

GENERAL NOTES

1. THIS CONSTRUCTION SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE AND CALIFORNIA MECHANICAL CODE AND THE 2022 CALIFORNIA RESIDENTIAL CODE.
2. ANY DISCREPANCY DISCOVERED BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE START OF ANY RELATED WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGNER HARMLESS FROM ANY LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR DESIGNER.
4. THE CONTRACTOR SHALL REVIEW ALL DETAILS & PLANS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE START OF ANY RELATED WORK.
5. SHOULD CONFLICTS OCCUR IN OR BETWEEN DRAWINGS OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION FROM DESIGNER OR OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
6. ALL MATERIAL STORE ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE.
7. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE DESIGNER.
8. DO NOT SCALE DRAWINGS. DIMENSIONS NOT GIVEN ARE TO BE CALCULATED IN THE FIELD FROM AVAILABLE DATA ELSEWHERE IN THESE SET OF PLANS OR MANUFACTURER'S SPECIFICATIONS.
9. THESE DRAWINGS ARE THE SOLE PROPERTY OF THE DESIGNER. ANY REPRODUCTION, COPYING, ALTERATION OR USE OF THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.

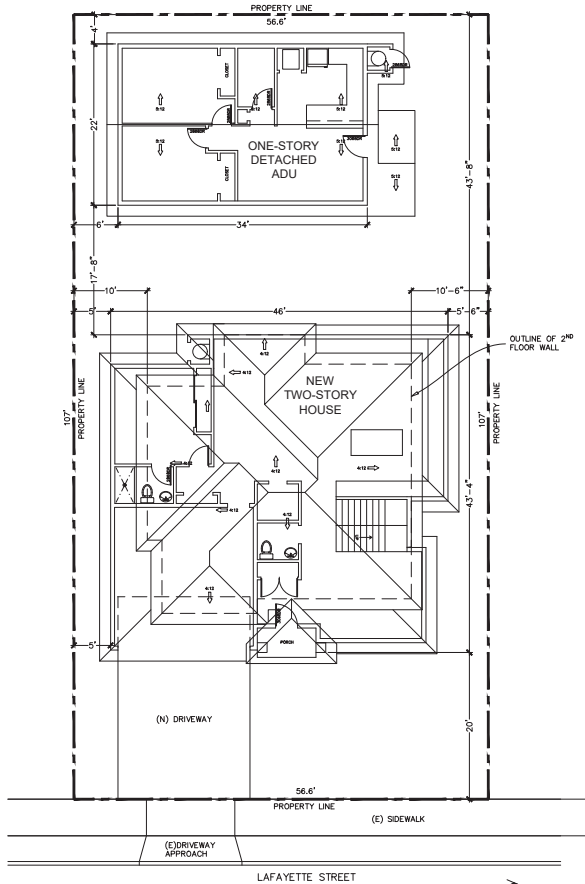
DEMOLITION, BRACING AND SHORING NOTES

1. DEMOLITION WORK CONSISTS OF FURNISHING ALL MATERIAL, SUPPLIES, EQUIPMENT, TOOLS, TRANSPORTATION, AND PERFORMING ALL LABOR AND SERVICES NECESSARY FOR, REQUIRED IN CONNECTION WITH OR PROPERLY INCIDENTAL TO PERFORMING THE DEMOLITION DRILLING, SAWCUTTING, BRACING AND SHORING, FOR STRUCTURAL MEMBERS TO PREVENT THE STRUCTURE FROM BECOMING UNSAFE DURING DEMOLITION AS SHOWN ON THE ACCOMPANY DRAWINGS.
2. THE CONTRACTOR SHALL TAKE THE FOLLOWING PROTECTIVE MEASURES FOR DEMOLITION OF THE STRUCTURE:
 - A. PROVIDE, ERECT AND MAINTAIN LIGHTS, BARRIERS, WEATHER PROTECTION AND OTHER ITEMS AS REQUIRED FOR PROTECTION OF WORKMEN ENGAGE IN DEMOLITION OPERATION AND ADJACENT RESIDENCE OCCUPANTS.
 - B. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT PROPER PERMITS.
 - C. PROTECT PRIVATE PROPERTY ADJACENT TO OR ON JOBSITE, INCLUDING VENTS, UTILITY LINES, SIDEWALKS, MAIL BOXES.
 - D. PROTECT AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE.
3. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURE AND THE SURROUNDING AREAS TO REMAIN.
4. SPECIAL CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES WHICH ARE TO REMAIN DURING EXECUTION OF THIS WORK. ANY DAMAGE SHALL BE REPAIRED TO NEW CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.
5. REMOVE DEMOLISHED MATERIAL FROM SITE. CLEAN UP ALL WORK RELATED TO DEMOLITION. LEAVING THE PROPERTY AND ADJACENT AREAS IN A CLEAN CONDITION.
6. THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE MAINTAINED AT LEVELS GENERALLY ACCEPTABLE WITHIN THE CONSTRUCTION INDUSTRY BY THE USE OF BRACING, SHORING AND UNDERPINNING UNTIL THE PROPOSED STRUCTURE MODIFICATIONS ARE COMPLETED. IN NO CASE SHALL THE EXISTING STRUCTURE BE ALLOWED TO BECOME UNSAFE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.

