

RESIDENTIAL REMODELING & ROOM ADDITION

(LEE RESIDENCE)

3015 MACHADO AVE. SANTA CLARA, CA 95051

APN: 220 - 22 - 057



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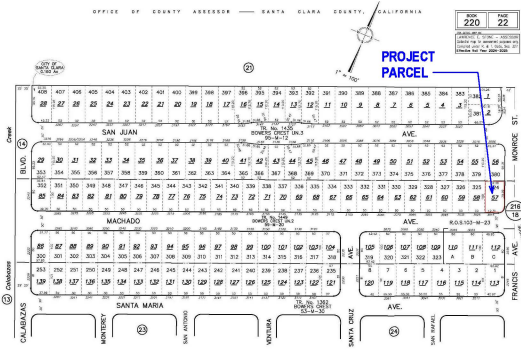
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ABBREVIATIONS AND SYMBOLS LEGEND

AC	ASPHALTIC CONCRETE	INT	INTERCOM
AGG	AGGREGATE	INTK	INTERIOR
AC	AIR CONDITIONER	JT	JOINT
AL	ALUMINUM	LB	LAGBOLT
LAV	ANCHOR BOLT	LAV	LAVATORY
AT	AT	LI	LIGHT
ABV	ABOVE	MAX	MAXIMUM
BLKG	BLOCKING	MIN	MINIMUM
BD	BOARD	NC	NOT IN CONTRACT
BUR	BUILT UP ROOFING	NTS	NOT TO SCALE
CB	CATCH BASIN	OJ	OVER
CCJ	CONCRETE COLD JOINT	OBSC	OBSCURE
CJ	COLD JOINT	OC	ON CENTER
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CLG	CEILING	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
COL	COLUMN	OWI	OWNER INSTALLED
CONC	CONCRETE	O	OXYGEN (WALL OUTLET)
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CONT	CONTINUOUS OR CONTINUE	PVMT	PAVEMENT
DET	DETAIL	PL	PLATE
DIAG	DIAGONAL	PLN	PLAN
DS	DOWN SPOUT	PLYWD	PLYWOOD
DWGS	DRAWINGS	PT	PRESSURE TREATED
DIA	DIAMETER	RAD	RADIUS
EJ	EXPANSION JOINT COVER	RD	ROOF DRAIN
ELE	ELECTRICAL	RFG	ROOFING
ELEV	ELEVATION	RM	ROOM
EQ	EQUAL	SCH	SCHEDULE
E	ELECTRICAL WALL RECEPTACLE	SHT	SHEET
(E)	EXISTING	SM	SIMILAR
EXH	EXHAUST	SPEC	SPECIFICATION
EXT	EXTENSION	SPR	SPRINKLER
FOS	FACE OF STUD	SQ	SQUARE
FLOR	FLUORESCENT	STD	STANDARD
FIN	FINISHED	STOR	STORAGE
FLR	FLOOR	SYST	SYSTEM
FD	FLOOR DRAIN	TEL	TELEPHONE
FTG	FOOTING	THK	THICK
FND	FOUNDATION	T&G	TONGUE & GROOVE
GA	GAUGE	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS OTHERWISE NOTED
GL	GLASS OR GLAZING	VCT	VINYL COMPOSITIONAL TILE
GYP BD	GYPSUM DRY WALL	VAC	VACUUM
H/C, HC	HANDICAPPED	V	VACUUM (WALL OUTLET)
HDR	HEADER	VB	VIEW BOX
HVAC	HEATING / VENTILATION / AIR CONDITIONING	WC	WATER CLOSET
HT	HEIGHT	WOD	WOOD
HORIZ	HORIZONTAL	WPD	WITHOUT
HB	HOSE BIBB	WP	WEATHER OR WATER PROOF

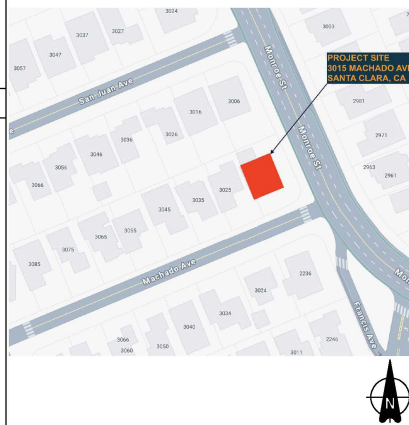
PARCEL MAP



GENERAL NOTES

- ALL WORK SHALL COMPLY WITH LATEST APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO:
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
 - 2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
 - 2022 CALIFORNIA TITLE 24 ENERGY REGULATIONS MUNICIPAL CODE (INCLUDING LOCAL AMENDMENTS TO THE ABOVE ADOPTED CODES AND LOCAL GREEN BUILDING STANDARDS ON PLANS PER CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 REQUIREMENTS)
- ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND STATE LAWS.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT TITLE 24, CALIFORNIA ADMINISTRATIVE CODE ACCESSIBILITY REQUIREMENTS.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT SHALL BE ANCHORED AND SEISMICALLY BRACED PER CODE.
- DIMENSIONS ON WORKING DRAWINGS GOVERN. DO NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATION, INCLUDING ANCHORAGE OF ALL TRACERS.
- ALL CONTRACTORS SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK. PRIOR TO BEGINNING, CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS AFTER A DISCREPANCY IS IDENTIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED AS TO PREVENT DAMAGE OR DEGRADATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNER'S & ARCHITECT'S DECISION) BY CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS RESULTING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- IN ADDITION TO THOSE SHOWN ON DRAWINGS, PROVIDE AND LOCATE ACCESS DOORS OR PANELS IN CEILING AND WALL CONSTRUCTION AS REQUIRED FOR MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
- PROVIDE BACKING FOR ALL EQUIPMENT AND ACCESSORIES.
- CONTRACTOR TO FIELD VERIFY "AS-BUILT" CONDITIONS AND NOTIFY THE ARCHITECT IF THEY VARY SUBSTANTIALLY FROM THOSE SHOWN.

