

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER(S)

230-46-069 & -070

EXISTING BUILDING ADDRESSES

1205 Coleman Ave

328 Brokaw Road
340 Brokaw Road
400 Brokaw Road

PLANNING/ZONING

EXISTING ZONING:
Light Industrial

EXISTING GENERAL PLAN DESIGNATION:
Station Area Plan

PROPOSED ZONING DESIGNATION:
Very High Density Residential

PROPOSED GENERAL PLAN DESIGNATION:
Community Commercial / Very High Density Residential

BUILDING HEIGHT

The maximum building height 85 feet and subject to the Federal Aviation Administration (FAA) regulation Part 77 height restrictions

SETBACK

Minimum building setback from Coleman Avenue is 25 feet.
Minimum building setback from Brokaw Street is 25 feet.
Minimum building setback from Champion Pkwy is 25 feet.

PROJECT DIRECTORY

OWNER

TOD Brokaw, LLC
10121 Miller Ave, Suite 200
Cupertino, CA 95014

ARCHITECT

MVE + Partners, Inc.
1900 Main Street, 8th Floor
Irvine, CA 92614

CIVIL ENGINEER

Kier + Wright
3350 Scott Blvd, Building 22
Santa Clara, CA 95054

LANDSCAPE ARCHITECT

The Guzzardo Partnership Inc.
181 Greenwich Street
San Francisco, CA 94111

VICINITY MAP



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HUNTER STORM
 15111 Main Street, Suite 200
 Irvine, California 92614
 Phone: (949) 266-4000 Fax: (949) 266-8420
GATEWAY CROSSINGS

DATE: 06-03-2019
 PROJECT #:
 SCALE:
 SHEET TITLE
PROJECT INFORMATION, DIRECTORY AND INDEX
 SHEET NUMBER
GEN.1

 1760 Main Street, Suite 800
 Irvine, California 92614
 Tel: 949.233.8338
 www.mve-partners.com



HUNTER STORM

10111 Mission Blvd, Suite 200, San Diego, CA 92108
Phone: (619) 224-4100 Fax: (619) 299-8420

GATEWAY CROSSINGS

DATE: 06-03-2019
 PROJECT #:
 SCALE: 1" = 50'-0"
 0 50 100
 NORTH

SHEET TITLE
 ILLUSTRATIVE
 SITE PLAN

SHEET NUMBER
 GEN.2

MVE
 PARTNERS

1700 Main Street, Suite 800
 Irvine, California 92614
 TEL: 949.333.8100
 www.mve-partners.com

PROJECT DATA

PROJECTED USE:	MULTI-FAMILY RESIDENTIAL (R-2)
NUMBER OF TOTAL UNITS:	1565 UNITS
TOTAL EXISTING GROSS AREA	23.84 ACRES
TOTAL EXISTING NET AREA:	21.40 ACRES
TOTAL PROPOSED NET AREA:	21.37 ACRES
PROPOSED RESIDENTIAL AREA:	44.72 ACRES
PROPOSED COMMERCIAL AREA:	4.28 ACRES
PROPOSED RESIDENTIAL DENSITY:	73.13 DU/AC

PROJECT PROGRAM

COMMERCIAL/ RETAIL AREA INFORMATION	
HOTEL	152,000 +/- S.F.
RETAIL	45,000 +/- S.F.
TOTAL COMMERCIAL/RETAIL AREA	197,000 +/- S.F.

*GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/RETAIL AREA CALCULATIONS.
GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.
ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

RESIDENTIAL BUILDING AREA INFORMATION

	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
TYPE IA CONSTRUCTION	281,148 +/- S.F.	327,151 +/- S.F.	235,279 +/- S.F.	573,140 +/- S.F.
WOOD TYPE IIIA CONSTRUCTION	344,521 +/- S.F.	439,448 +/- S.F.	328,230 +/- S.F.	359,302 +/- S.F.
TOTAL BUILDING AREA	625,669 +/- S.F.	766,599 +/- S.F.	563,509 +/- S.F.	932,442 +/- S.F.

RESIDENTIAL UNIT DATA

UNIT COUNT		UNIT MIX		
BUILDING 1	332 DU	UNIT TYPE	UNIT COUNT	PERCENTAGE
BUILDING 2	393 DU	STUDIO	184 DU	12%
BUILDING 3	324 DU	1-BEDROOM	684 DU	44%
BUILDING 4	516 DU	1BD + DEN	103 DU	7%
TOTAL	1565 DU	2-BEDROOM	504 DU	32%
		2BD + DEN	90 DU	6%
		TOTAL	1565 DU	100%

*ALL DENIS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

HOTEL DATA

ROOM COUNT	HOTEL ROOMS	BACK OF HOUSE (support, service, & circulation)	AMENITY (hobbies, food & beverage, spa, and fitness)	CONFERENCE
225	102,400 +/- SF	25,200 +/- SF	16,400 +/- SF	8,000 +/- SF

*VALUES SHOWN IN THIS CHART IS NOT IN ADDITION TO THE TOTAL VALUE SHOWN IN THE COMMERCIAL AREA INFORMATION.

BICYCLE PARKING

CLASS I BICYCLE PARKING			CLASS II BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO	LOCATION	BICYCLE SPACES	RATIO
BUILDING 1	166 SPACES	1 space / 2 DU	RESIDENTIAL	105 SPACES	1 space /15 DU
BUILDING 2	197 SPACES	1 space / 2 DU	RETAIL	8 SPACES	1 space /6,000 SF
BUILDING 3	162 SPACES	1 space / 2 DU	PARK	4 SPACES	
BUILDING 4	258 SPACES	1 space / 2 DU			
HOTEL	8 SPACES	1 space /30 rooms			
RETAIL	1 SPACES	1 space /30 employees			
TOTAL	792 SPACES				

NOTE: CLASS I BICYCLE PARKING PROVIDED IN SECURED ROOM OF EACH BUILDING

VEHICLE PARKING

HOTEL VEHICLE PARKING	
ADA	UNIVERSAL
12	168
180	

* 79 PARKING SPACES PROVIDED FOR GUESTS IN HOTEL BUILDING AND 101 PARKING SPACES PROVIDED IN BUILDING 2. (0.81 KEY)

BUILDING 1 VEHICLE PARKING							
VISITOR			RESIDENTIAL (1.27 SPACE/DU)				MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
4	5	61	9	22	385	7	
70			423				9

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 2 VEHICLE PARKING							
VISITOR			RESIDENTIAL (1.07 SPACE/DU)				MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
5	6	84	9	22	390	0	
95			421				10

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL PARKING 0.81 KEY, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 3 VEHICLE PARKING							
VISITOR			RESIDENTIAL (1.12 SPACE/DU)				MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
6	7	95	8	19	336	0	
108			363				9

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 4 VEHICLE PARKING							
VISITOR			RESIDENTIAL (1.22 SPACE/DU)				MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
6	7	96	13	32	563	19	
109			627				13

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

PARKING STALL SIZE:

UNIVERSAL 8'-6" X 18'-0"
ADA 9'-0" X 18'-0"
COMPACT 8'-0" X 16'-0"
MOTORCYCLE 3'-0" X 6'-0"

DRIVE AISLE WIDTH :25'

ADDITIONAL 24 PARALLEL PARKING STALLS PROVIDED FOR RETAIL AND PARK USE AT INTERNAL STREET.



HUNTER STORM
 PROJECT: 10/15/2013
 10/15/2013 10:00 AM (10/15/2013)

GATEWAY CROSSINGS

DATE: 6/19/2013
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE
CONTEXT PLAN

SHEET NUMBER
C1.0
 Building Number

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KIRK & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1000 N. GARDEN AVENUE, SUITE 100
 SAN JOSE, CA 95128
 (408) 298-1000

DATE: 6/19/2013 10:00 AM (10/15/2013)

ISSUE

COLEMAN & CHAMPIONS WAY DETAILED SCOPE OF WORK

PROJECT WILL CONSTRUCT FIRST PHASE OF AN INTERSECTION IN ORDER TO PROVIDE IMPROVED VEHICLE ACCESS TO BUILDING 1, BUILDING 2 AND NEIGHBORHOOD PARK. THE SCOPE OF THIS WORK WILL INCLUDE:

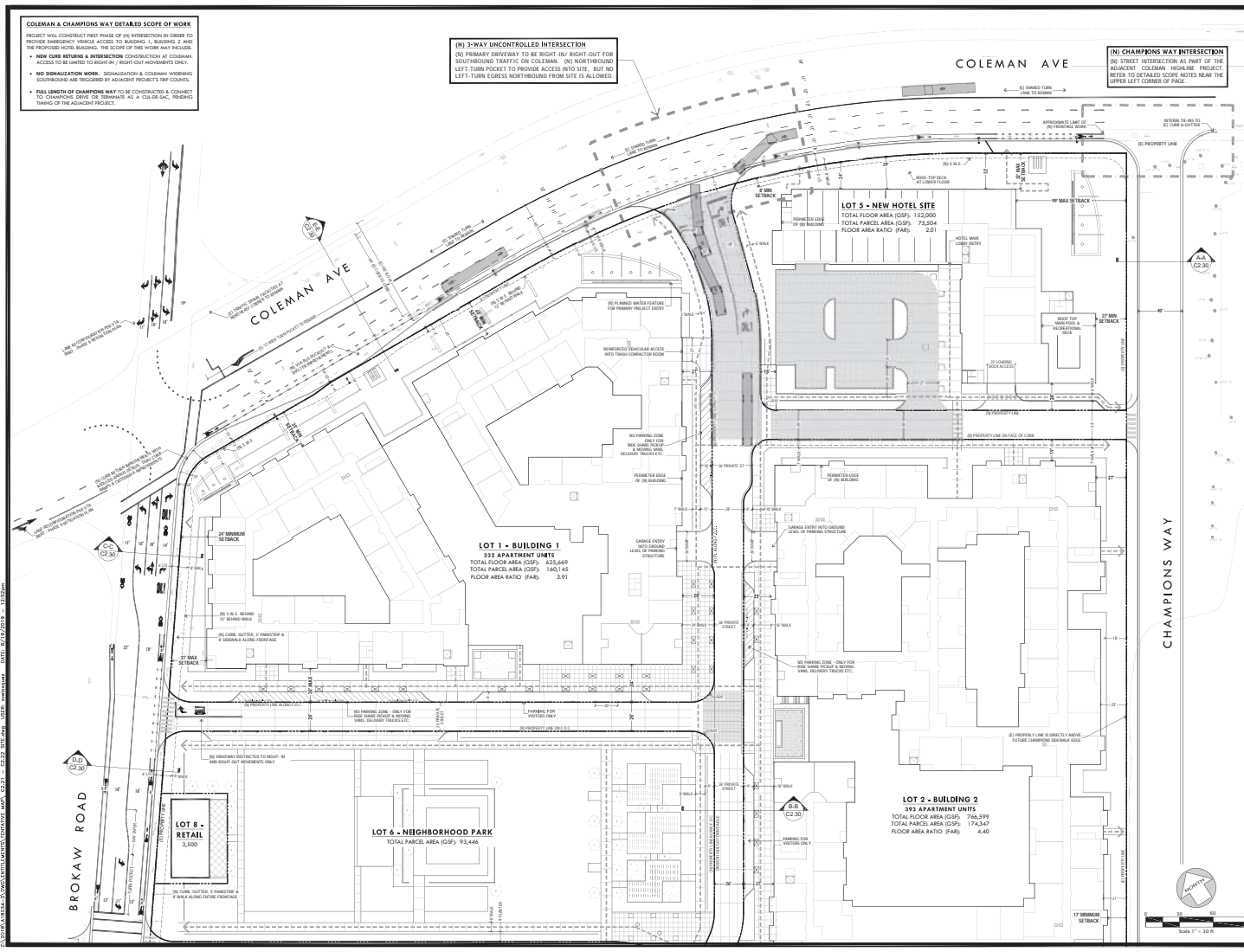
- NEW CURB RETURN & INTERSECTION CONSTRUCTION AT COLEMAN
- ACCESS TO BE LIMITED TO RIGHT-WAY / RIGHT-OF-WAYMENTS ONLY.
- NO SIGNALIZATION WORK. SIGNALIZATION & COLEMAN HOVING SCOURBOARDS ARE TRIGGERED BY ADJACENT PROJECT'S TRIP COUNTS.
- FULL LENGTH OF CHAMPIONS WAY TO BE CONSTRUCTED & CONNECT TO ADJACENT DRIVE OR REMAINS AT A GRASSY AND PAVED TRAILING OF THE ADJACENT PROJECT.

(N) 3-WAY UNCONTROLLED INTERSECTION

(N) PRIMARY DRIVEWAY TO BE RIGHT-IN/ RIGHT-OUT FOR SOUTHBOUND TRAFFIC ON COLEMAN. (N) NORTHBOUND LEFT-TURN POCKET TO PROVIDE ACCESS INTO SITE, BUT NO LEFT-TURN EGRESS NORTHBOUND FROM SITE IS ALLOWED.

(N) CHAMPIONS WAY INTERSECTION

(N) STREET INTERSECTION AS PART OF THE ADJACENT COLEMAN REHABILITATION PROJECT. REFER TO DETAILED SCOPE NOTES NEAR THE UPPER LEFT CORNER OF PAGE.



HUNTER STORM

PROJECT: GATEWAY CROSSINGS

DATE: 6/19/2019
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE

DETAILED SITE PLAN

SHEET NUMBER

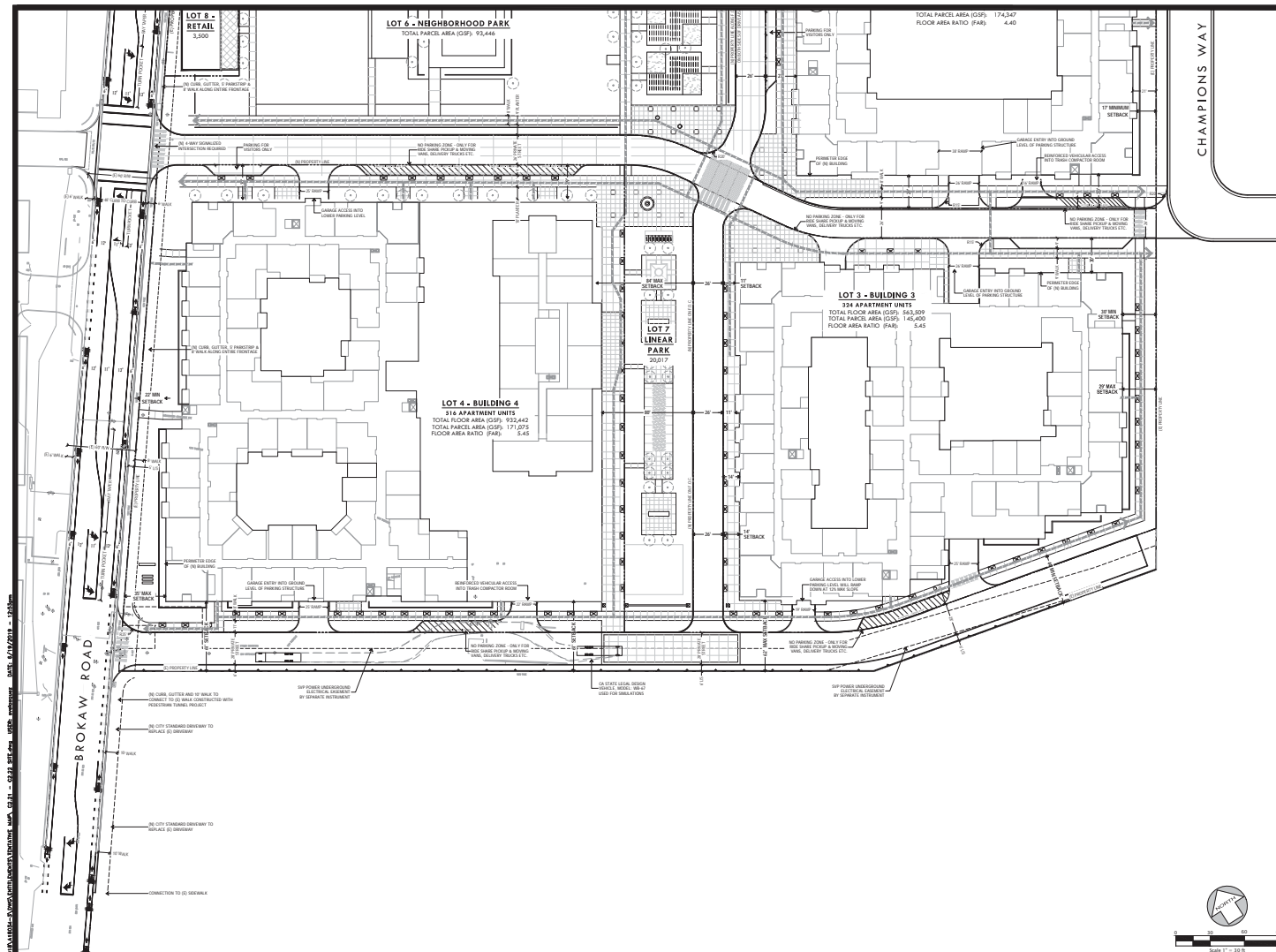
C2.21

Building Number

Building Number

KIRK & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.

