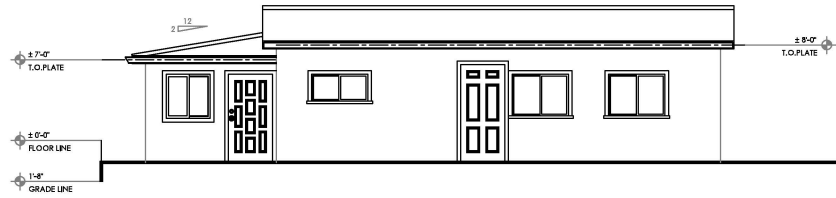
<b>DEMOLITION ELEVATIONS</b>	
DATE	SCALE
10/20/20	1/4" = 1'-0"
<small>THIS SHEET IS A PART OF A SET OF ARCHITECTURAL DRAWINGS FOR THE MAJOR REMODEL &amp; SECOND FLOOR ADDITION FOR VITARELLI RESIDENCE. THE SET INCLUDES SHEETS A-1 THROUGH A-3. THIS SHEET IS TO BE USED IN CONJUNCTION WITH SHEET A-2.1.</small>	

MAJOR REMODEL & SECOND FLOOR ADDITION FOR:  
**VITARELLI RESIDENCE**  
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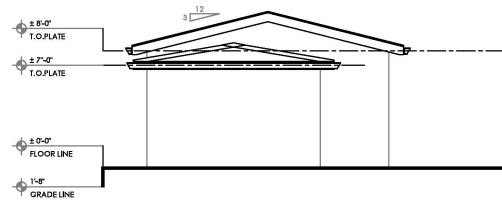


**ARCHITECT**  
**STUDIO**  
 ROBYN MCCARTY, AIA  
 ARCHITECT #C29717  
 11400 BURNBURY DRIVE  
 SAN JOSE, CA 95128  
 408.253.2525

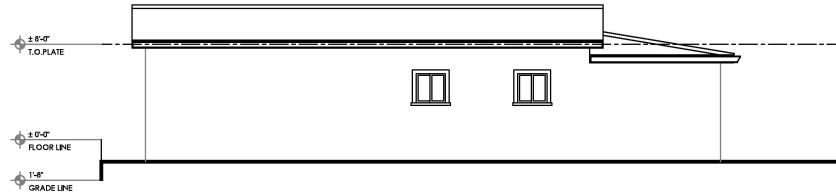
THIS SET IS PREPARED BY THE ARCHITECT AND SHALL BE USED IN CONJUNCTION WITH SHEET A-2.1.



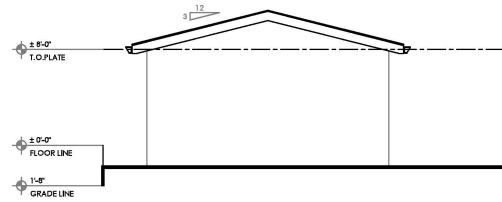
**SOUTH ELEVATION**  
NO CHANGE 1/4" = 1'-0"



**WEST ELEVATION**  
NO CHANGE 1/4" = 1'-0"



**NORTH ELEVATION**  
NO CHANGE 1/4" = 1'-0"



**EAST ELEVATION**  
NO CHANGE 1/4" = 1'-0"

**EXISTING STORAGE BUILDING**

ARCHITECTURAL REVIEW SET

**GENERAL DEMOLITION NOTES:**

1. SEE SHEET A2-1 FOR NOTES.

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SAN JOSE, CA 95128



MAJOR REMODEL & SECOND FLOOR

ADDITION FOR:  
**VITARELLI  
RESIDENCE**  
807 PARK COURT,  
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DATE	DESCRIPTION
10-29-24	ARCHITECTURAL REVIEW
01-18-26	PC RESPONSE

**EXISTING  
STORAGE BLDG.  
ELEVATIONS**

DATE: 10/29/24	SCALE: 1" = 1'-0"
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ALL DRAWINGS AND WRITTEN MATERIAL APPROVED  
BY THE ARCHITECT AND SUBMITTED  
FOR THE RECORD AND FOR THE  
WORK OF THE ARCHITECT FOR THE  
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**A2-4**

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MAJOR REMODEL & SECOND FLOOR  
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DATE	DESCRIPTION
10-29-24	ARCHITECTURAL REVIEW
01-18-25	PC RESPONSE

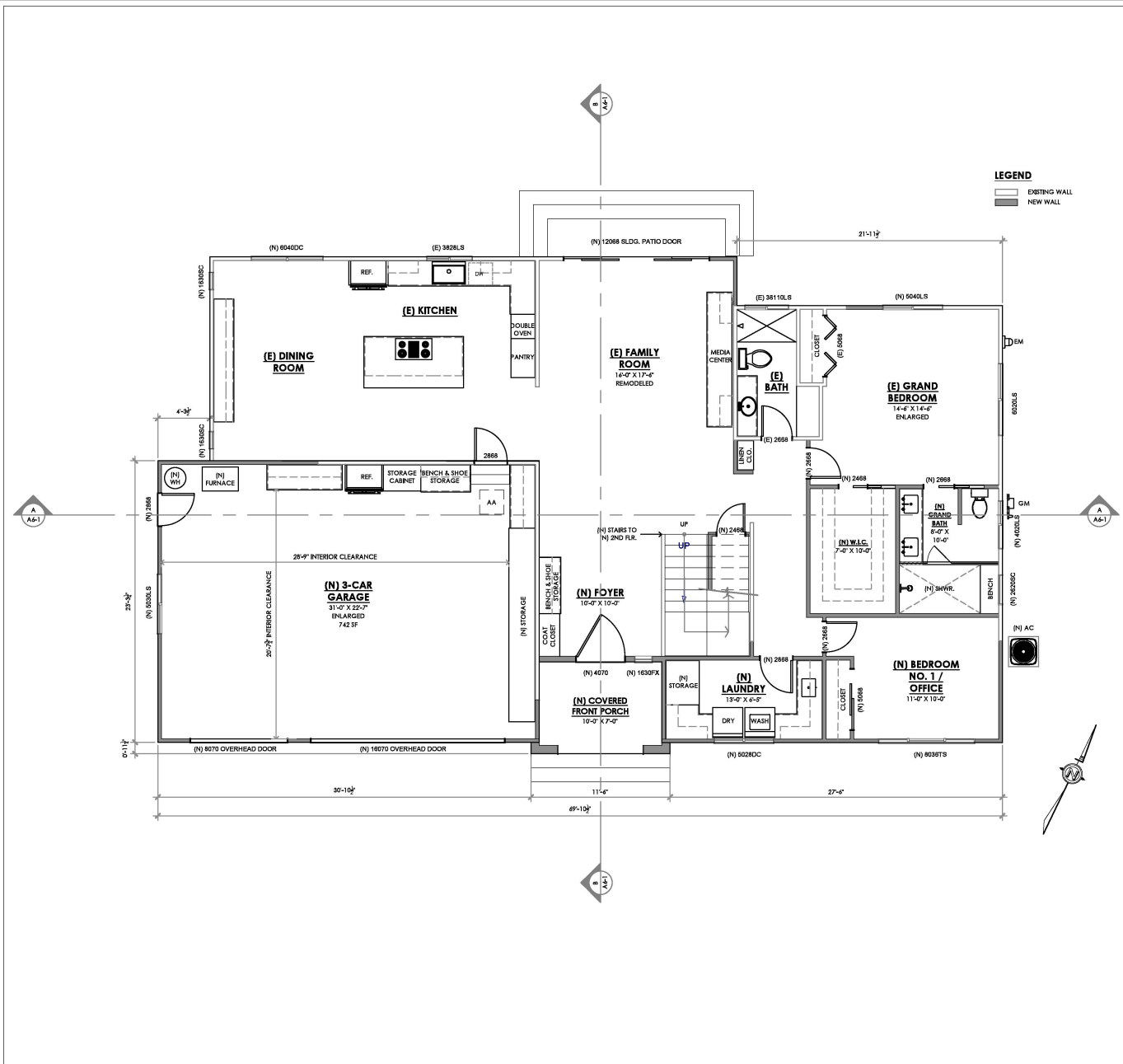
**PROPOSED  
MAIN FLOOR  
PLAN**

DATE: 10/29/24 SCALE: 1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIALS APPROVED  
BY ARCHITECT ROBIN MCCARTHY, AIA, AND REGISTERED  
WITH THE STATE OF CALIFORNIA ARCHITECTURE  
BOARD. THIS PLAN IS THE PROPERTY OF ROBIN MCCARTHY, AIA.

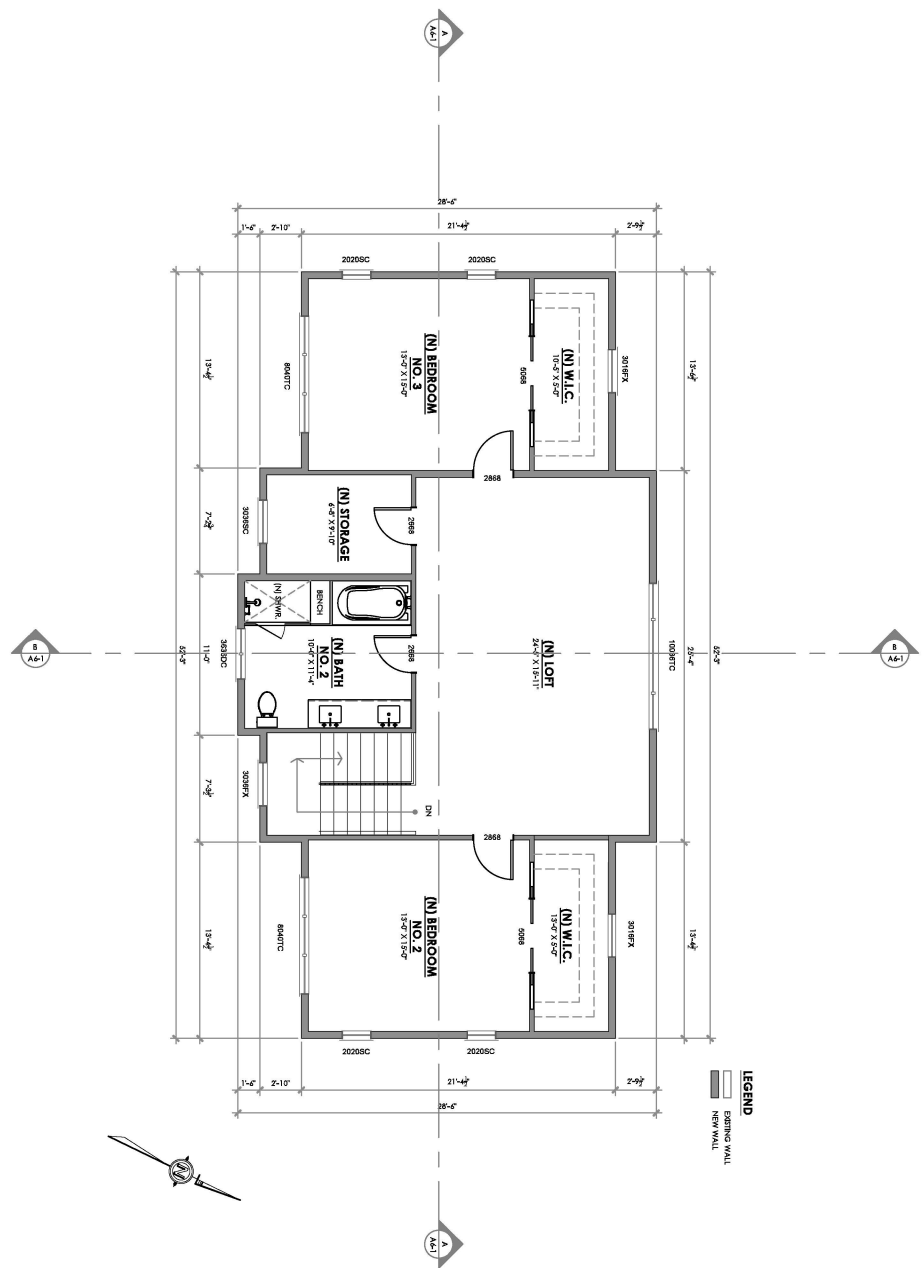
**A3-1**

ARCHITECTURAL REVIEW SET





**PROPOSED UPPER FLOOR PLAN**



**LEGEND**  
 [Symbol] EXISTING WALL  
 [Symbol] NEW WALL

**ARCHITECTURAL REVIEW SET**

MAJOR REMODEL & SECOND FLOOR ADDITION FOR:  
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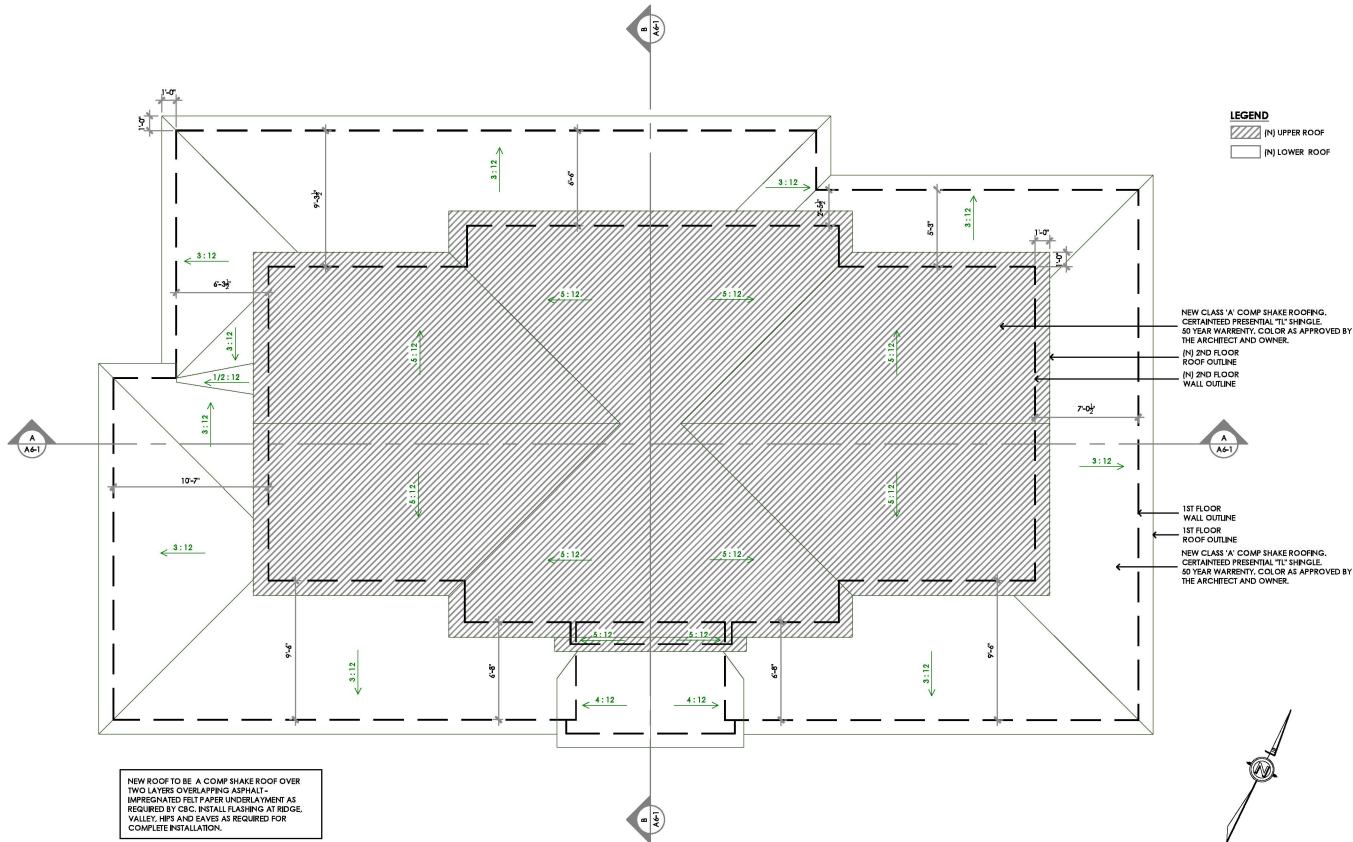


**ARCH**  
**STUDIO**  
 ROBYN MCCARTHY, AIA  
 ARCHITECT & CO., LP  
 11 AMES STREET  
 SAN JOSE, CA 95128

DATE	SCALE
10/20/24	1/8" = 1'-0"
<b>PROPOSED UPPER FLOOR PLAN</b>	
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A3-2

# ARCHITECTURAL REVIEW SET



NEW ROOF TO BE A COMP SHAKE ROOF OVER TWO LAYERS OVERLAPPING ASPHALT-IMPREGNATED FELT PAPER UNDERLAYMENT AS REQUIRED BY CRC. INSTALL FLASHING AT RIDGE, VALLEY, HPS AND EAVES AS REQUIRED FOR COMPLETE INSTALLATION.

## PROPOSED ROOF PLAN


### ROOF PLAN GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
  2. PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD. SEE ROOF DETAILS ON SHEET A4-2 FOR ADDITIONAL INFORMATION.
  3. ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION CRC 106.1 ROOF COVERING APPLICATION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  4. PROVIDE NEW COMP GIBSON SHINGLE 'CLASS A' ROOF COVERING, CERTAINTED BRAND, PRESIDENTIAL SHAKE TL, ICC-ES 1387, COLOR TO BE DETERMINED BY OWNER.
  5. INSTALL 24 LAYERS OF WATERPROOF UNDERLAYMENT (CRC 106.1.1) AND IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS. UNDERLAYMENT MATERIALS ARE REQUIRED TO COMPLY WITH ASTM D226, D1970, D4887 AND D6787 AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1(1). UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH TABLE R905.1.1(2). UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH TABLE R905.1.1(3).
  6. CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
  7. PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
  8. PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
  9. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.
- VENTILATION REQUIREMENTS FOR ROOF:**
- A. SEE ROOF VENTILATION CALCULATIONS ON ROOF PLAN.
  - B. PROVIDE LOW EAVE AND RIDGE LINE VENTILATION.
1. PROVIDE 22X 30' MINIMUM OPENING FOR ATTIC ACCESS OR AS LARGE AS THE LARGEST COMPONENT OF APPLIANCE LOCATED IN ATTIC.
  2. PROVIDE DIMENSIONS FOR ALL ROOF OVERHANGS AS INDICATED ON THE PLANS AND DETAILS.
  3. SEE STRUCTURAL DRAWINGS AND ARCHITECTURAL DETAILS FOR ADDITIONAL LAYOUT INFORMATION. COORDINATE STRUCTURAL SYSTEM WITH ARCHITECTURAL DRAWINGS. IF THERE ARE ANY DISCREPANCIES, PLEASE REPORT TO THE ARCHITECT AS NECESSARY.

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS

## ARCH STUDIO

ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1165 WEBERMAN AVE. #210  
SAN JOSE, CA 95128



MAJOR REMODEL & SECOND FLOOR  
 ADDITION FOR:  
**VITARELLI  
RESIDENCE**  
 807 PARK COURT,  
 SANTA CLARA, CA 95050

DATE	SUBMITTAL
10-29-24	ARCHITECTURAL REVIEW
01-18-25	PC RESPONSE

**PROPOSED  
ROOF PLAN**

DATE: 10/29/24      SCALE: 1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIALS APPROVED BY THE ARCHITECT AND SUBMITTED WITH THIS RESPONSE ARE HEREBY THE WRITTEN CONSENT OF ROBIN MCCARTHY.

A4-1



## SOUTH ELEVATION

VIEW FROM PARK COURT

1/4" = 1'-0"

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	COMMENTS
①	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7008 ALABASTER
②	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7017 DORMAN GRAY
③	EXTERIOR BRICK	GENERAL SHALE	CORNERSTONE THIN BRICK	COLOR: OFF-WHITE
④	FACIA & EAVE TRIM BOARD	TRUE EXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN NICKEL GRP	SIZE: 1X6, COLOR: CHARCOAL GRAY
⑤	ROOFING	CERTAINTED	PRESIDENTIAL "T1" COMPOSITION SHINGLE	COLOR: CHARCOAL
⑥	WINDOWS	ANDERSEN WINDOWS	FARMHOUSE STYLE GRIDS	SASH COLOR: BLACK
⑦	FRONT DOOR	SIMPSON CO.	PAINT-GRADE FINISH	COLOR: BENJAMIN MOORE, JET BLACK
⑧	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	PAINT-GRADE, COLOR: BENJAMIN MOORE, JET BLACK
⑨	EXT. LIGHT FIXTURE	SHADES OF LIGHT	OUTRIGGER CONE OUTDOOR LIGHT	FINISH: BRONZE



## WEST ELEVATION

VIEW FROM LINDEN DRIVE

1/4" = 1'-0"

# PROPOSED EXTERIOR ELEVATIONS

### EXTERIOR ELEVATION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.

**3. EXTERIOR WALL COVERING:** (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).

**GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT OF THE FOLLOWING:**

A. THREE COAT (7/8 inch) PLASTER ASSEMBLY OVER FRAMING; WOOD-BASED SHEATHING (PER APA) EXTERIOR SHEATHING BOARD WITH 1-SHEET OF A SELF-ADHERED FLASHING (SAF) APPLIED AT ALL HORIZONTAL SURFACES UNDER 2-SHEETS OF BLACK, GRADE "D" BUILDING (KRAFT) PAPER AS A WEATHER-RESISTIVE BARRIER; GALVANIZED PLASTER ACCESSORIES, METAL LATH; A CONVENTIONAL PLASTER SCRATCH AND BROWN COAT MEETING ASTM STANDARD C 926, WITH AN INTEGRAALLY COLORED FINISH.

B. PROVIDE ADHERED NATURAL THIN BRICK VENEER AT ALL LOCATIONS AS SHOWN ON ELEVATIONS.

SEE SHEETS A8-1, A8-2 AND A8-3 FOR DETAILS FOR ATTACHMENT.

**4. TRIMS, EXTERIOR DOORS, SHUTTERS, CORNALS AND OTHER MISC. ACCENTS:**  
ALL MATERIALS TO THE EXTENT POSSIBLE SHALL BE CEMENT BD. OR SIMILAR WITH PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.

**5. EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:** PROVIDE A STAIN-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; SHALL BE SEALED WITH A SATIN TRANSPARENT FINISH; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT. GARAGE DOOR BY "OVERHEAD DOOR CO." OR SIMILAR.

**6. PATIO DOORS & WINDOWS:** BY ANDERSON WINDOW CO. OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.

**7. PROVIDE VAPOR BARRIER:** (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

**8. BUILDING ADDRESS:** BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (CRC R319.1).

ARCHITECTURAL REVIEW SET

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MAJOR REMODEL & SECOND FLOOR ADDITION FOR:  
**VITARELLI RESIDENCE**  
807 PARK COURT,  
SANTA CLARA, CA 95050

SUBMITTALS:	
DATE	DESCRIPTION
10-26-24	ARCHITECTURAL REVIEW
01-13-25	PC RESPONSE

**PROPOSED EXTERIOR ELEVATIONS**

DATE: 10/24/24 SCALE: 1/4 IN. = 1 FT.

ALL DRAWINGS AND THEIR MATERIALS, ATTENDING THEREIN, COVERED BY ORIGINAL AND SUBSEQUENT WORK OF ROBIN MCCARTHY ARCHITECTS, INC. AND MAY BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY.

**A5-1**

ARCHITECTURAL REVIEW SET



**NORTH ELEVATION**

VIEW FROM REAR YARD

1/4" = 1'-0"

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	COMMENTS
①	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7009 ALABASTOR
②	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7017 DORIAN GRAY
③	EXTERIOR BRICK	GENERAL SHALE	CORNERSTONE THIN BRICK	COLOR: OFF-WHITE
④	FACIA & EAVE TRIM BOARD	TRUE EXTERIOR SIBING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN NICKEL GRAY	SIZE: 1X6, COLOR: CHARCOAL GRAY
⑤	ROOFING	CERTAINTEED	PRESIDENTIAL "TL" COMPOSITION SHINGLE	COLOR: CHARCOAL
⑥	WINDOWS	ANDERSON WINDOWS	(FARMHOUSE STYLE GRIDS)	BASH COLOR: BLACK
⑦	FRONT DOOR	SIMPSON CO.	PAINT-GRADE FINISH	COLOR: BENJAMIN MOORE, JET BLACK
⑧	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	PAINT-GRADE, COLOR: BENJAMIN MOORE, JET BLACK
⑨	EXT. LIGHT FITTURE	SHADES OF LIGHT	OUTRIGGER CONE OUTDOOR LIGHT	FINISH: BRONZE



**EAST ELEVATION**

VIEW FROM ALVISO STREET

1/4" = 1'-0"

**PROPOSED EXTERIOR ELEVATIONS**

**EXTERIOR ELEVATION NOTES:**

1. SEE SHEET A5-1 FOR NOTES.

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MAJOR REMODEL & SECOND FLOOR  
ADDITION FOR:  
**VITARELLI  
RESIDENCE**  
807 PARK COURT,  
SANTA CLARA, CA 95050

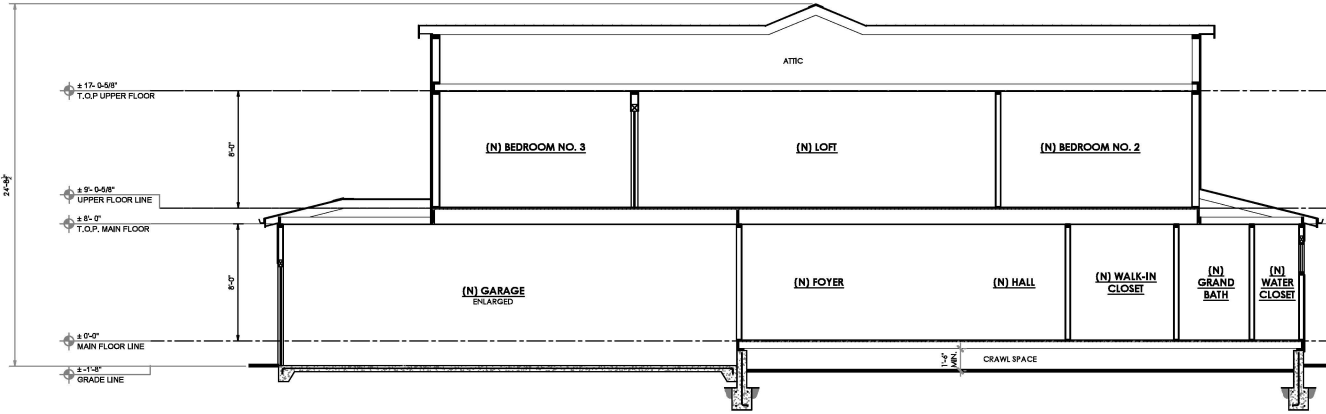
SUBMITTALS:	
DATE	DESCRIPTION
10-24-24	ARCHITECTURAL REVIEW
01-13-25	PC RESPONSE

**PROPOSED  
EXTERIOR  
ELEVATIONS**

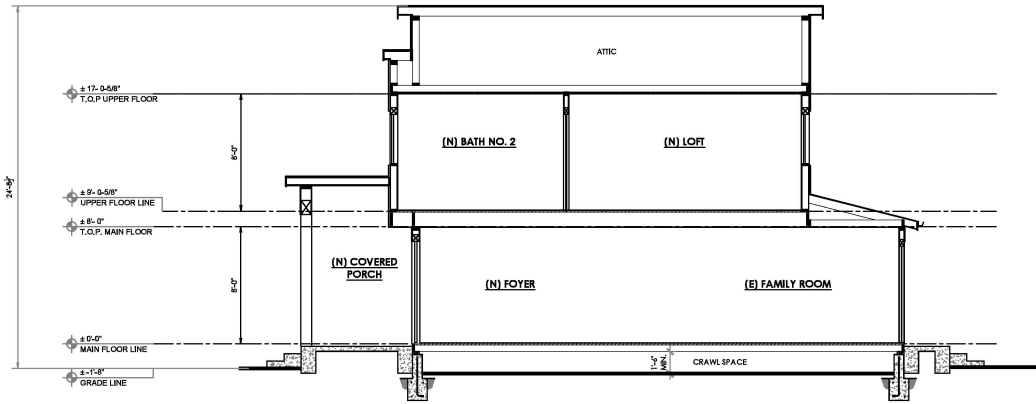
DATE: 10/24/24 SCALE: 1/4 IN. = 1 FT.

ALLOWINGS AND OTHER MATERIALS ATTENDING THESE DRAWINGS TO BE OBTAINED AND APPROVED BY OWNER OF WORK ACCORDING TO ARCHITECT'S SPECIFICATIONS AND TO BE PROVIDED TO ARCHITECT WITHIN CONTRACT OR PRIOR TO COMMENCEMENT OF WORK.

**A5-2**



SECTION A - A  
1/4" = 1'-0"



SECTION B - B  
1/4" = 1'-0"

**BUILDING SECTIONS**

ARCHITECTURAL REVIEW SET

**BUILDING SECTION NOTES:**

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.

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DATE	SUBMITTAL
10-29-24	ARCHITECTURAL REVIEW
01-18-25	PC RESPONSE

**BUILDING SECTIONS**

DATE	SCALE
10/29/24	1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIALS APPROVED FROM CONSTRUCTION AND SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE ARCHITECT AND SHALL BE THE PROPERTY OF ROBIN MCCARTHY.

**A6-1**