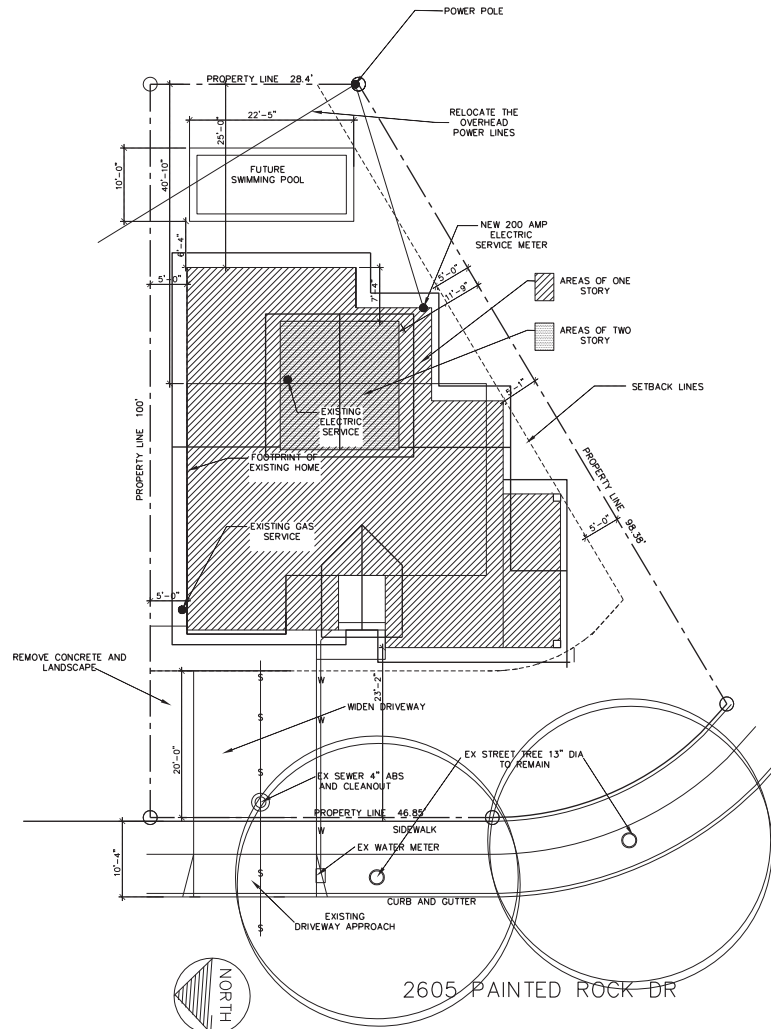


EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



SITE PLAN

5589 SF LOT AREA

SCALE: 1/8" = 1'-0"

SITE DATA AND ZONING

APN 21G-1G-020
 LOT AREA 5589 SF
 FLR AREA ALLOWED 40% OF LOT= 2235.6
 ZONING R1-5

SETBACKS	EX	NEW
FRONT	25	23
SIDES	5', 5'-10	5', 5'
REAR	40'-10	25'

SQUARE FOOTAGES

EXISTING HOUSE	911
HABITABLE AREA	911
GARAGE	(265) 413.3
HABITABLE AREA GROUND FLOOR	1537.5
NEW GARAGE	413.3
FRONT PORCH	47
SIDE PORCH	169
TOTAL SF ON THE GROUND FLOOR	2154.8
LOT COVERAGE	2154.8= 38.5%
TOTAL SF OF HOUSE	2235

UPPER FLOOR % 283/1952 = 14.5%

SHEET INDEX

1. SITE PLAN, SITE DATA
2. EXISTING FLOOR PLAN
3. EXISTING ELEVATIONS
4. NEW FLOOR PLAN
5. ELEVATIONS
6. ROOF PLAN
7. SECTION
8. ELECTRICAL PLAN

- D1 DETAILS
- T24-1 TITLE 24
- T24-2 TITLE 24

- CGC CAL GREEN CHECKLIST
- CG-1 CAL GREEN BUILDING STANDARDS
- CG-2 CAL GREEN BUILDING STANDARDS

BMP BEST MANAGEMENT PRACTICES

- S1 FOUNDATION PLAN
- S2 ROOF FRAMING PLAN
- S50 GENERAL CONST NOTES
- SD1 DETAILS
- SD2 DETAILS
- SD3 DETAILS
- SD4 DETAILS
- SD5 DETAILS
- SD6 DETAILS
- ZFX-1
- ZFX-2
- ZFX-3