ISSUE



DATE: 10/27/2018 11:53 AM
PROJECT: HUNTER STORM
SHEET: C2.22

HUNTER STORM

GATEWAY CROSSINGS

DATE: 6/19/2018
PROJECT #: A180343
SCALE: AS SHOWN

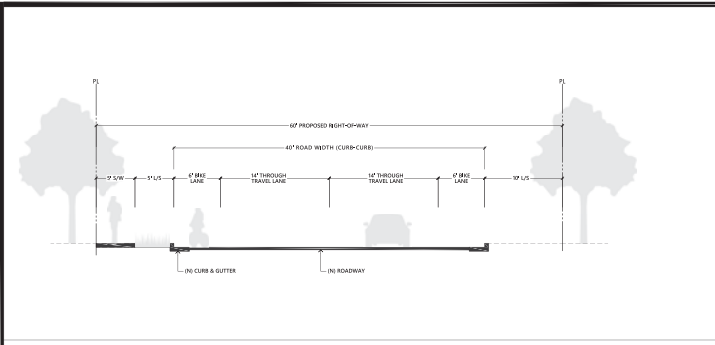
SHEET TITLE
DETAILED SITE PLAN

SHEET NUMBER
C2.22
Building Number

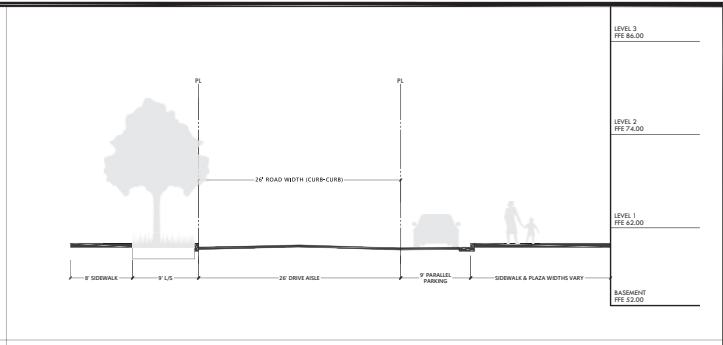
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PROJECT: HUNTER STORM
SHEET: C2.22



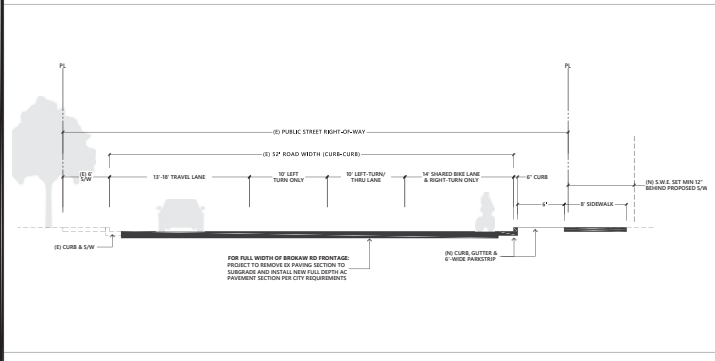
ISSUE



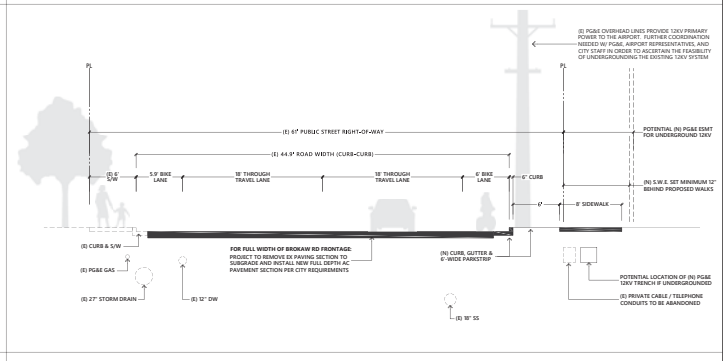
SECTION A-A: CHAMPIONS WAY (FUTURE STREET)



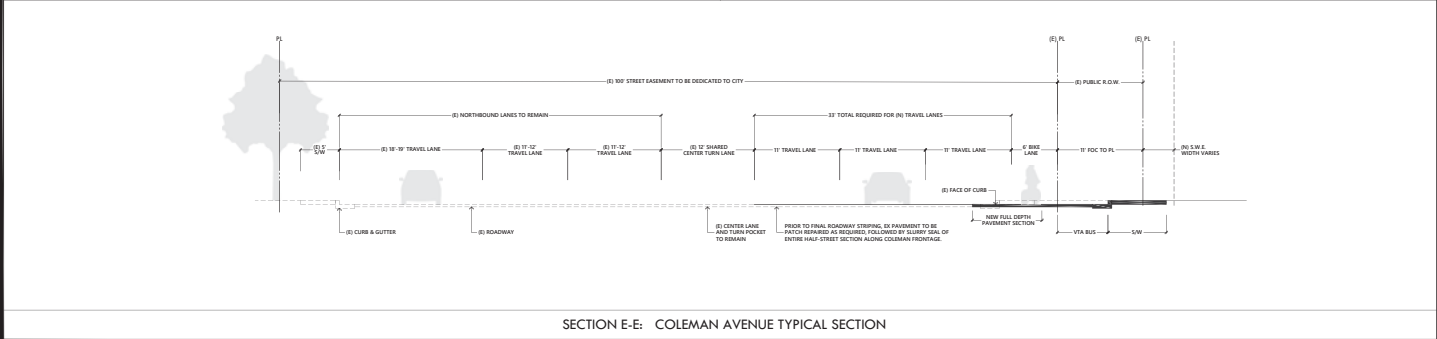
SECTION B-B: TYPICAL PRIVATE STREET ON-SITE



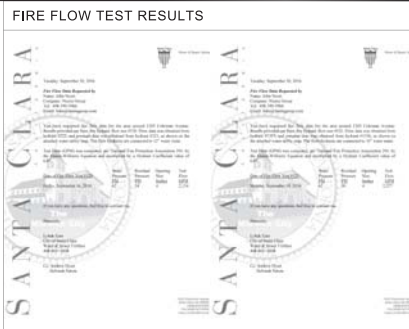
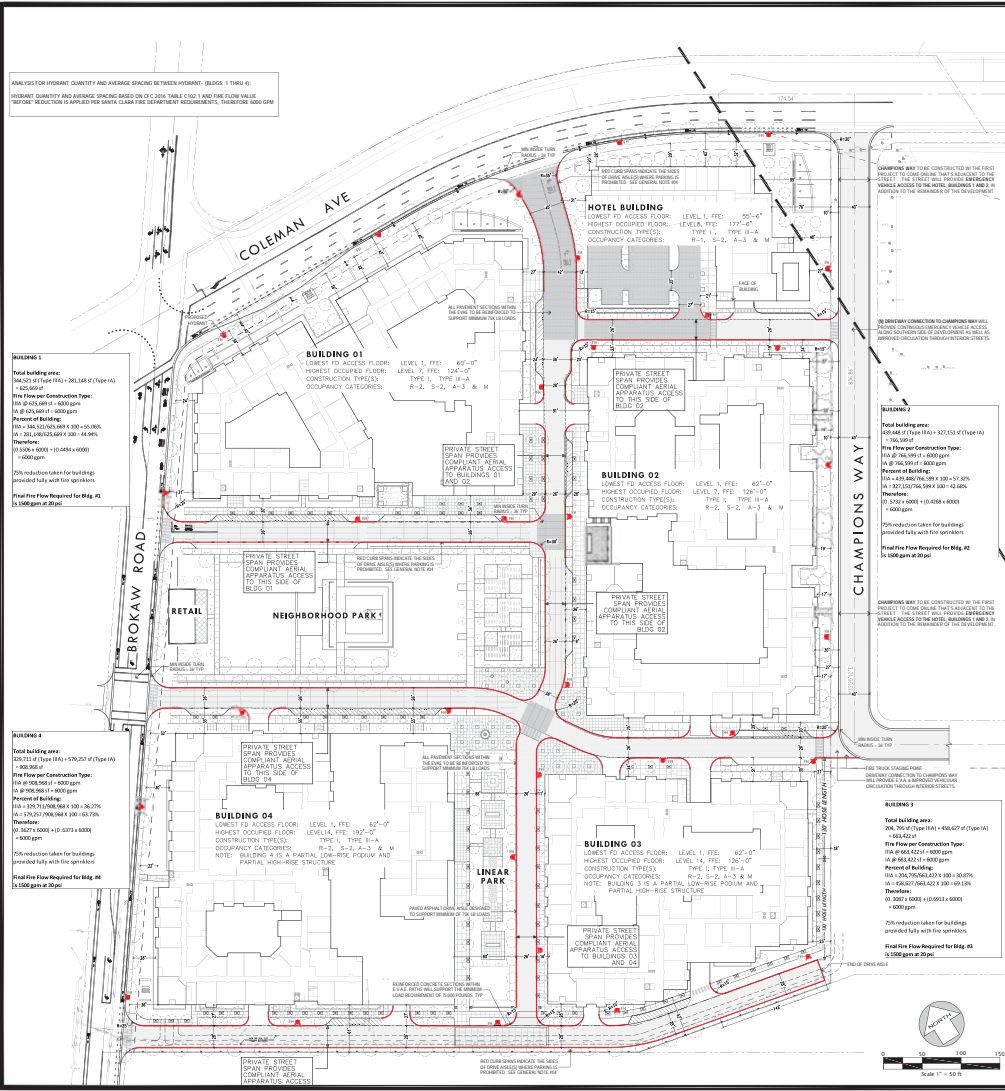
SECTION C-C: BROKAW ROAD SECTION AT COLEMAN INTERSECTION



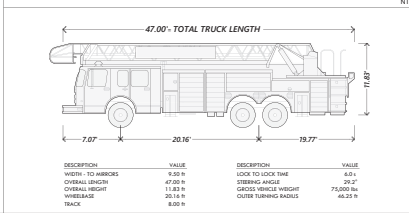
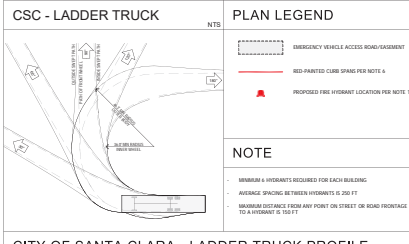
SECTION D-D: BROKAW ROAD TYPICAL SECTION



SECTION E-E: COLEMAN AVENUE TYPICAL SECTION



- GENERAL NOTES**
- FIRE HYDRANT LOCATIONS SHOWN ARE SCHEMATIC ONLY AND WILL BE FINALIZED AT A LATER STAGE.
 - EMERGENCY VEHICLE ACCESS ROADS ARE PROVIDED WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS. APPROVED FIRE DEPARTMENT TURNAROUNDS HAVE BEEN PROVIDED WHENEVER DEAD-END ACCESS ROADS ARE IN EXCESS OF 150 FEET.
 - ALL SHADDED ROADWAYS INDICATED AS EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS. E.V.A.E. PAVING SHOWN WITH PAVES WILL BE REINFORCED TURF-BLOCK TO BE PRE-APPROVED BY THE FIRE DEPARTMENT AT THE PERMIT STAGE.
 - ALL ON-SITE ROADWAYS AND FIRE APPARATUS ACCESS ROADS (E.V.A.E.) PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 30'-0" AND MINIMUM VERTICAL CLEARANCE OF 13'-0", IN ACCORDANCE WITH THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
 - ALL PAVING MATERIALS WITHIN THE SHADED REGIONS SHOWN SHALL BE DESIGNED TO SUPPORT A MINIMUM GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
 - CLUB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING TWO PARKING - FIRE LANE IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
 - NOTE THAT ALL INTERIOR PODIUM COURTYARDS SHOWN ARE SITUATED ABOVE THE GROUND ELEVATIONS OF EMERGENCY VEHICLE ACCESS (E.V.A.E.) GRADE. REFER TO ARCHITECTURAL ELEVATIONS AND SECTIONS FOR SPECIFIC DETAILS ON COURTYARD ELEVATIONS AND FLOORS.

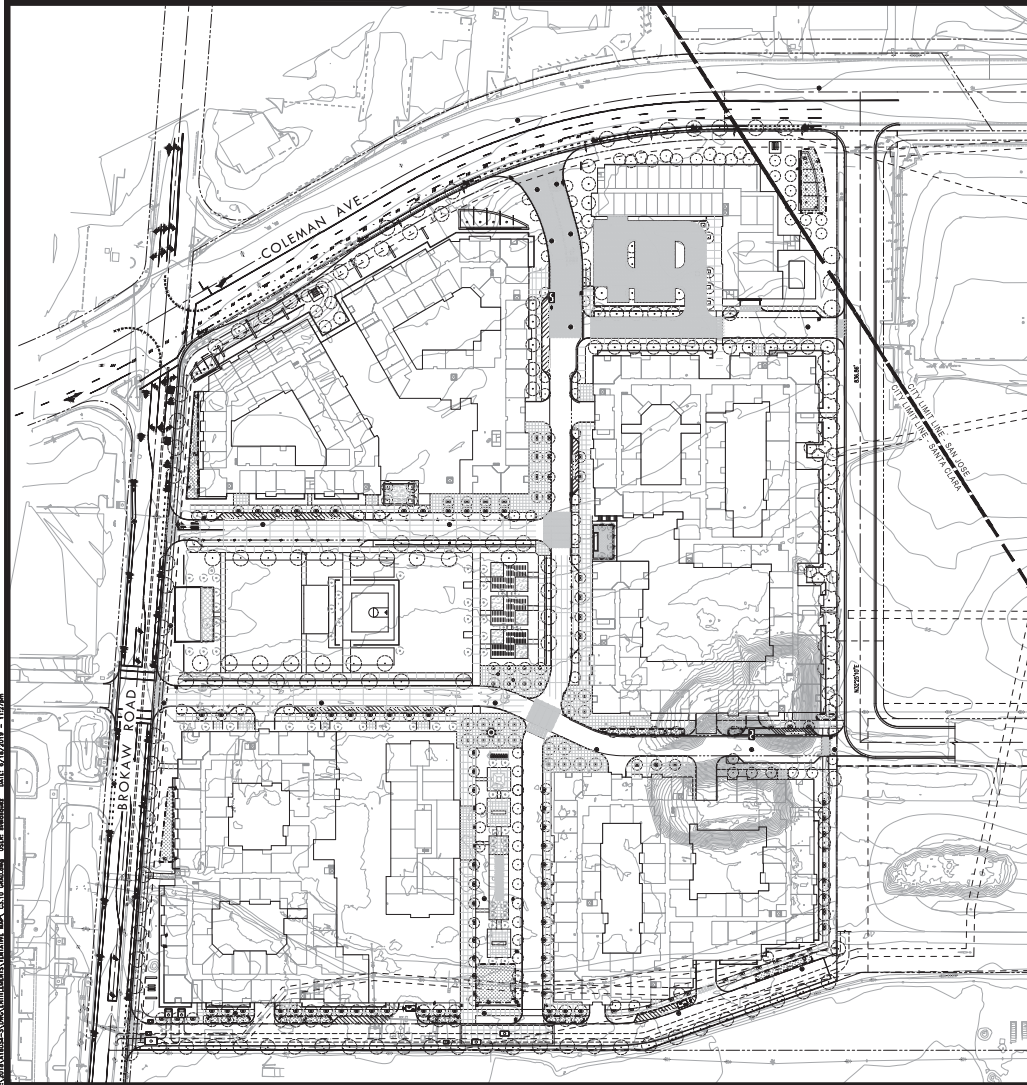


HUNTER STORM

PROJECT # A180343
 SCALE: AS SHOWN
 SHEET TITLE: FIRE ACCESS & APPARATUS
 SHEET NUMBER: C2.40
 Building Number

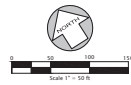
KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.

ISSUE



PLAN LEGEND

LINE/TYPE / SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	BUILDING WALL / EDGE
	NEW 4" CONCRETE VERTICAL CURB
	NEW CONCRETE CURB AND GUTTER
	NEW CONCRETE VALET GUTTER
	NEW CONCRETE SIDEWALK
	FINISH GRADE ELEVATION
	PROPOSED GROUND SLOPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED DROP INLET/CATCH BASIN
	PROPOSED GARAGE TRENCH DRAIN
	FLOW DIRECTION OF OVERLAND RELEASE
	PROPOSED BIOTREATMENT POND



HUNTER STORM
DESIGNED BY: KIER & WRIGHT
 PROJECT # A180343
 PLANNING # 60312521001001001001001001001001

GATEWAY CROSSINGS

DATE: 6/19/2013
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE
 PRELIMINARY GRADING PLAN

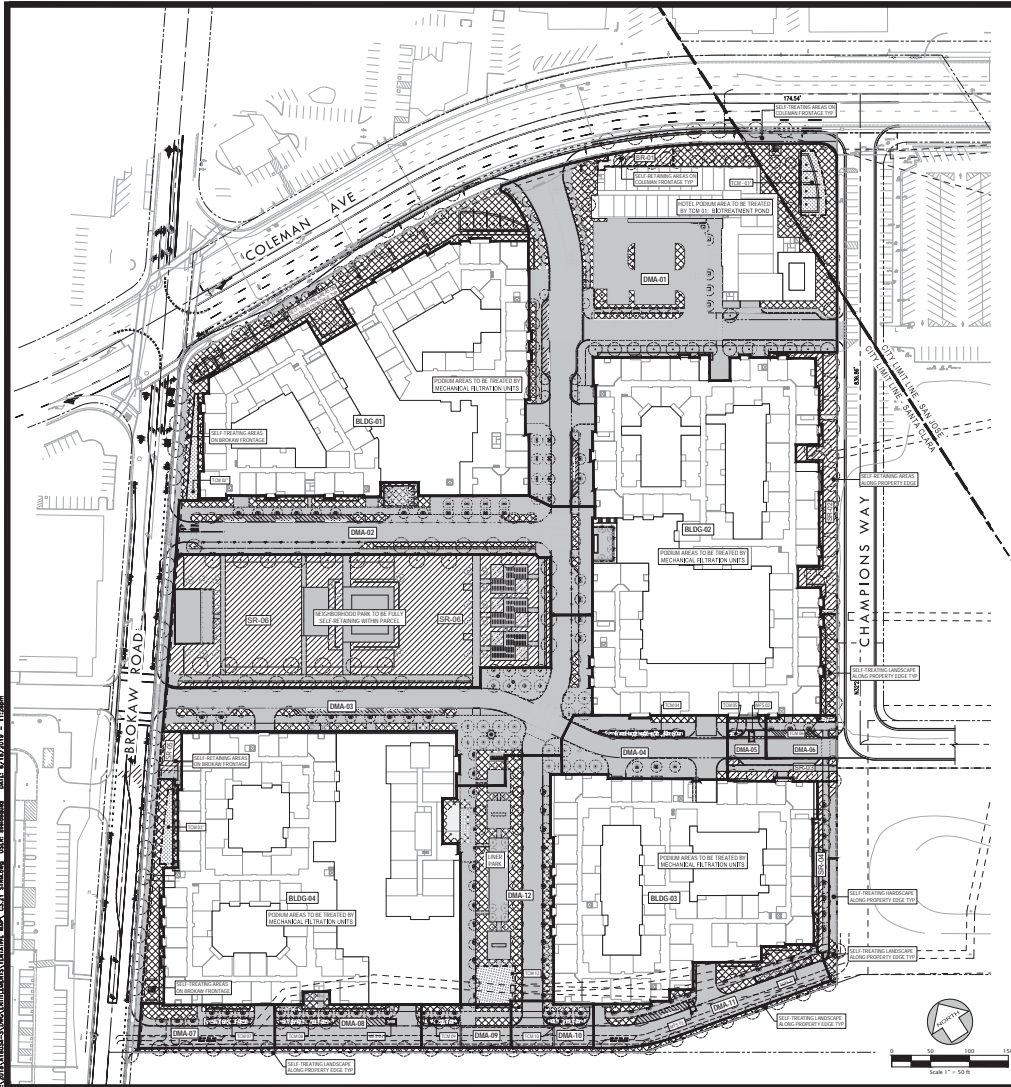
SHEET NUMBER
C3.10
 Building Number

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DATE: 6/19/2013 11:17 AM

ISSUE



PLAN LEGEND

- DRAINAGE MANAGEMENT AREA LIMITS**
- AT-GRADE SURFACE AREAS:**
TREATMENT FOR 100% L.I.D. MEASURES (FLOW-THRU PLANTERS & BIOTREATMENT)
- SELF-TREATING AREAS:**
100% PERVIOUS AREAS WITH NO IMPERVIOUS SURFACE AREA RUN-ON
- SELF-RETAINING AREAS:**
100% PERVIOUS AREAS WITH 2:1 MAX RATIO OF IMPERVIOUS SURFACE AREA RUN-ON
- STRUCTURED PODIUM FOOTPRINTS (RESIDENTIAL LOTS):**
TREATMENT FOR PODIUM DECK, FLATWORK & ROOF AREAS VIA MECHANICAL FILTRATION SYSTEMS IN ACCORDANCE WITH THE PROVISIONS FOR SPECIAL PRODUCT QUALIFICATION.
- STRUCTURED PODIUM FOOTPRINTS (HOTEL LOT):**
TREATMENT FOR PODIUM DECK, FLATWORK & ROOF AREAS USING 100% L.I.D. MEASURES (BIOTREATMENT)
- TREATMENT CONTROL MEASURES:**
FLOW-THRU PLANTERS AND BIOTREATMENT PONDS

TREATMENT NOTES

1. DUE TO THE AVAILABILITY OF RECLAIMED WATER TO THE SITE, RAINWATER HARVESTING IS RECOMMENDED. STREET & SIDEWALK AREAS WILL BE TREATED VIA LANDSCAPE BASED TREATMENT MEASURES (BIOTREATMENT PONDS). SPECIAL PRODUCT CREDITS UP TO 70% OF TOTAL SITE MAXIMUM WILL BE UTILIZED FOR MECHANICAL TREATMENT OF THE PODIUM STRUCTURES IN ACCORDANCE WITH USGBC/LEED GUIDELINES. POND/TERRACE LANDSCAPE AREAS WILL BE SELF-TREATING OR SELF-RETAINING.
2. ALL BIOTREATMENT AREAS (WITH THE EXCEPTION OF DMA-01 AND-02) HAVE BEEN PRELIMINARILY SIZED USING THE CRITERIA IN THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM DESIGN MANUAL, PER THE 4L SIZING GUIDELINES AS A CONSERVATIVE MEASURE.
3. POND AREAS MAY BE REVISED AT FURTHER DESIGN STAGES TO UTILIZE COMBINATION FLOW AND VOLUME BASED CALCULATION METHODS THAT ALLOW FOR INCREASED PONDING DEPTH AND REMOVED SURFACE FOOTPRINTS, PER USGBC/LEED GUIDELINES.
4. REFER TO THE COMPLETE STORMWATER APPLICATION PACKET FOR SIZING DETAILS INCLUDING ALL FEASIBILITY WORKSHEETS, IMPERVIOUS SURFACE FORMS AND SIZING CALCULATIONS, TO BE SUBMITTED UNDER SEPARATE COVER.

