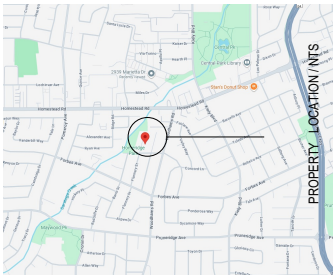


717 Flannery St Residence

Santa Clara, CA 95051

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 293-17-045
PROJECT TYPE: NEW RESIDENTIAL HOUSE
PROJECT LOCATION: 717 FLANNERY ST, SANTA CLARA, CA 95051
ZONING: R1-6L
OCCUPANCY GROUP: R-3 / U
CONSTRUCTION TYPE: V- B
NUMBER OF FLOORS: 1
FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS UNDER SEPARATE PERMIT
BEDROOM NUMBER: MAIN HOUSE 3 BEDROOMS
BATHROOM NUMBER: ADU 2
GARAGE: MAIN HOUSE 2.5 BATHROOMS
LOT SIZE: ADU 1
FLOOR AREA RATIO: 2 COVERED ATTACHED
SF OF COMMON LIVING SPACE: 5172 SQ.FT
ADU HABITABLE SPACE: 40 % (NOT INCLUDING ADU)
OPEN LANDSCAPE AREA: 1650 HABITABLE MAIN HOUSE
EXISTING BUILDING YEAR: 700 HABITABLE ATTACHED ADU
1955

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2025 EDITION
B. CALIFORNIA BUILDING 2025 EDITION
C. CALIFORNIA GREEN BUILDING 2025 EDITION
D. CALIFORNIA MECHANICAL 2025 EDITION
E. CALIFORNIA PLUMBING 2025 EDITION
F. CALIFORNIA ELECTRICAL 2025 EDITION
G. CALIFORNIA ENERGY: 2025 EDITION
H. CALIFORNIA FIRE: 2025 EDITION
ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. 2025 EDITION
I. SANTA CLARA MUNICIPAL CODE 2025 EDITION

PROJECT CONTACT:

OWNER: GUZHEN ZHANG
717 FLANNERY ST
SANTA CLARA, CA 95051
EMAIL: gzhang@gmail.com
DESIGNER: RAMIN ZOHOR
NILSENE BUILDER INC.
21080 HOMESTEAD RD,
#216
CUPERTINO, CA 95014
TEL: 408-497-5071
EMAIL: ZOHOR.RAMIN@GMAIL.COM
STRUCTURAL: HIEN T. KIM NGUYEN
SSOESIGN ENGINEERING
15 DUBERSTEIN DR
SAN RAMON, CA 94583
TEL: 408-852-9906
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21080 HOMESTEAD RD,
#216
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122 WENDY CT,
UNION CITY, CA 94587
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SURVEY: OSUNA ENGINEERING INC.
1949 OTTOLE WAY,
SAN JOSE, CA 95131
TEL: 408-772-4381
EMAIL: INFO@OSUNAENGINEERING.COM

DRAWING INDEX:

ARCHITECTURAL PLAN:
A-00.01: COVER SHEET
TOPO & BOUNDARY MAP
A-S1: SITE PLAN CONDITIONS
A-01: PROPOSED FLOOR PLAN CONDITIONS
A-02: MAIN HOUSE ROOF PLAN CONDITIONS
A-03: WINDOW & DOOR SCHEDULE
A-04: PROPOSED ELEVATIONS
A-05: PROPOSED CROSS SECTIONS
A-06: MATERIAL BOARDS

AREA CALCULATION:

EXISTING CONDITION:
DEMO EXISTING HOUSE FULL STRUCTURAL AT 1108 SQ.FT.
*** NEW CONDITIONS
N" MAIN HOUSE: 1650 SQ.FT.
N" ATTACHED ADU FLR: 700 SQ.FT.
N" ATTACHED GARAGE: 400 SQ.FT.
N" PORCH: 25 SQ.FT.
LOT AREA: 5384 SQF
LOT COVERAGE (INCLUDING ADU)
1650+700+400+20 / 5172 = 2770 / 5172 = 0.535 = 54.0 %
LOT COVERAGE (NOT INCLUDING ADU)
1650+400+20 / 5172 = 2070 / 5172 = 0.400 = 40 %

SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU.
- TOTAL 3 BEDROOMS & 2 FULL BATHROOM & 1 HALF BATHROOM NEW RESIDENCE. WITH ONE BATHROOM AND TWO BEDROOM ADU.
- NEW ATTACHED TWO CARS GARAGE.
- OPEN CONCEPT KITCHEN.
- FURNACE TO BE LOCATED INSIDE THE ATTIC. HEAT PUMP.
- NEW TANK HEAT PUMP WATER HEATER.
- NEW 200 AMP ELECTRICAL PANEL. GROUPED WITH ADU PANEL AT 125 AMP
- REMOVE EXISTING GAS METER. ALL ELECTRIC HOUSE.

- * FIRE SPRINKLERS UNDER SEPARATE PERMIT
- * 2.92 kWdx DC PV SYSTEM REQUIRED.
- * EV CHARGER SEPARATE PERMIT

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow rate over)	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower*	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGBSC 4.303, California CIV 1101.4))

PERMIT NOTES:

- a. Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- b. Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

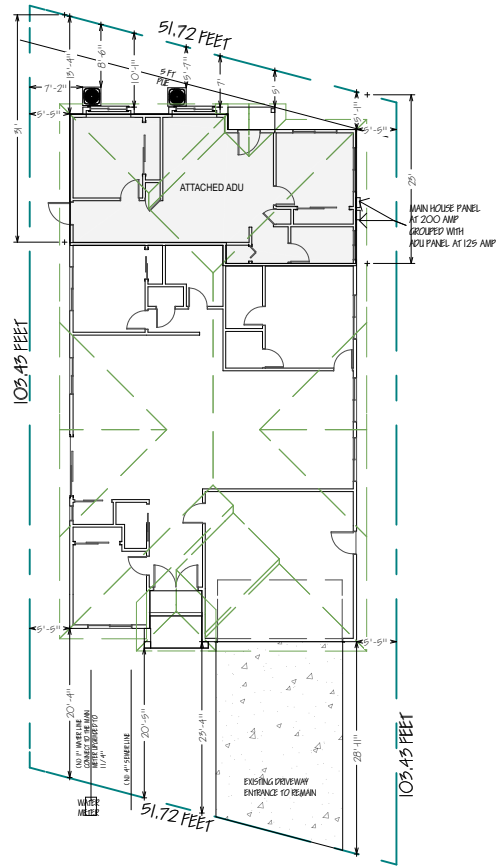
New House & Attached ADU	
717 Flannery St, Santa Clara, CA 95051	
717 Flannery St, Santa Clara, CA 95051	
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GRADING and DEMO NOTES:

1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. N/A
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL, WITH EXCEPTION:
 - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES:

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



1 PROPOSE SITE PLAN
SC: 1/8" = 1'-0"



New House & Attached ADU

717 Flannery St,
Santa Clara, CA 95051

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:

PLANNING RESPONSE
COMMENTS



NILSENE BUILDER INC.