CONSTRUCTION DATA

BUILDING TYPE: VB
 NUMBER OF STORIES: 2
 OCCUPANCY GROUP: R3,U
 FIRE SPRINKLER: NO

- CODES:
- 2019 CRC
- 2019 CBC
- 2019 FIRE CODE
- 2019 CMC, CPC, CEC
- 2019 CEC (TITLE 24 ENERGY CODE)
- 2019 CAL GREEN BUILDING STDS

SPECIAL INSPECTION:
 DUCTING HER5 TEST

SCOPE OF WORK

DEMO NON PERMITTED ADDITIONS,
 REMODEL EXISTING HOUSE AND ADD A
 NEW BEDROOM, MASTER BEDROOM,
 MASTER BATH AND NEW BATH, REMODEL
 A BATH, RELOCATE ELECTRIC SERVICE,
 REMODEL KITCHEN, REMODEL EXISTING
 ROOF, NEW FURNACE, MOVE MAIN
 ELECTRICAL SERVICE FOR THIS HOUSE
 AND NEIGHBOR

SITE PLAN
 SITE DATA
 INDEX

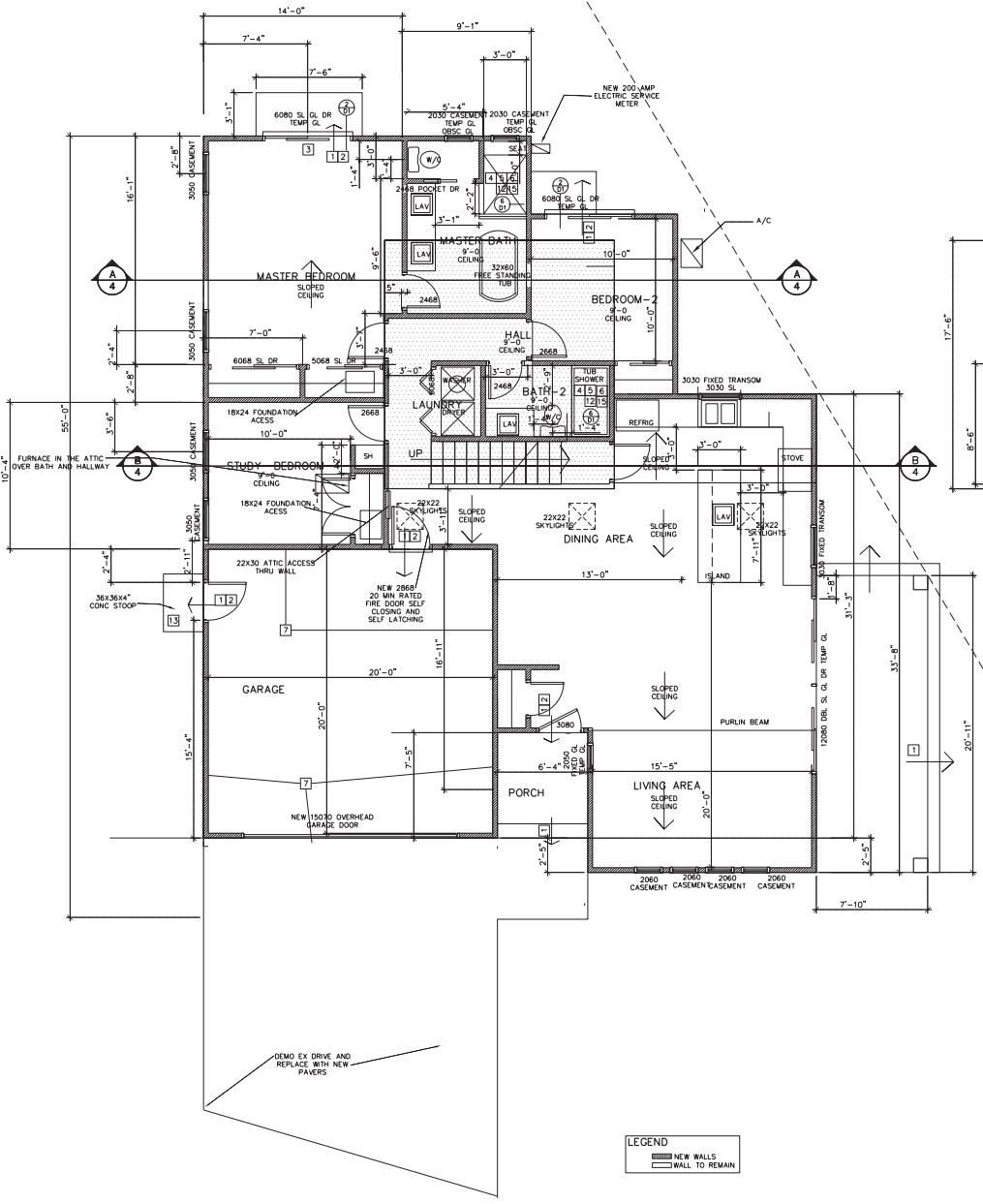


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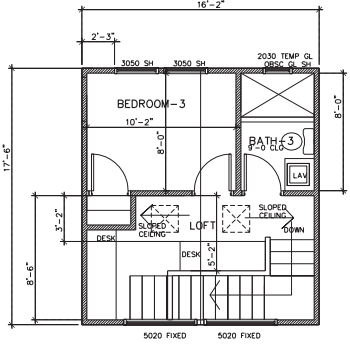
YANG
 2605 PAINTED ROCK DR
 SANTA CLARA, CA

