



City of Santa Clara

Meeting Agenda

Development Review Hearing

Wednesday, January 14, 2026

4:00 PM

**Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050**

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

- o Via Zoom:
- o <https://santaclaraca.zoom.us/j/92950218717>
Meeting ID: 929 5021 8717
- o Phone: 1 (669) 900-6833

How to Submit Written Public Comment Before Development Review Hearing Meeting:
By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Development Review Hearing items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

CALL TO ORDER AND ROLL CALL

26-40 [Declaration of Procedures](#)

CONSENT CALENDAR

1. 25-1754 [Development Review Hearing Meeting Minutes of December 10, 2025](#)

Recommendation: Approve the Development Review Hearing Meeting Minutes of the December 10, 2025, meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. 25-1721 [Public Hearing: Action on the Architectural Review \(PLN25-00398\) for a 1,435 Square Foot First Floor Addition to an Existing One-Story Residence Resulting in a 3,406 Square Foot One-Story Residence located at 472 Muriel Court. CEQA Status: Exempt from CEQA per Section 15301\(e\)\(1\) \(Class 1 - "Existing Facilities"\)](#).

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 1,435 square-foot addition to an existing 1,971 square-foot single-story residence resulting in a 3,406 single-story residence, located at 472 Muriel Court, subject to the findings and conditions of approval.

3. 25-1747 [Public Hearing: Action on the Architectural Review \(PLN25-00387\) to allow the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story single-family residence located at 2645 Rebeiro Avenue. CEQA Status: Exempt from CEQA per Section 15303.](#)

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review to allow the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story single-family residence, located at 2645 Rebeiro Avenue, subject to the findings and conditions of approval.

ADJOURNMENT

The next regular scheduled meeting is on February 11, 2026 at 6 p.m. in the Council Chambers and via Zoom.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

26-40

Agenda Date: 1/14/2026



**City of
Santa Clara**
The Center of What's Possible

DEVELOPMENT REVIEW HEARING DECLARATION OF PROCEDURES

The Hearing Officer for this agenda will be Sheldon Ah Sing on behalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

25-1754

Agenda Date: 1/14/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Development Review Hearing Meeting Minutes of December 10, 2025

RECOMMENDATION

Approve the Development Review Hearing Meeting Minutes of the December 10, 2025, meeting.



City of Santa Clara

Meeting Minutes

Development Review Hearing

12/10/2025

4:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

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o Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717>

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CALL TO ORDER AND ROLL CALL

Development Review Officer Sheldon Ah Sing called the meeting to order at 4:00 p.m.

[25-1703](#)

Declaration of Procedures

Development Review Officer Sheldon Ah Sing read the Declaration of Procedures.

CONSENT CALENDAR

1. [25-1695](#) Development Review Hearing Meeting Minutes of November 19, 2025

Recommendation: Approve the Development Review Hearing Meeting Minutes of the November 19, 2025, Meeting.

Action: Development Review Officer Sheldon Ah Sing approved the consent calendar.

PUBLIC PRESENTATIONS

None.

GENERAL BUSINESS

2. [25-1682](#) Public Hearing: Action of an Architectural Review (PLN25-00295) for a 621 Square Foot First Floor Addition and a 397 Square Foot Second Floor Addition to an Existing Two-Story 2,081 Square Foot Single-Family Residence with a 500 Square Foot Attached Garage on a 7,351 Square Foot Lot at 2892 Mesquite Drive. CEQA Status: Exempt from CEQA per Section 15332. Continued from the November 19, 2025, Development Review Hearing.

Recommendation: **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the construction of a 621 square foot first floor addition and a 397 square foot second floor addition to an existing two-story 2,081 square foot single-family residence with a 500 square foot attached garage on a 7,351 square foot lot at 2892 Mesquite Drive, subject to findings and conditions of approval.

Assistant Planner Alex Tellez provided the staff presentation.

Applicant Michael Hyde and **Homeowner Annie Zhou** spoke about the project.

Public Speakers:

Sorin Spanoche
Andrea Hossman
Hyong Kim
Daniel Huang

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

3. [25-1638](#) Public Hearing: Architectural Review (PLN25-00443) for the like-for-like replacement of windows for a property on the Historic Resource Inventory Located at 1310 Homestead Road. CEQA Status: Exempt from CEQA per Section 15331 of the CEQA Guidelines (Class 31 - Historical Resource Restoration / Rehabilitation).

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15331 of the CEQA Guidelines (Class 31 - Historical Resource Restoration / Rehabilitation) and **Approve** the Architectural Review for the removal and replacement of existing windows on a Historic Resources Inventory (HRI) residence, located at 1310 Homestead Road, subject to the findings and conditions of approval.

Assistant Planner Summer Foss provided the staff presentation.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

ADJOURNMENT

The meeting adjourned at 4:43 p.m.

The next regular scheduled meeting is on Wednesday, January 14, 2026 at 4 p.m. in the City Hall Council Chambers.

The meeting recording is available on the City's website:
<https://santaclara.legistar.com/calendar.aspx>

MEETING DISCLOSURES

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Agenda Report

25-1721

Agenda Date: 1/14/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN25-00398) for a 1,435 Square Foot First Floor Addition to an Existing One-Story Residence Resulting in a 3,406 Square Foot One-Story Residence located at 472 Muriel Court. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 - "Existing Facilities").

File No.: PLN25-00398
Location: 472 Muriel Court
Applicant: Azadeh Masrour
Owner(s): Arunjit Sahni and Venkata Ramana Malladi
Request: **Architectural Review** for a 1,435 square-foot addition to an existing 1,971 square-foot single-story residence resulting in a 3,406 single-story residence.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site is currently developed with a 1,971 square foot one-story single-family residence.
- Per the Santa Clara City Code 18.120(D)(7), the request requires Architectural Review approval through a Development Review Hearing due to the demolition of an existing structure.
- The project proposes a 1,435 square-foot addition to the existing 1,971 square-foot single story residence resulting in a 3,406 square-foot single story residence. The new residence is designed as a contemporary one-story four-bedroom three-and-a-half-bathroom residence with stucco cladding, stone entryway, and shingle hip-style roof.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed residence would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes with mixed architectural. The applicant has proposed stucco siding, a hipped shingle-roof, and stone entryway.
 - The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
 - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
 - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent corner properties.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 -- Existing Facilities), in that the project is a small addition to the existing single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on December 18, 2025. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 1,435 square-foot addition to an existing 1,971 square-foot single-story residence resulting in a 3,406 single-story residence, located at 472 Muriel Court, subject to the findings and conditions of approval.