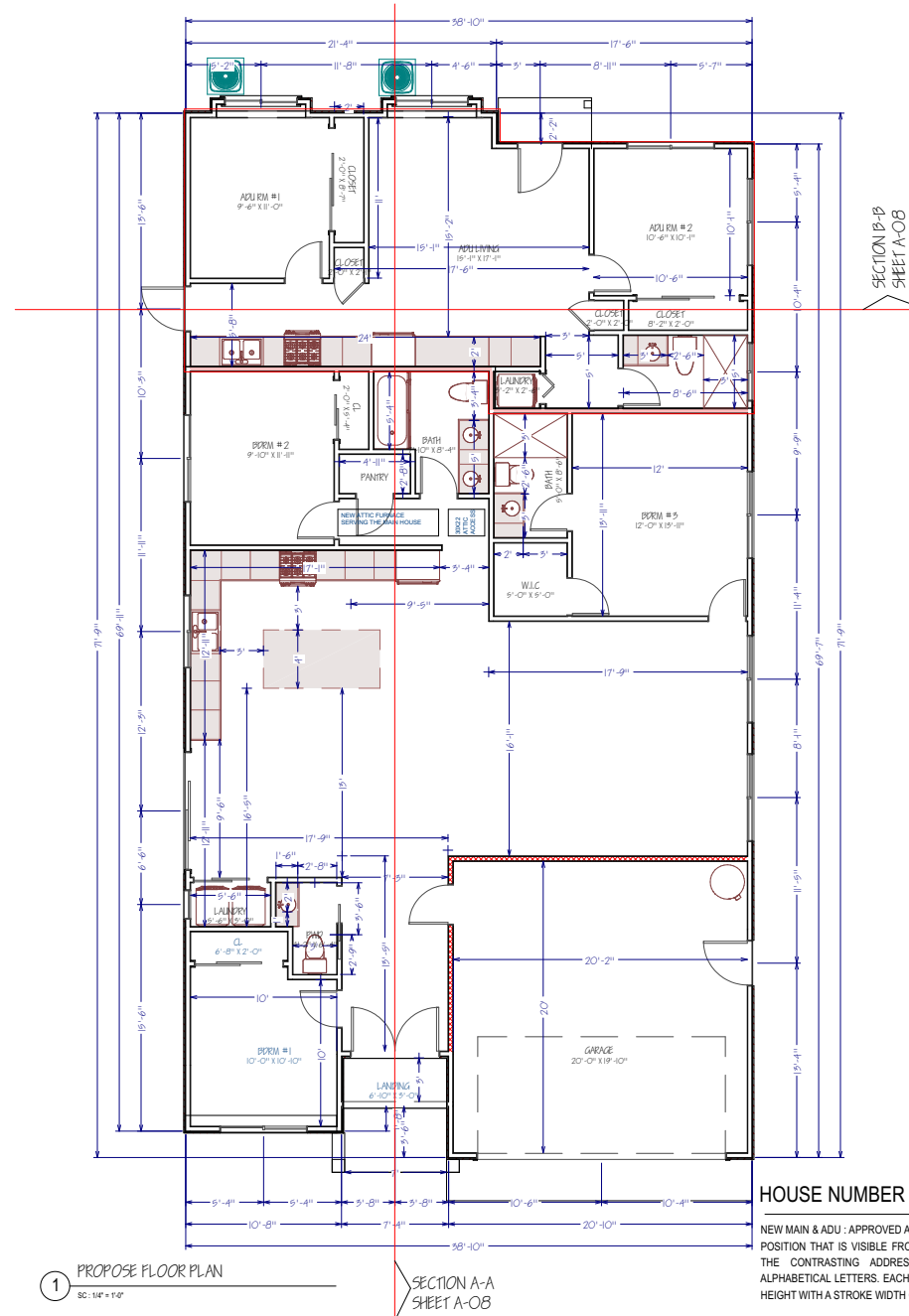
DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-5071
ZOHOCR.RAMIN@GMAIL.COM

SITE PLAN
CONDITIONS

PROJECT ID :
DATE : 2026
SCALE :
DRAWN BY : RAMIN ZOHOCR
SHEET NUMBER: NILSENE BUILDER INC.

A-S1

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM



LEGEND:

- NEW CONSTRUCTION WALL
2X4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS
- GARAGE WALL SEPARATION
HOUSE
- ADU & HOUSE FIRE WALL
- ATTACHED ADU
BOUNDARIES

GRAPHIC SCALE: 1/8" = 1'-0"



New House & Attached ADU
**717 Flannery St,
Santa Clara, CA 95051**

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:

PLANNING RESPONSE
COMMITTEE

1



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-5071
ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED FLOOR PLAN

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____

SHEET NUMBER:

A-01

OWNER:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOR
ZOHOR.RAMIN@GMAIL.COM

HOUSE NUMBER NOTES:

NEW MAIN & ADU: APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)

