



Agenda Report

23-779

Agenda Date: 6/29/2023

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Consideration of the 950 Monroe Street Mixed-Use Project

BACKGROUND

This is a historical review of the proposed 950 Monroe Street Mixed-Use Project to evaluate the impacts of the project on the existing historic structures at 906 Monroe Street and 930 Monroe Street. The Historical and Landmark Commission's (HLC) recommendation will be forwarded to the Planning Commission for review and recommendation and then to the City Council for consideration. The proposed project was previously agendized for the June 1, 2023 HLC meeting, but was not heard due to a lack of quorum for the item.

DISCUSSION

The proposed project consists of a Rezoning, General Plan Amendment and Vesting Tentative Subdivision Map for the demolition of the existing retail structure at 950 Monroe Street and construction of a new residential complex including 50 condominium units and four townhouses with general commercial retail space on the ground floor. The proposed condo structure will include one basement floor and six stories above grade. The proposed townhouses are two stories in height.

The project site includes the Stick/Eastlake Victorian at 906 Monroe Street, Dutch Colonial Revival residence at 930 Monroe Street, and a non-listed residence at 1341 Homestead Road, all of which are to remain. Both 906 and 930 Monroe Streets are designated resources on the City's Historical and Resource Inventory (HRI). 906 Monroe Street and 1341 Homestead Road are currently situated on the same lot.

Minor Significant Property Alteration (SPA) Permit

The project includes a Minor SPA Permit for modifications to the two listed resources at 906 and 930 Monroe Street. The scope of work listed below does not include alterations to character defining features of the listed resources and is considered a Minor SPA under the City's Historical Preservation Ordinance. A Minor SPA would typically be reviewed at staff level; however, this is referred to the HLC as part of the overall consideration of the mixed-use project.

906 Monroe Street (Mills Act) / 1341 Homestead Road (Not listed on the HRI)

- Demolition of an existing detached modern shed structure
- Construction of a new one-car garage
- Landscaping in the front area of 1341 Homestead Road

930 Monroe Street (Listed on the HRI)

- Demolition of the existing detached garage (constructed in 1971)

- Demolition of the flat-roofed rear addition to the residence (constructed circa 1960)
- Construction of a new two-car garage

On December 7, 2022, Robert R. Cartier from Archaeologist Resource Management prepared a Secretary of Interior Standards (SIS) evaluation of the proposed project (Attachments 2 and 3). The assessment report reviews the proposed modification to the two historical properties for consistency with the 10 Secretary of Interior Standards for Rehabilitation. The evaluation finds that the proposed project is consistent with the Secretary of Interior Standards for Rehabilitation, in that the two historical resources would remain in place and there is no alteration to the character defining features. Removal of the accessory structures and replacement with new garages would not impact the historical resources.

Rezoning and Vesting Tentative Subdivision Map

The project proposes to subdivide three existing parcels into two single-family parcels and one mixed-use parcel with 50 condominium units, four townhouses and one detached single-family dwelling unit. Two of the historical lots at 906 and 930 Monroe would be reduced in size but will remain as two separate single-family parcels. The residential structure at 1341 Homestead Road would be combined with the new mixed-use parcel to create access for the new townhouses.

The reduction in parcel sizes for 906 and 930 Monroe Street would require a rezoning to Planned Development (PD) for the creation of new non-conforming single-family lot sizes. Current and proposed rezoning is summarized below.

906 Monroe Street

- Currently zoned HT - Historical Combining Zoning District
- Rezone to PD for reduced lot size for single-family lot
- 1341 Homestead Road residential structure will be excluded from the proposed parcel

930 Monroe Street

- Currently zoned OG - General Office Zoning District
- Rezone to PD for reduced lot size for single-family lot

940-950 Monroe Street

- Currently zoned Community Commercial
- Rezone to PD for development standards as proposed in the development plan
- 1341 Homestead Road will be combined with the new mixed-use parcel and be rezoned to PD

As the project proposal includes a rezoning of two HRI listed properties, staff is referring to the HLC for recommendation to City Council.

Design Review

The project area is a mix of modern and classical architectural styles and while located in the Old Quad neighborhood, there is no single defining architectural style. The design of the proposed mixed-use building is of a mix of architectural styles to provide a downtown look and feel. The building immediately adjacent to the residences at 906 and 930 Monroe Street is a brick building with a garage entrance on the ground floor, two residential stories above, and a roof-top amenity

space.

The proposed project design has been revised since its original submittal to reduce the structure's height abutting the three existing single-family residential structures that are remaining on the site. The current proposal includes four, two-story townhouses at a maximum height of 28 feet located to the rear of the single-family residential structures and a mixed-use building located adjacent to the historic houses to the north that starts at approximately 41 feet in height and increases in height as it moves away from the historic houses to 84 feet at the corner of Monroe and Franklin Streets. The historic houses at 906 and 930 Monroe Street are one and a half stories, approximately 28 feet in height. The height of the mixed-use building adjacent to the historic houses is three-stories (38 feet in height). The proposed mixed-use building has a five-foot setback from the property line adjacent to the historic house. This setback and building height do not provide as sensitive of a transition between the mixed-use building and the historic houses. A two-story structure at this location would be more appropriate, then transitioning from there to three stories and above, or providing a larger building setback from the historic house could accomplish better sensitivity. The project is requesting to rezone to Planned Development to allow for the height and setback as proposed.

Conclusion

The SIS evaluation finds that the proposed project is consistent with the Secretary of Interior Standards for Rehabilitation and would have an insignificant impact on the existing resources at 906 and 930 Monroe Street. The project's varying architectural style would portray a look and feel associated to a downtown mixed-use building. In regard to height, the proposed height of the immediate structure to the historic resources could be designed in a more sensitive manner with a larger setback or a reduction in adjacent building height to two stories, which would improve the transition from the historic single-family uses to the proposed project.

Rezoning of the entire project site to Planned Development would allow for the unique configuration of the proposed project as shown on the development plan. Both historical properties will remain in place and future alteration will be subject to the City's Historic Preservation Ordinance.

With the recommendation of the Historical and Landmarks Commission, the proposed project would go before the Planning Commission for recommendation and City Council for consideration of the final land use decision on Rezoning, General Plan Amendment, and Vesting Tentative Subdivision Map. Should the development receive approval from City Council, the development would be subject to the City's Architectural Review process. Lastly, the Minor SPA would be forwarded to the Director of Community Development for approval.

ENVIRONMENTAL REVIEW

A Draft Environmental Impact Report (DEIR) was prepared and circulated for public and agency review in accordance with California Environmental Quality Act (CEQA) requirements. The DEIR identified potentially significant impacts with project development and mitigation measures specified in the EIR that would reduce impacts to less than significant.

Cultural Resources

The EIR concludes that the proposed project would not cause a substantially adverse change in the significance of a historical resource. The project proposes to retain the historical resources in the same location. The significance of the resources is not linked to the surrounding structures and the proposed development would not alter the character-defining features of these historic

structures. Therefore, the proposed development project would not result in a substantial adverse change in the significance of these resources as a result of the proposed development.

CEQA documents are available on the City's CEQA webpage:

<https://www.santaclaraca.gov/Home/Components/BusinessDirectory/BusinessDirectory/422/3649>

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PUBLIC CONTACT

On June 15, 2023, a notice of public hearing of this item was posted in three conspicuous locations within 300 feet of the project site and on June 15, 2023 was mailed to property owners within 1,000 feet of the project site. Public comment emails received for the project are included as Attachment 5.

RECOMMENDATION

Minor SPA

Recommend the Historical and Landmarks Commission find that, based upon the analysis and findings of the historical evaluation, the Commission forward a recommendation of approval of the Minor SPA to the Community Development Director.

Rezoning

Recommend that the Historical and Landmarks Commission review the Rezoning and Vesting Tentative Map and provide a recommendation to the City Council.

Design Review

Recommend that the Historical and Landmarks Commission review the Architectural Review for the mixed-use project and provide a recommendation to the Development Review Hearing Officer.

CEQA Review

Recommend that the Historical and Landmarks Commission review the EIR and provide a recommendation to the City Council.

Prepared by: Steve Le, Associate Planner

Reviewed by: Rebecca Bustos, Principal Planner

Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. 950 Monroe Mixed-use Project SIS Evaluation
2. DPR Survey for 906 Monroe Street
3. DPR Survey for 930 Monroe Street
4. Development Plan
5. Public Comments

Archaeological Resource Management

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December 7, 2022

Attn: Mr. Randy Lamb & Ms. Lisa Lamb
Lamb Partners, LLC
535 Middlefield Road, Suite 190
Menlo Park, CA 94025
C/O: Salvatore Caruso Design Corporation

RE: HISTORICAL ANALYSIS OF THE PROPOSED PROJECT AT 950 MONROE STREET IN THE CITY OF SANTA CLARA

Dear Mr. & Ms. Lamb;

This historical analysis of the proposed project at 950 Monroe Street has been prepared on behalf of Mr. Randy Lamb and Ms. Lisa Lamb of Lamb Partners, LLC. This assessment evaluated the impacts of the proposed project on the structures at 930 Monroe Street, 906 Monroe Street, and 1341 Homestead Road using the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. The current proposed project consists of demolition of the existing small retail structure at 950 Monroe Street (APN 269-20-086) and the construction of a new residential complex including fifty condos and four town homes with general retail/cafe on the ground floor.

Three existing residences are located within the project footprint and will be impacted by the proposed project. These include the Dutch Colonial Revival residence at 930 Monroe Street constructed in 1905 (APN 269-20-087), the Stick/Eastlake Victorian residence at 906 Monroe Street constructed in 1898, and the small Spanish Colonial Revival residence at 1341 Homestead Road constructed circa 1920 (both on APN 269-20-095).

The structures at 930 Monroe Street and 906 Monroe Street are currently listed in the City of Santa Clara Historic Preservation and Resource Inventory. In addition, 906 Monroe Street has a Mills Act agreement with the City of Santa Clara. The structure at 1341 Homestead Road is not currently listed in the City Inventory. None of the structures are listed in the California Register of Historic Resources (CRHR) or the National Register of Historic Places (NRHP).

Project Description

Using the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)*, the proposed treatment approach would be classified as rehabilitation. As noted above, the proposed project consists of the demolition of the existing retail structure at 950 Monroe Street and construction of a new residential complex including fifty condos and four town homes with general retail/cafe on the ground floor. The total lot area is 38,180 SF (08.87

acres). The proposed condo structure will include one basement floor and six stories above grade. The proposed town homes are two stories in height. The project as currently proposed will include minor impacts to the three existing residential structures within the project footprint including:

930 Monroe Street

- Demolition of the existing detached garage (constructed 1971)
- Demolition of the flat-roofed rear addition to the residence (constructed circa 1960)
- Construction of a new two-car garage

906 Monroe Street/1341 Homestead Road

- Demolition of an existing detached modern pre-fab shed structure
- Construction of a new one-car garage
- Landscaping in the front area of 1341 Homestead Road

Design drawings by Salvatore Caruso Design Corporation dated October 5, 2022 were reviewed as part of the preparation of this report.

Historic Context

The subject properties make up a portion of Lot 3, Block 1 South, Range 4 West as shown on the “Map of Lots and Sublots of Santa Clara, Santa Clara County, California” from July of 1866 (Volume B of Maps, Page 103).

930 Monroe Street

Based upon County of Santa Clara Appraiser’s property records, the subject structure was constructed in 1905. The earliest known resident of the home was Dora T. Gibson (widow of Marvin Gibson), who is listed at this address in 1907 (Polk Directory). Dora was listed at 930 Monroe Street in 1920. By 1940, the property was the home of Clarence and Marjorie Bjorlie, who is listed at this address in the U.S. Census of that year. Based on City of Santa Clara Building Permit #1959-17493, by 1959 the home was owned by Donald R. Von Raesfeld Jr., and Jocylene M. Von Raesfeld. Donald Von Raesfeld, Jr. is the son of Donald Von Rasfeld (Senior), who served as City Manager of Santa Clara from 1960 to 1985, and a City Council member from 1988 to 1992. Donald Jr. was a long time driver for the Valley Transit Authority (VTA). He also served on the Board of Directors and as Membership Chairman of the San Jose Chapter of the Experimental Aircraft Association (EAA). The Von Raesfelds’ owned the property until its recent purchase by Lamb Partners, LLC.

906 Monroe Street/1341 Homestead Road

Based on visual evaluation and available documentation, the residence at 906 Monroe Street was originally constructed in 1898. The earliest known resident of the home was Dora Brook, who owned the property until December 13, 1919, when it was granted to Rosa Lukanitsch (Book 502 of Deeds, Page 220). The secondary residence at 1341 Homestead Road appears to have been

constructed around this period (circa 1920). On August 26, 1924 the property passed via gift deed to Alfred Lukanitsch (Book 344 OR, Page 122). Alfred, along with his wife Annie Lukanitsch, owned the property until April 4, 1974, when it was transferred to Kenneth and Elaine Marie Gift, as trustees of the “Alfred and Annie Lukanitsch 1974 Trust” (Book A858 OR, Page 131). On May 6, 1977 Kenneth and Elaine Marie Gift quitclaimed the property to Elaine Marie Gift (Book C968 OR, Page 320). On November 1, 1983 the property was granted to Michael Kohl (Book 1030 OR, Page 103). On January 24, 2014 the property was passed to Michael T. Kohl and Mary D. Martin (Assessor's Property Record #22504294). On February 12, 2019 the property was granted to Lamb Partners LLC (Assessor's Property Record #24115588). On August 20, 2021 the property was passed to LP Monroe Street LLC, who are the current listed owners.

Period of Significance

For purposes of historic listing, the period of significance for the structure at 930 Monroe Street spans from its original construction in 1905 to 1945. Alterations made to the structure and property after this time include the existing flat-roofed rear addition (circa 1960) as well as the detached garage (originally constructed 1959, the garage burned down in 1970 and was reconstructed in 1971). These alterations made after 1945 were less in keeping with the original architectural style and materials of the structure, and are non-significant.

The period of significance for the structures at 906 Monroe Street/1341 Homestead Road spans from the construction of 906 Monroe Street circa 1898 to 1945. Additions to the property after this period include the erection of the modern pre-fab shed structure to the rear of 906 Monroe Street. These alterations made after 1945 were less in keeping with the original architectural style and materials of the structure, and are non-significant.

Physical Description

Site

The subject area is located at the northwest corner of the intersection of Homestead Road and Monroe Street, within the historic Old Quad area of the City of Santa Clara. The proposed project footprint includes parcels APN 269-20-086, 269-20-087, and 269-20-095. The surrounding neighborhood is mixed-use, with a number of both commercial and residential properties, many of which are broadly chronologically and stylistically compatible with the existing residential properties within the proposed project footprint.

Construction Chronology

The following section outlines the construction chronology of the property. The dates for modifications are based upon visual evaluation and other available documentation including building permits and County of Santa Clara Appraiser's Property Records.

- 1866: Original layout of the lots and sub-lots of the City of Santa Clara
- 1898: Construction of the residence at 906 Monroe Street
- 1905: Construction of the residence at 930 Monroe Street

- C. 1920: Construction of the residence at 1341 Homestead Road
- 1941: Construction of the retail structure at 950 Monroe Street
- 1959: Construction of the rear addition at 930 Monroe Street
- 1959: Construction of the original detached garage at 930 Monroe Street
- 1970: Destruction of the original detached garage at 930 Monroe Street by fire
- 1971: Construction of the existing detached garage at 930 Monroe Street

Additional modifications and remodels have been made to the interior of the structures, however they do not appear to have had a significant impact on the historic character of the structures as a whole.

Character-defining Features

930 Monroe Street

Constructed in 1905, the structure at 930 Monroe Street is an example of the Dutch Colonial Revival Style. The historic character-defining features of the structure include:

1. The cross-gambrel roof surfaced with wooden shingles
2. The broad and enclosed eaves with boxed rafters
3. The full-length raised front porch supported by cylindrical classical columns and a turned spindle balustrade.
4. The asymmetrically placed bay windows
5. The double-hung sash wooden framed fenestration

906 Monroe Street

Constructed in 1898, the structure at 906 Monroe Street is an example of the Stick/Eastlake Victorian style. The historic character-defining features of the structure include:

1. The steeply pitched hipped roof with asymmetrical cross-gables
2. The narrow and enclosed eaves with boxed rafters
3. The half-length raised front porch supported by turned spindle-work columns.
4. The elaborated bay window along Homestead Road
5. Turned spindle-work brackets and detailing at corners and below the eaves.

1341 Homestead Road

Constructed circa 1920, the structure at 1341 Homestead Road is a modest example of the Spanish Colonial Revival Style. The historic character-defining features of the structure include:

1. The low horizontal profile
2. The shallow-pitched side-gabled roof surfaced with Spanish roof tiles
3. The asymmetrical front facade with large arched window.
4. The small, centrally placed entry porch.
5. The decorative circular vents below the gables
6. The stucco wall cladding

Evaluation of Significance

National Register Significance

The National Register of Historic Places was first established in 1966, with major revisions in 1976. The register is set forth in 36 CFR 60 which establishes the responsibilities of the State Historic Preservation Officers (SHPO), standards for their staffs and review boards, and describes the statewide survey and planning process for historic preservation. Within this regulation guidelines are set forth concerning the National Register of Historic Places (36 CFR 60.6). In addition, further regulations are found in 36 CFR 63-66, 800, and Bulletin 15 which define procedures for determination of eligibility, identification of historic properties, recovery, reporting, and protection procedures. The National Register of Historic Places was established to recognize resources associated with the accomplishments of all peoples who have contributed to the country's history and heritage. Guidelines were designed for Federal and State agencies in nominating cultural resources to the National Register. These guidelines are based upon integrity and significance of the resource. Integrity applies to specific items such as location, design, setting, materials, workmanship, feeling, and association. Quality of significance in American history, architecture, archaeology, engineering and culture is present in resources that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet at least one of the following criteria:

- a. that are associated with events that have made a significant contribution to broad patterns of our history;
- b. that are associated with the lives of persons significant in our past;
- c. that embody distinctive characteristics of type, period, or method of construction, or that represent the work of master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
 1. that have yielded, or are likely to yield, information important in prehistory or history.

Integrity is defined in Bulletin 15: How to Apply the National Register Criteria for Evaluation, (U.S. Department of the Interior, National Park Service 1982) as:

the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic or prehistoric period. If a property retains the physical characteristics it possessed in the past then it has the capacity to convey association with historical patterns or persons, architectural or engineering design and technology, or information about a culture or peoples.

There are also seven aspects of integrity which are used. These aspects are:

1. location
2. design
3. setting
4. materials
5. workmanship
6. feeling
7. association

None of the structures within the subject area are currently listed in the National Register of Historic Places, in addition, none appear potentially eligible for listing in this register.

930 Monroe Street

The structure at 930 Monroe Street is not associated with events that have made a significant contribution to the broad patterns of history (NRHP Criterion A): the structure is not associated with persons of local, state, or national historic significance, thus the structure does not appear to be eligible for inclusion in the National Register under association with significant persons (NRHP Criterion B). The home is a good example of the Dutch Colonial Revival style of architecture, however it does not appear to be a significant enough example to be eligible for listing under NRHP Criterion C. The structure is not likely to yield significant historic information and thus is not potentially eligible for inclusion under NRHP Criterion D.

906 Monroe Street

The structure at 906 Monroe Street is not associated with events that have made a significant contribution to the broad patterns of history (NRHP Criterion A): the structure is not associated with persons of local, state, or national historic significance, thus the structure does not appear to be eligible for inclusion in the National Register under association with significant persons (NRHP Criterion B). The home is a good example of the Stick/Eastlake Victorian style of architecture, however it does not appear to be a significant enough example to be eligible for listing under NRHP Criterion C. The structure is not likely to yield significant historic information and thus is not potentially eligible for inclusion under NRHP Criterion D.

1341 Homestead Road

The structure at 1341 Homestead Road is not associated with events that have made a significant contribution to the broad patterns of history (NRHP Criterion A): the structure is not associated with persons of local, state, or national historic significance, thus the structure does not appear to be eligible for inclusion in the National Register under association with significant persons (NRHP Criterion B). The home is a modest example of the Spanish Colonial Revival style of architecture, however it does not appear to be a significant enough example to be eligible for listing under NRHP Criterion C. The structure is not likely to yield significant historic information and thus is not potentially eligible for inclusion under NRHP Criterion D.

California Register Significance

A cultural resource is considered "significant" if it qualifies as eligible for listing in the California Register of Historic Resources (CRHR). Properties that are eligible for listing in the CRHR must meet one or more of the following criteria:

- Association with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Association with the lives of persons important to local, California, or national history;
3. Embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master, or possessing high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

A property may be automatically listed in the CRHR if it is formally determined eligible for the National Register of Historic Places. Properties that are formally determined eligible for the NRHP are those that are designated as such through one of the federal preservation programs administered by the California Office of Historic Preservation (i.e., the National Register, Tax Certification, and Section 106 review of federal undertakings).

The CRHR interprets the integrity of a cultural resource based upon its physical authenticity. An historic cultural resource must retain its historic character or appearance and thus be recognizable as an historic resource. Integrity is evaluated by examining the subject's location, design, setting, materials, workmanship, feeling, and association. If the subject has retained these qualities, it may be said to have integrity. It is possible that a cultural resource may not retain sufficient integrity to be listed in the National Register of Historic Places yet still be eligible for listing in the CRHR. If a cultural resource retains the potential to convey significant historical/scientific data, it may be said to retain sufficient integrity for potential listing in the CRHR.

930 Monroe Street

The structure at 930 Monroe Street is not currently listed on the California Register of Historical Resources. In addition, the structure does not appear to qualify as potentially eligible under any of the criteria listed above. The home is not associated with any known significant historical events, thus it does not appear to qualify as potentially eligible under criterion 1. No historically significant persons appear to have been associated with the property, thus it does not appear to qualify as potentially eligible under criterion 2. Although the home is an example of the Dutch Colonial Revival style, is not an exceptional or unusual example of this style. Thus it does not appear to qualify as potentially eligible under criterion 3. In addition, the structure does not appear to have the potential to yield significant historical information, and thus does not appear eligible under criterion 4.

906 Monroe Street

The structure at 906 Monroe Street is not currently listed on the California Register of Historical Resources. However, it does appear to qualify as potentially eligible for inclusion in this Register. The home is not associated with any known significant historical events, thus it does not appear to qualify as potentially eligible under criterion 1. No historically significant persons appear to have been associated with the property, thus it does not appear to qualify as potentially eligible under criterion 2. The home is a good example of the Stick/Eastlake Victorian style of architecture. Thus it appears to qualify as potentially eligible under criterion 3. In addition, the structure does not appear to have the potential to yield significant historical information, and thus does not appear eligible under criterion 4.

Thus the structure at 906 Monroe Street is potentially eligible for inclusion in the CRHR under criteria 3.

1341 Homestead Road

The structure at 1341 Homestead Road is not currently listed on the California Register of Historical Resources. In addition, the structure does not appear to qualify as potentially eligible under any of the criteria listed above. The home is not associated with any known significant historical events, thus it does not appear to qualify as potentially eligible under criterion 1. No historically significant persons appear to have been associated with the property, thus it does not appear to qualify as potentially eligible under criterion 2. Although the home is a modest example of the Spanish Colonial Revival style, is not an exceptional or unusual example of this style. Thus it does not appear to qualify as potentially eligible under criterion 3. In addition, the structure does not appear to have the potential to yield significant historical information, and thus does not appear eligible under criterion 4.

City of Santa Clara Historic Preservation and Resource Inventory

The Criteria for Local Significance were adopted on April 20, 2004, by the City of Santa Clara City Council.

Qualified Historic Resource

Any building, site, or property in the City that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archeological significance is potentially eligible.

Criterion for Historical or Cultural Significance

To be historically or culturally significant, a property must meet at least one of the following criterion:

- The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation.
- The property is associated with a historical event.
- The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community.

- The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
- A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
- A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting.

Criterion for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.
5. The property has a visual symbolic meaning or appeal for the community.
6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly.
7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

930 Monroe Street

The property at 930 Monroe Street is currently listed in the City of Santa Clara Historic Preservation and Resource Inventory. Based upon the results of this evaluation, the residence appears to meet the criteria for Historical and Cultural Significance due to its association with broad patterns of residential development within the City of Santa Clara. It also appears to meet criteria for Architectural Significance including Criterion 1 as an example of early 20th Century Colonial Revival architecture as well as Criterion 7; its cross-gambrel roof is an uncommon feature of this style of architecture. Gambrel roofs are present in only approximately 10% of colonial revival homes, forming a sub-type known as Dutch Colonial Revival. The cross-gambrel roof configuration was a popular pattern book design from approximately 1905 to 1915 (McAlester 1997), but is rare within the local context.

906 Monroe Street

The property at 906 Monroe Street is currently listed in the City of Santa Clara Historic Preservation and Resource Inventory. Based upon the results of this evaluation, the residence appears to meet the criteria for Historical and Cultural Significance due to its association with broad patterns of residential development within the City of Santa Clara. It also appears to meet criteria for Architectural Significance including Criterion 1 as an example of late 19th Century Stick/Eastlake Victorian architecture.

1341 Homestead Road

The property at 1341 Homestead Road is not currently individually listed in the City of Santa Clara Historic Preservation and Resource Inventory. However, as a secondary residence on the same parcel as 906 Monroe Street described above, it contributes to the historic character of the property as a whole, adding an early 20th Century element to the late 19th Century primary residence.

Evaluation of Historic Integrity

930 Monroe Street

The residence at 930 Monroe Street has been somewhat modified since its original construction in 1905. However, these modifications do not constitute a significant impact to the integrity of the resource (i.e. the structure retains sufficient integrity to be eligible for inclusion in the local historic resource inventory under multiple criteria).

The seven aspects of integrity for the property are:

- *Setting:* The structure at 930 Monroe Street retains its setting within the historic Old Quad area of the City of Santa Clara, which retains much of its historic character, including many structures constructed both prior to and roughly contemporaneous with the construction of the residence at 930 Monroe Street, giving it integrity of setting.
- *Location:* The structure remains in its original location as it has not been moved, giving it integrity of location.
- *Design:* Although some modifications have been made to the structure, the residence at 930 Monroe Street retains many of its original character defining Features (as described above), and retains its integrity of workmanship.
- *Materials:* The majority of the modifications and additions to the residence at 930 Monroe Street were constructed with materials similar to those utilized in the original construction. Thus the structure retains its integrity of materials.
- *Feeling:* The modifications made to the structure do not mask its identity as an early 20th Century Dutch Colonial Revival residence, thus the structure retains integrity of feeling.
- *Association:* Despite some modifications, the structure is recognizably the same residence as occupied by its earliest owners and thus retains its integrity of association.

The structure at 930 Monroe Street has undergone minor modifications to its exterior throughout its history. However, as described above, the structure retains its historic integrity under all seven of the aspects of integrity as outlined in National Register Bulletin 15: setting, location, design, materials, feeling, and association.

906 Monroe Street

The residence at 906 Monroe Street has been somewhat modified since its original construction in 1898. However, these modifications do not constitute a significant impact to the integrity of the resource (i.e. the structure retains sufficient integrity to be eligible for inclusion in the local historic resource inventory under multiple criteria) as well as the CRHR.

The seven aspects of integrity for the property are:

- *Setting:* The structure at 906 Monroe Street retains its setting within the historic Old Quad area of the City of Santa Clara, which retains much of its historic character, including many structures constructed both prior to and roughly contemporaneous with the construction of the residence at 906 Monroe Street, giving it integrity of setting.
- *Location:* The structure remains in its original location as it has not been moved, giving it integrity of location.
- *Design:* Although some modifications have been made to the structure, the residence at 906 Monroe Street retains many of its original character defining Features (as described above), and retains its integrity of workmanship.
- *Materials:* The majority of the modifications and additions to the residence at 906 Monroe Street were constructed with materials similar to those utilized in the original construction. Thus the structure retains its integrity of materials.
- *Feeling:* The modifications made to the structure do not mask its identity as a late 19th Century Stick/Eastlake Victorian residence, thus the structure retains integrity of feeling.
- *Association:* Despite some modifications, the structure is recognizably the same residence as occupied by its earliest owners and thus retains its integrity of association.

The structure at 906 Monroe Street has undergone minor modifications to its exterior throughout its history. However, as described above, the structure retains its historic integrity under all seven of the aspects of integrity as outlined in National Register Bulletin 15: setting, location, design, materials, feeling, and association.

1341 Homestead Road

The residence at 1341 Homestead Road has been somewhat modified since its original construction circa 1920. However, these modifications do not constitute a significant impact to the integrity of the resource (i.e. the structure retains sufficient integrity to contribute to the historic character of the subject property).

The seven aspects of integrity for the property are:

- *Setting:* The structure at 1341 Homestead Road retains its setting within the historic Old Quad area of the City of Santa Clara, which retains much of its historic character, including many structures constructed both prior to and roughly contemporaneous with the construction of the residence at 1341 Homestead Road, giving it integrity of setting.
- *Location:* The structure remains in its original location as it has not been moved, giving it integrity of location.
- *Design:* Although some modifications have been made to the structure, the residence at 1341 Homestead Road retains many of its original character defining Features (as described above), and retains its integrity of workmanship.
- *Materials:* The majority of the modifications and additions to the residence at 1341 Homestead Road were constructed with materials similar to those utilized in the original construction. Thus the structure retains its integrity of materials.
- *Feeling:* The modifications made to the structure do not mask its identity as an early 20th Century Spanish Colonial Revival residence, thus the structure retains integrity of feeling.
- *Association:* Despite some modifications, the structure is recognizably the same residence as occupied by its earliest owners and thus retains its integrity of association.

The structure at 1341 Homestead Road has undergone very minor modifications to its exterior throughout its history. However, as described above, the structure retains its historic integrity under all seven of the aspects of integrity as outlined in National Register Bulletin 15: setting, location, design, materials, feeling, and association.

Impacts of the Proposed Project

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first. This is because a different set of standards apply to each approach. For the residential structures at 930 Monroe Street, 906 Monroe Street, and 1341 Homestead Road, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the *Standards for Rehabilitation and Guidelines for Rehabilitation* to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through

alterations and additions.

The ten standards for rehabilitation are:

2. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Project Impacts

The proposed project impacts include:

930 Monroe Street

- Demolition of the existing detached garage (constructed 1971)
- Demolition of the flat-roofed rear addition to the residence (constructed circa 1960)
- Construction of a new two-car garage

906 Monroe Street/1341 Homestead Road

- Demolition of an existing detached modern pre-fab shed structure
- Construction of a new one-car garage
- landscaping in the front area of 1341 Homestead Road

These modifications are presented in Design drawings by Salvatore Caruso Design Corporation dated October 5, 2022.

Mitigation of Project Impacts

930 Monroe Street

The proposed treatment plan for 930 Monroe Street, as state above, is rehabilitation. The proposed project will require no further mitigation as it follows the *Standards*, as outlined below:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

1. The historic usage of the subject structure was as a residence.
2. The proposed project as currently designed retains this usage of the structure
3. These proposed changes are consistent with the standard in question, in that exterior modifications are minor, and are classifiable as minimal changes as the distinctive materials, features, spaces, and spatial relationships of the structure will be retained.
4. Therefore, based on these facts, the project is consistent with this standard.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

1. The character defining features of 930 Monroe Street consist of: the cross-gambrel roof surfaced with wooden shingles, the broad and enclosed eaves with boxed rafters, the full-length raised front porch supported by cylindrical classical columns and a turned spindle balustrade, the asymmetrically placed bay windows, and the double-hung sash wooden framed fenestration
2. The proposed modifications will not remove any of the distinctive materials and features installed during the period of significance (1905–1945).
3. These proposed changes are consistent with the standard in question, in that no distinctive materials or features from the period of significance for the residence at 930 Monroe Street (1905-1945) will be removed.
4. Therefore, based on these facts, the project is consistent with this standard.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

1. The residence at 930 Monroe Street exists as a physical record of its time (period of significance between 1905 and 1945), place (the structure's location within the historic Old Quad area), and use (as a residence) despite minor modifications since its construction in 1905.
2. Based upon the property's appearance and materials and significance during its period of significance, the proposed project modifications do not add conjectural features (features which may or may not have been present on the structure as originally constructed) nor do they create a false sense of historic development.
3. These proposed changes are consistent with the standard in question, in that no conjectural features will be added, and architectural elements from other structures will not be integrated into the design.
4. Therefore, based on these facts, the project is consistent with this standard.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

1. No architectural modifications to the structure appear to have acquired historic significance in their own right.
2. No changes that have acquired historic significance in their own right will be impacted by the current proposed project.
3. These proposed changes are consistent with the standard in question, in that no changes that have acquired historic significance in their own right will be impacted.
4. Therefore, based on these facts, the project is consistent with this standard.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

1. The character defining features of the residence at 930 Monroe Street consist of: the cross-gambrel roof surfaced with wooden shingles, the broad and enclosed eaves with boxed rafters, the full-length raised front porch supported by cylindrical classical columns and a turned spindle balustrade, the asymmetrically placed bay windows, and the double-hung sash wooden framed fenestration
2. The project plans, as currently proposed will not impact these character-defining features.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications do not remove any distinctive materials, features, finishes or construction techniques of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

1. The proposed project will not replace any historic features.
2. These proposed changes are consistent with the standard in question, in that no significant historic features will be replaced. If necessary, replacement of deteriorated features will be with in-kind materials.
4. Therefore, based on these facts, the project is consistent with this standard.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

1. No physical or chemical treatments which may cause damage to historic features are proposed as part of the current project.
2. These proposed changes are consistent with the standard in question, in that no physical or chemical treatments which may cause damage to historic features are proposed as part of the current project. All proposed work will be carried out using materials and chemicals which will not harm the structure or its existing architectural elements.
3. Therefore, based on these facts, the project is consistent with this standard.

8. *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

1. The subject site is not located within an identified Archaeological zone.
2. Thus the project will not impact any known archaeological resources
3. However, if archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Santa Clara staff, and implemented.
4. Therefore, based on these facts, the project is consistent with this standard.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

1. The proposed modifications will have minimal impact on the historic fabric constructed during the period of significance (1905-1945).
2. Additions and modifications to the structure proposed by the current project

include: demolition of a non-significant rear addition which does not contribute to the historic character of the structure, demolition of a detached garage constructed in 1971.

3. These proposed changes are consistent with the standard in question, in that these proposed modifications do not represent a substantial adverse change in the significance of the historical resource, as they do not significantly impact any of the architectural defining features of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

1. The proposed modifications could be removed in the future without impact to the essential form and integrity of the historic property and its environment
2. The project proposes the following additions: construction of a new two-car detached garage.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications could be removed in the future with little or no impact to the character defining features that date within the period of significance (1905-1945).
4. Therefore, based on these facts, the project is consistent with this standard.