GOVERNING CODES:

- 2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

New Home & ADU for
Nguyen Residence
1175 Lafayette Street
Santa Clara, CA 95050
Site Plan



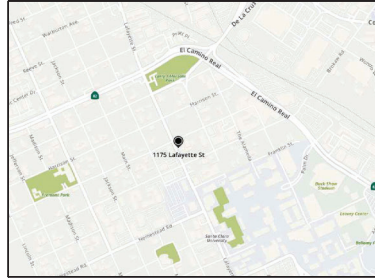
NEW SITE PLAN

1/8" = 1'-0"

SCOPE OF WORK

DEMO EXISTING HOME IN ORDER TO BUILD A NEW TWO-STORY HOUSE WITH A REAR DETACHED ONE-STORY ADU

VICINITY MAP



PROJECT INFORMATION

ASSESSOR'S PARCEL No.: 269-16-056
ZONING: R1- SINGLE FAMILY
TWO-STORY WOOD FRAMED HOUSE W/ STUCCO FINISHED AND COMP. SHINGLE ROOF
OCCUPANCY GROUP: R3 AND U
TYPE OF CONSTRUCTION: MB
BUILDING CODES: 2022 CBC AND 2022 CRC
BUILDING HEIGHT: 24'-8"
FIRE SPRINKLER: YES

FLOOR AREA BREAKDOWN

LOT SIZE: 6,506 SQ. FT.
1ST FLOOR LIVING SPACE AREA: 1,423 SQ. FT.
2ND FLOOR LIVING SPACE AREA: 1,175 SQ. FT.
ADU AREA: 748 SQ. FT.
GARAGE AREA: 400 SQ. FT.
LOT COVERAGE: (1,432+400)/6,056: 30.1%
2ND TO 1ST FLOOR RATIO: 1,175/(1,432+400): 0.64

PROJECT CONTACTS

OWNER
THANH NGUYEN
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DESIGNER & STRUCTURAL ENGINEER
KENNY LUU
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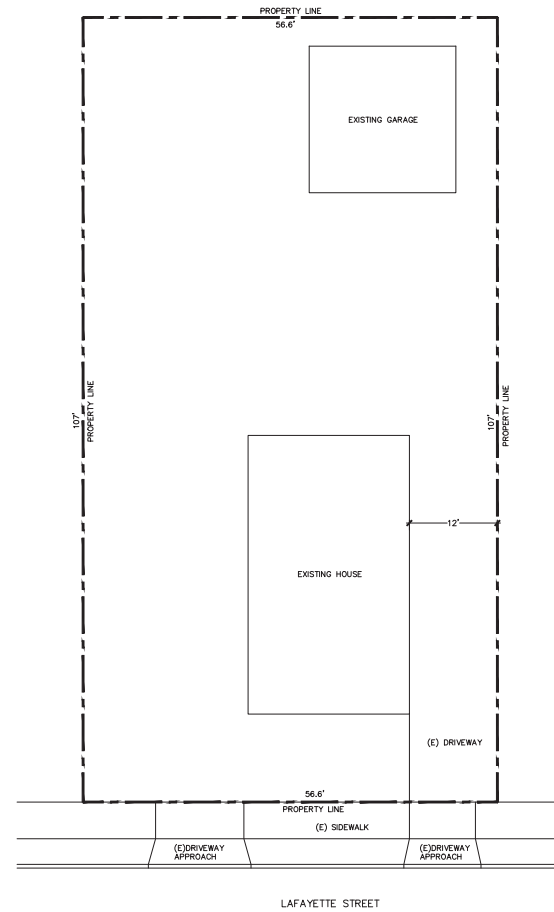
SHEET INDEX