L.I.D. ACRONYMS

- DMA-01** DRAINAGE MANAGEMENT AREAS
- TCM-01** TREATMENT CONTROL MEASURES
- ST-01** SELF-TREATING AREAS
- SR-01** SELF-RETAINING AREAS
- MF-01** MEDIA FILTRATION SYSTEMS

ON-SITE TCM SUMMARY TABLE

AREAS	TREATMENT METHOD	SIZING
DMA NUMBER (DRAINAGE MANAGEMENT AREA)	TREATMENT (SEE PLAN FOR DETAILS)	PERVIOUS (SQ. FT. PERVIOUS)
DMA-01	SELF-TREATING	10,223
DMA-02	SELF-TREATING	10,223
DMA-03	SELF-TREATING	10,223
DMA-04	SELF-TREATING	10,223
DMA-05	SELF-TREATING	10,223
DMA-06	SELF-TREATING	10,223
DMA-07	SELF-TREATING	10,223
DMA-08	SELF-TREATING	10,223
DMA-09	SELF-TREATING	10,223
DMA-10	SELF-TREATING	10,223
DMA-11	SELF-TREATING	10,223
DMA-12	SELF-TREATING	10,223
SELF-RETAINING AREAS		
SR-01	SELF-RETAINING	10,223
SR-02	SELF-RETAINING	10,223
SR-03	SELF-RETAINING	10,223
SR-04	SELF-RETAINING	10,223
SR-05	SELF-RETAINING	10,223
SR-06	SELF-RETAINING	10,223
MECHANICAL TREATMENT (SEE SHEET C3-20 FOR DETAILS)		
BLDG-01	MECHANICAL	10,223
BLDG-02	MECHANICAL	10,223
BLDG-03	MECHANICAL	10,223
BLDG-04	MECHANICAL	10,223
GRAND TOTAL IMPERVIOUS AREA TREATED		649,904 sf
SELF-TREATING AREAS		
SELF-TREATING AREAS ON COLUMN FRONTS		22,447
SELF-TREATING AREAS ON SKYLINE FRONTS		10,223
SELF-TREATING AREAS ALONG SOUTH PROPERTY EDGE		7,311
SELF-TREATING AREAS ALONG NORTH PROPERTY EDGE		6,909
GRAND TOTAL SELF-TREATING IMPERVIOUS		46,890 sf
OVERALL TOTAL IMPERVIOUS		660,923 sf
OVERALL TOTAL PERVIOUS		271,256 sf

HUNTER STORM

GATEWAY CROSSINGS

PRELIMINARY STORMWATER CONTROL PLAN

DATE: 6/19/2013
PROJECT #: A180343
SCALE: AS SHOWN

SHEET TITLE
PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER
C3.20

Building Number

ISSUE

MEDIA FILTRATION SYSTEM DETAILS & TABLE

PLAN VIEW

SECTION A-A

STORM FILTER DESIGN NOTES

FRAME AND COVER

MEDIA FILTRATION TABLE

Item	Description	Quantity	Unit
1	Storm Filter	1	Each
2	Storm Filter Cover	1	Each
3	Storm Filter Frame	1	Each
4	Storm Filter Media	100	Cu Yd
5	Storm Filter Inlet	1	Each
6	Storm Filter Outlet	1	Each
7	Storm Filter Support	1	Each
8	Storm Filter Access	1	Each
9	Storm Filter Seal	1	Each
10	Storm Filter Gasket	1	Each

SOURCE CONTROL MEASURES IMPLEMENTED

- SD-10: SITE DESIGN & LANDSCAPE PLANNING**
- MAXIMIZED TREES AND PLANTING WITHIN NEW HARDSCAPE AREAS AND LANDSCAPED AREAS.
 - VEGETATION/PLANTING FOR ALL LANDSCAPE AREAS WHICH SLOPE DOWN AT A RATIO OF LESS THAN 5:1.
- SD-11: EFFICIENT IRRIGATION**
- RAIN-TRIGGERED SHUTOFF DEVICES FOR IRRIGATION SYSTEMS TO PREVENT OPERATION AFTER RAINFALL.
 - IRRIGATION SYSTEMS DESIGNED SPECIFICALLY TO ACCOMMODATE THE PROJECT'S IRRIGATION WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE**
- ALL CATCH BASINS AND INLETS TO BE STENCILED W/ PROHIBITIVE LANGUAGE REGARDING DUMPING, IN ACCORDANCE WITH CITY & SCURPPP STANDARDS.

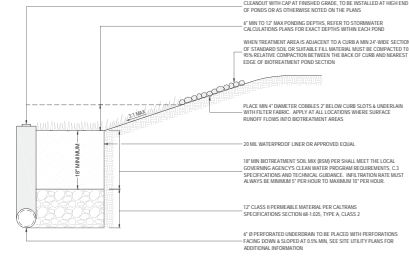
OVERALL SITE PERMEABILITY TABLE

A. TOTAL SITE AREA	21.40 ACRES	B. TOTAL SITE AREA DISTURBED	21.40 ACRES
GATEWAY CROSSINGS	EXISTING AREA	PROPOSED AREA	TOTAL POST-PROJECT AREA
IMPERVIOUS AREA		REPLACED	NEW
ROOF	248,366 sq ft	248,366 sq ft	174,441 sq ft
PARKING	441,350 sq ft	25,538 sq ft	0
SIDEWALKS & STREETS & HARDSCAPE	25,428 sq ft	25,428 sq ft	168,851 sq ft
C. TOTAL IMPERVIOUS AREA	715,144 sq ft	529,332 sq ft	343,292 sq ft
D. TOTAL NEW & REPLACED IMPERVIOUS AREA	684,823 sq ft		
PERVIOUS AREA			
LANDSCAPING	143,749 sq ft	143,749 sq ft	232,465 sq ft
PERVIOUS PAVING	0 sq ft	0 sq ft	0 sq ft
OTHER GREEN ROOF ETC.	0 sq ft	0 sq ft	0 sq ft
E. TOTAL PERVIOUS AREA	143,749 sq ft	143,749 sq ft	232,465 sq ft
F. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS	REPLACED TOTAL IMPERVIOUS AREA ÷ EXISTING TOTAL IMPERVIOUS AREA × 100% =		46.90 %

BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM)** SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "L" OF THE MUNICIPAL REGIONAL PERMIT (MRP), ADOPTED BY THE REGIONAL WATER BOARD ON NOVEMBER 28TH, 2011. THE BSM SHALL ACHIEVE AN INFILTRATION RATE BETWEEN A MINIMUM OF 2-INCHES AND MAXIMUM OF 10-INCHES PER HOUR.
- SOIL MIX MUST BE CERTIFIED** IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCURPPP), DATED APRIL 8TH, 2014. AVAILABLE AT: www.scurppp-wq.com/wq_wp4mm
- PERMEABLE MATERIAL SHALL COMPLY** WITH CALTRANS STANDARD SPECIFICATIONS SECTION 681-1025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH** THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
- SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS.** PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "P" OF THE C.S. STORMWATER HANDBOOK, DATED APRIL 2012. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

TYPICAL BIOTRETENTION AREA HALF-SECTION



COMBINATION VOLUME & FLOW SIZING CALCULATIONS FOR TREATMENT CURB MEASURES: TCM-01, TCM-02, and TCM-03

Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

1.1 Project Name: **STORMWATER TREATMENT**

1.2 City: **SANTA CLARA**

1.3 County: **SANTA CLARA**

1.4 Project Location: **1000 N. MARKET ST., SAN JOSE, CA 95128**

1.5 Date: **08/20/2014**

1.6 Prepared by: **CH2M HILL**

1.7 Checked by: **CH2M HILL**

1.8 Approved by: **CH2M HILL**

1.9 Revision: **1.0**

1.10 Scale: **AS SHOWN**

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2.1 Name of DMA: **DMA 1**

2.2 Area of Impervious Surface: **100,000 sq ft**

2.3 Area of Total Surface: **100,000 sq ft**

2.4 Percentage of Impervious Surface: **100%**

3.0 Calculate Unit Run Storage Volume in Inches

3.1 Name of DMA: **DMA 1**

3.2 Area of Impervious Surface: **100,000 sq ft**

3.3 Unit Run Storage Volume: **100,000 cu ft**

4.0 Calculate the Duration of the Rain Event

4.1 Name of DMA: **DMA 1**

4.2 Duration of Rain Event: **0.2 Hours**

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 Name of DMA: **DMA 1**

5.2 Surface Area of Treatment Measure: **100,000 sq ft**

6.0 Initial Adjustment of Depth of Surface Treatment Measure

6.1 Name of DMA: **DMA 1**

6.2 Depth of Surface Treatment Measure: **1.00 Feet**

7.0 Optimize Size of Treatment Measure

7.1 Name of DMA: **DMA 1**

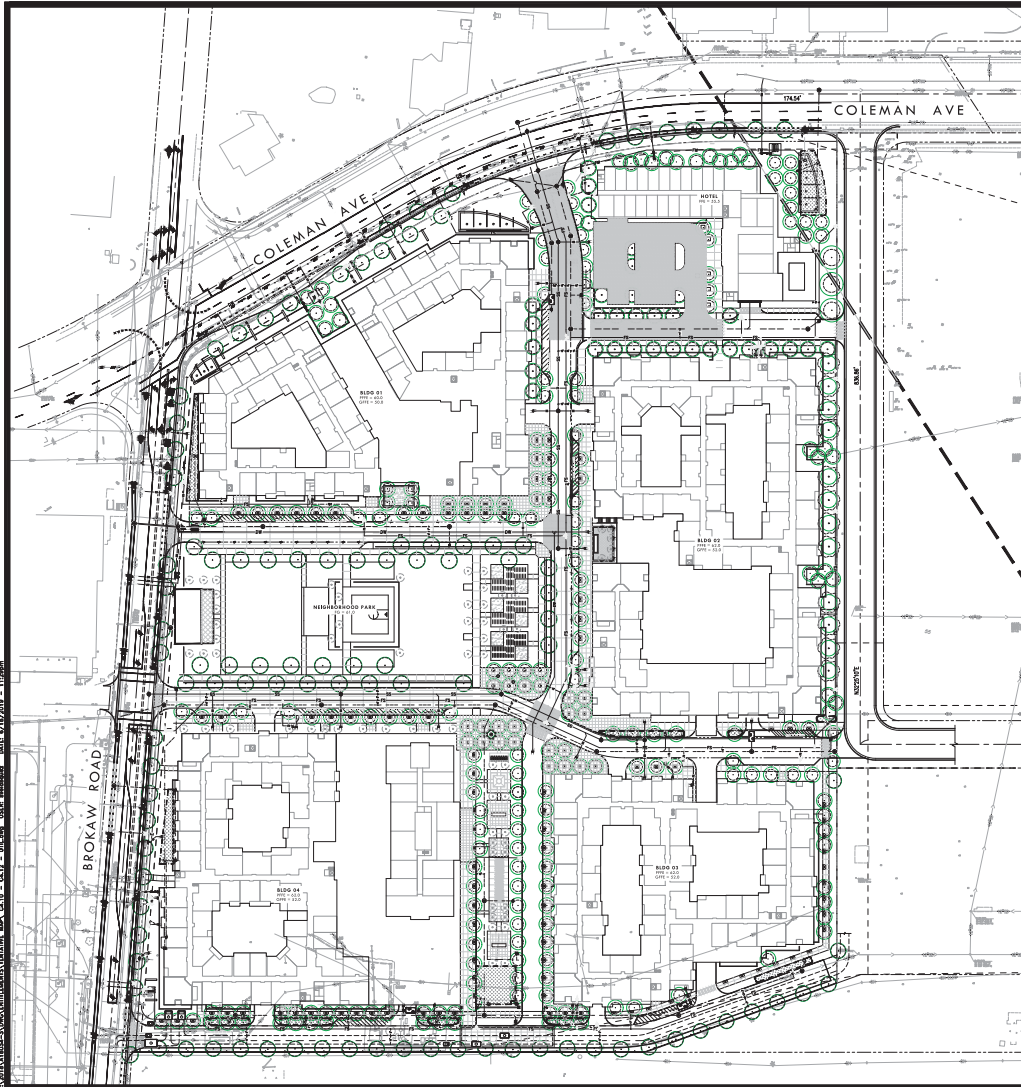
7.2 Optimize Size of Treatment Measure: **100,000 sq ft**

BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES.	POST CONSTRUCTION
INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE ALSO DESIRABLE.	SEMI-ANNUAL
INSPECT DRAIN CHOC DURING WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN THE TIMEFRAME, REMOVE & REPLACE TOP 2 INCHES OF FILTER MEDIA.	SEMI-ANNUAL
HOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED.	AS NEEDED (FREQUENT, SEASONALLY)
BRIKGADE DURING DRY SEASON (APRIL - OCTOBER) OR WHEN NEEDED TO MAINTAIN VEGETATION.	AS NEEDED (FREQUENT, SEASONALLY)
PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES.	AS NEEDED (FREQUENT, SEASONALLY)
REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DEPOSE OF PROPERLY.	AS NEEDED (FREQUENT, SEASONALLY)
REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION HILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY.	SEMI-ANNUAL
CONNECT ANY EROSION PROBLEMS WITHIN THE SAND/SOIL BED.	AS NEEDED (FREQUENT, SEASONALLY)
PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.	AS NEEDED (FREQUENT, SEASONALLY)
RE-SEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1-2 INCHES OF MULCH, PREFERABLY IN LINE AFTER WEEDING.	SEMI-ANNUAL
REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT PROPER OPERATION OF BIO TREATMENT PONDS. REMOVE SEDIMENT WHEN BUILD UP REACHES 3 INCHES AT ANY SPOT. IF IT COVERS VEGETATION, OR IF IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE ANY GRASS AREAS DAMAGED IN THE PROCESS.	AS NEEDED (INFREQUENT)
ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED IF TREATMENT AREA DOES NOT DRAIN DOWN WITHIN 48 HOURS.	AS NEEDED

HUNTER STORM
 PROJECT # A18034
 SCALE: AS SHOWN
 SHEET TITLE
PRELIMINARY STORMWATER CONTROL PLAN
 SHEET NUMBER **C3.21**
 Building Number
 KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1000 N. MARKET ST., SUITE 100
 SAN JOSE, CA 95128
 (408) 281-1111
 WWW.KIERANDWRIGHT.COM

ISSUE



GENERAL NOTES

1. THE SHADED REGIONS WHICH OVERLAY UTILITY MAINS AND LATERALS ON THIS PLAN DEPICT A 5-FOOT OFFSET ON EITHER SIDE OF THE UTILITY PIPING, PROVIDING A REPRESENTATION OF 10-FOOT CLEAR SPACE FROM EDGE TO EDGE.
2. THE GREEN CIRCLES REPRESENT 20-FOOT DIAMETER CLEAR ZONES CENTERED ON EACH PROPOSED TREE LOCATION. THESE CIRCLES DEPICT THE REQUIRED 10-FOOT RADIUS OF CLEAR SPACE REQUIRED BETWEEN TREES AND MOST UTILITY LINES.
3. WHERE THE SHADED PIPELINE REGION INTERSECTS A TREE 'GREEN ZONE' RADIUS THIS REPRESENTS AN ENCROACHMENT INTO THE REQUIRED 10-FOOT CLEAR SPACE. A PIPELINE'S SHADED REGION WOULD NEED TO TOUCH OR OVERLAP THE CENTER OF A PROPOSED TREE IN ORDER TO VIOLATE THE MINIMUM 5-FOOT CLEAR SPACE ALLOWED WHEN ROOT BARRIERS ARE INSTALLED IN LIEU OF PROVIDING 10-FOOT CLEAR.

