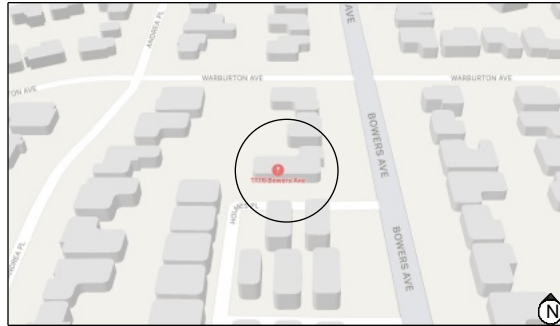


1776 BOWERS AVENUE PROJECT

PROJECT DATA



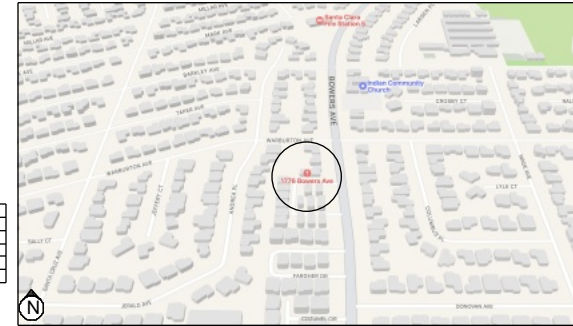
LOCATION MAP

A. P. N.	220-31-060
CONSTRUCTION TYPE:	VB
GROUP	R-3/U
LOT SIZE:	8,300 SF (0.19)
ZONING:	R1-6L - SINGLE FAMILY

1ST FLOOR	1,745 SF
+ADDITION	3,037 SF
+DETACHED ADU	900 SF
TOTAL	5,682 SF

EXISTING AREA	SQUARE FOOTAGE	PROPOSED AREA	SQUARE FOOTAGE
HABITABLE SPACE	1,745 SF	HABITABLE SPACE	5,682 SF
EXISTING BEDROOMS	3	PROPOSED BEDROOMS	9
EXISTING BATHROOMS	2	PROPOSED BATHROOMS	7.5

TOTAL ADDED HABITABLE SQUARE FEET: 3,937 SF



VICINITY MAP

INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA REVISIONS

A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
E	
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SCOPE OF WORK

- FRONT, REAR, 2ND STORY ADDITION.
- ADDED REAR YARD, SINGLE STORY, DETACHED ADU.
- (E) 3 BED/2 BATH TO 7 BED/6 BATH AND 1 POWDER ROOM.
- REAR DETACHED ADU TO BE 2 BED/1 BATH.
- 1ST FLOOR TO BE 9', 2ND FLOOR 9' AND ADU 9' CEILINGS.
- ALL UTILITIES TO BE UPGRADED AND SAME LOCATION.

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND OR CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.
- CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:
 - CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE.
 - INTERIOR DOOR AND ZERO-CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS.
 - A SINGLE NONBEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM.
 - INTERIOR NON-STRUCTURAL WALL FINISHES.
- SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.

CODE EDITIONS

CALIFORNIA RESIDENTIAL CODE	2022 EDITION
CALIFORNIA BUILDING CODE	2022 EDITION
CALIFORNIA MECHANICAL CODE	2022 EDITION
CALIFORNIA PLUMBING CODE	2022 EDITION
CALIFORNIA ELECTRICAL CODE	2022 EDITION
CALIFORNIA ENERGY CODE	2022 EDITION
CALIFORNIA FIRE CODE	2022 EDITION
CALIFORNIA GREEN BUILDING CODE	2022 EDITION
LOCAL MUNICIPAL CODE	2022 EDITION

PROJECT INDEX

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A3	EXISTING/DEMOLITION PLAN AND ROOF PLAN
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A5	PROPOSED ADU FLOOR PLAN
A6	EXISTING FLOOR AREA CALCULATIONS
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A10	PROPOSED ADU ROOF PLAN
A11	PROPOSED WINDOW/DOOR SCHEDULE (MAIN HOME)
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A14	PROPOSED MAIN HOME ELEVATIONS
A15	PROPOSED ADU ELEVATIONS
A16	PROPOSED CROSS SECTIONS
A17	PROPOSED COLORED RENDERINGS AND MATERIALS
T24-1	TBD
T24-2	TBD
S1	TBD
S2	TBD
S3	TBD
S4	TBD
S5	TBD
S6	TBD
S7	TBD

FIRE SPRINKLERS

FIRESPRINKLERS REQUIRED. OBTAIN SEPARATE FIRE PERMIT, DEFERRED SUBMITTAL. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2022, AND CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER 'FIRE HANDOUTS'). COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. (MINIMUM 1" METER AND 1" SERVICE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE).

SOLAR PANELS

NO PROPOSED SOLAR PANELS ARE PART OF THIS PROJECT.

PROJECT CONTACTS

ARCHITECTURAL DESIGN Designer Gilbert Fernandez (408) 722-0057 gf.gilfernandez@gmail.com	OWNER Naem Zaheer (408) 796-2225 danyal2@yahoo.com
STRUCTURAL DESIGN EOR TBD TBD TBD	TITLE 24 TBD TBD TBD

DESIGN DISCLAIMER

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT, PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF GILBERT FERNANDEZ INTERIOR DESIGNER.

ABBREVIATIONS

AA	Attic Access	(E)	Existing
AC	Air Conditioning	EA	Each
ACC	Access	EM	Electrical Meter
AD	Access Door	FAR	Floor Area Ratio
ADD	Addition	FC	Finished Ceiling
ADH	Adhesive	FF	Finished Floor
AFF	Above Finished Floor	FUR	Furnace
ALM	Alarm	GPM	Gallons Per Minute
AP	Access Panel	GM	Gas Meter
APPROX	Approximate	HB	Hose Bib
APRV	Approved	KIT	Kitchen
ASPH	Asphalt	IN	Inch
AVG	Average	MAX	Maximum
BDRM	Bedroom	MIN	Minimum
BEL	Below	MISC	Miscellaneous
BLDG	Building	(N)	New
BN	Bullnose	OBS	Obscure
CA	Crawlspace Access	OC	On Center
CAB	Cabinet	OH	Overhead
CF	Cubic Feet	QTY	Quantity
CFM	Cubic Feet per Minute	R	Return
CL	Centerline	REF	Refrigerator
CLG	Ceiling	REQ	Required
CLST	Closet	RM	Room
CO	Clean Out	RO	Rough Opening
CuFt	Cubic Feet	S	Sewer Lateral
CuYd	Cubic Yard	SF	Square Foot
CW	Cold Water	SHWR	Shower
DBL	Double	SL	Sky Light
DEMO	Demolition	TYP	Typical
DIA	Diameter	UT	Utility
DR	Door	W	Water Lateral
DS	Downspout	WH	Water Heater
DW	Driveway	WIN	Window
		WM	Water Meter
		WP	Weatherproof

COVER SHEET

1776 BOWERS AVENUE
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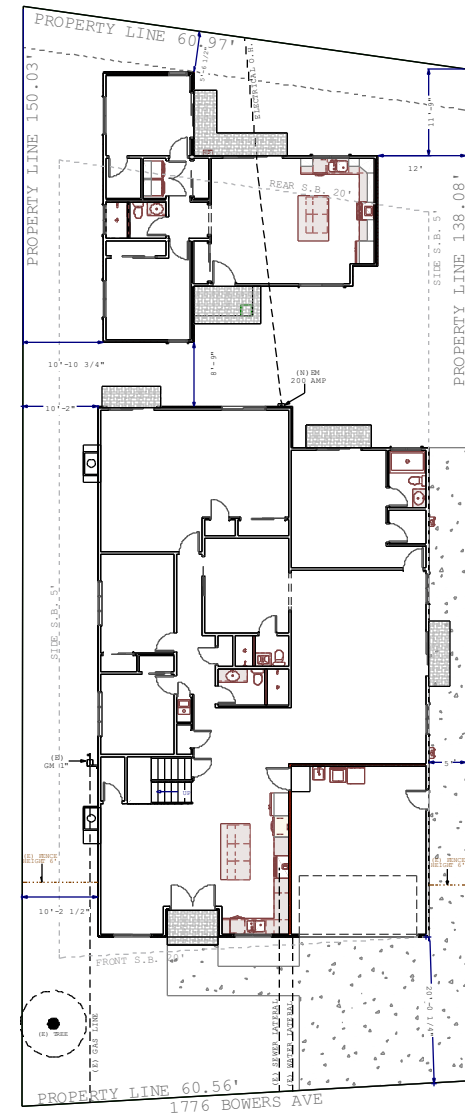
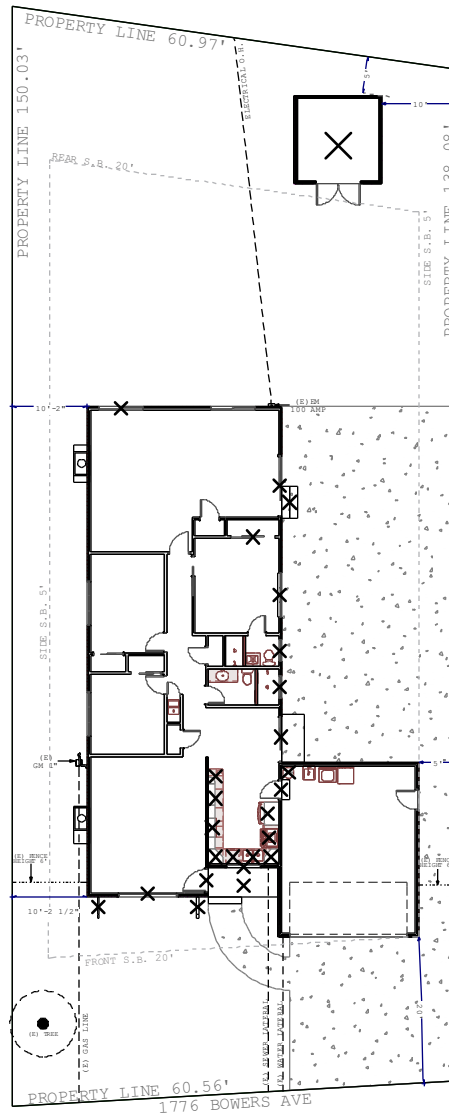
A-1

SITE PLAN GENERAL NOTES

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 OR USANORTH811.ORG AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISH-CHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.
6. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
7. LOT GRADINGS SHALL CONFORM TO THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO SLOPE ONTO NEIGHBORING PROPERTY.
8. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICE, CITATIONS, OR STOP ORDERS.
10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
11. ANY TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINE OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
12. SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEETS FOR ADDITIONAL PROJECT INFORMATION.
13. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.
14. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
15. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.