- A1 - SITE PLAN / PROJECT INFORMATION
A2 - EXISTING SITE PLAN (FRONT HOUSE)
A3 - NEW FLOOR PLAN (FRONT HOUSE)
A4 - NEW ELEVATIONS (FRONT HOUSE)
A5 - NEW ROOF PLAN (FRONT HOUSE)
A6 - FLOOR PLAN AND ROOF PLAN (ADU)
A7 - ELEVATIONS (ADU)
A8 - EXISTING HOME PICTURES

REVISIONS	BY

New Home 7 ADU for
Nguyen Residence
1175 Lafayette Street
Santa Clara, CA 95050
New Site Plan

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DATE 3/13/2025
SCALE
AS SHOWN
JOB NO.
SHEET
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OF SHEETS

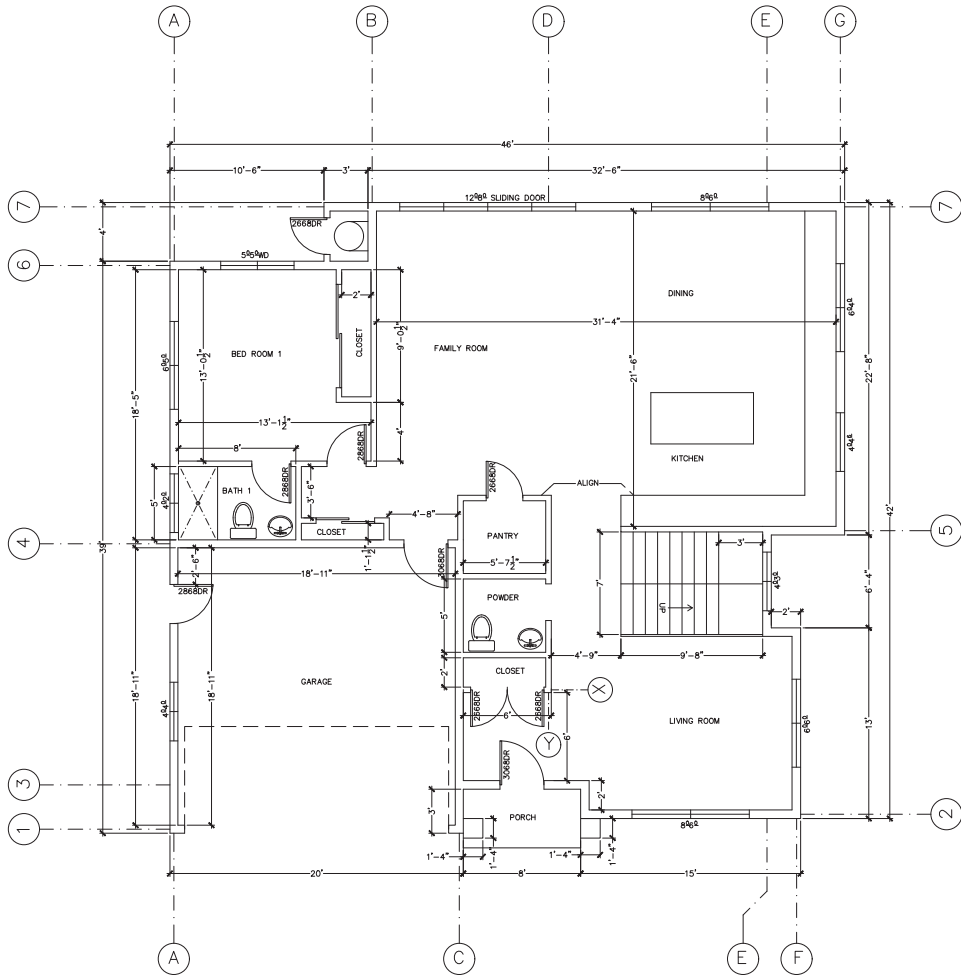


(E) SITE PLAN
SCALE: 1/4"=1'