HUNTER STORM

GATEWAY CROSSINGS

PROJECT # A180343
DATE 6/19/2013
SCALE AS SHOWN

DATE: 6/19/2013
PROJECT #: A180343
SCALE: AS SHOWN

SHEET TITLE

**COMPOSITE SITE
UTILITY & TREE
OVERLAY PLAN**

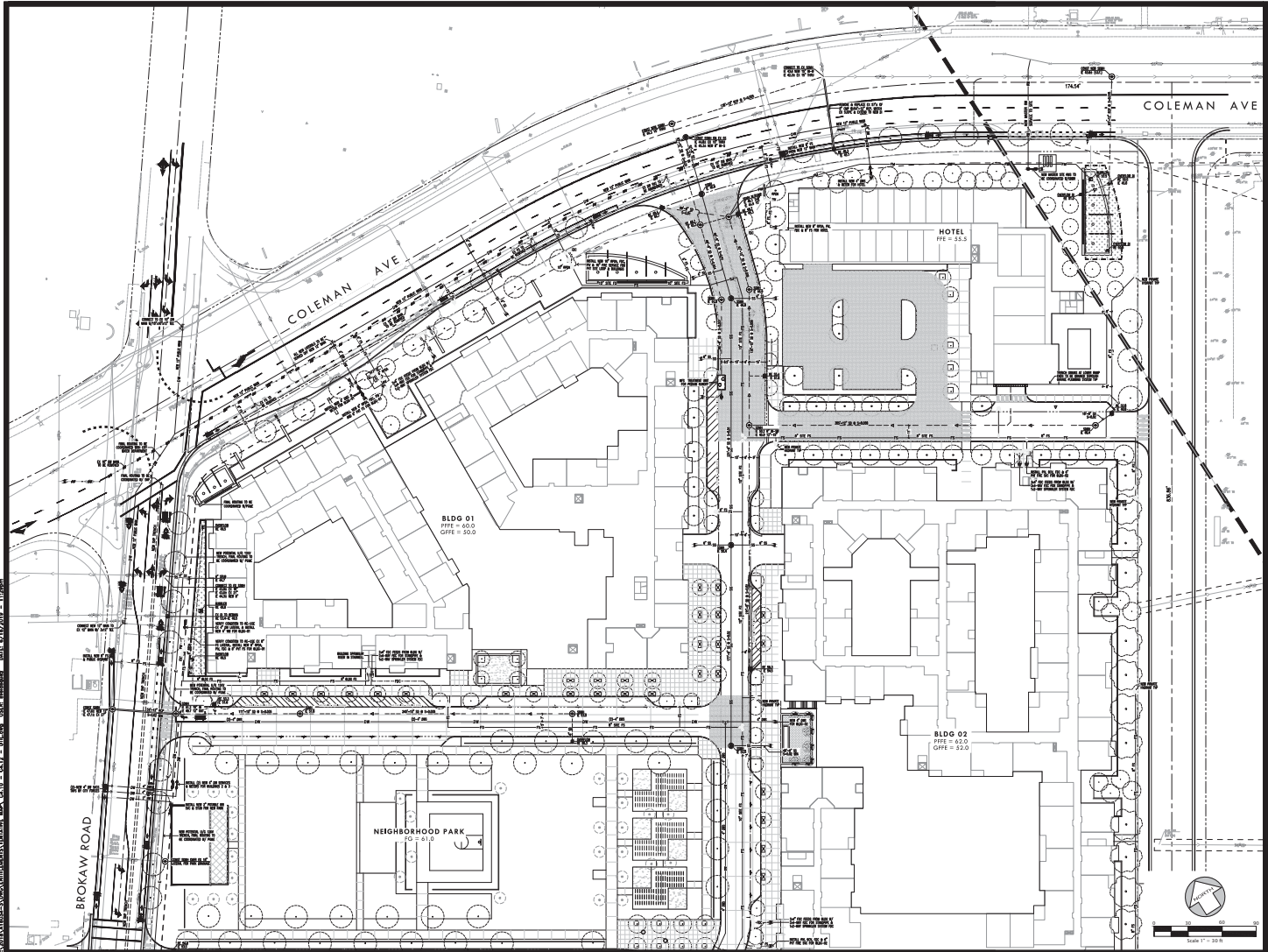
**SHEET NUMBER
C4.10**

Building Number

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ISSUE



HUNTER STORM
 PRELIMINARY UTILITY PLAN
 PROJECT # A180343
 SCALE: AS SHOWN

GATEWAY CROSSINGS

DATE: 6/19/2013
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE

PRELIMINARY
 UTILITY PLAN

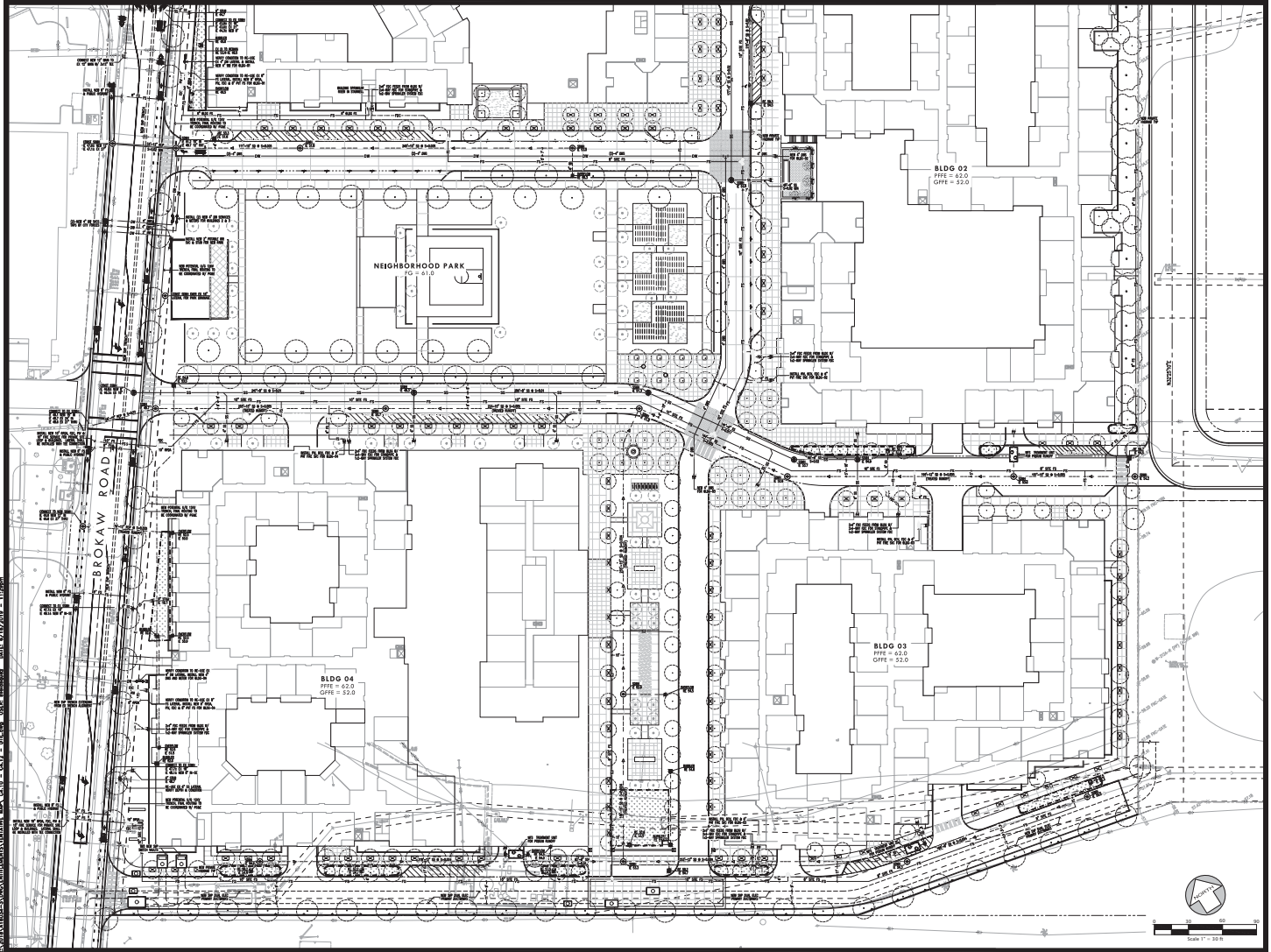
SHEET NUMBER
C4.11
 Building Number

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KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.

ISSUE



HUNTER STORM
 PRELIMINARY UTILITY PLAN
 PROJECT # A180343
 SCALE AS SHOWN

GATEWAY CROSSINGS

DATE: 6/19/2013
 PROJECT #: A180343
 SCALE: AS SHOWN

SHEET TITLE
PRELIMINARY UTILITY PLAN

SHEET NUMBER
C4.12
 Building Number


 KIER & WRIGHT
 CIVIL ENGINEERS & ARCHITECTS, INC.
 1000 W. 10th Street, Suite 100
 Oklahoma City, Oklahoma 73106
 Phone: (405) 233-1100 Fax: (405) 233-1101

18" STORM MAIN
 12" WATER MAIN
 12" SEWER MAIN
 6" GAS MAIN
 4" ELECTRIC MAIN
 12" TELEPHONE MAIN
 12" CABLE MAIN
 12" FIBER OPTIC MAIN
 12" RAINWATER MAIN
 12" GROUNDWATER MAIN
 12" SURFACE WATER MAIN
 12" SANITARY MAIN
 12" WASTE MAIN
 12" VENT MAIN
 12" EXHAUST MAIN
 12" CONDENSATE MAIN
 12" REFRIGERANT MAIN
 12" LIQUID MAIN
 12" GAS MAIN
 12" ELECTRIC MAIN
 12" TELEPHONE MAIN
 12" CABLE MAIN
 12" FIBER OPTIC MAIN

ISSUE



BUILDING 1 BASEMENT PARKING DATA

VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
NA	NA	NA	5	12	205	7	8	0
NA			239					

BUILDING 2 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
NA	NA	NA	0	22	306	0	10	0
NA			348					

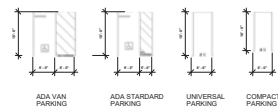
BUILDING 3 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
NA	NA	NA	8	19	194	0	10	0
NA			221					

BUILDING 4 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
NA	NA	NA	7	10	284	21	13	0
NA			322					

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 8 ADA PARKING SPACES.
 THERE ARE IN TOTAL 40 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





HOTEL GROUND LEVEL PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	75	0	NA	8
79				

HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

BUILDING 1 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	61	5	4	10	50	0	NA	160
70'			64					

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

BUILDING 2 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
11	83	13	9	0	64	0	NA	200
107'			73					

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL 6/100 KEY, RESIDENTIAL GUEST PARKING 6/100)

BUILDING 3 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
6	95	7	0	0	6	0	NA	185
108'			6					

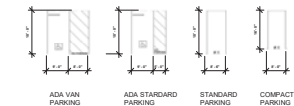
VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

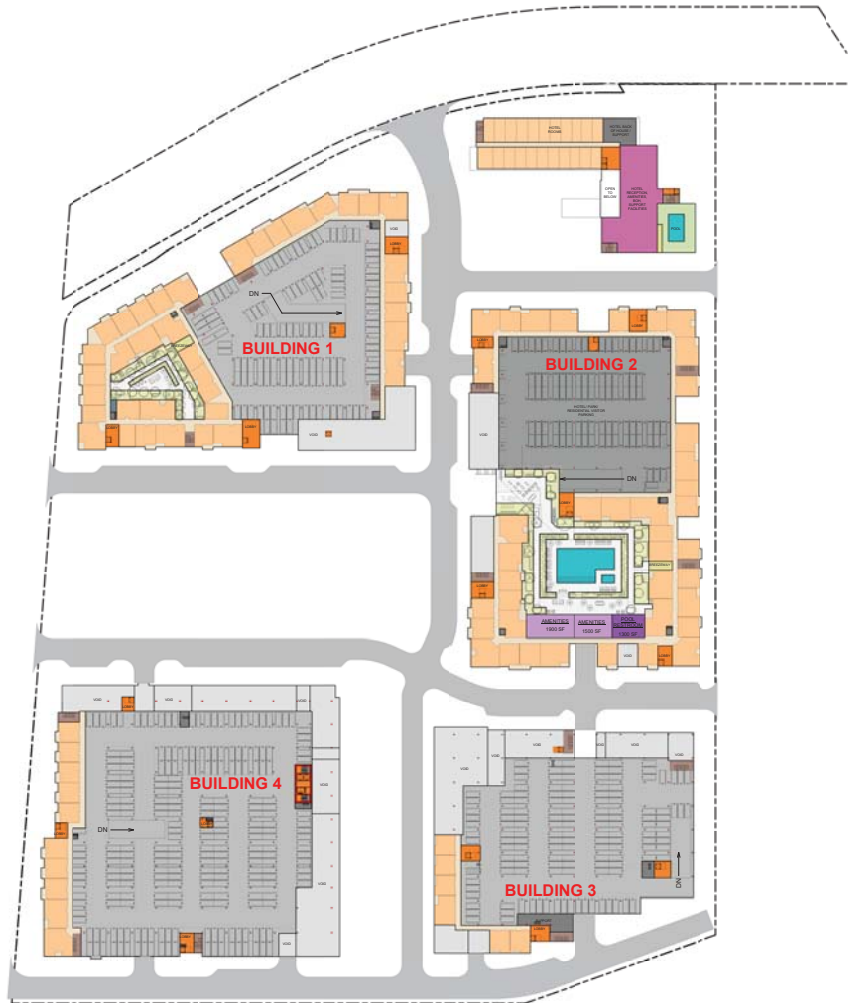
BUILDING 4 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
6	96	7	6	22	39	0	NA	260
100'			67					

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
 THERE ARE IN TOTAL 84 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





BUILDING 1 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	120	0	N/A	N/A
N/A			120					

BUILDING 2 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	89	N/A	0	0	0	0	N/A	N/A
89			0					

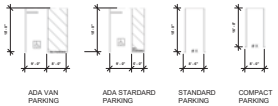
BUILDING 3 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	136	0	N/A	N/A
N/A			136					

BUILDING 4 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	238	0	N/A	N/A
N/A			238					

NOTE:
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
 THERE ARE IN TOTAL 66 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





HUNTER STORM
 10111 E. 15th St., Suite 100, Cupertino, CA 95014
 Phone: (408) 238-4100 Fax: (408) 238-8420

GATEWAY CROSSINGS

DATE: 06-03-2019
 PROJECT #:
 SCALE: 1" = 50'-0"
 0 50 100
 NORTH

SHEET TITLE
**SITE PLAN
 LEVEL 3**

SHEET NUMBER
A1.04

MVE
 + PARTNERS
 1760 Main Street, Suite 800
 Irvine, California 92614
 Tel: 949.333.8300
 www.mve-and-partners.com



DATE: 06-03-2019
 PROJECT #:
 SCALE: 1" = 50'-0"
 0 10 16

NORTH

SHEET TITLE
**SITE PLAN
 LEVEL 4-5**

SHEET NUMBER
A1.05



DATE	06-03-2019	
PROJECT #		
SCALE:	1" = 50'-0"	
0	10	16

NORTH

SHEET TITLE
SITE PLAN
LEVEL 6

SHEET NUMBER
A1.06

MVE
 + PARTNERS

1700 Main Street, Suite 800
 Irvine, California 92614
 949.807.3338
 www.mve-and-partners.com



HUNTER STORM

10111 E. 15th St., Suite 100, Cupertino, CA 95014
 Phone: (408) 238-4100 Fax: (408) 238-8420

GATEWAY CROSSINGS

DATE: 06-03-2019
 PROJECT #:
 SCALE: 1" = 50'-0"
 0 50 100

NORTH

SHEET TITLE
 SITE PLAN
 LEVEL 7

SHEET NUMBER
 A1.07

MVE
 PARTNERS

1700 Main Street, Suite 800
 Irvine, California 92614
 949.857.3338
 www.mve-partners.com



DATE	06-03-2019
PROJECT #	
SCALE:	1" = 50'-0"
	0 50 100
NORTH	

SHEET TITLE
 SITE PLAN
 LEVEL 8,
 LEVEL 9-12,
 LEVEL 13

SHEET NUMBER
 A1.08

MVE
 PARTNERS

1700 Main Street, Suite 800
 Irvine, California 92614
 TEL: 949.333.8100
 www.mve-and-partners.com

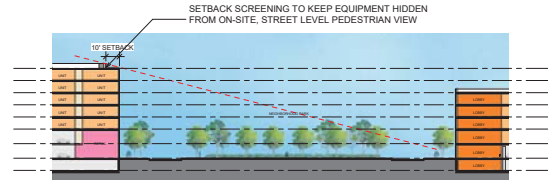
DATE: 06-03-2019
 PROJECT #: As Indicated
 SCALE: 0 50 100
 NORTH

SHEET TITLE
 SITE PLAN
 ROOF LEVEL

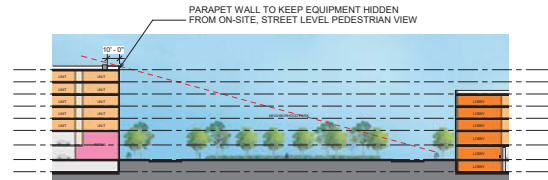
SHEET NUMBER
 A1.09

MVE
 PARTNERS
 1700 Main Street, Suite 800
 Irvine, California 92614
 TEL: 949.333.8100
 www.mve-and-partners.com

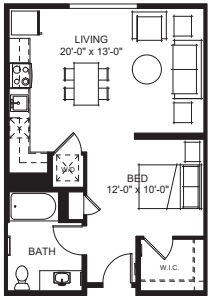
ROOF ZONE FOR MECH/HVAC
 EQUIPMENT TO BE SETBACK A
 MIN OF 10' FROM FACE OF BUILDING



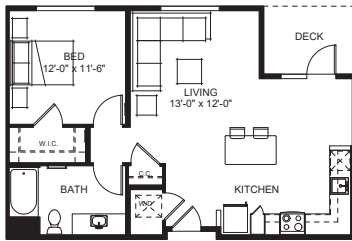
CONDITION 1 - SCREENING SETBACK FROM EDGE OF BUILDING
 ENLARGEMENT OF SECTION D/SP1.00



CONDITION 2 - PARAPET AT FACE OF BUILDING USED TO SCREEN VIEW
 ENLARGEMENT OF SECTION D/SP1.00



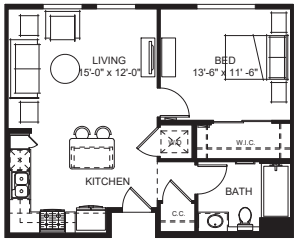
UNIT - STUDIO
 14' x 13'



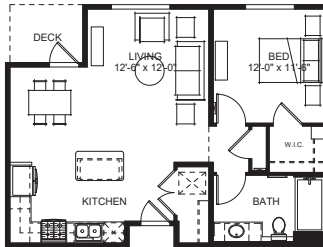
UNIT - 1BR (A)
 14' x 12'



UNIT - 1BR (B)
 14' x 12'



UNIT - 1BR (C)
 13' x 12'

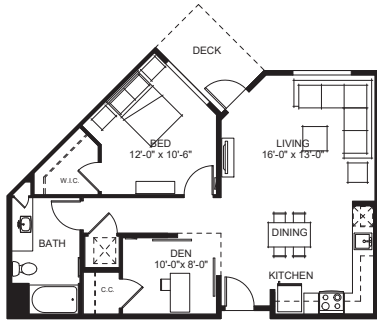


UNIT - 1BR (D)
 12' x 12'

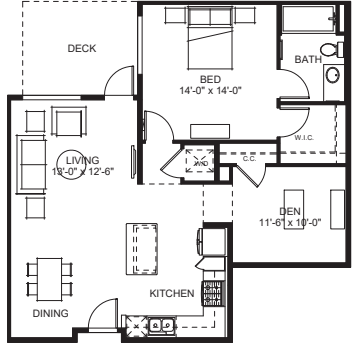
UNIT TYPE	TOTAL	UNIT	UNIT COUNT	UNIT SIZE (sf)	DECK SIZE (sf)
STUDIO	184	-	184	625	N/A
1-BEDROOM	684	A	32	795	66
		B	566	722	78
		C	32	693	N/A
		D	36	773	47
		CUSTOM*	18	VARIES	VARIES
1-BED + DEN	103	A	54	875	57
		B	49	1000	114
2-BEDROOM	504	A	45	1080	45
		B	350	1036	62
		C	97	1185	51
		CUSTOM*	12	VARIES	VARIES
2-BED + DEN	90	-	90	1355	115

*CUSTOM UNIT PLANS NOT INCLUDED IN DRAWING SET. SIZE, DECK, AND FOOTPRINT VARY PER LOCATION.