DUST CONTROL NOTES

1. WATER ALL ACTIVE CONSTRUCTION AREAS ON A "AS NEEDED" BASIS.
2. WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
3. COVER ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
4. APPLY WATER AS NEEDED, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES. ALSO HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS.
5. SWEEP (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES ON AN "AS NEEDED" BASIS.
6. SWEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THEM.
7. ENCLOSE, COVER, WATER, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSE STOCK PILES (DIRT, SAND, ETC.) ON AN "AS NEEDED" BASIS.
8. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS WITHIN THE PROJECT PARCEL TO 15 MPH.
9. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT STILL RUNOFF TO PUBLIC ROADWAYS AND/OR THE ADJACENT WATERWAY.
10. REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
11. THE APPROVED PLAN SHALL BE IMPLEMENTED FOR THE DURATION OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES THAT GENERATES DUST AND OTHER AIRBORNE PARTICLES.
12. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PROTECT ANY SIGNIFICANT NUISANCE FROM DUST OR SPILLAGE UPON ADJOINING WATER BODY, PROPERTY, OR STREETS, EQUIPMENT, AND MATERIALS ON THE SITE SHALL BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST. A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
13. A DUST PALLIATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE GOVERNING AGENCY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SOILS ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND BUILDING DEPARTMENT'S GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.



DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
E	
F	

EXISTING AND PROPOSED
SITE PLANS

1776 BOWERS AVENUE
SANTA CLARA, CA 95051

7/1/24

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EXISTING SITE PLAN 1/8" = 1'-0" PROPOSED SITE PLAN 1/8" = 1'-0"

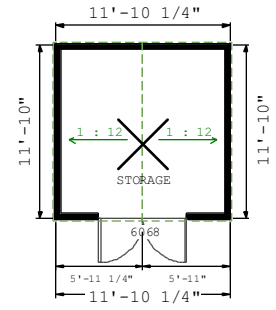
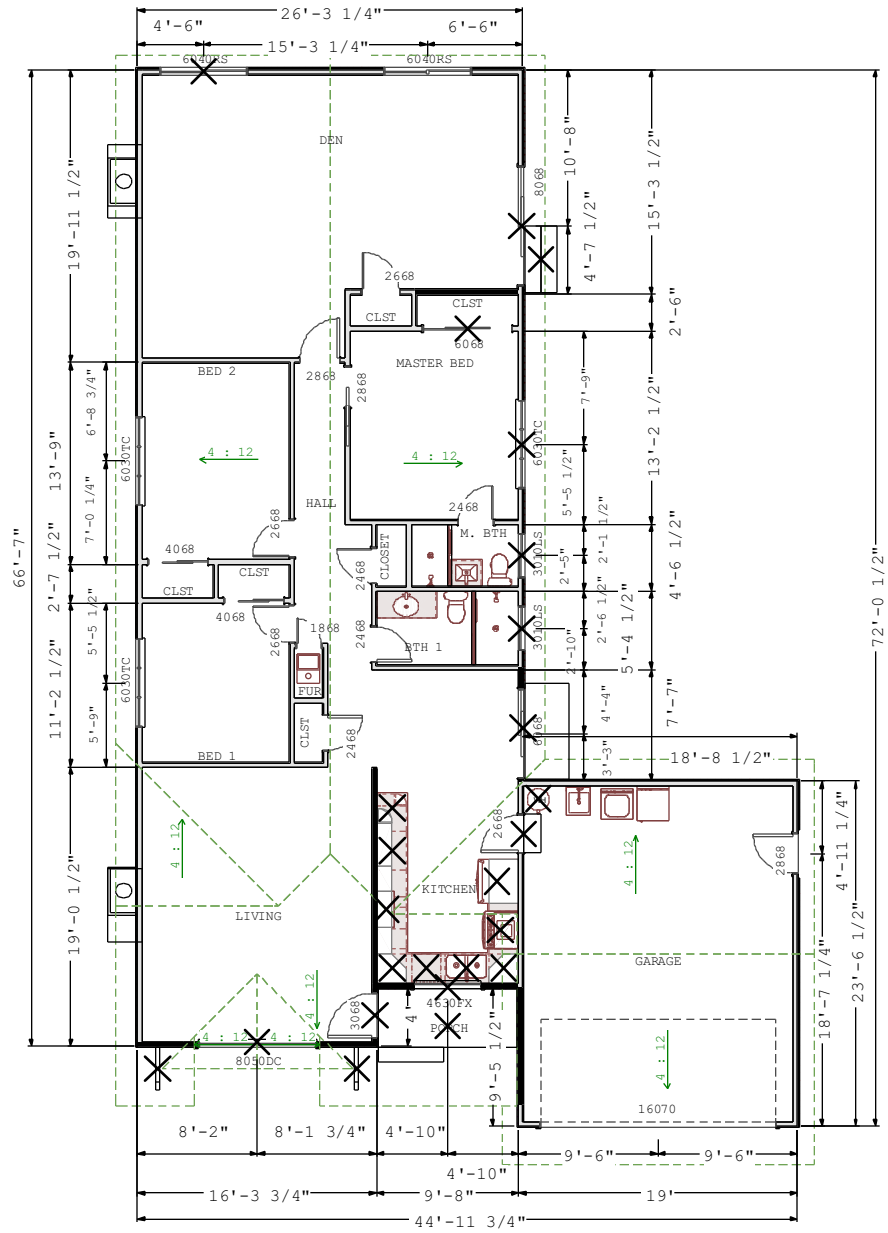
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
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E	-
F	-

**EXISTING/DEMOLITION PLAN
 AND ROOF PLAN**

**1776 BOWERS AVENUE
 SANTA CLARA, CA 95051**

7/1/24

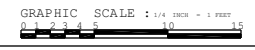
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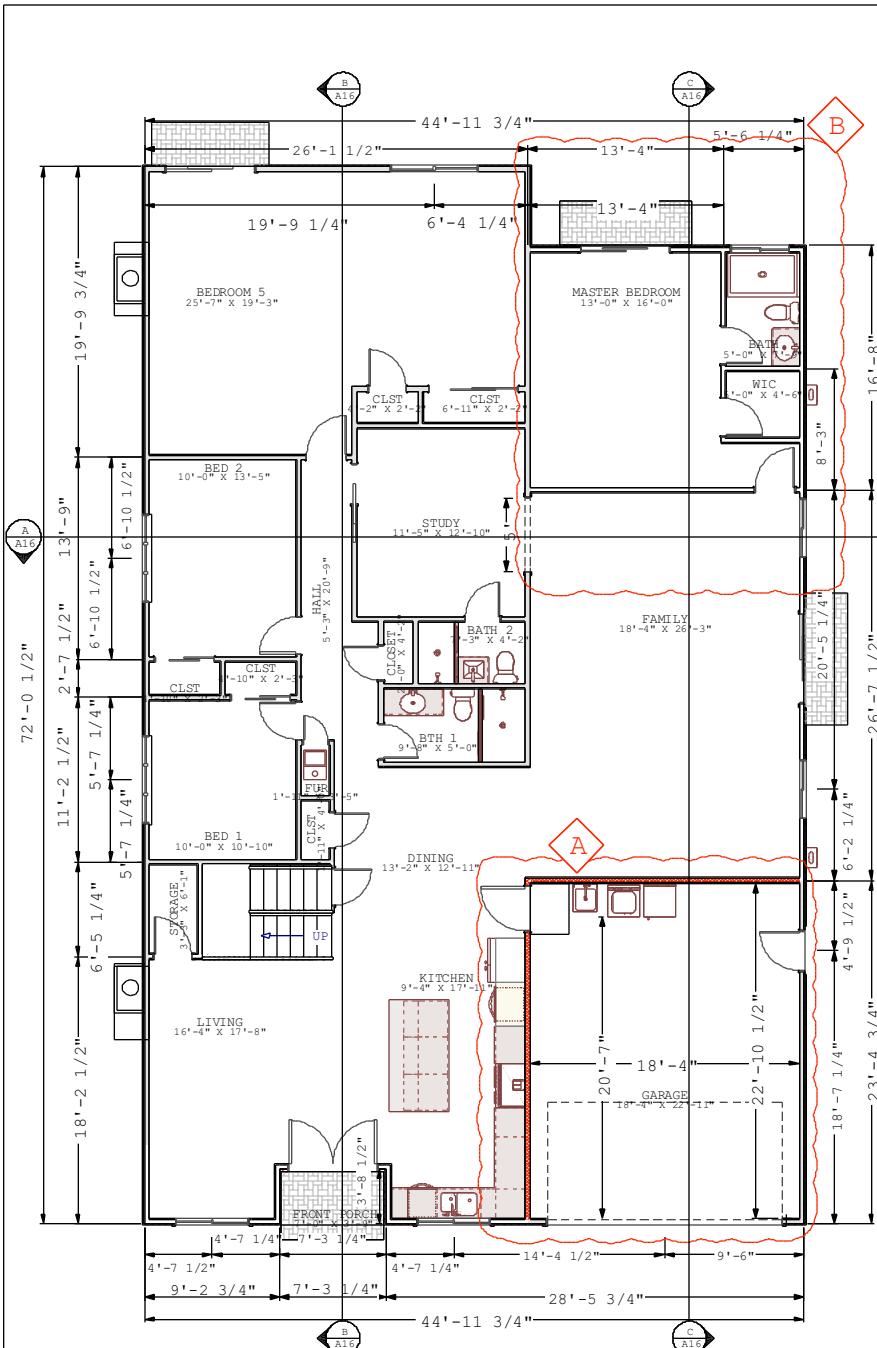