ZONING MAP



PERSPECTIVE RENDERING VIEW OF PROPOSED RESIDENTIAL REMODELING



CONTACT INFORMATION

OWNER: CALVIN LEE
3015 MACHADO AVE. SANTA CLARA, CA 95051
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1525 MCCARTHY BLVD, STE#1003
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STRUCTURAL ENGINEER: STC CIVIL + STRUCTURAL DESIGN & BUILD
17404 MADRONE ST, FONTANA, CA 92337
TEL: 909.481.5219
Email: Thuancao4124@gmail.com

PROJECT DATA

PROJECT TITLE: HOME REMODELING AND ROOM ADDITION

PROJECT ADDRESS: 3015 MACHADO AVE. SANTA CLARA, CA 95051

APR: 220 - 22 - 057

ZONING: R1

OCCUPANCY: RESIDENTIAL

CONSTRUCTION TYPE: V-4B

SPRINKLER: NO

NUMBER OF STORIES: ONE

BUILDING HEIGHT: 14'-4"

EXISTING HOUSE: 1,464.00 SF
(WORKSHOP TO BE REMOVED: 350.00 SF)
(ESTORAGE TO BE REMOVED: 141.00 SF)
(GARAGE PORCH TO BE REMOVED: 401.00 SF)
TOTAL NUMBER OF EXISTING BEDROOMS: 4
TOTAL NUMBER OF EXISTING BATHROOMS: 2

PROPOSED ROOM ADDITIONS: 550.00 SF
(N) 2-CAR GARAGE: 430.00 SF
(N) ENTRY PORCH: 60.00 SF

TOTAL LIVABLE AREA: 2,414.00 SF
TOTAL FOOTPRINT AREA: 2,414.00 SF
LOT SIZE AREA: 6,823.00 SF
TOTAL LOT COVERAGE: 37.95%

SCOPE OF WORK:
THIS PROJECT INVOLVES THE PROPOSED REMODEL AND ROOM ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE, ENCOMPASSING APPROXIMATELY 1,054 SQUARE FEET OF NEW CONSTRUCTION. THE SCOPE OF WORK INCLUDES THE FOLLOWING:

- BEDROOM EXTENSION AND MASTER BATHROOM ADDITION: EXTEND THE THREE EXISTING BEDROOMS TOWARD THE REAR OF THE PROPERTY TO INCREASE INTERIOR LIVING SPACE AND INCORPORATE A NEW MASTER BATHROOM, ENHANCING THE FUNCTIONALITY AND LIVABILITY OF THE HOME.
- GARAGE CONVERSION AND ENTRY RECONFIGURATION: CONVERT THE EXISTING OPEN CAR PORCH INTO A FULLY ENCLOSED TWO-CAR GARAGE, AS PART OF THE CONVERSION, THE EXISTING FRONT ENTRY DOOR WILL BE RELOCATED TO ACCOMMODATE THE NEW GARAGE AND IMPROVE ACCESS TO THE HOUSE.

GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED OUTSIDE THE 500-YEAR FLOODPLAIN AND IS PROTECTED BY A LEVEE FROM THE 100-YEAR FLOOD.

SHEET INDEX.

Sheet Number	Sheet Name
A0.0	TITLE SHEET
A1.0	EXISTING, NEW SITE PLAN
A2.0	FLOOR PLANS
A3.0	ROOF PLANS
A4.0	ELEVATIONS
A5.0	EXTENSION ELEVATIONS - PERSPECTIVE VIEWS

Owner: LEE RESIDENCE

PROJECT TITLE: RESIDENTIAL REMODELING - ROOM ADDITION

PROJECT LOCATION: 3015 MACHADO AVE. SANTA CLARA, CA 95051 (APN: 220 - 22 - 057)