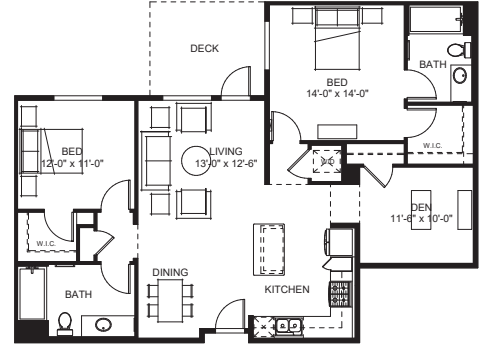
NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.



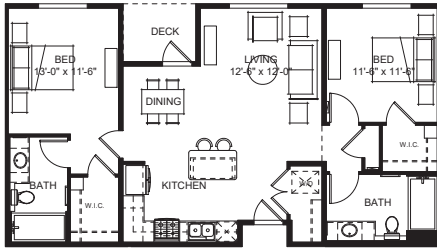
UNIT - 188A • DEN (A)
 12' x 13'



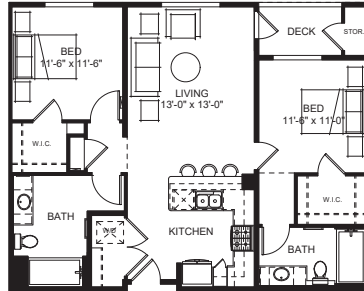
UNIT - 188B • DEN (B)
 13' x 13'



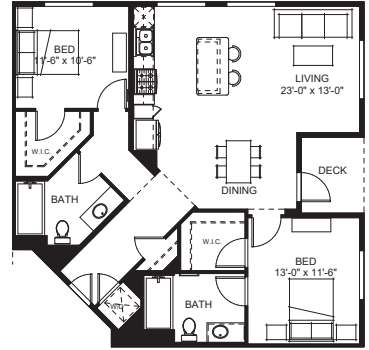
UNIT - 288 • DEN
 13' x 13'



UNIT - 288(A)
 14' x 13'



UNIT - 288(B)
 14' x 13'



UNIT - 288(C)
 14' x 13'

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

DATE	06-03-2019
PROJECT #	
SCALE	1/4" = 1'-0"
	1/8" = 1'-0"
	1/16" = 1'-0"

NORTH

SHEET TITLE
TYPICAL UNIT PLANS

SHEET NUMBER
A1.12

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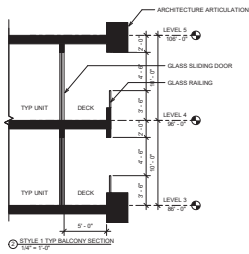
MVE
 + PARTNERS

1760 Main Street, Suite 800
 Irvine, California 92614
 949.807.3388
 www.mve-and-partners.com

STYLE 1

STYLE DESCRIPTION

- Facades articulated with expressed columns and beams.
- Defined base, middle, and top proportions.
- Recessed and grouped windows and fenestration patterns.
- Simple canopy and cornice used to terminate architectural forms.



ARCHITECTURAL IMAGERY



- 1 METAL TRIM
- 2 CLADDING PANEL
- 3 CLADDING/ METAL CORNICE
- 4 STUCCO
- 5 METAL CANOPY
- 6 JULIET BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH PANELIZED RAILING

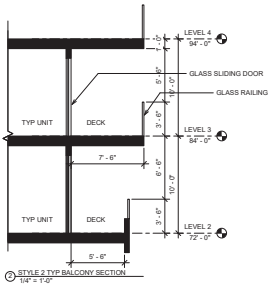


BUILDING 2 NORTH ELEVATION
(SHOWING INTERNAL STREET)
1/8" = 1'-0"

STYLE 2

STYLE DESCRIPTION

- Abstract fenestration patterns.
- Facades defined by floating planes that project beyond the building mass.
- Windows grouped vertically within floating planes.
- Horizontal slatted members define shading and railing devices.



ARCHITECTURAL IMAGERY



NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENGINEERED COMPOSITE SLATTED SCREEN
- 2 ENHANCED GLAZING SYSTEM
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 STUCCO
- 6 CLADDING/ METAL CORNICE
- 7 GFRC/ CLADDING/ METAL PANEL



BUILDING 1 NORTH ELEVATION
FRONTING COLEMAN AVE.
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

DATE: 06-03-2019

PROJECT #: 1601

SCALE: As indicated

0 16

NORTH

SHEET TITLE
ARCHITECTURAL
STYLE 2

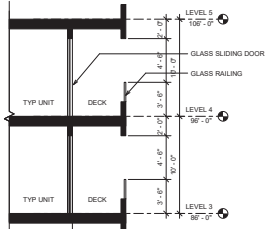
SHEET NUMBER
A2.02

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PARTNERS
1760 Main Street, Suite 800
Irvine, California 92614
Tel: 877-338-8888
www.mve-partners.com

STYLE 3

STYLE DESCRIPTION

- Projecting frames used to group fenestrations and create a vertical rhythm.
- Juliet balconies add texture and shadow between frames.
- Solid, defined horizontal base organizes the facade composition.
- Enhanced glazing and vertical articulation accent and mark important corners.



STYLE 3 TYP BALCONY SECTION
1/8" = 1'-0"

ARCHITECTURAL IMAGERY



KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENHANCED GLAZING SYSTEM
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 STUCCO
- 5 RAINSCREEN BASE
- 6 BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH METAL RAILING



BUILDING 1 SOUTH ELEVATION
(FRONTING THE PARK)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

ARCHITECTURAL IMAGERY



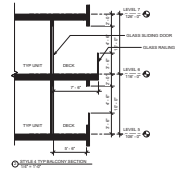
- ① METAL PANEL
- ② BRICK
- ③ METAL AWNINGS
- ④ BALCONY WITH PANELIZED RAILING
- ⑤ BALCONY WITH GRILL RAILING
- ⑥ CONTEMPORARY ACCENT GLAZING
- ⑦ TRADITIONAL WAREHOUSE GLAZING
- ⑧ LOUVERED SCREEN
- ⑨ OPERABLE STOREFRONT
- ⑩ METAL CORNICE
- ⑪ STUCCO



KEY MAP

NOT TO SCALE

NOTE: LOCAL ARCHITECTURE STYLE POSSIBLE CHANGE SUBJECT TO PERMITS



HUNTER STORM

GATEWAY CROSSINGS

ARCHITECTURAL STYLE 4

SHEET NUMBER
A2.04

MVE PARTNERS

STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

ARCHITECTURAL IMAGERY



- ① METAL PANEL
- ② STUCCO
- ③ METAL AWNINGS
- ④ BALCONY WITH PANELIZED RAILING
- ⑤ BALCONY WITH GRILL RAILING
- ⑥ CONTEMPORARY ACCENT GLAZING
- ⑦ TRADITIONAL WAREHOUSE GLAZING
- ⑧ LOUVERED SCREEN
- ⑨ OPERABLE STOREFRONT
- ⑩ METAL CORNICE
- ⑪ STUCCO



KEY MAP

NOT TO SCALE



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HUNTER STORM

GATEWAY CROSSINGS

ARCHITECTURAL STYLE 4

SHEET NUMBER
A2.05

MVE PARTNERS

STYLE 5

STYLE DESCRIPTION

- Contemporary warehouse expression defined by traditional use of materials, prominent grid organization and interpretive forms.

ARCHITECTURAL IMAGERY

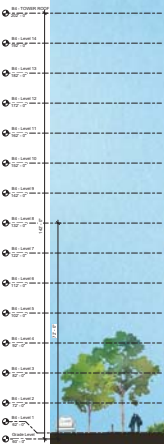
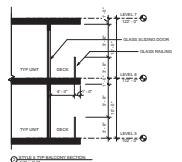


- 1 METAL PANEL
- 2 ARCHITECTURAL TILE
- 3 METAL AWNINGS
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 METAL TRELLIS
- 7 LOUVER
- 8 PANELIZED RAILING
- 9 OPERABLE STOREFRONT



KEY MAP

NOT TO SCALE
SITE LOCATION INDICATED BY RED DOT
SEE SUBJECT TO OWNER'S CHANGES



NOTES:
1. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. SEE SUBJECT TO OWNER'S CHANGES.

HUNTER STORM

GATEWAY CROSSINGS

PROJECT NO. 2024-001
DATE: 08/22/2024
SHEET TITLE: ARCHITECTURAL STYLE 5 - TOWER
SHEET NUMBER: A2.06
MVE PARTNERS

STYLE 6

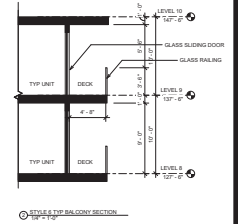
STYLE DESCRIPTION

- Simple massing composition with well ordered articulation.
- Facades characterized by vertical and horizontal expressions.
- Appealing fenestration patterning defined by the use of alternate windows.

ARCHITECTURAL IMAGERY



- 1 METAL PANEL
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 LOUVERED SCREEN
- 7 PANELIZED RAILING
- 8 VERTICAL SHADE



HUNTER STORM

GATEWAY CROSSINGS

DATE: 06-03-2019
 PROJECT #: 19-0000000
 SHEET TITLE: ARCHITECTURAL STYLE 6 - HOTEL
 SHEET NUMBER: A2.07

MVE

SPRING
MARCH 1

SUMMER
JUNE 1

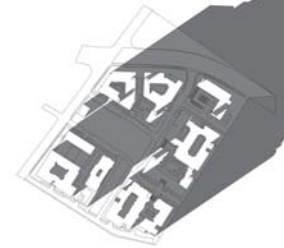
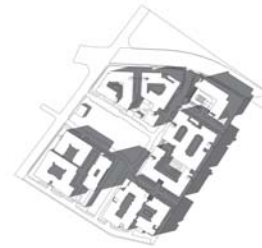
AUTUMN
SEPTEMBER 1

WINTER
DECEMBER 1

9 AM

12 PM

4 PM



HUNTER STORM

10115 Hunter Street, San Diego, CA 92124
Phone: (619) 224-4100 Fax: (619) 299-8420

GATEWAY CROSSINGS

DATE: 06-03-2019

PROJECT #:

SCALE:

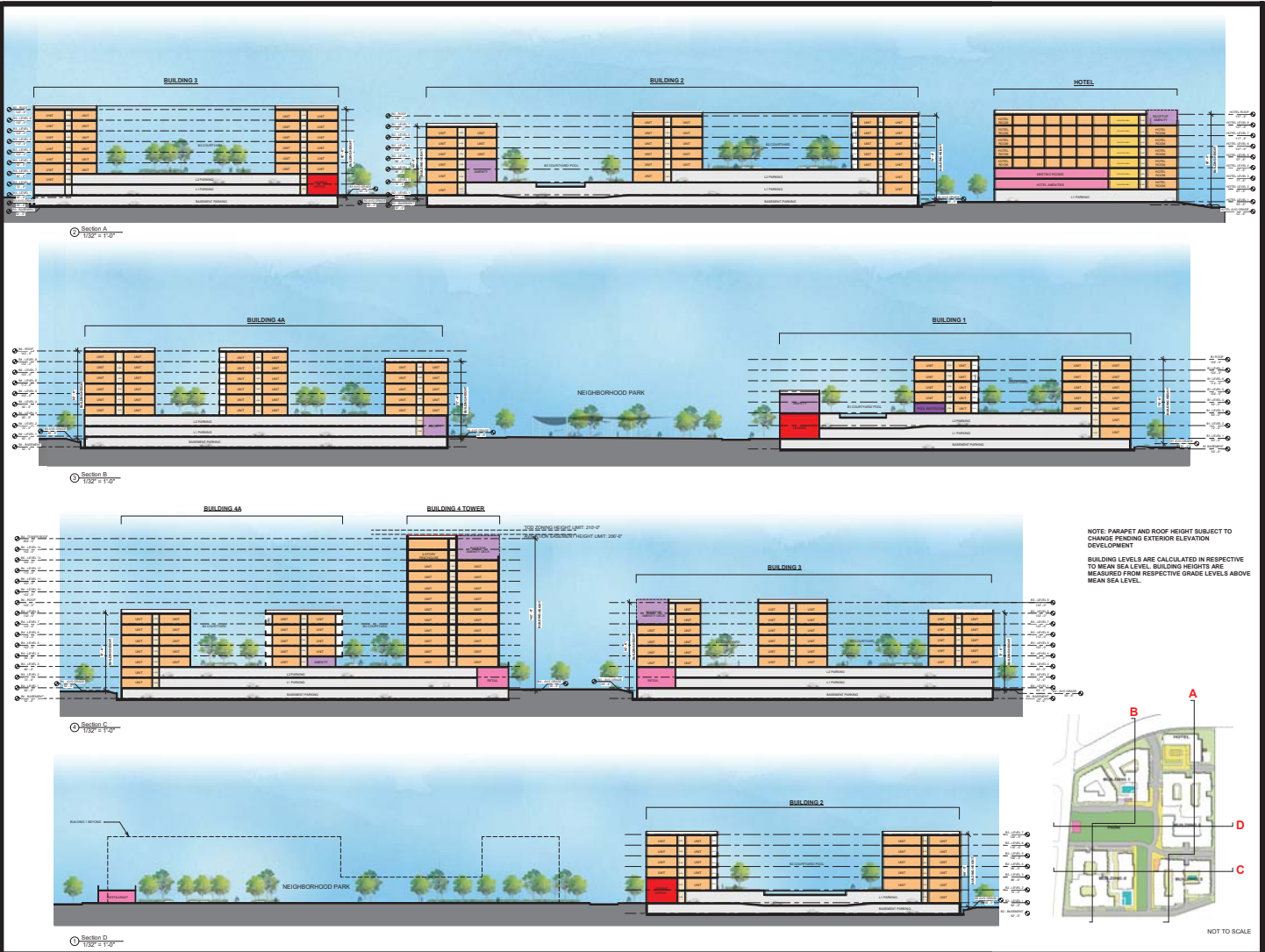
0 16

NORTH

SHEET TITLE
SHADOW STUDIES

SHEET NUMBER
A2.08

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1700 Main Street, Suite 800
Irvine, California 92614
Tel: 949.333.8100
www.mve-partners.com





BUILDING 1 VENTILATION

LENGTH (ft)	
Garage Total Perimeter	1,502'
Open Length Required	601'
Length Reduction	30%
Facade Length Provided	85F'
Facade Length Required	874'
AREA (sq ft)	
Total Garage Wall Area	14,014 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,929 sq ft
Open Area Provided	2,929 sq ft

BUILDING 2 VENTILATION

LENGTH (ft)	
Garage Total Perimeter	1,749'
Open Length Required	709'
Length Reduction	30%
Facade Length Provided	921'
Facade Length Required	939'
AREA (sq ft)	
Total Garage Wall Area	16,318 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	3,411 sq ft
Open Area Provided	3,411 sq ft

BUILDING 3 VENTILATION

LENGTH (ft)	
Garage Total Perimeter	1,240'
Open Length Required	496'
Length Reduction	30%
Facade Length Provided	709'
Facade Length Required	709'
AREA (sq ft)	
Total Garage Wall Area	11,653 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,418 sq ft
Open Area Provided	2,418 sq ft

BUILDING 4 VENTILATION

LENGTH (ft)	
Garage Total Perimeter	1,530'
Open Length Required	614'
Length Reduction	30%
Facade Length Provided	87F'
Facade Length Required	87F'
AREA (sq ft)	
Total Garage Wall Area	14,331 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,995 sq ft
Open Area Provided	2,995 sq ft

— LOCATION OF GARAGE WALL OPENINGS

DATE: 06-03-2019
 PROJECT #:
 SCALE: 1" = 50'-0"
 0 50 100
 NORTH

SHEET TITLE
 VENTILATION
 PLAN MAP

SHEET NUMBER
 SP3.01



SHEET INDEX

- L-1.0 Schematic Landscape Plan - Overall
- L-1.1 Park Master Plan
- L-1.2 Park Circulation
- L-1.3 Planting Schedules and Legends
- L-2.1 Schematic Landscape Plan - Site
- L-2.2 Schematic Landscape Plan - Site
- L-2.3 Schematic Landscape Plan - Site
- L-2.4 Schematic Landscape Plan - Site
- L-2.5 Schematic Landscape Plan - Site
- L-2.6 Schematic Landscape Plan - Site
- L-2.7 Schematic Landscape Plan - Prefabricated Building 1
- L-2.8 Schematic Landscape Plan - Prefabricated Building 2
- L-2.9 Schematic Landscape Plan - Prefabricated Building 3
- L-2.10 Schematic Landscape Plan - Prefabricated Building 4
- L-2.11 Schematic Landscape Plan - Prefabricated Building 4
- L-3.1 Irrigation Schematic Diagram - Site and Paddock
- L-3.2 Irrigation Schematic Diagram - Site and Paddock
- L-3.3 Irrigation Schematic Diagram - Site and Paddock
- L-3.4 Irrigation Schematic Diagram
- L-4.1 Site Section
- L-4.2 Site Section
- L-4.3 Landscape Details
- L-4.4 Landscape Details
- L-4.5 Landscape Details

DATE: 08/19/18
PROJECT:
SCALE: As Noted

SHEET TITLE
Schematic
Landscape Plan -
Overall

SHEET NUMBER
L-1.0

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
88 Commonwealth Blvd.
San Francisco, CA 94111
Tel: 415.433.4633
Fax: 415.433.4633

LEGEND

COLOR	CATEGORY
[Red pattern]	NEIGHBORHOOD PARK
[Green pattern]	LINEAR PARK
[Purple pattern]	COMMUNITY THEME GARDENS
[Green]	OUTDOOR SEATING, FIREPLACE
[Orange]	OUTDOOR GRILL, DINING AREA
[Blue]	POOL AND SPA
[Purple]	COMMON FITNESS, GAME AREA, SCREENING ROOM
[Light Blue]	INDOOR FITNESS, AMENITY AREA



SEE SHEET L-1.2 FOR PARK CREDIT LEGEND.
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.