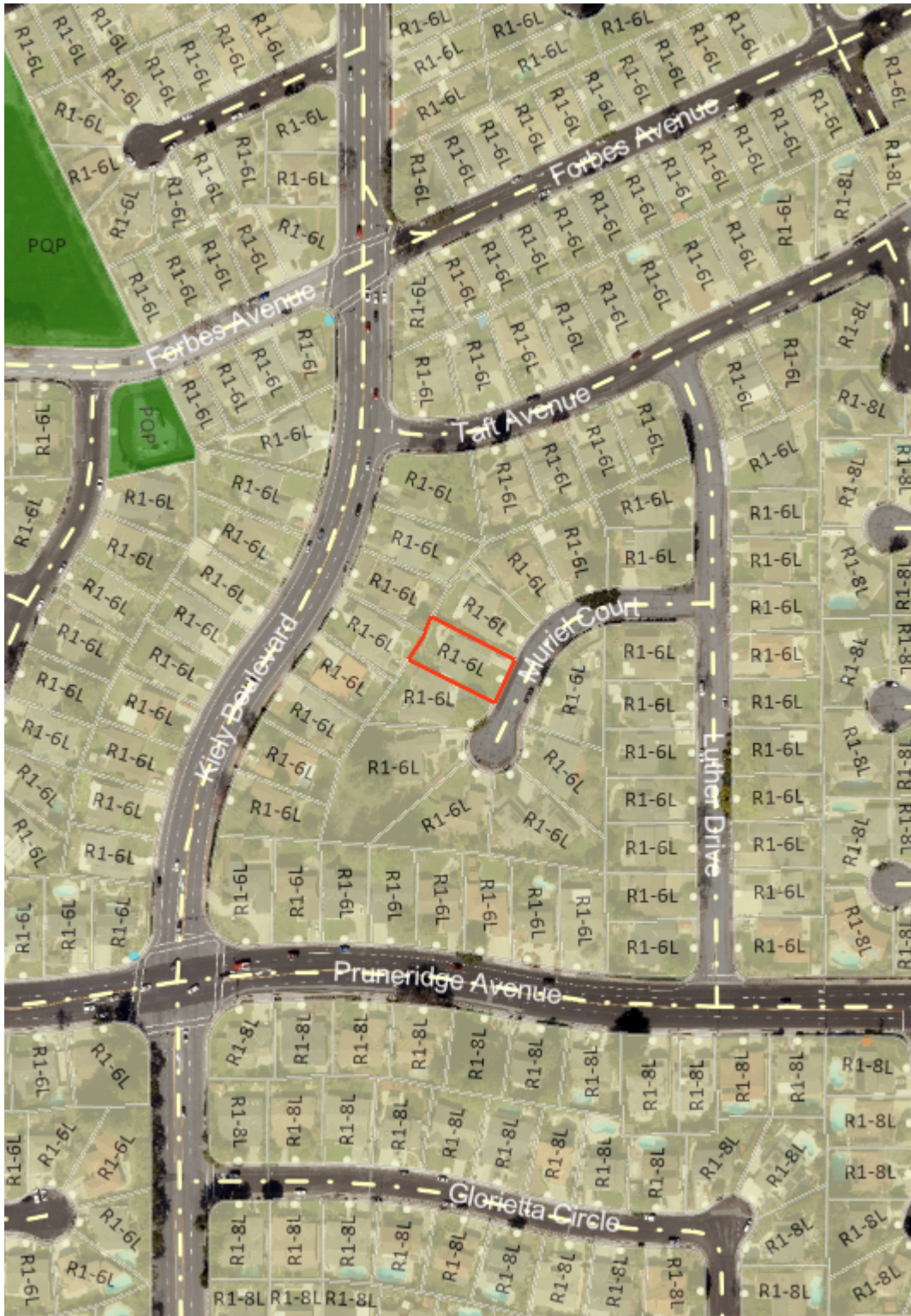
Prepared by: Summer Foss, Assistant Planner, Community Development Department

Approved by: Sheldon Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) - 472 Muriel Court



Zoning

Land Parcels

- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R1 - Single-Family Residential

Base Layers

Site Addresses

- Single
- Transit
- Utility

Land Parcels

- Land Parcels

Streets

- Streets

Notes:

PLN25-00398

12/9/2025 11:09:19 AM

0 200 400
ft

NAD_1983_2011_StatePanel_California_III_FIPS_0403_Ft_US
©City of Santa Clara



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance

Project Address: 472 Muriel Court
Zoning: R1-6L - Single-Family Residential

Project Number: PLN25-00398

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	8,596	8,596	6,000	Y
Building Square Footage (SF)				
1st Floor:	1,466	3,006	--	--
Garage:	505	400	400	Y
Porch/Patio:	282	30	--	
Total:	1,971	3,406	--	--
Floor Area Ratio:	22.9%	39.6%	--	--
Building Coverage (%)				
Building Coverage (All):	26.2%	39.9%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	26'5"	25'4"	20'	Y
Left Side (1st floor):	5'1"	5'1"	5'	Y
Right Side (1st floor):	4'9"	4'9"	5'	N
Rear (1st floor):	34'8"	28'10"	20'	Y
Height (FT)				
Main building:	12'11"	18'9"	25'	Y
# of Bedrooms/Bathrooms:	3/2	4/3.5	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	2	2	2	Y
Common Living Area (SFR)	--	2,533	Min 25%	Y

Conditions of Architectural Review Approval

PLN25-00398 / 472 Muriel Court

Architecture Review for a 1,435 square-foot addition to an existing 1,971 square-foot single-story residence resulting in a 3,406 single-story residence.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is January 14, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)