REVISIONS

No.	DATE	DESCRIPTION
06/05/2025	PLANNING REVIEW-2	

SHEET TITLE: TITLE SHEET

DATE: 7/3/2025 9:03:31 PM

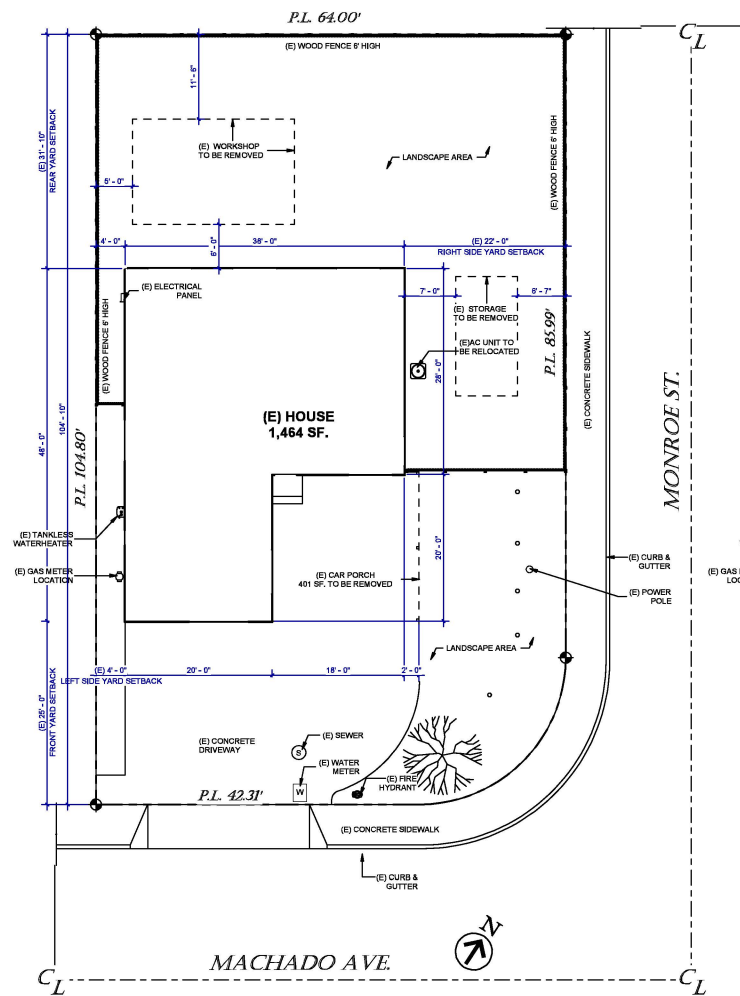
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Designer:

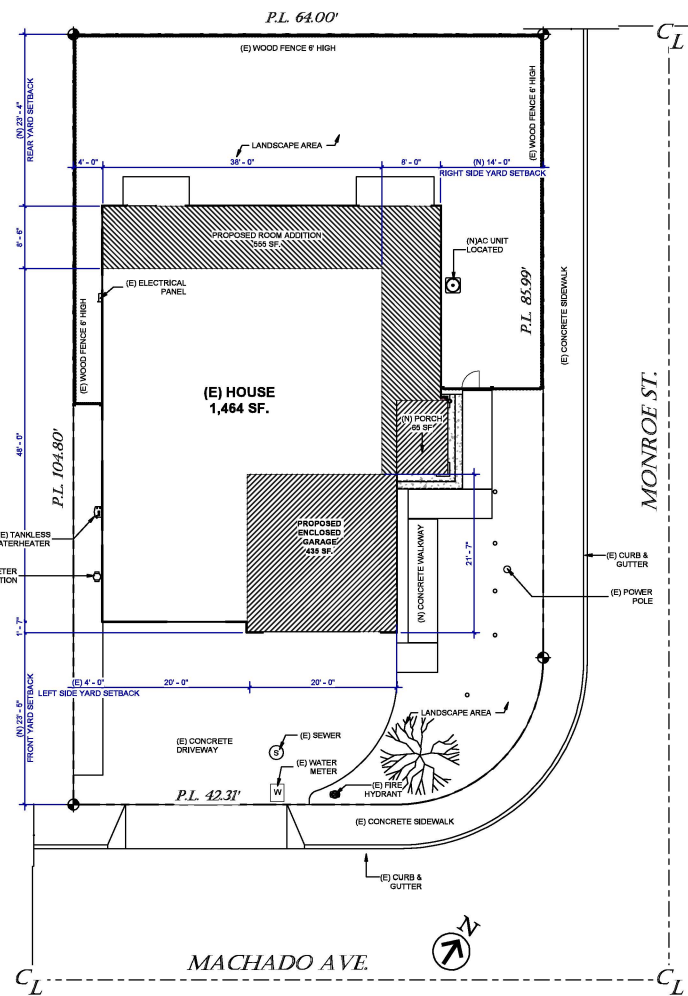
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A0.0