DATE	9-15-20
BY	RH
SCALE	1/8" = 1'-0"
JOB	YANG

1



PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

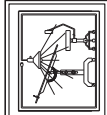


PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES

- 1 4" MIN / 7.75" MAX RISER, WITH MINIMUM 10" TREADS
- 2 THRESHOLDS AT DOORWAYS TO BE MAXIMUM 1/2" ABOVE FINISH FLOOR FOR SL GL DRS, AND 1/2" ABOVE FINISH FLOOR FOR SWINGING DOORS.
- 3 EGRESS WINDOWS MIN SIZE (NET CLEAR OPENING OF 5.7 SF, AM MINIMUM NET CLEAR OPENING HEIGHT OF 24". A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE BOTTOM OF THE EGRESS OPENING TO BE NO MORE THAN 44" ABOVE THE FINISH FLOOR. SEE CRC R310.1, R310.1.1, R310.1.2 AND R310.1.3.
- 4 TILE SHOWER TO A MIN 72" ABOVE THE DRAIN-TILE OVER MORTAR BASE OVER WATER PROOF MEMBRANE OVER CEMENTITIOUS BACKER BD OVER 2X OF #2 STUDS-HOTMOP SHOWER PAN & INSTALL TILE FLOOR OVER MORTAR BED. SLOPE 1/4"12" TO DRAIN IN FLOOR.
- 5 PROVIDE PRESSURE CONTROLLED HOT WATER MIXING SHOWER VALVE.
- 6 TEMPERED GLASS SHOWER DOOR AND TEMPERED GLASS SHOWER ENCLOSURE AS OCCURS. IF USING DOORS MAINTAIN 22" MIN CLEAR WITH DOOR OPEN AND DOOR MUST SWING OUT.
- 7 3/4" TYPE 'X' GYP BD AT WALLS AND CEILING SEPARATING HABITABLE SPACE FROM GARAGE TO UNDERSIDE OF ROOF SHEATHING, ALL BEARING WALLS/ELEMENTS IN THE GARAGE SUPPORTING THE SECOND FLOOR TO BE A MINIMUM 1/2" GYPSUM BOARD ON THE GARAGE SIDE. PROTECT WALLS AND SOFFITS OF INTERIOR STAIRS ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD. THIS INCLUDES WALLS AND CEILINGS WITHIN THE ENCLOSED UNDER STAIR AREA.
- 8 ALL RETRO HD'S REQUIRE A SPECIAL INSPECTION FROM AN APPROVED INSPECTION & TESTING AGENCY OR THE ENGINEER OF RECORD
- 9 INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE ROUGH FRAMING INSPECTION
- 10 SMOKE ALARMS SHALL BE HARD WIRED, INTERCONNECTED, WIRED ON A LIGHT-BULB SOCKET WITH BATTERY BACK-UP.
- 11 KITCHEN FAUCETS TO HAVE 1.8 GPM AT 60 PSI MAX.
- 12 LAVATORY FUCETS TO HAVE 1.2 GPM AT 60 PSI MAX. MINUS 8 GPM AT 20 PSI. SHOWERS TO HAVE 2.0 GPM AT 60 PSI TOILETS 1.28 GAL/ FLUSH
- 13 PROVIDE LANDINGS OUTSIDE OF ALL EXTERIOR DOORS. THE WIDTH OF THE DOORWAY, BUT NOT LESS THAN 36" X36" THEY SHALL BE MADE OF CAST IN PLACE CONCRETE, MORTAR OR INTERLOCKING BRICKS OR PAVERS, OR ANCHORED IN PLACE PRESURE TREATED WOOD OR REDWOOD DOORING. THEY SHALL HAVE A MIN SLOPE AWAY FROM THE FOOTING OF 2% MIN.
- 14 ADDRESS NUMBERS:
 - * ADDRESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME (TYPICALLY OF LOW VOLTAGE UNITS) OR IF LIT ONLY DURING NONDAYLIGHT HOURS.
 - * SWITCHING SHALL BE CONTROLLED BY A TIME CLOCK OR A PHOTO SENSOR.
 - * BATTERY OR PHOTO CELL POWERED UNITS CANNOT BE USED FOR REQUIRED ADDRESSING
 - * ADDRESS NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH AND INSTALLED ON A CONTRASTING BACKGROUND
 - * ADDRESS NUMBERS SHALL READ FROM LEFT TO RIGHT, VERTICALLY
 - * POSITIONED NUMBERS CANNOT BE USED
 - * ADDRESS NUMBERS SHALL BE PLACED IN SUCH A LOCATION THAT EMERGENCY CREWS CAN READ THE ADDRESS FROM THE STREET FRINTING THE DWELLING.
- 15 SHMR SHALL HAVE 30" DIA ORCLE CLEARANCE AT THE FINISH INTERIOR TYPICAL
- 16 EXCAVATED SOILS AND LAND CLEARING DEBRIS 100% OF ALL TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE RE USE OR RECYCLED
- 17 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED MOISTURE CONTENT NOT TO EXCEED 17%
- 18 INTERIOR MOISTURE CONTROL: VAPOR BARRIER AND WATER-BARRIER IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. MOISTURE CONTROL OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
- 19 FINISH MATERIAL POLLUTANT CONTROL:
 - FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS, AEROSOL PAINTS CONTAINERS, CARPET SYSTEMS, CARPET CUSHION, CARPET ADHESIVE, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5