1 PROPOSE FLOOR PLAN
SC: 1/8" = 1'-0"

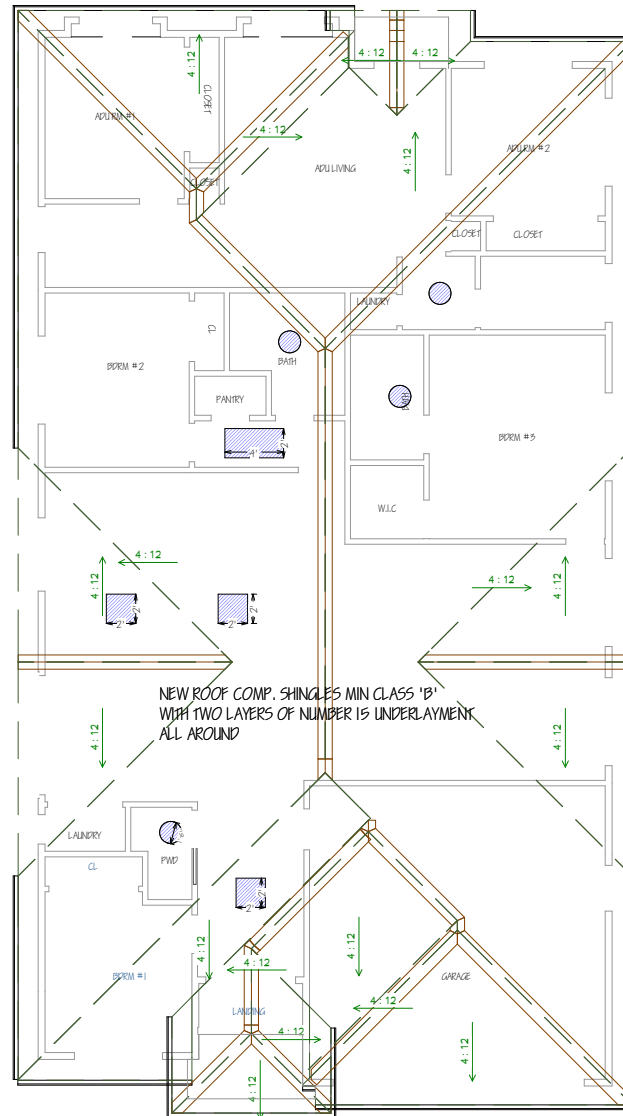
SECTION A-A
SHEET A-08

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:

-
- The diagram illustrates a cross-section of a stormwater filter planting detail. It shows a vertical exterior wall (1) with a downward slope (2) leading to a filter bed (3). The filter bed consists of a layer of river cobble (4) and a layer of filter plantings or a styri smale (5). A stormwater filter (6) is shown at the bottom of the filter bed, with a slope away from the building (7) and a drainage element (8) at the base. A list of components is provided on the right:
- ① EXTERIOR WALL
 - ② DOWNSLOPE
 - ③ SPLASH BLOCK
 - ④ SLOPE AWAY FROM BLDG PER CODE.
 - ⑤ 3" OF RIVER COBBLE BEDLON (OPTIONAL)
 - ⑥ STORMWATER FILTER PLANTINGS OR STYRI SMALE
- SLOPE AWAY FROM BLDG AT 5% INTO SWALE OR DRAINAGE ELEMENT

RAIN RUNOFF WILL NOT DRAIN INTO NEIGHBORING LOT(S).
WATERS TO BE DRAINED INTO APPROVED DOWNSPOUTS WITH
APPROVED SPLASH BLOCK
AND SLOPED TO THE FRONT OF THE PROPERTY & STREET