- DEMO LEGEND**
- WALLS TO BE REMOVED
 - WALLS TO REMAIN
 - ITEMS TO BE REMOVED
 - ROOF LINES

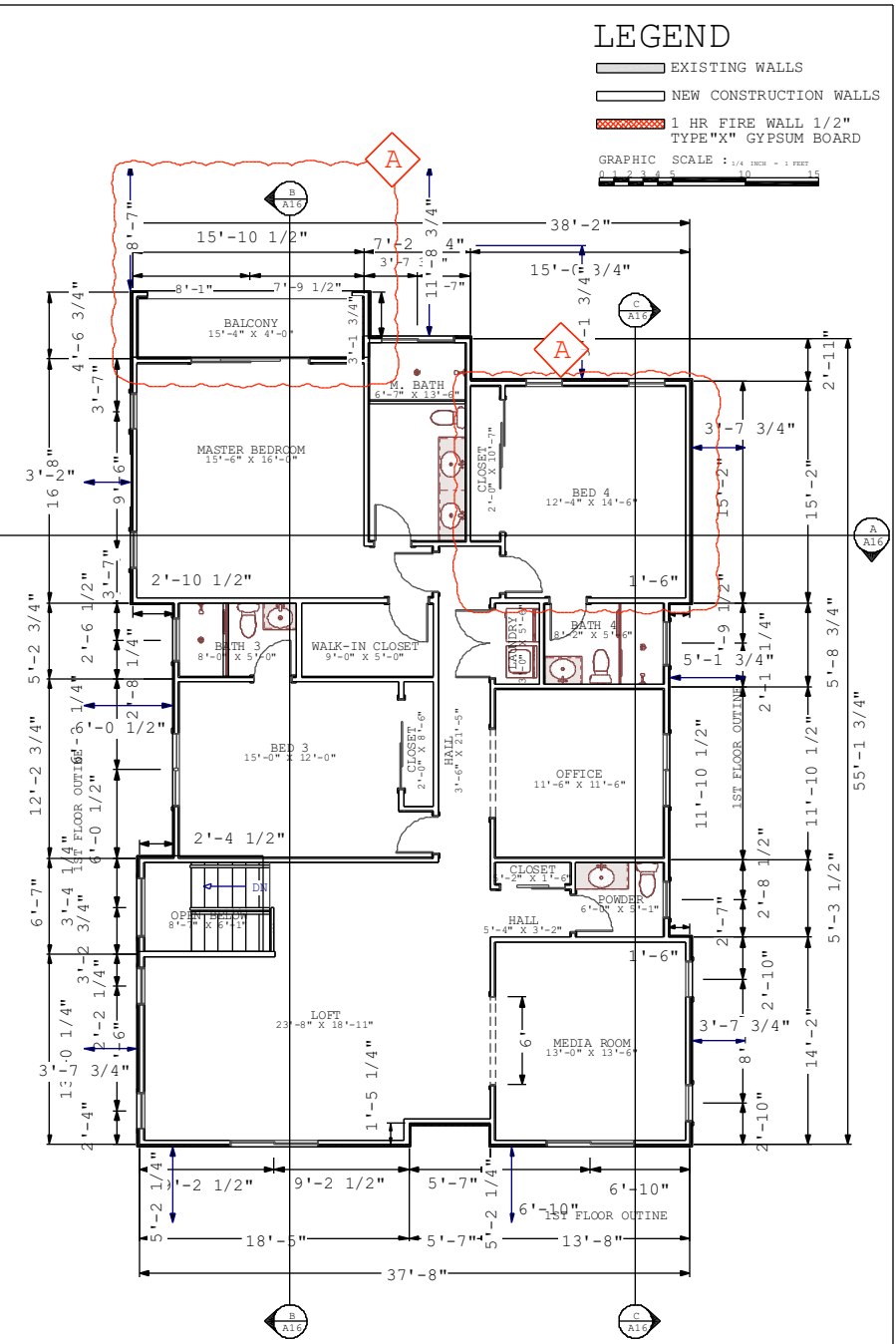
- WINDOWS**
- FX** FIXED
 - RS** RIGHT SLIDER
 - LS** LEFT SLIDER
 - TS** TRIPLE SLIDER
 - SH** SINGLE HUNG
 - DH** DOUBLE HUNG
 - SC** SINGLE CASEMENT
 - DC** DOUBLE CASEMENT
 - TC** TRIPLE CASEMENT
 - AW** AWNING WINDOW

EXISTING FLOOR/DEMOLITION PLAN 1/4" = 1'-0"





PROPOSED 1ST FLOOR PLAN 1/4" = 1'-0"



PROPOSED 2ND FLOOR PLAN 1/4" = 1'-0"

LEGEND

- EXISTING WALLS
 - NEW CONSTRUCTION WALLS
 - 1 HR FIRE WALL 1/2" TYPE "X" GYPSUM BOARD
- GRAPHIC SCALE : 1/4" INCH = 1' FEET
0 1 2 3 4 5

INTERIOR DESIGNER
GILBERT FERNANDEZ III

REVISIONS

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
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F	




PROPOSED 1ST AND 2ND FLOOR PLANS


1776 BOWERS AVENUE
 SANTA CLARA, CA 95051

7/1/24

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LEGEND

-  EXISTING WALLS
-  NEW CONSTRUCTION WALLS
-  1 HR FIRE WALL 1/2" TYPE "X" GYPSUM BOARD

GRAPHIC SCALE : 1/4" INCH = 1 FEET


INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

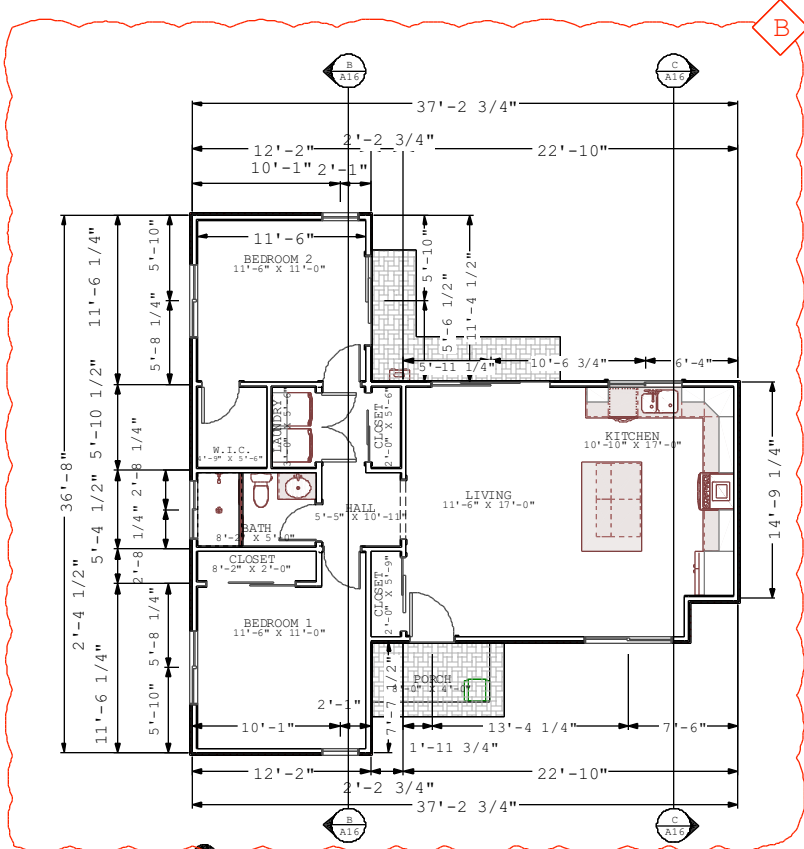
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