906 Monroe Street

The proposed treatment plan for 906 Monroe Street, as state above, is rehabilitation. The proposed project will require no further mitigation as it follows the *Standards*, as outlined below:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

1. The historic usage of the subject structure was as a residence.
2. The proposed project as currently designed retains this usage of the structure
3. These proposed changes are consistent with the standard in question, in that exterior modifications are minor, and are classifiable as minimal changes as the distinctive materials, features, spaces, and spatial relationships of the structure will be retained.
4. Therefore, based on these facts, the project is consistent with this standard.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

1. The character defining features of 906 Monroe Street consist of: The steeply pitched hipped roof with asymmetrical cross-gables, the narrow and enclosed eaves with boxed rafters, the half-length raised front porch supported by turned spindle-work columns, the elaborated bay window along Homestead Road, turned spindle-work brackets and detailing at corners and below the eaves.
2. The proposed modifications will not remove any of the distinctive materials and features installed during the period of significance (1898–1945).
3. These proposed changes are consistent with the standard in question, in that no distinctive materials or features from the period of significance for the residence at 906 Monroe Street (1898-1945) will be removed.
4. Therefore, based on these facts, the project is consistent with this standard.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

1. The residence at 906 Monroe Street exists as a physical record of its time (period of significance between 1898 and 1945), place (the structure's location within the historic Old Quad area), and use (as a residence) despite minor modifications since its construction in 1898.
2. Based upon the property's appearance and materials and significance during its period of significance, the proposed project modifications do not add conjectural features (features which may or may not have been present on the structure as originally constructed) nor do they create a false sense of historic development.
3. These proposed changes are consistent with the standard in question, in that no conjectural features will be added, and architectural elements from other structures will not be integrated into the design.
4. Therefore, based on these facts, the project is consistent with this standard.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

1. No architectural modifications to the structure appear to have acquired historic significance in their own right.
2. No changes that have acquired historic significance in their own right will be impacted by the current proposed project.
3. These proposed changes are consistent with the standard in question, in that no changes that have acquired historic significance in their own right will be impacted.
4. Therefore, based on these facts, the project is consistent with this standard.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

1. The character defining features of the residence at 906 Monroe Street consist of: the steeply pitched hipped roof with asymmetrical cross-gables, the narrow and enclosed eaves with boxed rafters, the half-length raised front porch supported by turned spindle-work columns, the elaborated bay window along Homestead Road, turned spindle-work brackets and detailing at corners and below the eaves.
2. The project plans, as currently proposed will not impact these character-defining features.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications do not remove any distinctive materials, features, finishes or construction techniques of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

1. The proposed project will not replace any historic features.
2. These proposed changes are consistent with the standard in question, in that no significant historic features will be replaced. If necessary, replacement of deteriorated features will be with in-kind materials.
4. Therefore, based on these facts, the project is consistent with this standard.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

1. No physical or chemical treatments which may cause damage to historic features are proposed as part of the current project.
2. These proposed changes are consistent with the standard in question, in that no physical or chemical treatments which may cause damage to historic features are proposed as part of the current project. All proposed work will be carried out using materials and chemicals which will not harm the structure or its existing architectural elements.
3. Therefore, based on these facts, the project is consistent with this standard.

8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

1. The subject site is not located within an identified Archaeological zone.
2. Thus the project will not impact any known archaeological resources
3. However, if archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until

it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Santa Clara staff, and implemented.

4. Therefore, based on these facts, the project is consistent with this standard.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

1. The proposed modifications will have minimal impact on the historic fabric constructed during the period of significance (1898-1945).
2. Additions and modifications to the structure proposed by the current project include: demolition of a non-significant pre-fab shed of recent construction.
3. These proposed changes are consistent with the standard in question, in that these proposed modifications do not represent a substantial adverse change in the significance of the historical resource, as they do not significantly impact any of the architectural defining features of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

1. The proposed modifications could be removed in the future without impact to the essential form and integrity of the historic property and its environment.
2. The project proposes the following additions: construction of a new one-car detached garage.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications could be removed in the future with little or no impact to the character defining features that date within the period of significance (1898-1945).
5. Therefore, based on these facts, the project is consistent with this standard.

1341 Homestead Road

The proposed treatment plan for 1341 Homestead Road as state above, is rehabilitation. The proposed project will require no further mitigation as it follows the *Standards*, as outlined below:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

1. The historic usage of the subject structure was as a residence.
2. The proposed project as currently designed retains this usage of the structure.
3. These proposed changes are consistent with the standard in question, in that exterior modifications are minor, and are classifiable as minimal changes as the distinctive materials, features, spaces, and spatial relationships of the structure will be retained.
4. Therefore, based on these facts, the project is consistent with this standard.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

1. The character defining features of 1341 Homestead Road consist of: the low horizontal profile, the shallow-pitched side-gabled roof surfaced with Spanish roof tiles, the asymmetrical front facade with large arched window, the small, centrally placed entry porch, the decorative circular vents below the gables, the stucco wall cladding.
2. The proposed modifications will not remove any of the distinctive materials and features installed during the period of significance (1920–1945).
3. These proposed changes are consistent with the standard in question, in that, no distinctive materials or features from the period of significance for the residence at 1341 Homestead Road (1920-1945) will be removed.
4. Therefore, based on these facts, the project is consistent with this standard.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

1. The residence at 1341 Homestead Road exists as a physical record of its time (period of significance between 1920 and 1945), place (the structure's location within the historic Old Quad area), and use (as a residence) despite minor modifications since its construction circa 1920.
2. Based upon the property's appearance and materials and significance during its period of significance, the proposed project modifications do not add conjectural features (features which may or may not have been present on the structure as originally constructed) nor do they create a false sense of historic development.

3. These proposed changes are consistent with the standard in question, in that no conjectural features will be added, and architectural elements from other structures will not be integrated into the design.
4. Therefore, based on these facts, the project is consistent with this standard.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

1. No architectural modifications to the structure appear to have acquired historic significance in their own right.
2. No changes that have acquired historic significance in their own right will be impacted by the current proposed project.
3. These proposed changes are consistent with the standard in question, in that no changes that have acquired historic significance in their own right will be impacted.
4. Therefore, based on these facts, the project is consistent with this standard.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

1. The character defining features of the residence at 1341 Homestead Road consist of: the low horizontal profile, the shallow-pitched side-gabled roof surfaced with Spanish roof tiles, the asymmetrical front facade with large arched window, the small, centrally placed entry porch, the decorative circular vents below the gables, the stucco wall cladding
2. The project plans, as currently proposed will not impact these character-defining features.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications do not remove any distinctive materials, features, finishes or construction techniques of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

1. The proposed project will not replace any historic features.
2. These proposed changes are consistent with the standard in question, in that no significant historic features will be replaced. If necessary, replacement of deteriorated features will be with in-kind materials.
4. Therefore, based on these facts, the project is consistent with this standard.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

1. No physical or chemical treatments which may cause damage to historic features are proposed as part of the current project.
2. These proposed changes are consistent with the standard in question, in that no physical or chemical treatments which may cause damage to historic features are proposed as part of the current project. All proposed work will be carried out using materials and chemicals which will not harm the structure or its existing architectural elements.
3. Therefore, based on these facts, the project is consistent with this standard.

8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

1. The subject site is not located within an identified Archaeological zone.
2. Thus the project will not impact any known archaeological resources
3. However, if archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Santa Clara staff, and implemented.
4. Therefore, based on these facts, the project is consistent with this standard.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

1. The proposed modifications will have minimal impact on the historic fabric constructed during the period of significance (1920-1945).
2. Additions and modifications to the structure proposed by the current project include: demolition of a non-significant pre-fab shed of recent construction and addition of minor landscaping along the front facade of the residence.
3. These proposed changes are consistent with the standard in question, in that these proposed modifications do not represent a substantial adverse change in the significance of the historical resource, as they do not significantly impact any of the architectural defining features of the residence.
4. Therefore, based on these facts, the project is consistent with this standard.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

1. The proposed modifications could be removed in the future without impact to the essential form and integrity of the historic property and its environment
2. The project proposes the following additions: construction of a new one-car detached garage and addition of minor landscaping along the front facade.
3. These proposed changes are consistent with the standard in question, in that the proposed modifications could be removed in the future with little or no impact to the character defining features that date within the period of significance (1920-1945).
6. Therefore, based on these facts, the project is consistent with this standard.

Thus, as described above, the proposed project as currently designed is consistent with the Secretary of the Interior's Standards for Rehabilitation, and no further recommendations are being made.

Sincerely,

A handwritten signature in cursive script, appearing to read "Robert Cartier". The signature is written in black ink on a white background.

**Robert Cartier, Ph.D.
Principal Investigator
RC/dj**

Appendix A: Bibliography

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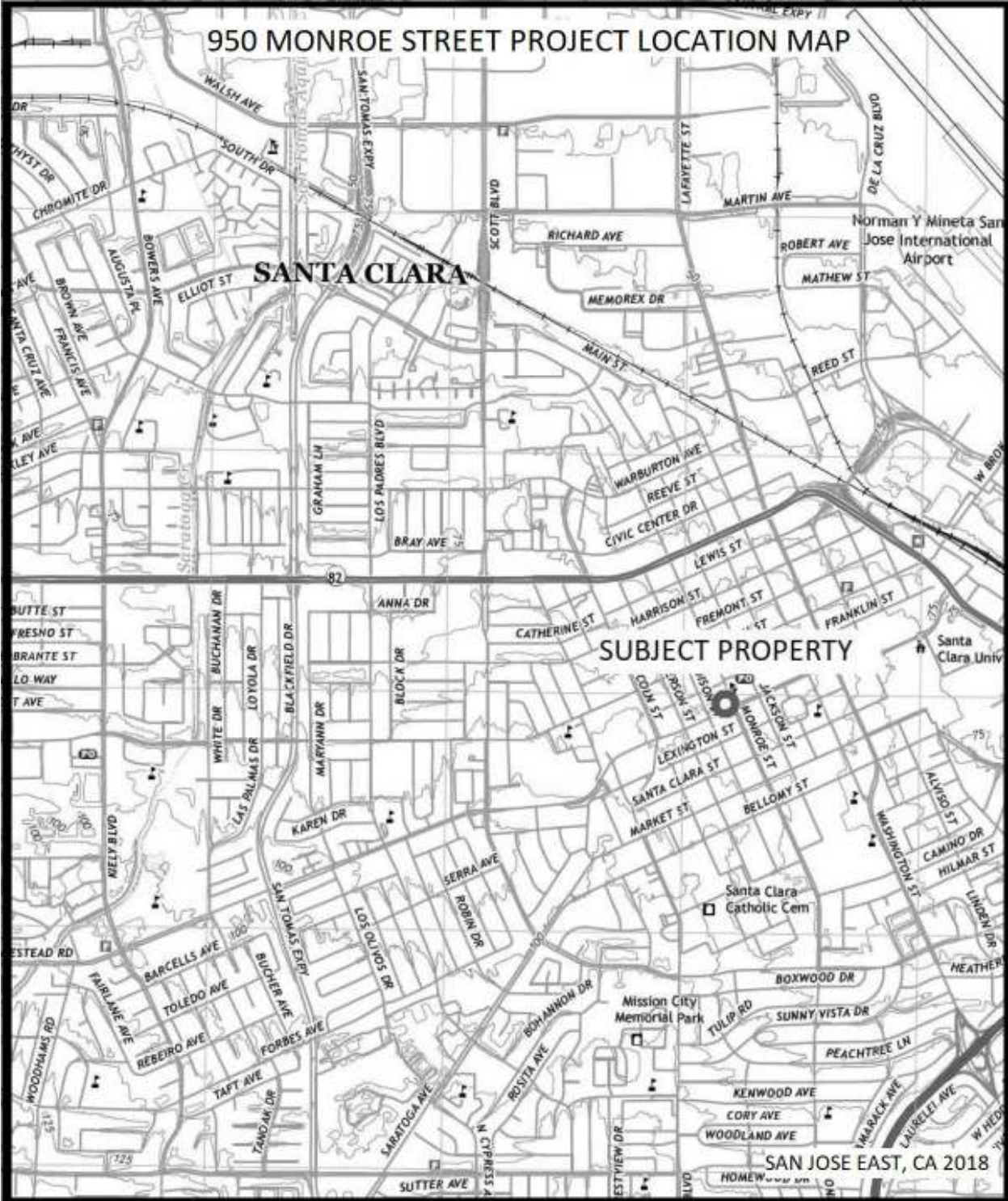
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**APPENDIX B:
PROJECT MAPS**

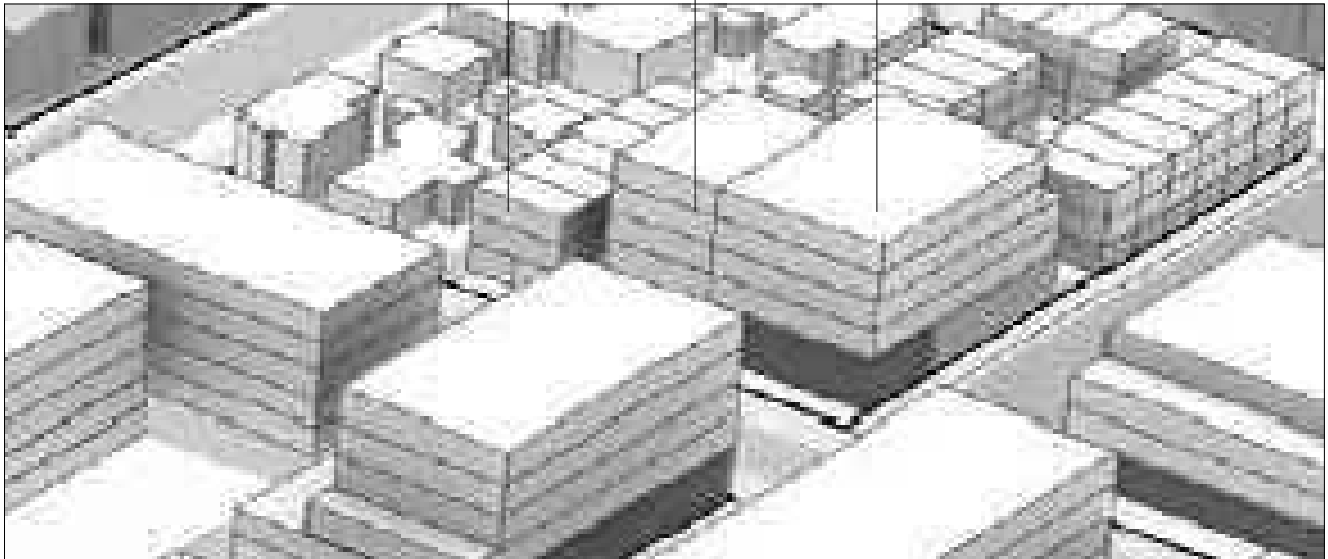


APPENDIX C:
PROPOSED PROJECT PLANS
SALVATORE CARUSO DESIGN CORPORATION
OCTOBER 5, 2022



VIEW FROM MONROE ST

3 STORY 4 STORY 6 STORY
 3 STORY 6 STORY 6 STORY



URBAN FORM FRAMEWORK
 AS SHOWN ON PAGE 45 OF THE SANTA CLARA DOWNTOWN
 PRECISE PLAN

PROJECT :

SANTA CLARA
 DOWNTOWN
3015 CARROLL RD. MONROE ST
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT OR DESIGNER.
3. COPYRIGHT © SALVATORE CARUSO DESIGN CORP.

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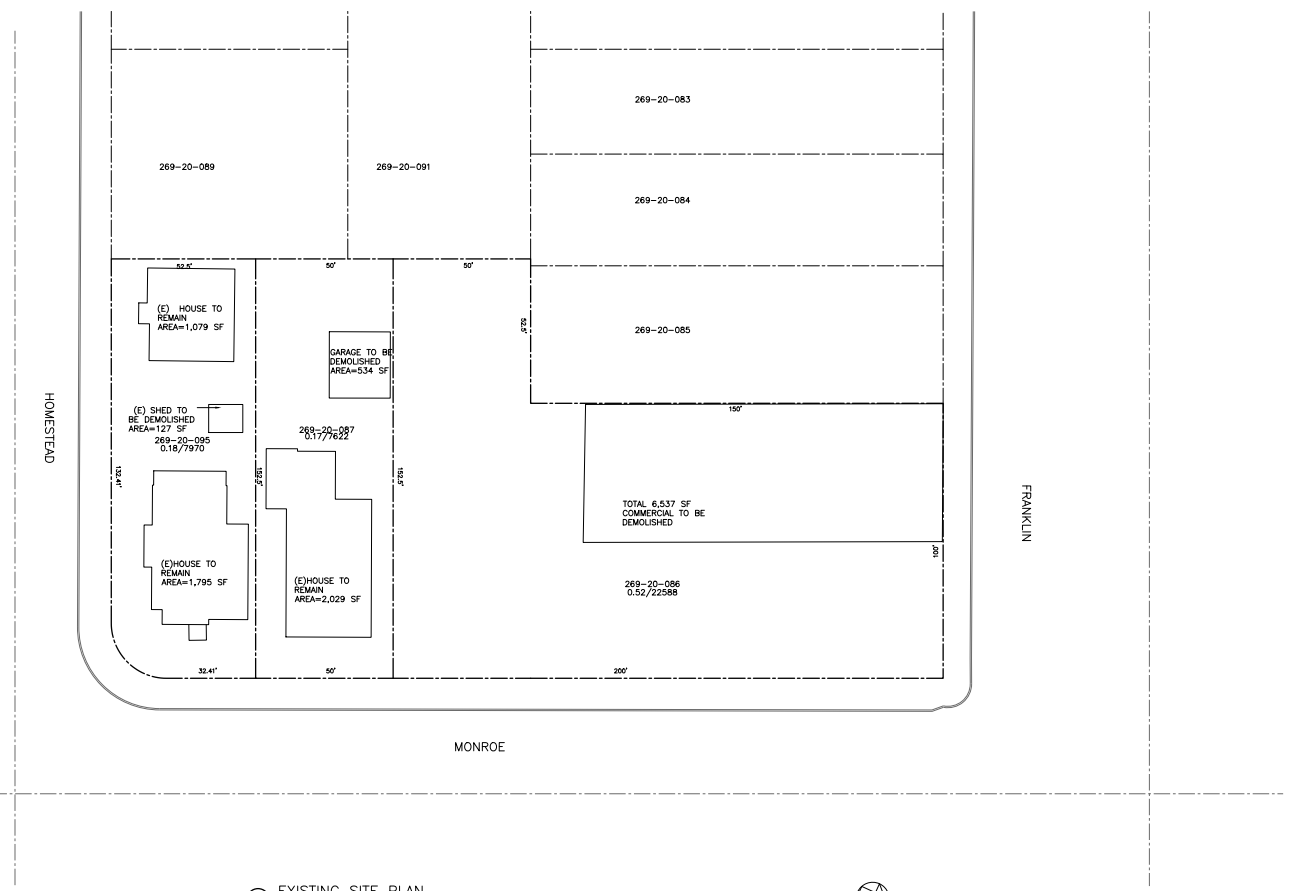
INSPIRATION
 IMAGES

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	10/29/2022
SCALE:	1/16"=1'-0"
JOB No.:	19.10.07
SHEET No.:	

PROJECT:
**SANTA CLARA
 DOWNTOWN**
1650/1652 MONROE ST
 SANTA CLARA, CA 95050

GENERAL NOTES:
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 2. THIS SHEET IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 3. APPROVED BY ARCHITECT: SALVATORE CARUSO



① EXISTING SITE PLAN SCALE: 1/16"=1'-0"

SHEET NAME:
**EXISTING
 SITE PLAN**

REVISIONS	BY

DRAWN:
 CHECKED: 10/20/2022
 DATE: 1/16"=1'-0"
 SCALE: 10.10.07
 SHEET No.:

PROJECT :

SANTA CLARA
 DOWNTOWN
 945 ORANGE CROWN MONROE ST
 SANTA CLARA, CA 95050

GENERAL NOTES :

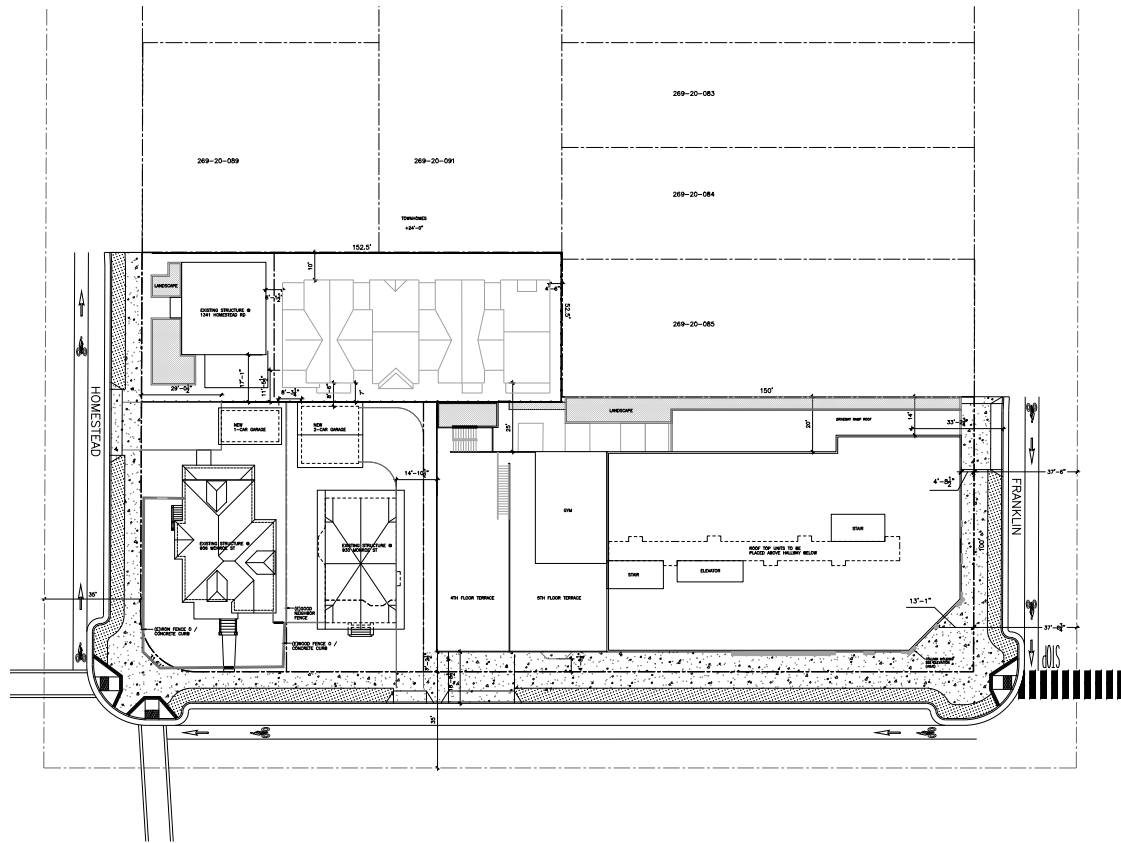
1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
3. THIS SHEET IS PART OF THE WORK OF THE ARCHITECT AND IS NOT TO BE USED IN ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
4. APPROVED BY ARCHITECT SALVATORE CARUSO

SHEET NAME :

PROPOSED
 SITE PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	10/29/2022
SCALE:	1/8"=1'-0"
JOB No.:	19-10-07
SHEET No.:	



1 PROPOSED SITE PLAN

SCALE : 1/8"=1'-0"



HABS _____ HAER _____ NR _____ SHL _____ Loc _____
 UTM: A 10/593300/4133760 B _____
 C _____ D _____

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

1. Common name: _____
2. Historic name: _____
3. Street or rural address: 1341 Homestead Rd.
906 Monroe Street
- City Santa Clara Zip 95050 County Santa Clara
4. Parcel number: 269-21-30 269-21-084
5. Present Owner: Elaine Gift Address: 3881 Kensington
City Santa Clara Zip 95051 Ownership is: Public _____ Private X
6. Present Use: Residential Original use: Single Family Residential

DESCRIPTION

7a. Architectural style: Stick/Eastlake Victorian'

7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition: 906 Monroe Street is a 1½ story wooden residence designed on a rectangular plan in an eastlake design. The steeply hipped roof is punctuated by 2 off set gables and a front facing, hipped dormer. The roof is sheathed in asphalt shingles and further accented by a tall, brick chimney. The roof extends in a shed form over an entry porch. The residence is sheathed in wide ship lap and patterned shingles. Plain wooden facing has been added to the rear. The large plain frieze and corner boards accent the stick detailing of the residence, while the profusion of spindles, pendants, carved brackets and decorated turn posts emphasize the eastlake qualities in the structure's design. The side gable covers an angled bay, while the front facing gable covers a squared bay. The southeast corner of the building has been cut out and ornamented with a spindle screen, large brackets and pendent to repeat the forms of the angled bay. Fenestration is simple, rectangular in shape and double hung. The paired square windows under the side gable are of casement design. The front stair is composed of 7 wooden steps, 5 carved turnposts, simple railing and twin ornamented newel posts. A smaller wooden stair is also found on the south facing side. The enclosed rear porch and side stair do not appear on the earliest Sanborn maps with the former being an obvious alteration and the latter being a well executed earlier modification.

Construction date: latter being
 Estimated 1890 Factual _____

9. Architect Unk.

10. Builder Unk.

11. Approx. property size (in feet)
 Frontage 52 Depth 152
 or approx. acreage _____

12. Date(s) of enclosed photograph(s)
April 24, 1979



For benefit of the City of Santa Clara. Recorded fees of charge under Section 6109 of the Government Code.

13. Condition: Excellent Good Fair Deteriorated No longer in existence For benefit of the City of Santa Clara. Recorded free of charge under Section 6109 of the Government Code.
14. Alterations: Enclosed rear porch, side entry and stairs
15. Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up
Residential Industrial Commercial Other: _____
16. Threats to site: None known Private development Zoning Vandalism
Public Works project Other: Traffic
17. Is the structure: On its original site? Moved? Unknown?
18. Related features: _____

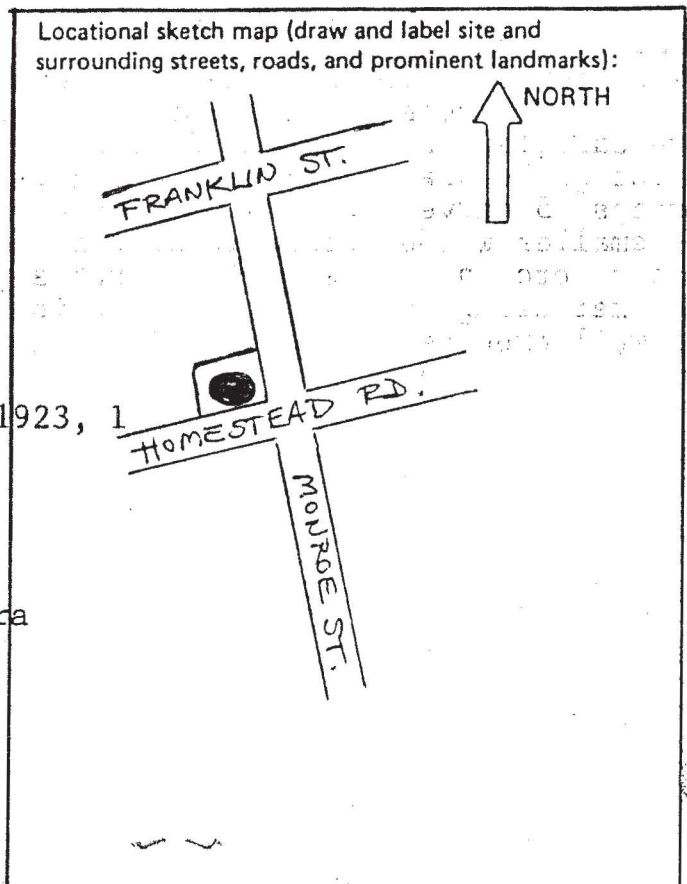
SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)
The site is significant due primarily to its architectural style. The rich ornamentation of both stick and eastlake details, which are very well maintained in the residence, provides the old quad area of Santa Clara with one of its major late Victorian gems. The residence appears virtually identical in plan to the structure as shown in the 1901 Sanborn map. Two alterations exist from the turn-of-the century house plan. The rear porch is not enclosed as it is today and there is no side entry and stair in the 1901 plan as exists in today's structure. The earliest directory consulted lists the house owned and occupied by Mrs. Dora Brock from 1912 to 1922. From 1923 through 1945 W.E. DeSoto and later his widow, Louise, owned and occupied the residence. Mrs. DeSoto was a glazier. The house changed hands often during the late '40's and '50's. The last directory consulted lists the occupant as Gallagher Kieran in 1961.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture Arts & Leisure _____
Economic/Industrial _____ Exploration/Settlement _____
Government _____ Military _____
Religion _____ Social/Education _____

21. Sources (List books, documents, surveys, personal interviews and their dates). Sanborn Insurance Map 1901, 1915 and 1939.
Polk's City Directories 1912, 1922, 1923, 1923, 1944, 1945, 1947, 1949, 1959, and 1961.

22. Date form prepared Nov. 13, 1980
By (name) Dubach/Zavlaris of URC
Organization for the City of Santa Clara
Address: 1500 Warburton
City Santa Clara Zip 95050
Phone: (408) 984-3111



For Benefit of the City of
Santa Clara. Recorded Area
of charge under Section 6107
of the Government Code.

THE CITY OF SANTA CLARA CALIFORNIA

OFFICE OF THE
CITY CLERK/CITY AUDITOR

CITY HALL
1500 WARBURTON AVE.
SANTA CLARA, CA 95050
(408) 984-3140
FAX (408) 241-6771

EXTRACT OF CITY COUNCIL MINUTES OF THE CITY OF SANTA CLARA FOR MEETING HELD ON JUNE 23, 1998

....."MOTION was made by Arno, seconded and unanimously carried (Diridon and Gillmor absent), that, per the Director of Planning and Inspection (6/9/98), the Council **approve** and authorize execution of Historic Property Preservation Agreements (Mills Act) with Michael Kohl and Mary Denise Martin for the property located at 864 Madison Street and with Michael Kohl for the property located at 906 Monroe Street which will qualify the properties for tax incentives."

I, the undersigned City Clerk of the City of Santa Clara, do hereby certify that the above and foregoing is a true and correct copy of an Excerpt of the Minutes of a meeting of the City Council of the City of Santa Clara, held on

June 23, 1998
J. L. Boccia
City Clerk

kohl

PHOTOGRAPHY & VIDEO

For benefit of the City of
Santa Clara. Recorded book
of charge under Section 6101
of the Government Code.

APN

269. 20. 095

6/8/98

Dear Planning Dept.

Thanks for your help re the Mills
Act on my studio and rental at 906
Monroe and 1341 Homestead. - Santa Clara, Ca.

These are my Rehab goals for 906 Monroe St
E 1341 Homestead.

1999 - Landscaping & Irrigation

2000-2001 Fencing

2002-2004 - Structural & new foundation 906

2004-2005 " " " 1341

2005-2006 - PAINT 906 EXTERIOR

2006-2007 - " 1341 EXIT

2007-2008 PAINT INTERIOR of BOTH

2009-~~20~~2010 Review & plan the next 10 years

This Mills Act will help meet my goals
However a Refi on a big second mortgage
needs to be obtained ~~to~~ in order to complete
the planned schedule - above.

Sincerely,
Michael Kohl

kohl

PHOTOGRAPHY & VIDEO

Dear Gloria,

7-17-07

Please note the following information for your records re money spent on 2006^{&07} projects and money projected for 2008, for my Mills Act:

742 Jefferson - Home -

2006 - continue to pay for Roof done in 2005

2007 - " "

07-08 projected new fence bordering 5 different neighbors

906 - Monroe St. -

2006 - continue to pay for paint (EXT & INT.)

2007 > getting bids for Heating & A.C.

2008

There is only 1 Floor Furnace

2008 - New Foundation projected

1341 Homestead

- 2006 - continue to pay for PAINT (EXT & INT.)

2007 - \$1000. for Floor Furnace Repair

2008 - ??? possible NEW FOUNDATION & ENLARGED BASEMENT

Thanks for the City's help.

Respectfully,

Michael Kohl

Archaeological Resource Management

*Robert R. Cartier, Ph.D.
496 North 5th Street
San Jose, CA 95112
Telephone (408) 295-1373
Fax (408) 286-2040
email: armcartier@netscape.net*

Attn: Mr. Randy Lamb
Lamb Partners, LLC
535 Middlefield Road, Suite 190
Menlo Park, CA 94025
C/O: Salvatore Caruso Design Corporation

June 24, 2020

RE: HISTORIC EVALUATION OF THE RESIDENCE AT 930 MONROE STREET IN
THE CITY OF SANTA CLARA

Dear Mr. Lamb;

As per your request our firm is submitting the enclosed historical evaluation of the property at 930 Monroe Street in the City of Santa Clara. Based upon the requirements of the City of Santa Clara, a methodology was designed which included the following services:

- a visual description of the structure including general appearance, condition, and architectural style
- photography of the structure
- documentation of property ownership history
- an evaluation of the structure using the criteria of the City of Santa Clara, the National Register of Historic Places, and the California Register
- State Historic Resources Evaluation forms (DPR) 523 for the structure

Based upon the results of this investigation, it was determined that the property at 930 Monroe Street is not currently listed on the California Register of Historic Resources (CRHR) or the National Register of Historic Places (NRHP), and does not appear eligible for listing in these registers. However, the structure is listed in the City of Santa Clara Historic Preservation and Resource Inventory. The structure appears to retain its eligibility for listing in this register, as an example of the uncommon Dutch Colonial Revival style of architecture. This eligibility is based upon the structural characteristics of the home, and is not closely tied to the specific location of the residence. This evaluation was completed during the COVID-19 related Shelter in Place Order for the County of Santa Clara. Certain archival sources were unavailable at this time. However, available sources were sufficient to determine that the subject property appears to meet multiple local criteria.

The proposed project calls for relocation of the existing residences at 930 and 906 Monroe Street and demolition of the adjacent retail plaza (906 Monroe and the retail plaza were not evaluated as part of this report). Proposed new construction on the properties consists of a 61 unit housing project. Thus it is recommended that the residence be relocated to a new lot within the City of Santa Clara in a neighborhood context consistent with the general chronology of the home.

Sincerely,

A handwritten signature in black ink that reads "Robert Cartier". The signature is written in a cursive style with a large, prominent initial "R".

Robert Cartier, Ph.D.
Principal Investigator

RC/dj

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 27 Resource Name or # 930 Monroe Street

P1. Other Identifier: Clarence Bjorlie House

P2. Location: Not for Publication Unrestricted *a. County Santa Clara
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Jose West, CA Date: 2018 T ; R ; 1/4 of 1/4 of Sec ; **BM**

c. Address: 930 Monroe Street City: Santa Clara, CA Zip: 95050

d. UTM: 10S 5 93 177mE/41 33 972mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN: 269-20-087

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)
The structure at 930 Monroe Street is a two story Dutch Colonial Revival style residence in good condition. The original structure is roughly rectangular, with a somewhat offset square addition to the rear. A cross-gambrel roof is the most notable aspect of the architecture. A shed roof covers the rear addition. The roof is surfaced with wooden shingles. The eaves are broad and enclosed, with boxed rafters. Exterior walls are surfaced with narrow horizontal siding, painted red with white trim. A raised porch extends the full length of the front façade, supported by cylindrical classical columns and a turned spindle balustrade.

See Continuation Sheet, Page 4

*P3b. Resource Attributes: (List attributes and codes.) HP03: SFR, HP04: Ancillary structures

*P4. Resources Present: Building Structure Object District Element of District Site Other

P5a. Photo or drawing (Photo required for buildings, structures, objects.)



*P5b. Description of Photo: (View, date, accession #)
View of the front facade of 930 Monroe Street

*P6. Date Constructed/Age and Sources

Historic Prehistoric Both
Constructed 1905 based on County of Santa Clara Appraiser's data.

*P7. Owner and Address:

Lamb Partners, LLC
535 Middlefield Road, Suite 190
Menlo Park, CA 94025

*P8. Recorded by:

Robert Cartier
Archaeological Resource Management
496 North 5th Street
San Jose, CA 95112

*P9. Date Recorded: June 24, 2020

*P10. Survey Type: Intensive

*P11. Report Citation: (Cite Survey Report and other sources, or enter "none.")

none

* Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record
 Photographic Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 27

*NRHP Status Code _____

*Resource Name or # (Assigned by recorder) 930 Monroe Street

B1. Historic Name: Dora T. Gibson Residence

B2. Common Name: 930 Monroe Street

B3. Original Use: residence B4. Present Use: residence

*B5. Architectural Style: Dutch Colonial Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

Based upon visual evaluation and available documentation, the residence at 930 Monroe Street was constructed in 1905. Building permits for the property include BP# 1943-1261 from May 20, 1943. This permit is listed as "erect family room" and appears to refer to internal modifications. BP# 1959-17493 (January 30, 1959) is listed as remodeling and construction of the garage (this original detached garage burned down in 1970), the rear addition may also have been erected around this time. BP# 1960-19422 (February 23, 1960) appears to relate to the same project as above. BP# 1970-1125 (November 1970) was for reconstruction of the garage. BP#1974-42539 (May 17, 1974) was for alterations and remodeling to the home. BP# 1998-119730 (October 5, 1998) is described as a kitchen and half-bath remodel. BP#2003-05826 (July 7, 2003) was for installation of a doughboy pool and spa.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

Also present on the property is a detached garage constructed in 1971 based upon County of Santa Clara Appraiser's property records. This structure features a front-gabled roof surfaced with composition shingles. The exterior walls are surfaced with stucco, painted light blue with a beach theme mural.