DATE: 08/19/19
PROJECT: K
SCALE: As Noted

SHEET TITLE
Park Master Plan

SHEET NUMBER
L-1.1

THE GUZZARDO PARTNERSHIP, INC.
Landscape Architects - Land Planners
880 Somerset Street
Walton Hills, CA 94591
707.938.8600
707.938.9600

PARK CREDIT LEGEND

SITE - ON GRADE

COLOR	CATEGORY	PROGRAM USES	ELEMENTS	AREA PROVIDED	PARK CREDIT AREA
	NEIGHBORHOOD PARK	OPEN LAWN AREA EXERCISE AREA PLAY AREA GRILL AND PICNIC AREA PAVILION WITH COVERED SEATING SEATING PLAZA	OPEN LAWN BASKETBALL COURT, 8 SEATING SPACES 10 PLAY EQUIPMENT FOR ALL AGE GROUPS, 9 BENCHES 6 BBQ GRILLS, 6 COVERED TRONIC TABLES, 72 SEATING SPACES, LAWN AREA SHADE STRUCTURE, 24 SEATING SPACES SCULPTURE, 8 SEATING SPACES, 6 BIKE LOCKERS	87,725 SF	
	LINEAR PARK	OPEN LAWN AREA FIREPLACE WITH LOUNGE SEATING ACTIVITY AREA SCULPTURE GARDEN FOUNTAIN PLAZA	OPEN LAWN 2 FIREPLACES, 24 SEATING SPACES 1 BODGE BALL COURT, 8 SEATING SPACES, 6 BENCHES SCULPTURE, RAISED PLANTERS, 18 SEATING SPACES 1 FOUNTAIN, 52 SEATING SPACES, 16 BIKE PARKING SPACES	22,972 SF	
	LANDSCAPED AND FURNISHED QUIET AREAS	BLUE GARDEN HAMMOCK GARDEN	FOUNTAIN, 18 SEATING SPACES, 4 BIKE PARKING SPACES, 12 PLANTER POTS 4 HAMMOCKS IN PALM TREE GROVE	2,335 SF	
				113,032 SF TOTAL	AT 50%: 113,032 SF

BUILDING 1 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (4,374 sf) OUTDOOR SEATING AREA (667 sf)	4 FIREPLACES, 42 SEATING SPACES, 7 PLANTER POTS 12 SEATING SPACES	5,041 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES (1,093 sf)	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES	1,093 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,746 sf) SPA (144 sf) POOL DECK AND LOUNGE AREA (4,718 sf)	4 SWIMMING LANES 9'x16' SPA 50 CHAISE LOUNGE SEATING	7,608 SF	
	INDOOR AMENITY AREA	CENTRAL GYM, CLUBHOUSE, POOL FACILITIES, VIEW LOUNGE		6,300 SF	
				20,042 SF TOTAL	AT 50%: 10,021 SF

BUILDING 2 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE AND LOUNGE SEATING	2 FIREPLACES, 26 SEATING SPACES, 3 PLANTER POTS	2,961 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 4 COVERED TABLES, 2 COMMUNAL TABLES, 42 SEATING SPACES, 3 SHADE STRUCTURES, 11 PLANTER POTS	2,965 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,940 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,234 sf)	4 SWIMMING LANES 10'x16' SPA 30 CHAISE LOUNGE SEATING	8,012 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	OUTDOOR SCREENING ROOM (805 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (2,275 sf)	MOVIE SCREEN WITH 8 SEATING SPACES 2 FITNESS STATIONS, RUBBERIZED PLAYGROUND, 4 BENCHES	3,039 SF	
	INDOOR AMENITY AREA	GAME ROOM, CLUBHOUSE, POOL FACILITIES		7,300 SF	
				24,277 SF TOTAL	AT 50%: 12,139 SF

BUILDING 3 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (345 sf) LOUNGE SEATING AREA (706 sf) COVERED SEATING AREA (ROOF DECK) (715 sf)	1 FIREPLACES, 6 LOUNGE SEATING SPACES, 2 PLANTER POTS 12 SEATING SPACES, 4 PLANTER POTS 1 SHADE STRUCTURE, 8 LOUNGE SEATING SPACES, 15 PLANTER POTS	1,766 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLES (719 sf) BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLE (ROOF DECK) (816 sf)	2 BBQ GRILLS, 16 SEATING SPACES, 4 PLANTER POTS 1 SHADE STRUCTURE, 30 SEATING SPACES, 10 PLANTER POTS	1,335 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	MINI GOLF ZONE	PUTTING GREEN, 4 BENCH SEATINGS	2,850 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (916 sf) SPA (63 sf) POOL DECK AND LOUNGE AREA (2,080 sf)	2 SWIMMING LANES 7'x9' SPA 24 CHAISE LOUNGE SEATING	3,059 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM, POOL FACILITIES		6,300 SF	
				15,610 SF TOTAL	AT 50%: 7,805 SF

BUILDING 4 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (2,941 sf) LOUNGE SEATING AREA (476 sf) SCULPTURE FOREST WITH SEATING (1,926 sf) COVERED SEATING AREA (481 sf)	2 FIREPLACES, 32 LOUNGE SEATING SPACES, STRING LIGHTS 6 LOUNGE SEATING SPACES, 2 PLANTER POTS VERTICAL SCULPTURES, 22 SEATING SPACES, 12 PLANTER POTS 1 SHADE STRUCTURE, 12 LOUNGE SEATING SPACES, 4 PLANTER POTS	5,825 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES, 5 TABLES WITH 20 SEATING SPACES, STRING LIGHTS	1,412 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,943 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,984 sf)	4 SWIMMING LANES 10'x16' SPA 24 CHAISE LOUNGE SEATING, 6 CABANAS	10,067 SF	
	GAME AREA, SCREENING ROOM, COMMON FITNESS	OUTDOOR SCREENING ROOM (1,395 sf) OUTDOOR GAME ROOM (1,688 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (461 sf)	MOVIE SCREEN, 24 SEATING SPACES, 4 PLANTER POTS 1 BODGE BALL COURT, STRING LIGHTS YOGA ZONE, STRING LIGHTS, 4 FITNESS STATIONS, RUBBERIZED PLAYGROUND	3,544 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM, POOL FACILITIES		11,900 SF	
				32,748 SF TOTAL	AT 50%: 16,374 SF
				PARK CREDIT TOTAL	159,371 SF

A BUFFER STRIP/SETBACK OF AT LEAST 4 FEET BETWEEN BUILDINGS AND PUBLIC PARKLAND/AMENITIES IS DEDUCTED FROM AREA CALCULATIONS.
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

HUNTER STORM

GATEWAY CROSSINGS

10335 Mission Ave., Suite 200, Cupertino, CA 95014
Phone: (408) 226-4100 Fax: (408) 998-4420

DATE: 06.19.19

PROJECT:

SCALE: As Noted

SHEET TITLE

Park Credit Legend

SHEET NUMBER

L-1.2

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners
81 Greenleaf Street
San Francisco, CA 94111
415.433.8822
415.433.9001

PLANTING NOTES

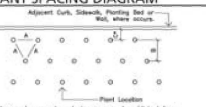
- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting person.
- Plant material to be delivered shall be inspected and may be subject to change in the field by the Landscape Architect before the installation begins.
- All trees are to be installed as shown in the planting diagrams.
- All tree stakes shall be cut off above the tree after stakes have been installed to the depth indicated in the planting diagrams. Single stake all corners per tree planting diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block egress and ingress areas. The Landscape Architect reserves the right to make minor adjustments to tree locations after planting at its cost to the Owner. All planting located adjacent to stairs shall be installed as indicated on site to interfere with safety of the stairs.
- The Landscape Architect reserves the right to make substitutions, omissions and additions in the planting schedule of fall necessary while work is in progress. Such changes are to be accompanied by suitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to ensure all trees to be installed with approved watering, allowing for two (2) years growth. Submit source of fertilizer to Landscape Architect for review prior to starting.
- All planting areas, except lawns and storm water treatment zones (as defined by the City of Santa Clara), shall be installed with a 2" layer of mulched wood chips. "Mulched Wood Chip" by Mason Recycling (310.429.1300, www.masonrecycling.com) is the preferred product. If a different mulch is used, the contractor shall submit a sample to the Landscape Architect for review prior to starting. Mulch shall be dark brown in color. Submit sample to Landscape Architect for review prior to starting. Mulch shall be installed in 15" increments from all plants where mulch is applied over the roots.
- All street trees to be installed in accordance with the standards and specifications of the City of Santa Clara. Contractor to contact the city official to confirm plant type, plant size (at installation), installation location and location prior to proceeding with installation. The contractor shall provide the contractor to be installed from the City of Santa Clara with the Landscape Architect during the process. All street trees shall have root barriers for overhead protection which should be 16" long or extend to dip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. All street trees shall have root barriers for curb and gutter protection which should be 16" long or extend to dip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- Seasonal color is to be correct and locally available. Plant material is to be inspected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be in 1/2" pots at 18" or unless otherwise noted.
- The lawn shall be and/or seeded (as noted) and consist of a drought-tolerant hard fescue blend such as Pacific Seed "Bastion Dwarf with Banner" and/or approved manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Annual Double Dwarf Fescue. Available through Pacific Seed 800.542.7633.
- Trees planted in lawn areas shall not have been planted over the top of the sidewalk but shall have 1/2" diameter circle of saw cut for finishing purposes.
- Plants shall be installed to adequate settlement. See Tree and Shrub Planting Details.
- All interior trees noted with "deep root" and those planted within 5'-0" of concrete paving, curbs and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Architect shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and given for the job upon approval of the plant materials. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought-tolerant plant materials. Deep rooting shall be encouraged by deep watering plant materials as part of normal maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Architect shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Owner and Landscape Architect before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See CIV drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shearing and, in some cases, removal of trees and shrubs in an on-going maintenance program.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maximum plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant material indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of former hedge trees.
- Contractor to provide use (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 500 (five hundred) square feet. Contractor to be on site during the inspection. In the landscape and portions shown on the plans, for full review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Parties shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify details of all tree planting sites. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arriving on a site visit by the Landscape Architect.
- All trees to be planted 12" away from the tree trunk to the vertical sewer and storm drain manhole and lateral and minimum 5' clear of any existing or proposed Electric Department facilities.

PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	MICROS
ACE PAL		Acer palmatum	Japanese Maple		M
ACE RUB		Acer rubrum 'Red Sunset'	Red Maple 'Red Sunset'		M
ARE MAR		Arbutus menziesii	Marine Strawberry Tree		L
BAM TEX		Bambusa textilis	Striped Bamboo		L
CAI DEC		Calceolaria secouriei	Incense-Cedar		L
CAR FAS		Caryopteris debilis 'Tostigosa'	Pyramidal European Hollyhock		M
CEX CAN		Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud		M
OHA HUM		Chamaenerion humile	Mediterranean Fan Palm		L
OTI LEM		Citrus x myrtel	Myer lemon		M
CUP SEM		Cupressus sempervirens 'Stricta'	Column Italian Cypress		L
FIC CAR		Ficus carica 'Black Jack'	Edible Fig		M
FRA AME		Fraxinus americana 'Autumn Purple'	Autumn Purple Ash		M
GRE BR		Guaiacum latifolium 'Trombones'	Minidwarf Tree		M
LAG NAT		Lagerstromia 'Natchez'	Crape Myrtle		L
LAU SAR		Laurus 'Saratoga'	Sweet Bay		M
LOR CON		Lophanthus confertus	Bilobate Box		M
MAC GRA		Magnolia grandiflora 'Key Plant'	Key Plant Magnolia		M
QUA COE		Quercus coccinea	Scarlet Oak		M
PIS OH		Platanus orientalis 'Kath Dewey'	Chinese Plane		L
PLA COL		Platanus acerifolia 'Columbi'	London Plane Tree		M
POR GRA		Podocarpus gracilior	Fern Pine		M
PRC CAR		Prunus caroliniana 'Bright and Tight'	Carolina Cherry Laurel		M
QUA COE		Quercus coccinea	Scarlet Oak		M
QUA FRA		Quercus farnesii 'Schmidt'	Hungarian Oak		M
QUA LOB		Quercus lobata	Valley Oak		M
QUA PUB		Quercus puber	Cork Oak		M
QUA VIR		Quercus virginiana	Live Oak		M
WAL PA		Washingtonia filifera	California Fan Palm		L

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	MICROS
ABG	5 gal	Anagallis arvensis 'Blush Glow'	Yellow Kangaroo Paw	24" o.c. L	L
ACC	5 gal	Acacia cognata 'Cousin It'	Little River Wattle	30" o.c. L	L
AGN	5 gal	Agrostis sp. 'Meyers'	Meyers Agrostis Fern	30" o.c. M	M
AGS	5 gal	Agave 'Blue Flame'	Blue Flame agave	30" o.c. L	L
AMG	5 gal	Aconitum mollis	Bears Breech	36" o.c. M	M
ARC	5 gal	Arctostaphylos densiflora 'Howard McKim'	Manzanita	48" o.c. M	M
IRSG	5 gal	Buxus s. 'Green Beauty'	Bowenite	24" o.c. M	M
CEC	5 gal	Chenopodium 'Carmel'	California Lilac	48" o.c. M	M
CHD	5 gal	Chondropetalum fasciculatum	Cape Rush	30" o.c. L	L
CLB	5 gal	Clivia m. 'Tegoon Hybrid Yellow'	Kaffir Lily	18" o.c. M	M
OPC	5 gal	Coleonema s. 'Compost'	Compost Breath of Heaven	36" o.c. M	M
COA	5 gal	Coleonema s. 'Sunset Gold'	Gold Breath of Heaven	36" o.c. M	M
CRE	5 gal	Cyrtus revolutus	Seago Cyprip	36" o.c. M	M
DBI	5 gal	Dryas bicolor (s)	Fairlight Lily	36" o.c. L	L
DLR	5 gal	Dianella 'Little River'	Dwarf Flax Lily	18" o.c. M	M
DYV	5 gal	Dianella t. 'Variegata'	Variegated Flax Lily	24" o.c. M	M
EDW	5 gal	Euphorbia s. 'Wulfenii'	Euphorbia	30" o.c. L	L
ELA	5 gal	Elaeagnus pungens 'Variegata'	'Yellow-Edge Elaeagnus	48" o.c. L	L
FAM	5 gal	Fatsia j. 'Maori'	Compact Japanese Aralia	30" o.c. M	M
FSE	5 gal	Felice selatensis	Pinapple Guava	42" o.c. L	L
GRE	5 gal	Gravillea 'RUBY DUSTERS'	Gravillea	48" o.c. L	L
HME	5 gal	Hydrangea m. 'Endless Summer'	Hydrangea	36" o.c. M	M
HMG	5 gal	Hypericum mesoerum	Gold Flower	42" o.c. L	L
HPA	5 gal	Hyperbolae parviflora	Red Yucca	36" o.c. M	M
JSC	15 gal	Juniperus scopulorum 'Coloform'	Juniper 'Coloform'	24" o.c. L	L

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING	SPACING	SPACING	NO. OF PLANTS/SQUARE FOOT
4" O.C.	3.20'	2.80'	1.60
5" O.C.	4.00'	3.50'	1.40
6" O.C.	4.80'	4.20'	1.20
8" O.C.	6.40'	5.60'	0.80
10" O.C.	8.00'	7.00'	0.60
12" O.C.	9.60'	8.40'	0.50
14" O.C.	11.20'	9.80'	0.40
16" O.C.	12.80'	11.20'	0.35
18" O.C.	14.40'	12.60'	0.30
20" O.C.	16.00'	14.00'	0.25
22" O.C.	17.60'	15.40'	0.22
24" O.C.	19.20'	16.80'	0.20
26" O.C.	20.80'	18.20'	0.18
28" O.C.	22.40'	19.60'	0.16

See Plant Spacing Diagram for maximum triangular spacing X. This chart is to be used to determine number of plants based on spacing in a given area and spacing between shrub material. Where shrub material is shown, spacing should be more dense before utilizing spacing chart to determine plant quantities.
* Where only adjacent planting bed or wall condition occurs, utilize spacing 'X' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where 'X' is 1/2 ft.