PROPOSED ADU FLOOR PLAN

**1776 BOWERS AVENUE
 SANTA CLARA, CA 95051**

7/1/24

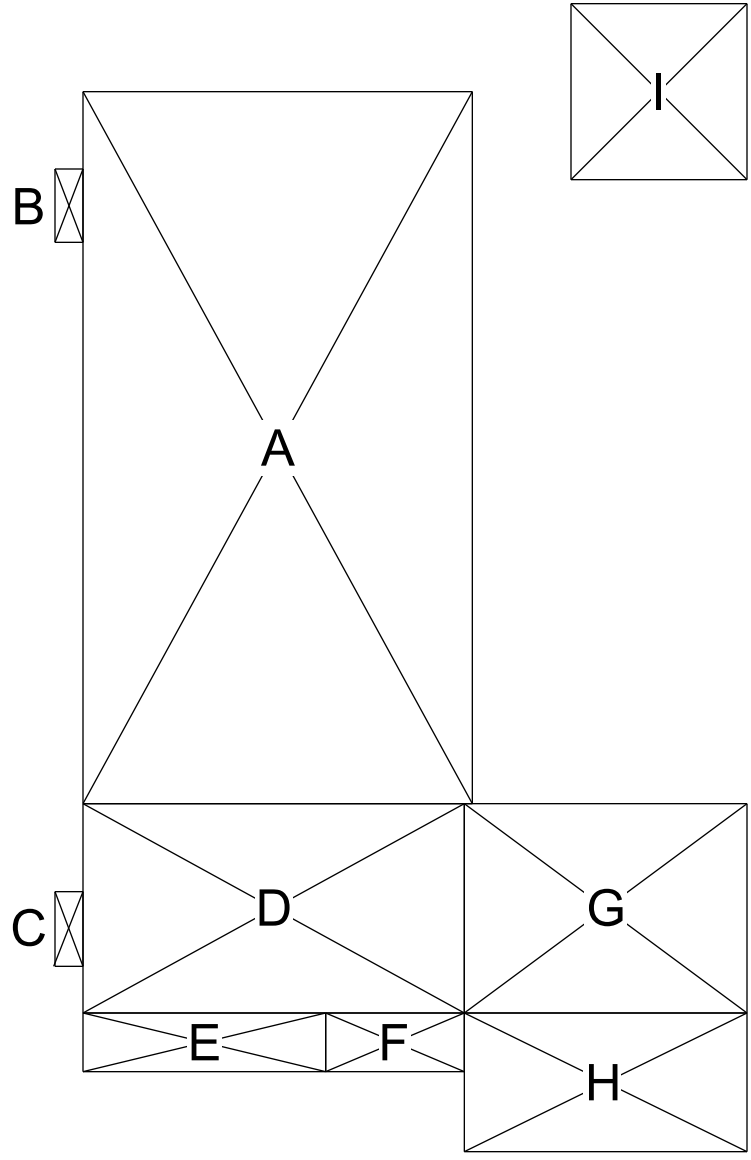
A-5



PROPOSED ADU FLOOR PLAN 1/4" = 1'-0"

DELTA REVISIONS

A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-



EXISTING SQUARE FOOTAGE CALCLS

LOT COVERAGE:	SF
A (1ST FLOOR)	1,287 SF
B (FIRE PLACE 1)	10 SF
C (FIRE PLACE 2)	10 SF
D (1ST FLOOR)	372 SF
E (1ST FLOOR)	66 SF
F (FRONT PORCH)	38 SF
G (GARAGE)	275 SF
H (GARAGE)	182 SF
I (SHED)	144 SF
TOTAL	2,384 SF

GRAPHIC SCALE : 1/4" INCH = 1' FEET
 0 1 2 3 4 5 10 15

 EXISTING FLOOR AREA DIAGRAM 1/4" = 1'-0"

**EXISTING FLOOR AREA
CALCULATIONS**

1776 BOWERS AVENUE
SANTA CLARA, CA 95051

7/1/24

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DELTA REVISIONS

◆ A	PLANNING REVISIONS VERSION 1
◆ B	PLANNING REVISIONS VERSION 2
◆ C	-
◆ D	-
◆ E	-
◆ F	-

**PROPOSED FLOOR AREA
CALCULATIONS**

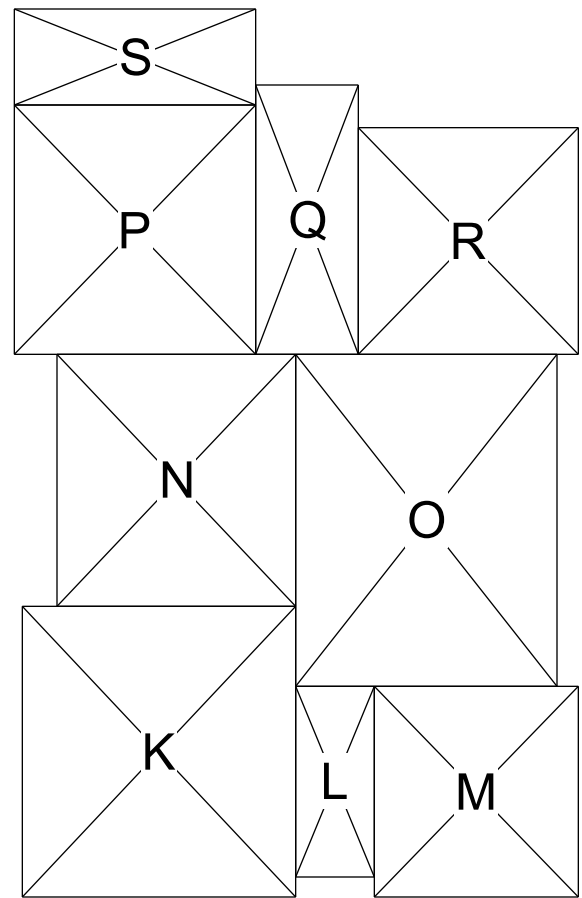
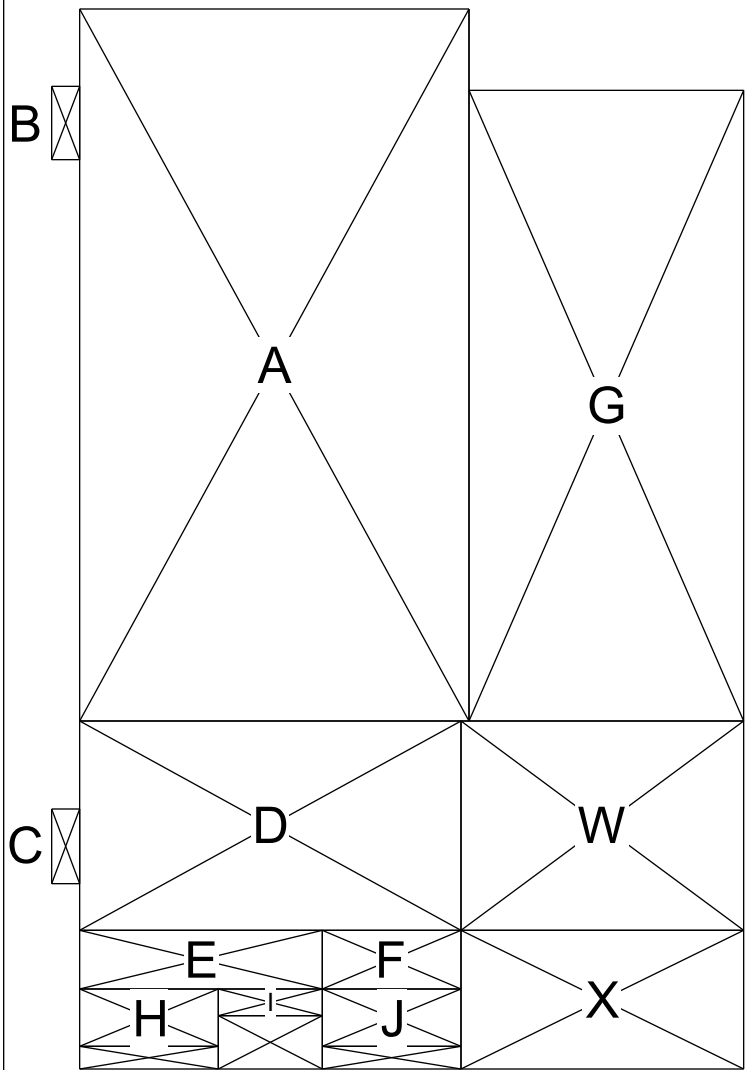
**1776 BOWERS AVENUE
SANTA CLARA, CA 95051**

7/1/24

A-7

PROPOSED SQUARE FT. CALCS

FLOOR AREA RATIO:	SF
A (E) (1ST FLOOR)	1,287 SF
B (E) (FIRE PLACE 1)	10 SF
C (E) (FIRE PLACE 2)	10 SF
D (E) (1ST FLOOR)	372 SF
E (E) (1ST FLOOR)	66 SF
F (1ST FLOOR ADDITION)	38 SF
G (1ST FLOOR ADDITION)	804 SF
H (1ST FLOOR ADDITION)	37 SF
I (1ST FLOOR ADDITION)	13 SF
J (1ST FLOOR ADDITION)	37 SF
K (2ND FLOOR ADDITION)	371 SF
L (2ND FLOOR ADDITION)	69 SF
M (2ND FLOOR ADDITION)	201 SF
N (2ND FLOOR ADDITION)	280 SF
O (2ND FLOOR ADDITION)	402 SF
P (2ND FLOOR ADDITION)	278 SF
Q (2ND FLOOR ADDITION)	127 SF
R (2ND FLOOR ADDITION)	232 SF
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
TOTAL	5,682 SF
2ND FLOOR CALCS:	
K (2ND FLOOR ADDITION)	371 SF
L (2ND FLOOR ADDITION)	69 SF
M (2ND FLOOR ADDITION)	201 SF
N (2ND FLOOR ADDITION)	280 SF
O (2ND FLOOR ADDITION)	402 SF
P (2ND FLOOR ADDITION)	278 SF
Q (2ND FLOOR ADDITION)	127 SF
R (2ND FLOOR ADDITION)	232 SF
S (2ND FLOOR BALCONY)	108 SF
TOTAL	2,068 SF
LOT COVERAGE:	
A (E) (1ST FLOOR)	1,287 SF
B (E) (FIRE PLACE 1)	10 SF
C (E) (FIRE PLACE 2)	10 SF
D (E) (1ST FLOOR)	372 SF
E (E) (1ST FLOOR)	66 SF
F (1ST FLOOR ADDITION)	38 SF
G (1ST FLOOR ADDITION)	804 SF
H (1ST FLOOR ADDITION)	37 SF
I (1ST FLOOR ADDITION)	13 SF
J (1ST FLOOR ADDITION)	37 SF
T (1ST FLOOR PORCH)	15 SF
U (1ST FLOOR PORCH)	26 SF
V (1ST FLOOR PORCH)	15 SF
W (EXISTING GARAGE)	275 SF
X (EXISTING GARAGE)	182 SF
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
EE (NEW ADU PORCH)	32 SF
SUB TOTAL	4,119 SF
ADU SF NOT COUNTED	-800 SF
TOTAL	3,319 SF