B9a. Architect: unknown b. Builder: MacMillian (1943 addition)

*B10. Significance: Theme architecture and shelter Area Santa Clara, CA

Period of Significance Early 20th C. Property Type private residential Applicable Criteria N/A

The subject property makes up a portion of Lot 3, Block 1 South, Range 4 West as shown on the "Map of Lots and Sublots of Santa Clara, Santa Clara County, California" from July of 1866 (Volume B of Maps, Page 103, see Page 26 of this report). Based upon County of Santa Clara Appraiser's property records, the subject structure was constructed in 1905. The earliest known resident of the home was Dora T. Gibson (widow of Marvin Gibson), who is listed at this address in 1907 (Polk Directory). Dora was listed at 930 Monroe Street in 1920. By 1940, the property was the home of Clarence and Marjorie Bjorlie, who is listed at this address in the U.S. Census of that year.

See Continuation Sheet, Page 4

B11. Additional Resource Attributes: (List attributes and codes) N/A

*B12. References:

See continuation sheet, Page 7.

B13. Remarks:

*B14. Evaluator: Robert R. Cartier

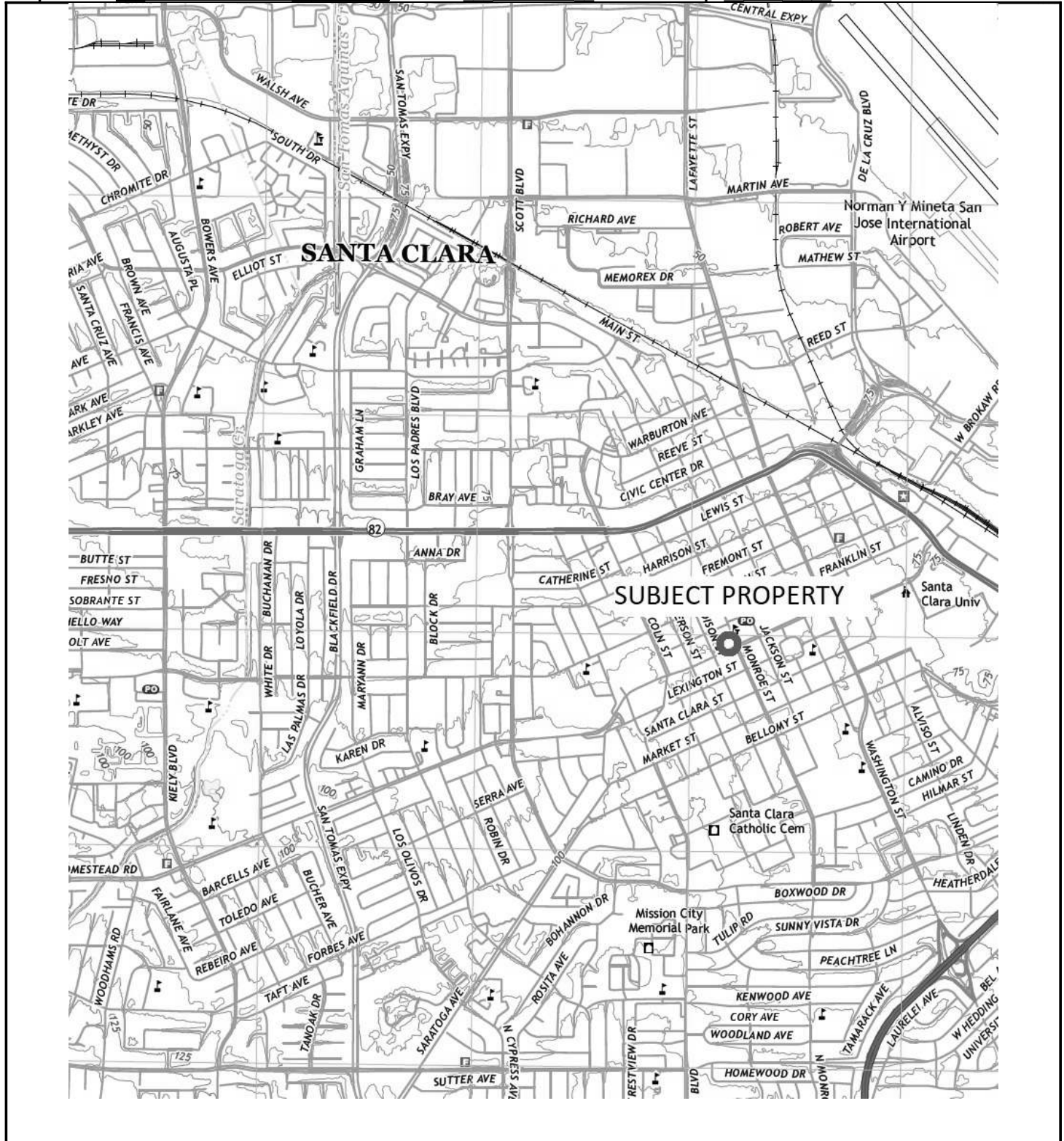
*Date of Evaluation: 6/24/2020

(This space reserved for official comments.)

LOCATION MAP

Page 3 of 27 Resource Name or # (Assigned by recorder) 930 Monroe Street

*Map Name: San Jose East, CA *Scale: 7.5 minute *Date of Map: 2018



CONTINUATION SHEET

Page 4 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street

*Recorded by Archaeological Resource Management Date 06/24/20 X Continuation Update

Continued from P3a:

The front and southern facades also feature asymmetrically placed window bays. Fenestration throughout the structure is primarily wooden framed in a double-hung sash configuration. The interior of the home is in good condition, although heavily modified from its original form. The living room includes a set of built-in cabinets which appear original. The majority of other fixtures and appliances are modern.

Continued from B10:

Based on City of Santa Clara Building Permit #1959-17493, by 1959 the home was owned by Donald R. Von Raesfeld Jr., and Jocylene M. Von Raesfeld. Donald Von Raesfeld, Jr. is the son of Donald Von Rasfeld (Senior), who served as City Manager of Santa Clara from 1960 to 1985, and a City Council member from 1988 to 1992. Donald Jr. was a long time driver for the Valley Transit Authority (VTA). He also served on the Board of Directors and as Membership Chairman of the San Jose Chapter of the Experimental Aircraft Association (EAA). The Von Raesfelds' owned the property until its recent purchase by Lamb Partners, LLC.

City of Santa Clara Criteria for Local Significance

The Criteria for Local Significance were adopted on April 20, 2004, by the City of Santa Clara City Council.

Qualified Historic Resource

Any building, site, or property in the City that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archeological significance is potentially eligible.

Criterion for Historical or Cultural Significance

To be historically or culturally significant, a property must meet at least one of the following criterion:

- The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation.
- The property is associated with a historical event.
- The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community.
- The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
- A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
- A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting.

Criterion for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.
5. The property has a visual symbolic meaning or appeal for the community.
6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly.
7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

CONTINUATION SHEET

Page 5 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street

*Recorded by Archaeological Resource Management Date 06/24/20 X Continuation Update

The property at 930 Monroe Street is currently listed in the City of Santa Clara Historic Preservation and Resource Inventory. Based upon the results of this evaluation, the residence appears to meet the criteria for Historical and Cultural Significance due to its association with broad patterns of residential development within the City of Santa Clara. It also appears to meet criteria for Architectural Significance including Criterion 1 as an example of early 20th Century Colonial Revival architecture as well as Criterion 7; its cross-gambrel roof is an uncommon feature of this style of architecture. Gambrel roofs are present in only approximately 10% of colonial revival homes, forming a sub-type known as Dutch Colonial Revival. The cross-gambrel roof configuration was a popular pattern book design from approximately 1905 to 1915 (McAlester 1997), but is rare within the local context.

California Register of Historic Resources Criteria

A cultural resource is considered "significant" if it qualifies as eligible for listing in the California Register of Historic Resources (CRHR). Properties that are eligible for listing in the CRHR must meet one or more of the following criteria:

1. Association with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Association with the lives of persons important to local, California, or national history;
3. Embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master, or possessing high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

A property may be automatically listed in the CRHR if it is formally determined eligible for the National Register of Historic Places. Properties that are formally determined eligible for the NRHP are those that are designated as such through one of the federal preservation programs administered by the California Office of Historic Preservation (i.e., the National Register, Tax Certification, and Section 106 review of federal undertakings).

The CRHR interprets the integrity of a cultural resource based upon its physical authenticity. An historic cultural resource must retain its historic character or appearance and thus be recognizable as an historic resource. Integrity is evaluated by examining the subject's location, design, setting, materials, workmanship, feeling, and association. If the subject has retained these qualities, it may be said to have integrity. It is possible that a cultural resource may not retain sufficient integrity to be listed in the National Register of Historic Places yet still be eligible for listing in the CRHR. If a cultural resource retains the potential to convey significant historical/scientific data, it may be said to retain sufficient integrity for potential listing in the CRHR.

The property at 930 Monroe Street is not currently listed on the CRHR. In addition, it does not appear to be potentially eligible for listing in this register. The property is not associated with significant historic events, thus it does not appear to be eligible for listing under criterion 1. It is not closely associated with persons of historic significance, thus it does not appear to be eligible for listing under criterion 2. The structure at 930 Monroe Street is an example of the Dutch Colonial Revival architectural style, however it is not a notable example of this style. Thus the structure does not appear to be eligible for listing under criterion 3. In addition, the structure does not appear likely to yield important historical information. Thus they do not appear eligible for listing under criterion 4.

CONTINUATION SHEET

Page 6 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 06/24/20 X Continuation Update

National Register Criteria

The National Register of Historic Places was first established in 1966, with major revisions in 1976. The register is set forth in 36 CFR 60 which establishes the responsibilities of the State Historic Preservation Officers (SHPO), standards for their staffs and review boards, and describes the statewide survey and planning process for historic preservation. Within this regulation guidelines are set forth concerning the National Register of Historic Places (36 CFR 60.6). In addition, further regulations are found in 36 CFR 63-66, 800, and Bulletin 15 which define procedures for determination of eligibility, identification of historic properties, recovery, reporting, and protection procedures. The National Register of Historic Places was established to recognize resources associated with the accomplishments of all peoples who have contributed to the country's history and heritage. Guidelines were designed for Federal and State agencies in nominating cultural resources to the National Register. These guidelines are based upon integrity and significance of the resource. Integrity applies to specific items such as location, design, setting, materials, workmanship, feeling, and association. Quality of significance in American history, architecture, archaeology, engineering and culture is present in resources that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet at least one of the following criteria:

- a. that are associated with events that have made a significant contribution to broad patterns of our history;
- b. that are associated with the lives of persons significant in our past;
- c. that embody distinctive characteristics of type, period, or method of construction, or that represent the work of master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- d. that have yielded, or are likely to yield, information important in prehistory or history.

Integrity is defined in Bulletin 15: How to Apply the National Register Criteria for Evaluation, (U.S. Department of the Interior, National Park Service 1982) as:

the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic or prehistoric period. If a property retains the physical characteristics it possessed in the past then it has the capacity to convey association with historical patterns or persons, architectural or engineering design and technology, or information about a culture or peoples.

There are also seven aspects of integrity which are used. These aspects are:

- 1. location
- 2. design
- 3. setting
- 4. materials
- 5. workmanship
- 6. feeling
- 7. association

The property at 930 Monroe Street is not currently listed on the National Register of Historic Places. In addition, the structure does not appear to be potentially eligible for listing in this register. The structure is not associated with significant historical events. Thus it does not appear to be potentially eligible for listing under criterion a. The structure is not associated with persons of historic significance, thus it does not appear to be potentially eligible for listing under criterion b. Although the structure at 930 Monroe Street is an example of the Dutch Colonial Revival style of architecture, it is not a notable example of this style. Thus it does not appear to qualify as potentially eligible under criterion c. The structure does not appear to be likely to yield information important in prehistory or history, thus it does not appear to qualify as potentially eligible under criterion d. In addition, the structure has been somewhat modified from its original form.

CONTINUATION SHEET

Page 7 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 06/24/20 X Continuation Update

Continued from B12:

Appraiser's Office, County of Santa Clara

1971 Appraiser's property records for the property at 930 Monroe Street.

Chicago Title Company

2019 Preliminary Report on the Property at 930 Monroe Street in Santa Clara.

Douglas, J.

1993 Historical Footnotes of Santa Clara Valley. San Jose Historical Museum Association, San Jose. \

EAA Newsletter

2013 July 2013 Newsletter of the Experimental Aircraft Association (EAA), July 2013.

Hoover, M. et al

1966 *Historic Spots in California*. Stanford University Press, Stanford California.

Loomis, P.

1977 Article on Marvin Gibson, in *Signposts*, San Jose Mercury News, September 2, 1977.

McAlester, V. and L. McAlester

1997 *A Field Guide to American Houses*. Alfred A. Knopf, New York.

Mission College

2019 Von Raesfeld Family Fire Tower Dedication. Article dated September 12, 2019 at https://missioncollege.edu/news/press/releases_2020/2019-09-12-vonraesfeld.html

Sawyer, E.

1922 History of Santa Clara County, California. Historical Record Company, Los Angeles

Thompson & West

1876 Historical Atlas of Santa-Clara County, California. Thompson & West, San Francisco.

US Department of the Interior

1990 The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

US Department of the Interior

1982 Bulletin 15 - "How to Apply the National Register Criteria for Evaluation.

Whiffen, Marcus

1992 American Architecture since 1780, Revised Edition. The MIT Press, Cambridge Mass.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 8 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 1: View of the front facade of the residence at 930 Monroe Street.



Photo 2: A closer view of the front façade.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 9 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 3: View of the front facing gambrel and dormer window.



Photo 4: View of the front porch and entry.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 10 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 5: View of the southern side of the 1st story front façade..



Photo 6: View of the northern side of the 1st story front façade.

CONTINUATION SHEET

Page 11 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 7: Detail of window bay on the front porch.



Photo 8: Detail of column capital on the front porch.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 12 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 9: Oblique view of the front gambrel from the southeast.



Photo 10: Oblique view of the front porch from the southeast.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 13 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 11: Oblique view of northeast corner of the residence.



Photo 12: View of the northern façade from the adjacent lot.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 14 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 13: View of northern cross-gable



Photo 14: View of base of the chimney on the northern façade.

CONTINUATION SHEET

Page 15 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 15: View of wooden framed basement window on north façade.

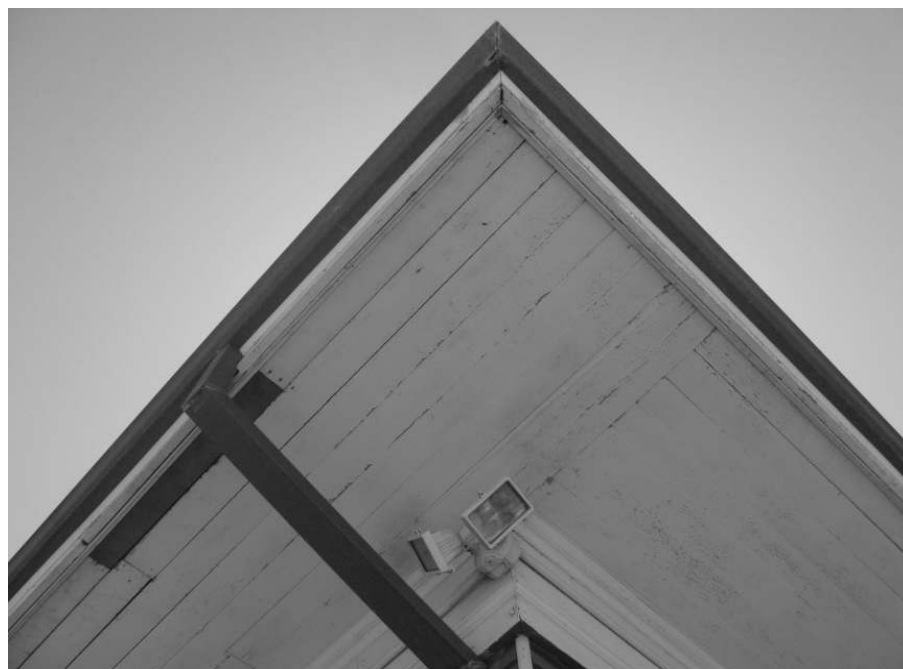


Photo 16: Detail of broadly overhanging eaves, northeast corner.

CONTINUATION SHEET

Page 16 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 17: View of rear portion of the northern façade.



Photo 18: View of the rear addition from the north.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 17 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: Oblique view of the residence from the northwest.



Photo 20: View of the rear addition from the northwest.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 18 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of the cross-gambrel on the southern façade.



Photo 20: View of bay windows on the southern façade.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 19 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of the southern portion of the rear addition.



Photo 20: View of wooden framed windows on the rear addition.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 29 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: Interior view of the dining room.



Photo 20: View of the living room showing bay window.



Photo 19: Another view of the living room. Note built-in cabinets.



Photo 20: View of the kitchen showing all new fixtures and appliances.

CONTINUATION SHEET

Page 22 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of the stairway leading to the 2nd story.



Photo 20: View of the upstairs hallway.

CONTINUATION SHEET

Page 23 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of a bedroom.



Photo 20: View of the bathroom, note modern fixtures.

CONTINUATION SHEET

Page 24 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of the detached garage, constructed 1971.



Photo 20: View of the southern façade of the garage showing mural.

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 25 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



Photo 19: View of the rear facade of the garage.



Photo 20: View of the faux rock fountain feature.

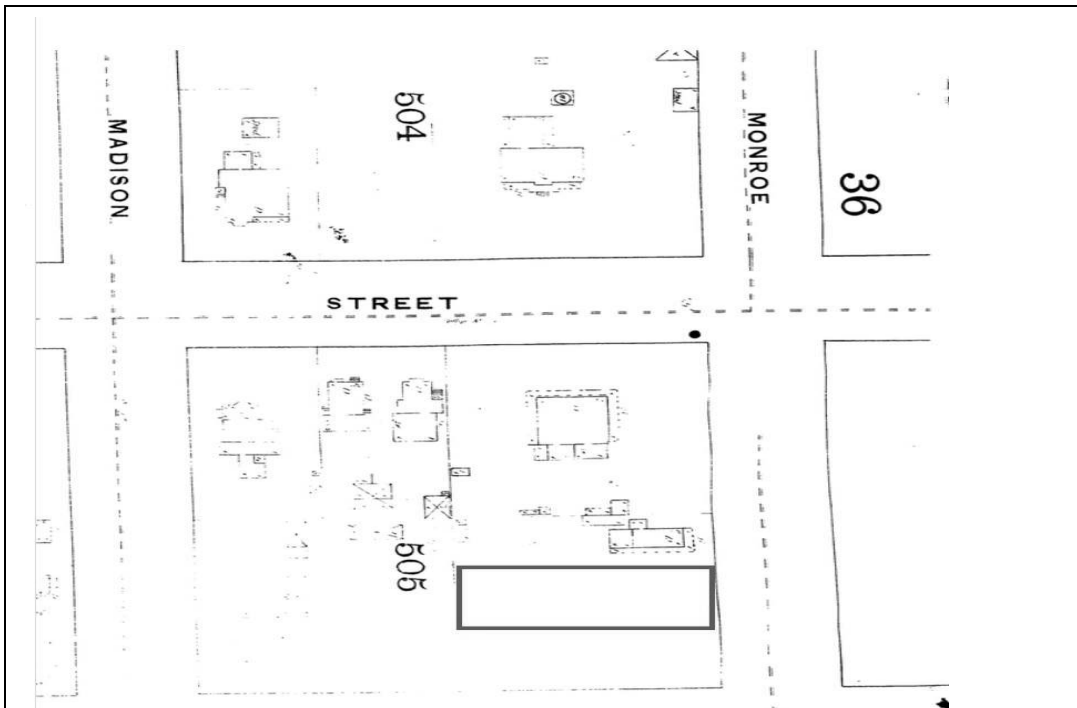
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

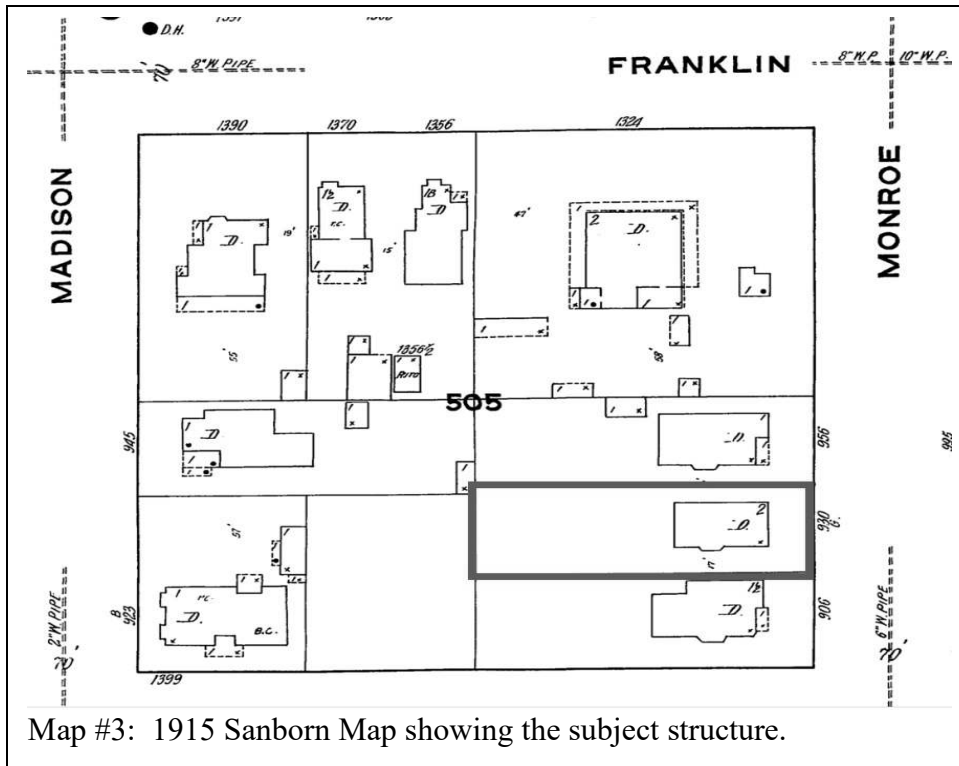
Page 26 of 27 *Resource Name or # (Assigned by recorder) 930 Monroe Street
*Recorded by Archaeological Resource Management Date 6/24/2020 Continuation Update



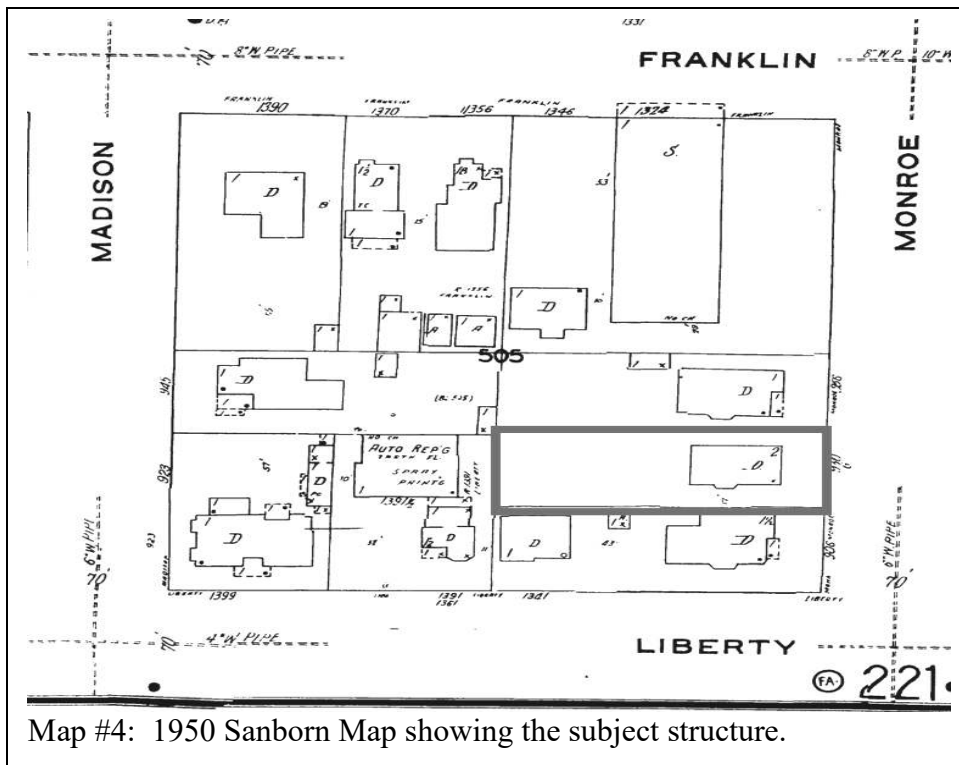
Map #1: Portion of the 1866 Map of Santa Clara showing the subject property.



Map #2: 1891 Sanborn Map showing no structure on the property at that time.



Map #3: 1915 Sanborn Map showing the subject structure.



Map #4: 1950 Sanborn Map showing the subject structure.

From: Robert Brock <[REDACTED]>
Sent: Monday, May 15, 2023 3:57 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: ariana@lpgdevelopment.com
Subject:

Dear Council Members:

High-density housing and mixed-use city planning are absolutely essential to the health of our community and environment. The most direct solution to our housing crisis is to increase supply, and this project provides an excellent opportunity to do so. We cannot claim to care about solving homelessness without shifting away from low-density housing. As a Santa Clara resident, I am confident that this development is a necessary and exciting progression for the neighborhood.

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and I look forward to your yes vote on this project.

Sincerely,
Robert Brock

-----Original Message-----

From: Jim Blamey <[REDACTED]>
Sent: Wednesday, May 17, 2023 8:32 AM
To: Lesley Xavier <LXavier@santaclaraca.gov>; Steve Le <SLe@SantaClaraCA.gov>
Subject: 906-950 Monroe Street and 1341 Homestead Road

I am interested in finding out how to oppose the size and scope of the six story residential mixed use building planned for the above cited location. How does a six story building fit in to a neighborhood with single family dwellings? As a life long Santa Clara resident and homeowner near the site, it is unbelievable that zoning and planning would allow this type of monstrosity to be build. Please let me

know the official formal process to oppose the scope of this project. In addition, please send the names and email addresses of all city council members. Email is preferred.

Jim Blamey
876 Monroe St.
Santa Clara
[REDACTED]

From: Myron Von Raesfeld <[REDACTED]>
Sent: Monday, May 15, 2023 4:09 PM
To: Steve Le <SLe@SantaClaraCA.gov>; Clerk <Clerk@santaclaraca.gov>
Subject: 950 Monroe St development

Please see the attached letter in support of the development proposal located at 950 Monroe St. Santa Clara. Please make sure every planning commissioner gets a copy of this letter. I truly believe this will be a great development for the downtown area.

Myron Von Raesfeld
Keller Williams Realty
Real Estate Broker
CA DRE: 00866594
North Carolina Lic: 302419
408-472-4025

YOUR CALIFORNIA TO RALEIGH CONNECTION

From: RebeccaG Flores <[REDACTED]>
Sent: Monday, May 15, 2023 4:52 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana Gasper <Ariana@lpgdevelopment.com>
Subject: 950 Monroe St.

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

It is an efficient use of land in downtown Santa Clara,
It is the perfect example of environmentally sustainable development,
The architectural quality will help create new building design ideas in the downtown area,
This mixed-use project supports the city's Housing Element Goals,

New walkable housing helps energize the upcoming new downtown core,
The building is consistent with (and was designed with) the Downtown Task Force goals.
Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Rebecca Flores

-----Original Message-----

From: Anna Fisher <[REDACTED]>
Sent: Monday, May 15, 2023 3:22 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: Monroe street development project

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.
Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you, and we look forward to your yes vote on this project.

Sincerely,
Anna Fisher

From: Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>
Sent: Monday, May 15, 2023 9:44 AM
To: Lesley Xavier <LXavier@santaclaraca.gov>; Andrew Crabtree <ACrabtree@SantaClaraCA.gov>; Reena Brilliot <RBrilliot@SantaClaraCA.gov>
Cc: Clerk <Clerk@santaclaraca.gov>
Subject: FW: New Downtown Proposal/Monroe Street project

Forwarding to share with the recipients below. A copy has been sent to Council.

From: Brian Goldenberg <[REDACTED]>
Sent: Sunday, May 14, 2023 10:59 PM
To: Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>; Clerk <Clerk@santaclaraca.gov>
Subject: New Downtown Proposal/Monroe Street project

Hello Mayor Gillmor and Council, **Planning Commission, and Historical Commission,**

I am a proud life-long Santa Clara and I am excited for the possibility of a new downtown for our city.

I am excited that the two historical houses won't be torn down. This part is very important to me to preserve Santa Clara's history.

And equally important is the ability to have quality places to go for dining and entertainment - in my own city!

For years now, I join my friends for dinner, festivals, and music nights in the downtowns of Campbell, Sunnyvale, Los Gatos, and Mountain View. I frequently wish we could have something similar in our great city. I frequently wonder why we don't have this already.

The idea of creating a new Downtown Santa Clara has been talked about for a while now. But now it's time for us to have a sense of urgency to make this happen.

Those other cities are passing us by when it comes to where Santa Clara Valley residents go to eat and enjoy themselves.

When you look at populations, we are 3 times larger than Campbell; 4 times larger than Los Gatos; almost twice as big as Palo Alto; and considerably bigger than Mountain View.

We have a great convention center, a great stadium, and a top-level university. And a great business district with world-class companies. We even have Great America! We have a lot of great people, places, and things in the city.

Why not a great destination center that attracts locals year-round?
Why not a great downtown?

Let's have a great part of town that draws people from those other cities TO Santa Clara!

Let's please not delay this further to 'review reports' and 'study the project.' Yes, it is important to do those things while we are making progress....not spinning our wheels while the downtowns of other cities continue to prosper and they collect tax dollars that could be going to Santa Clara.

So, please take the steps to help this move forward and continue making Santa Clara great!

Sincerely,

Brian Goldenberg
2047 Eucalyptus Ct.
Santa Clara 95050

From: Planning Public Comment <PlanningPublicComment@santaclaraca.gov>
Sent: Tuesday, May 16, 2023 10:26 AM
To: David DeLozier <[REDACTED]>; Planning Public Comment <PlanningPublicComment@santaclaraca.gov>; Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>; Reena Brilliot <RBrilliot@SantaClaraCA.gov>; Lesley Xavier <LXavier@santaclaraca.gov>; Steve Le <SLe@SantaClaraCA.gov>
Subject: RE: PLN2020-14457. 906-950 Monroe St. & 1341 Homestead Rd

Good Morning,

This is to confirm your email has been received in the Planning Division. By way of my reply I am including the appropriate Planning Division staff for review of your comments.

Thank you for taking the time to notify us on this matter.

Regards,

Elizabeth Elliott
Community Development Department | Planning Division
1500 Warburton Avenue | Santa Clara, CA 95050
O: 408.615.2450 | D: 408.615.2474

<https://gcc02.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.santaclaraca.gov%2F&data=05%7C01%7CElliott%40santaclaraca.gov%7C5a7d5efe7b154f64195c08db5c6b77f6%7C28ea354810694e81aa0b6e4b3271a5cb%7C0%7C0%7C638205388857908340%7CUnknown%7CTWFpbGZsb3d8eyJWljiMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTil6lk1haWwiLCJXVCi6Mn0%3D%7C3000%7C%7C%7C&sdata=sXoWDgY6xZ5Yji2TADuIT7j5t0ZY55zEI8%2Feef30E7s%3D&reserved=0>

-----Original Message-----

From: David DeLozier <[REDACTED]>
Sent: Monday, May 15, 2023 2:31 PM
To: Planning Public Comment <PlanningPublicComment@santaclaraca.gov>; Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>
Subject: PLN2020-14457. 906-950 Monroe St. & 1341 Homestead Rd

Dear Mayor, Council, and Planning Commissioner's, Please have my comments read into the record. My name is David DeLozier and I'm the property owner at 1260-1290 Benton St.(Monroe). My parents built

CORRESPONDENCE RECEIVED IN THE PLANNING DIVISION

June 1, 2023 HLC MEETING

RTC 23-647

our building in 1967, it was the first building completed in the Franklin Mall. I'm not against growth and development when it's good and meets the needs of all citizen's of Santa Clara. I'm NOT in favor of overbuilt projects by developers that are interested in making the most return on their investment to the detriment of Santa Clara and it's neighborhoods!! This project is overbuilt and overbearing!! The number of stories and lack of parking for this project is unacceptable. I DON'T call Bus #22 and a mile away from the train/Bus depot, being on a mass transit route. You as our elected and appointed Representatives need to make developement decisions that are best for Santa Clara. Allowing the State or any other Government authority to override your representation of your constituents is a derelict of duty. Let me give you some history of our Downtown because " those who cannot remember the past are condemned to repeat it"!! The downtown was demolished by the Federal Redevelopment and then the Santa Clara Redelopment Agency, largely because of the lack of offstreet parking. The property owners of the Franklin Mall under a parking assessment district(still exists) purchased the land and built the 2 parking lots in the mall. They were built/required for public parking for the businesses in the mall, NOT to be overflow parking for underparked developments in the area. By allowing substantial parking variances on this project you will impact the offstreet parking, street parking, and traffic issue's in the Old Quad residential neighborhood (more conflict in the neighborhood). The folks living in this massive apt/condo complex will NOT be taking the #22 Bus to work or school. This project needs to be lowered in scale and more offstreet parking added(maybe 1 less floor of apt/condos and add parking to that floor). It's your duty to make decisions that are best for the citizen's of Santa Clara NOT maximising developer profits!!! I'm asking as a property owner and as a Santa Clara resident in this area, that you address the scale and parking on this development. Sincerely, David C. DeLozier, Former Santa Clara Councilmember, Santa Clara Businessowner, Santa Clara resident. [REDACTED]

Sent from my iPad

May 12, 2023

Santa Clara Planning Commission and Staff
City of Santa Clara
1500 Warburton Ave
Santa Clara Ca 95050

RE: 950 Monroe St Project

Dear Planning Commission and Staff

Our family have been part of Santa Clara ever since my dad began working as the City Manager back in 1962. Ever since then our family has called this great city home. My father loved this city and always wanted what was best for all the citizens and the companies that call this place home.

Several years ago, my father sold the 950 Monroe St building to Lamb partners who had indicated they would like to redevelop this site into a mixed-use residential development. While my father was excited and looking forward to the next chapter for this property he had owned since 1970 where he opened a small Hardware store.

The city has been talking about bring back a new downtown on the blocks between Monroe St, Lafayette St, Homestead Rd, and Benton St. While many proposals have floated around, and many people talk about the old downtown that no longer exists. The truth is that no new downtown will be successful without citizens visiting it regularly. With Monroe being a busy thoroughfare with an active buss line there is no better place than this parcel to accomplish the needed increase in housing for others to enjoy all that Santa Clara has to offer.

We have seen this proposed project and we are in complete support of this development. We hope that the Planning commission will unanimously approve this project. This will be good for the city and the future downtown that will someday be rebuilt for many to enjoy.

Respectfully,


Myron Von Raesfeld


Elizabeth Elliott

From: Karla Gutierrez [REDACTED]
Sent: Thursday, May 11, 2023 10:57 AM
To: Steve Le
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Karla Gutierrez

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:34:41 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Dave Paolinelli

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:16:52 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Molly O'Leary

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:52:15 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

--

Diyar

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:12:56 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Erica

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Friday, May 12, 2023 9:02:19 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Angelina Paolinelli

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpqdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Friday, May 12, 2023 9:43:44 AM

Dear Council Members,

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote YES for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Samantha

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 9:37:30 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Alexandria Raffo

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:24:01 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Devon Mercurio

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe -Letter of Support
Date: Wednesday, May 10, 2023 7:57:12 PM

Dear Council Members:

I'm writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.