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	MICROS
LBA	5 gal	Lonicera t. 'Spartan'	Tree Matrimony	48" o.c. L	L
LCB	5 gal	Loquatium s. 'Blum'	Red Frog Flower	36" o.c. L	L
LEU	5 gal	Leucospermum cordatum 'Flame Spire'	Nodding Pincushion	48" o.c. L	L
LEY	5 gal	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Ryegrass	36" o.c. L	L
LLE	5 gal	Leucostictis	Lion's Tail	36" o.c. L	L
LLE	5 gal	Leucostictis 'Luff'	Dwarf Red Rush	24" o.c. L	L
LPL	5 gal	Leucophaea 'Pina'	Leucophaea	42" o.c. L	L
MO	5 gal	Muhlenbergia capillaris 'Invia'	Pink Mule Grass	36" o.c. L	L
NIP	5 gal	Nepenthes cordata	Sword Fern	24" o.c. M	M
OLD	5 gal	Olea s. 'Little Dalia'	Dwarf Olive	36" o.c. M	M
OSM	5 gal	Osmunda fragrans	Sweet Olive	60" o.c. M	M
PCA	5 gal	Prunus caroliniana	Carying Cherry Laurel	48" o.c. L	L
PDA	5 gal	Prunella x damascena	Sweet Pea Shrub	36" o.c. L	L
PDC	5 gal	Phlox 'Dusky Chief'	New Zealand Flax	36" o.c. L	L
PTI	5 gal	Phlox 'Tinkler'	New Zealand Flax	36" o.c. L	L
PTR	5 gal	Phlox 'Indigo'	Sweet Pea Shrub	36" o.c. L	L
PIJ	5 gal	Phlox s. 'Triflor Princess'	Chinese Phlox	36" o.c. M	M
PII	5 gal	Phytolacca 'Green de Wert'	'Green de Wert' Phytolacca	24" o.c. L	L
PLA	5 gal	Phlox laetevirens	English Laurel	48" o.c. M	M
POM	15 gal	Podocarpus s. 'Maunoi'	Ice Blue Yellow Wood	42" o.c. M	M
PRS	5 gal	Phlox 'Rainbow Sunrise'	New Zealand Flax	30" o.c. L	L
PIRW	5 gal	Phlox 'Rainbow Sunrise'	New Zealand Flax	30" o.c. L	L
PKM	5 gal	Phlox 'Violet Wave'	New Zealand Flax	36" o.c. L	L
RHA	5 gal	Rhus glabra 'India 'Gloria'	Native Hawthorn	36" o.c. L	L
RHM	5 gal	Rhus glabra 'Eve Case'	California	48" o.c. L	L
RWS	5 gal	Rosa 'White Simplicity'	White Simplicity Rose	42" o.c. M	M
RIB	5 gal	Rosa 'Blue Rosemary'	Tucson Blue Rosemary	36" o.c. L	L
SLB	5 gal	Savisa laevis 'Santa Barbara'	Melton Ridge	36" o.c. M	M
SSE	5 gal	Strelitzia reginae	King of Paradise	36" o.c. M	M

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	MICROS
AG	1 gal	Agapanthus 'Queen Anna'	Lily of the Nile	18" o.c. M	M
AR	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita	30" o.c. M	M
BE	1 gal	Bergenia crassifolia	Winter Blooming Bergenia	18" o.c. M	M
OC	5 gal	Conoclinium s. h. 'Yonkers Point'	Yonkers Point Conoclinium	30" o.c. L	L
OH	5 gal	Cuphea hypoleuca	Manzanita Heath	24" o.c. M	M
OK	1 gal	Coprosma s. 'Kiki'	Creeping Coprosma	30" o.c. L	L
OM	1 gal	Coronilla maritima	Ground Morning Glory	30" o.c. M	M
OP	1 gal	Conopogon porteriophyllus	Santa Barbara	18" o.c. M	M
CS	5 gal	Colobryne s. 'Sunset Gold'	Dwarf Breath of Heaven	30" o.c. M	M
ET	1 gal	Euryphia fortunei	Wintercreeper	24" o.c. L	L
LA	5 gal	Lavandula intermedia	Lavender	24" o.c. L	L
LI	1 gal	Lirioden m. 'Big Blue'	Lily Turf	18" o.c. M	M
MA	5 gal	Morone repens	Creeping Manzanita	30" o.c. L	L
MB	5 gal	Morone 'Yonkers Dwarf'	Dwarf Honeyberry	30" o.c. L	L
BP	1 gal	Rubus parviflorus 'Emerald Carpet'	No Common Name	36" o.c. M	M
RS	5 gal	Rosa 'White Carpet Amber'	Amber Carpet Rose	36" o.c. M	M
ST	5 gal	Stipa grandinosa	New Zealand Wind Grass	24" o.c. M	M

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	MICROS
VNS					
B	5 gal	Bougainvillea spectabilis	Bougainvillea	L	L
F	1 gal	Ficus pumila	Creeping Fig	M	M
P	1 gal	Portulacacanthus truncatata	Beeton Ivy	M	M

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	MICROS
MED	500	Mediocalyx Plus	Mediocalyx Plus	N	N
MMF	500	No Mire Fescue	Mire and Rescue	M	M

TREE MITIGATION CHART

Item	Quantity
Total Existing Trees on Site	230
Total Existing Trees Previously Removed	227
Additional Existing Trees to be Retained	5
Minimum Replacement Trees Required at 2:1 Ratio	454
Total Proposed Trees	718

HUNTER STORM
GATEWAY CROSSINGS
10000 N. Market Street, Suite 200, San Jose, CA 95141
Phone: (408) 251-0707 Fax: (408) 251-0407

DATE: 05/19
PROJECT:
SCALE: As Noted

SHEET TITLE
Planting Notes and Legends

SHEET NUMBER
L-13

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Development
185 Cowardin Street
San Francisco, CA 94117
T 415 443 3612
F 415 443 3952



HUNTER STORM

GATEWAY CROSSINGS

15121 Miller Ave., Suite 200, Cupertino, CA 95014
Phone: (408) 253-2100 Fax: (408) 253-2121

DATE: 06/19/16
PROJECT:
SCALE: As Noted

SHEET TITLE
Schematic
Landscape Plan-
Site

SHEET NUMBER
L-2.1

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
880 Commonwealth Blvd.
Folsom, CA 95757
Tel: 916-453-4653
Fax: 916-453-1801



HUNTER STORM

15121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 220-1200 Fax: (408) 220-2423

GATEWAY CROSSINGS



DATE: 06/19/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.2

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 180 Commonwealth Blvd.
 San Francisco, CA 94111
 P: 415 433 4625
 F: 415 433 1811



HUNTER STORM

GATEWAY CROSSINGS

15121 Muller Ave., Suite 200, Cupertino, CA 95014
Phone: (408) 251-8337 Fax: (408) 251-8323

DATE: 06/16/16
PROJECT:
SCALE: As Noted

SHEET TITLE
Schematic
Landscape Plan -
Site

SHEET NUMBER
L-2.3

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
880 Commonwealth Blvd.
San Ramon, CA 94583
707-634-4653
707-634-1851



HUNTER STORM

GATEWAY CROSSINGS



DATE: 06/19/18
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.4

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 881 Commonwealth Avenue
 San Francisco, CA 94111
 T 415 433 4653
 F 415 433 1851



HUNTER STORM

15171 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 238-1000 Fax: (408) 238-1020

GATEWAY CROSSINGS



DATE: 06/19/18
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.5

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 880 Commonwealth Blvd
 San Francisco, CA 94111
 T 415 433-4653
 F 415 433-1851



HUNTER STORM

15171 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 238-2322 Fax: (408) 238-2323

GATEWAY CROSSINGS



DATE: 06/16/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Site

SHEET NUMBER
 L-2.6

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 880 Commonwealth Blvd
 San Francisco, CA 94111
 T 415 433-4633
 F 415 433-1851



Building 1 - with Typical Fireplace Seating Area
Planting Scheme

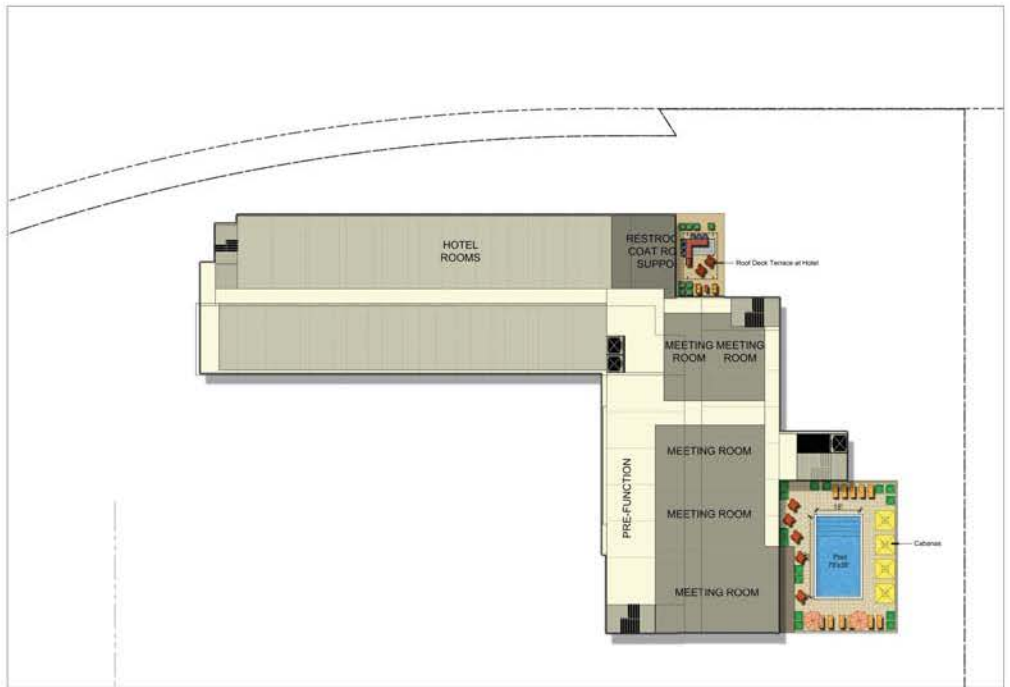


DATE: 06/19/16
PROJECT:
SCALE: As Noted

SHEET TITLE
Schematic
Landscape Plan
Podium Building 1

SHEET NUMBER
L-2.7

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
880 Commonwealth Blvd.
San Francisco, CA 94111
Tel: 415.433.4633
Fax: 415.433.1811



Hotel - Level 2 and Roof Deck on Level 8



HUNTER STORM

GATEWAY CROSSINGS

15121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 224-1200 Fax: (408) 260-5222



DATE: 06/16/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan -
 Podium Hotel

SHEET NUMBER
 L-2.8

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 180 Commonwealth Blvd.
 San Francisco, CA 94111
 P 415 433 4633
 F 415 433 1811



Building 2 - with Typical Sunny Area Planting Scheme



HUNTER STORM
 15121 Miller Ave., Suite 200, Cupertino, CA 95014
 Phone: (408) 253-2020 Fax: (408) 253-2423

GATEWAY CROSSINGS



DATE: 06/19/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan
 Podium Building 2

SHEET NUMBER
 L-2.9

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 880 Commonwealth Blvd.
 San Francisco, CA 94111
 Tel: 415.433.4625
 Fax: 415.433.1611



Building 3 - with Typical Shady Area Planting Scheme



DATE: 06/19/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan
 Podium Building 3

SHEET NUMBER
 L-2.10

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 880 Commonwealth Blvd.
 San Francisco, CA 94111
 T 415 433-4653
 F 415 433-1801



Building 4 - with Typical Sunny Seating Area Planting Scheme



DATE: 06/19/16
 PROJECT:
 SCALE: As Noted

SHEET TITLE
 Schematic
 Landscape Plan
 Podium Building 4

SHEET NUMBER
 L-2.11

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 881 Commonwealth Blvd.
 San Francisco, CA 94111
 Tel: 415.433.4633
 Fax: 415.433.1633

WATER USE LEGEND

Key	Wucole Category	Area
	Low Water Use	40,144 sf
	Medium Water Use	38,424 sf
	High Water Use	00 sf
	Water Feature	3,202 sf

Note: These area calculations do not include the Neighborhood and Linear Parks



HUNTER STORM

18721 Miller Ave., Suite 200, Cupertino, CA 95014
Phone: (415) 949-1212 Fax: (415) 949-1243

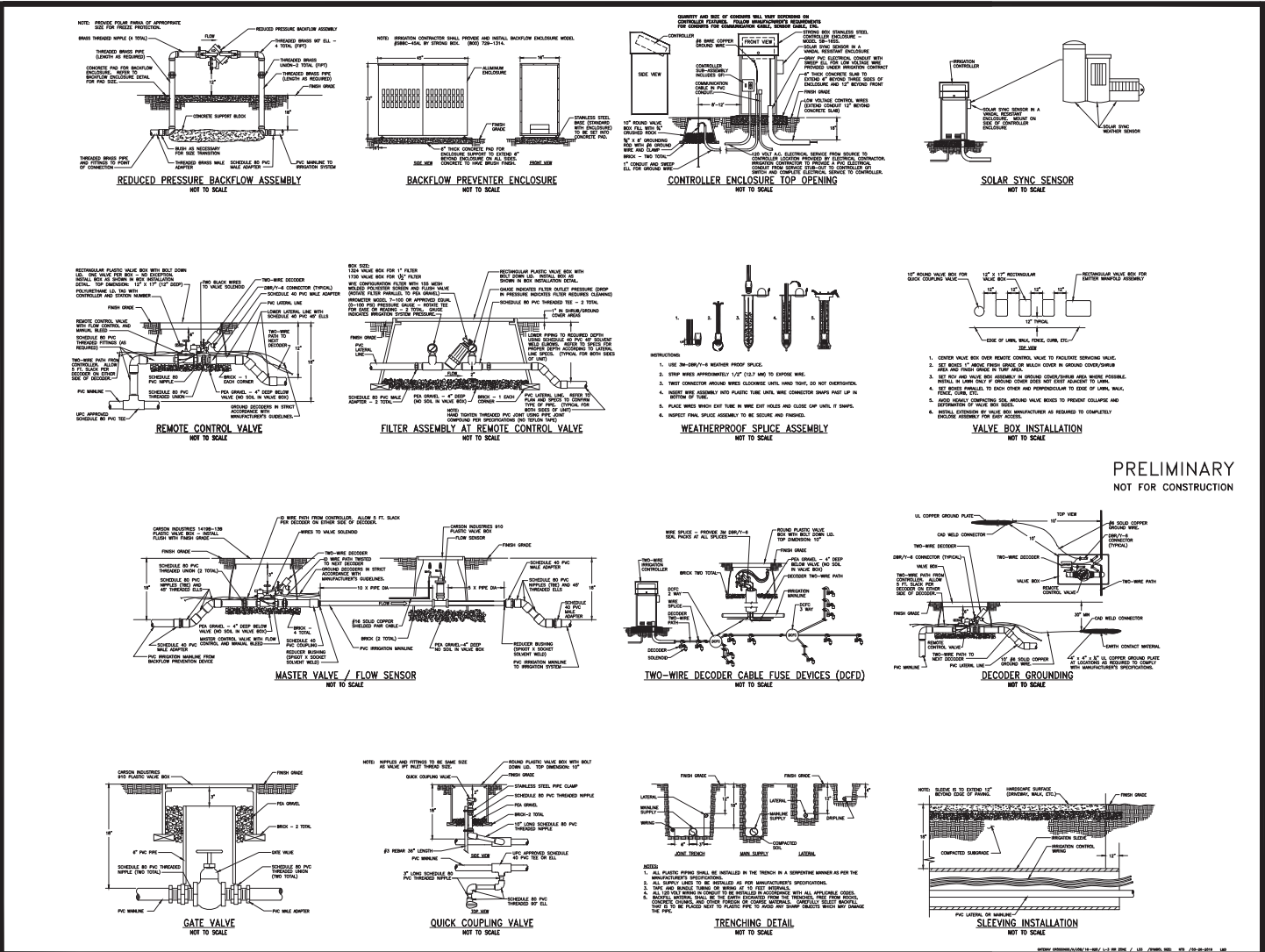
GATEWAY CROSSINGS

DATE: 06/19/19
PROJECT #:
SCALE: As Noted

SHEET TITLE
Irrigation Zoning
Diagram

SHEET NUMBER
L-3.1

THE GUZZARDO PARTNERSHIP
Landscape Architects - Land Planners
187 Commonwealth Street
San Francisco, CA 94111
T 415 433 4433
F 415 433 3933



PRELIMINARY
NOT FOR CONSTRUCTION

HUNTER STORM
Irrigation Control Systems, Inc. (408) 486-1000

GATEWAY CROSSINGS

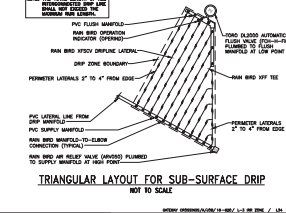
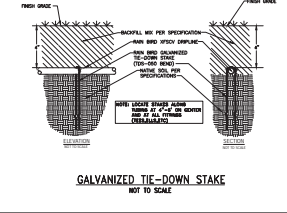
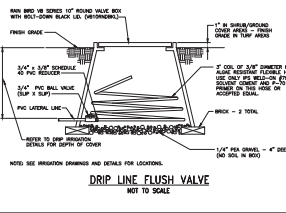
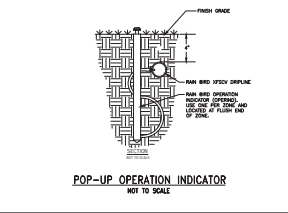
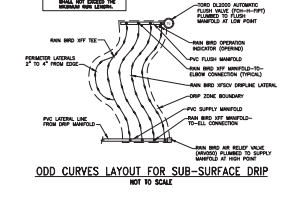
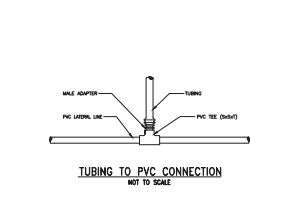
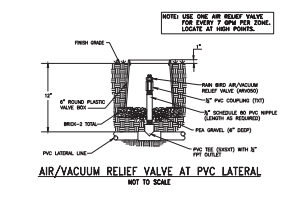
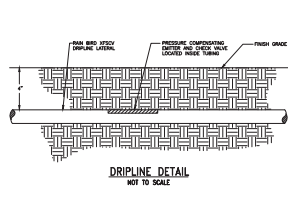
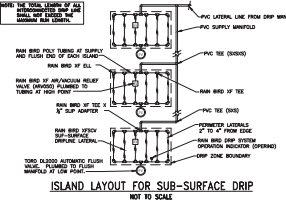
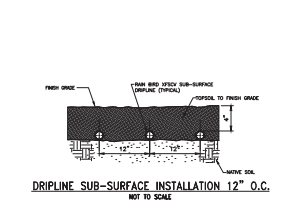
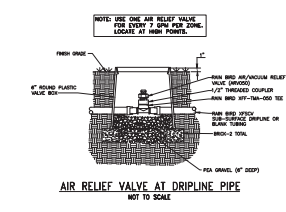
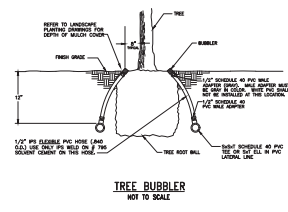
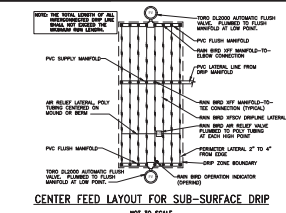
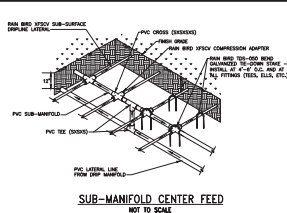
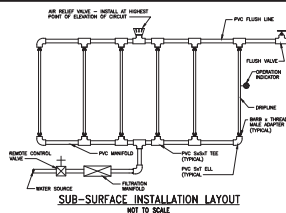
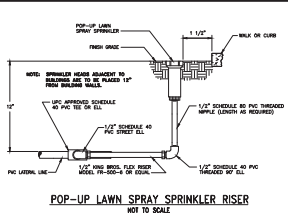
DATE: 05/19
PROJECT: []
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NORTH

SHEET TITLE
Irrigation Details

SHEET NUMBER
L-3.3

THE GUZZARDO PARTNERSHIP INC.
Landscaping, Architecture, Planning & Design
181 Greenwold Street
San Dimas, CA 91773
714.933.8622
415.433.9022

DICKSON & ASSOCIATES, INC.
Irrigation Specialists
19000 Foothill Parkway
Foothill Ranch, CA 92603
949.453.8800



PRELIMINARY
NOT FOR CONSTRUCTION

HUNTER STORM
15351 E. Main Street, Suite 100, Aurora, CO 80014
Phone: 303.440.1000 Fax: 303.440.1001