⊗ PROPOSED 1ST FLOOR AREA DIAGRAM 1/4" = 1'-0" ⊗ PROPOSED 2ND FLOOR AREA DIAGRAM 1/4" = 1'-0"

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
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F	-

**ADU FLOOR AREA CALC
 & COMMON LIVING AREA CALC**

**1776 BOWERS AVENUE
 SANTA CLARA, CA 95051**

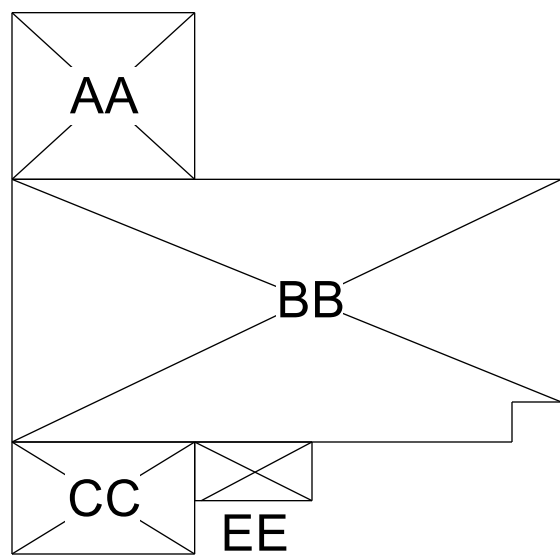
7/1/24

A-8

B

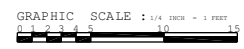
PROPOSED COMMON AREA SF CACLS

COMMON AREA	SF
LIVING ROOM	262 SF
KITCHEN	162 SF
DINNING	170 SF
FAMILY	482 SF
LOFT	440 SF
TOTAL	1,516 SF
MAIN HOME SF	4,635 SF
MINIMUM REQUIRED (25%)	1,158 SF
1,516 SF > 1,158 SF = OK	



PROPOSED SQUARE FOOTAGE CACLS

FLOOR AREA RATIO:	SF
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
TOTAL	900 SF
LOT COVERAGE:	
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
EE (NEW ADU PORCH)	32 SF
TOTAL	932 SF



PROPOSED ADU FLOOR AREA DIAGRAM 1/4" = 1'-0"

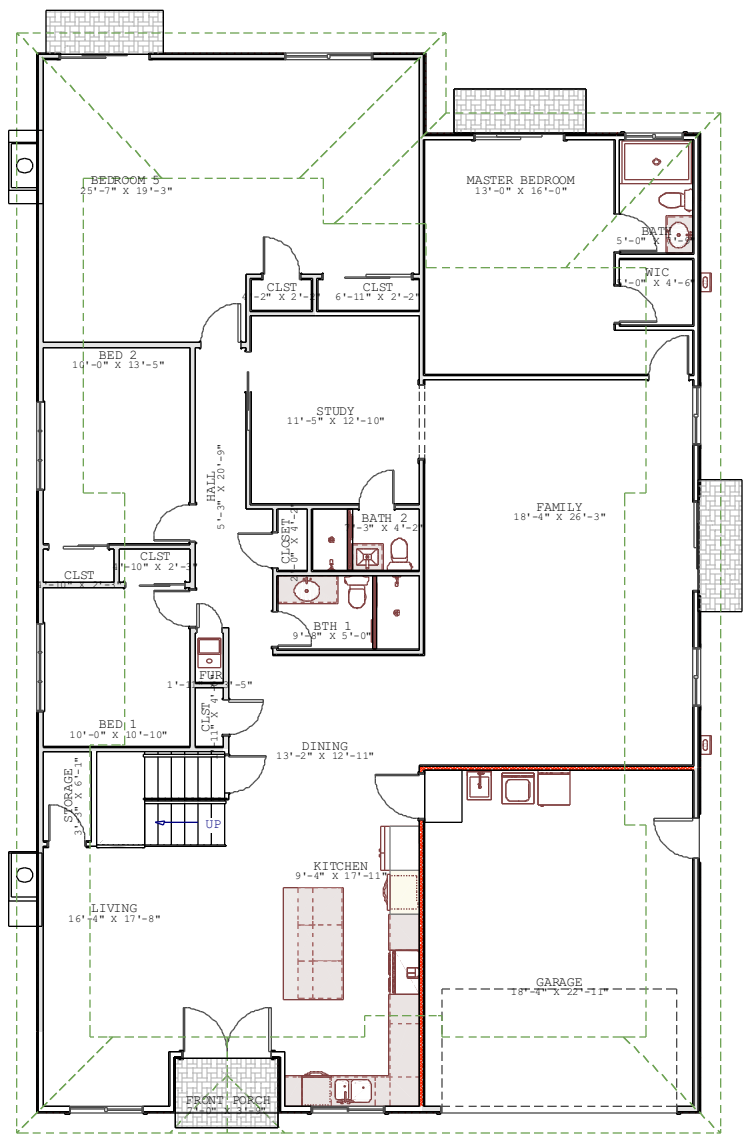
LEGEND

- EXISTING WALLS
- NEW CONSTRUCTION WALLS
- 1 HR FIRE WALL 1/2" TYPE "X" GYPSUM BOARD
- ROOF LINES
- GRAPHIC SCALE : 1/4" = 1'-0"

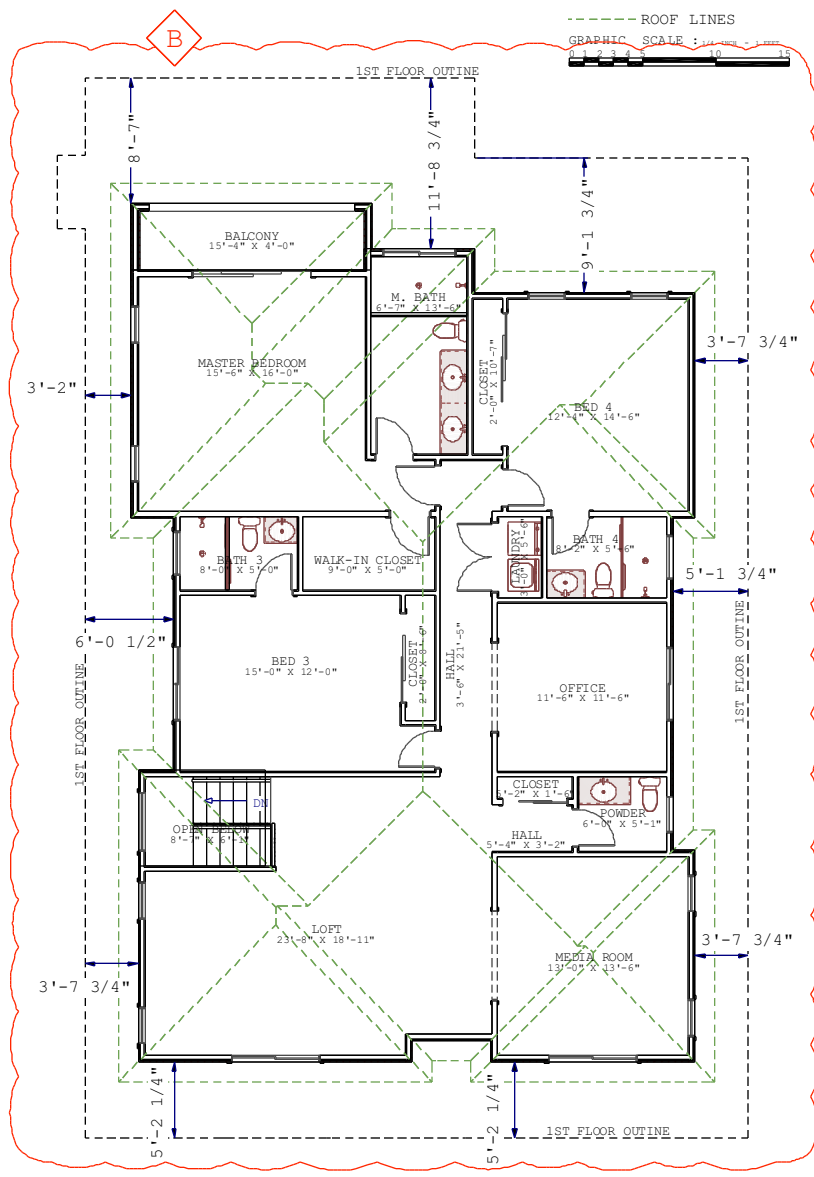
INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA REVISIONS