1 PROPOSE FLOOR PLAN
SC: 1/4" = 1'-0"

NEW CONSTRUCTION WALL
PER STRUCTURAL PLAN

GRAPHIC SCALE: 1/4" INCH = 1 FEET



717 Flannery St,
Santa Clara, CA 95051

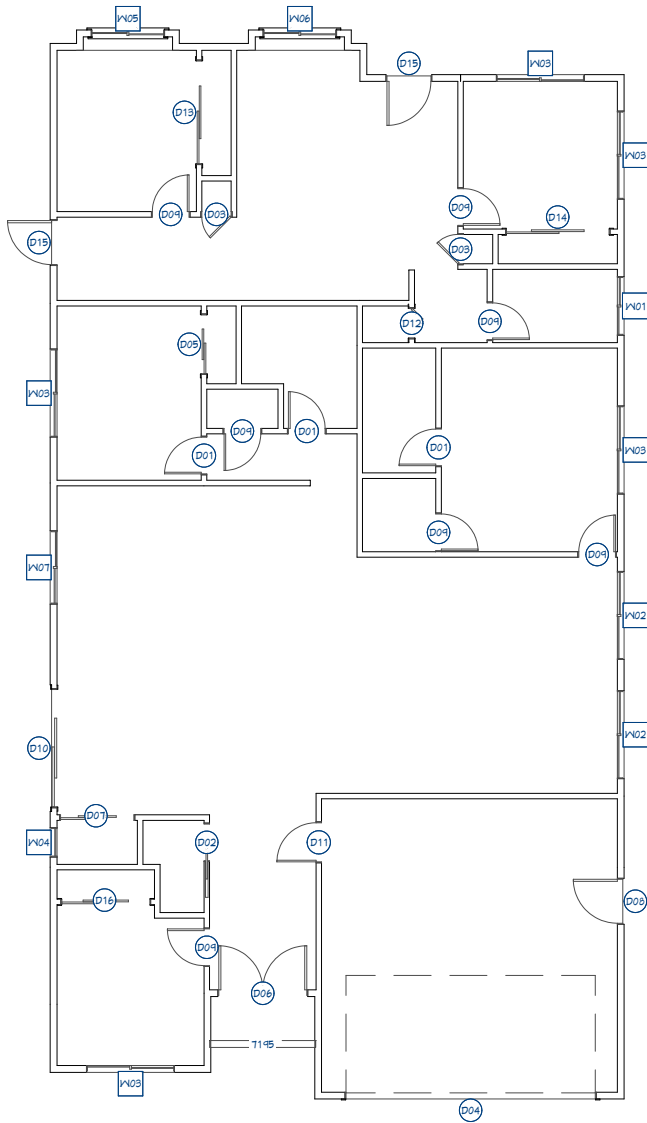
PLANNING RESPONSE
ROUND 1



ROOF PLAN CONDITIONS

A-02

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOR
ZOHOOR.RAMIN@GMAIL.COM



WINDOW SCHEDULE								
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	BOTTOM TEMPERED	DESCRIPTION	COMMENTS
W01	4030LS	1	4030LS	48"	36"	60"	LEFT SLIDING	
W02	6040LS	2	6040LS	72"	72"	24"	LEFT SLIDING	
W03	6054LS	5	6054LS	72"	64"	32"	LEFT SLIDING	
W04	2040SC	1	2040SC	24"	48"	48"	SINGLE CASEMENT-HL	
W05	5054LS	1	5054LS	60"	64"	0"	LEFT SLIDING	
W06	5054LS	1	5054LS	60"	64"	2"	LEFT SLIDING	
W07	5046LS	1	5046LS	60"	54"	42"	LEFT SLIDING	
W08	10030LS	4	10030LS	0"	36"	14"	LEFT SLIDING	

DOOR SCHEDULE						
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	DESCRIPTION
D01	2680	3	2680 L IN	30"	96"	HINGED-DOOR P04
D02	2680	1	2680 L IN	30"	96"	POCKET-DOOR P04
D03	2080	2	2080 L IN	24"	96"	HINGED-DOOR P04
D04	17080	1	17080	204"	96"	GARAGE-GARAGE DOOR P06
D05	4080	1	4080 R IN	48"	96"	SLIDER-DOOR P04
D06	6080	1	6080 L R EX	72"	96"	EXT. DOUBLE HINGED-GLASS PANEL
D07	5080	1	5080 R IN	60"	96"	SLIDER-DOOR P04
D08	3080	1	3080 R EX	36"	96"	EXT. HINGED-PANEL
D09	2680	7	2680 R IN	30"	96"	HINGED-DOOR P04
D10	8080	1	8080 L EX	96"	96"	EXT. SLIDER-GLASS PANEL
D11	2880	1	2880 L IN	32"	96"	HINGED-DOOR P04
D12	2080	1	2080 L	24"	96"	2 DR. BIFOLD-CLOUVERED
D13	7080	1	7080 L IN	84"	96"	SLIDER-DOOR P04
D14	7080	1	7080 R IN	84"	96"	SLIDER-DOOR P04
D15	3080	2	3080 R EX	36"	96"	EXT. HINGED-GLASS PANEL
D16	6080	1	6080 R IN	72"	96"	SLIDER-DOOR P04

WINDOW NOTES:

Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).