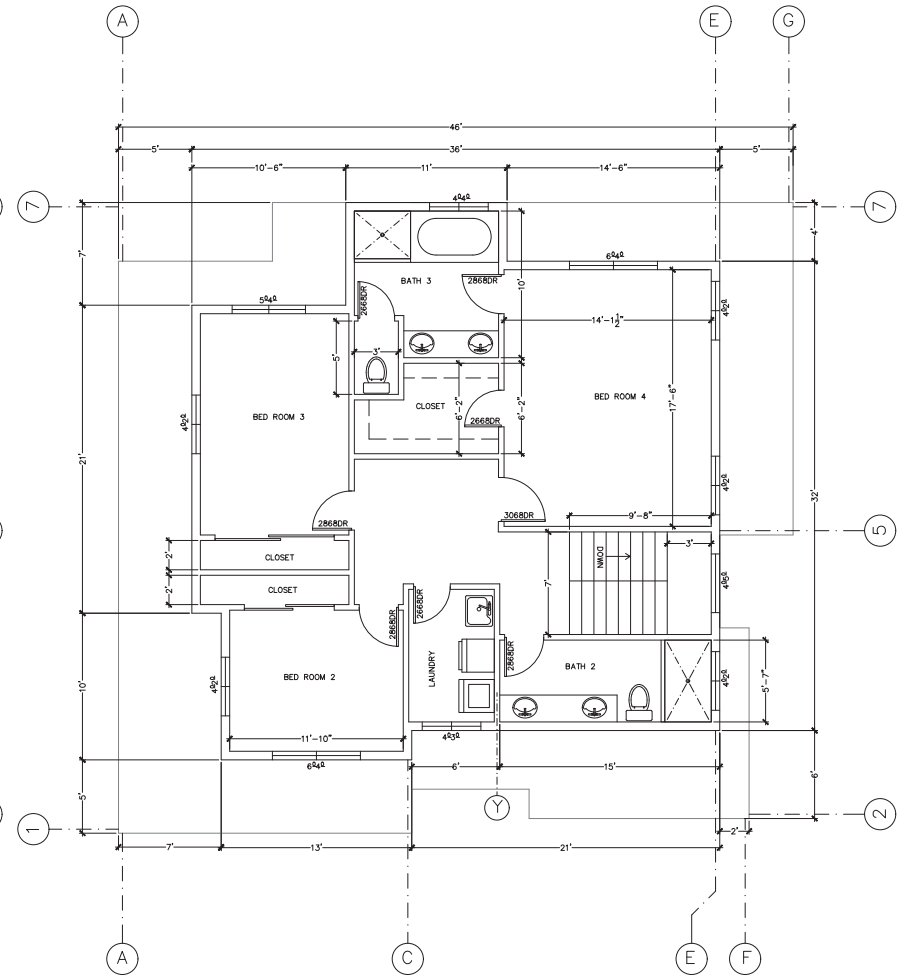
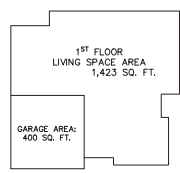
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New Home 7 ADU for
 Nguyen Residence
 1176 Lafayette Street
 Santa Clara, CA 95050
 Existing Site Plan

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FIRST FLOOR PLAN
SCALE: 1/8"=1'