- GENERAL NOTES**
- EVERY ITEM MENTIONED IN THE SPECIFICATIONS IS INTENDED TO REPRESENT THE QUALITY OF MATERIALS THAT WILL BE REQUIRED. WORKMANSHIP SHALL BE OF THE FINEST QUALITY AND DONE IN ACCORDANCE WITH THE BEST METHODS TO OBTAIN THE RESULTS REQUIRED BY THE OWNER. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, ETC. AS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
 - ANY DEVIATION FROM THE APPROVED PLANS OR SPECIFICATIONS SHALL BE AT THE CONTRACTOR'S OWN RISK UNLESS PRIOR APPROVAL IS OBTAINED FROM THE OWNER AND DESIGNER.
 - WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH EFFECTIVE WORK.
 - THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, REQUIREMENTS AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE DESIGNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY THE DESIGNER AND/OR ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE DESIGNER AND/OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND ACHIEVING GENERAL CONFORMITY WITH CONTRACT DOCUMENTS, BUT NOT TO GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
 - ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING SITE CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS ARE FOUND TO CONFLICT WITH THE DRAWINGS THEY SHALL BE REPORTED TO THE DESIGNER SO THAT PROPER REVISIONS SHALL BE MADE. NOTIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE DESIGNER.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MOST RECENT BUILDING CODES OR SUBSEQUENT CODE AS MAY BE ENACTED BY LOCAL AUTHORITY, AND ALL OTHER APPLICABLE LOCAL AND STATE REGULATIONS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONFIRMING EXISTING CONDITIONS ON ADDITION AND/OR REMODEL PROJECTS.
 - THE CONTRACTOR SHALL LAYOUT AND ESTABLISH ALL BUILDING AND CONSTRUCTION LINES, LEVELS, GRADINGS AND LOCATIONS REQUIRED FOR WORK AND SHALL BE RESPONSIBLE FOR ACCURACY AND MAINTENANCE OF SAME. THE CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL DRAWINGS AND TRADES FOR SIZE AND LOCATION OF WALL, FLOOR AND ROOF OPENINGS, WALLS OF RETRA PROVISIONS FOR PRESENT AND FUTURE OPENINGS, ATTACHMENT AND MOUNTING OF FIXTURES, CURBS, DEPRESSIONS, SLEEVES, INSETS, AND OTHER EMBEDDED HARDWARES, PIPE, VENT, DUCT AND OTHER OPENINGS AND/OR DETAILS.
- GENERAL CONSTRUCTION REQUIREMENTS:**
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO CODES, ORDINANCES AND STANDARDS HAVING JURISDICTION. FOR ALL WOOD IN CONTACT WITH CONCRETE SLAB PLACED ON EARTH, WOOD SHALL BE EITHER FOUNDATION GRADE REDWOOD OR PRESSURE-TREATED DOUGLAS FIR, WHERE NOT SUBJECT TO WATER SPLASH OR TO EXTERIOR MOISTURE AND LOCATED ON GRADE HAVING A MINIMUM THICKNESS OF 3" WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN CONCRETE AND EARTH. THE WOOD MAY BE TREATED AND OF ANY SPECIES.
 - WOOD/EARTH SEPARATION - WOOD BEAMS RESTING ON CONCRETE PIERS SHALL BE PLACED A MINIMUM OF 8 INCHES ABOVE ADJACENT EARTH. WOOD LOCATED NEARER THAN 8 INCHES TO EARTH SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY. BOTTOM OF WOOD FRAMING SHALL BE SEPARATED FROM EARTH BY 12 INCHES MINIMUM FOR GIRDERS AND 18 INCHES FOR FLOOR JOISTS.
 - CONTRACTOR SHALL CLEAN UP AND REMOVE THEIR OWN RUBBISH AND DEBRIS FROM THE JOB SITE.
 - ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAMESPREAD RATING SMOKE DENSITY REQUIREMENTS OF CALIFORNIA BUILDING CODE.
 - THE REQUIRED CLEARANCE FOR WOOD MEMBERS ABOVE GRADE IS 8" FOR MUDDILLS.
 - A CORROSION RESISTANT METAL FLASHING WHICH ALLOWS TRAPPED WATER TO DRAIN TO EXTERIOR OF THE BUILDING IS REQUIRED. FLASHING EXTERIOR SIDING AT FOUNDATION OR SILL PLATE IN THE FLASHING SHALL BE A MINIMUM NUMBER 26 GALVANIZED SHEET GAGE CORROSION RESISTANT SHEET METAL AND SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS.
 - INSULATION IS REQUIRED FOR ALL INTERIOR AND EXTERIOR INFILL (LATH AND/OR WALLBOARD BEFORE ANY EXTERIOR FINISH IS APPLIED OR ANY JOINTS AND FASTENERS ARE TIED AND FINISHED).
 - PLYWOOD PANELS SHALL BE BONDED WITH INTERMEDIATE OR EXTERIOR GLUE AND BE OF EXTERIOR TYPE WHERE EXPOSED TO THE WEATHER. GLAZING WITHIN 18" OF FLOOR OR 24" OF A DOOR OPENING SHALL BE TEMPERED GLASS.
- ADMINISTRATIVE REQUIREMENTS:**
- CONSTRUCTION OF THE SITE SHALL BE LIMITED TO WORKING HOURS SET FORTH BY THE CITY BUILDING DEPARTMENT.
 - CONTRACTOR SHALL INSPECT THE JOB SITE AND STUDY ALL ELEMENTS OF WORKING DRAWINGS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO START OF ANY WORK.
 - CONTRACTOR SHALL, AT THEIR OWN EXPENSE, CARRY ALL EMPLOYERS LIABILITY INSURANCE AND PUBLIC LIABILITY INSURANCE NECESSARY FOR THE FULL PROTECTION OF THE CONTRACTOR AND OWNER DURING THE PROGRESS OF THE WORK. CONTRACTOR SHALL BE WHOLLY RESPONSIBLE IN CASE OF ANY LOSS OR DAMAGE TO ANY PERSON OR PROPERTY RESULTING FROM THE PERFORMANCE OF THIS CONTRACT AND AGREES TO HOLD THE OWNER HARMLESS FROM ALL LIABILITY AND EXPENSE RESULTING FROM CONSTRUCTION.
 - CONTRACTOR SHALL CONSULT WITH THE REPRESENTATIVES OF THE CITY, GAS, WATER, POWER, AND PHONE COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING FACILITIES.
 - CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER PROJECT COMPLETION.
 - ALL CONTRACTORS DOING BUSINESS IN THE CITY SHALL HAVE A CERTIFICATE OF WORKERS COMPENSATION ON FILE WITH THE CITY.
- 2022 CBC SEC R401.3. DRAINAGE**
- SURFACES DRAINAGE SHALL BE DIVERTED TO STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD.
 - STORM WATER SHOULD BE CONVEYED TO STREET STORM WATER SYSTEM WHO ENSURES OR FLOWING OVER PROPERTY LINES, OR PUBLIC RIGHT OF WAY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT (6") WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PREVENT 6" OF FALL WITHIN 10 FT. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. (CBC R401.3)
 - IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING (CBC R401.3, EXCEPTION)
- PLUMBING FIXTURES:**
- EFFECTIVE JANUARY 1, 2014 RESIDENTIAL BUILDINGS UNDERGOING ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION (PER 2022 CAL GREEN SECTION 301.1 & 302.1) i.e.,
 - 1.28 GPM MAX WATER CLOSETS, 0.125 GPM MAX URINALS, 1.8 GPM MAX, SHOWER HEADS, 1.2 GPM MAX, & 0.8 GPM MIN. LAVATORY FAUCETS, AND 1.8 GPM KITCHEN FAUCETS.