The opening shall comply with the following minimums:

- Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- Minimum net clear operable dimension 20 inches in width (R310.2.1).
- Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq ft (R310.2.1).
- The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).

**** NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.**

New House & Attached ADU

717 Flannery St,
Santa Clara, CA 95051

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:

PLANNING RESPONSE
COMMITTEE



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-5071
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

OPENING SCHEDULES

PROJECT ID :
DATE : 2026
SCALE :
DRAWN BY : RAMIN ZOHOOOR
NILSENE BUILDER INC.

SHEET NUMBER:

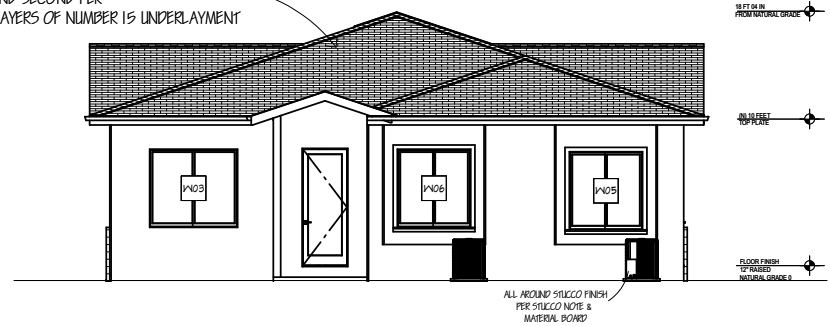
A-03

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM

1 PROPOSE OPENING PLAN
SC: 1/8" = 1'-0"



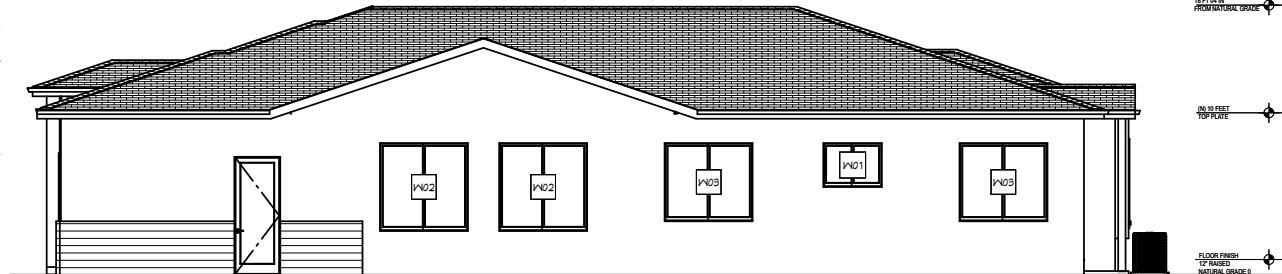
PROPOSED FRONT ELEVATION
SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SC: 1/4" = 1'-0"

ELEVATIONS NOTES:

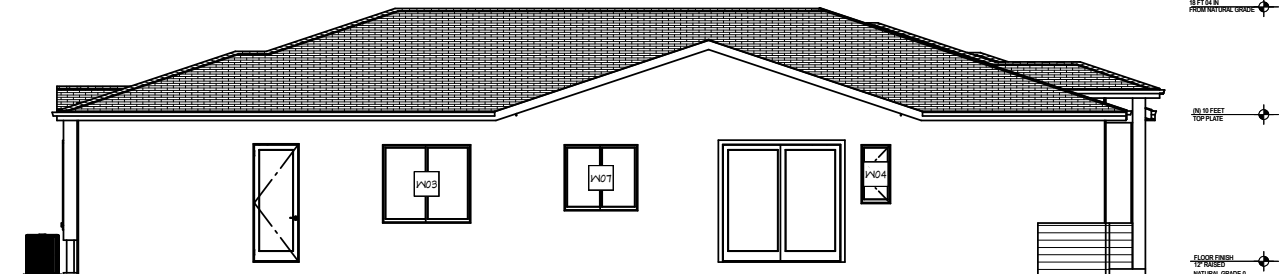
1. STUCCO 7/8" THICK IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER CORROSION RESISTANT METAL LATH OR WIRE LATH PER CRC R703.7.1
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.7.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
7. R703.7.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall comply with Section R703.7.3.1 or R703.7.3.2.