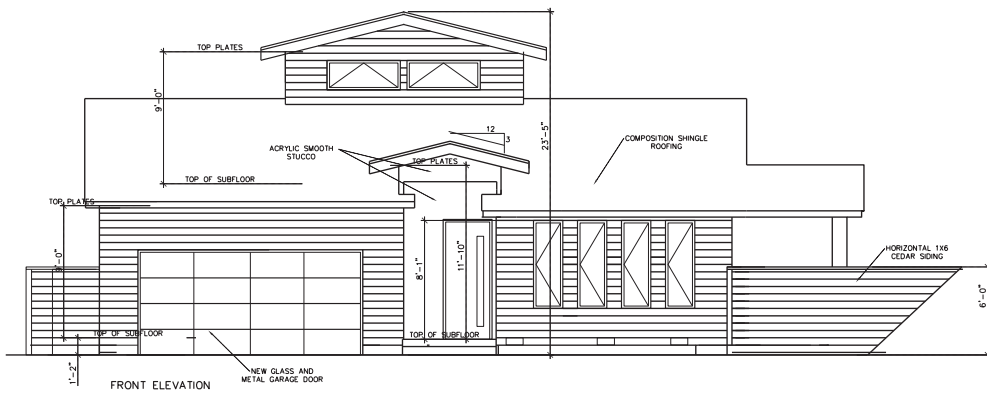
PROPOSED FLOOR PLAN



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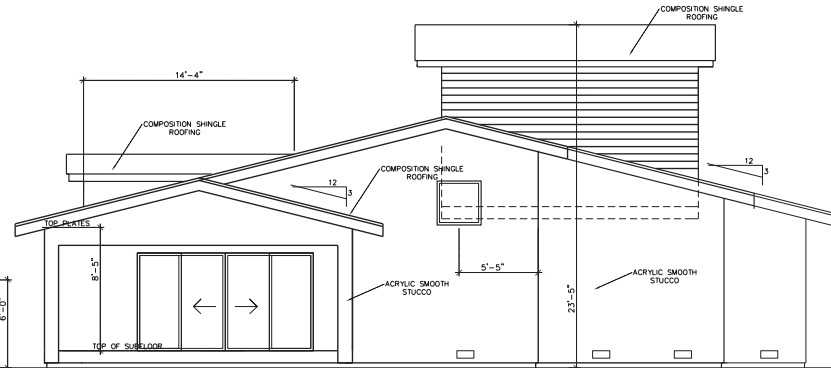
STEVE YANG
 2605 PAINTED ROCK DR
 SANTA CLARA, CA

DATE	9-15-20
BY	RH
SCALE	1/4"=1'-0"
APP	YANG



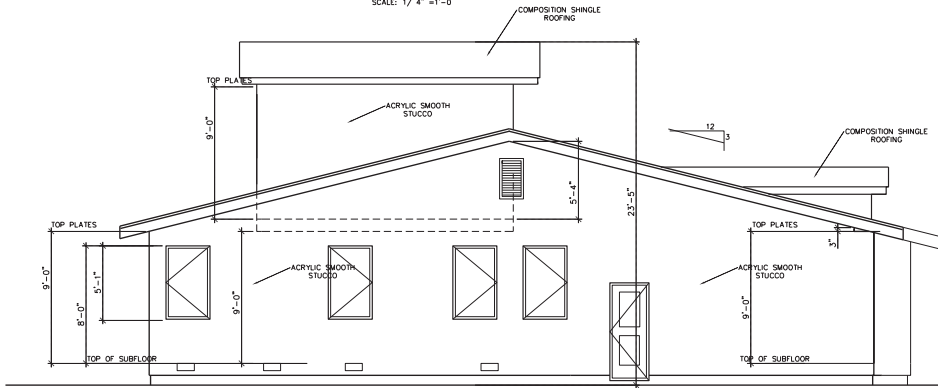
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



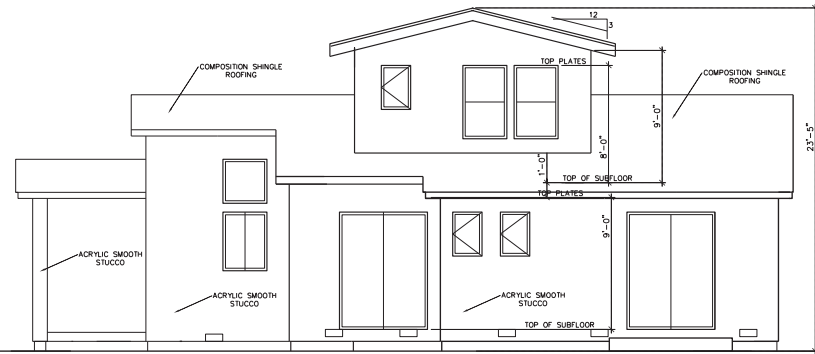
RIGHT SIDE

SCALE: 1/4" = 1'-0"

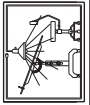


LEFT SIDE

SCALE: 1/4" = 1'-0"