③ SITE PLAN - EXISTING
1/8" = 1'-0"



② SITE PLAN - NEW
1/8" = 1'-0"

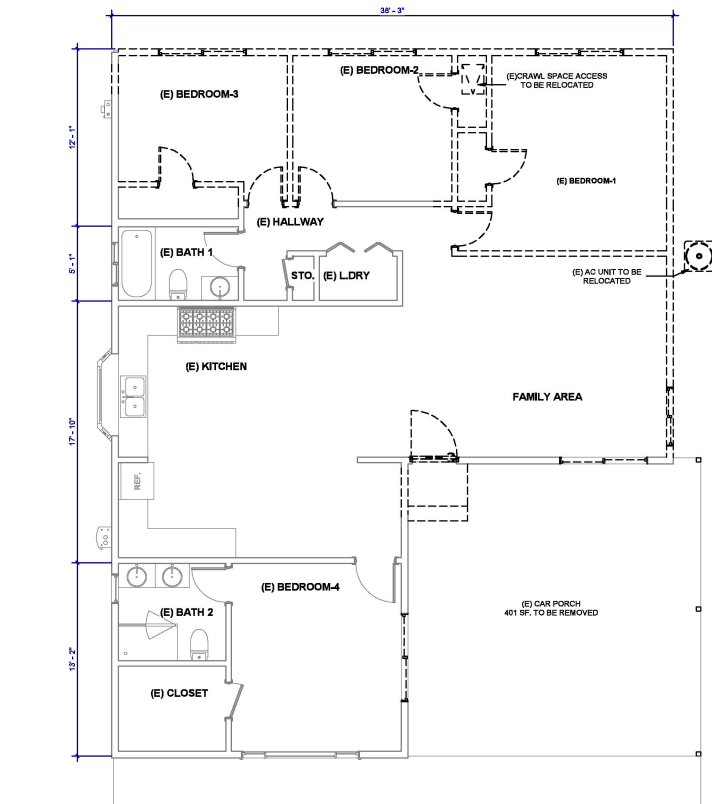
WALL LEGEND	
	1 EXISTING WALL TO BE REMAIN
	2 EXISTING WALL TO BE DEMOLISHED
EXTERIOR WALL	
	1 EXT. 7/8\"/>
	2- LAYERS OF GRADE 12 PAPER ICC-ES ERS-2375
	3 WALL SHEATHING
	4 2X4\"/>
	5 1/2\"/>
INTERIOR WALL	
	1 1/2\"/>
	2 2X4\"/>

DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	TYPE
D1	6'-0"	8'-0"	Solid Core French Door
D2	16'-0"	8'-0"	Sliding Door
D3	3'-0"	8'-0"	Solid Core French Door
D4	2'-8"	8'-0"	Hollow Core
D5	2'-8"	8'-0"	Hollow Core
D6	2'-8"	8'-0"	Hollow Core
D7	9'-0"	8'-0"	Hollow Core
D8	2'-8"	8'-0"	Hollow Core
D9	2'-4"	8'-0"	Hollow Core
D10	6'-0"	7'-3 3/32"	Sliding Door
D11	2'-4"	8'-0"	Hollow Core
D12	16'-0"	8'-0"	Sliding Door
D13	6'-0"	8'-0"	Sliding Door
ED1	2'-8"	8'-0"	Hollow Core
ED2	2'-4"	8'-0"	Hollow Core
ED3	4'-8"	8'-0"	Hollow Core
ED4	1'-10"	8'-0"	Hollow Core
ED5	2'-4"	8'-0"	Hollow Core
ED6	2'-4"	8'-0"	Hollow Core
ED7	4'-0"	8'-0"	Cls g8 1 clsh