A	PLANNING REVISIONS VERSION 1
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C	
D	
E	



PROPOSED 1ST FLOOR ROOF PLAN 1/4" = 1'-0"



PROPOSED 2ND FLOOR ROOF PLAN 1/4" = 1'-0"

PROPOSED 1ST FLOOR AND 2ND FLOOR ROOF PLANS

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LEGEND

- EXISTING WALLS
 - NEW CONSTRUCTION WALLS
 - 1 HR FIRE WALL 1/2" TYPE "X" GYPSUM BOARD
 - ROOF LINES
- GRAPHIC SCALE : 1/4" INCH = 1' FEET

INTERIOR DESIGNER
GILBERT FERNANDEZ III

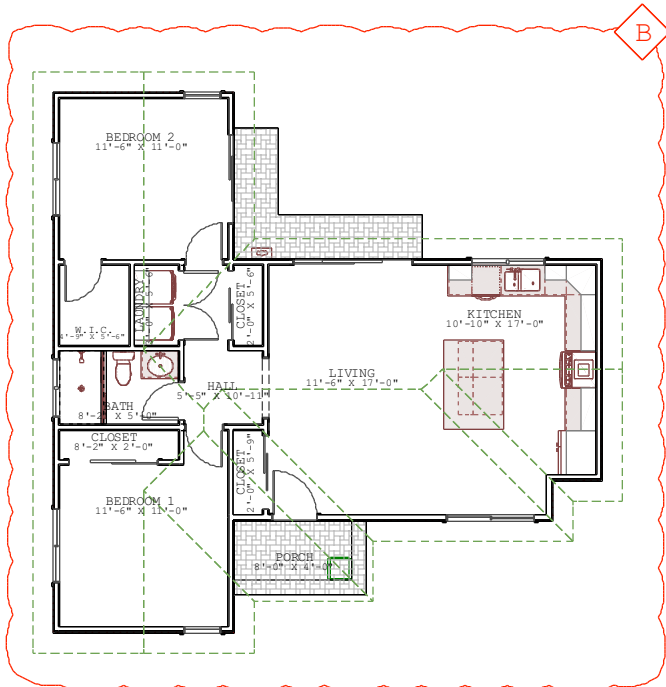
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

PROPOSED ADU ROOF PLAN AND VENTILATION DETAILS

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PROPOSED ADU FLOOR ROOF PLAN 1/4" = 1'-0"

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

**PROPOSED WINDOW & DOOR
SCHEDULE (MAIN HOME)**

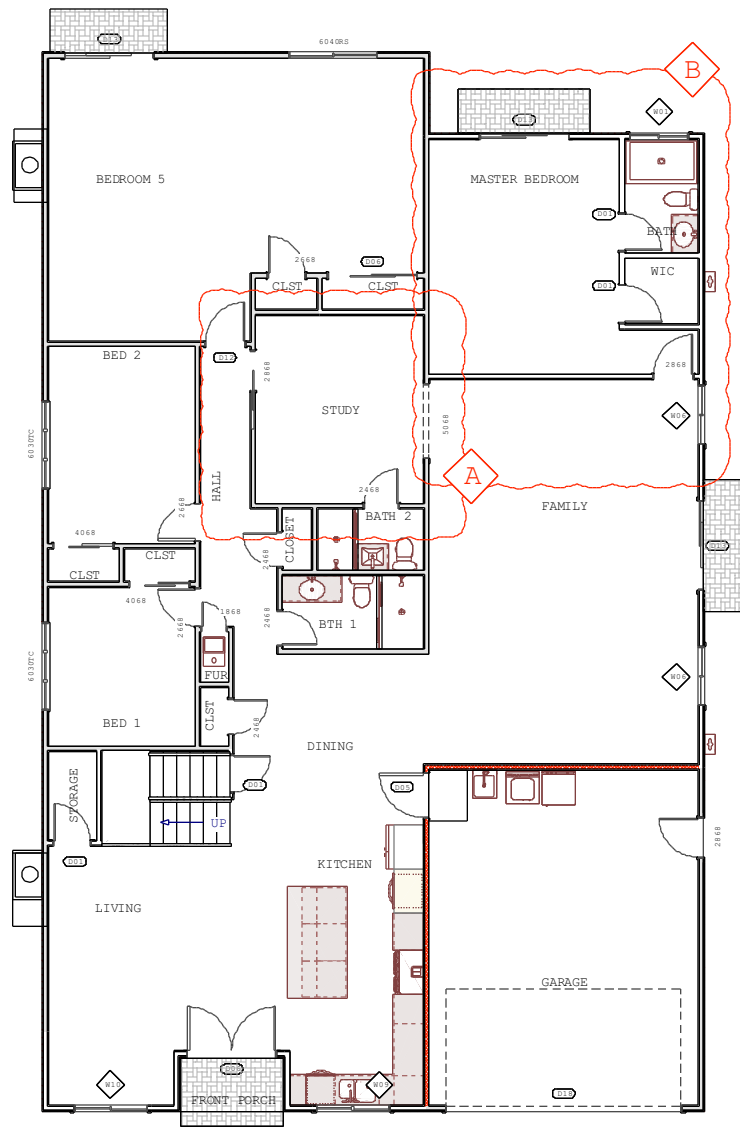
**1776 BOWERS AVENUE
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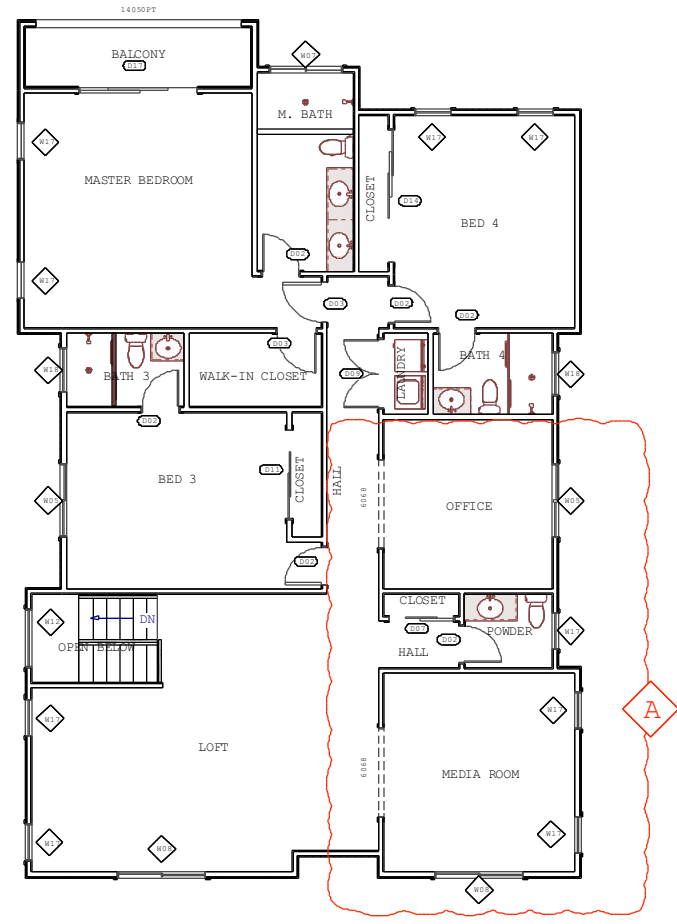
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WINDOW SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	FLOOR	BOTTOM	TEMPERED	EGRESS
W01	1	48"	36"	1	44"	YES	
W02	2	30"	48"	1	32"		
W04	1	48"	24"	1	56"		
W05	2	60"	42"	2	38"		YES
W06	2	48"	42"	1	38"	YES	YES
W07	1	60"	24"	2	56"	YES	
W08	2	72"	48"	2	32"		
W09	2	60"	42"	1	38"	YES	
W10	1	60"	48"	1	32"		
W11	2	60"	48"	1	32"		YES
W12	1	48"	42"	2	38"		
W14	1	72"	48"	1	32"		
W17	9	30"	18"	2	62"		
W18	2	36"	18"	2	62"		

DOOR SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	FLOOR	TEMPERED	EGRESS	FIRE
D01	8	30"	80"	1			
D02	6	30"	80"	2			
D03	2	32"	80"	2			
D04	1	36"	80"	1		YES	
D05	1	36"	80"	1			YES
D06	3	72"	80"	1			
D07	1	52"	80"	2			
D08	2	56"	80"	2			
D09	1	56"	80"	2			
D10	1	60"	80"	2			
D11	1	72"	80"	2			
D12	1	32"	80"	1			
D13	4	72"	80"	1		YES	
D14	1	108"	80"	2			
D16	1	96"	80"	1		YES	
D17	1	96"	80"	2		YES	
D18	1	192"	96"	1			



PROPOSED 1ST FLOOR PLAN 1/4" = 1'-0"

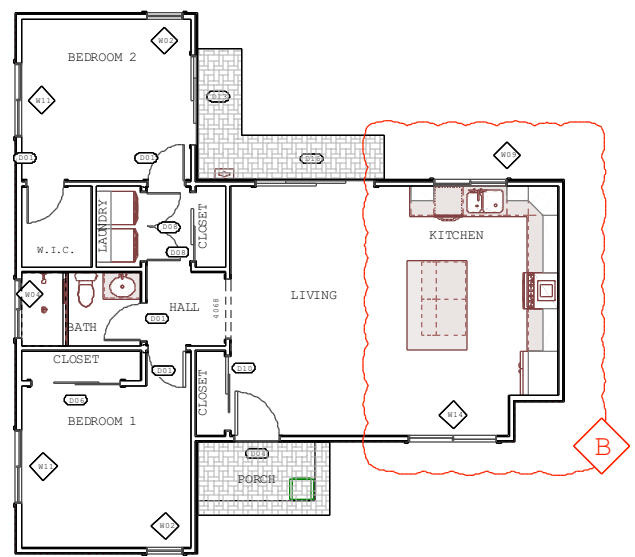


PROPOSED 2ND FLOOR PLAN 1/4" = 1'-0"

