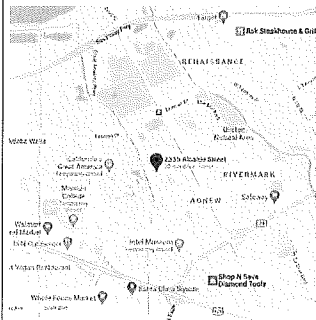


**APPLICABLE CODES**

ALL WORK SHALL COMPLY TO:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL & PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 FIRE CODE
- 2019 SANTA CLARA COUNTY MUNICIPAL CODE

**VICINITY MAP**



**SCOPE OF WORK**

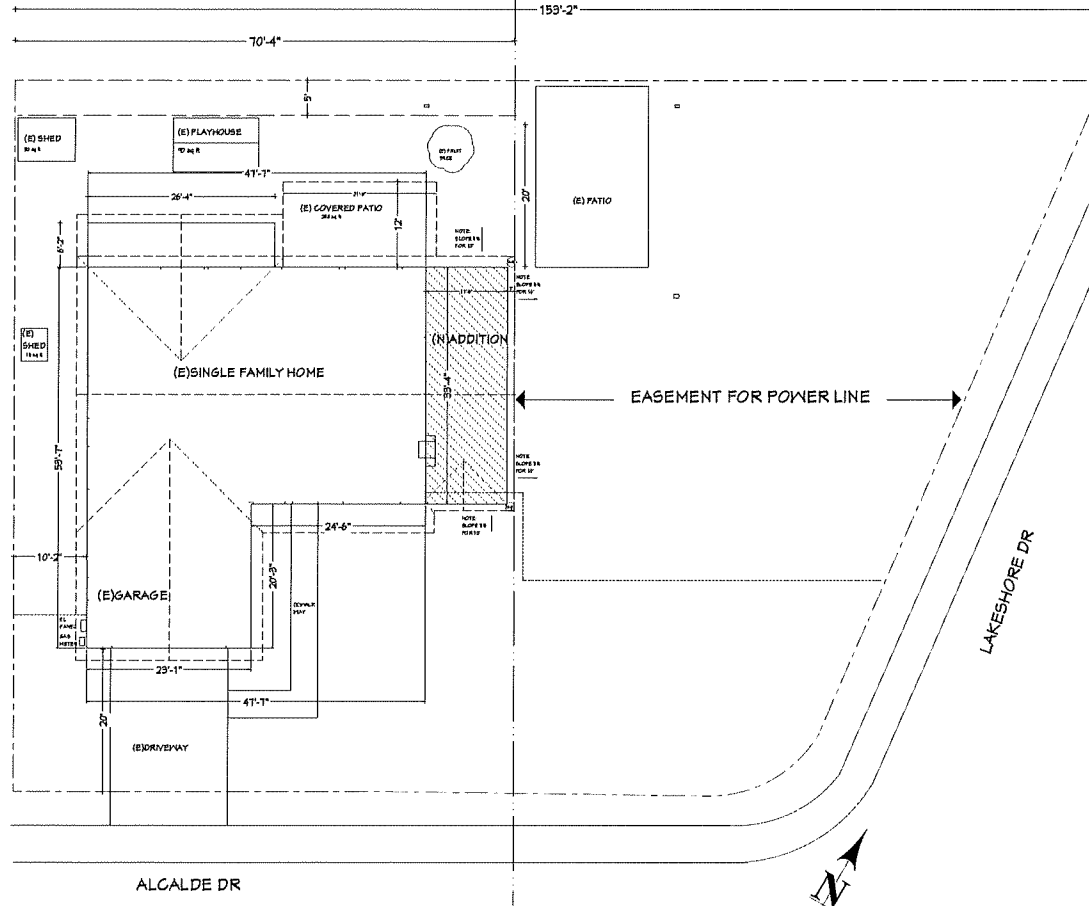
- (N) ADDITION 383 SQ FT
- (N) BATHROOM AND BEDROOM
- (N) WET BAR
- (N) WINDOWS AND SLIDING DOOR
- ELECTRICAL, MECHANICAL AND PLUMBING IN (N) ADDITION.
- EL PANEL UPGRADE TO 200 AMP

NO TREES WILL BE AFFECTED BY THIS PROJECT.