DURING CONSTRUCTION

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P6. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

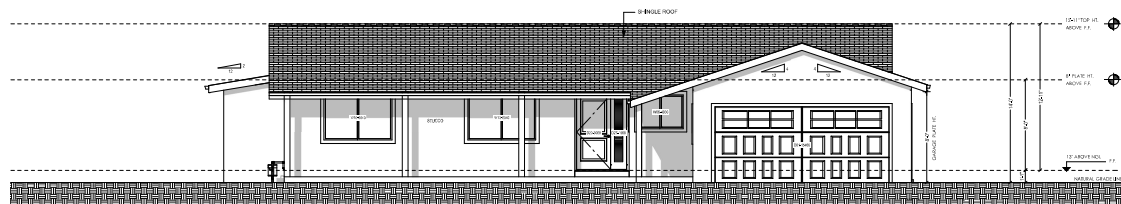
Signature: _____

Printed Name: _____

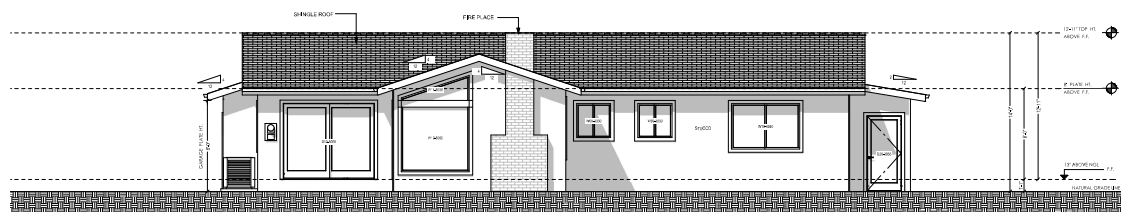
Relationship to Property: _____

Date: _____

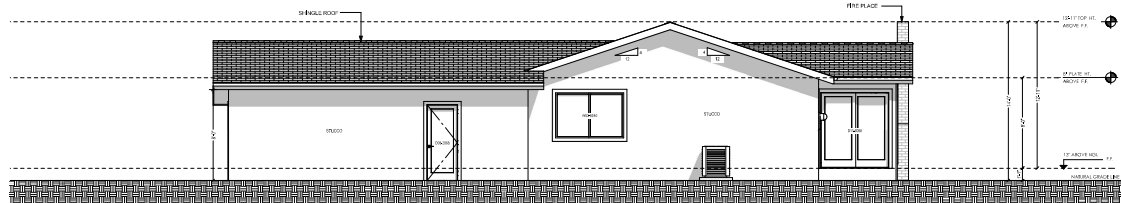
Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



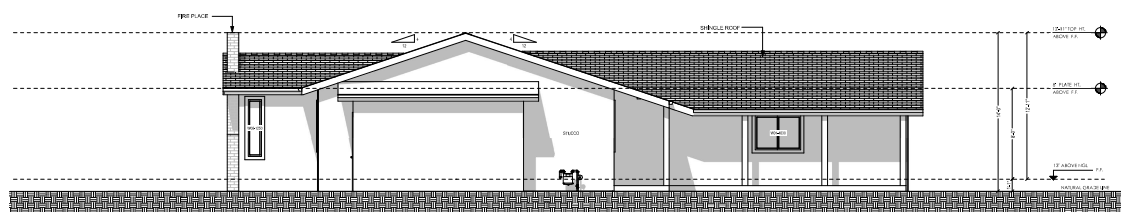
1 EXISTING FRONT (SOUTH-EAST) ELEVATION
DC: 1/4" = 1'-0"



2 EXISTING REAR (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



3 EXISTING RIGHT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



4 EXISTING LEFT (SOUTH-WEST) ELEVATION
90' 11" = 1:27

AMS_{DESIGN}

4010 MCCOPPARK AVENUE
SAN JOSE, CA 95117
TELL: (415) 254-1806
E-MAIL: OFFICE@JANUSDESIGNLLP.COM

Azadeh Masrour

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AAS DESIGN. THE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF AAS DESIGN. ANY USE OF THE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AAS DESIGN. ANY DISCREPANCY OCCURRING ON THESE PLANS SHALL BE TO COORDINATE WITH THE WORK IN QUESTION. ALL VARIATIONS SHALL BE THE RESPONSIBILITY OF THE USER.

PROJECT NAME:

**MURIEL
RESIDENCE**
472 MURIEL CT.,
SANTA CLARA, CA 95051

REVISION TABLE:

△	REVISION	DATE	BY	DEF
01		NOV. 2025	Z.H.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE REVIEWED BY THE ENGINEER, SHALL EXIST AND COMPLY TO THE LATEST EDITIONS OF ANY STANDARDS AND UNREVOKED ORDINANCES THAT APPLY TO THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS. ANY CHANGES TO THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY, ON A PROCEED WITH THE WORK IN THE MEAN TIME. CHANGES SHALL BE IN WRITING, AND SUCH CHANGES ARE REQUIRED, IF THE CONTRACTOR CHOOSES TO DO SO. HE SHALL BE PROCEEDING IN HIS OWNERSHIP.

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SHEET TITLE:

**EXISTING
ELEVATIONS**

PROJECT ID: 2407-

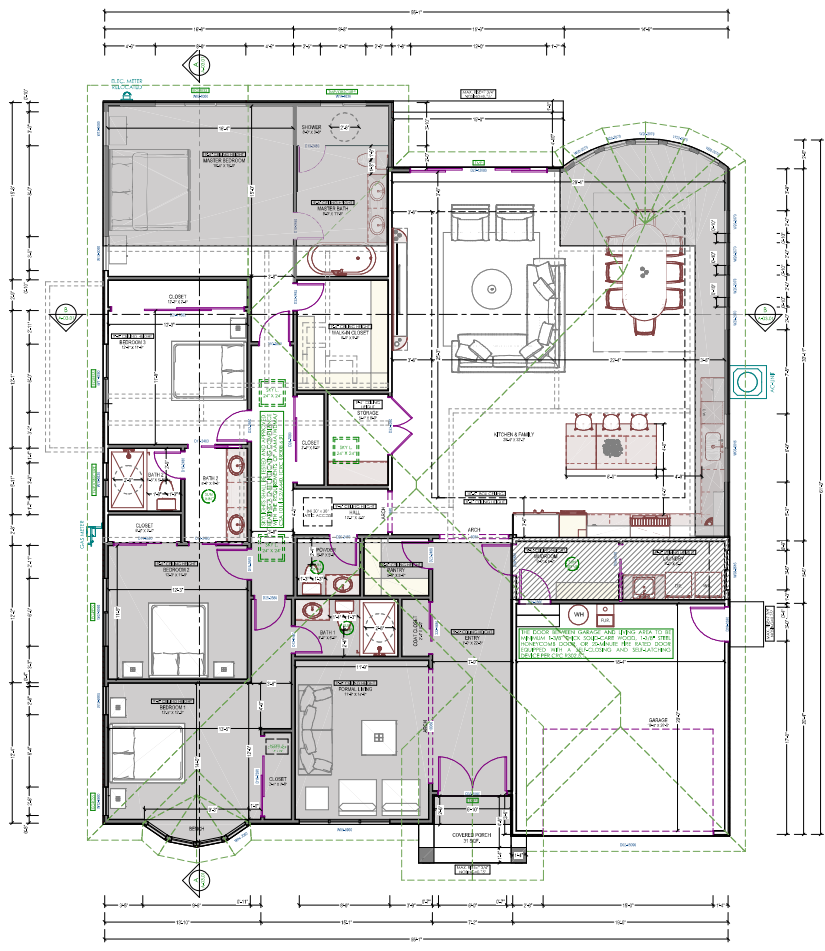
DATE: JULY 2001

SCALE: 1/4" =

ORANLEY	8
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SHEET NUMBER:

RA-02.01



1 PROPOSED FLOOR PLAN
SHEET NUMBER

LEGEND:

- NEW ADDITION
- CONVERTED EXISTING GARAGE TO THE LIVING AREA
- NEW CONSTRUCTION WALL
- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1" = 10'-0"



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Alpesh Masrani

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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE		
REVISION	DATE	BY
01	NOV. 2023	ZJA

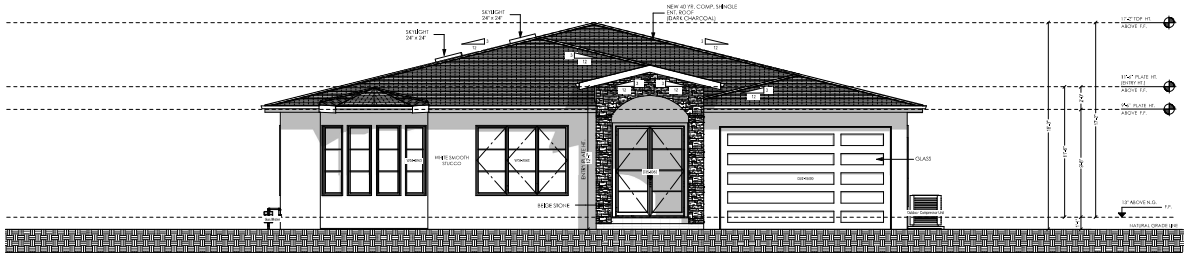
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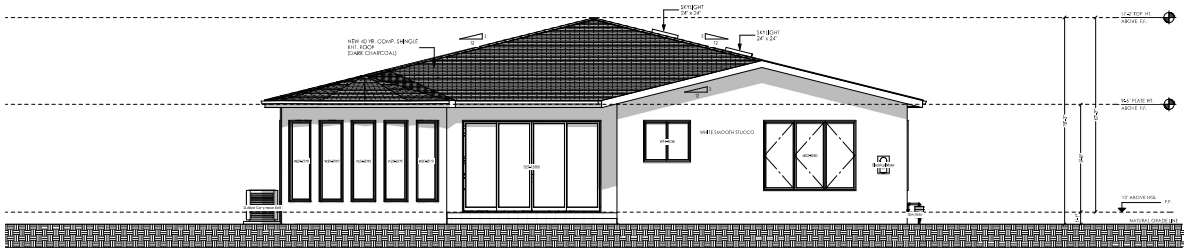
SHEET TITLE:
PROPOSED FLOOR PLAN

PROJECT ID: 2407-10
DATE: JULY 2024
SCALE: 1/8" = 1'
DRAWN BY: P.J.
SHEET NUMBER:

A-01.01



1 PROPOSED FRONT (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED REAR (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE
REVISION DATE BY DEP

01 NOV. 2025 ZJK PLN

ALL WORK PERFORMED BY THE PROVIDER SHALL BE SUBJECT TO THE APPROVAL OF THE CLIENT. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE PROVIDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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SHEET TITLE:
PROPOSED ELEVATIONS

PROJECT ID: 2407-10

DATE: JULY 2024

SCALE: 1/4" = 1'

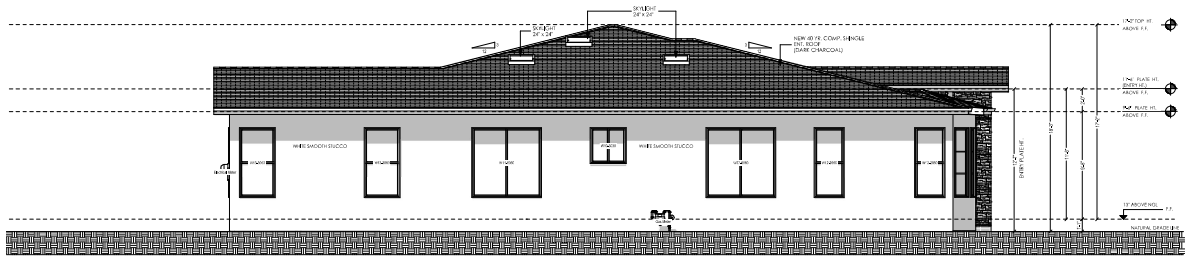
DRAWN BY: P.J.

SHEET NUMBER

A-02.01



1 PROPOSED RIGHT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED LEFT (SOUTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



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PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE			
REVISION	DATE	BY	DEP
01	NOV. 2023	ZJK	PLN

ALL WORK SHOWN ON THIS DRAWING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA PLUMBING CODE. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO THE PROPERTY OR TO ANY PERSONS OR THINGS CAUSED BY THE WORK SHOWN ON THIS DRAWING.

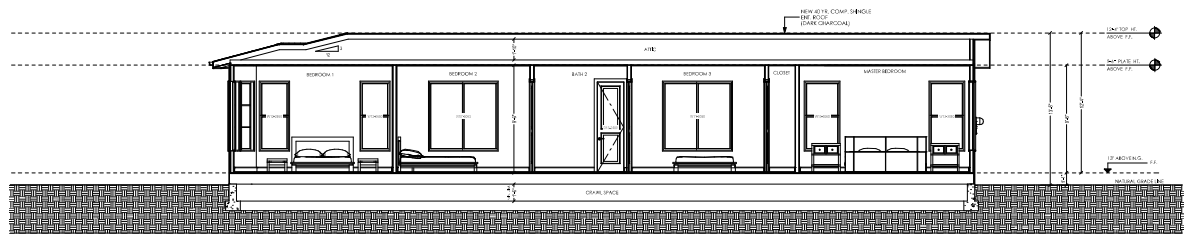
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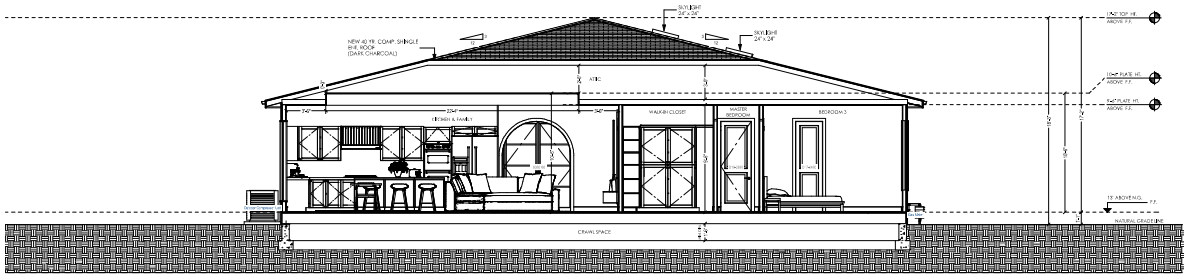
PROPOSED ELEVATIONS

PROJECT NO: 2407-10
DATE: JULY 2024
SCALE: 1/4" = 1'
DRAWN BY: P.J.
SHEET NUMBER:

A-02.02



1 A-A CROSS SECTION
SC: 1/4" = 1'-0"



2 B-B CROSS SECTION
SC: 1/4" = 1'-0"

PROJECT NAME:
**MURIEL
RESIDENCE**
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE			
REVISION	DATE	BY	APP
01	NOV. 2023	ZJK	PLN

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**PROPOSED
SECTIONS**

PROJECT NO: 2407-10

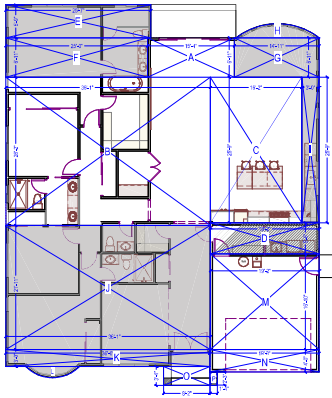
DATE: JULY 2024

SCALE: 1/4" = 1'-0"

DRAWN BY: P.J.

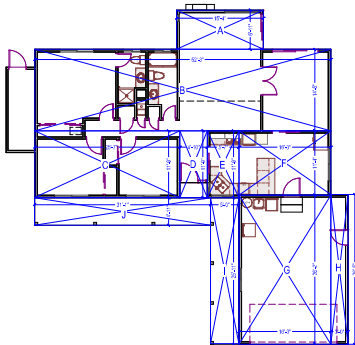
SHEET NUMBER

A-03.01



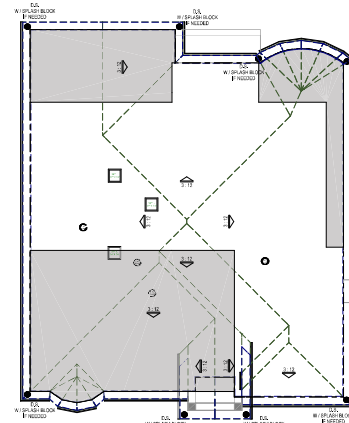
FLOOR AREA DIAGRAM (PROPOSED PLAN):
SCALE: 1/8" = 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
EXISTING LIVING AREA	A	15'-4" X 6'-1"	106	1466
	B	36'-1" X 26'-2"	934	
	C	25'-0" X 14'-2"	351	
	D	11'-0" X 5'-4"	57	
	E	11'-0" X 5'-4"	57	105
	F	16'-3" X 11'-4"	184	
	G	26'-2" X 16'-3"	425	
	H	26'-0" X 3'-0"	80	
	I	25'-0" X 3'-0"	77	1435
	J	36'-1" X 21'-1"	791	
	K	36'-0" X 3'-0"	108	
	L	—	12	
	M	16'-10" X 19'-2"	323	400
	N	19'-3" X 4'-0"	77	
TOTAL BUILDING COVERAGE				3406
COVERED PORCH	O	8'-2" X 3'-4"	27	30
	P	2'-5" X 1'-4"	3	

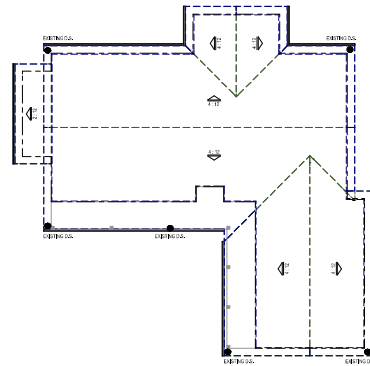


FLOOR AREA DIAGRAM (EXISTING PLAN):
SCALE: 1/8" = 1'

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
LIVING AREA	A	15'-4" X 6'-1"	106	1466
	B	32'-3" X 14'-3"	733	
	C	25'-7" X 11'-0"	301	
	D	11'-0" X 5'-4"	57	
	E	11'-0" X 5'-4"	57	
	F	16'-3" X 11'-4"	184	
GARAGE	G	26'-2" X 16'-3"	425	505
	H	26'-0" X 3'-0"	80	
TOTAL BUILDING COVERAGE				1971
COVERED PORCH	I	25'-0" X 3'-0"	129	282
	J	31'-1" X 4'-11"	153	



1 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'



2 EXISTING ROOF PLAN
SCALE: 1/8" = 1'



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Alpesh M. Masani

PROJECT NAME:
MURIEL RESIDENCE
472 MURIEL CT,
SANTA CLARA, CA 95051

REVISION TABLE

REVISION DATE BY DEP

01 NOV. 2023 ZJA PLN

02

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EXTERIOR MATERIAL SCHEDULE

TITLE	TYPE	INFO
ROOF	SHINGLE ROOFING	DARK CHARCOAL
SIDING	STUCCO	SMOOTH/ WHITE
GARAGE DOOR	CLOPAY	DARK GREY / GLASS
DOOR	FEATHER RIVER DOORS	DARK GRAY/ GLASS
WINDOWS	MILGARD	TUSCANY / DARK GREY



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Alpesh M. Marwari

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REVISION	DATE	BY	APP
01	NOV. 2023	ZJA	PLN

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SHEET TITLE:
EXTERIOR MATERIAL SCHEDULE

PROJECT NO: 2407-10
DATE: JULY 2024
SCALE: N.T.S.
DRAWN BY: P.J.
SHEET NUMBER:

A-04.02



Agenda Report

25-1747

Agenda Date: 1/14/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN25-00387) to allow the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story single-family residence located at 2645 Rebeiro Avenue. CEQA Status: Exempt from CEQA per Section 15303.

File No.: PLN25-00387

Location: 2645 Rebeiro Avenue

Applicant: Edick Lazari

Owner(s): Ramtin Jahani

Request: **Architectural Review** for the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story single-family residence.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is located in a single-family neighborhood with a combination of single-story and two-story single-family residences. See Vicinity Map in Attachment 1.
- The project site currently contains a single-story single-family residence with three bedrooms, and two bathrooms.
- Per the Santa Clara City Code 18.120(D)(1) and 18.120(D)(7), the request to demolish an existing structure and to build a new two-story residence requires Architectural Review approval through a Development Review Hearing.
- The proposed project is a new approximately 3,314 square foot two-story single-family residence containing four bedrooms and three bathrooms.
- The project complies with the City's adopted Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project complies with the design guidelines in that:
 - The second floor is stepped back from the first floor on all sides by five feet or more, resulting in an appropriate mass and bulk for a single-family residence;
 - The second floor is less than 66% of the first floor area;
 - The proposed roof forms are traditional roof forms (hipped and gable) that are found in the neighborhood; and
 - The proposed exterior materials are a combination of stucco and wood siding, which are materials found in the neighborhood.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.

- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposed attached two-car garage complies with the city's minimum requirement in the number of parking spaces and satisfies the minimum dimension of 20-feet by 20-feet.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed project will not impair the desirability of investment or occupation in the neighborhood, unreasonably interfere with the use and enjoyment of neighboring developments or create traffic congestion or hazards.
 - The proposed project is a single-family residence located in a single-family zoning district. The architectural details of the project are consistent with those found in the neighborhood.
 - The demolition and construction of a new single-family residence is not anticipated to create traffic congestion or hazards.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - As described in the preceding section, the proposed project complies with the City's adopted Single-Family and Duplex Residential Design Guidelines in that the project contains architectural details and exterior materials that are found in the neighborhood, traditional roof forms, and provides massing and articulation that is appropriate for the surrounding context.
 - The proposed second story addition provides five foot or more step backs from the first-floor walls on all sides and is designed to not impact the privacy of the neighbors.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate private construction activities to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The*

policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:

- The proposed project is consistent with the City's adopted Single-Family and Duplex Residential Design Guidelines (2014):
 - The proposed project contains architectural details, exterior materials, traditional roof forms that are complementary to the surrounding area.
 - The massing of the proposed project is appropriate for the surrounding context, in that the second floor is stepped back from the first floor.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project involves the demolition and construction of one (1) single-family residence in a residential zone.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

An early project notification was sent to 81 property owners/tenants within a 300-foot radius of the project site on November 14, 2025. The purpose of this notification is to allow for feedback on the project proposal soon after the project is initially submitted. A public hearing notice was mailed to property owners within a 300-foot radius of the project site on December 23, 2025. As of the writing of this report, planning staff has received one public comment for this application as a result of the early notification, which is provided as Attachment 5.

RECOMMENDATION

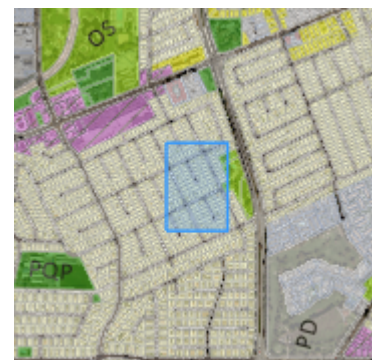
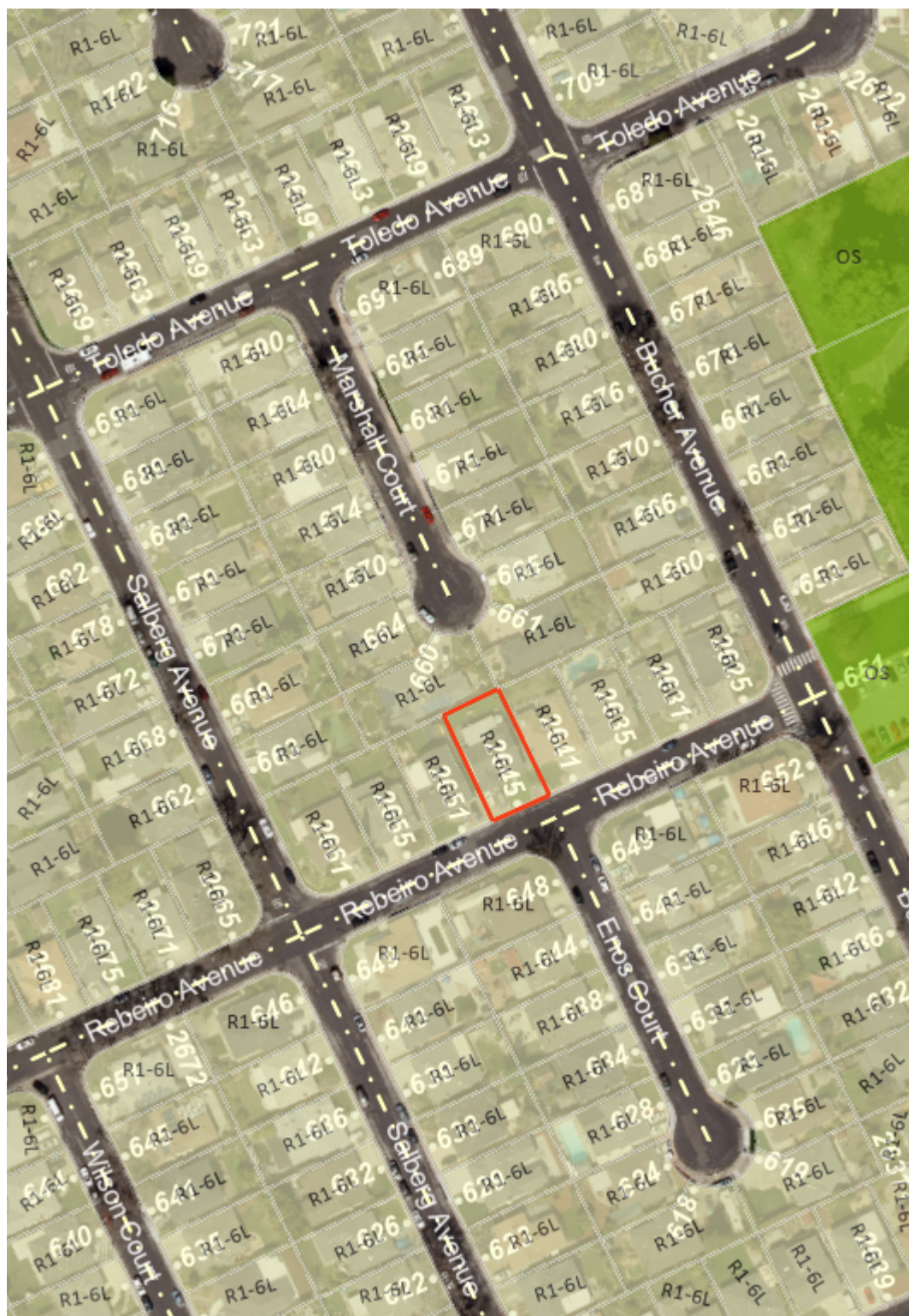
Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review to allow the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story single-family residence, located at 2645 Rebeiro Avenue, subject to the findings and conditions of approval.

Prepared by: Tracy Tam, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans
5. Public Comment



Zoning

Land Parcels

- OS - Parks/Open Space
R1 - Single-Family Residential

Base Layers

Site Addresses

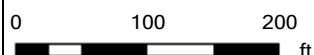
- Single
Land Parcels

Streets

Notes:

PLN25-00387

12/15/2025 6:56:07 PM



NAD_1983_2011_StatePanel_California_III_FIPS_0403_Ft_US
©City of Santa Clara



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance

Project Address: 2645 Rebeiro Avenue
Zoning: R1-6L

Project Number: PLN25-00387

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	5,338	5,338	6,000	N (Existing)
Lot Area per Dwelling Unit (SF):	5,338	5,338	--	--
Building Square Footage (SF)				
1st Floor:	1,169	2,102	--	--
2nd Floor:	--	1,201	--	--
Porch/Patio:	154	32	--	--
Total:	1,323	3,335	--	--
Floor Area Ratio:	0.25	0.62	40%	Y
% of 2nd floor to 1st floor:	--	56%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	25%	40%	40% max	Y
Rear Yard Accessory Building Coverage:	--	--	40% max	--
Main Building Setbacks (FT)				
Front (1st floor):	20'-10"	20'-1"	20'-0"	Y
(2nd floor):	--	29'-0"	25'-0"	
Left Side (1st floor):	5'-2"	5'-0"	5'-0"	Y
(2nd floor):	--	10'-0"	10'-0"	
Right Side (1st floor):	5'-8"	5'-0"	5'-0"	Y
(2nd floor):	--	10'-0"	10'-0"	
Side, Corner:	--	--	--	--
Rear (1st floor):	22'-1"	23'-6"	20'-0"	Y
(2nd floor):	--	29'-6"	20'-0"	
Height (FT)				
Main building:	16'-0"	24'-6"	25'-0"	Y
Accessory building:	--	--	--	--
# of Bedrooms/Bathrooms:	3/2	4/3	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	2	2	2	Y
Common Living Area (SFR)	36%	51%	Min 25%	Y

Conditions of Architectural Review Approval

PLN25-00387 / 2645 Rebeiro Avenue

Architectural Review for the demolition of an existing single-family residence and the construction of a new approximately 3,314 square foot two-story residence.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is January January 21, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DURING CONSTRUCTION

- P1. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P2. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P3. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

OPERATIONAL CONDITIONS

- P4. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P5. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

KEY:

G = General

P = Planning Division

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

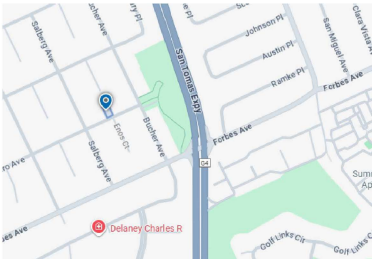
-REBUILD A NEW 2-STORY HOUSE.
-DEMOLITION OF (E) HOUSE.