GATEWAY CROSSINGS

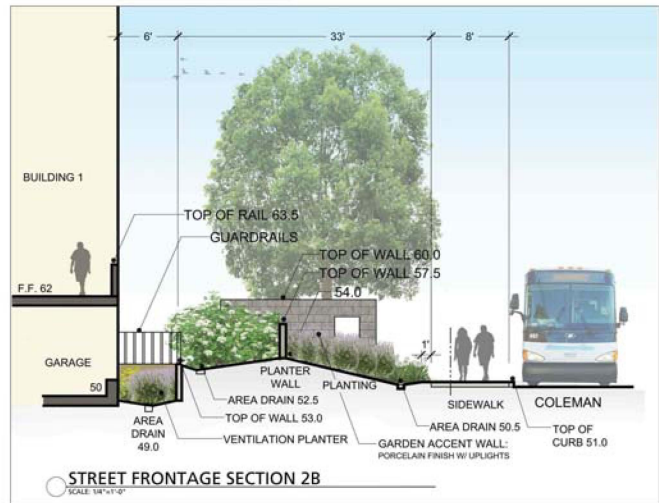
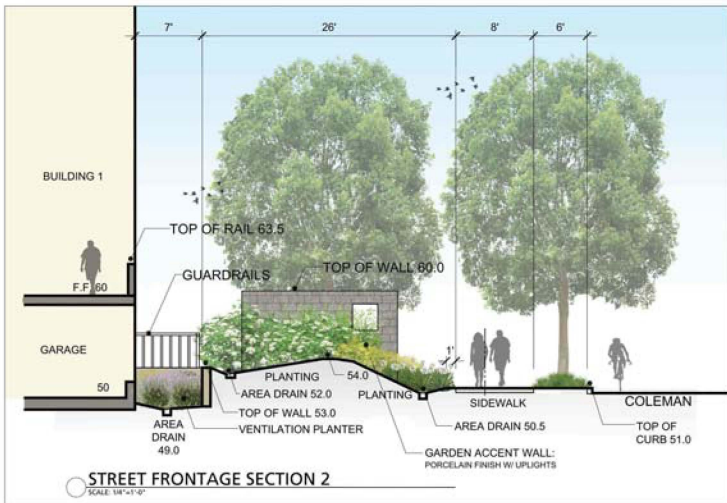
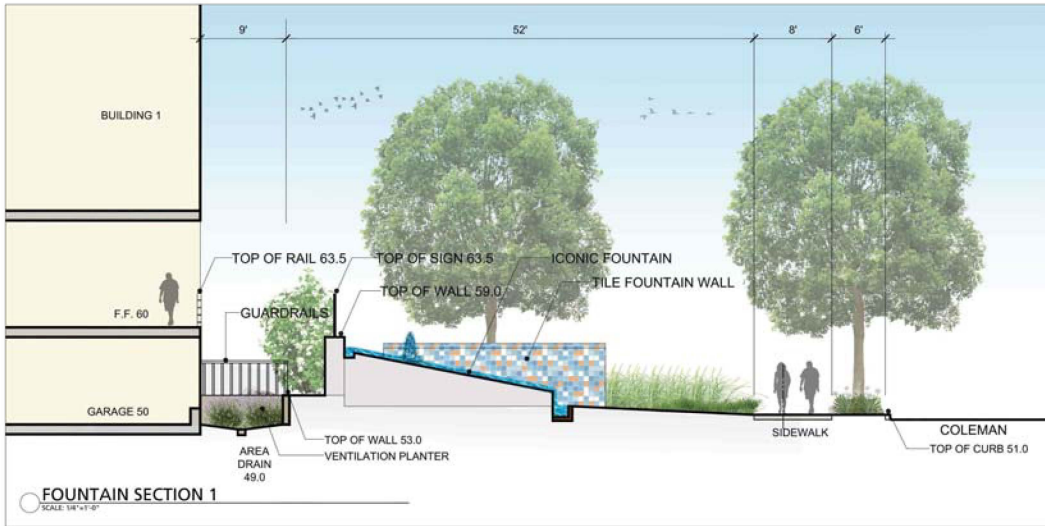
DATE: 05/19
PROJECT:
SCALE:
0 50 100
NORTH

SHEET TITLE
Irrigation Details

SHEET NUMBER
L-3.4

THE GUZZARDO PARTNERSHIP INC.
Landscapers, Architects, Planners & Engineers
181 Greenloch Street
San Francisco, CA 94111
7415 433 8672
415 433 8662

HICKSON & ASSOCIATES, INC.
Irrigation Specialists
10000 160th Street
San Diego, CA 92126
619 444 2222
© Hickson & Associates, Inc.

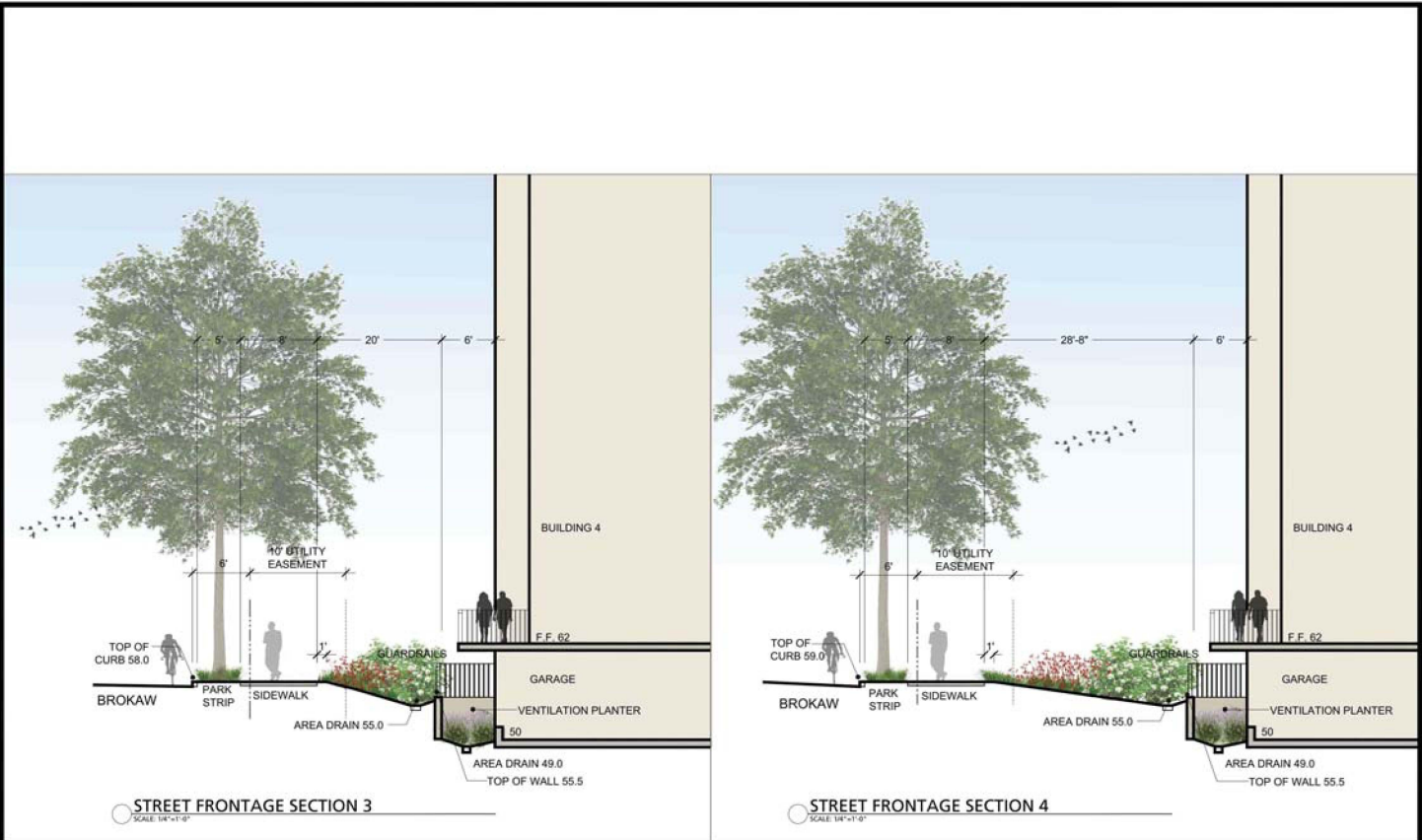


DATE: 04.19.19
PROJECT #:
SCALE: As Noted

SHEET TITLE
Site Sections

SHEET NUMBER
L-4.1

THE GUZZARDO PARTNERSHIP P.C.
Landscape Architecture - Land Planning
181 Greenback Street
San Francisco, CA 94111
T 415 433 8812
F 415 433 8851



HUNTER STORM

GATEWAY CROSSINGS

18155 Main Street, Suite 200
San Francisco, CA 94115
Phone: (415) 224-1000 Fax: (415) 988-3400



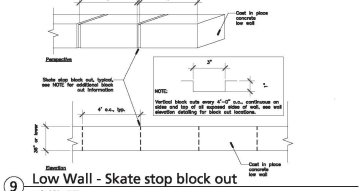
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SHEET TITLE
Site Sections

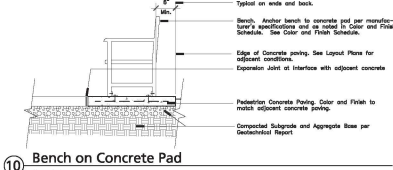
SHEET NUMBER
L-4.2

THE GUZZARDO PARTNERSHIP P.C.
Landscape Architecture - Land Planning

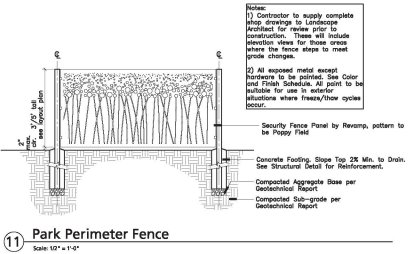
181 Greenback Street
San Francisco, CA 94115
T 415 433 8632
F 415 433 8665



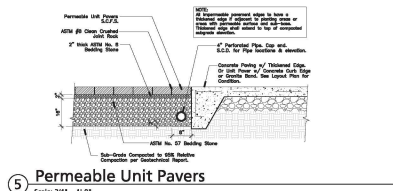
9 Low Wall - Skate stop block out
Scale: 3/4" = 1'-0"



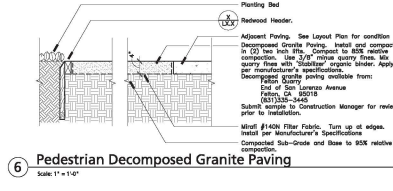
10 Bench on Concrete Pad
Not to Scale



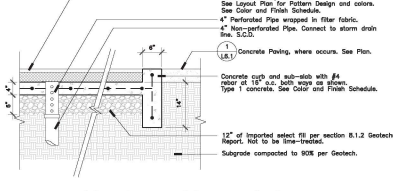
11 Park Perimeter Fence
Scale: 1/2" = 1'-0"



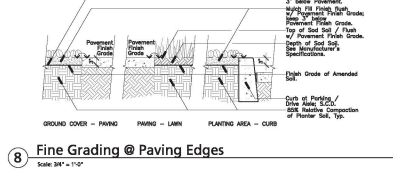
5 Permeable Unit Pavers
Scale: 3/4" = 1'-0"



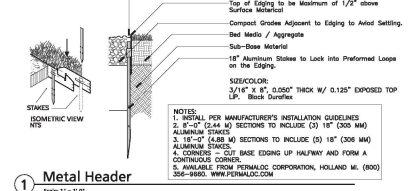
6 Pedestrian Decomposed Granite Paving
Scale: 1" = 1'-0"



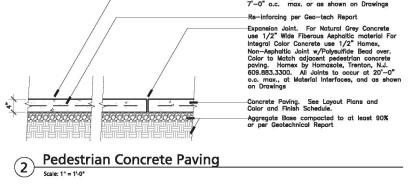
7 Poured-in-Place Rubber Surfacing
Scale: 1" = 1'-0"



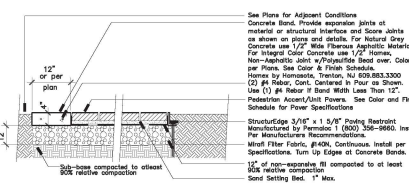
8 Fine Grading @ Paving Edges
Scale: 3/4" = 1'-0"



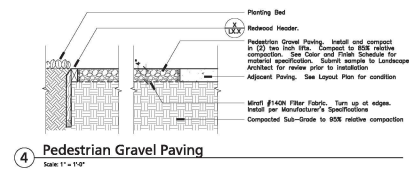
1 Metal Header
Scale: 1" = 1'-0"



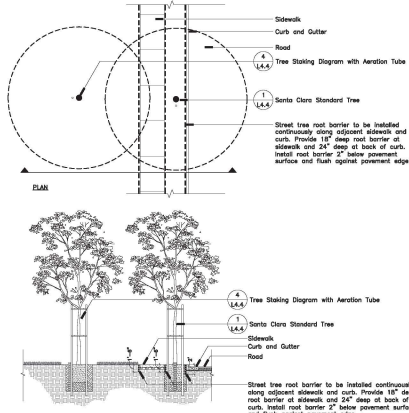
2 Pedestrian Concrete Paving
Scale: 1" = 1'-0"



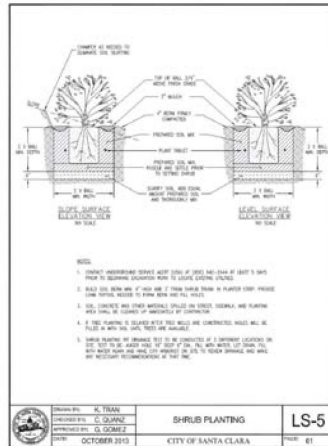
3 Pedestrian Accent Paving
Scale: 1" = 1'-0"



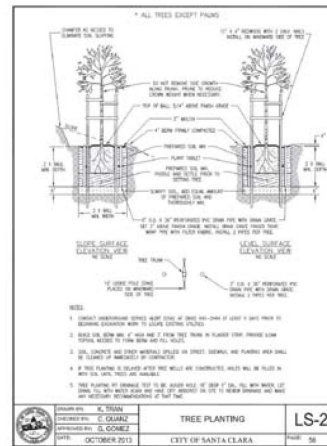
4 Pedestrian Gravel Paving
Scale: 1" = 1'-0"



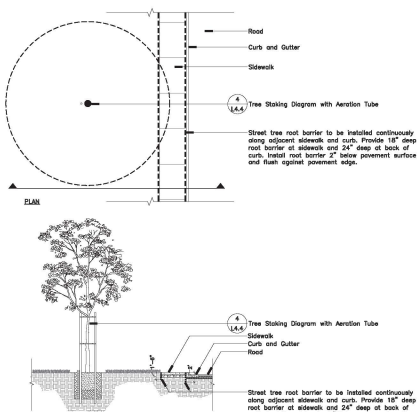
6 Street Tree Root Barrier Type 1
Scale: 1/8" = 1'-0"



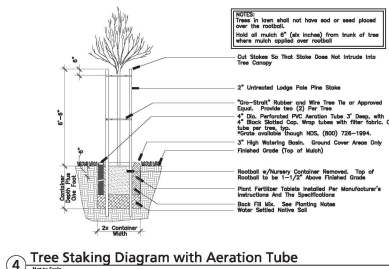
3 Santa Clara Standard Shrub Detail
Not to Scale



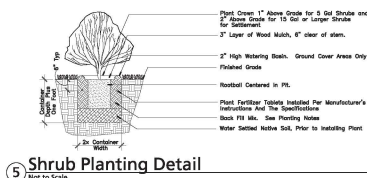
1 Santa Clara Standard Tree Detail
Not to Scale



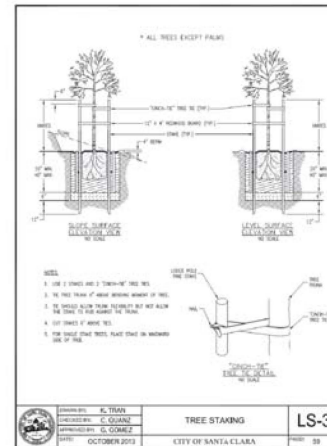
7 Street Tree Root Barrier Type 2
Scale: 1/8" = 1'-0"



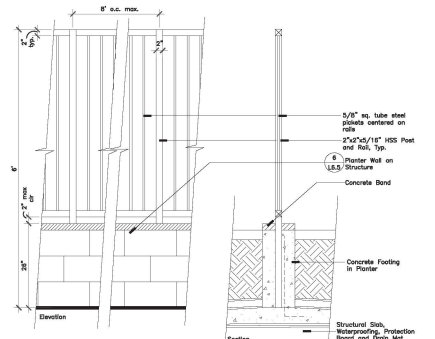
4 Tree Staking Diagram with Aeration Tube
Not to Scale



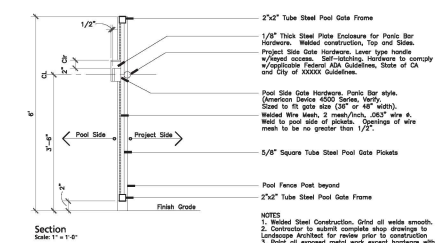
5 Shrub Planting Detail
Not to Scale



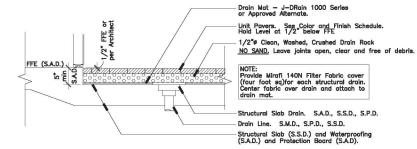
2 Santa Clara Standard Tree Detail
Not to Scale



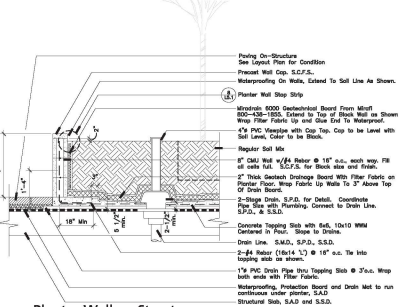
5 Pool Fence in Planter
Scale: 1" = 1'-0"



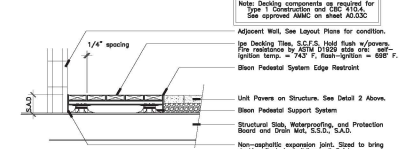
5 Pool Gate
Scale as Noted



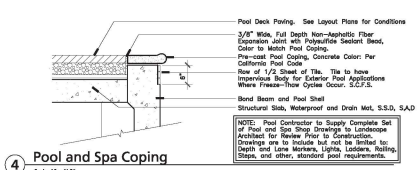
1 Unit Pavers on Structure
Scale: 1/2" = 1'-0"



2 Planter Wall on Structure
Scale: 3/4" = 1'-0"



3 Decking On-Structure
Scale: 1" = 1'-0"



4 Pool and Spa Coping
Scale: 1" = 1'-0"