PROPOSED RIGHT ELEVATION
SC: 1/4" = 1'-0"

VERTICAL GLASS, WALL COVERINGS, ROOF COVERINGS, AND FENESTRATION NOTES:

- a. Glass sloped 15 degrees (0.26 rad) or less from vertical in windows, curtain and window walls, doors and other exterior applications shall be designed to resist the wind loads due to ultimate design wind speed, Vult, in Section 1609 for components and cladding per CBC §2404.1.
- b. Wall coverings, backing materials and their attachments shall be capable of resisting wind loads in accordance with Tables R301.2.1(1) and R301.2.1(2) per Wind Resistance CRC §703.1.2.
- c. Roof coverings installed on roofs in accordance with Section 1507 that are mechanically attached or adhered to the roof deck shall be designed to resist the design wind load pressures for components and cladding in accordance with Section 1609.5.2 per CBC §1504.4.
- d. Exterior windows and sliding doors shall be tested and labeled per CBC §1709.5.1 and CBC §1709.5.2.
- e. Fenestration Products and Exterior Doors shall meet CEnC Section 110.6 Mandatory Requirements listed in the Residential Certificate of Compliance (CFIR) form.
- f. Labeling per CEnC §110.6(a)5A. Fenestration products and exterior doors shall: Have a temporary label for manufactured fenestration products and exterior doors. The temporary label shall not be removed before inspection by the enforcement agency.



PROPOSED LEFT ELEVATION
SC: 1/4" = 1'-0"

New House & Attached ADU

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REVISION TABLE:
PLANNING & DESIGN
COMMITTEE

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PLANNING & DESIGN
COMMITTEE

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REVISION TABLE:
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COMMITTEE



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-5071
ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED ELEVATIONS

PROJECT ID: 2026

DATE: 2026

SCALE: 1/4" = 1'-0"

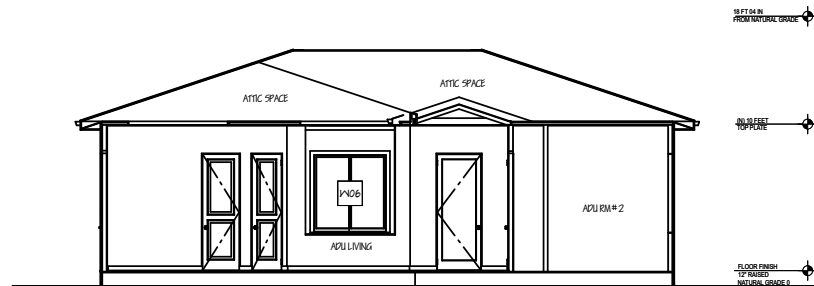
DRAWN BY: RAMIN ZOHOR

SHEET NUMBER: A-04

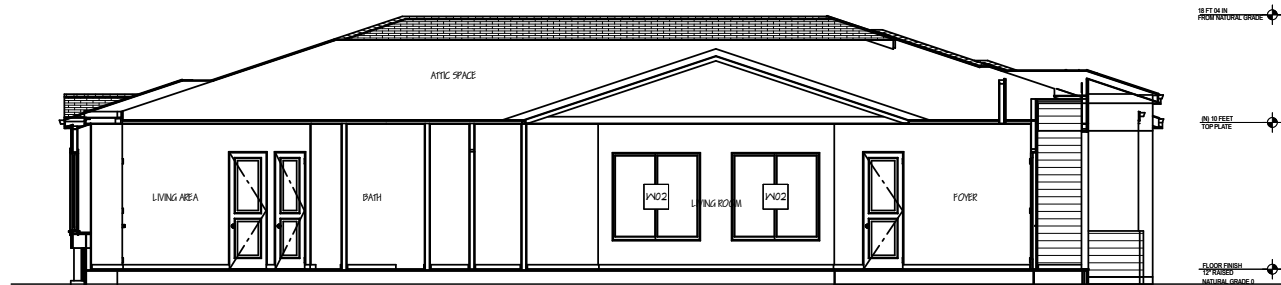
OWNERSHIP:
NILSENE BUILDER INC.

