



City of Santa Clara

Development Review Hearing

February 17, 2021

1680 Eberhard Street

Public Hearing Item # 1
PLN2021-14766



1680 Eberhard Street

Request

- Architectural Review of a 134 square feet ground floor addition and an 881 square feet second-story to an existing 1,540 square feet 3-bedroom and 2-bathroom house, resulting in a two-story 2,976 square feet 5-bedroom and 3-bathroom house with an expanded two-car garage. *The project includes a proposed 499 square feet 1-bedroom and 1-bathroom ADU attached on the second floor of the residence which is subject to administrative review only.*



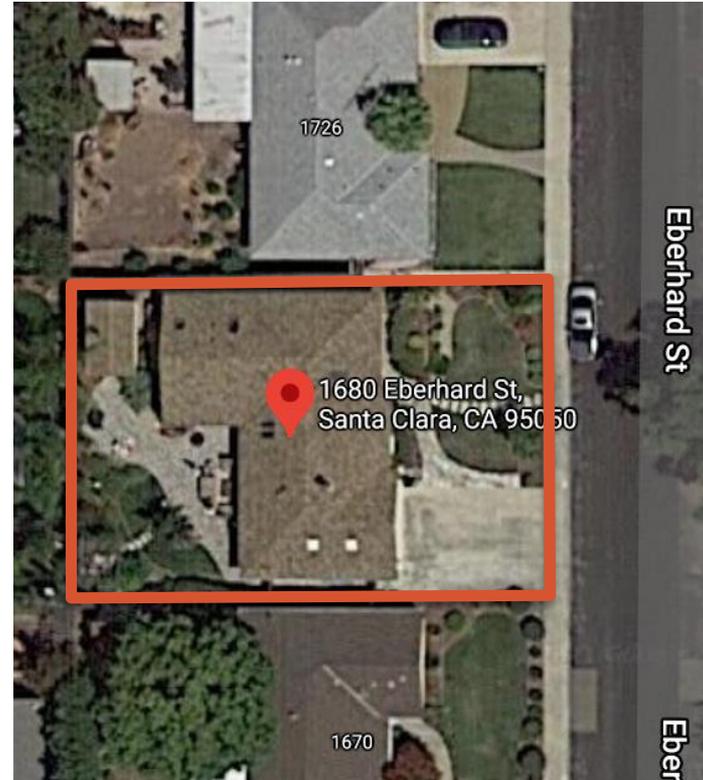
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- A 6,270 square feet lot on the south side of Warburton Avenue and Eberhard Street
- Zoning: R1-6L





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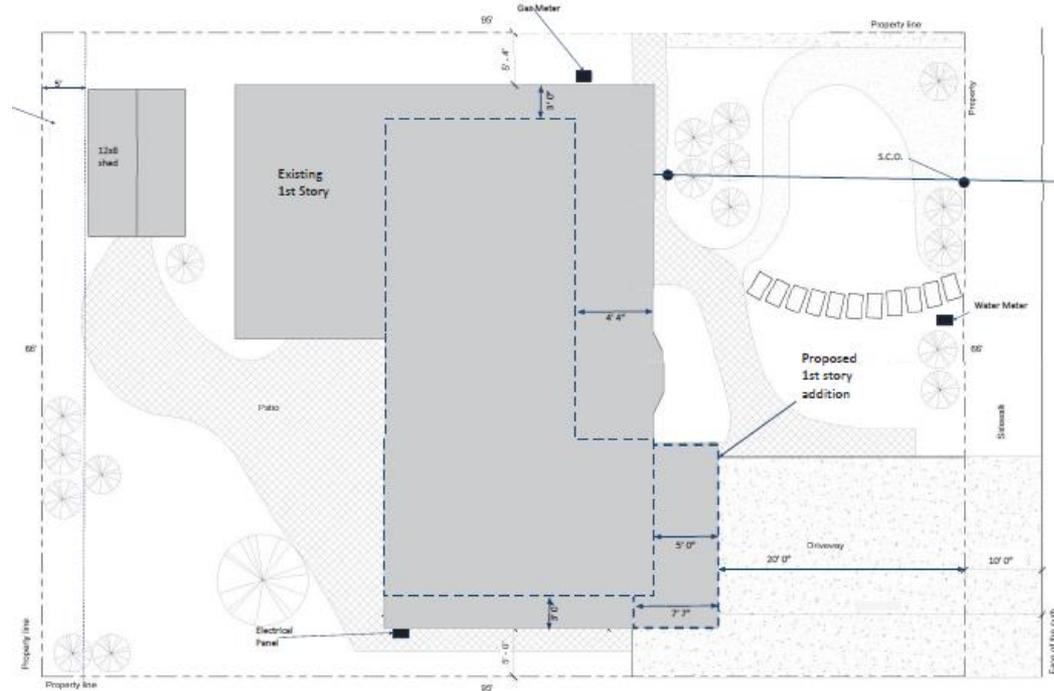
Project Data

Lot Size: 6,270 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq. ft.)
First Floor	1,540	134	1,674
Second Floor	n/a	881	881
Second Floor (ADU)	n/a	499	499
Garage	382	39	421
Sheds	120		120
Gross Floor Area	2,042		3,595
Lot Coverage	$2,042/6,270 = 33\%$		$2,215/6,270 = 35\%$
F.A.R.	$2,042/6,270 = 0.33$		$3,595/6,270 = 0.57$
% of 2 nd floor to 1 st floor	n/a		$1,380/2,095=66\%$
Bedrooms/Baths	3/2		5/3
Bedrooms/Baths (ADU)	n/a		1/1
Flood Zone	X		X



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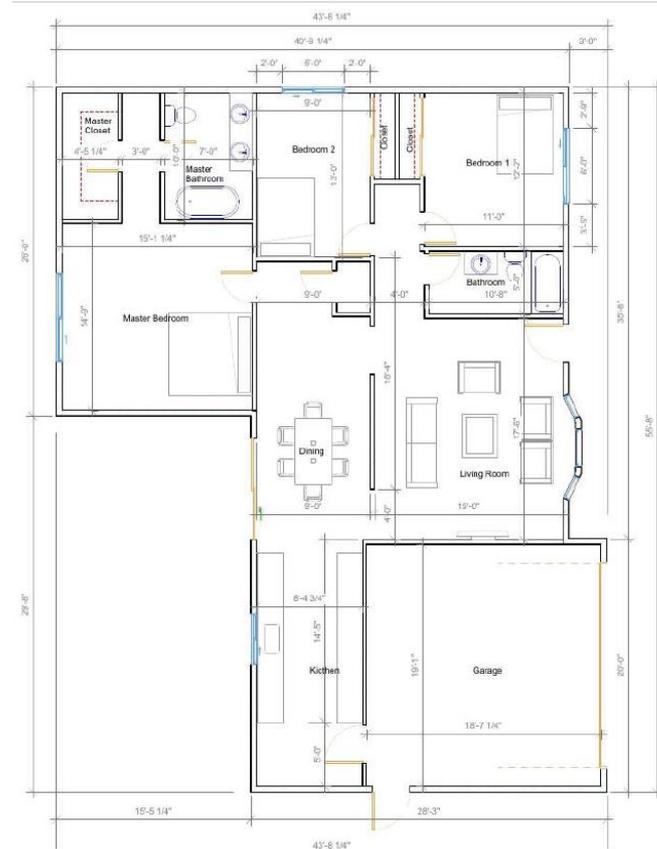
Site Plan





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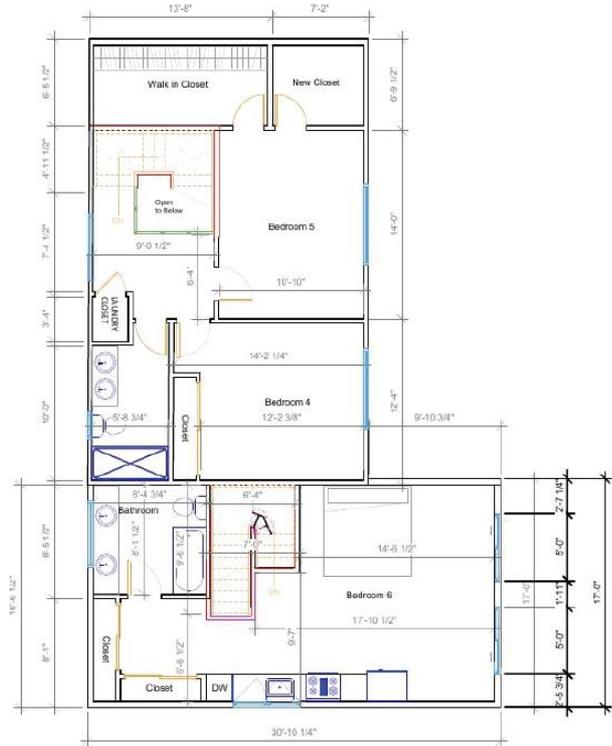
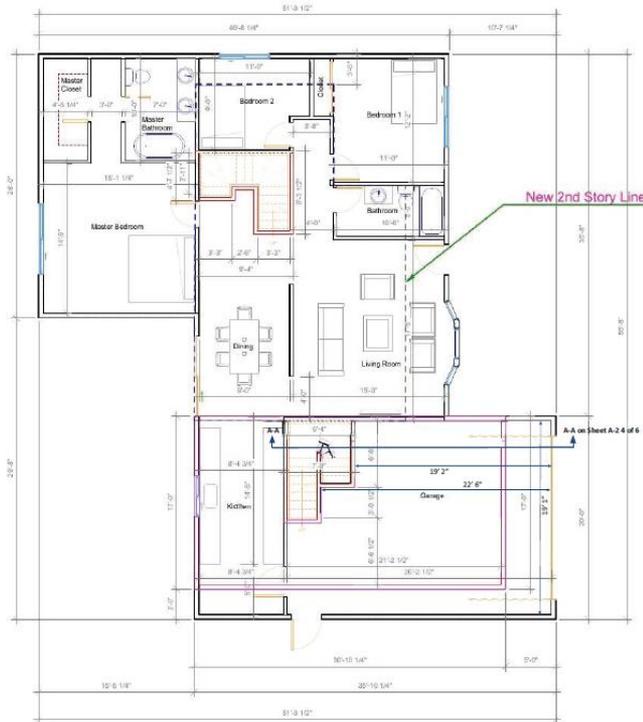
Existing Floor Plan





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Proposed Floor Plans





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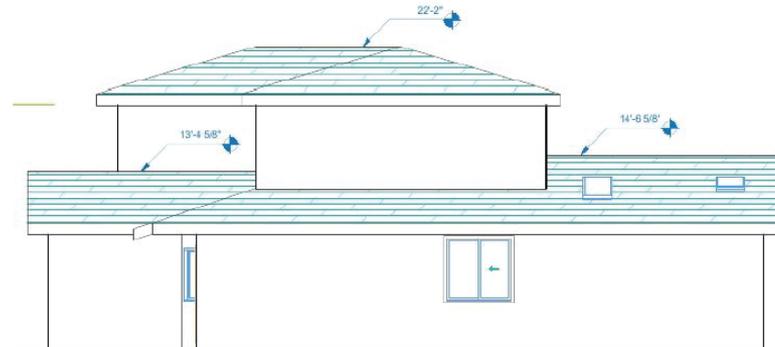
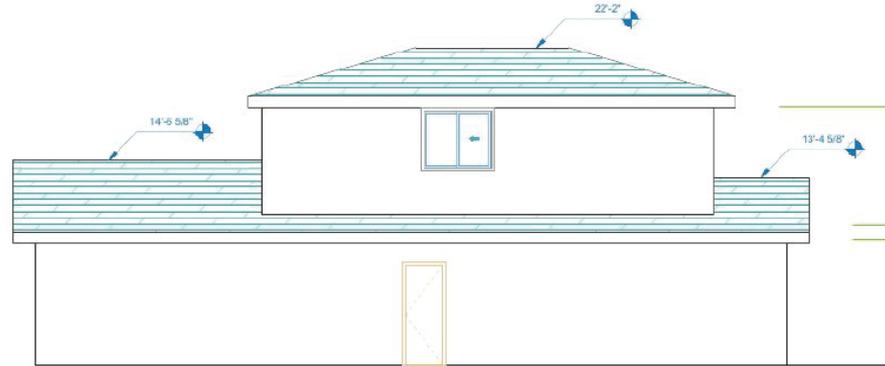
Proposed Front & Rear Elevations





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Proposed Side Elevations





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Recommendation

- No comments received prior to this meeting
- Approve, subject to conditions included in the staff report



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