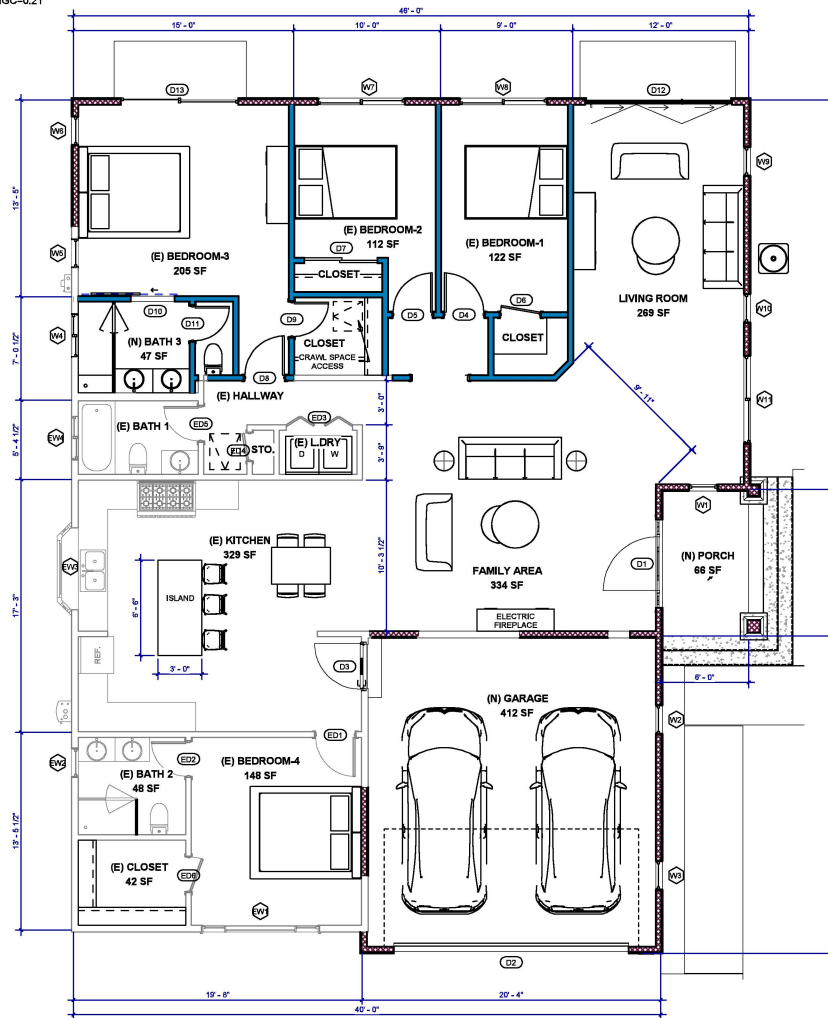
WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	TYPE
EW1	8'-0"	3'-10"	Vinyl Single Hung Window
EW2	2'-0"	4'-0"	Vinyl Single Hung Window
EW3	8'-0"	3'-0"	Vinyl Sliding Window
EW4	3'-0"	1'-8"	Vinyl Sliding Window/Tempered Glass
W1	2'-0"	4'-0"	Vinyl Single Hung Window
W2	2'-0"	4'-0"	Vinyl Single Hung Window
W3	2'-0"	4'-0"	Vinyl Single Hung Window
W4	3'-0"	1'-6"	Vinyl Sliding Window/Tempered Glass
W5	2'-0"	4'-0"	Vinyl Single Hung Window
W6	2'-0"	4'-0"	Vinyl Single Hung Window
W7	6'-0"	4'-0"	Vinyl Sliding Window
W8	6'-0"	4'-0"	Vinyl Single Hung Window
W9	2'-0"	4'-0"	Vinyl Single Hung Window
W10	2'-0"	4'-0"	Vinyl Single Hung Window
W11	8'-0"	4'-0"	Vinyl Sliding Window

NOTE: PROPOSED WINDOWS SHALL HAVE A U-Factor=0.30 and SHGC=0.21

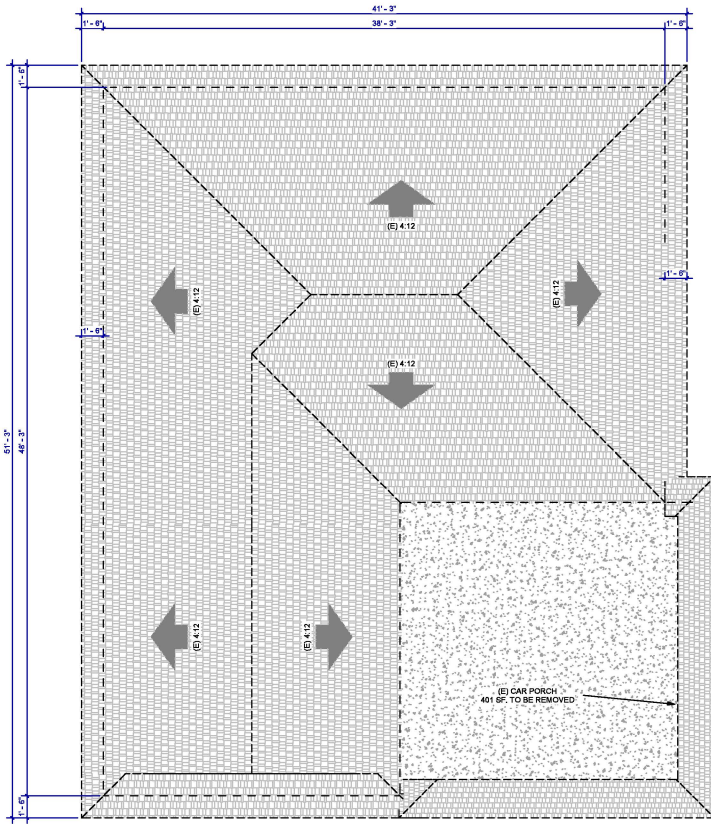
NOTE: PROPOSED GLASS DOORS SHALL HAVE A U-Factor=0.32 and SHGC=0.25