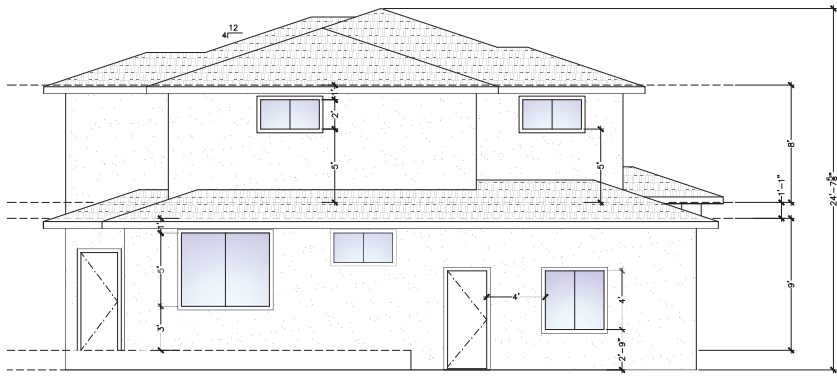
SECOND FLOOR PLAN
SCALE: 1/8"=1'



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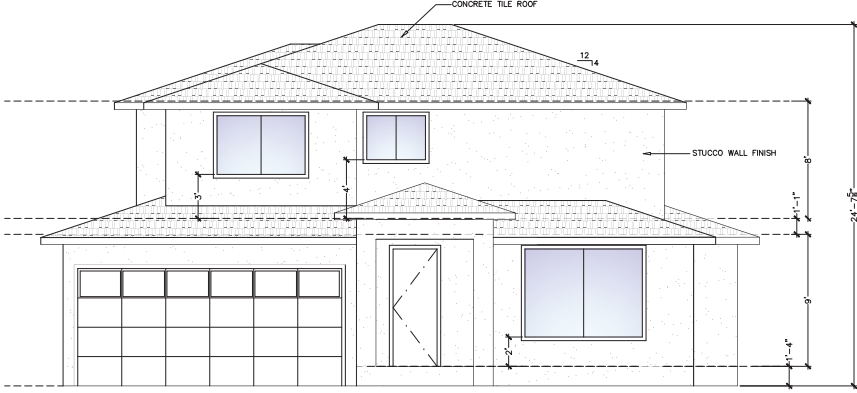
New Home & ADU for
 Nguyen Residence
 1175 Lafayette Street
 Santa Clara, CA 95050
 New Floor Plan

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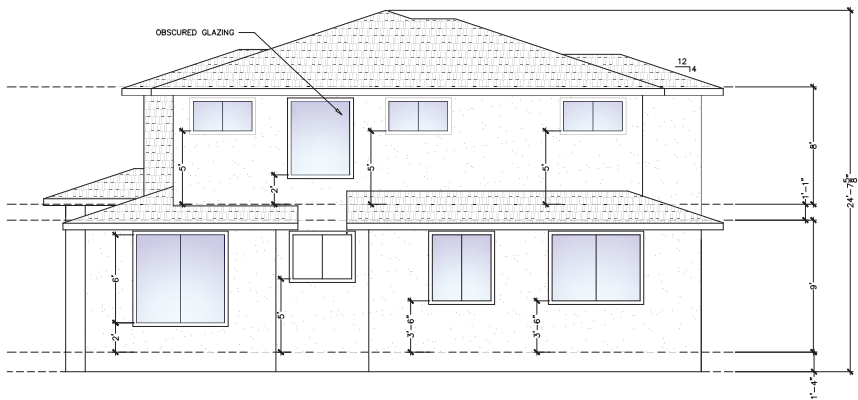
LEFT ELEVATION

SCALE: 3/8"=1'



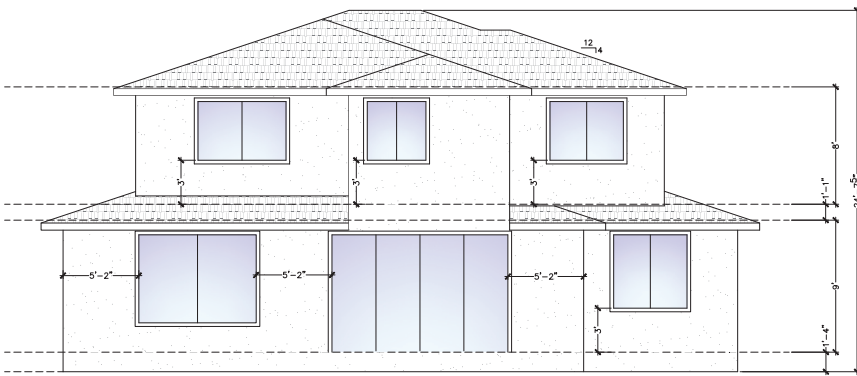
FRONT ELEVATION

SCALE: 3/8"=1'



RIGHT ELEVATION

SCALE: 3/8"=1'



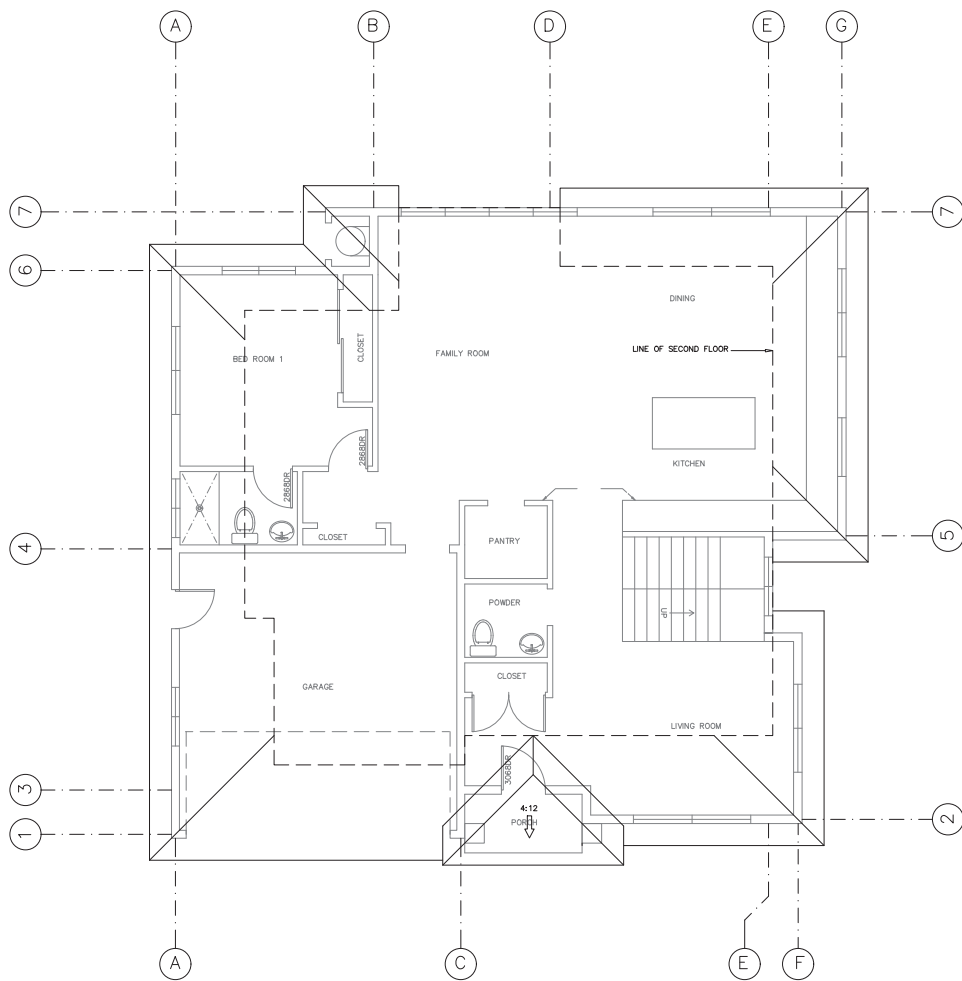
REAR ELEVATION

SCALE: 3/8"=1'

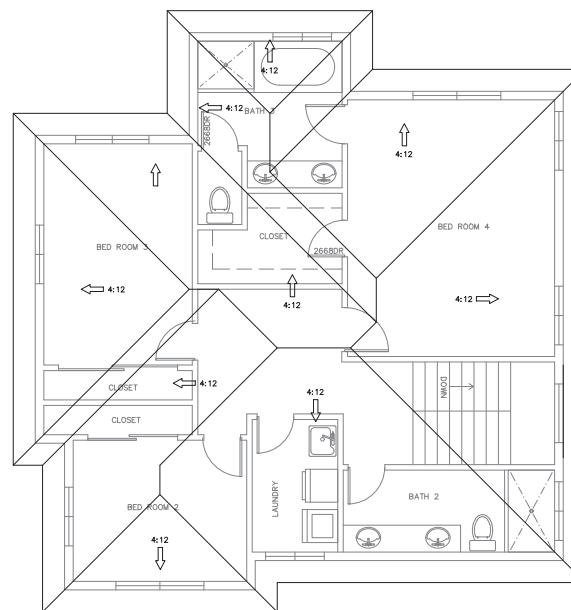
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New Home & ADU for
Nguyen Residence
1176 Lafayette Street
Santa Clara, CA 95050
New Elevations