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

WINDOW SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	FLOOR	BOTTOM	TEMPERED	EGRESS
W01	1	48"	36"	1	44"	YES	
W02	2	30"	48"	1	32"		
W04	1	48"	24"	1	56"		
W05	2	60"	42"	2	38"		YES
W06	2	48"	42"	1	38"	YES	
W07	1	60"	24"	2	56"	YES	
W08	2	72"	48"	2	32"		
W09	2	60"	42"	1	38"	YES	
W10	1	60"	48"	1	32"		
W11	2	60"	48"	1	32"		YES
W12	1	48"	42"	2	38"		
W14	1	72"	48"	1	32"		
W17	9	30"	18"	2	62"		
W18	2	36"	18"	2	62"		

DOOR SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	FLOOR	TEMPERED	FIRE	
D01	8	30"	80"	1			
D02	6	30"	80"	2			
D03	2	32"	80"	2			
D04	1	36"	80"	1	YES		
D05	1	36"	80"	1		YES	
D06	3	72"	80"	1			
D07	1	52"	80"	2			
D08	2	56"	80"	1			
D09	1	56"	80"	2			
D10	1	60"	80"	1			
D11	1	72"	80"	2			
D12	1	32"	80"	1			
D13	4	72"	80"	1	YES		
D14	1	108"	80"	2			
D16	1	96"	80"	1	YES		
D17	1	96"	80"	2	YES		
D18	1	192"	96"	1			



PROPOSED ADU FLOOR PLAN 1/4" = 1'-0"

**PROPOSED WINDOW & DOOR
 SCHEDULE (ADU)**

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 SANTA CLARA, CA 95051**

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INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

EXISTING ELEVATIONS

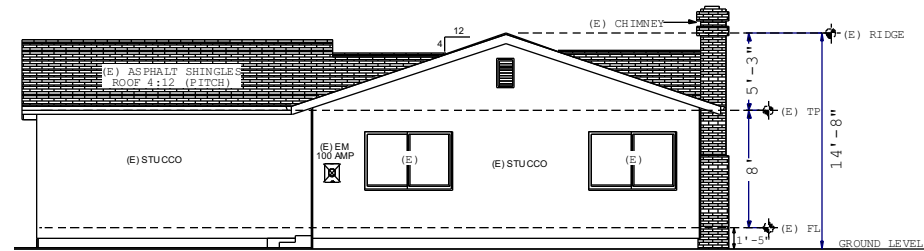
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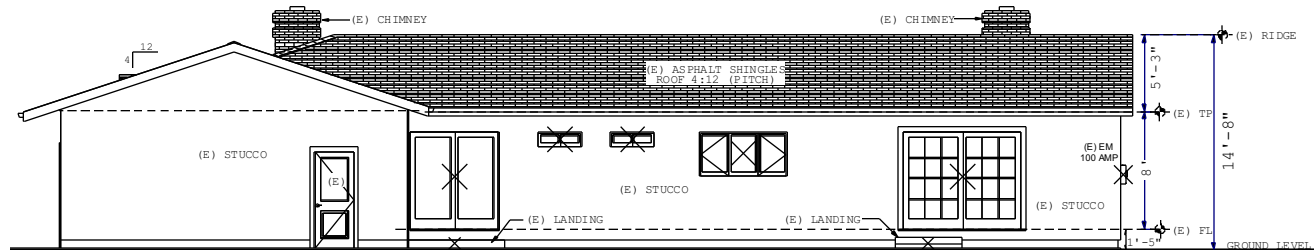
A-13



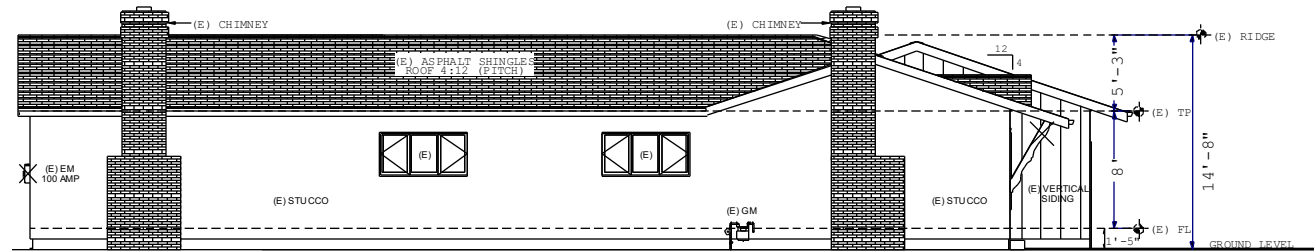
EXISTING FRONT ELEVATION 1/4" = 1'-0"



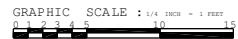
EXISTING REAR ELEVATION 1/4" = 1'-0"



EXISTING RIGHT ELEVATION 1/4" = 1'-0"



EXISTING LEFT ELEVATION 1/4" = 1'-0"



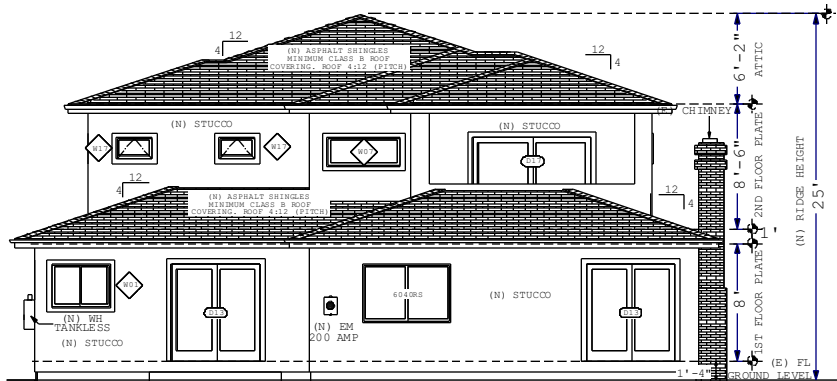
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
E	
F	

PROPOSED MAIN HOME ELEVATIONS

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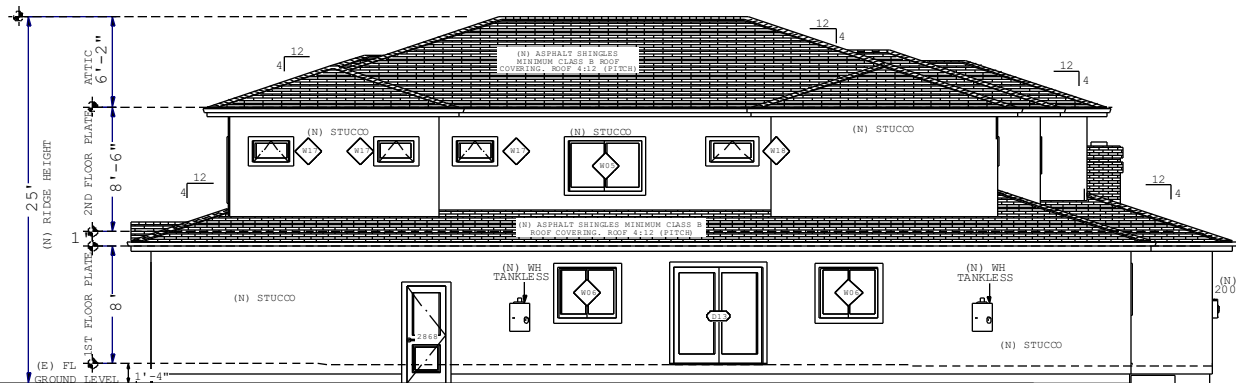
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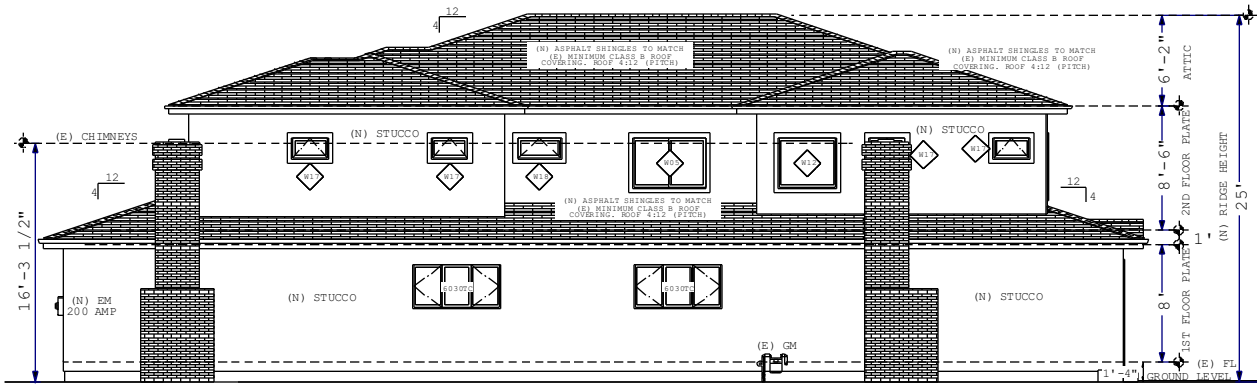
PROPOSED REAR ELEVATION 1/4" = 1'-0"