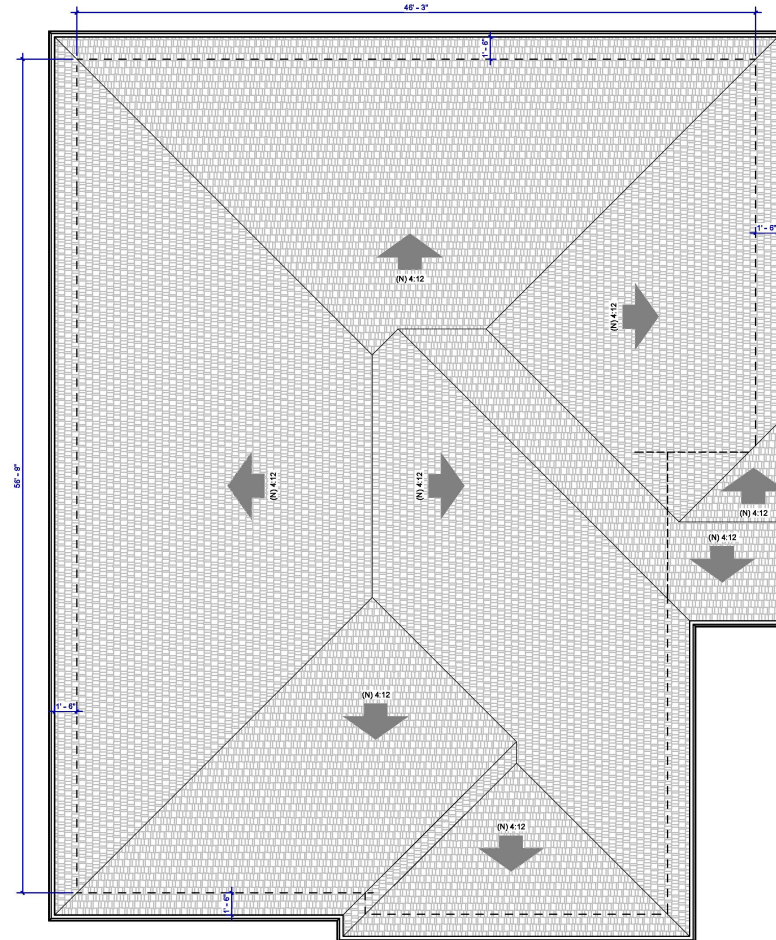
2 FLOOR PLAN - EXISTING & DEMOLITION (1,484SF.)
1/4" = 1'-0"



1 FLOOR PLAN - NEW (2,514SF.)
1/4" = 1'-0"



① ROOF PLAN - EXSTING & DEMOLITION
1/4" = 1'-0"



② ROOF PLAN - NEW
1/4" = 1'-0"



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Owner:
LEE RESIDENCE

PROJECT TITLE
RESIDENTIAL REMODELING - ROOM ADDITION

PROJECT LOCATION
**3015 MACHADO AVE. SANTA CLARA, CA 95051
(APN: 220 - 22 - 057)**

REVISIONS		
No.	DATE	DESCRIPTION

SHEET TITLE
ROOF PLANS

DATE: 7/3/2023 5:03:38 PM
SCALE: 1/4" = 1'-0"
Designer:
JOB NO.: 24-04

A2.1

Owner:
LEE RESIDENCE

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1	06/05/2025	PLANNING REVIEW-2

SHEET TITLE
ELEVATIONS

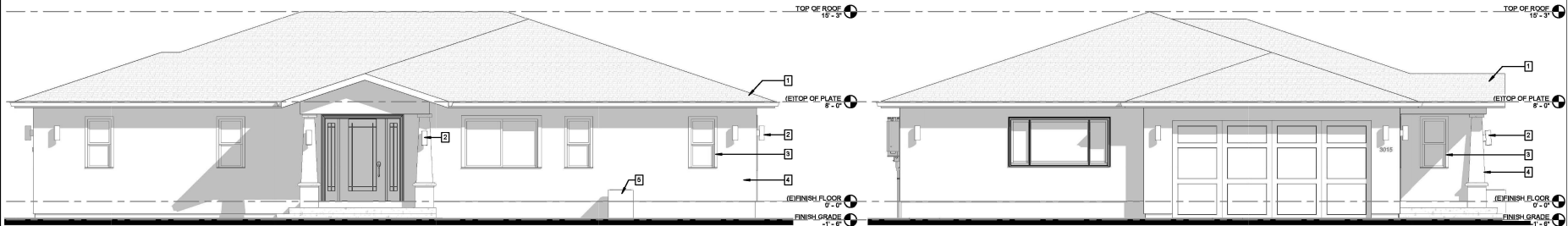
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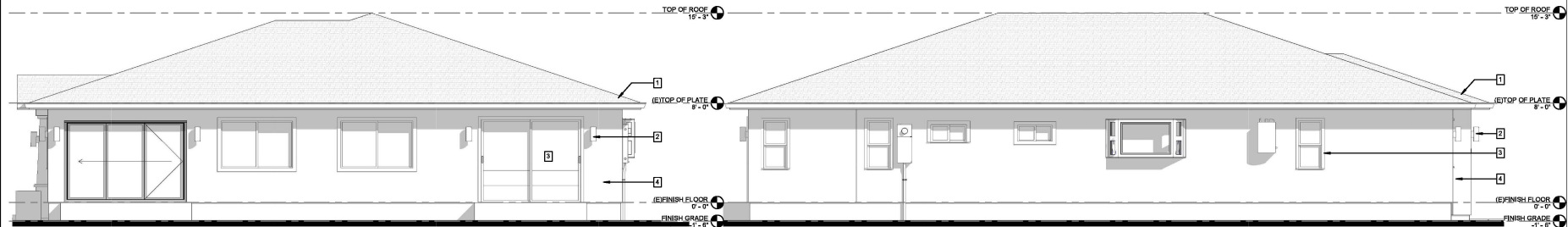
JOB NO: 24-04

A3.0



③ EAST - RIGHT ELEVATION VIEW
1/4" = 1'-0"

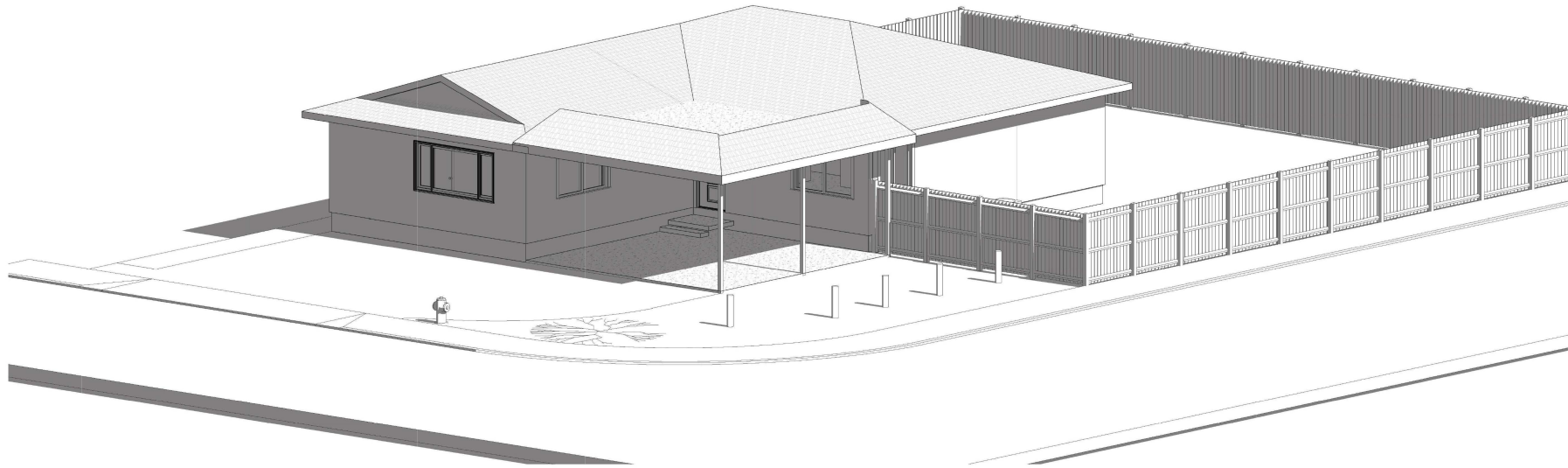
④ NORTH - FRONT ELEVATION VIEW
1/4" = 1'-0"



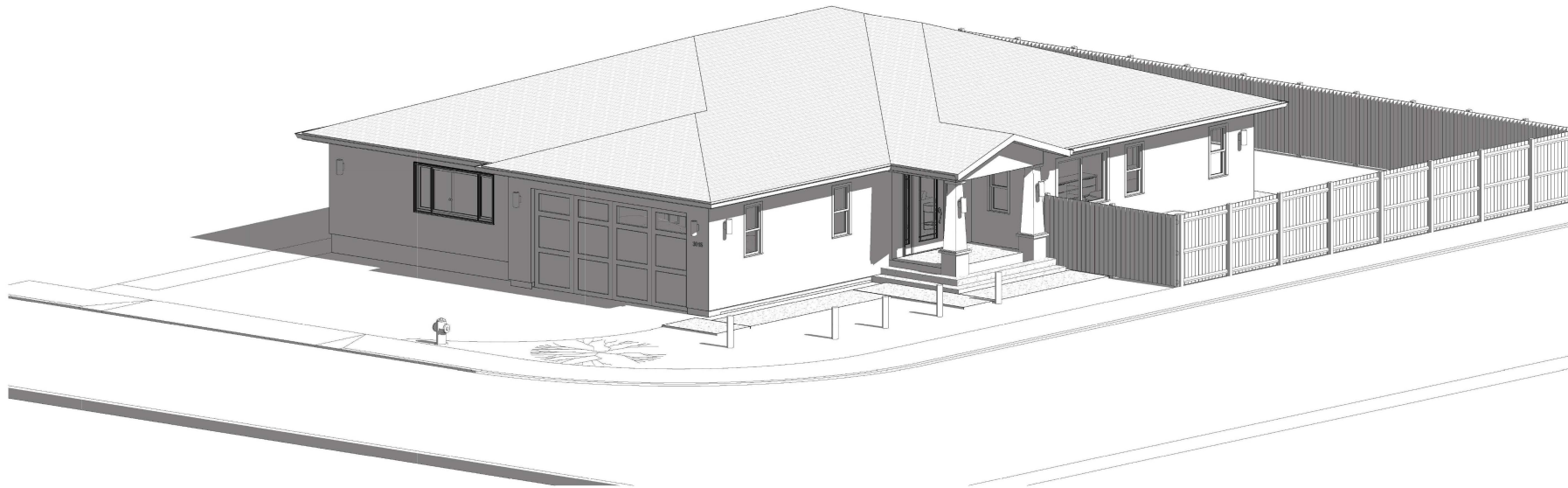
① SOUTH - REAR ELEVATION VIEW
1/4" = 1'-0"

② WEST - LEFT ELEVATION VIEW
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
Note Number	FINISH DESCRIPTION
1	30-YEAR ROOF SHINGLES (CLASS A FIRE RATING)
2	OUTDOOR WALL: STONE LIGHT TYPICAL
3	SMOOTH TRIM FOR WINDOWS & DOORS - COLOR: BLACK
4	CEMENT PLASTER TYPICAL (GLAZIAL ICE SATIN EXTERIOR PAINT)
5	RELOCATED AC UNIT



2 PERSPECTIVE VIEW - EXISTING



1 PERSPECTIVE VIEW - NEW



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Owner:
LEE RESIDENCE

PROJECT TITLE
RESIDENTIAL REMODELING ROOM ADDITION

PROJECT LOCATION
**3015 MACHADO AVE. SANTA CLARA, CA 95051
(APN: 220 - 22 - 057)**

REVISIONS		
No.	DATE	DESCRIPTION

SHEET TITLE
EXTERIOR ELEVATIONS - PERSPECTIVE VIEWS

DATE: 7/3/2023 5:03:48 PM
SCALE:
Designer:
JOB NO: 24-04

A4.0