Please vote YES for this project on JULY 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail.
- It is an environmentally sustainable development.
- The architectural quality will create a dynamic and vibrant downtown area.
- This mixed-use project supports the city's Housing Element Goals.
- New walkable housing helps energize the downtown core.
- The project is consistent with the goals and objectives of the general plan and housing goals while providing much needed affordable housing.
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Thank you,
Lindsey Davidson
[REDACTED]

--
NOTICE: This email and all attachments are confidential and may contain information that is privileged, confidential, or exempt from disclosure under law. If you are not the intended recipient, delete this message and notify the sender immediately. Any unauthorized use is strictly prohibited.

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:22:49 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Jay Gutierrez

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe -Letter of Support
Date: Wednesday, May 10, 2023 7:57:12 PM

Dear Council Members:

I'm writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.

Please vote YES for this project on JULY 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail.
- It is an environmentally sustainable development.
- The architectural quality will create a dynamic and vibrant downtown area.
- This mixed-use project supports the city's Housing Element Goals.
- New walkable housing helps energize the downtown core.
- The project is consistent with the goals and objectives of the general plan and housing goals while providing much needed affordable housing.
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Thank you,
Lindsey Davidson
[REDACTED]

--
NOTICE: This email and all attachments are confidential and may contain information that is privileged, confidential, or exempt from disclosure under law. If you are not the intended recipient, delete this message and notify the sender immediately. Any unauthorized use is strictly prohibited.

From: [REDACTED]
To: [Steve Le](#)
Cc: [Ariana Gasper](#)
Subject: 950 Monroe st letter of support
Date: Wednesday, May 10, 2023 8:09:14 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Shaun

[REDACTED]

From: [REDACTED]
To: [Steve Le](#)
Subject: 950 Monroe Street - Support Letter
Date: Thursday, May 11, 2023 9:05:49 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Bobby Caya

From: [REDACTED]
To: [Steve Le; sle@santaclara.gov](mailto:sle@santaclara.gov)
Cc: [Ariana Gasper](#)
Subject: 950 Monroe Street
Date: Thursday, May 11, 2023 7:20:20 AM

Dear Council Members -

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Below are some of the benefits to the city:

- It is an efficient use of land in downtown Santa Clara
- It is the perfect example of environmentally sustainable development
- The architectural quality will help create new building design ideas in the downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the upcoming new downtown core
- The building is consistent with (and was designed with) the Downtown Task Force goals
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown

Thank you for your consideration, and we look forward to your yes vote on this project.

Best,
Riley

From: [REDACTED]
To: [Steve Le](#)
Cc: Ariana@lpqdevelopment.com
Subject: 950 Monroe Street Project
Date: Thursday, May 11, 2023 3:43:03 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing,
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Emily

Lucy Garcia

From: David Paolinelli [REDACTED]
Sent: Wednesday, May 10, 2023 6:34 PM
To: Steve Le
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Dave Paolinelli

From: Carrick Young [REDACTED]
Sent: Thursday, May 11, 2023 1:33 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

From: Kevin Coyle [REDACTED]
Sent: Thursday, May 11, 2023 8:40 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Kevin

Kevin Coyle
[REDACTED]

From: Nick Casaccia [REDACTED]
Sent: Thursday, May 11, 2023 11:46 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.

- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Nick Casaccia

From: Lane Husted [REDACTED]
Sent: Thursday, May 11, 2023 1:37 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
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- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Lane Husted

Lane P. Husted, CPA, CFP®

Associate Wealth Advisor
Bordeaux Wealth Advisors
Silicon Valley | Seattle

(650) 419-1181 Direct
[REDACTED]

lhusted@bordeauxadvisors.com

[Website](#) | [LinkedIn](#)



This message is intended only for the designated recipient(s). It may contain confidential or proprietary information and may be subject to other confidentiality protections. If you are not a designated recipient, you may not review, copy, or distribute this message. If you receive this in error, please notify the sender by reply e-mail and delete this message. Thank you.

From: Ethan Clements [REDACTED]
Sent: Thursday, May 11, 2023 9:30 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara

Dear Council Members,

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
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- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Ethan Clements

From: Michael Liebes [REDACTED]
Sent: Thursday, May 11, 2023 8:50 AM
To: Steve Le <SLe@SantaClaraCA.gov>

Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
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- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Michael Liebes

From: Grant Chou [REDACTED]
Sent: Thursday, May 11, 2023 3:50 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: ariana@lpgdevelopment.com

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,

- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Grant

--

Grant Chou
Santa Clara University '17

From: Max Kollmorgen [REDACTED]
Sent: Thursday, May 11, 2023 9:20 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: Ariana@lpgdevelopment.com

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,

It is an environmentally sustainable development,
The architectural quality will create a dynamic and vibrant downtown area,
This mixed-use project supports the city's Housing Element Goals,
New walkable housing helps energize the downtown core,
The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing,
Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Max

RE: PLN2020-14457
906 – 950 Monroe Street & 1341 Homestead Road

Dear Mayor, Council Members, Planning Commissioners, and Historical Landmarks Commission of the City of Santa Clara:

The Downtown Community Task Force (DCTF) has been working on developing a Precise Plan for the revitalization of Santa Clara's Downtown to ensure that there is a clear vision to achieve a successful and vibrant "place" for all to enjoy for many generations to come.

The effort to restore Santa Clara's Downtown has taken years to culminate into the opportunity that lays before us. Over the past 60+ years, numerous attempts have been made to heal the scar that urban renewal left on our city, but all have fallen short due to logistics, long term lease agreements, and a need for the community to lead.

"No land-use decision of the last half-century has damaged the urban fabric of a city more than Santa Clara's decision to tear down its eight-block downtown in the 1960s. The result has no coherence, no center, no charm."

(Herhold, S. (2017, April 24) The Worst Local Decisions of the Last 50 Years. San Jose Mercury News)

The current community led effort to return a key section of Franklin St. to the public has created the opportunity to re-connect the downtown area by means of a main street that many thought was not possible. For the first time since the early 1980's, Santa Clara's Downtown could be connected by a public right-of-way. Residents and community groups have spent

countless hours researching, analyzing, and understanding the complexities of development, urban planning, and current government policies to incorporate them into the current Precise Plan that is near completion. The Downtown Precise Plan will provide a clear set of guidelines that will allow us to create a thoughtful “place” for all Santa Clara community members to enjoy.

The proposal for the 906 – 950 Monroe & 1341 Homestead (Monroe Development) being submitted prior to the approval of the Precise Plan and Form Based Code will only result in the same “parcel-by-parcel” development the area has struggled with since being leveled by urban renewal. The current proposal does not follow the Downtown Precise Plan or Form Based Code requirements that will outline and guide future development within the 10-blocks. If the Monroe Development is allowed to proceed, this will undermine the intention of the Downtown Precise Plan and set a bad precedent for other development proposals to follow as we continue to work diligently to complete the Downtown Precise Plan.

The proposed Monroe development does not consider the Downtown Precise Plan, Form Based Code, or even the current General Plan, thus requiring it to be submitted as a Planned Development. The Planned Development (PD) zoning designation was intended for “unique and unusual” sites that do not allow traditional zoning and/or planning guidelines to apply. This site is not “unique or unusual” and the current General Plan zoning and planning guidelines could be applied. Since the current General Plan requirements are applicable, the developer should either comply with these requirements or wait and follow the Downtown Precise Plan and Form Based Code, which are scheduled to be approved later this year.

Development projects of today will last beyond most of our time together and as we face many challenges and are pressured to meet goals, we must not make the same mistake leaders in the past made by rushing to approve “something” through a parcel-by-parcel approach, resulting in a mish mash of buildings that do not contribute to the community that we believe Downtown Santa Clara once was and can be again. We believe we should stay focused on the larger vision that will create a thoughtful, community-oriented “place” for many generations of Santa Clara residents to come.

“A society grows great when old men (women) plant trees in whose shade they shall never sit” – Greek Proverb

The DCTF respectfully asks that the development proposal for 906 – 950 Monroe & 1341 Homestead not be approved until the Downtown Precise Plan and Form Based Code are approved, implemented, and enforced. This parcel should be developed, but it should be consistent with the community vision articulated within the approved Downtown Precise Plan and Form Based Code.

Sincerely,
Chair - Adam Thompson
Co-Chair - Dan Ondrasek

On behalf of all members of the Downtown Community Task Force

From: Ariana Gasper <ariana@lpgdevelopment.com>
Sent: Friday, May 12, 2023 6:39 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: Fwd: 950 Monroe Street, Santa Clara - Support Letter

Hi Steve,

It looks like they forgot to add the Ca at the end of your email address. Please see letter of support below.

Best regards,
Ariana Gasper

From: Nick Casaccia [REDACTED]
Sent: Thursday, May 11, 2023 11:43 PM
To: SLe@SantaClara.gov <SLe@SantaClara.gov>
Cc: Ariana Gasper <ariana@lpgdevelopment.com>
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Nick Casaccia

From: Travis McAuley [REDACTED]
Sent: Thursday, May 11, 2023 8:34 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: In Support of 950 Monroe Street Condominium Project

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Travis McAuley

Dear Planner Steve,

Good day! Attached you will find a letter that I have written in support of the project at 950 Monroe Street in Santa Clara.

Please share it with the Staff and the Planning Commission.

With appreciation,

Emmy

M.E. "Emmy" Moore-Minister



May 12, 2023

Santa Clara Planning Commission
and Planning Staff
c/o Steve Le
Associate Planner
City of Santa Clara
1500 Warburton Ave.
Santa Clara, CA, 95050

Dear Honorable Chair Cherukuru, Fellow Planning Commissioners, and Planning Staff,

I write to you today, in full support of the project at **950 Monroe St.**, located in the “Heart of the City’s Old Quad” neighborhood, and a project, that is *committed to environmental sustainability*.

√ This project, which has been in the planning stage for a few years now, (and has received significant citizen input and suggestions from folks including myself), has been designed and redesigned with *thoughtful architectural modifications* throughout.

√ This project *has been reduced in units* from the original proposal of 61 down to 54 units.

√ Three *homes with historical significance will be saved* and maintained.

√ The project is *extremely compatible with the area* and supports plans to bring *vitality to the City’s inner core* as it moves forward with plans to revitalize the S.C. Downtown Area.

√ The 54 units *adds* to the City’s much-need for additional housing units.

√ The ground floor retail *creates a “village” feel* where neighbors and their pets will feel welcome.

√ The project is *located near public transit* and is in walking distance to the Santa Clara Transit Center, with access to VTA, Caltrain, and Capitol Corridor.

√ This particular type of housing stock is *compatible for various age groups*, and most importantly, appealing to *retiring Santa Clara's (Seniors)* who would like to “scale down” from a large family home to a smaller and more efficient living space, while still being able to reside in the Mission City, close to amenities and just blocks from the City's Senior Center.

It is for all the reasons above, and more, that I respectfully request that you approve this project. It's well-thought-out, it's great for Santa Clara's Downtown, and it's good for the overall community.

Respectfully Submitted,

M. E. Emmy Moore-Minister
Co-Founder
Old Quad Residents Association

SITE DEVELOPMENT PERMIT FOR 906, 930, 940, 950 MONROE STREET & 1341 HOMESTEAD RD. SANTA CLARA, CA 95050

DESIGN PROFESSIONALS:

ARCHITECT:
SALVATORE CARUSO DESIGN CORPORATION
300 EL CAMINO REAL, SUITE 200
SANTA CLARA, CA 95050
PHONE: (408) 998-4097
FAX: (408) 998-4088

CIVIL ENGINEER:

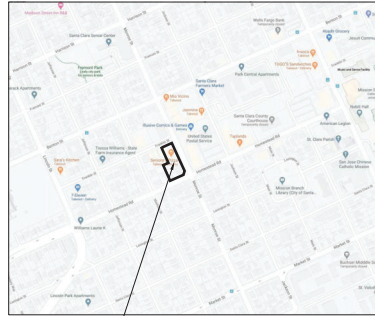
BRF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDMOND, CA 94065
PHONE: (650) 482-4500

OWNER:

LHAR PARTNERS, LLC
335 WOODFIELD ROAD, SUITE 190
MENLO PARK, CA 94025
PHONE: (650) 208-4195

PROJECT DESCRIPTION:

DEMOLITION OF THE SMALL RETAIL TO BUILD A NEW 30 CONDOS AND 4 TOWNHOUSE OF HOUSING PROJECT INCLUDING GENERAL RETAIL/USE ON THE GROUND FLOOR TO REESTABLISH THE DOWNTOWN PEDESTRIAN EXPERIENCE.
LOT LINE ADJUSTMENT IS PROPOSED FOR THE EXISTING SINGLE FAMILY HOMES: A NEW TWO CAR GARAGE FOR 930 MONROE AND A 1 CAR GARAGE FOR THE 930 MONROE PLUS A SURFACE PARKING IS PROPOSED TO PARK THE SINGLE FAMILY HOMES ON SITE.
PROVIDE FOR 66 TOTAL UNITS AS AFFORDABLE HOUSING UNITS ON SITE PER CITY'S ORDINANCE 17.40.080. ALL AFFORDABLE UNITS WILL BE DISPersed ON THE PROJECT SITE (ONE WITHIN TOWNHOUSE AND 7 WITHIN CONDO).



PROPOSED SITE

VICINITY MAP



APPLICABLE CODES:

PART 1.0. CALIFORNIA ADMINISTRATIVE CODE
PART 2.0. 2019 CALIFORNIA BUILDING CODE (CBC)
PART 2.5. 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 3.0. 2019 CALIFORNIA ELECTRIC CODE (CEC)
PART 4.0. 2019 CALIFORNIA MECHANICAL CODE (CMC)
PART 5.0. 2019 CALIFORNIA PLUMBING CODE
PART 6.0. 2019 CALIFORNIA ENERGY CODE
PART 8.0. 2019 CALIFORNIA FIRE CODE
PART 11.0. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
FHA ACCESSIBLE GUIDELINES USING THE SAFE HARBOR AS PERMITTED FOR THE 1998 FHA DESIGN MANUAL WITH ANSI A117.1-1996 PER 182 AND 2010 ADA
THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SANTA CLARA.

AFFORDABLE HOUSING NOTE:

NEW PLANNED DEVELOPMENT IS ONLY IN LOT 1; LOT 2 AND LOT 3 WILL REMAIN AS HISTORIC SINGLE FAMILY HOMES.
TOTAL NEW RESIDENTIAL UNIT PROPOSED IS 55 CONDOMINIUM UNITS (50 CONDOMINIUM + 4 TOWN HOUSES) AND ONE FREESTANDING HOME AT 1341 HOMESTEAD RD.
NUMBER OF AFFORDABLE HOUSING UNITS WILL BE 55 x 0.15 = 8.25 UNITS
PROVIDES: 1 TOWNHOME AFFORDABLE UNIT
7 CONDOMINIUM UNITS IN MAIN BUILDING

SHEET INDEX

- ARCHITECTURAL**
- A0.1 COVER SHEET
 - A0.2 RENDERING
 - A0.3 RENDERING
 - A0.4 RENDERING
 - A0.5 RENDERING
 - A0.6 RENDERING
 - A1.0 EXISTING SITE PLAN
 - A1.1 PROPOSED SITE PLAN
 - A2.1 PROPOSED BASEMENT PLAN
 - A2.2 PROPOSED 1ST FLOOR PLAN
 - A2.3 PROPOSED 2ND FLOOR PLAN
 - A2.4 PROPOSED 3RD FLOOR PLAN
 - A2.5 PROPOSED 4TH FLOOR PLAN
 - A2.6 PROPOSED 5TH FLOOR PLAN
 - A2.7 PROPOSED 6TH FLOOR PLAN
 - A2.8 PROPOSED ROOF PLAN
 - A3.0 PROPOSED ELEVATIONS
 - A3.1 PROPOSED ELEVATIONS
 - A3.1a PROPOSED ELEVATIONS - TOWNHOMES
 - A3.2 SECTIONS
 - A3.3 MATERIAL BOARDS (FOR REFERENCE)

CIVIL

- C1.0 EXISTING SITE CONDITION
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
- C5.1 STORMWATER CONTROL DETAILS
- C6.0 BEST MANAGEMENT PRACTICES
- C7.0 FIRE DEPARTMENT WATER SUPPLY AND ACCESS PLAN
- DRG UTILITIES

VESTING TENTATIVE MAP

- TM-1 FILE SHEET
- TM-2 SITE PLAN/IMP SHEET

LANDSCAPE

- L1.1 PLANTING PLAN
- L1.2 PLANTING PLAN
- L1.3 ARBOREST NOTES + WIRE WALL TRELLIS
- L1.4 ARBOREST NOTES

PHOTOMETRIC

- P1 FIRST FLOOR EXTERIOR LIGHTING PLAN
- P2 4TH FLOOR EXTERIOR LIGHTING PLAN
- P3 5TH FLOOR EXTERIOR LIGHTING PLAN
- TR0.1 SITE PLAN - LEVEL 1
- TR0.2 SITE PLAN - LEVEL 2
- TR0.3 STAGING DETAILS - RESIDENTIAL AND COMMERCIAL
- TR1.0 RETAIL TRASH ROOM PLAN
- TR1.1 RETAIL TRASH COLLECTION ROOM
- TR1.2 SECTIONS AT RESIDENTIAL TRASH ROOM
- TR2.0 30" Ø CHUTE DETAILS

PROJECT:

**SANTA CLARA
DOWNTOWN**
REDEVELOPMENT PROJECT
SANTA CLARA, CA 95050
1341 HOMESTEAD RD.
SANTA CLARA, CA 95050

GENERAL NOTES:

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
2. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
3. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
4. APPROVED - 01 JANUARY 2023 (SEE SHEET 001)

PROJECT DATA	
PARCEL NUMBERS	269-20-065, 269-20-067, 269-20-086
TOTAL LOT AREA	7,912SF = 7,922SF + 22,588SF = 30,510SF (0.87 ACRES)
EXISTING USE	SINGLE FAMILY - RETAIL
PROPOSED USE	MIXED-USE (RETAIL AND CAFE, RESIDENTIAL - MULTI-FAMILY)
NO. OF UNITS	LOT 1: 55 RESIDENTIAL CONDOMINIUM UNITS LOT 1: 1 CONDOMINIUM FOR ALL FLOOR COMMON AREAS LOT 1: 2 BASEMENT PARKING GARAGE CONDOMINIUM UNITS LOT 1: 3 RETAIL CONDOMINIUM UNITS LOT 2: 1 (E) SINGLE FAMILY HOME LOT 3: 1 (E) SINGLE FAMILY HOME
NO. OF STORY	TOWNHOUSE: TWO FLOORS CONDOMINIUM: 1 LEVEL OF BASEMENT + 6 STORES (ABOVE THE GROUND)
OCCUPANCY GROUP	R-2 (5 FLOORS OF RESIDENTIAL), A-2 (GROUND LEVEL CATERING), M (GROUND LEVEL RETAIL), B-2 (DRINKS), A-2 (STREET), B (ONE)
TYPE OF CONSTRUCTION	CONDOMINIUM: V-A FOR BASEMENT AND GROUND LEVEL, V-B FOR UPPER FLOORS TOWNHOUSE: V-B
AUTOMATIC FIRE SPRINKLER	YES
CURRENT ZONING	HT (HISTORIC CORNERING), O2 (GENERAL OFFICE), O2 (COMMUNITY COMMERCIAL)
GENERAL PLAN PROPOSED ZONING	PD
PROPOSED HEIGHT	7'-2" TO ROOF TOP, 8'-4" TO TOP OF ARCHITECTURAL DECORATION ELEMENT
PROPOSED DENSITY (DWELLING UNIT PER ACRE)	57.0/ACRE = 66.5/DWELLING UNIT PER ACRE
PROPOSED FAR	TOTAL FAR IS 2.21 - COMMERCIAL FAR IS 0.1

FLOOR LEVEL	CONDOMINIUM												
	ONE BEDROOM	TWO BEDROOMS	TOTAL NO. OF UNITS	PARKING(S)	COMMUNITY ROOM	UTILITY/TRASH ROOM	LOBBY	RETAIL (SF)	STAIR ELEVATOR	CYMS(S)	TERRACE(S)	BALCONY	GROSS AREA(SF)
BASEMENT	0	0	0	21129									21129
1ST FLOOR	4	8	12	7292	871	1185	886	3874	954				7292
2ND FLOOR	4	8	12										1306
3RD FLOOR	3	7	10								1904	310	1306
4TH FLOOR	3	5	8							653	1955	86	3710
5TH FLOOR	3	5	8								454	288	3710
6TH FLOOR	3	5	8								454	288	3710
TOTAL	17	38	55	50							3770	6879	6879

Note: parking was included from the gross area calculation

TOWNHOMES			SINGLE FAMILY HOMES		COMMON SPACE CALCULATION	
FLOOR LEVEL	AREA CALCULATION PER FLOOR	TOTAL IN FLOOR	FLOOR LEVEL	AREA (SF)	COMMUNITY ROOM	GYM
RESIDENTIAL	UNITS	3,330	1ST FLOOR	1007	871	653
1/40	UNITS	520	2ND FLOOR	979		
RESIDENTIAL	UNITS	2,500	3RD FLOOR	969		
(TOWNHOME)	BALCONY	156	4TH FLOOR	969		
2ND FLOOR			5TH FLOOR	969		
			6TH FLOOR	969		
			1341 HOMESTEAD	1050		
			LEVEL 1	1050		
			TOTAL	5204		
			TOTAL RESIDENTIAL AREA	6,270		
			TOTAL PRIVATE BALCONY/TERRACE AREA	627		

PARKING ANALYSIS				NOTE
	REQUIRED	PROVIDED		
RESIDENTIAL				
TOWNHOME	NOT REQUIRED PER AB 2097	0	67	PROVIDED ON BASEMENT, 1 HC PROVIDED ON GROUND FLOOR, TOTAL 68 PROVIDED, 7 FOR THE 69 SPACES ARE ALLOCATED FOR GUEST PARKING
CONDOMINIUM	NOT REQUIRED PER AB 2097	0	69	
1341 HOMESTEAD RD	NOT REQUIRED PER AB 2097	0		
TOTAL FOR RESIDENTIAL			69	
VAN ACCESSIBLE	1	1		PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL PARKING
ACCESSIBLE	1	1		
REQUIRED LEVEL 2 EV READY (TOTAL 55 UNITS)	1 FOR EACH FIRST 20 UNITS	20	20	
	1 FOR EACH OF 35 UNITS	35	35	
1 LOW POWER LEVEL 2 FOR 25% OF 35 UNITS	27	27	27	PROVIDED BY AUTOMATED PARKING SYSTEM IN BASEMENT
TOTAL NUMBER OF LEVEL 2 EV READY	29	29	29	
TOTAL NUMBER OF LOW POWER LEVEL 2 EV READY	27	27	27	
SINGLE FAMILY HOMES				
930 MONROE ST	NOT REQUIRED PER AB 2097	0	2	2-CAR GARAGE ON GROUND
906 MONROE ST	NOT REQUIRED PER AB 2097	0	1	1-CAR GARAGE ON GROUND
REQUIRED BIKE PARKING				
REQUIRED CLASS 1 PER CITY ACTION PLAN	54	54		PROVIDED IN BALCONY WITH 100% OUTLETS
REQUIRED CLASS 1 PER CITY COMMENTS	4	6		PROVIDED ON GROUND FLOOR
COMMERCIAL				
TOTAL COMMERCIAL PARKING PROVIDED	NOT REQUIRED PER AB 2097	0	5	5 PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
VAN ACCESSIBLE	1	1		PROVIDED ON GROUND FLOOR
CLEAR AIR VEHICLES	1	1		PROVIDED ON GROUND FLOOR
VAN HC VEHICLES	1	1		PROVIDED ON GROUND FLOOR
REQUIRED BIKE PARKING				
REQUIRED CLASS 1 PER CITY COMMENTS	1	2		GROUND FLOOR NEXT TO PARKING
REQUIRED CLASS 1 PER CITY COMMENTS	4	4		PROVIDED ON GROUND FLOOR
COMBINED TOTAL AUTOMOBILE PARKING SPACES			83	
COMBINED TOTAL BIKE PARKING SPACES			66	
NOTES				
1. OF THE AUTOMOBILE PARKING SPACES 56 OF THE BIKE PARKING SPOTS ARE EV READY.				
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BEYOND PARKING AREA WHICH CONTAINS 24 SPACES.				
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 1 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.				



SHEET NAME:

COVER SHEET

REVISIONS	BY

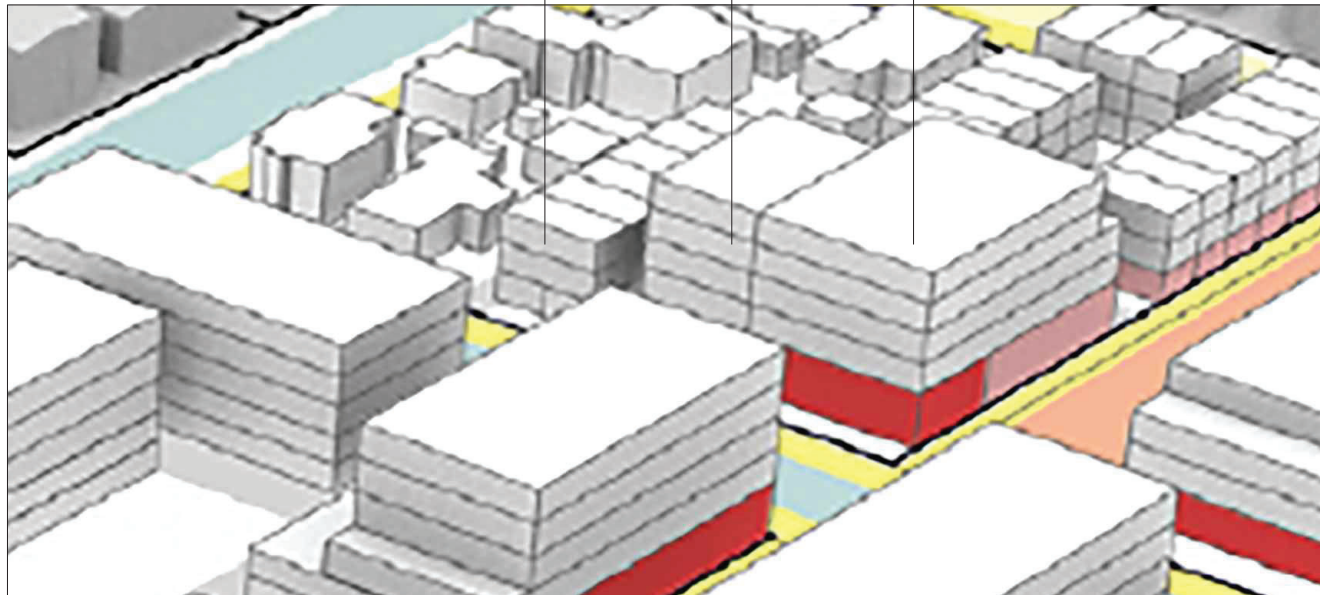
DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/16"=1'-0"
JOB No.: 19.10.07
SHEET No.:



VIEW FROM MONROE ST

3 STORY 4 STORY 6 STORY

3 STORY 6 STORY 6 STORY



URBAN FORM FRAMEWORK

AS SHOWN ON PAGE 45 OF THE SANTA CLARA DOWNTOWN
 PRECISE PLAN

PROJECT :

SANTA CLARA
 DOWNTOWN
96330/040200 MONROE ST
 SANTA CLARA, CA 95050
 &
1241 BOWEN ST. #100
 SANTA CLARA, CA 95050

GENERAL NOTES :

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SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN:	
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DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	18-10-07
SHEET No.:	



VIEW FROM MONROE ST



INDOOR OUTDOOR CONNECTIONS
 AS SHOWN ON PAGE 85 OF THE SANTA CLARA
 DOWNTOWN PRECISE PLAN



INDOOR OUTDOOR CONNECTIONS
 WITH SIDEWALK AND PARK STRIP PER SANTA CLARA
 DOWNTOWN PRECISE PLAN

PROJECT :

**SANTA CLARA
 DOWNTOWN**
1540 CALIFORNIA MONROE ST
 SANTA CLARA, CA 95050
 &
 1541 HUNTINGFIELD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

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2. THIS SHEET IS NOT FOR CONSTRUCTION AND THE ARCHITECT'S FIRM IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THIS PROJECT.
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SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	

PROJECT :

**SANTA CLARA
 DOWNTOWN**
1500 CALIFORNIA AVENUE, ST
 SANTA CLARA, CA 95050
 &
 1541 HUNTINGFIELD RD,
 SANTA CLARA, CA 95050

GENERAL NOTES :

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SHEET NAME :

RENDERING

REVISIONS	BY

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DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	



VIEW FROM MONROE ST

PROJECT :

**SANTA CLARA
 DOWNTOWN**
RECONSTRUCTION MONROE ST
 SANTA CLARA, CA 95050
 1541 HORNSTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

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4. APPROVED BY ARCHITECT: SALVATORE CARUSO

SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	



VIEW FROM MONROE ST



VIEW FROM HOMESTEAD RD

PROJECT :

SANTA CLARA
 DOWNTOWN
 WASHINGTON MONROE ST
 SANTA CLARA, CA 95050
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

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4. APPROVED BY ARCHITECT SALVATORE CARUSO

SHEET NAME :

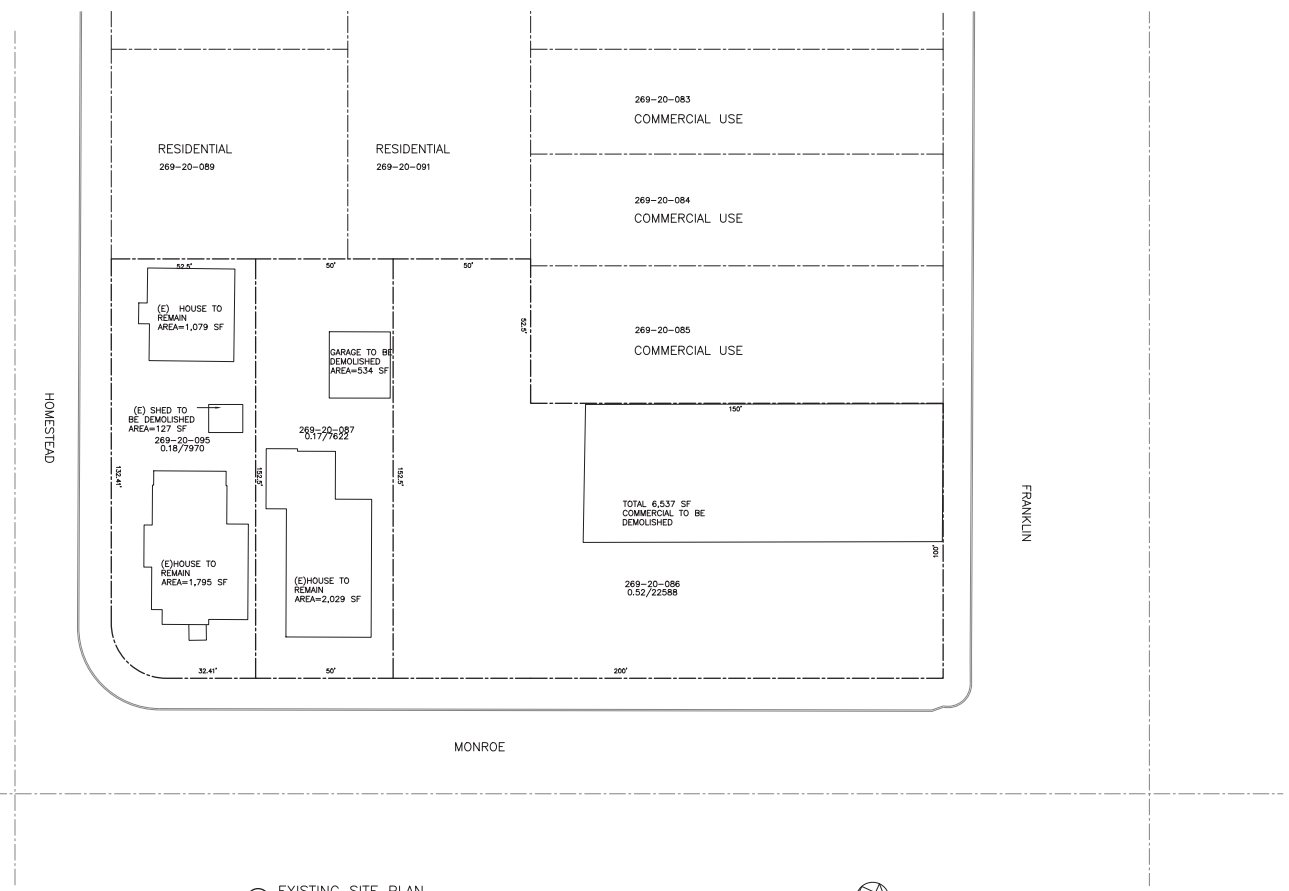
RENDERING

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	

PROJECT :
SANTA CLARA DOWNTOWN
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

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 3. APPROVED BY ARCHITECT: SALVATORE CARUSO



1 EXISTING SITE PLAN SCALE: 1/16"=1'-0"

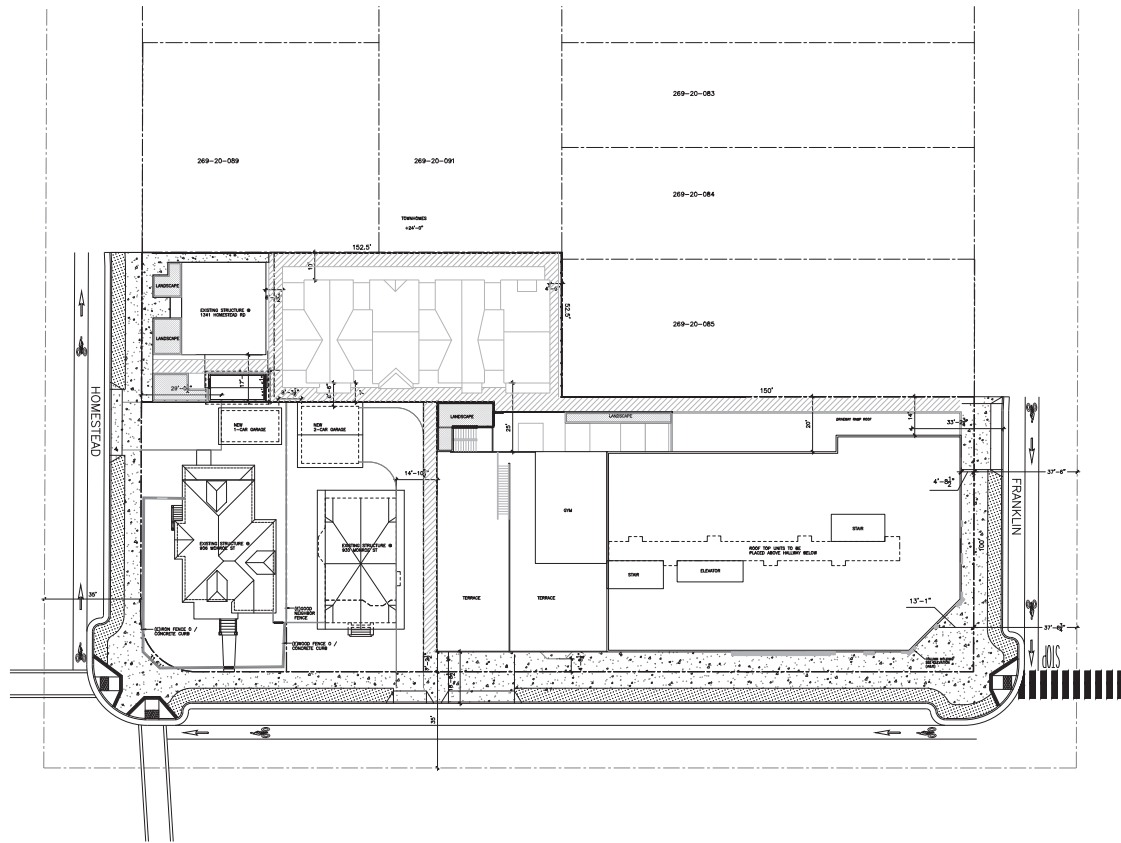
SHEET NAME :
 EXISTING SITE PLAN

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2003
SCALE: 1/16"=1'-0"
JOB No.: 19.10.07
SHEET No.:

PROJECT :
**SANTA CLARA
 DOWNTOWN**
WASHINGTON MONROE ST
 SANTA CLARA, CA 95050
 1511 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
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 3. APPROVED BY ARCHITECT: SALVATORE CARUSO



1 PROPOSED SITE PLAN SCALE: 1/16"=1'-0"

SHEET NAME :
**PROPOSED
 SITE PLAN**

REVISIONS	BY

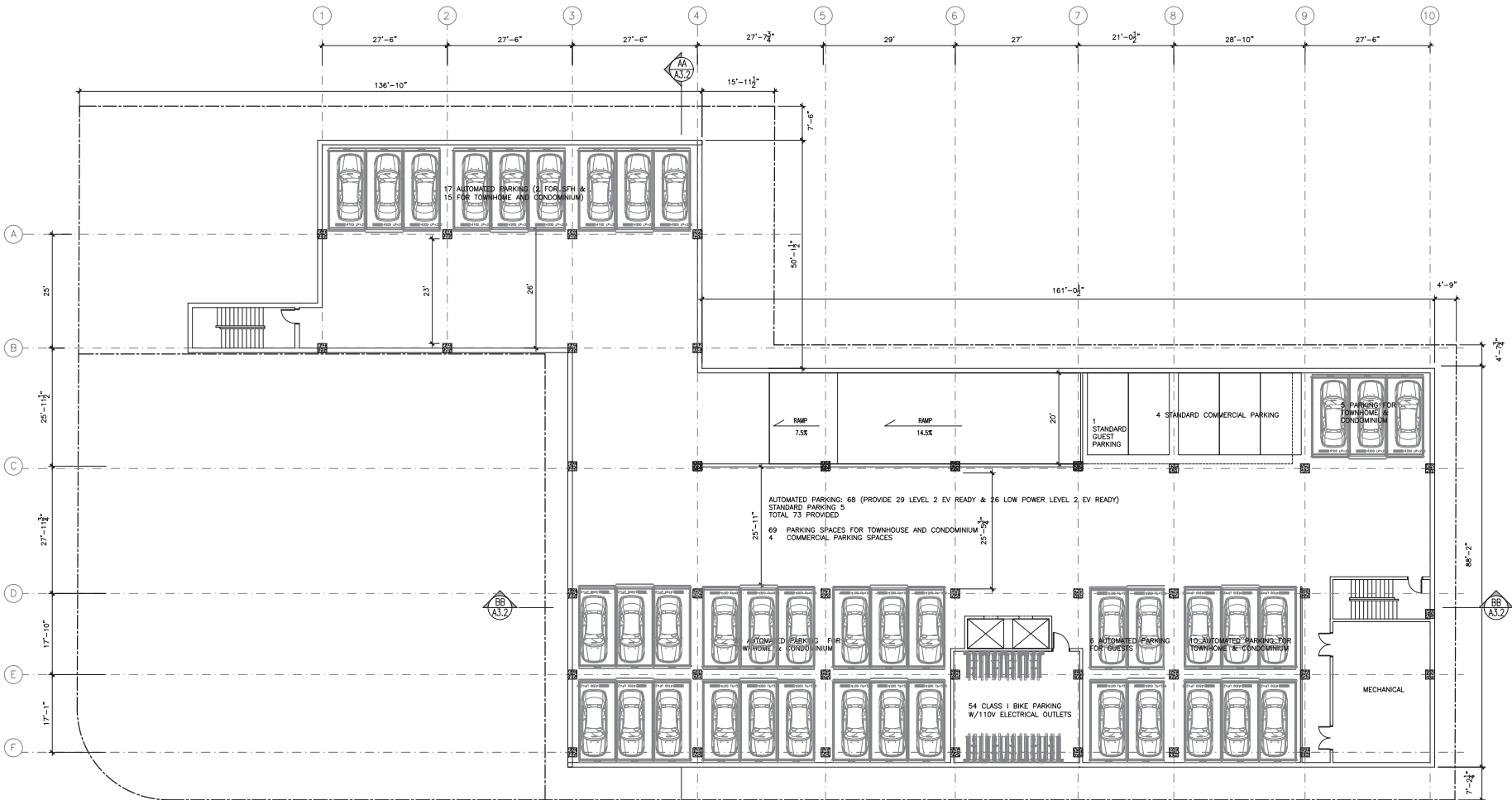
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 CHECKED: 05/17/2023
 DATE: 1/16"=1'-0"
 SCALE: 19.10.07
 SHEET No.:

PROJECT:

SANTA CLARA DOWNTOWN
 WASHINGTON WILCOX ST
 SANTA CLARA, CA 95050
 &
 1541 HOMESTEAD DR.
 SANTA CLARA, CA 95050

GENERAL NOTES:

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2. THE SHEET IS TO BE USED IN CONJUNCTION WITH THE SHEETS OF THIS PROJECT SET IN THE SET.
3. THE USER SHALL VERIFY THE DIMENSIONS OF THE APPLICABLE AREAS AND THE NUMBER OF SPACES IN THE PROJECT'S DRAWING.
4. APPROVED - OR EXHAUSTED - UNDER OTHER CODES.



1 PROPOSED BASEMENT PLAN

SCALE: 1/16"=1'-0"

PARKING ANALYSIS			
	REQUIRED	PROVIDED	NOTE
RESIDENTIAL			
TOWNHOME	NOT REQUIRED PER AB 2007	0	67 PROVIDED IN BASEMENT, 2 ARE PROVIDED ON GROUND FLOOR, TOTAL 69 PROVIDED. 7 OF THE SPACES ARE ALLOCATED FOR GUEST PARKING.
CONDOMINIUM	NOT REQUIRED PER AB 2007	0	
1341 HOMESTEAD RD	NOT REQUIRED PER AB 2007	0	
TOTAL FOR RESIDENTIAL		69	
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL PARKING
ACCESSIBLE	1	1	
REQUIRED LEVEL 2 EV READY (TOTAL 55 UNITS)	1 FOR EACH FIRST 30 UNITS	20	20
	1 FOR 25% OF 30 UNITS	8	8
TOTAL NUMBER OF LEVEL 2 EV READY	1 LOW POWER LEVEL 2 FOR 75% OF 30 UNITS	27	27
		30	30
TOTAL NUMBER OF LOW POWER LEVEL 2 EV READY		27	27
SINGLE FAMILY HOUSE			
500 MONROE ST	NOT REQUIRED PER AB 2007	0	2
500 MONROE ST	NOT REQUIRED PER AB 2007	0	1
			2-CAR GARAGE ON GROUND
			1-CAR GARAGE ON GROUND
REQUIRED BIKE PARKING			
REQUIRED CLASS 1 PER CITY ACTION PLAN	54	54	PROVIDED IN BASEMENT WITH 110V OUTLETS
REQUIRED CLASS 1 PER CITY COMMENTS	4	6	PROVIDED ON GROUND FLOOR
COMMERCIAL			
TOTAL COMMERCIAL PARKING PROVIDED	NOT REQUIRED PER AB 2007	0	9
VAN ACCESSIBLE	1	1	5 PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
CLEAN AIR VEHICLES	1	1	PROVIDED ON GROUND FLOOR
VAN/HC EYES	1	1	PROVIDED ON GROUND FLOOR
REQUIRED BIKE PARKING			
REQUIRED CLASS 1 PER CITY COMMENTS	1	2	GROUND FLOOR NEXT TO PARKING
REQUIRED CLASS 1 PER CITY COMMENTS	4	4	PROVIDED ON GROUND FLOOR
COMBINED TOTAL AUTOMOBILE PARKING SPACES		81	
COMBINED TOTAL BIKE PARKING SPACES		60	
NOTES			
1. OF THE AUTOMOBILE PARKING SPACES 56 OF THE 81 PARKING SPOTS ARE EV READY.			
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BIKE PARKING AREA WHICH CONTAINS 54 BIKES.			
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 2 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.			

SHEET NAME:

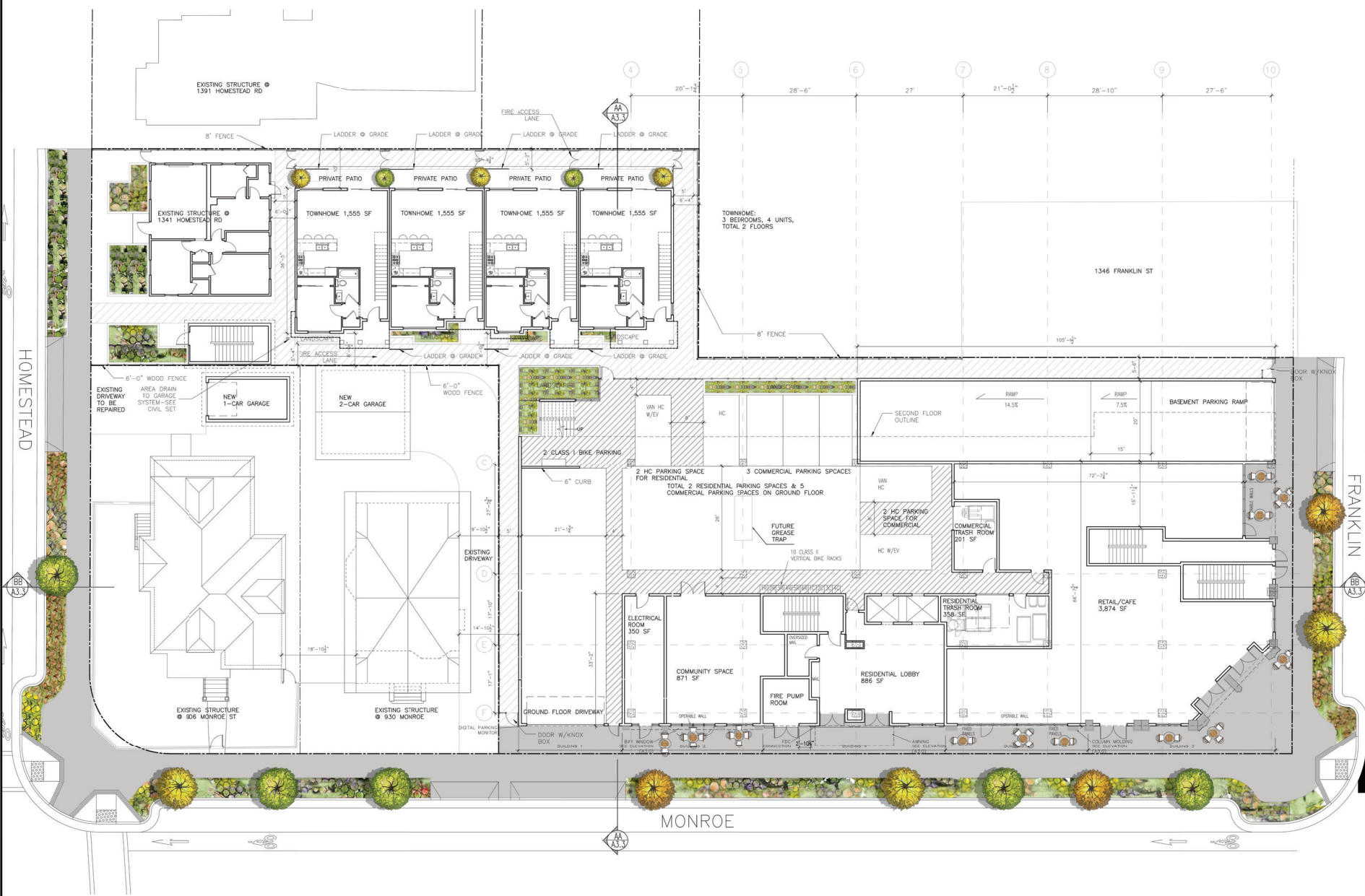
PROPOSED BASEMENT PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
 1346 FRANKLIN MONROE ST
 SANTA CLARA, CA 95050
 1341 HOMESTEAD RD.
 SANTA CLARA, CA 95050

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 2. THE SHEET IS NOT FOR CONSTRUCTION AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL THE NECESSARY PERMITS.
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL THE NECESSARY PERMITS.
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL THE NECESSARY PERMITS.
 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL THE NECESSARY PERMITS.

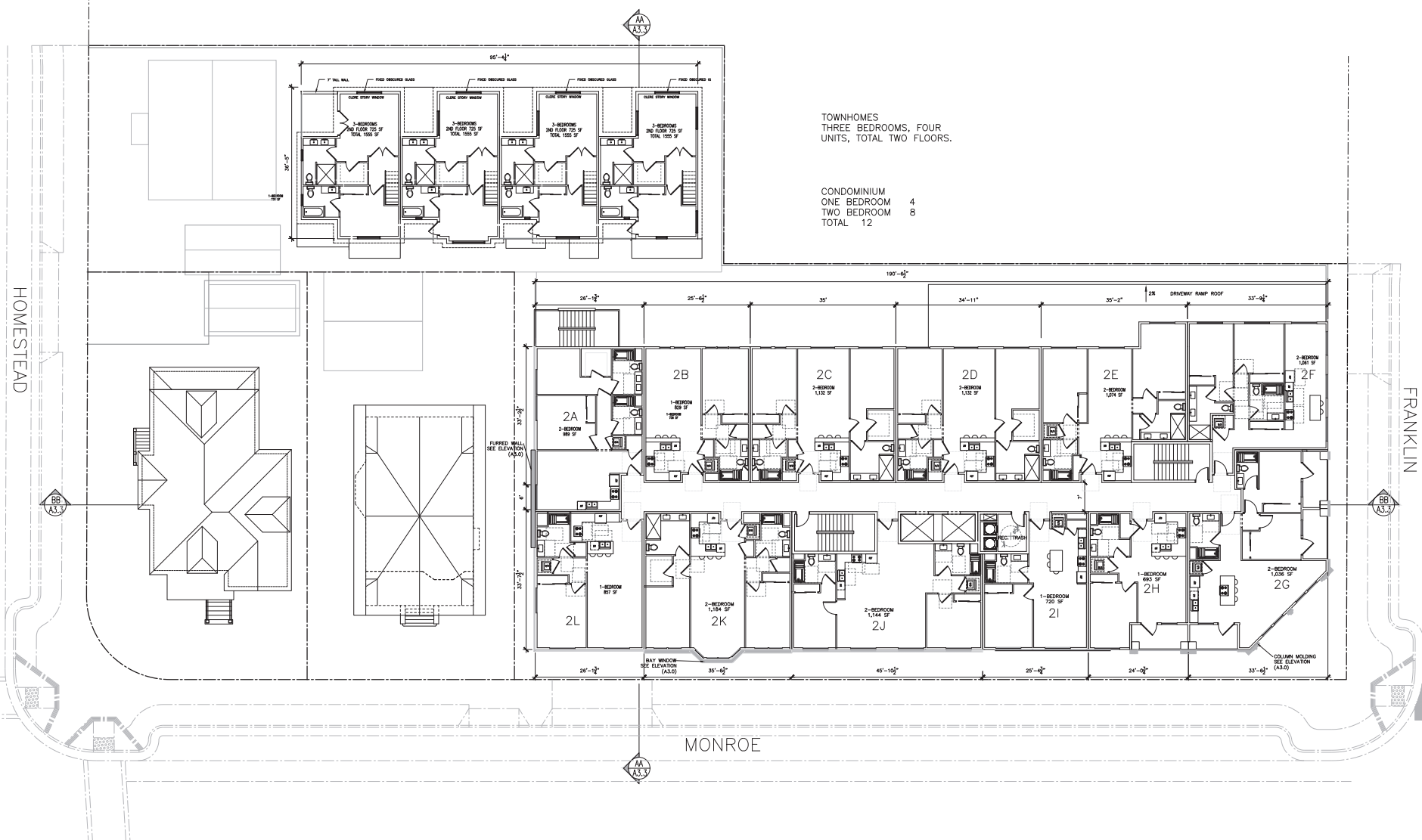


1 PROPOSED 1ST FLOOR PLAN SCALE : 1/8"=1'-0"

SHEET NAME :
PROPOSED
1ST FLOOR PLAN

REVISIONS	BY

DRAWN:
CHECKED: 05/17/2023
DATE: 1/28"=1'-0"
SCALE: 18.10.07
SHEET No.:



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

1 PROPOSED 2ND FLOOR PLAN

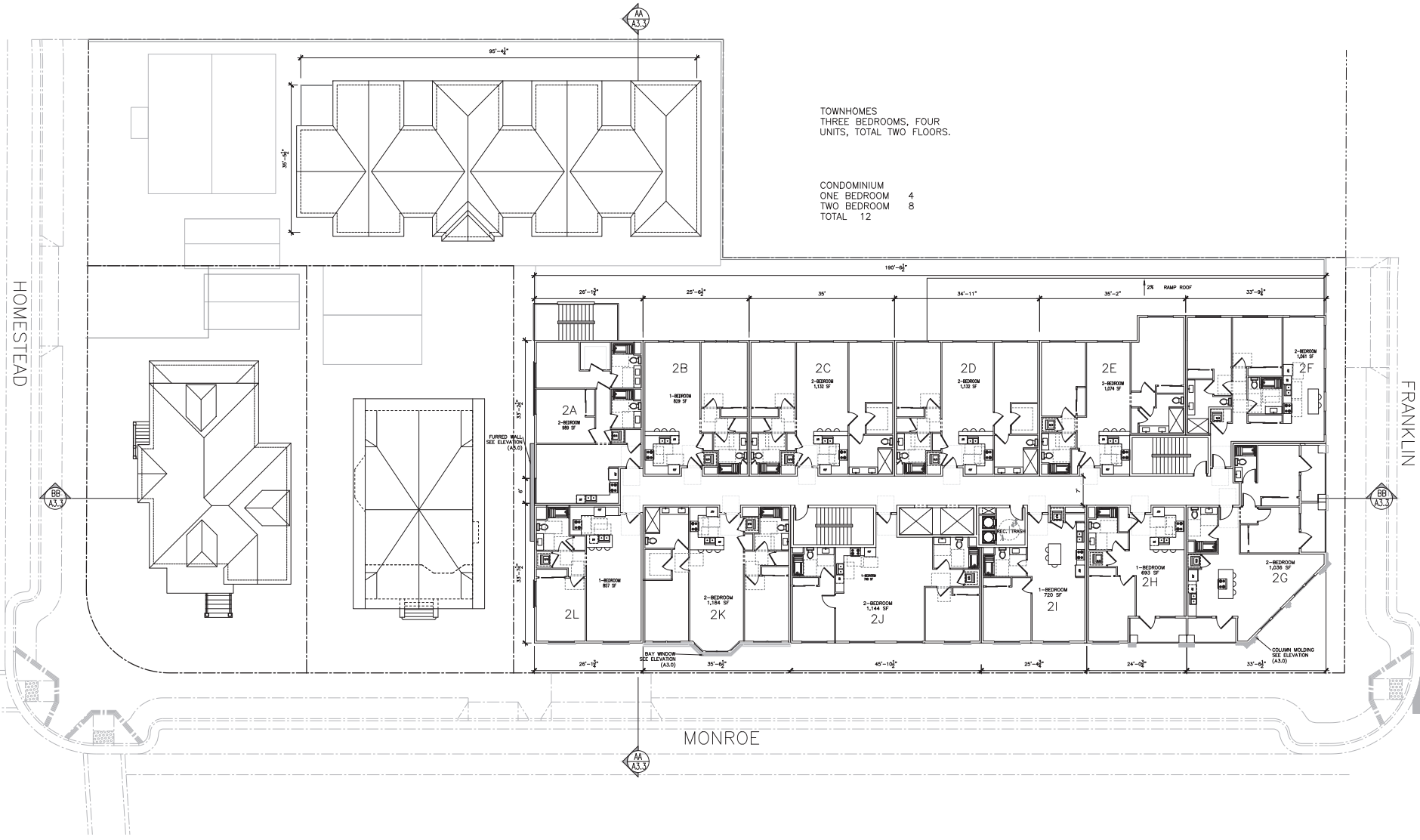
SCALE: 1/8"=1'-0"

SHEET NAME :
 PROPOSED
 2ND FLOOR PLAN

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 19.10.07
SHEET No.:

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 3. THIS PLAN IS FOR THE WORK OF THE ARCHITECT AND NOT FOR THE WORK OF OTHER PROFESSIONALS.
 4. APPROVED BY ARCHITECT: SALVATORE CARUSO



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

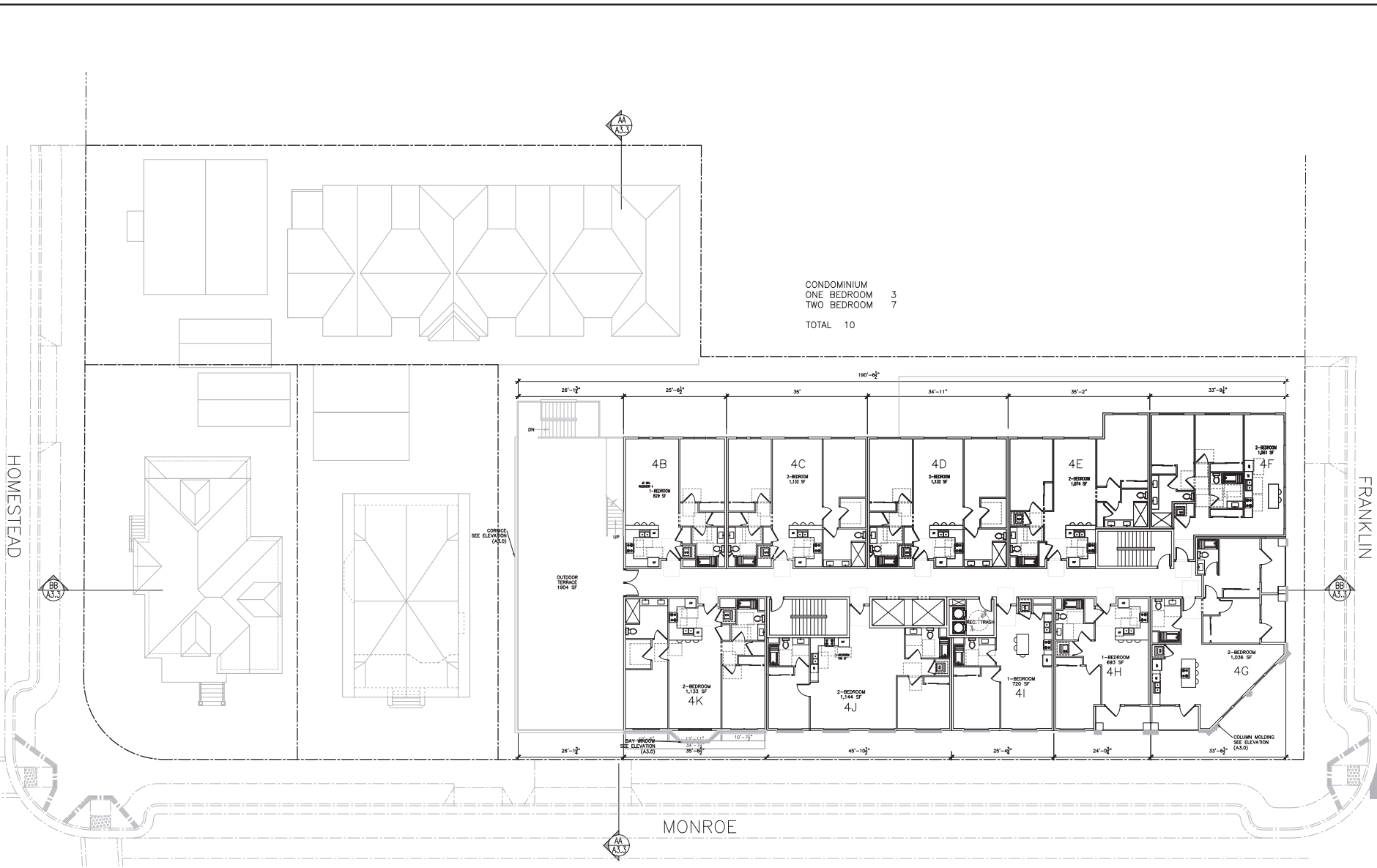
CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

1 PROPOSED 3RD FLOOR PLAN SCALE: 1/8"=1'-0"

SHEET NAME:
 PROPOSED
 3RD FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 7
 TOTAL 10

HOMESTEAD

FRANKLIN

MONROE

1 PROPOSED 4TH FLOOR PLAN SCALE: 1/8"=1'-0"

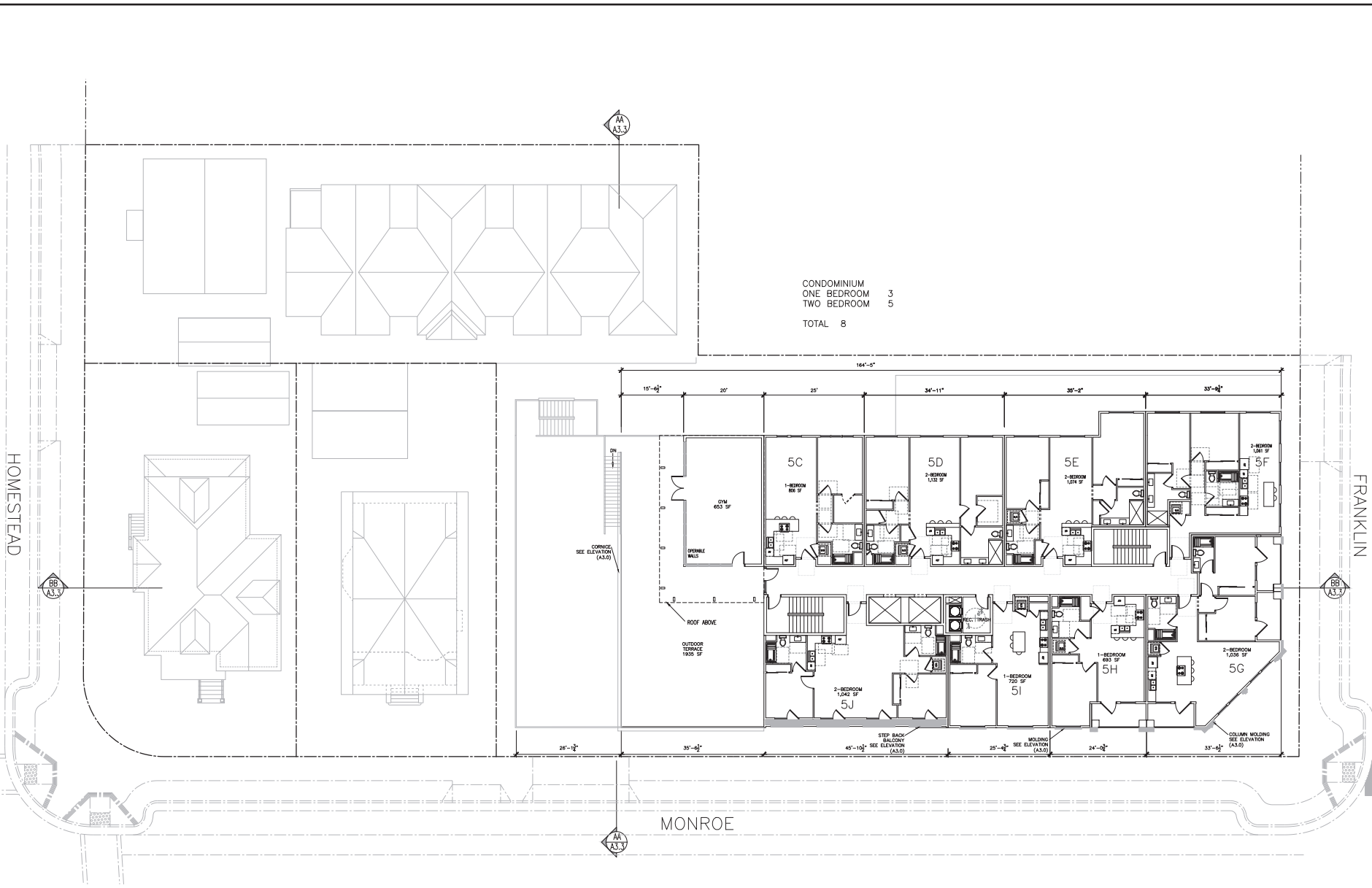
SHEET NAME:
 PROPOSED
 4TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT:
SANTA CLARA DOWNTOWN
 1640 CALIFORNIA AVENUE ST
 SANTA CLARA, CA 95050
 15th HOMESTEAD RD.
 SANTA CLARA, CA 95050

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 4. APPROVED BY ARCHITECT (SEE SIGNATURE)



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8

1 PROPOSED 5TH FLOOR PLAN SCALE: 1/8"=1'-0"

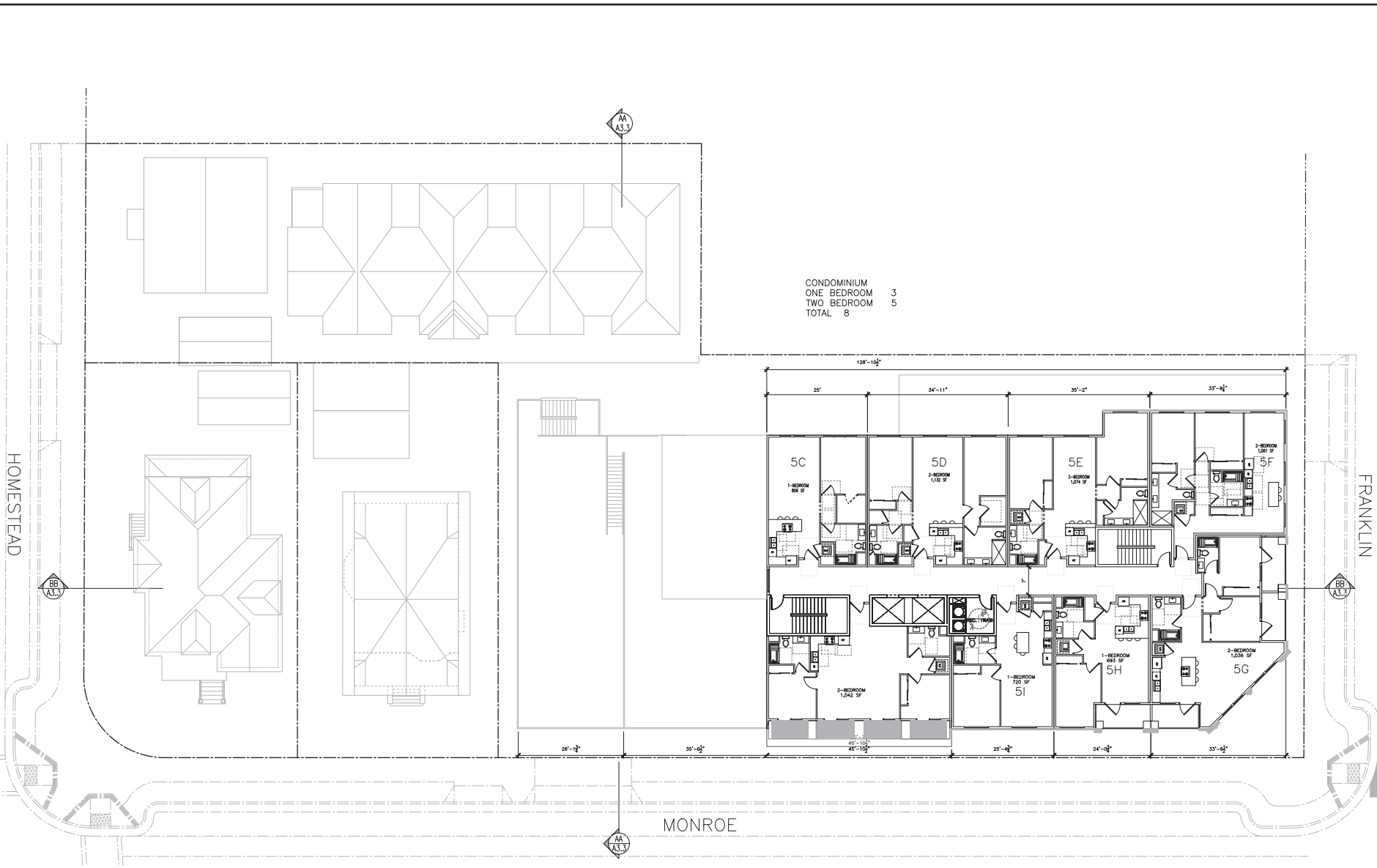
SHEET NAME:
PROPOSED 5TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT:
SANTA CLARA DOWNTOWN
 1511 HOMESTEAD RD
 SANTA CLARA, CA 95050

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 3. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 4. APPROVED BY: SALVATORE CARUSO, ARCHITECT



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8

HOMESTEAD

FRANKLIN

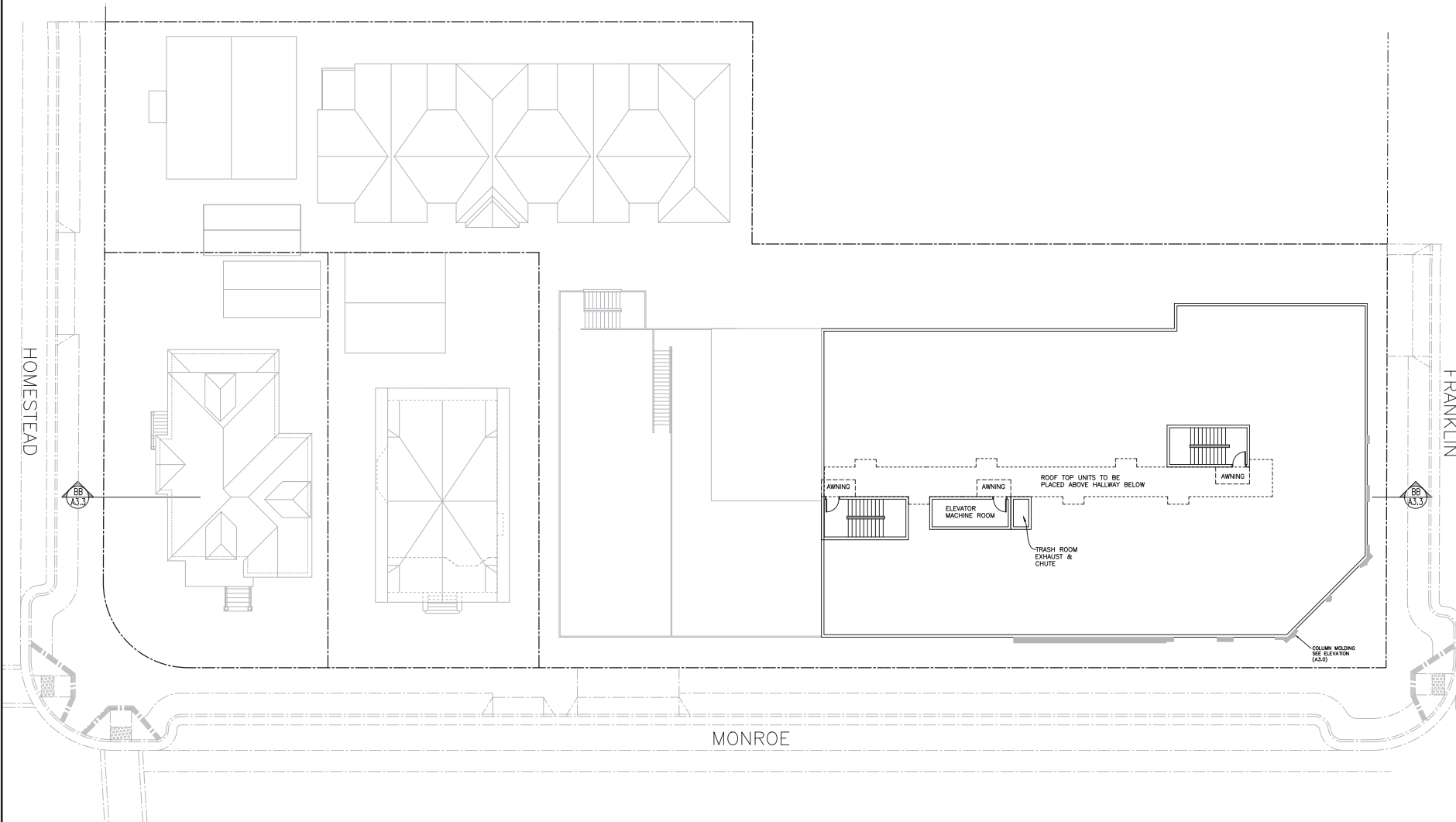
MONROE

1 PROPOSED 6TH FLOOR PLAN SCALE: 1/8"=1'-0"

SHEET NAME:
 PROPOSED
 6TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 1/8"=1'-0"
 SCALE: 19.10.07
 SHEET No.:



① PROPOSED ROOF PLAN SCALE: 1/8"=1'-0"

SHEET NAME :

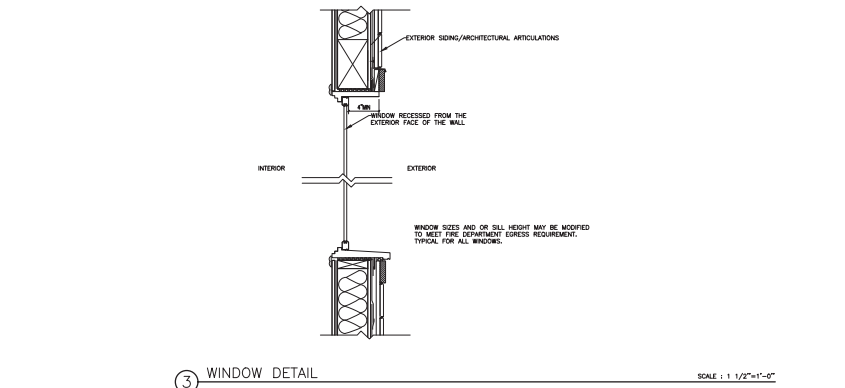
PROPOSED
ROOF PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	19-10-07
SHEET No.:	

PROJECT:
SANTA CLARA DOWNTOWN
 945 DOWNTOWN MONROE ST
 SANTA CLARA, CA 95050
 &
 1541 HUNTERSLEIGH DR.
 SANTA CLARA, CA 95050

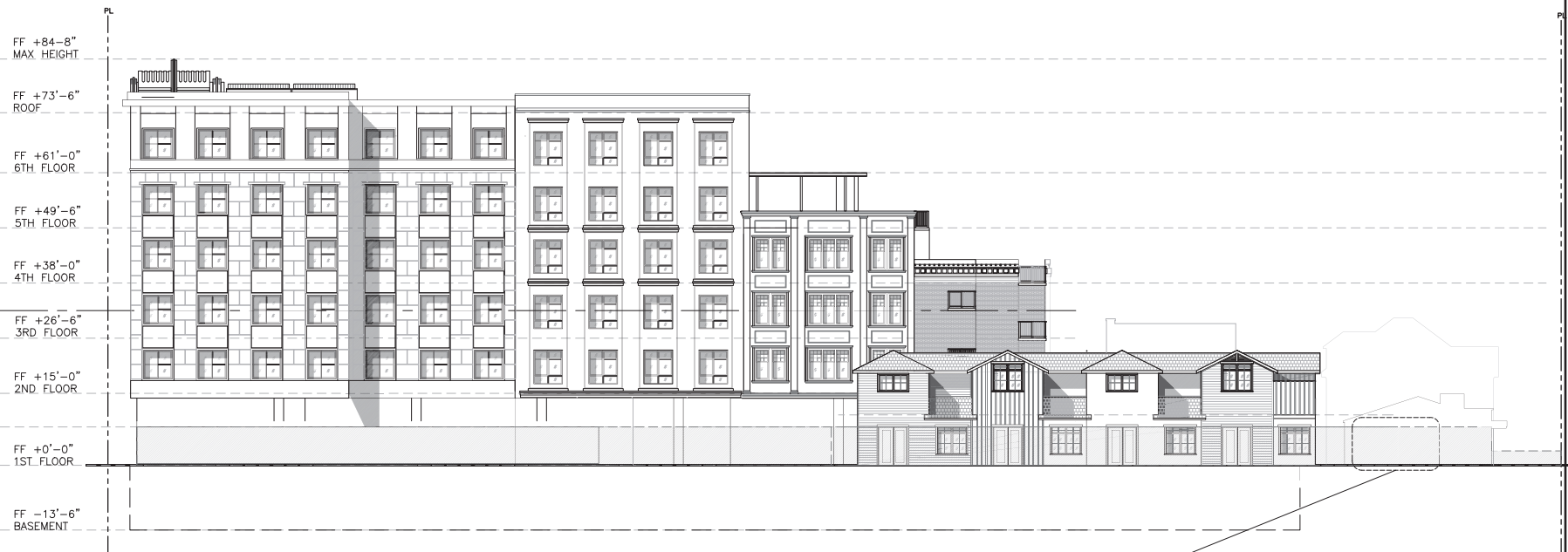
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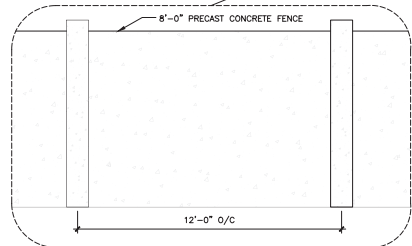
SHEET NAME:
PROPOSED ELEVATIONS

REVISIONS	BY

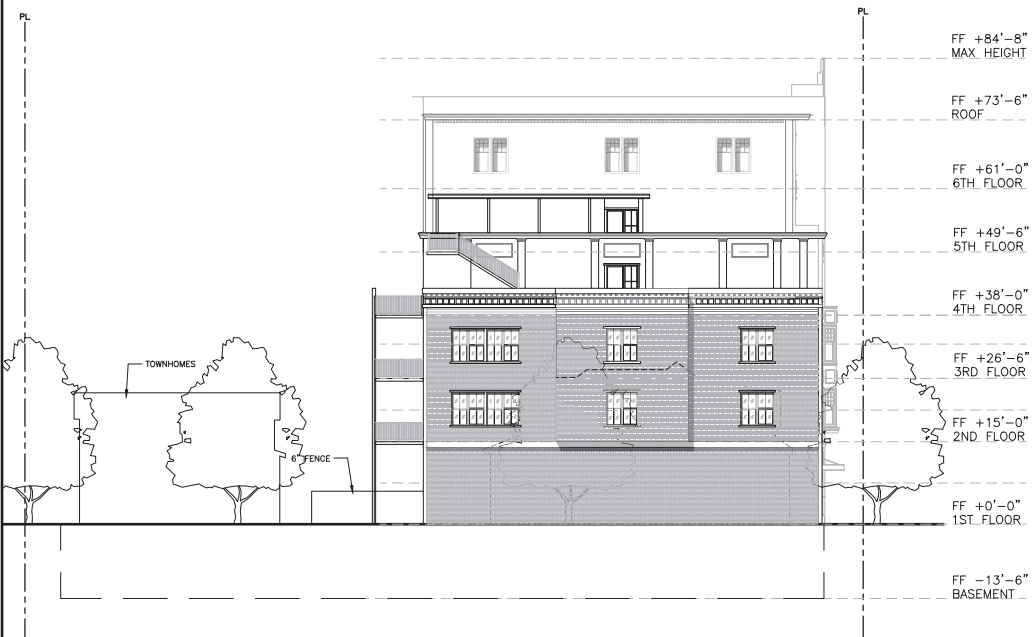
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 CHECKED: 05/17/2023
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19-10-07
 SHEET No.:



② PROPOSED WEST ELEVATION SCALE: 1/8"=1'-0"



② PRECAST CONCRETE FENCE SCALE: 1/2"=1'-0"



① PROPOSED SOUTH ELEVATION (HOMESTEAD) SCALE: 1/8"=1'-0"



SHEET NAME :

PROPOSED ELEVATIONS

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	19.10.07
SHEET No.:	

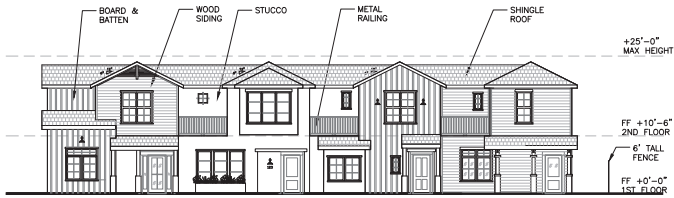
PROJECT :
SANTA CLARA DOWNTOWN
 1541 HORNSTEAD DR. SANTA CLARA, CA 95050

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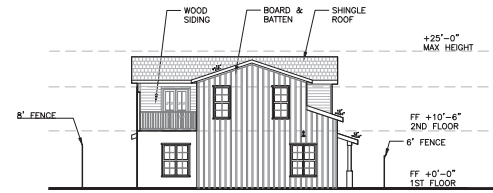
SHEET NAME :
PROPOSED TOWNHOME ELEVATIONS

REVISIONS	BY

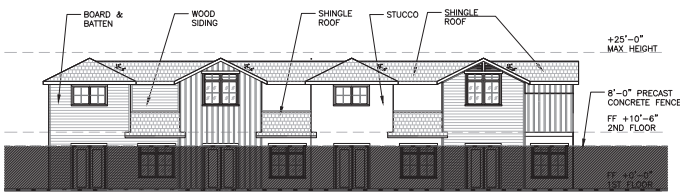
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 DATE: 05/17/2023
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 JOB No.: 18.10.07
 SHEET No.:



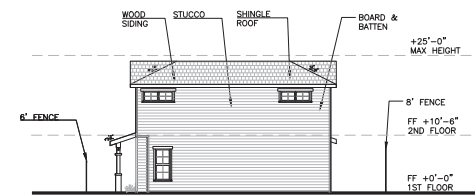
① TOWNHOMES PROPOSED EAST ELEVATION SCALE : 1/8"=1'-0"



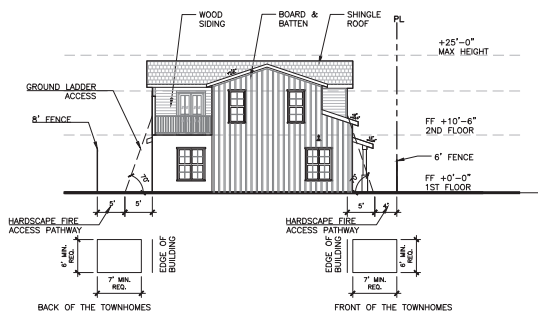
② TOWNHOMES PROPOSED SOUTH ELEVATION SCALE : 1/8"=1'-0"



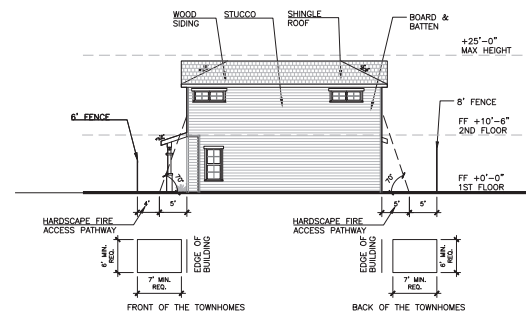
③ TOWNHOMES PROPOSED WEST ELEVATION SCALE : 1/8"=1'-0"



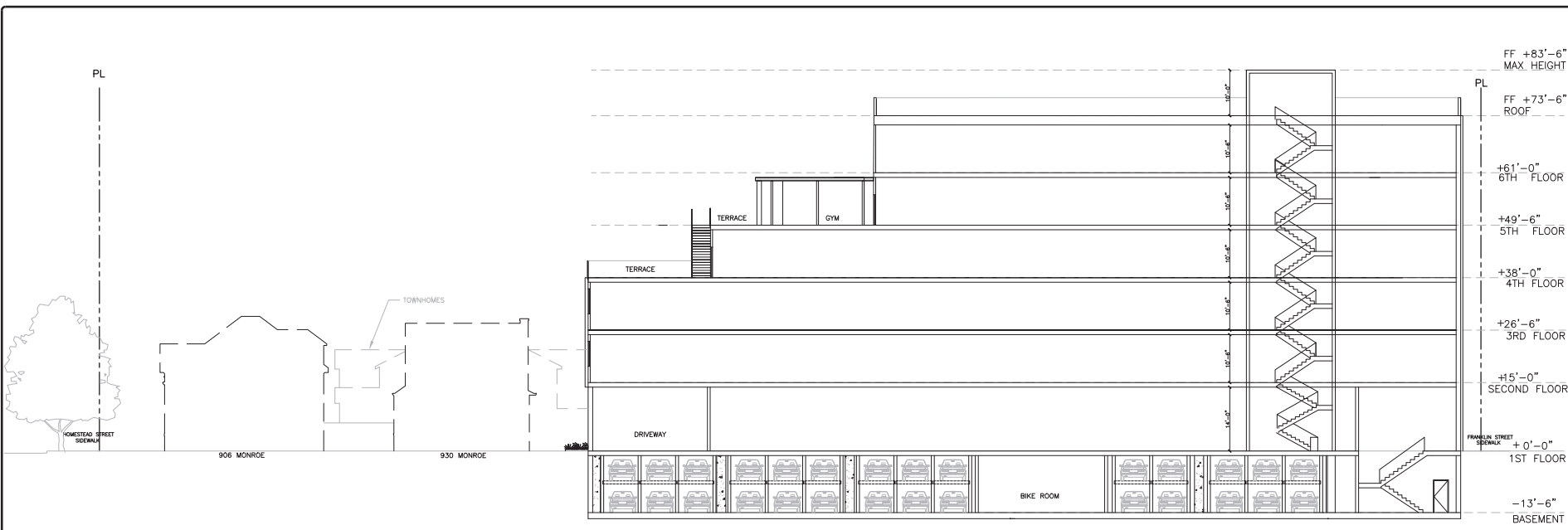
④ TOWNHOMES PROPOSED NORTH ELEVATION SCALE : 1/8"=1'-0"



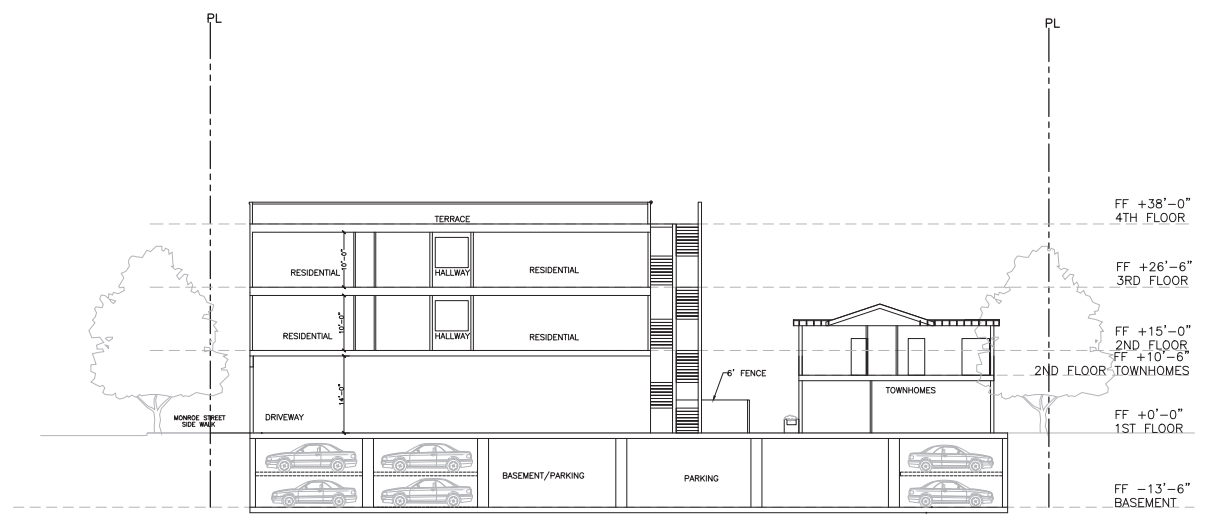
⑤ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"



⑥ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"



PROPOSED SECTION B-B
SCALE: 1/8"=1'-0"



PROPOSED SECTION A-A
SCALE: 1/8"=1'-0"

SHEET NAME :

SECTIONS

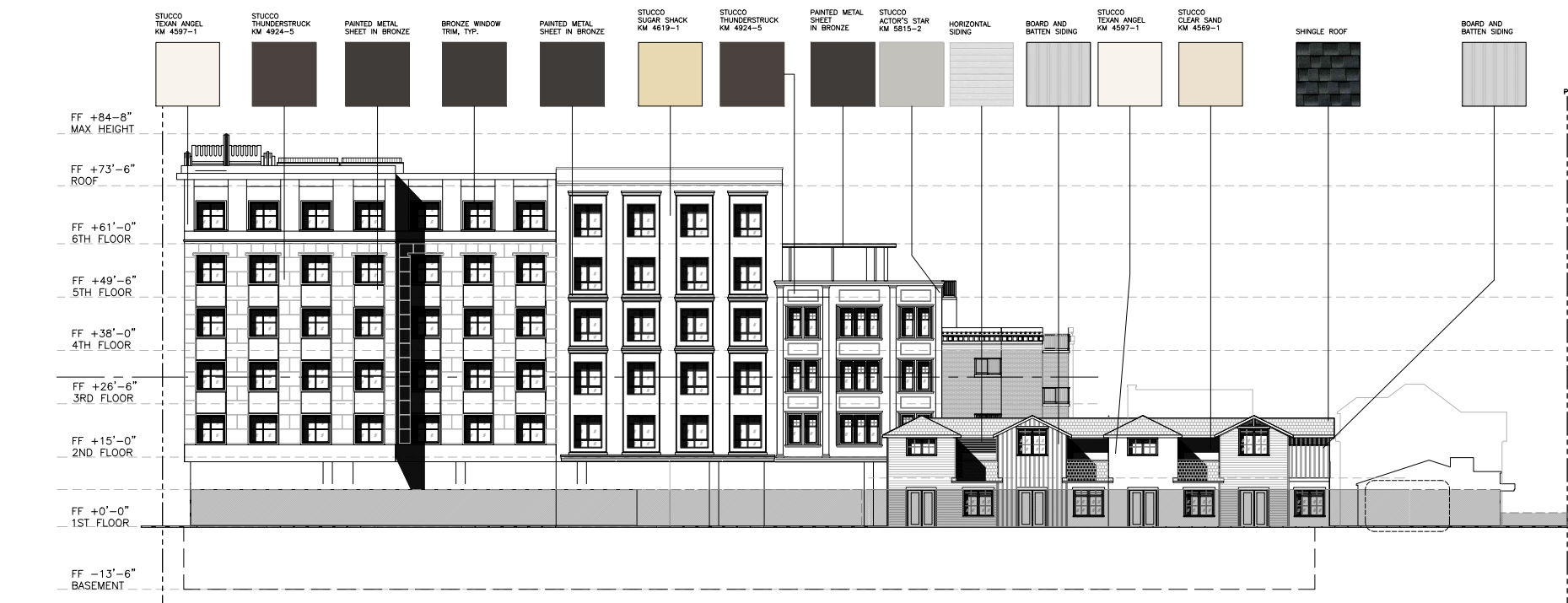
REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	19.10.07
SHEET No.:	



② PROPOSED EAST ELEVATION (MONROE)

SCALE : 1/8"=1'-0"



① PROPOSED WEST ELEVATION

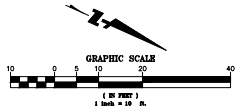
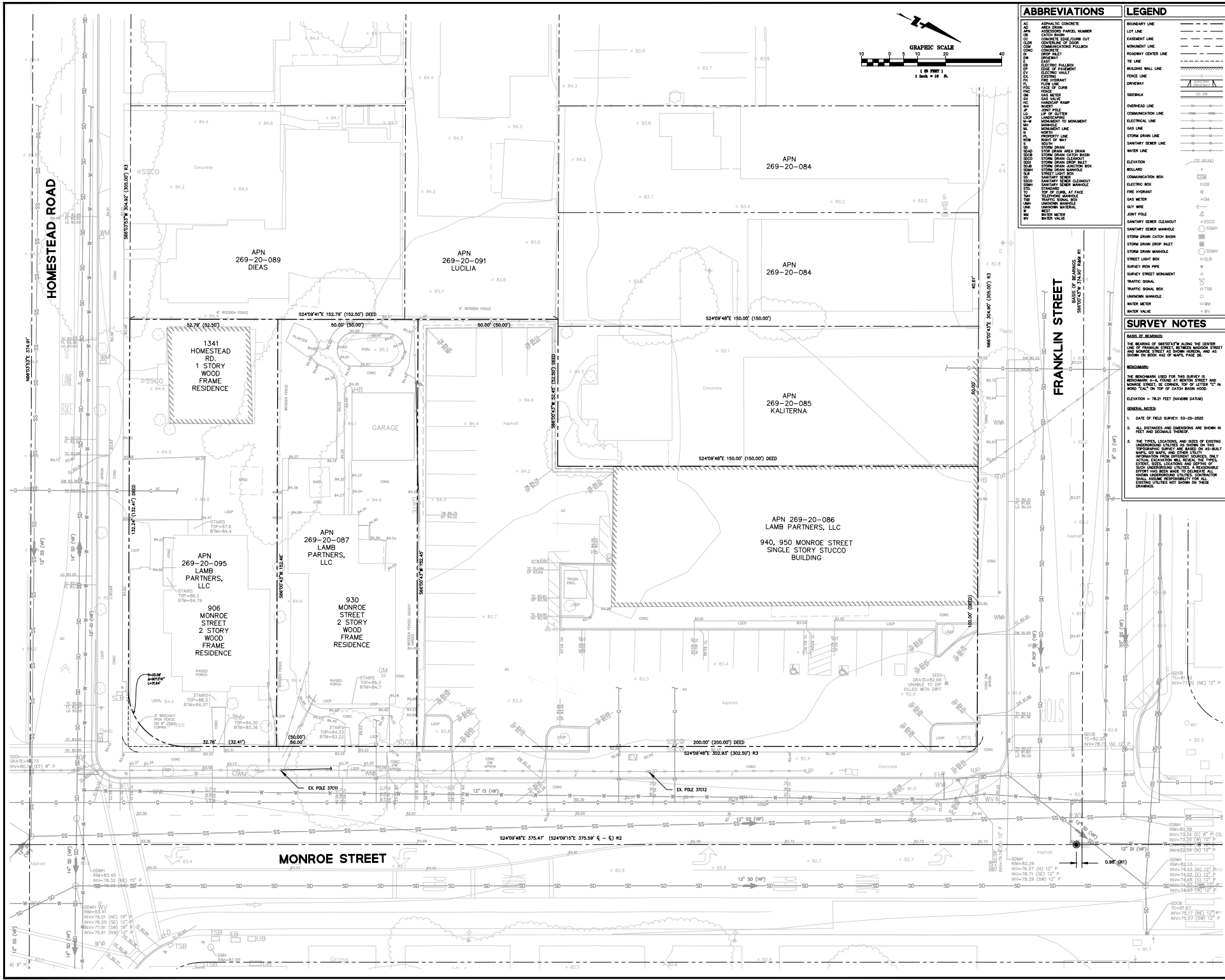
SCALE : 1/8"=1'-0"

SHEET NAME :

MATERIAL BOARD
(FOR REFERENCE)

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 19.10.07
SHEET No.:



ABBREVIATIONS	LEGEND
AC ASPHALTIC CONCRETE	BOUNDARY LINE
AD ASSOCIATED PARCEL NUMBER	LOT LINE
CC CONCRETE	EASEMENT LINE
CCO CONCRETE FOOT CURB OUT	MONUMENT LINE
CCD CONCRETE DRIVE	ROADWAY CENTER LINE
CCP CONCRETE CURB	TE LINE
CCP CONCRETE CURB	ROLLING WALL LINE
CCO CONCRETE DRIVE	FINCH LINE
CCP CONCRETE CURB	CRACKWAY
CCO CONCRETE DRIVE	SEWER/SH
CCP CONCRETE CURB	OVERHEAD LINE
CCO CONCRETE DRIVE	COMMUNICATION LINE
CCP CONCRETE CURB	ELECTRICAL LINE
CCO CONCRETE DRIVE	GAS LINE
CCP CONCRETE CURB	STORM DRAIN LINE
CCO CONCRETE DRIVE	SANITARY SEWER LINE
CCP CONCRETE CURB	WATER LINE
CCO CONCRETE DRIVE	ELEVATION
CCP CONCRETE CURB	ROLLING
CCO CONCRETE DRIVE	CONNECTION BOX
CCP CONCRETE CURB	ELECTRIC BOX
CCO CONCRETE DRIVE	FIRE HYDRANT
CCP CONCRETE CURB	GAS METER
CCO CONCRETE DRIVE	OUT FEE
CCP CONCRETE CURB	JOINT POLE
CCO CONCRETE DRIVE	SANITARY SEWER CLEANOUT
CCP CONCRETE CURB	SANITARY SEWER MANHOLE
CCO CONCRETE DRIVE	STORM DRAIN CATCH BASIN
CCP CONCRETE CURB	STORM DRAIN DROP INLET
CCO CONCRETE DRIVE	STORM DRAIN MANHOLE
CCP CONCRETE CURB	STREET LIGHT FIXTURE
CCO CONCRETE DRIVE	STREET LIGHT MONUMENT
CCP CONCRETE CURB	TRAFFIC SIGNAL
CCO CONCRETE DRIVE	UNKNOWN MANHOLE
CCP CONCRETE CURB	WATER METER
CCO CONCRETE DRIVE	WATER VALVE

SURVEY NOTES

BASELINE BEARINGS
THE BEARINGS OF 940/940' ALONG THE CENTER LINE OF FRANKLIN STREET BETWEEN MONROE STREET AND MONROE STREET IS CORRECT, TOP OF LETTER 'C' IN FIGURE 7.54 ON P. 109 OF CDDA BARR BOOK.

REMARKS:
THE REMARKS USED FOR THIS SURVEY IS THE BEARING OF 940/940' ALONG THE CENTER LINE OF FRANKLIN STREET BETWEEN MONROE STREET AND MONROE STREET IS CORRECT, TOP OF LETTER 'C' IN FIGURE 7.54 ON P. 109 OF CDDA BARR BOOK.

GENERAL NOTES

- DATE OF FIELD SURVEY: 03-29-2020
- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE LEVEL LOCATIONS AND ELEVATIONS OF EXISTING MANHOLE UTILITIES ARE SHOWN ON THIS SURVEY. ALL OTHER UTILITIES ARE SHOWN ONLY WHERE LOCATED AND DEPICTED BY THE EXISTING RECORD PLANS. A PERFORMANCE STANDARD UNDERGROUND UTILITIES CONTRACTOR SHALL VERIFY THE DEPTH OF ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.

BKF ENGINEERS
1730 N. 1ST STREET
SAN JOSE, CA 95112
TEL: 408-261-8100
WWW.BKFENGINEERS.COM

SANTA CLARA COUNTY

SANTA CLARA DOWNTOWN PROJECT
906, 930, 940, & 950 MONROE STREET
EXISTING CONDITIONS

SANTA CLARA COUNTY

No.	Revisions
1	RM=82.29 INV=78.71 (N) 12" P INV=78.71 (S) 12" P INV=78.29 (W) 12" P INV=78.29 (E) 12" P
2	RM=82.29 INV=78.71 (N) 12" P INV=78.71 (S) 12" P INV=78.29 (W) 12" P INV=78.29 (E) 12" P
3	RM=82.29 INV=78.71 (N) 12" P INV=78.71 (S) 12" P INV=78.29 (W) 12" P INV=78.29 (E) 12" P
4	RM=82.29 INV=78.71 (N) 12" P INV=78.71 (S) 12" P INV=78.29 (W) 12" P INV=78.29 (E) 12" P
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9	RM=82.29 INV=78.71 (N) 12" P INV=78.71 (S) 12" P INV=78.29 (W) 12" P INV=78.29 (E) 12" P
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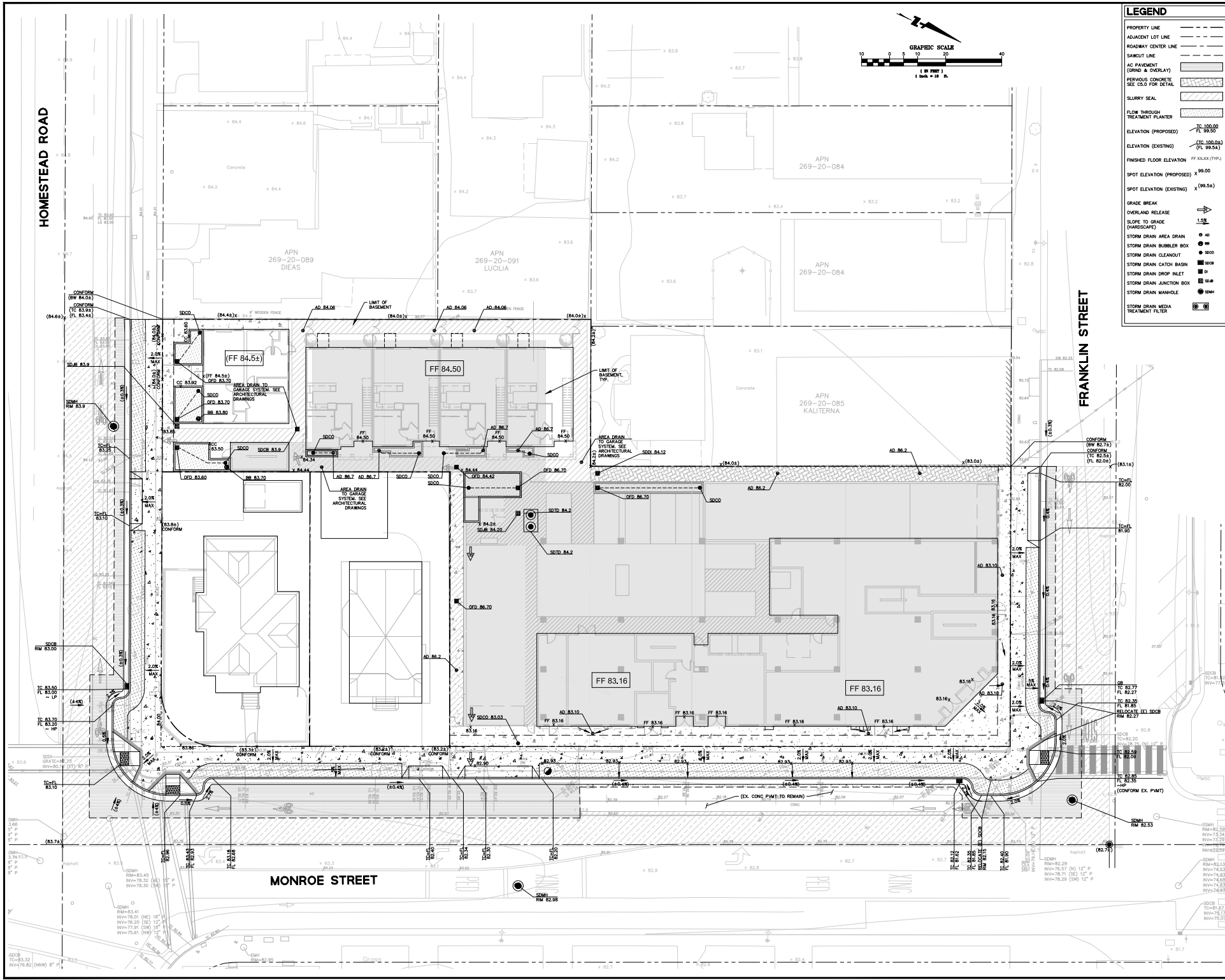
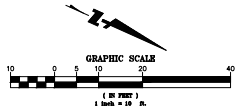
Drawn: AS SHOWN
Checked: JCS
Date: 07/27/2023
Drawing Number: C1.0



SANTA CLARA DOWNTOWN PROJECT
906, 930, 940, & 950 MONROE STREET
PRELIMINARY GRADING AND DRAINAGE PLAN

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- ROADWAY CENTER LINE
- SANICUT LINE
- AC PAVEMENT (GRIND & OVERLAY)
- PREVIOUS CONCRETE (SEE CO-OP FOR DETAIL)
- SLURRY SEAL
- FLOW THROUGH TREATMENT PLANTER
- ELEVATION (PROPOSED) TC 100.00 FL 99.50
- ELEVATION (EXISTING) TC 100.213 FL 99.54
- FINISHED FLOOR ELEVATION FF XXXX (TYPE)
- SPOT ELEVATION (PROPOSED) X 99.00
- SPOT ELEVATION (EXISTING) X (99.54)
- GRADE BREAK
- OVERLAND RELEASE
- SLOPE TO GRADE (HARDSCAPE) 1:5
- STORM DRAIN AREA DRAIN
- STORM DRAIN BUBBLER BOX
- STORM DRAIN CLEANOUT
- STORM DRAIN CATCH BASIN
- STORM DRAIN DROP INLET
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- STORM DRAIN MEDIA TREATMENT FILTER



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/17/2023
2	REVISED PER COMMENTS	07/27/2023

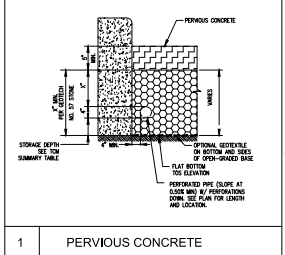
Designer: AS. SHOWN
 Checker: J. SHOWN
 Engineer: J. SHOWN
 License No.: 200000033

Drawing Number: **C3.0**

HOMESTEAD ROAD

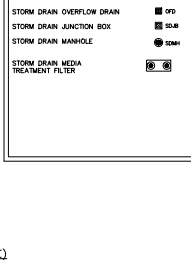
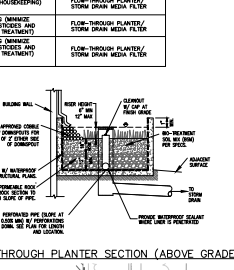
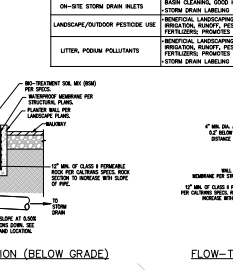
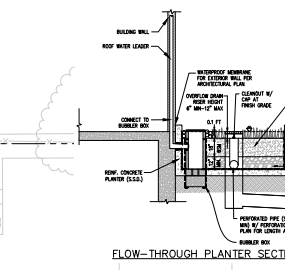
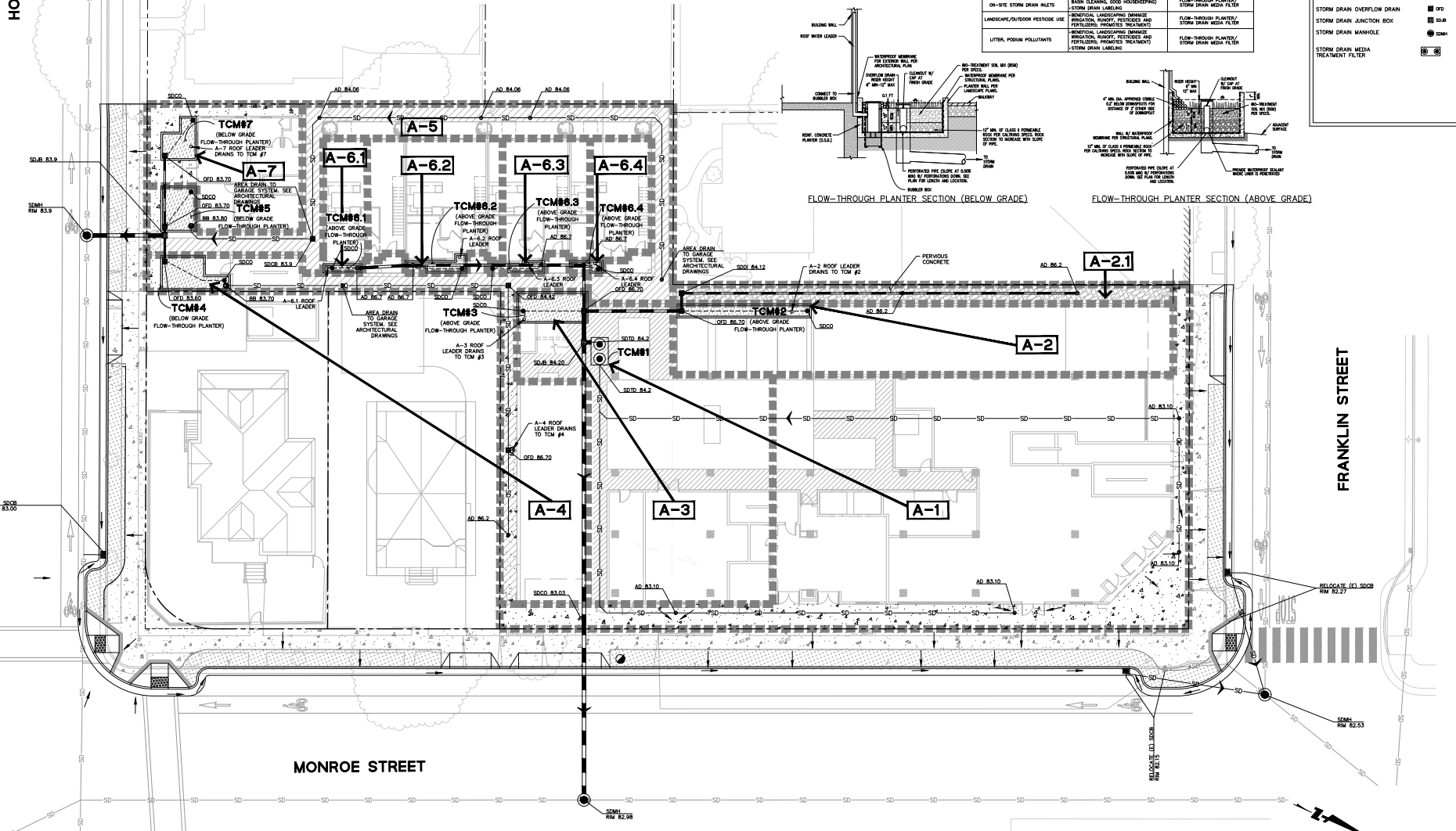
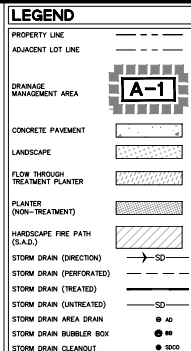
FILTER RISING CALCULATION

C	(S)	(W)	A (LANDSCAPE) / LANDSCAPE (SQM)	(S)	(S)	FILTER
SD(1)	0.3	1.00E	0.3	0.30	0.30	
C= COEFFICIENT OF RUNOFF C=0.1 (LANDSCAPE) C=0.3 (CONCRETE)						
I= INTENSITY OF STORM (INCH) I= 1.5 (LANDSCAPE) I= 3.0 (CONCRETE)						
W= WETTED AREA (SQ FT) W= 1000 (LANDSCAPE) W= 1000 (CONCRETE)						
S= MAXIMUM FLOW RATE (GPM) S= 1.0 (LANDSCAPE) S= 1.0 (CONCRETE)						
T= TIME OF TRAVEL (MIN) T= 1.0 (LANDSCAPE) T= 1.0 (CONCRETE)						



- C-3 TREATMENT FACILITIES CONSTRUCTION NOTES
- DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A SANITARY ENGINEER ACCORDING TO THE CITY OF SANTA CLARA. THE APPLICANT SHALL ACCORDANCE WITH THE APPROVED BUILDING AND SANITARY ENGINEER'S ALL REQUIREMENTS FOR THE CONSTRUCTION OF THE TREATMENT FACILITIES. THE APPROVED BUILDING AND SANITARY ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TREATMENT FACILITIES. THE APPROVED BUILDING AND SANITARY ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TREATMENT FACILITIES. THE APPROVED BUILDING AND SANITARY ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TREATMENT FACILITIES.
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- NOTES
- IMPROVED TOTAL DENSITY: 49 DRY/CC MAX
 - DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A SANITARY ENGINEER ACCORDING TO THE CITY OF SANTA CLARA. THE APPLICANT SHALL ACCORDANCE WITH THE APPROVED BUILDING AND SANITARY ENGINEER'S ALL REQUIREMENTS FOR THE CONSTRUCTION OF THE TREATMENT FACILITIES. THE APPROVED BUILDING AND SANITARY ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TREATMENT FACILITIES. THE APPROVED BUILDING AND SANITARY ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TREATMENT FACILITIES.
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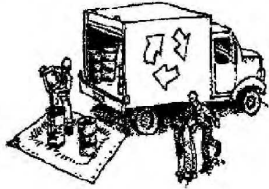




Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a sealed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



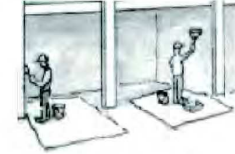
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

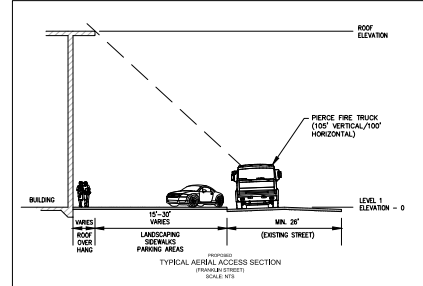
Storm drain polluters may be liable for fines of up to \$10,000 per day!

SANTA CLARA DOWNTOWN PROJECT
906, 930, 940, & 950 MONROE STREET
BEST MANAGEMENT PRACTICES

SANTA CLARA

DATE: 01/17/2023	NO.:	NO.:	NO.:
DRAWN BY: AS 202004	NO.:	NO.:	NO.:
CHECKED BY: JH	NO.:	NO.:	NO.:
DATE: 01/17/2023	NO.:	NO.:	NO.:

Date: 07/17/2023	No.	Revisions
Drawn by: ASH/ML		
Checked by: JAC		
Design by: JAC		
Project No: 20230003		



FIRE FLOW CALCULATIONS:

BUILDING 1
 BASEMENT & 1ST FLOOR (NETAL) (Type I-A) 31,796 sf
 5-STORY BUILDING (Type II-A) 46,226 sf
 TOTAL BUILDING AREA 78,022 sf
 PERCENTAGE OF BASEMENT/1ST FLOOR (Type I-A) 31,796 / 78,022 = 40.75%
 PERCENTAGE OF 5-STORY BUILDING (Type II-A) 46,226 / 78,022 = 59.25%
 REDUCED FIRE FLOW PER CONSTRUCTION TYPE I-A & II-A (TABLE 903.10.2) - 1,000 GPM
 (Full Flow @ 3,000 GPM; 25% reduction allowed per 97C Table 903.10.2, shall not be less than 1,000 GPM)
 (Full Flow @ 4,500 GPM; 25% reduction allowed per 97C Table 903.10.2, shall not be less than 1,000 GPM)
 REDUCED TOTAL FIRE FLOW 1,000 GPM X 0.25 + 1,000 GPM X 0.75 = 1,000 GPM

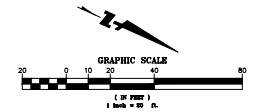
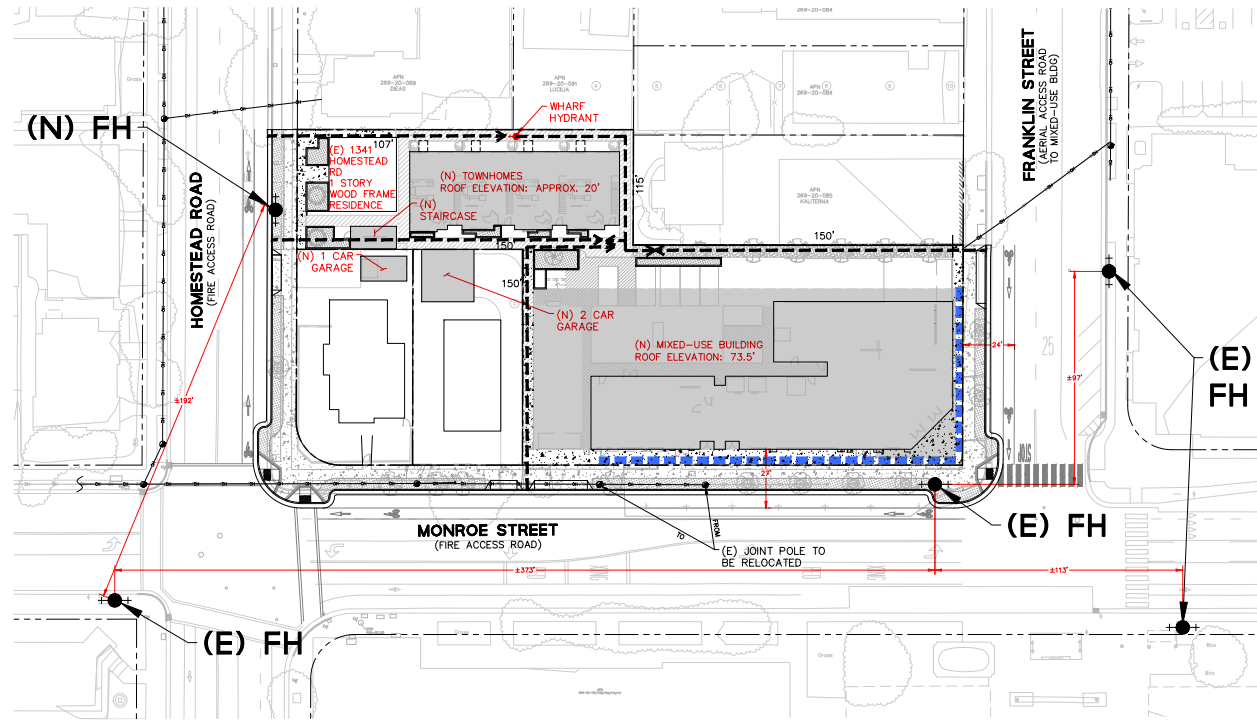
BUILDING 2
 1 TOWNHOME - 2-STORY BUILDING (Type I-A) 6,250 sf
 TOTAL FIRE FLOW (TABLE 903.10.2) = 2,200 GPM

BUILDING 3
 BUILDING 1 HAS A LARGER REQUIRED FIRE FLOW TO BE USED FOR FIRE HYDRANT CALCULATION.

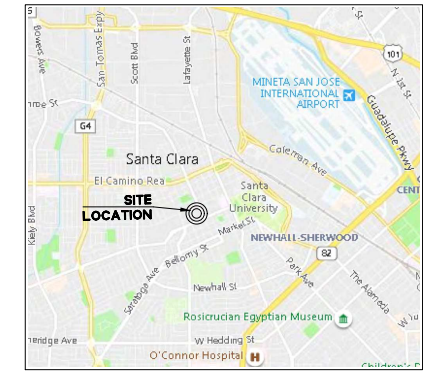
BASED ON THE FULL FIRE FLOW REQUIRED (APPENDIX C - TABLE C03.1):
 - FIRE FLOW REQUIRED: 3,000 GPM X 0.25 + 4,500 GPM X 0.75 = 4,176 GPM
 - NUMBER OF HYDRANTS: 180 FT X 180 FT = 32,400 SQ FT
 - MAXIMUM SPACING BETWEEN HYDRANTS: 180 FT
 - MAX DISTANCE (FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A FH): 180 FT
 NUMBER OF EXISTING FIRE HYDRANTS (ALONG MONROE STREET & FRANKLIN STREET) 4 HYDRANTS
 NUMBER OF PROPOSED FIRE HYDRANTS (ALONG HOMESTEAD ROAD) 1 HYDRANT

LEGEND

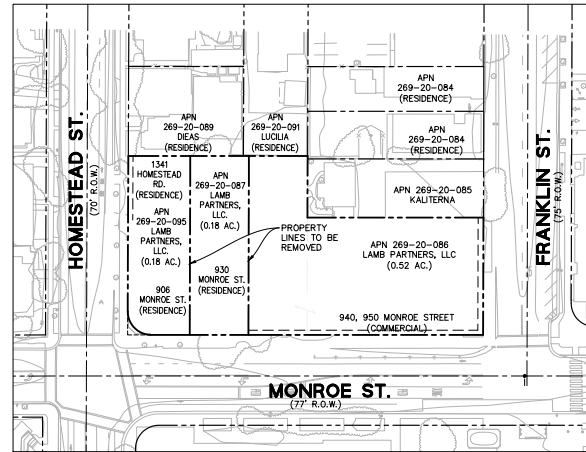
- PROPERTY LINE
- LOT LINE/ADJ. PROPERTY LINE
- OVERHEAD WIRE
- AERIAL ACCESS
- FIRE HYDRANT
- JOINT POLE
- PROPOSED BUILDING
- NOTES:
 1. THE MAXIMUM HEIGHT OF ANY TREES SHALL NOT EXCEED 30'.



VESTING TENTATIVE MAP MONROE STREET FOR CONDOMINIUM PURPOSES 906, 930, 940 & 950 MONROE STREET AND 1341 HOMESTEAD STREET CITY OF SANTA CLARA, CALIFORNIA 95050 PLN2020-14457



VICINITY MAP



LOCATION MAP
SCALE: 1"=50'-0"

PROJECT SUMMARY:

1. OWNER/SUBDIVIDER: LAMB PARTNERS LLC, 535 MIDDLEFIELD RD, SUITE 190, MENLO PARK, CA 94025
2. MAP PREPARED BY: BKF ENGINEERS CONSULTING ENGINEERS, 1730 N. FIRST STREET, SUITE 600, SAN JOSE, CA 95110, (408) 467-9100, CONTACT: PATRICK CHAN, P.E. (LICENSE # CB3189)
3. GEOTECHNICAL ENG.: CORNERSTONE EARTHGROUP, 1259 OAKMEAD PARKWAY, SUNNYVALE, CA 94085, (408) 245-4420, CONTACT: MAURA F. RUFFATTO, P.E.
4. APN: 269-20-086/087/095
5. GENERAL PLAN USE: COMMUNITY MIXED-USE
6. EXISTING LAND USE: COMMERCIAL AND RESIDENTIAL USE
7. PROPOSED LAND USE: MIXED-USE (RESIDENTIAL/MULTI-FAMILY AND COMMERCIAL/RETAIL-RESTAURANT)
8. EXISTING ZONING: HT-HISTORICAL COMBINING (906 MONROE ST. AND 1341 HOMESTEAD ST., APN 269-20-095); O6-GENERAL OFFICE (930 MONROE ST., APN 269-20-087); CC-COMMUNITY COMMERCIAL (940-950 MONROE ST., APN 269-20-086);
9. REZONING: PLANNED DEVELOPMENT
10. NO. OF EXISTING LOTS: 3
11. TOTAL ACREAGE: 0.88 ACRES (38,217-SF)
12. SOIL TYPE: SILTY CLAY LOAM/SANDY LOAM
13. DEPTH TO GROUNDWATER: 12-FT
14. FLOOD ZONE ELEVATION: ZONE X
15. NUMBER OF STORY: 1 LEVEL OF BASEMENT TOWNHOMES; 2 STORIES (ABOVE GRADE) CONDOMINIUM; 6 STORIES (ABOVE GRADE)
16. OCCUPANCY GROUP: R-2 (5 STORIES OF RESIDENTIAL, 2 STORIES OF RESIDENTIAL), A-2 (GROUND LEVEL) AND S-2 (PARKING AT BASEMENT LEVEL)
17. TYPE OF CONSTRUCTION: TOWNHOMES: V-A CONDOMINIUM: I-A FOR BASEMENT AND GROUND LEVEL, V-A FOR UPPER FLOORS
18. AUTOMATIC FIRE SPRINKLER: YES
19. PROPOSED HEIGHT: 74'-0"
- NO. OF CONDOMINIUM UNITS PROPOSED: 60 CONDOMINIUM UNITS PROPOSED
 LOT 1- 55 RESIDENTIAL CONDOMINIUM UNITS
 1 CONDOMINIUM UNIT FOR ALL FLOOR COMMON AREAS
 2 BASEMENT PARKING GARAGE CONDOMINIUM UNITS
 3 RETAIL CONDOMINIUM UNITS
 LOT 2- (E) SINGLE FAMILY HOME
 LOT 3- (E) SINGLE FAMILY HOME

NOTES:

1. THE FILING OF THIS VESTING TENTATIVE MAP IS CONCURRENT TO THE PLANNED DEVELOPMENT REZONING AND THE PLANNED DEVELOPMENT PERMIT PLN2020-14457. THOSE PLANS AND STANDARDS WILL BE INCLUDED IN THIS SUBMITTAL.
2. THIS MAP PROVIDES FOR THE CREATION OF TWO SEPARATE LOTS FOR SINGLE FAMILY RESIDENTIAL AND A SINGLE, DEVELOPABLE LOT TO BE FURTHER SUBDIVIDED VIA SEPARATE RESIDENTIAL CONDOMINIUM MAP INTO 60 CONDOMINIUM UNITS.
3. UTILITY DEDICATIONS: THE ON-SITE STORM DRAIN, SANITARY SEWER, AND WATER SYSTEMS WILL BE PRIVATELY MAINTAINED.
4. ANY EXISTING WELL(S) ON THE SUBJECT PROPERTY: TBD.
5. ANY POTENTIALLY DANGEROUS AREAS WITHIN AND ADJACENT TO THE PROPOSED SUBDIVISION AND ON LANDS IMMEDIATELY ADJACENT THERETO: NONE.
6. NO EXISTING PUBLIC OR PRIVATE EASEMENTS OF UTILITY, DRAINAGE, SEWER, PARKING ACCESS AND OTHER PURPOSES.

BASIS OF BEARINGS:

THE BEARING OF S66°00'43"W ALONG THE CENTER LINE OF FRANKLIN STREET, BETWEEN MADISON STREET AND MONROE STREET, SE CORNER, TOP OF LETTER "C" IN HEREON, AND AS SHOWN ON BOOK 442 OF MAPS, PAGE 26.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS BENCHMARK A-9, FOUND AT BENTON STREET AND MONROE STREET, SE CORNER, TOP OF LETTER "C" IN WORD "CAL" ON TOP OF CATCH BASIN HOOD.

ELEVATION = 78.21 FEET (NAVD88 DATUM)

UTILITY COMPANY:

1. ELECTRICITY: SILICON VALLEY POWER
2. GAS: PG&E
3. WATER AND SEWER: CITY OF SANTA CLARA, WATER AND SEWER DEPARTMENT
4. GARBAGE: MISSION TRAIL WASTE SYSTEM (CLEAN GREEN)
5. RECYCLING: RECOLOGY SILICON VALLEY

LEGEND

- PROPERTY LINE
- - - ADJACENT LOT LINE
- STREET CENTER LINE

SHEET INDEX

- | | |
|-------|---------------------|
| SHEET | DESCRIPTION |
| TM-1 | TITLE SHEET |
| TM-2 | SITE PLAN/MAP SHEET |

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
AD	AREA DRAIN	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BLOG	BUILDING	(N)	NORTH/NEW
BM	BENCH MARK	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
BW	BACK OF WALK / BOTTOM OF WALL	N.G.V.D.	NATIONAL GEODETICS VERTICAL DATUM
C&G	CURB & GUTTER	NO. #	NUMBER
C	CENTERLINE	NTS	NOT TO SCALE
CON	CONCRETE	P.A.E.	PUBLIC ACCESS EASEMENT
CR	CURB RETURN	PCC	PORTLAND CEMENT CONCRETE
CVC	CENTER OF VERTICAL CURVE	PL	PROPERTY LINE
DIA	DIAMETER	PT	POINT
DWG	DRAWING	PV	PAVEMENT
ECR	END OF CURB RETURN	R	RADIUS
EL	ELEVATION	RCF	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	RT	RIGHT
EVC	END VERTICAL CURVE	ROW (S) OR S.	RIGHT OF WAY
EX	EXISTING	ST	STREET
F/C	FACE OF CURB	STD	STANDARD
FT	FEET	SW	SIDEWALK
LT	LEFT	TYP.	TYPICAL
LF	LENGTH	UGEE	UNDERGROUND ELECTRICAL EASEMENT
L	LINEAR FEET	VF	VERIFY IN FIELD
		W/	WITH
		(W)	WEST
		W.U.E.	WATER UTILITY EASEMENT

CERTIFICATES & APPROVALS

1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95110
408-467-9100



VESTING TENTATIVE MAP
906, 930, 940, & 950 MONROE STREET
TITLE SHEET
 SANTA CLARA COUNTY
 SANTA CLARA

Revised	
Date	1/12/2023
Drawn by	WJTD
Checked by	PC
Approved by	PC
Job No.	20190005
Drawing Number:	TM-1
	1 of 2



Revisions

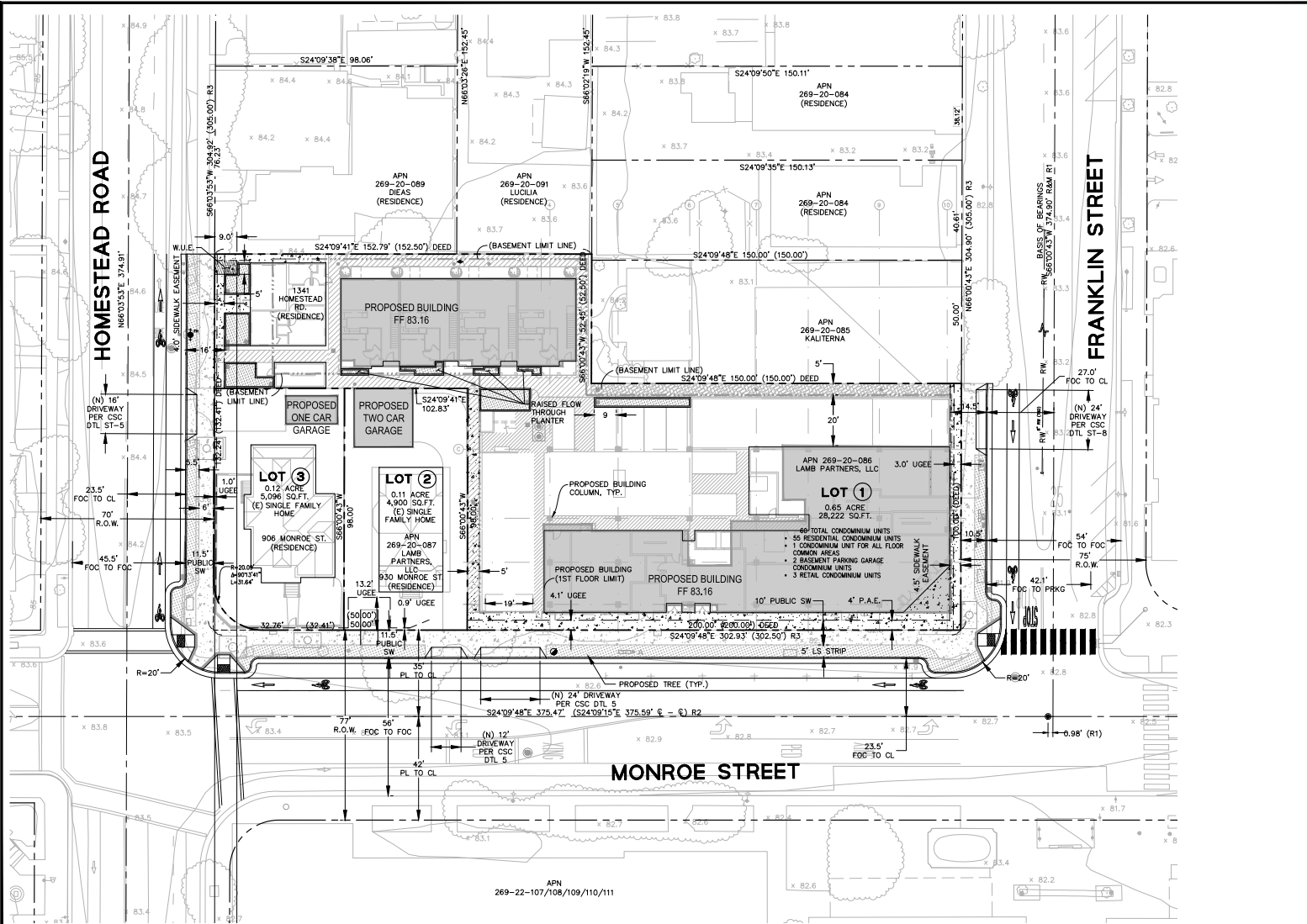
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2	1/17/2023	ISSUED FOR REVIEW
3	1/17/2023	ISSUED FOR REVIEW
4	1/17/2023	ISSUED FOR REVIEW
5	1/17/2023	ISSUED FOR REVIEW

Drawing Number:

TM-2
2 of 2

LEGEND

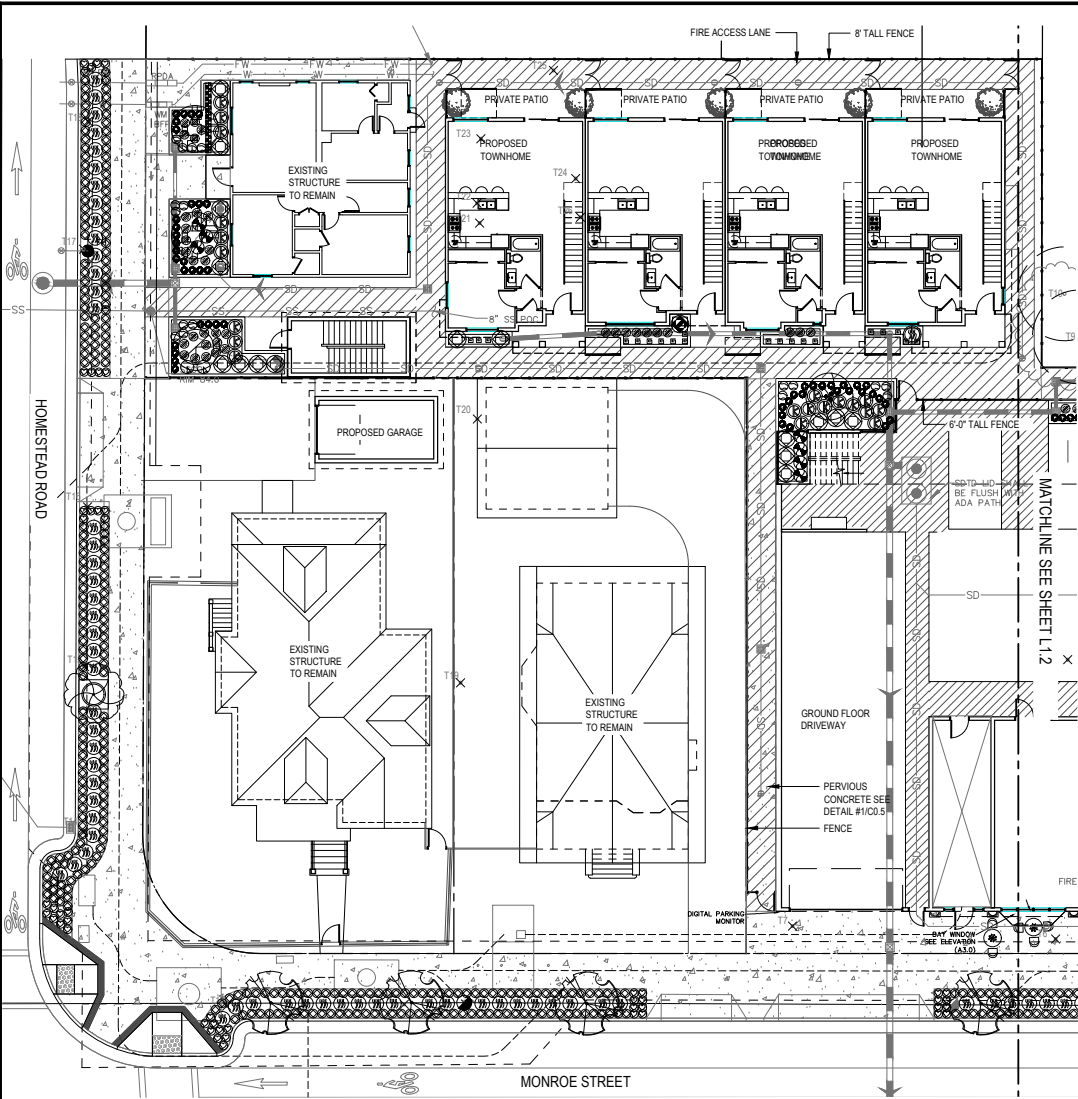
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
ROADWAY CENTER LINE	---
BUILDING WALL LINE	---
FENCE LINE	---
DRIVEWAY	---
SIDEWALK	---
OVERHEAD LINE	---
COMMUNICATION LINE	---
ELECTRICAL LINE	---
GAS LINE	---
STORM DRAIN LINE	---
SANITARY SEWER LINE	---
WATER LINE	---
ELEVATION	(TO X.54)
BOLLARD	⊕
COMMUNICATION BOX	⊕
ELECTRIC BOX	⊕
FIRE HYDRANT	⊕
GAS METER	⊕
GUY WIRE	⊕
JOINT POLE	⊕
SANITARY SEWER CLEANOUT	⊕
SANITARY SEWER MANHOLE	⊕
STORM DRAIN CATCH BASIN	⊕
STORM DRAIN DROP INLET	⊕
STORM DRAIN MANHOLE	⊕
STREET LIGHT BOX	⊕
SURVEY IRON PIPE	⊕
SURVEY STREET MONUMENT	⊕
TRAFFIC SIGNAL	⊕
TRAFFIC SIGNAL BOX	⊕
UNKNOWN MANHOLE	⊕
WATER METER	⊕
WATER VALVE	⊕
CONTOUR LINE	---
CONCRETE SIDEWALK/PAVEMENT	---
WATER UTILITY EASEMENT	---
TRUNCATED DOME (AT CURB RAMP)	---
DRIVEWAY	---
VERTICAL CURB & GUTTER	---
VERTICAL CURB	---
OVERLAND RELEASE	---
GROUND ELEVATION (PER AERIAL SURVEY)	⊕
EXISTING TREE CANOPY (PER AERIAL SURVEY)	⊕



SURVEY NOTES

- DATE OF FIELD SURVEY: 03-25-2020
- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, AND SIZES OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON AS-BUILT MAPS, GCS MAPS, AND OTHER UTILITY INFORMATION FROM DIFFERENT SOURCES. ONLY ACTUAL LOCATIONS WILL BE SHOWN. THE TYPES, EXACT SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES, A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.

CERTIFICATES & APPROVALS



TREE MITIGATION						
TREE #	DIAMETER	MATURE HEIGHT	RATIO	BOTANICAL NAME	COMMON NAME	REMOVE OR RETAIN
T1	26"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T2	12"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T3	12"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T4	11"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T5	6"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T6	21"	N/A	3:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T7	26"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T8	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T9	6"	15'	N/A	CITRUS SPP.	CITRUS	RETAIN
T10	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T11	26"	N/A	4:1	CATALPA BIGNONOIDES	COMMON CATALPA	REMOVE
T12	6", 5", 5"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T13	4", 4", 3", 3"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T14	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T15	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T16	12"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T17	11"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T18	4", 3", 3"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	6", 6", 7", 7"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	16", 9"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12", 7", 5"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T23	6", 6"	N/A	2:1	CITRUS SPP.	CITRUS	REMOVE
T24	11"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T25	6"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T26	6"	N/A	2:1	MALUS SPP.	APPLE	REMOVE

TOTAL 49 - 24" REPLACEMENT TREES REQUIRED



SITE TREES					
NAME	COUNT	WUCOLS	SIZE	NOTES	
ARBUTUS UNEDO - STANDARD	7	L	36"		
CERCIS OCCIDENTALIS - MULTI	1	VL	24"	STANDARD - MULTI TRUNK	
LAGERSTROEMIA X 'MUSKOGEE'	4	L	24"	STANDARD	

TOTAL 15 - 24" BOX TREES PROVIDED. LIMITED SPACE FOR ADDITIONAL 28 MITIGATION TREES.

OFFSITE PLANTING LEGEND					
Name	Count	SIZE	WUCOLS	NOTES	
AGAPANTHUS BABY PETE'	537	1G, L	L	18"O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE	
FRAGARIA VESCA	73	1G, M	M		
LOMANDRA LONGIFOLIA BREEZE'S	115	1G, L	L		

FTP PLANTING LEGEND					
NAME	COUNT	SIZE	WUCOLS	NOTES	
ACHILLEA MILLEFOLIUM LA LINA'	80	1G, M	M		
CALAMAGROSTIS X ACUTIFLORA KARL FQRSTER'	20	1G, L	L	SUCCULENT	
CAREX DIVULSA	54	1G, L	L	C. TUMULOSA HORT.	
CHONDROPETALUM TECTORIUM 'EL CAMPO'	17	5G, M	M	LOW WATER ACCORDING TO L.A. EXPERIENCE	
HEMEROCALLIS 'TOYON'	2	1G, M	M	18"O.C.	
IRIS DOUGLASSIANA	20	1G, L	L		
LIMONUM CALIFORNICUM	17	1G, L	L		
LOMANDRA LONGIFOLIA 'BREEZE'S	1	5G, L	L		
MARONIA AQUIFOLIUM	2	5G, L	L		
PENSTEMON X GLOXINOIDES 'MIDNIGHT'	7	1G, L	L	LOW WATER ACCORDING TO L.A. EXPERIENCE	
SAMBUCUS MEXICANA	1	5G, L	L		
SEDUM 'AUTUMN JOY'	12	1G, L	L		

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

PLANTING
PLAN

DESIGN

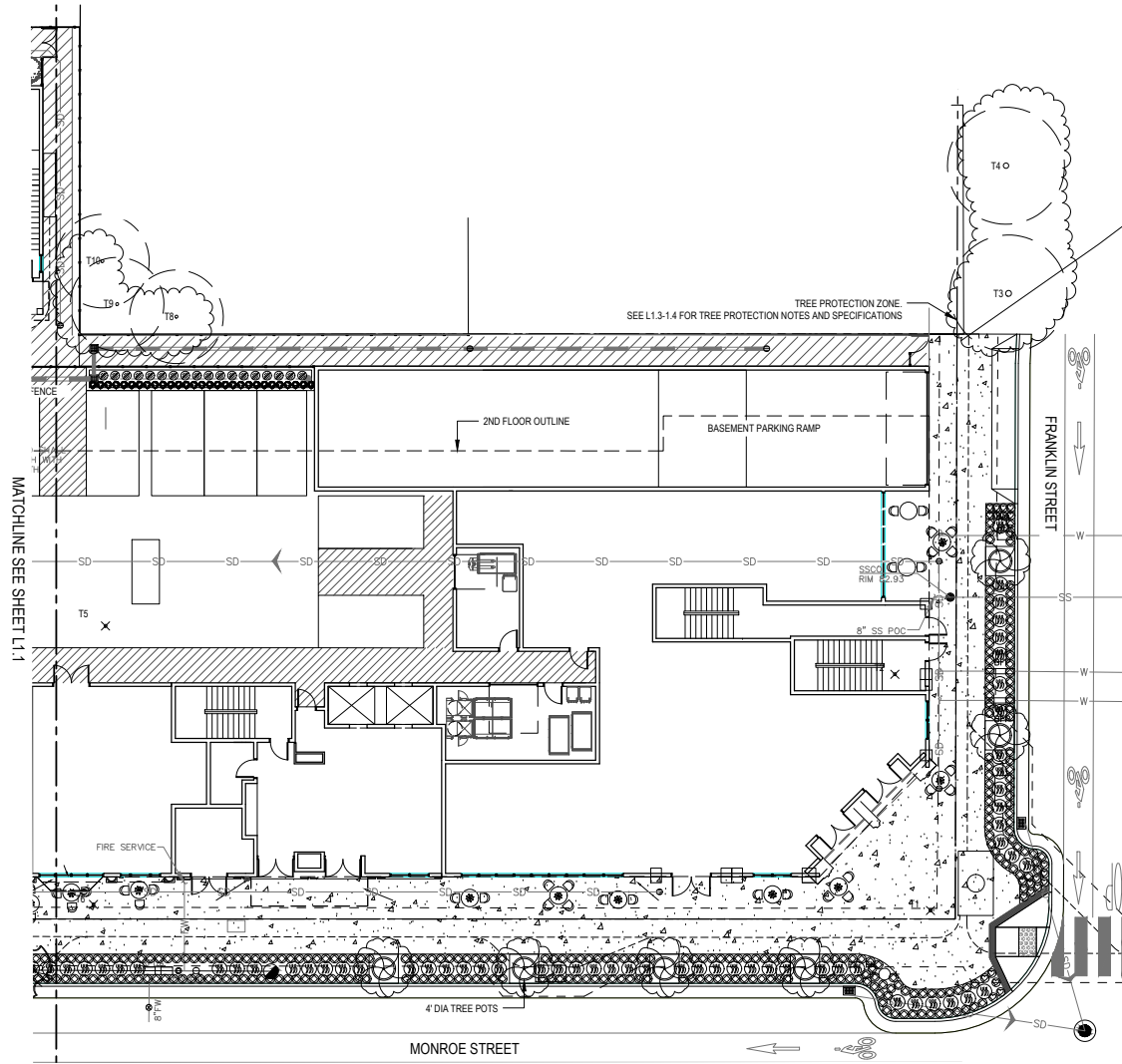
PO BOX 485
BEN LOMOND, CA 95055
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 01/26/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"



TREE MITIGATION						
TREE #	DIAMETER	MATURE HEIGHT	RATIO	BOTANICAL NAME	COMMON NAME	REMOVE OR RETAIN
T1	26"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T2	12"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T3	12"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T4	11"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T5	6"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T6	21"	N/A	3:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T7	26"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T8	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T9	6"	15'	N/A	CITRUS SPP.	CITRUS	RETAIN
T10	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T11	26"	N/A	4:1	CATALPA BIGNONOIDES	COMMON CATALPA	REMOVE
T12	6", 6", 5"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T13	4", 4", 3", 3"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T14	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T15	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T16	12"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T17	11"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T18	4", 3", 3"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	6", 6", 7", 7"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	16", 5"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12", 7", 5"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T23	6", 6"	N/A	2:1	CITRUS SPP.	CITRUS	REMOVE
T24	11"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T25	6"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T26	6"	N/A	2:1	MALUS SPP.	APPLE	REMOVE

TOTAL 49 - 24" REPLACEMENT TREES REQUIRED



FTP PLANTING LEGEND						
NAME	COUNT	SIZE	WUCOLS	NOTES		
ACHILLEA MILLEFOLIUM LA LINA	80	1G	M			
CALAMAGROSTIS X ACUTIFLORA KARL FÜRSTNER	20	1G	L			SUCCULENT
CANEX DULCIS	54	1G	L			C. TUMULOSA HORT.
CHONDROPETALUM TECTORIUM EL CAMPO	17	5G	M			LOW WATER ACCORDING TO L.A. EXPERIENCE
HEMERICALLIS TOYON	2	1G	M			18" O.C.
IRIS DOUGLASIANA	20	1G	L			
LIMONUM CALIFORNICUM	17	1G	L			
LOMANDRA LONGIFOLIA 'BREEZE' S	1	5G	L			
MAKOHIA ADUFOLIUM	2	5G	L			
PENSTEMON X GLOKINOIDES 'MIDNIGHT'	7	1G	L			LOW WATER ACCORDING TO L.A. EXPERIENCE
SAMBUCUS MEXICANA	1	5G	L			
SEDUM 'AUTUMN JOY'	12	1G	L			

SITE TREES					
NAME	COUNT	WUCOLS	SIZE	NOTES	
ARBUTUS UNEDO - STANDARD	7	L	30"		
CERCIS OCCIDENTALIS - MULTI	1	NL	24"		STANDARD - MULTI TRUNK
LAGERSTROEMIA X 'MUSKOGEE'	4	L	24"		STANDARD

TOTAL 15 - 24" BOX TREES PROVIDED. LIMITED SPACE FOR ADDITIONAL 28 MITIGATION TREES.

OFFSITE PLANTING LEGEND					
Name	Count	SIZE	WUCOLS	NOTES	
AGAPANTHUS BABY PETE	537	1G	L		18" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
FRAGARIA VESCA	73	1G	M		
LOMANDRA LONGIFOLIA BREEZE	115	1G	L		

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

PLANTING
PLAN

DESIGN

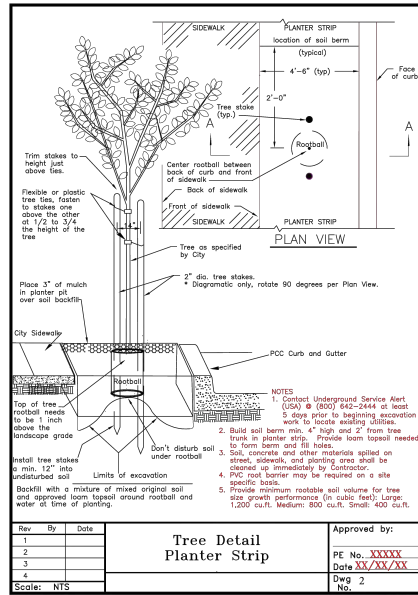
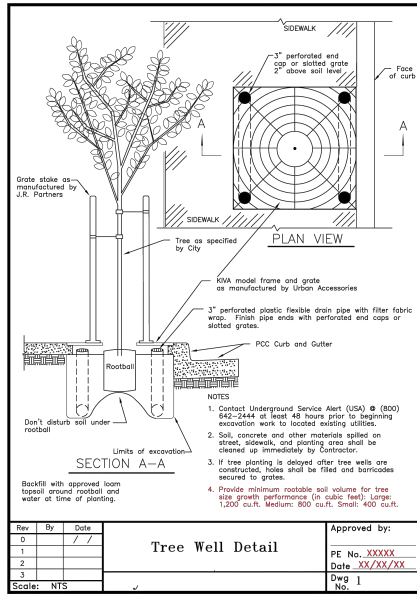
PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 01/26/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"



**CITY OF SANTA CLARA
ARBORIST NOTES**

I. GENERAL

1. No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
2. No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
3. When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood tarp, or 4"-6" thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
4. Refill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80° or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can cut and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
5. When roots 2" or larger are required to be cut, shovled by hand near the roots and prune the roots with an industry-approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
6. Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
7. A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
8. Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.



**CITY OF SANTA CLARA
ARBORIST NOTES**

9. Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5'x11' and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the middle of all trees in the construction zone to protect them from bark damage caused by the work.
10. No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
11. Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
12. Grading should not create drainage problems for trees by channeling water into them, or creating sunken areas.
13. All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells should be used.
14. When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tagging or pulling of roots.
15. Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



**CITY OF SANTA CLARA
ARBORIST NOTES**

- contractor. The city arborist or arborist employed by city shall determine the replacement species, size, quantity, and spacing.
16. Place 4" - 6" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
17. Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5" DBH, the installation must be made by boring. The beginning and ending distances of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table.

When the tree diameter at 4 1/2 feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-9 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

1. Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently



**CITY OF SANTA CLARA
ARBORIST NOTES**

- disfigured or killed as a result of the work, contractor shall remove the tree, including its roots, from the site and replace each removed tree with an equal-sized tree. If such replacement is not possible, the contractor shall reimburse to the tree owner the amount listed in the table below. The city arborist or arborist employed by city shall be the sole judge of the condition of any tree. Contractor shall provide regular watering of existing landscaping within the construction area through the construction period.
2. Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each caliper inch	\$ 1,200

SANTA CLARA
DOWNTOWN
906,930,940/950 MONROE ST
SANTA CLARA, CA 95050

ARBORIST NOTES
+
WIRE WALL TRELLIS

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 01/26/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

L1.3

Appendix H - TREE PROTECTION GUIDELINES AND RESTRICTIONS

Protecting Trees During Construction:

- 1) Before the start of site work, equipment or materials move in, clearing, excavation, construction, or other work on the site, every tree to be retained shall be securely fenced off as delineated in approved plans. Such fences shall remain continuously in place for the duration of the work undertaken in connection with the development.
- 2) If the proposed development, including any site work, will encroach upon the tree protection zone, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
- 3) Underground trenching shall avoid the major support and absorbing tree roots of protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist may be required. Trenches shall be consolidated to service as many units as possible. Boring/tunneling under roots should be considered as an alternative to trenching.
- 4) Concrete or asphalt paving shall not be placed over the root zones of protected trees, unless otherwise permitted by the project arborist.
- 5) Artificial irrigation shall not occur within the root zone of native oaks, unless deemed appropriate on a temporary basis by the project arborist to improve tree vigor or mitigate root loss.
- 6) Compaction of the soil within the tree protection zone shall be avoided.
- 7) Any excavation, cutting, or filling of the existing ground surface within the tree protection zone shall be minimized and subject to such conditions as the project arborist may impose. Retaining walls shall likewise be designed, sited, and constructed to minimize their impact on protected trees.
- 8) Burning or use of equipment with an open flame near or within the tree protection zone shall be avoided. All brush, earth, and other debris shall be removed in a manner that prevents injury to the tree.
- 9) Oil, gas, chemicals, paints, cement, stucco or other substances that may be harmful to trees shall not be stored or dumped within the tree protection zone of any protected tree, or at any other location on the site from which such substances might enter the tree protection zone of a protected tree.
- 10) Construction materials shall not be stored within the tree protection zone of a protected tree.

Project Arborist Duties and Inspection Schedule:

The project arborist is the person(s) responsible for carrying out technical tree inspections, assessment of tree health, structure and risk, arborist report preparation, consultation with designers and municipal planners, specifying tree protection measures, monitoring, progress reports and final inspection.

A qualified project arborist (or firm) should be designated and assigned to facilitate and insure tree preservation practices. Healthy they should perform the following inspections:

Inspection of site: Prior to equipment and materials move in, site work, demolition, landscape construction, and tree removal. The project arborist will meet with the general contractor, architect, engineer, and owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: During excavation or any activities that could affect trees. Inspect site during any activity within the Tree Protection Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction. Inspect for tree health and make any necessary recommendations.

Kurt Fouts shall be the Project Arborist for this project. All scheduled inspections shall include a brief Tree Monitoring report, documenting activities and provided to the City Arborist.

Tree Protection Fencing

Tree Protection fencing shall be installed prior to the arrival of construction equipment or materials. Fence shall be comprised of six-foot chain link fence mounted on eight-foot tall, 1 and 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced on a minimum of 10-foot centers. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

A final inspection by the City Arborist at the end of the project will be required prior to removing any tree protection fencing.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Tree Work Standards and Qualifications

All tree work, removal, pruning, planting, shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute series, *Safety Requirements in Arboriculture Operations ANSI Z133-2017*.

Contractor licensing and insurance coverage shall be verified.

During tree removal and clearance, sections of the Tree Protection Fencing may need to be temporarily dismantled to complete removal and pruning specifications. After each section is completed, the fencing is to be re-installed.

Trees to be removed shall be cut into smaller manageable pieces consistent with safe arboricultural practices, and carefully removed so as not to damage any surrounding trees or structures. The trees shall be cut down as close to grade as possible. Tree removal is to be performed by a qualified contractor with valid City Business/ State Licenses and General Liability and Workman's Compensation insurance.

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

ARBORIST NOTES

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 01/26/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

L1.4

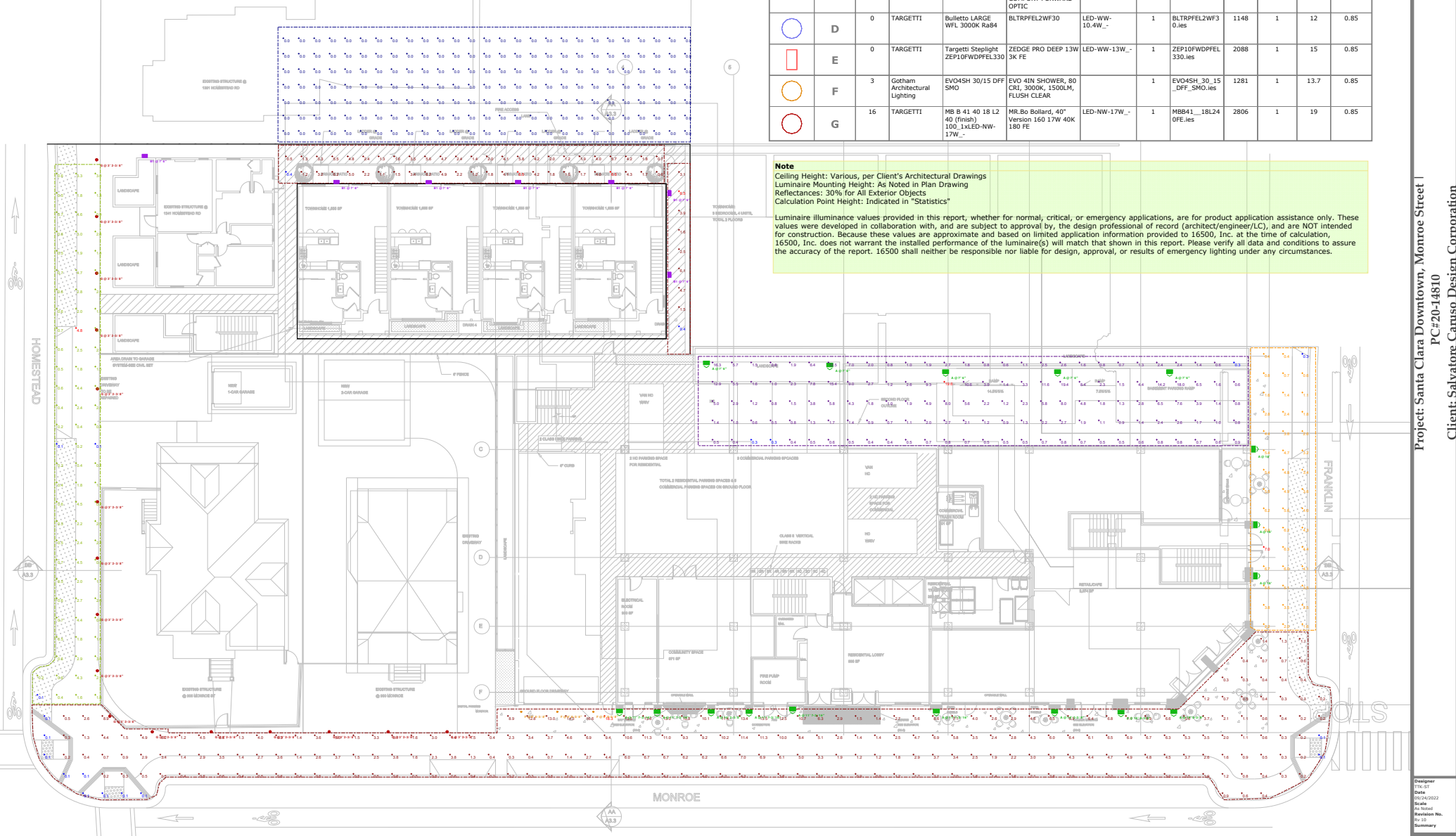
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fifth Floor Terrace	+	2.3 fc	10.8 fc	0.0 fc	N/A	N/A
Ground All	+	0.8 fc	20.3 fc	0.0 fc	N/A	N/A
Neighbours property floor	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Parking and Ramp West Floor	+	3.1 fc	19.6 fc	0.3 fc	65.3:1	10.3:1
Private Patio walkway floor	+	3.1 fc	6.5 fc	0.4 fc	16.3:1	7.8:1
Sidewalk floor	+	3.4 fc	6.5 fc	0.4 fc	16.3:1	8.5:1
Walkalong Homestead floor	+	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1
Walkalong Monroe Floor	+	3.5 fc	18.3 fc	0.1 fc	183.0:1	35.0:1
Walkway along Franklin	+	3.6 fc	7.0 fc	0.3 fc	23.3:1	12.0:1
4th Floor Terrace floor	+	2.3 fc	10.4 fc	0.1 fc	104.0:1	23.0:1

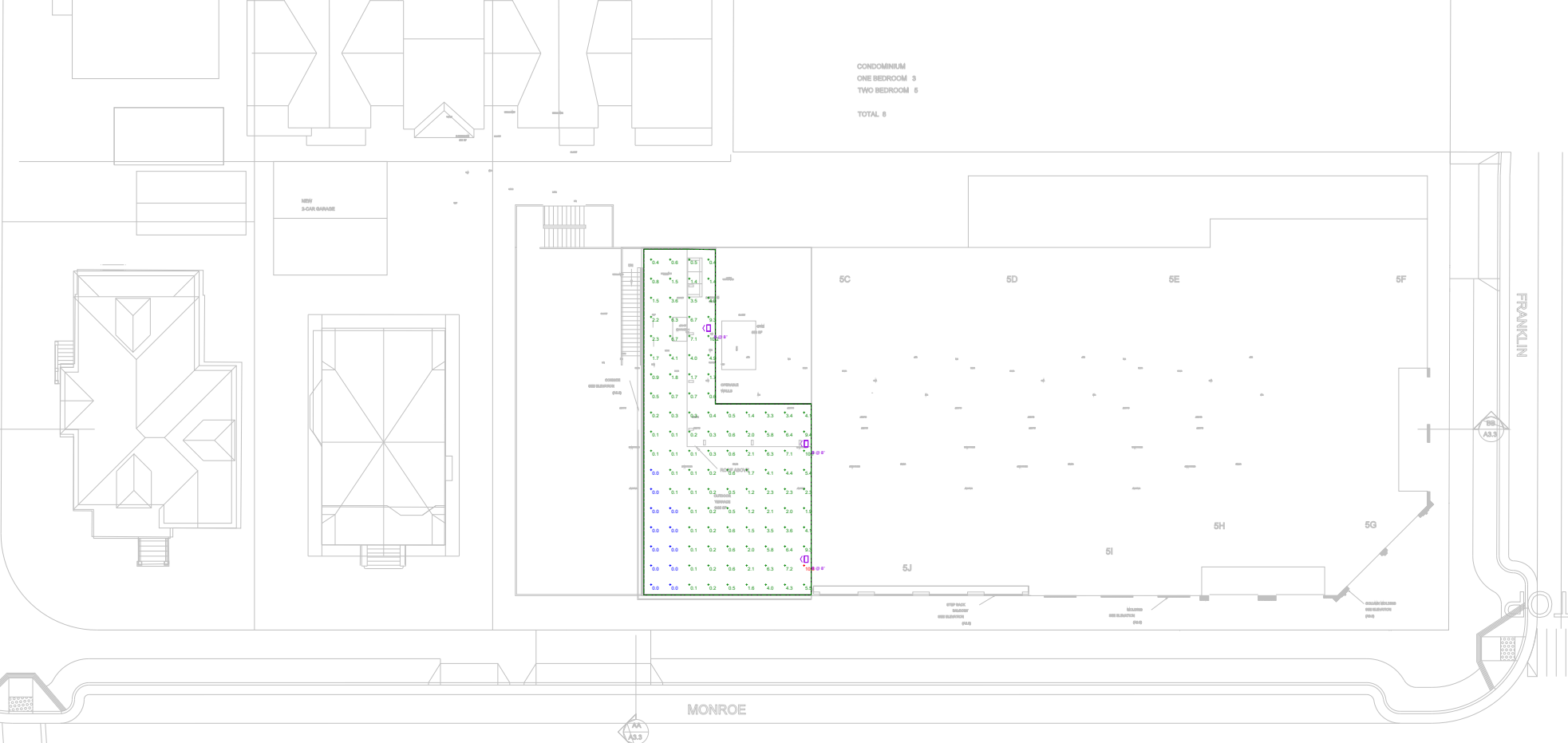
Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplier	Wattage	Light Loss Factor
⊕	A	17	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VF	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P3_30K_80CRI_VF.ies	3013	1	22.55	0.85
⊕	B	6	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VW	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	WDGE2_LED_P2_30K_80CRI_VW.ies	1997	1	14.53	0.85
⊕	B1	7	Lithonia Lighting	WDGE2 LED P1 30K 80CRI VW	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	WDGE2_LED_P1_30K_80CRI_VW.ies	1241	1	9.81	0.85
⊕	C	0	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VF	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P2_30K_80CRI_VF.ies	1947	1	14.53	0.85
⊕	D	0	TARGETTI	Bullette LARGE WFL 3000K Ra84	BLTRPFEL2WF30	LED-WW-10.4W_-	1	BLTRPFEL2WF30.ies	1148	1	12	0.85
⊕	E	0	TARGETTI	Targetti Steplight ZEP10FWDPFEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W_-	1	ZEP10FWDPFEL330.ies	2088	1	15	0.85
⊕	F	3	Gotham Architectural Lighting	EVO4SH 30/15 DFF SNO	EVO 4IN SHOWER, 80 CRI, 3000K, 1500LM, FLUSH CLEAR		1	EVO4SH_30_15_DFF_SNO.ies	1281	1	13.7	0.85
⊕	G	16	TARGETTI	MB B 41 40 18 L2 40 (finish) 100_1xLED-NW-17W_-	MR-Bo Bollard, 40" Version 160 17W 40K 180 FE	LED-NW-17W_-	1	MBB41_18L24_0FE.ies	2806	1	19	0.85

Note
 Ceiling Height: Various, per Client's Architectural Drawings
 Luminaire Mounting Height: As Noted in Plan Drawing
 Reflectances: 30% for All Exterior Objects
 Calculation Point Height: Indicated in "Statistics"
 Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstances.



CONDOMINIUM
ONE BEDROOM 3
TWO BEDROOM 6
TOTAL 8



MONROE

FRANKLIN

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fifth Floor Terrace	+	2.3 fc	10.8 fc	0.0 fc	N/A	N/A
Ground All	+	0.8 fc	20.3 fc	0.0 fc	N/A	N/A
Neighbours property floor	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Parking and Ramp West Floor	+	3.1 fc	19.6 fc	0.3 fc	65.3:1	10.3:1
Private Patio walkway floor	+	3.1 fc	6.5 fc	0.4 fc	16.3:1	7.8:1
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Walkalong Homestead floor	+	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1
Walkalong Monroe Floor	+	3.5 fc	18.3 fc	0.1 fc	183.0:1	35.0:1
Walkway along Franklin	+	3.6 fc	7.0 fc	0.3 fc	23.3:1	12.0:1
4th Floor Terrace floor	+	2.3 fc	10.4 fc	0.1 fc	104.0:1	23.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	A	17	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VF	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		3015	0.85	22.55
	B	6	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VW	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1997	0.85	14.53
	B1	7	Lithonia Lighting	WDGE2 LED P1 30K 80CRI VW	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1241	0.85	9.81
	C	0	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VF	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1947	0.85	14.53
	D	0	TARGETTI	Bullette LARGE FL 20 degree 3000K Ra84 12W	BLTRPFEL2FL30	LED-WW-10.4W.-	1148	0.85	12
	D	0	TARGETTI	Bullette LARGE WFL 30 degree 3000K Ra84 12W	BLTRPFEL2MF30	LED-WW-10.4W.-	1148	0.85	12
	D	0	TARGETTI	Bullette LARGE WFL 3000K Ra84	BLTRPFEL2WF30	LED-WW-10.4W.-	1148	0.85	12
	E	0	TARGETTI	Targetti Stealight ZEP10FWDFEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W.-	2088	0.85	15
	E	0	TARGETTI	Targetti Stealight ZEP10FWDFEL330	ZEDGE PRO WIDE 13W 3K FE	LED-WW-13W.-	2088	0.85	15
	F	0	ERCO GmbH	34743023_V03	Lightmark Bollard luminaire	LED 6W warm white	333	0.85	8
	F	3	Gotham Architectural Lighting	EVO4SH 30/15 DFF SMO	EVO 4IN SHOWER, 80 CRI, 3000K, 1500LM, FLUSH CLEAR		1281	0.85	13.7
	G	16	TARGETTI	MB 8 41 40 18 L3 40 (finish) 100_14LED-NW-17W.-	MB 8x Bollard, 40" Version 160 17W 40K 180 FE	LED-NW-17W.-	2806	0.85	19

THIS SCHEDULE IS A SUMMARY OF THE LUMINAIRE SCHEDULE. IT DOES NOT REPRESENT THE FINAL LUMINAIRE SCHEDULE. IT IS SUBJECT TO CHANGE WITHOUT NOTICE.

DELIVERED: The general schedule is provided for information only. It is not intended to be used for procurement purposes.

NOT DELIVERED: The general schedule is provided for information only. It is not intended to be used for procurement purposes.

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Ceiling Height: Varies
Luminaire Mounting Height: As noted
Calculation Point Height: As noted

Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstance.

5th floor
sixteen 5 hundred

Project: Santa Clara Downtown, Monroe Street I
PC# 20-14810
Client: Salvatore Caruso Design Corporation



AMERICAN TRASH MANAGEMENT
 1900 POWELL STREET, SUITE 890
 EMERYVILLE, CALIFORNIA 94608
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 F: 415.292.5410
 SBROWN@TRASHMANAGE.COM

CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

PROJECT

MONROE STREET

STAGING DETAILS
 RESIDENTIAL & COMMERCIAL

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CM	TR0.3
APPROVED SB	
DATE 11/05/21	
SCALE 1/32" = 1'-0"	

GENERAL NOTES.

1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
2. ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

PLAN CHECK NOTES.

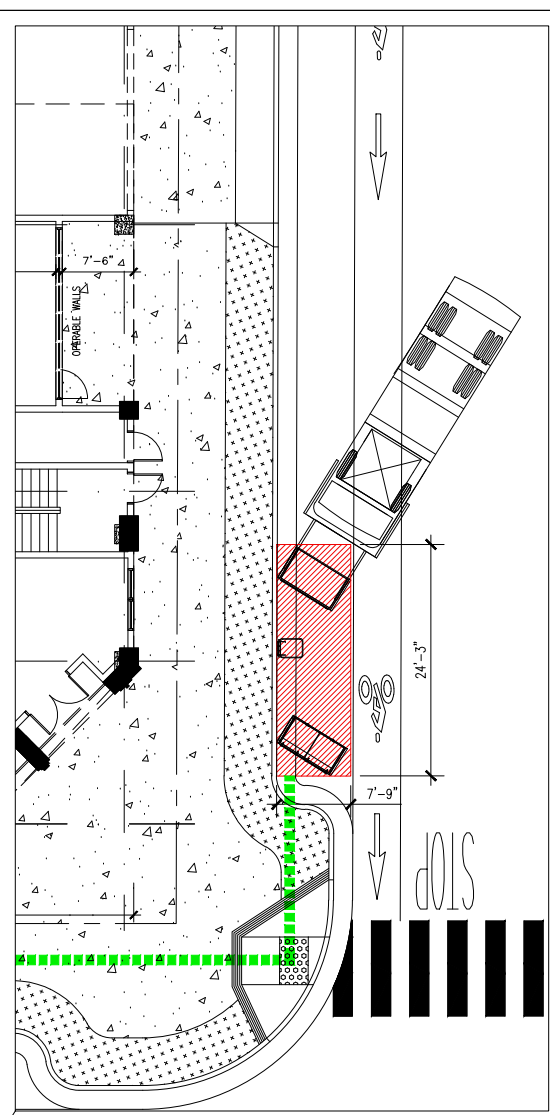
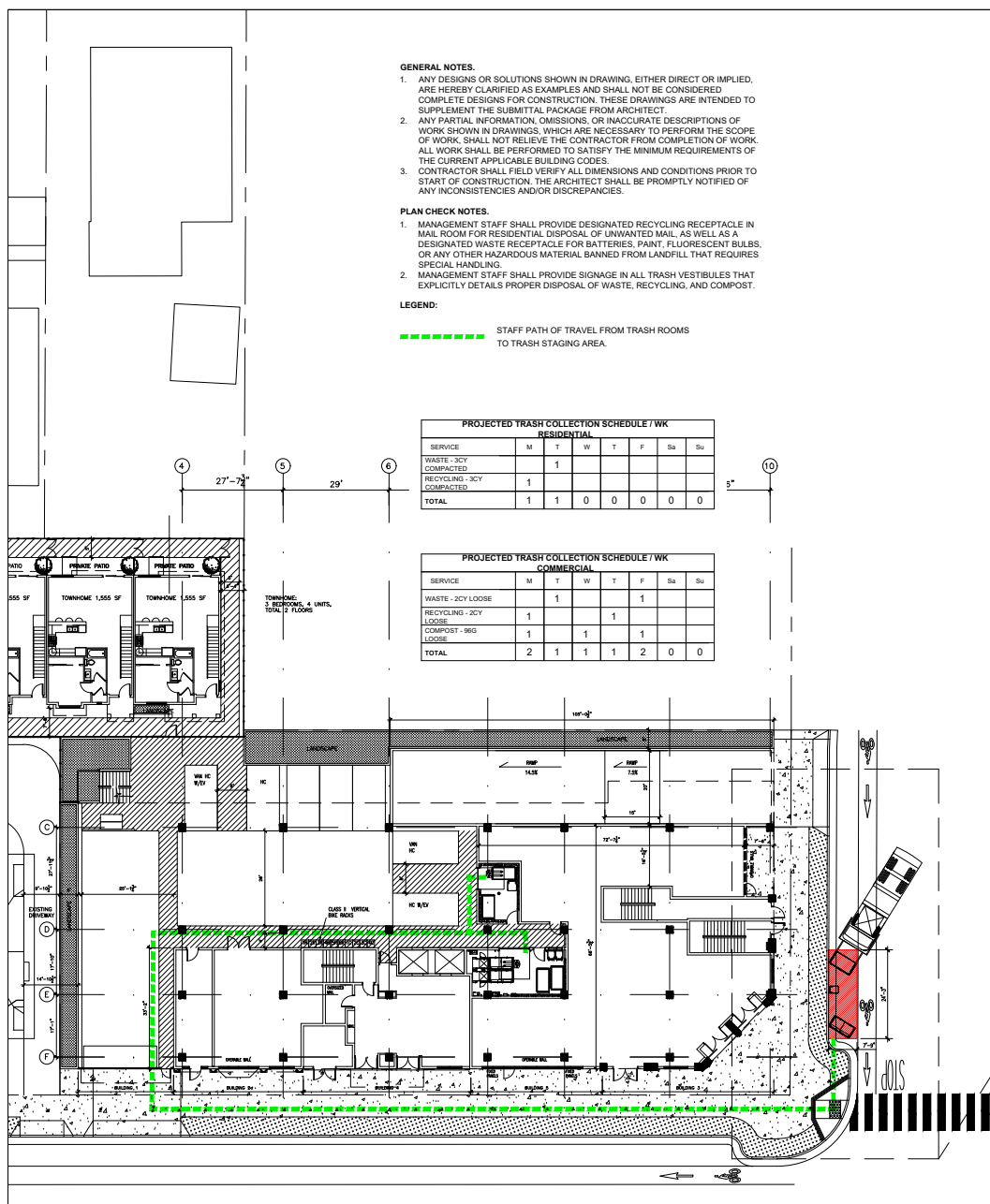
1. MANAGEMENT STAFF SHALL PROVIDE DESIGNATED RECYCLING RECEPTACLE IN MAIL ROOM FOR RESIDENTIAL DISPOSAL OF UNWANTED MAIL, AS WELL AS A DESIGNATED WASTE RECEPTACLE FOR BATTERIES, PAINT, FLUORESCENT BULBS, OR ANY OTHER HAZARDOUS MATERIAL BANNED FROM LANDFILL THAT REQUIRES SPECIAL HANDLING.
2. MANAGEMENT STAFF SHALL PROVIDE SIGNAGE IN ALL TRASH VESTIBULES THAT EXPLICITLY DETAILS PROPER DISPOSAL OF WASTE, RECYCLING, AND COMPOST.

LEGEND:

----- STAFF PATH OF TRAVEL FROM TRASH ROOMS TO TRASH STAGING AREA.

PROJECTED TRASH COLLECTION SCHEDULE / WK RESIDENTIAL							
SERVICE	M	T	W	T	F	Sa	Su
WASTE - 2CY COMPACTED	1						
RECYCLING - 3CY COMPACTED	1						
TOTAL	1	1	0	0	0	0	0

PROJECTED TRASH COLLECTION SCHEDULE / WK COMMERCIAL							
SERVICE	M	T	W	T	F	Sa	Su
WASTE - 2CY LOOSE		1			1		
RECYCLING - 2CY LOOSE	1		1		1		
COMPOST - 96G LOOSE	1		1		1		
TOTAL	2	1	1	1	2	0	0



CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

MONROE STREET

PROJECT

SECTIONS AT
RESIDENTIAL TRASH ROOM

DRAWING TITLE

PROJECT NO.

DRAWING NO.

DRAWN CM
APPROVED SB
DATE 11/05/21
SCALE 3/16" = 1'-0"

TR1.2

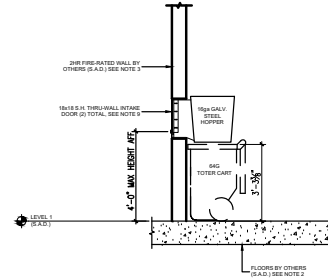
SHEET NOTES.

SECTIONS AT RESIDENTIAL TRASH ROOM, LEVEL 1.

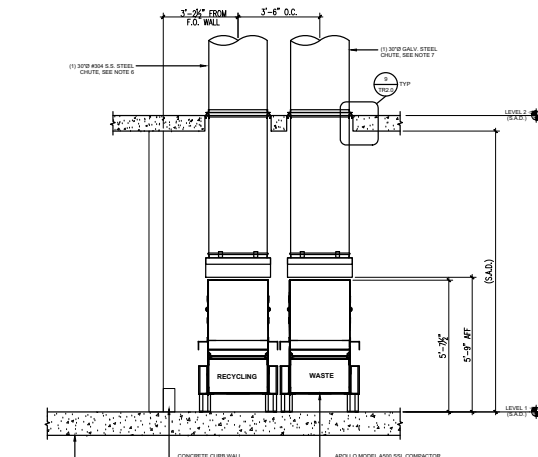
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTOR OR POWER PACKS. STEEL DIAMOND TREAD BACKING ALONG WALLS WHERE INDICATED FOR WALL PROTECTION.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2019 CBC.
- (1) 30"Ø #304 S.S. GRAVITY CHUTE WITH COMPACTOR FOR WASTE. PROVIDE CUSTOM 3CY FL NARROW COMPACTOR CONTAINERS FOR WASTE.
- (1) 30"Ø GALVANNEAL STEEL GRAVITY CHUTE WITH COMPACTOR FOR RECYCLING. PROVIDE CUSTOM 3CY FL NARROW COMPACTOR CONTAINERS FOR RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
- THRU-WALL INTAKE FOR RESIDENTIAL TRASH AT LEVEL 1. PROVIDE (2) 18x18 SIDE HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOORS. SEE DETAIL 2/TR2.0.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165° F FUSIBLE LINK.

GENERAL NOTES.

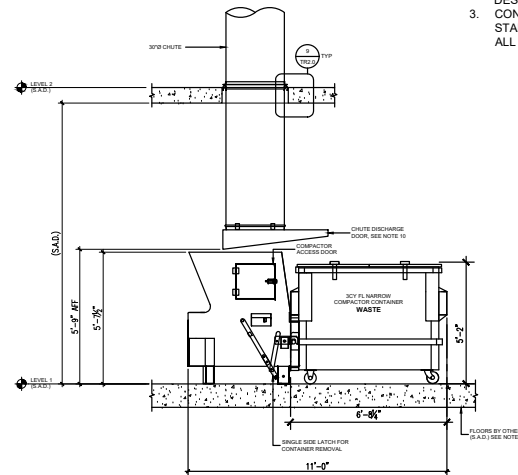
- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.



SECTION C-C



SECTION A-A



SECTION B-B

SECTIONS
AT RESIDENTIAL TRASH ROOM