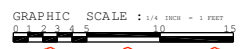
PROPOSED FRONT ELEVATION 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION 1/4" = 1'-0"



PROPOSED LEFT ELEVATION 1/4" = 1'-0"



B

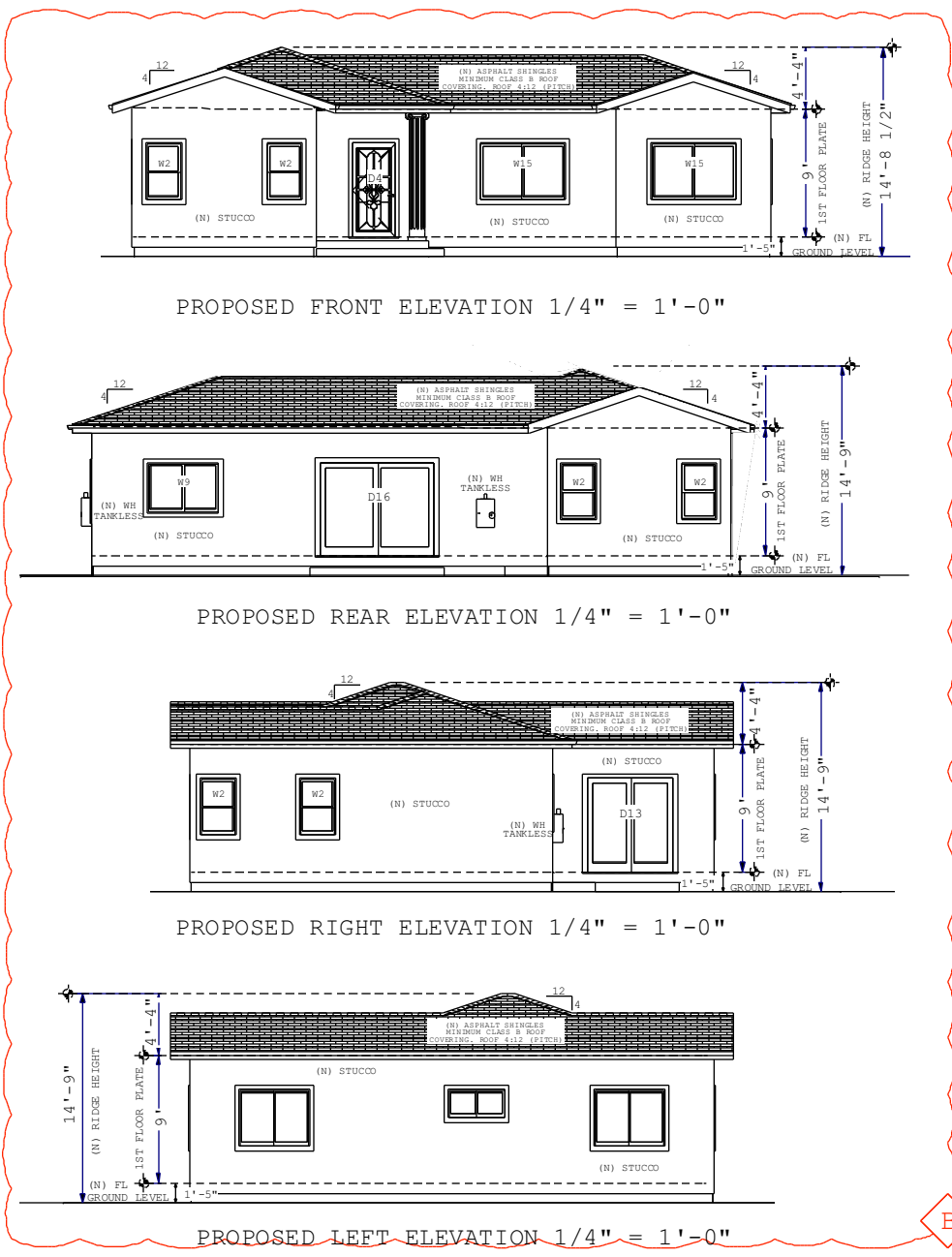
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
E	
F	

PROPOSED ADU ELEVATIONS

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SANTA CLARA, CA 95051

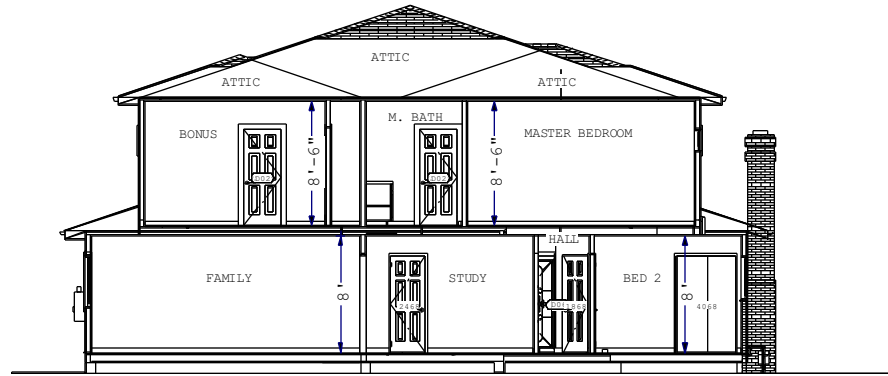
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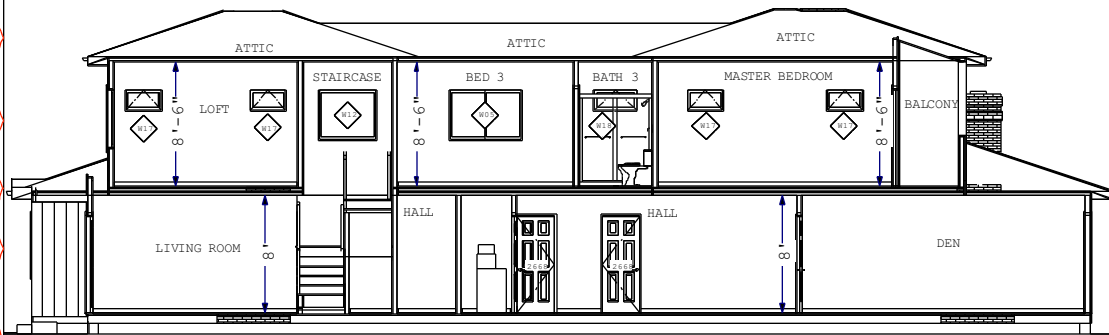


B

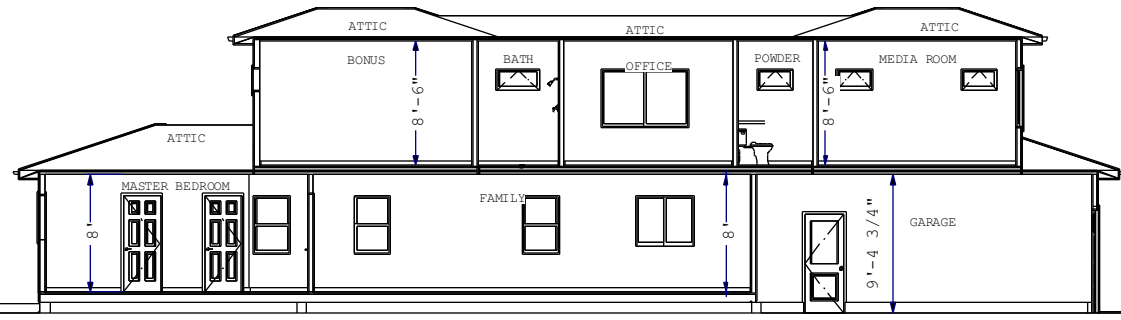
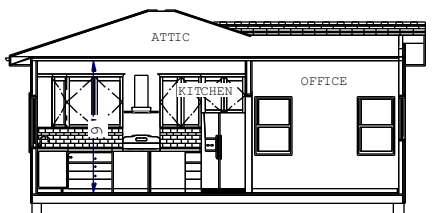
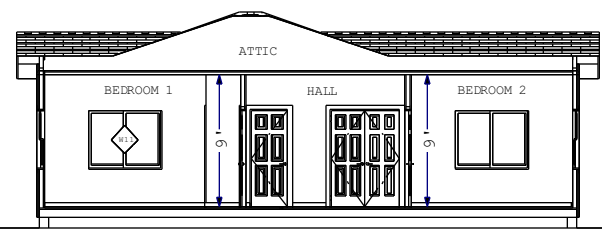
DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	
D	
E	
F	



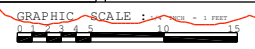
CROSS SECTION A 1/4" = 1'-0"



CROSS SECTION B 1/4" = 1'-0"



CROSS SECTION C 1/4" = 1'-0"



PROPOSED CROSS SECTIONS

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MILGARD BLACK ALUMINUM WINDOWS



LIGHT BROWN 7" VERTICAL HARDIE SIDING



CLASS A 10" CHARCOAL ASPHALT SHINGLES



BLACK 4" HARDIE CASINGS



PROPOSED FRONT ELEVATION RENDERING
N.T.S.



EXISTING ON SITE FRONT SITE VIEW A



EXISTING ON SITE FRONT SITE VIEW B

**INTERIOR DESIGNER
GILBERT FERNANDEZ III**

DELTA	REVISIONS
A	PLANNING REVISIONS VERSION 1
B	PLANNING REVISIONS VERSION 2
C	-
D	-
E	-
F	-

**PROPOSED COLORED RENDERINGS
AND MATERIALS**

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