DESIGNER:
RAMIN ZOHOR

ZOHOR.RAMIN@GMAIL.COM



PROPOSED CROSS SECTION A-A
SC: 1/4" = 1'-0"



PROPOSED CROSS SECTION B-B
SC: 1/4" = 1'-0"

New House & Attached ADU
**717 Flannery St,
Santa Clara, CA 95051**

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:	
△	PLANNING RESPONSE
△	COMMIT
△	
△	
△	
△	
△	
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△	



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-5071
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED SECTIONS

PROJECT ID: _____
DATE: _____ 2026
SCALE: _____
DRAWN BY: _____ RAMIN ZOHOOOR
NILSENE BUILDER INC.

SHEET NUMBER:

A-05

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM



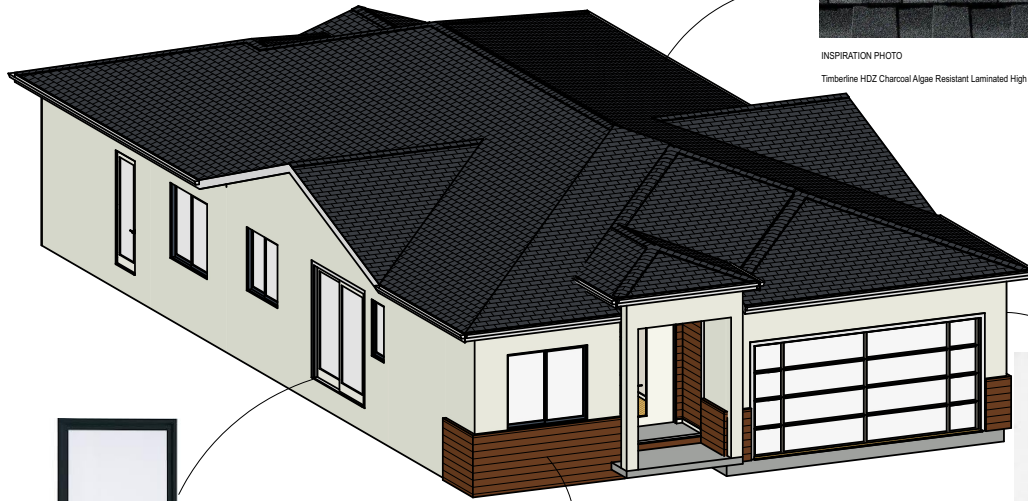
INSPIRATION PHOTO
EYES
FASCIA BOARDS AND GUTTER BLACK COLOR



James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
ZX10 FASCIA
JAMES HARDY - WITH ROYAL MOLDING



INSPIRATION PHOTO
Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles



Milgard C650 Ultra™
Series EnergyStar windows - "black bean color"
*ALL EXTERIOR WINDOWS TO BE FIBER GLASS
**NO WINDOW TRIM PROPOSED
*ALL EXTERIOR DOORS TO BE FIBER GLASS



FRONT PORCH WOOD SIDING MATERIALS



EXTERIOR STUCCO
BENJAMIN MOORE
ICICLE
2142-70
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES

New House & Attached ADU

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Santa Clara, CA 95051

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REVISION TABLE:
PLANNING RESPONSE
COMMIT



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DESIGNER:
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21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-497-5071
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

MATERIAL
BOARDS

PROJECT ID :	
DATE :	2026
SCALE :	
DRAWN BY :	RAMIN ZOHOOOR
SHEET NUMBER:	NILSENE BUILDER INC.

A-06

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM