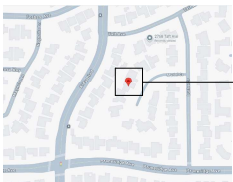


472 MURIEL CT.

SANTA CLARA, CA, 95051

VICINITY MAP:



PROPERTY LOCATION INTS

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 284-24-219
PROJECT TYPE: ADDITIONAL REMODELING
PROJECT LOCATION: 472 MURIEL CT., SANTA CLARA, CA 95051
ZONING: RM-1
OCCUPANCY GROUP: R-3 U
CONSTRUCTION TYPE: V-B
NUMBER OF FLOORS: 1
FIRE PROTECTION: NOT SPRINKLERED
EXISTING COVERED PORCH: 30 SQF
EXISTING BUILDING COVERAGE: 348 SQF
FLOOD ZONE DESIGNATION: YES (ZONE X)
NUMBER OF BEDROOMS: 4
NUMBER OF BATHROOMS: 3.5
COMMON LIVING AREA: 2553 SQF

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL: 2022 EDITION
B. CALIFORNIA BUILDING: 2022 EDITION
C. CALIFORNIA MECHANICAL: 2022 EDITION
D. CALIFORNIA PLUMBING: 2022 EDITION
E. CALIFORNIA ELECTRICAL: 2022 EDITION
F. CALIFORNIA ENERGY: 2022 EDITION
G. CALIFORNIA FIRE: 2022 EDITION
H. CALIFORNIA GREEN BUILDING: 2022 EDITION
I. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

AREA CALCULATION:

EXISTING LIVING AREA:	1466	SQF
EXISTING GARAGE:	505	SQF
EXISTING BUILDING AREA:	1971	SQF
EXISTING COVERED PORCH:	282	SQF
EXISTING GARAGE CONVERTED TO LIVING AREA:	105	SQF
EXISTING ADDITION TO LIVING AREA:	1426	SQF
EXISTING LIVING AREA:	3005	SQF
EXISTING GARAGE:	400	SQF
EXISTING BUILDING AREA:	3405	SQF
EXISTING FRONT COVERED PORCH:	30	SQF
EXISTING LOT AREA:	6586	SQF
LOT COVERAGE:		
TOTAL BUILDING AREA:	3405	SQF
COVERED PORCH:	30	SQF
(GMP=30) 8986 X 100=98.9%		

SCOPE OF WORK:

ADDITION AT FRONT OF THE HOUSE TO ENLARGE THE ENTRY AND LIVING AREA AND HAVE NEW 2 BEDROOMS.
ADDITION AT REAR AND RIGHT SIDE OF THE HOUSE TO ENLARGE THE KITCHEN AND FAMILY AND HAVE A NEW MASTER BEDROOM.
REMODELING INSIDE OF THE HOUSE.
BUILD THE NEW ROOF.

PROJECT CONTACT:

OWNER: ARVILET SAKH
472 MURIEL CT. SANTA CLARA, CA 95051
SAKHILARUNITE@GMAIL.COM
DESIGNER: AMIS DESIGN
(415) 254-4008
4310 WOODPARK AVENUE #101, SAN JOSE, CA 95117
AMISDESIGN@GMAIL.COM
STRUCTURAL: AMIS DESIGN
(415) 254-4008
4310 WOODPARK AVENUE #101, SAN JOSE, CA 95117
AMISDESIGN@GMAIL.COM

DRAWING INDEX:

A-00.01	COVER SHEET (PROPOSED SITE PLAN)
A-00.01.1	EXISTING UTILITY PLAN (EXISTING FLOOR PLAN)
A-00.01.2	EXISTING ELEVATIONS
A-00.01.3	PROPOSED FLOOR PLAN
A-00.01.4	PROPOSED ELEVATIONS
A-00.01.5	PROPOSED SECTIONS
A-00.01.6	FLOOR AREA (GARAGE) / PROPOSED ROOF PLAN (EXISTING ROOF PLAN)
A-00.01.7	EXTERIOR MATERIAL SCHEDULE

SETBACK INFORMATION:

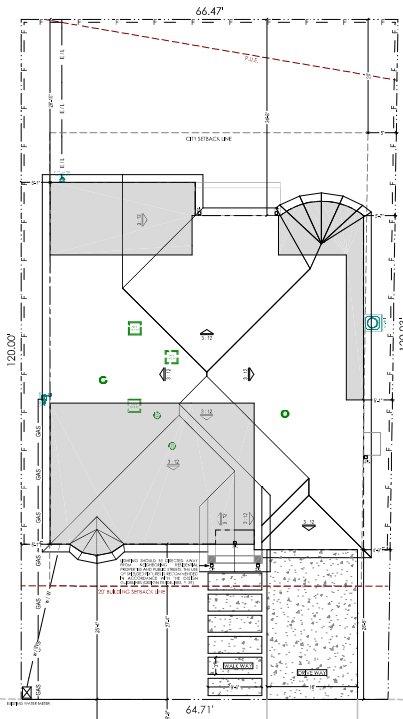
SETBACKS	EXISTING	PROPOSED	ALLOWED REQ.
FRONT	25'-0"	25'-0"	25'
REAR	25'-0"	25'-0"	25'
SIDE	25'-0"	25'-0"	25'
LEFT	25'-0"	25'-0"	25'

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMIS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REQUIRED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMIS DESIGN IMMEDIATELY AND OBTAIN WRITTEN RESOLUTION FROM AMIS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.



MURIEL CT.



LEGEND:

NEW ADDITION
PROPERTY LINE
BLDG FOOTPRINT LINE
6' HEIGHT WOODEN FENCE

1 PROPOSED SITE PLAN

GRAPHIC SCALE: 1" = 10'-0"



AMIS DESIGN

4115 MCCOY PARK AVENUE,
SAN JOSE, CA 95127
TEL: (415) 254-4008
WWW.AMISDESIGN.COM

Alpesh Masrani

THIS IS A PROFESSIONAL DESIGN FOR THE PROJECT. THE DESIGNER HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DESIGN WAS COMPLETED. THE DESIGNER HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DESIGN WAS COMPLETED. THE DESIGNER HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DESIGN WAS COMPLETED.

PROJECT NAME:

MURIEL
RESIDENCE
472 MURIEL CT.,
SANTA CLARA, CA 95051

REVISION TABLE

NO.	REVISION DATE	BY	APP.
01	NOV. 2023	ZJA	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMIS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

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SHEET TITLE:

COVER SHEET/
PROPOSED SITE
PLAN

PROJECT ID: 2407-01

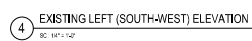
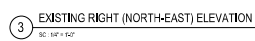
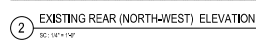
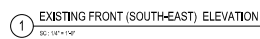
DATE: JULY 2024

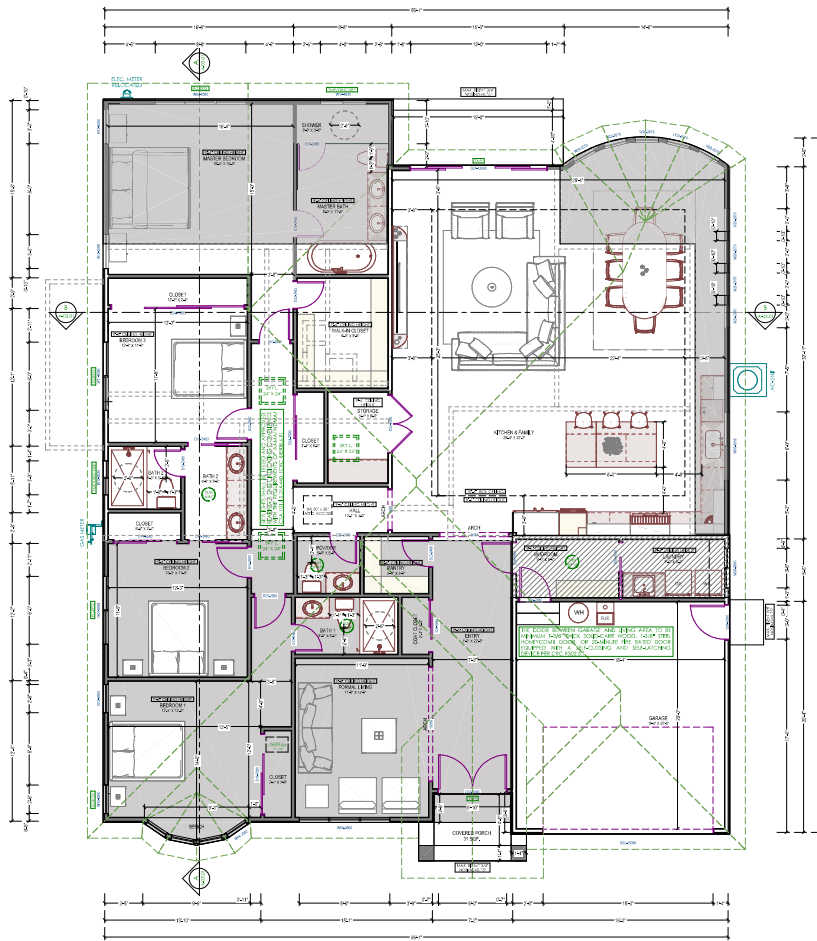
SCALE: 1/8" = 1'

DRAWN BY: P.J.

SHEET NUMBER:

A-00.01





1 PROPOSED FLOOR PLAN
SHEET NUMBER

LEGEND:

- NEW ADDITION
- CONVERTED EXISTING GARAGE TO THE LIVING AREA
- NEW CONSTRUCTION WALL
- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1" = 10'-0"



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Alpesh Masrani

THIS PLAN IS PREPARED FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF AMS DESIGN. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. AMS DESIGN IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS PLAN.

PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE
REVISION DATE BY DEP

01	NOV. 2023	ZJA	PLN
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ALL WORK SHOWN ON THIS DRAWING SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA PLUMBING CODE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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AMS DESIGN IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS PLAN. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SHEET TITLE:

PROPOSED FLOOR PLAN

PROJECT ID: 2407-10

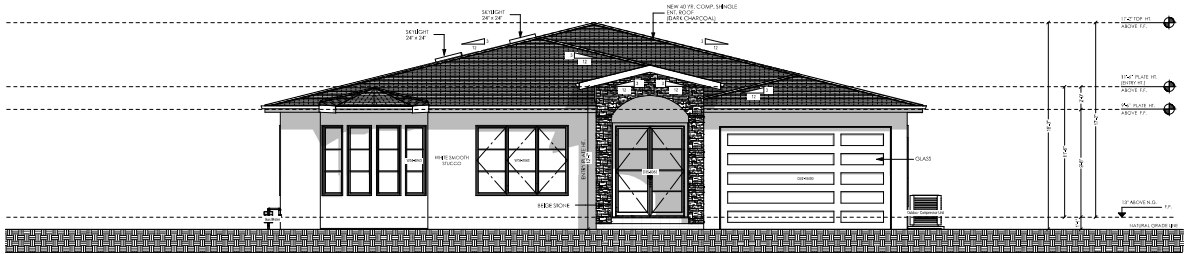
DATE: JULY 2024

SCALE: 1/8" = 1'

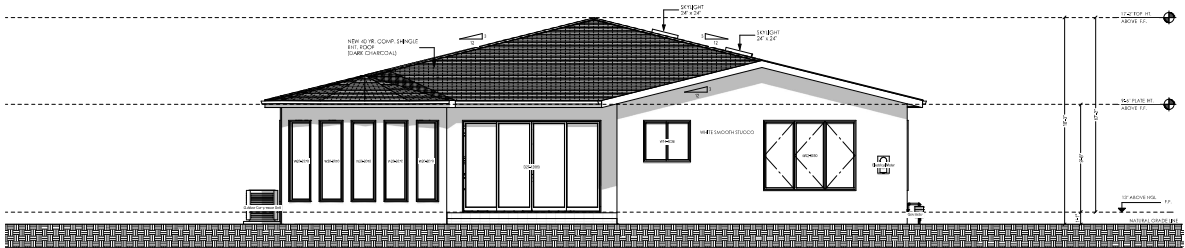
DRAWN BY: P.J.

SHEET NUMBER

A-01.01



1 PROPOSED FRONT (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED REAR (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



AMS DESIGN
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Alpesh Masrani

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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE			
REVISION	DATE	BY	DEP
01	NOV. 2025	ZJK	PLN

ALL WORK SHOWN ON THIS DRAWING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA PLUMBING CODE. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO THE PROPERTY OR TO ANY PERSONS OR THINGS CAUSED BY THE WORK SHOWN ON THIS DRAWING.

THE DESIGNER HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE SITE AND THE EXISTING CONDITIONS. THE DESIGNER HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE OR THE EXISTING CONDITIONS. THE DESIGNER HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE OR THE EXISTING CONDITIONS. THE DESIGNER HAS NOT CONDUCTED A DETAILED SURVEY OF THE SITE OR THE EXISTING CONDITIONS.

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PROPOSED ELEVATIONS

PROJECT ID: 2407-10

DATE: JULY 2024

SCALE: 1/4" = 1'

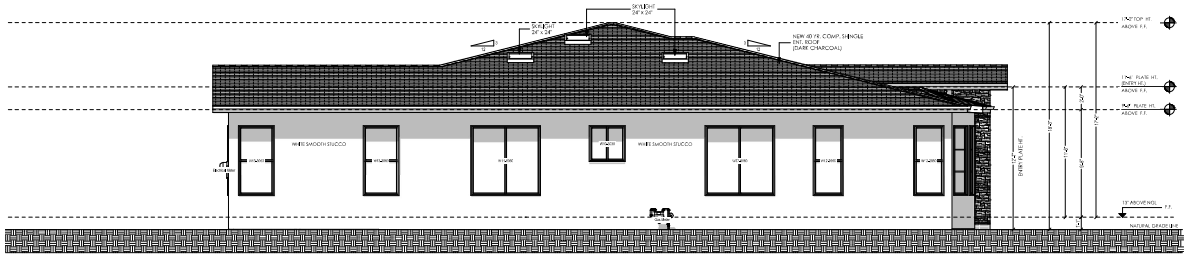
DRAWN BY: P.J.

SHEET NUMBER

A-02.01



1 PROPOSED RIGHT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED LEFT (SOUTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



AMS DESIGN

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Alpesh Masrani

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PROJECT NAME:
**MURIEL
RESIDENCE**
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE
REVISION DATE BY DEP

01	NOV. 2023	ZJK	PLN

ALL WORK PROVIDED BY THE PROVIDER SHALL BE SUBJECT TO THE APPROVAL AND SIGNATURE OF THE PROVIDER. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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PROJECT ID: 2407-01

DATE: JULY 2024

SCALE: 1/4" = 1'

DRAWN BY: P.J.

SHEET NUMBER

A-02.02



AMS DESIGN
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Alpadeh Masrius

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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE			
REVISION	DATE	BY	APP
01	NOV. 2023	ZJA	PLN

ALL WORK SHOWN ON THIS DRAWING SHALL BE SUBJECT TO THE PERMITS AND ORDINANCES OF THE CITY OF SANTA CLARA, CALIFORNIA. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THIS DRAWING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN ON THIS DRAWING.

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PROPOSED SECTIONS

PROJECT NO: 2407-10

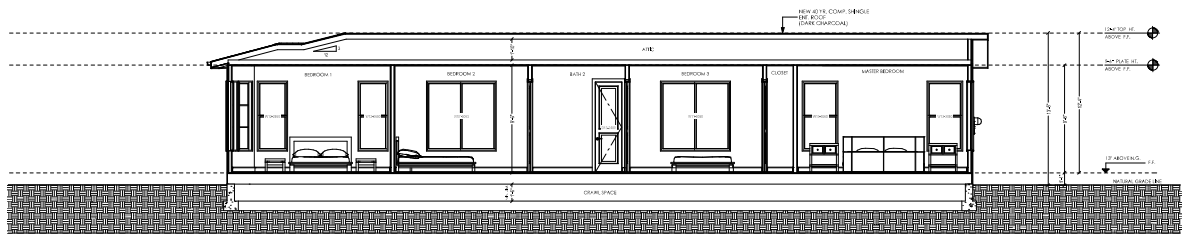
DATE: JULY 2024

SCALE: 1/8" = 1'

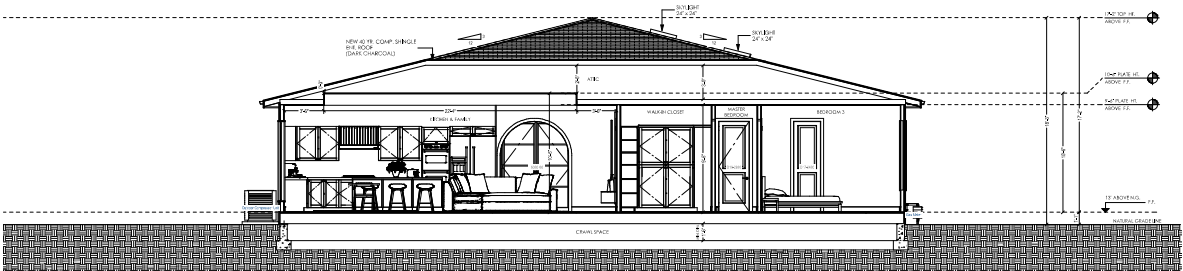
DRAWN BY: P.J.

SHEET NUMBER

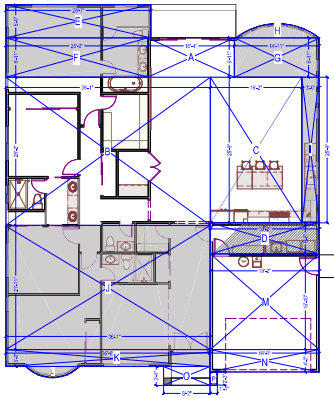
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1 A-A CROSS SECTION
SC: 1/8" = 1"

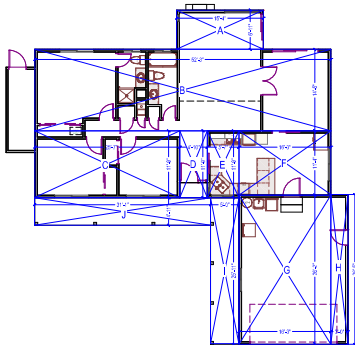


2 B-B CROSS SECTION
SC: 1/8" = 1"



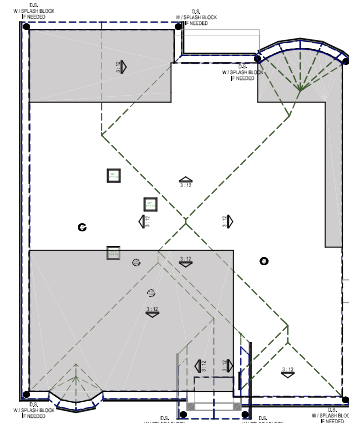
FLOOR AREA DIAGRAM (PROPOSED PLAN):
SCALE: 1/8" = 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
EXISTING LIVING AREA	A	15'-4" X 6'-1"	106	1466
	B	36'-1" X 26'-2"	938	
	C	25'-0" X 14'-2"	351	
	D	11'-0" X 5'-4"	57	
	E	11'-0" X 5'-4"	57	1435
	F	16'-3" X 11'-4"	184	
	G	26'-2" X 16'-3"	425	
	H	26'-0" X 3'-0"	80	
	I	25'-0" X 3'-0"	77	400
	J	31'-1" X 4'-11"	133	
	K	36'-0" X 3'-0"	108	
	L	—	12	
GARAGE	M	16'-10" X 19'-2"	323	400
	N	19'-3" X 4'-0"	77	
TOTAL BUILDING COVERAGE			3409	
COVERED PORCH	O	8'-2" X 3'-4"	27	30
	P	2'-5" X 1'-4"	3	

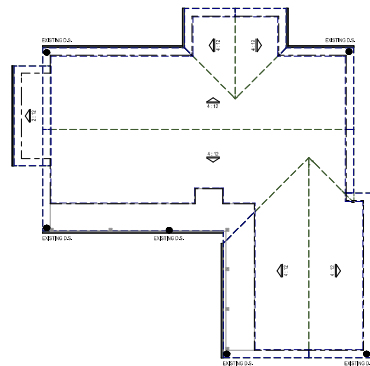


FLOOR AREA DIAGRAM (EXISTING PLAN):
SCALE: 1/8" = 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
LIVING AREA	A	15'-4" X 6'-1"	106	1466
	B	32'-3" X 14'-3"	733	
	C	25'-7" X 11'-0"	301	
	D	11'-0" X 5'-4"	57	
	E	11'-0" X 5'-4"	57	
	F	16'-3" X 11'-4"	184	
GARAGE	G	26'-2" X 16'-3"	425	505
	H	26'-0" X 3'-0"	80	
TOTAL BUILDING COVERAGE			1971	
COVERED PORCH	I	25'-0" X 3'-0"	77	282
	J	31'-1" X 4'-11"	133	



1 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'



2 EXISTING ROOF PLAN
SCALE: 1/8" = 1'



AMS DESIGN

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WWW.AMSDESIGN.COM

Alpesh M. Masani

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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE

REVISION DATE BY DEP

01 NOV. 2023 ZJA PLN

ALL WORK PROVIDED BY THE ARCHITECT SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE FINANCING AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE FINANCING AND CONSTRUCTION OF THE PROJECT.

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**FLOOR AREA DIAGRAM /
PROPOSED ROOF PLAN /
EXISTING ROOF PLAN**

PROJECT ID: 2407-10

DATE: JULY 2024

SCALE: 1/8" = 1'

DRAWN BY: P.J.

SHEET NUMBER

A-04.01



EXTERIOR MATERIAL SCHEDULE

TITLE	TYPE	INFO
ROOF	SHINGLE ROOFING	DARK CHARCOAL
SIDING	STUCCO	SMOOTH/ WHITE
GARAGE DOOR	CLOPAY	DARK GREY / GLASS
DOOR	FEATHER RIVER DOORS	DARK GRAY/ GLASS
WINDOWS	MILGARD	TUSCANY / DARK GREY



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Alpesh M. Marwari

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SHEET TITLE:
EXTERIOR MATERIAL SCHEDULE

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DATE: JULY 2024
SCALE: N.T.S.
DRAWN BY: P.J.
SHEET NUMBER:

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