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LOWER ROOF PLAN
SCALE: 1/8"=1'



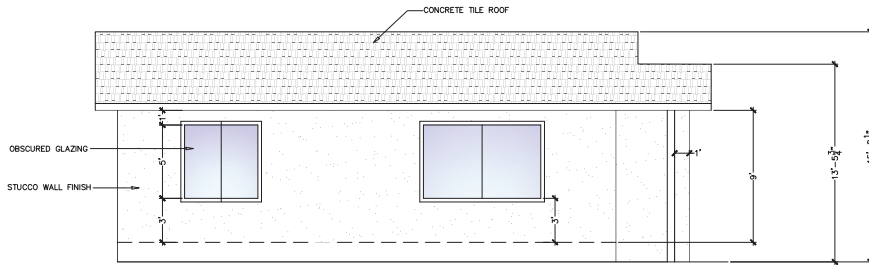
UPPER ROOF PLAN
SCALE: 1/8"=1'

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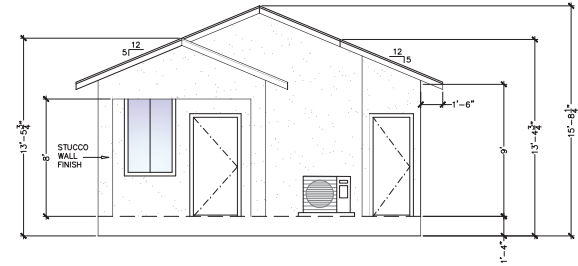
New Home & ADU for
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 New Roof Plan

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OF	SHEETS

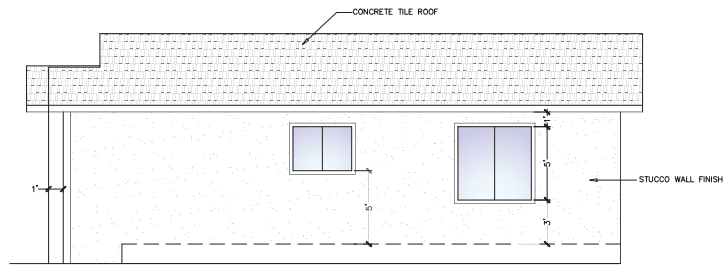
REVISIONS	BY



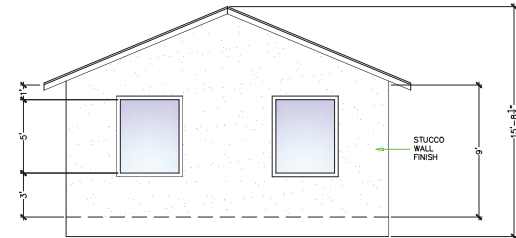
FRONT ELEVATION
SCALE: 3/8"=1'



RIGHT ELEVATION
SCALE: 3/8"=1'



REAR ELEVATION
SCALE: 3/8"=1'



LEFT ELEVATION
SCALE: 3/8"=1'

New Home & ADU for
Nguyen Residence
1176 Lafayette Street
Santa Clara, CA 95050
Elevations (ADU)

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A7
OF SHEETS



EXISTING FRONT HOUSE



EXISTING REAR HOUSE



EXISTING RIGHT SIDE



EXISTING GARAGE



STREET VIEW DOWN LAFAYETTE ST
LOOKING TOWARD BENTON STREET



STREET VIEW UP LAFAYETTE ST
LOOKING TOWARD FREMONT STREET

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New Home & ADU for
 Nguyen Residence
 1176 Lafayette Street
 Santa Clara, CA 95050
 Existing Home Pictures

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A8
 OF SHEETS