**BHATNAGAR RESIDENCE  
NEW ADDITION**

2335 ALCALDE ST  
SANTA CLARA, CA 95054

- a. Applications for which no permit is issued within 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- b. Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. *No more than ONE extension may be credited.* Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.



**SITE PLAN**  
SCALE 1/8"=1'-0"

**PROJECT DATA**

PROJECT ADDRESS:  
2335 ALCALDE ST, SANTA CLARA, CA 95054

APN #: 04-05-103  
BUILT IN 1977  
ZONING: R1-6-L  
OCCUPANCY: R-30U  
CONSTRUCTION: V-B  
LOT SIZE: 0.5145 acre  
NO SPRINKLER IN (E) HOME

EXISTING LIVING AREA: 1,747 sq ft  
NEW ADDITION: 383 sq ft  
TOTAL LIVING AREA: 2130 sq ft  
FAR: 30%  
EXISTING GARAGE: 470 sq ft

(E) SHED & PLAYHOUSE: 150 sq ft  
(E) COVERED PATIO: 250 sq ft  
LOT COVERAGE: 3,016 sq ft  
22% LOT COVERAGE

OWNER:  
AMIT BHATNAGAR  
bhatnagarleo@gmail.com

CONTRACTOR: JIM DEVELOPERS INC.  
JAY PATEL  
jmdvelopers969@gmail.com  
(408)658-6661

DESIGN: CAL DESIGN STUDIO LLC  
MARTA ANDERSSON  
caldesignstudio@gmail.com  
(408)988-3200, (408)221-1742

STRUCTURAL ENGINEERING:  
JPL STRUCTURES,  
JOHN LANGELOH  
(916)220-0080

**SHEET INDEX**

- P1 PROJECT DATA, SITE PLAN
- A-1 EXISTING/DEMOLITION PLAN
- A-2 NEW FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS, SECTION
- A-4 CAL GREEN MANDATORY MEASURES #1
- A-5 CAL GREEN MANDATORY MEASURES #2
- ME-1 MECHANICAL & ELECTRICAL PLAN
- S0.1 GENERAL NOTES & DETAILS
- S1.1 TYPICAL DETAILS
- S1.2 STRUCTURAL DETAILS
- S1.3 STRUCTURAL DETAILS
- S2.1 FOUNDATION PLAN
- S2.2 CEILING AND ROOF FRAMING PLAN

T24A TITLE 24 CALCULATIONS #1  
T24B TITLE 24 CALCULATIONS #2

Marta G  
Ingeborg  
Andersson

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION	PROJECT	DATE	LETTER
	A						

PROJECT DATA  
SITE PLAN  
SHEET INDEX

BHATNAGAR RESIDENCE  
2335 ALCALDE ST  
SANTA CLARA, CA 95054

PO BOX 478  
SANTA CLARA, CA 95071  
(408)988-3200  
Cal DESIGN STUDIO LLC

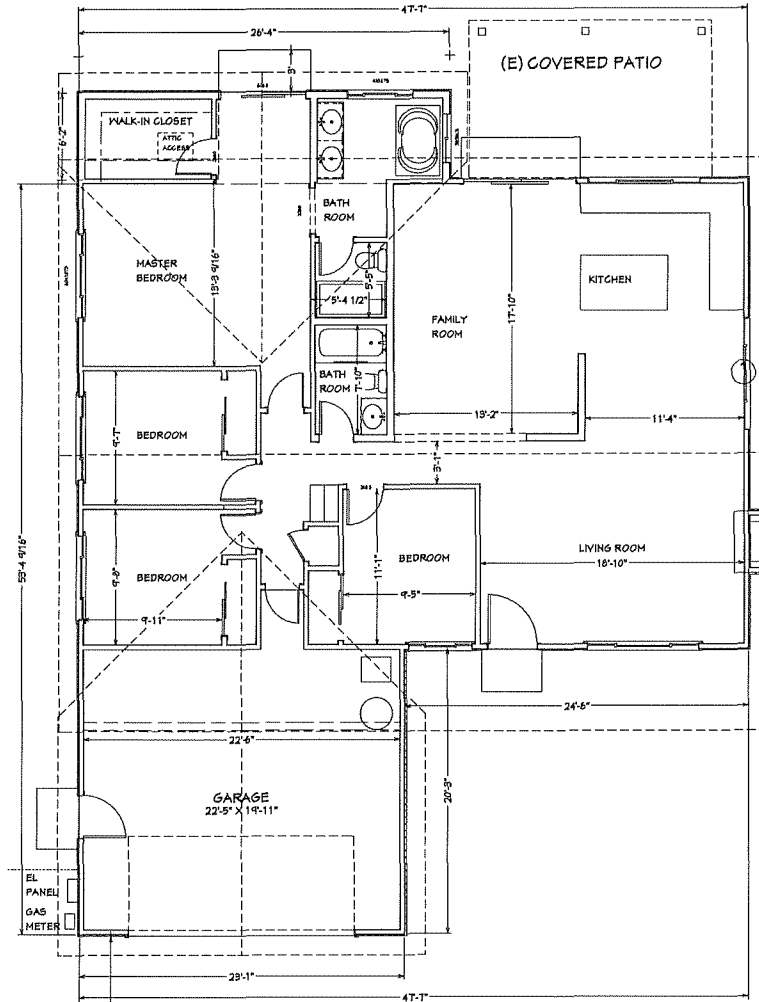
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SCALE:	1/8"=1'-0"
SHEET:	P1

## GENERAL NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH REQUIREMENTS TO THE 2019 CBC, 2019 IRC, 2019 CEC, 2019 CMC.
2. NOTES AND DETAILS ON DRAWING SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
3. DIMENSIONS INDICATED ARE THE DIMENSIONS TO BE USED. DO NOT SCALE THE DRAWINGS.
4. NO CHANGES ARE TO BE MADE TO THE PLANS WITHOUT THE KNOWLEDGE OF THE ENGINEER WHOSE SIGNATURE APPEARS HEREIN.
5. THE DESIGN ADEQUACY AND THE SAFETY OF THE ERECTION, BRACING, SHORING AND THE TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF SHEAR WALLS, ROOFS AND DIAPHRAGMS AND FINISH MATERIAL HE SHALL PROVIDE ALL NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO APPLICATION OF THE FOREMENTIONED COMPONENTS.
6. THE GENERAL CONTRACTOR SHALL INSURE THAT THERE IS A FULL TIME SUPERINTENDENT AT THE JOB SITE AT ALL TIMES.
7. PROVIDE SPECIAL INSPECTION FOR ALL TIMES AS REQUESTED BY USCAND LOCAL CODE AUTHORITY.
8. OWNER'S BUILDER/GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS SUCH AS DIMENSIONS, BUILDING SETBACK ELECTRICAL, MECHANICAL AND PLUMBING CONDITIONS PRIOR TO START ANY WORK.

## WOOD AND FRAMING NOTES

1. ALL FRAMING LUMBER DOUGLAS FIR LARCH MANUFACTURED AND GRADED PER WCLB OR WMPA GRADING RULES, LATEST EDITIONS UNLESS OTHERWISE NOTED ON THE PLANS. ALL FRAMING LUMBER SHALL BE D.F NO.1 GRADE EXCEPT THAT PLATES STUDS AND BLOCKS MAY BE NO.2 GRADE OR BETTER. ALL FRAMING SHALL CONFORM TO CHAPTER 23 OF THE 2019 CBC.
2. ALL PLYWOOD SHEATHINGS DFPA-INT.CDS STD. WITH EXTERIOR GLUE GROUP 1.2 OR 3 SPECIES.
3. NAILING SHALL BE PER CBC 2019 EXCEPT WHERE DESIGNATED OTHERWISE, SUCH AS SHEAR WALL NAILING ETC. ALL NAILS AND HARDWARE EXPOSED TO WEATHER SHALL BE GALVANIZED.
  - JOIST TO SILL OR GIRDER, TOENAIL 3-8D
  - BRIDGING TO JOIST, TOENAIL EACH NO 2-8D
  - CEILING JOISTS TO PLATE, TOENAILS 3-8D
  - CONTINUOUS HEADER TO STUD, TOENAIL 4-8D
  - CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL 3-16D
  - CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 16D
  - RAFTER TO PLATE, TOENAIL 3-8D
4. REFER TO PLANS AND DETAILS FOR LATERAL BRACING METHODS. BRACING OR SHEAR PANELING SHALL CONFORM TO (CBC 2019) (CONVENTIONAL CONSTRUCTION)
5. PROVIDE DOUBLE JOISTS OR BLOCKING BELOW NEW WALLS.
6. LOCATION OF FOUNDATION VENTS TO CONFORM TO (CBC 2019)
7. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA (CBC 2019)
8. PROVIDE 22" MIN BY 30" MIN ACCESS TO ALL ATTIC SPACES W/30" CLEAR HEIGHT OR MORE. (CBC 2019)
9. PROVIDE 18" MIN BY 24" MIN ACCESS TO FOUNDATION SPACES. PROVIDE 1 ACCESS WITHIN 20' OF BATHROOM & KITCHEN PLUMBING TO CONFORM TO (CBC 2019)
10. NAILS SHALL BE COMMON TYPE UNLESS OTHERWISE NOTED.
11. BOLTS FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307 HEX HEAD. STEEL WASHERS SHALL BE USED AT ALL PLACES WHERE THE BOLT HEAD OR NUT WOULD OTHERWISE BEAR OR BE IN CONTACT WITH THE WOOD SURFACE. BOLT HOLES IN MEMBERS SHALL BE DRILLED NOT MORE THAN .125 LARGER THAN THE BOLT HOLE DIAMETER.
12. PROVIDE LATERAL SUPPORT AT ALL ENDS OF JOISTS & RAFTERS BY BLOCKING, RIM JOISTS OR HANGERS BLOCK BETWEEN JOISTS AND RAFTERS OVER ALL SUPPORTS.
13. PROVIDE AT LEAST A DOUBLE STUD AT ALL BEARING POINTS UNDER BEAMS.
14. LAP TOP PLATES 48", NAIL TOGETHER W 16D@8" OR AS INSTRUCTED PER DETAILS.
15. STAGGER ALL PLYWOOD JOINTS IN FLOORS & ROOF SHEATHING & LAY FACE GRAIN PERPENDICULAR TO SUPPORTS. ALL FLOOR SHEATHING TO BE GLED AT ALL PANEL JOINTS (TOUNGEA GROOVES & TO ALL JOISTS AND BLOCKING. CONSTRUCTION ADHESIVE TO ICBO APPROVED FOR THE SPECIFIC APPLICATION. PROVIDE APPROXIMATELY 1/8" SPACING AT PANEL JOINTS AND FOLLOW ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS.
16. VERTICAL SHEATHING SHALL BE BLOCKED AT ALL PANEL EDGED & SHALL BE CONTINUOUS THE ENTIRE HEIGHT OF WALLS & EXTEND TO FRAMING MEMBERS BETOND(BLOCKING, RIM JOISTS, WALL PLATES, RAFTERS, ) AS CONDITIONS WARRANT. SEE ALSO DETAILS FOR SHEAR TRANSFER WHERE PROVIDED. HORIZONTAL & VERTICAL EDGES OF ADJACENT PANELS SHALL BE NAILED TO SAME FRAMING MEMBER. PROVIDE APPROXIMATELY 1/8" SPACING AT ALL PANEL JOINTS.
17. ALL LUMBER HEADERS AND BEAMS TO BE DOUGLAS FIR NO1 UNLESS OTHERWISE NOTED.
18. ALL ENGINEERED WOOD HEADERS AND BEAMS TO BE TRUSS JOIST 2.0E PARALLAMS OR 1.8 MICROLLAMS AS SPECIFIES ON THE PLANS.
19. ALL MUDSILL TO BE DOUGLAS FIR PRESSURE TREATED.
20. ALL ANCHOR BOLTS TO BE PROVIDED WITH 5"X3"X0.220" MIN. PLATE WASHERS.(CBC 2019)
21. ALL HARDWARE TO BE SIMPSON OR APPROVED EQUAL.
22. MIN GYR.BD. NAILING IS 6D PARKERHEAD NAILS(8D FOR 5/8" BOARD) AT 7' EDGES AND FIELD.



EXISTING / DEMOLITION FLOOR PLAN  
SCALE 1/4"=1'-0"

Marta G  
Ingeborg  
Andersson

REVISION TABLE	DESCRIPTION	DATE
NUMBER	DATE	BY
1	1/20/22	MA
2		
3		
4		

EXISTING/DEMOLITION  
FLOOR PLAN

BHATNAGAR RESIDENCE  
2335 ALCALDE ST  
SANTA CLARA, CA 95054

DESIGN  
STUDIO LLC  
PO BOX 478  
SANTA CLARA, CA 95054  
(408) 998-3200

DATE:  
5/5/22  
SCALE:  
1/4"=1'-0"  
SHEET:  
A-1

### BATHROOM NOTES

1. PROVIDE WATERPROOF MATERIALS AT SHOWER WALLS WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. WATER RESISTANT GYPSUM BACKING SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
2. ALL RECEPTACLES SHALL BE GFCI PROTECTED AND CONNECTED TO A DEDICATED 15 AND 20 AMPS CIRCUIT.
3. A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM. ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.
4. EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CONTROL SWITCHES. THE EXHAUST FAN NEED TO BE SUPPLIED BY A GFCI PROTECTED CIRCUIT BASED ON THE MANUFACTURER'S REQUIREMENTS.
5. EXHAUST FANS ARE REQUIRED IN ALL BATHROOMS, EVEN IF AN OPERABLE WINDOW IS INSTALLED
6. EXHAUST FANS SHALL TERMINATE A MINIMUM OF 3' FROM PROPERTY LINE AND 3' FROM OPENINGS INTO A BUILDING. EXHAUST FANS AT SHOWERS SHALL BE LISTED FOR WET LOCATIONS AND SHALL BE GFCI PROTECTED. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
7. SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD AND MAINTAIN A MIN 22" CLEARANCE. SHOWER COMPARTMENT SHALL BE A MINIMUM 1,024 SQ INCHES ENCOMPASSING A 30" CIRCLE.
8. WATER CLOSETS (MAX. 1.28 GPF) SHALL BE CLEAR 30" WIDE (15" ON CENTER) AND 24" IN FRONT.
9. SHOWER HEADS (MAX. 1.8 GPM) AND FAUCETS (MAX 1.2 GPM)
10. BATHTUB WHIRLPOOLS AND SHOWER VALVES SHALL BE APPROVED PRESSURE BALANCE OR THERMOSTATIC TYPE ADJUSTED TO A MAXIMUM OF 120 DEGREES.

### WINDOW & GLAZING NOTES

#### WINDOWS

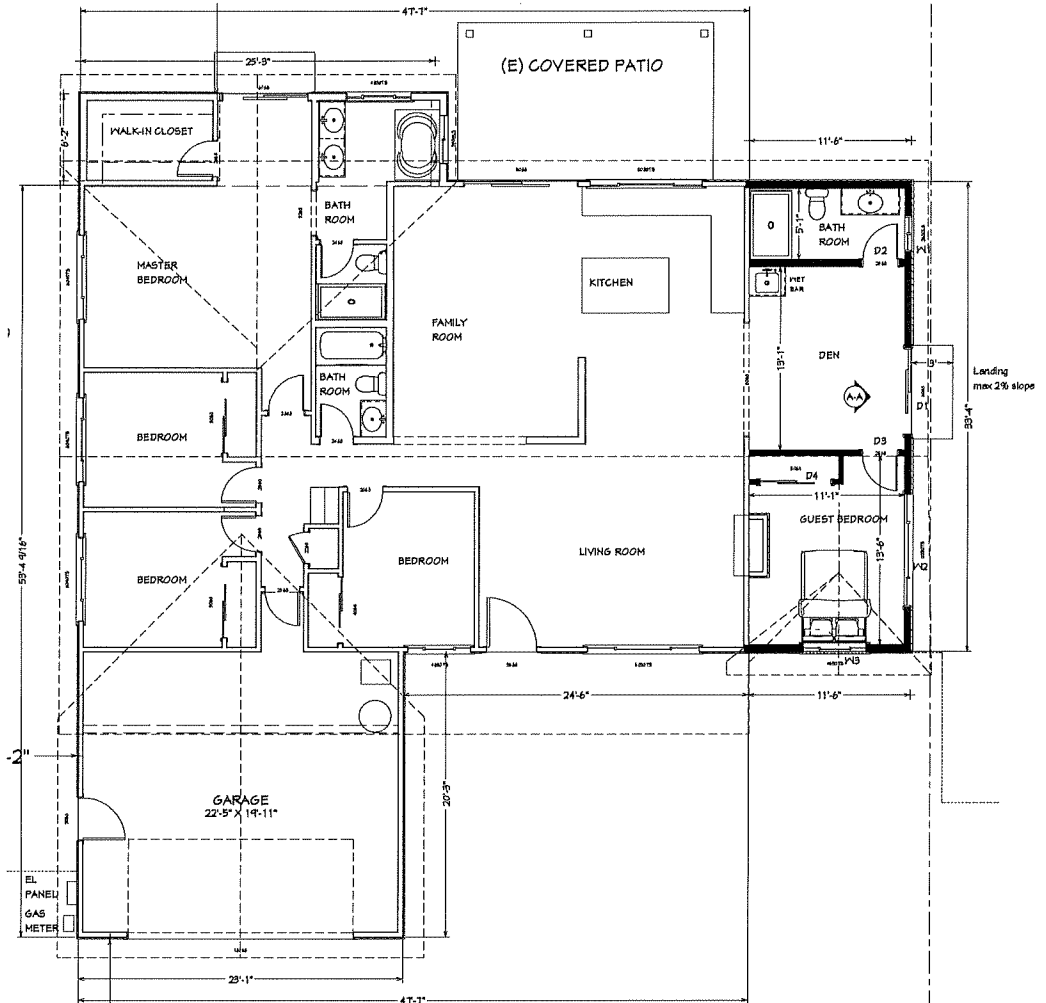
1. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. BATHROOMS SHALL BE PROVIDED WITH WINDOW GLAZING AREA NOT LESS THAN 3 SQ. FT. ONE HALF OF WHICH MUST BE OPERABLE.
2. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH AN AREA NO LESS THAN 1/20TH OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 5 SQ OR MECHANICAL SYSTEM.

#### GLAZING

3. ALL GLASS AND GLAZING SHALL COMPLY WITH THE US SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND FEDERAL SPECIFICATIONS.
4. ALL WINDOWS AND SLIDING DOORS MUST BEAR A PERMANENT OF TEMPORARY LABEL SUBSTANTIATING COMPLIANCE WITH: TITLE 24 REPORT FOR THIS PROJECT SEE SHEET T24-A & B
5. GLAZING AT DOOR WITHIN 24" OF A DOOR AND OVER TUBS OR SHOWERS SHALL BE TEMPERED GLASS.
6. GLASS ENCLOSURES FOR SHOWER AND TUB SHALL BE TEMPERED GLASS.
7. GLAZING CLOSER TO FINISHED FLOOR THAN 18" SHALL BE TEMPERED GLASS.

### WINDOW & DOOR SCHEDULE

WINDOW AND DOOR SCHEDULE	SIZE	MATERIAL TYPE	TEMPERED	EGRESS	NOTES
W1	7'6" x 3'0"	VINYL SLIDING	YES	NO	
W2	8'0" x 2'5"0"	VINYL SLIDING	NO	YES	(E) WINDOW TO BE MOVED
W3	4'8" x 2'0"	VINYL SLIDING	NO	NO	
D1	6'9" x 5'9"	VINYL SLIDING	YES	YES	
D2	2'8" x 6'8"	MDF HINGED	NO	NO	PRIVACY LOCK
D3	2'0" x 2'5" x 8"	MDF HINGED	NO	NO	
D4	5'0" x 6'8"	MDF SLIDING	NO	NO	CLOSET DOOR



Marta G  
Ingeborg  
Andersson

REVISION TABLE	DESCRIPTION
NUMBER	DATE
1	10/20/22
2	10/20/22
3	10/20/22
4	10/20/22
5	10/20/22
6	10/20/22
7	10/20/22
8	10/20/22
9	10/20/22
10	10/20/22

NEW  
FLOOR PLAN

BHATNAGAR RESIDENCE  
2395 ALCALDE ST  
SANTA CLARA, CA 95054

DESIGN  
STUDIO, LLC  
PO BOX 478  
SANTA CLARA, CA 95071  
(408) 793 3200

DATE:

5/5/22

SCALE:

1/4" = 1'-0"

SHEET:

A-2

Marta G  
Ingeborg  
Andersson

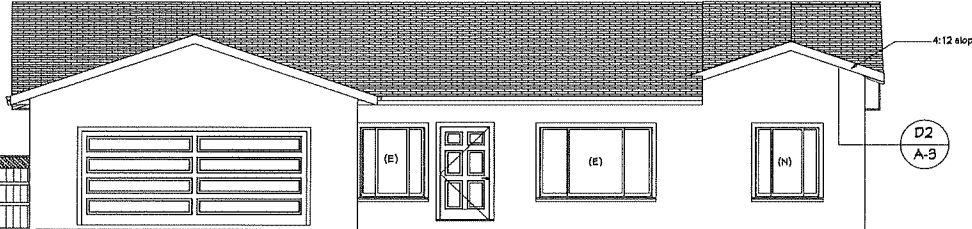
REVISION NUMBER	DATE	REVISION BY	DESCRIPTION

EXTERIOR ELEVATIONS  
SECTION A-A

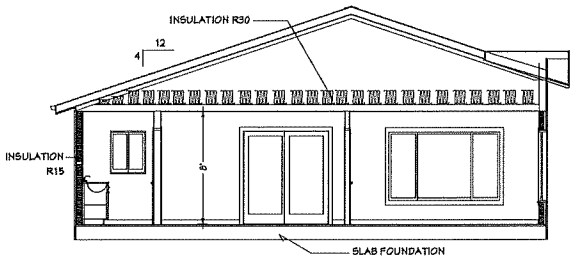
BHATNAGAR RESIDENCE  
2335 ALCALDE ST  
SANTA CLARA, CA 95054

Cal DESIGN STUDIO, LLC  
PO BOX 478  
SANTA CLARA, CA 95051  
(408) 993 2300

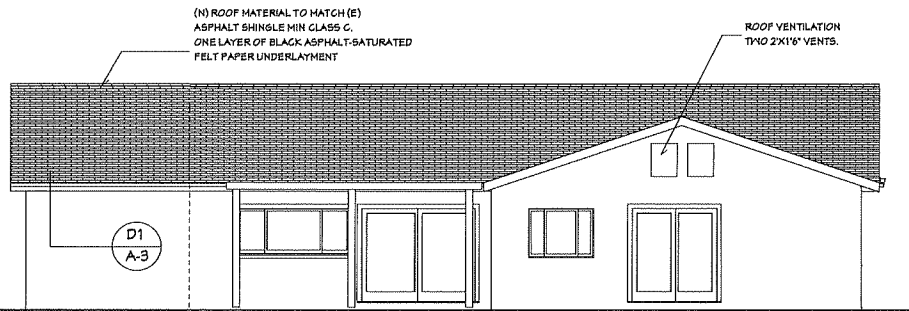
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SHEET: A-3



FRONT ELEVATION  
SCALE 1/4"=1'-0"



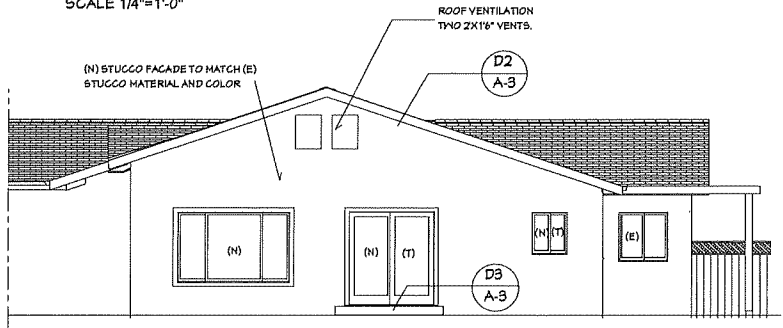
SECTION A-A  
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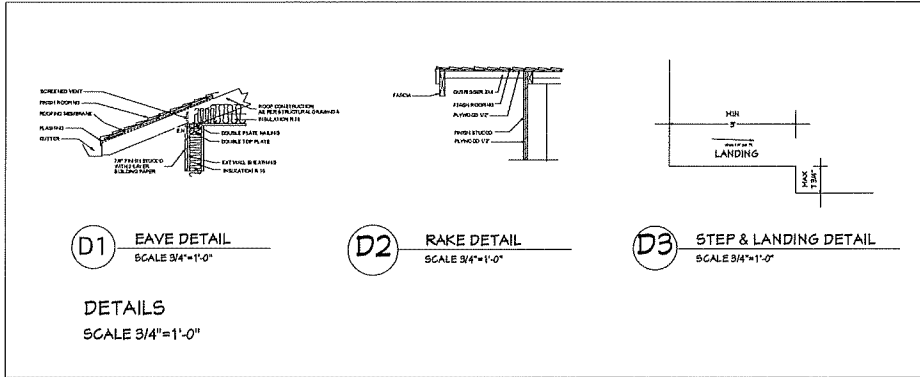
REAR ELEVATION  
SCALE 1/4"=1'-0"

VENTILATION NOTES

ROOF VENTILATION AREA  
TOTAL VENTILATION AREA FOR THE WHOLE HOUSE:  
1/150 X ROOF AREA = REQUIRED VENTILATION  
1/150 X 2,190 SQ FT = 14.2 SQ FT OF REQUIRED NEW VENTILATION  
4 GABLE VENTS 2'X1'6"-12 SQ FT  
VENT @ EVERY THIRD EAWE = MIN 2.2 SQ FT  
22'X6" GALVANIZED STEEL EAWE NETTED VENT  
(BRAND TBD) 8 X 72" SQ INVENT= 4 SQ FT  
CRAWL SPACE VENTILATION AREA  
- NO VENT, SLAB FOUNDATION



SIDE ELEVATION  
SCALE 1/4"=1'-0"



D1 EAVE DETAIL  
SCALE 3/4"=1'-0"

D2 RAKE DETAIL  
SCALE 3/4"=1'-0"

D3 STEP & LANDING DETAIL  
SCALE 3/4"=1'-0"

DETAILS  
SCALE 3/4"=1'-0"