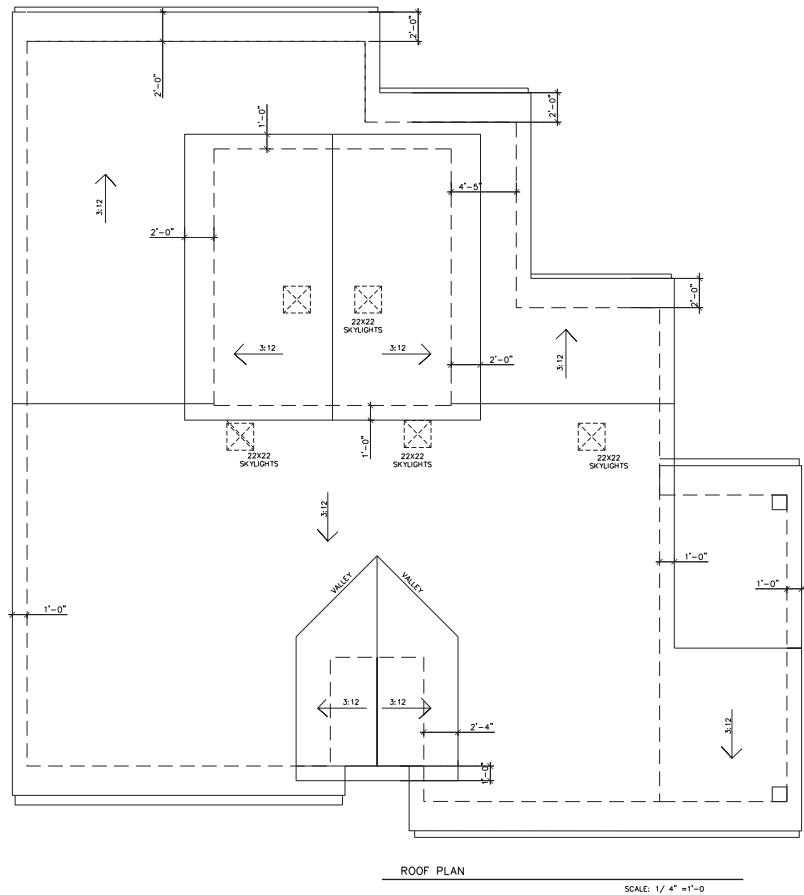
ELEVATIONS



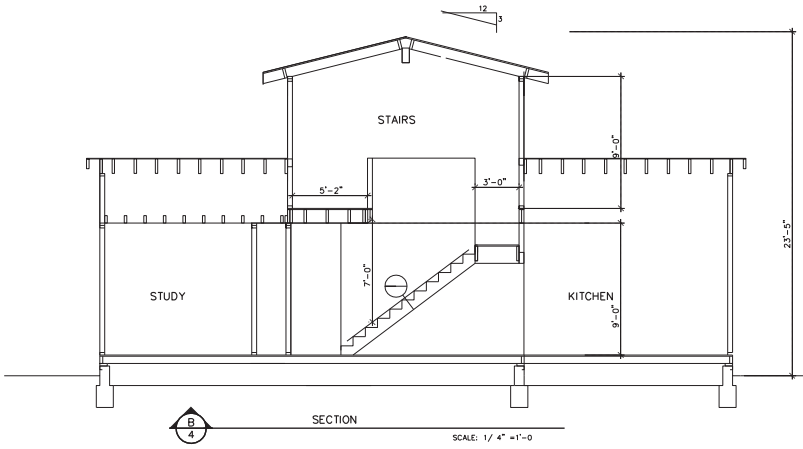
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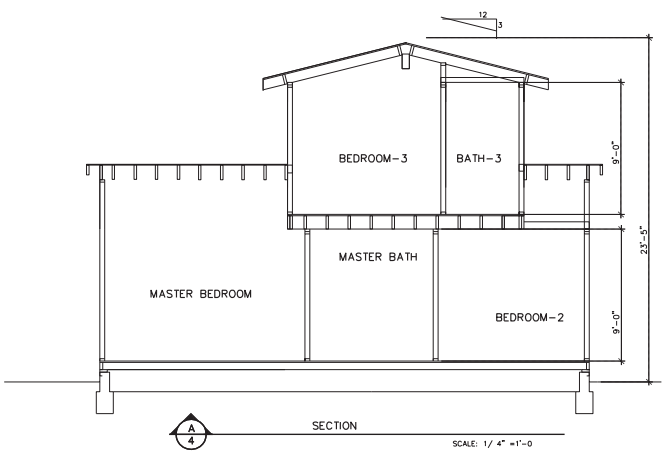
DATE	9-15-20
BY	RH
SCALE	1/4" = 1'-0"
DR	YANG



ROOF PLAN
SCALE: 1/4" = 1'-0"



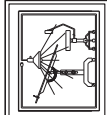
SECTION B-B
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 1/4" = 1'-0"

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ROOF PLAN SECTION



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DATE	9-15-20
PROJECT	RH
SCALE	1/4" = 1'-0"
DESIGNER	YANG