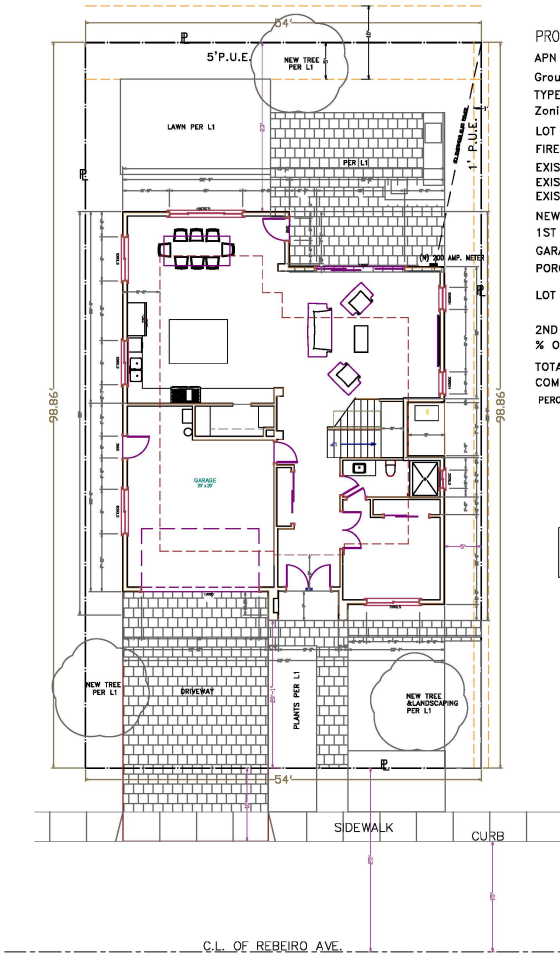
OWNER:
RAMTIN JAHANI
(408)637-0015

THIS PROJECT SHALL COMPLY WITH THE 2022 CBC,
CMC/CPC, 2022 CEC, 2022 CALIFORNIA ENERGY CODE,
2022 CALIFORNIA FIRE CODE,
2022 CALIFORNIA RESIDENTIAL CODE,
2022 CALIFORNIA GREEN BUILDING STANDARD,
CA REACH CODE
AND LOCAL ORDINANCE.

ADDRESS:
2645 REBEIRO AVE.
SANTA CLARA CA 95051



VICINITY MAP



PROJECT INFORMATION:

APN # 294-22-062
Group of Occupancy : R-3
TYPE OF CONSTRUCTION: VB
Zoning : R1-6L
LOT AREA 5338.44 SQ'
FIRE SPRINKLER: YES
EXISTING FLOOR AREA TO BE DEMOLISHED 1169.0
EXISTING GARAGE TO BE DEMOLISHED 368.0
EXISTING COVERED PORCH TO BE DEMOLISHED 154.0
NEW DWELLING AREAS:
1ST FLOOR LIVING AREA: 1629.0 SF
GARAGES: 473.0 SF
PORCH: 32.0 SF
LOT COVERAGE: $\frac{1629+473+32}{5338.44}=39.98\%$
2ND FLOOR AREA 1201.0 SF
% OF 2ND FLOOR TO 1ST FLOOR 1201/2134=56%
TOTAL LIVING AREA 1629+1201=2830.0 SF
COMMON LIVING AREA, 1ST FLOOR 1465.0 SF
PERCENTAGE OF COMMON LIVING AREA 1465/2830=51%

REO'D SETBACKS: FRONT: 20'-0" SIDES: 5'-0" REAR: 20'-0"
PROPOSED SETBACKS FOR ADDITION: FRONT: 21'-0" LEFT SIDE: 5'-0" RIGHT SIDE: 5'-0" REAR: 20'-0"

SCOPE OF WORK:
-DEMO OF ENTIRE EXISTING HOUSE.
-REBUILD NEW 2- STORY HOUSE.

DESIGN
CONSULTANT
LAZARI DESIGN
MFA ENGINEERS & ASSOCIATES
6154 ROYAL ACORN PL.
SAN JOSE CA 95120
PHONE (408) 781-8374
FAX (408) 323-9522
EMAIL: ELAZARI@COMCAST.NET

SHEET INDEX

A1.0	PROPOSED SITE PLAN & PROJECT INFORMATION
A1.1	EXISTING SITE & ADJACENT PROPERTIES
A1.2	EXISTING ELEVATIONS
A2.0	PROPOSED 1ST FLOOR PLAN
A3.0	PROPOSED 2ND FLOOR PLAN
A4.0	SETBACKS
A4.1	FLOOR AREAS CALCULATIONS
A5.0	ELEVATIONS
A5.1	SECTIONS
A5.2	ROOF PLAN



LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel:(408) 781-8374
elazari@comcast.net

OWNER
MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

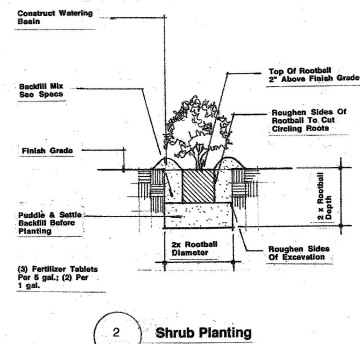
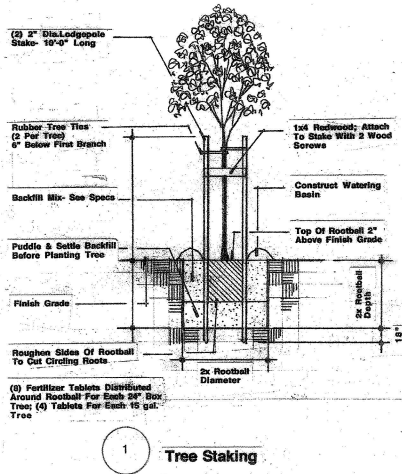
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DRAWN: E. LAZARI

LAZARI DESIGN
6154 ROYAL ACORN PL.
SAN JOSE CA 95120
(408)781-8374

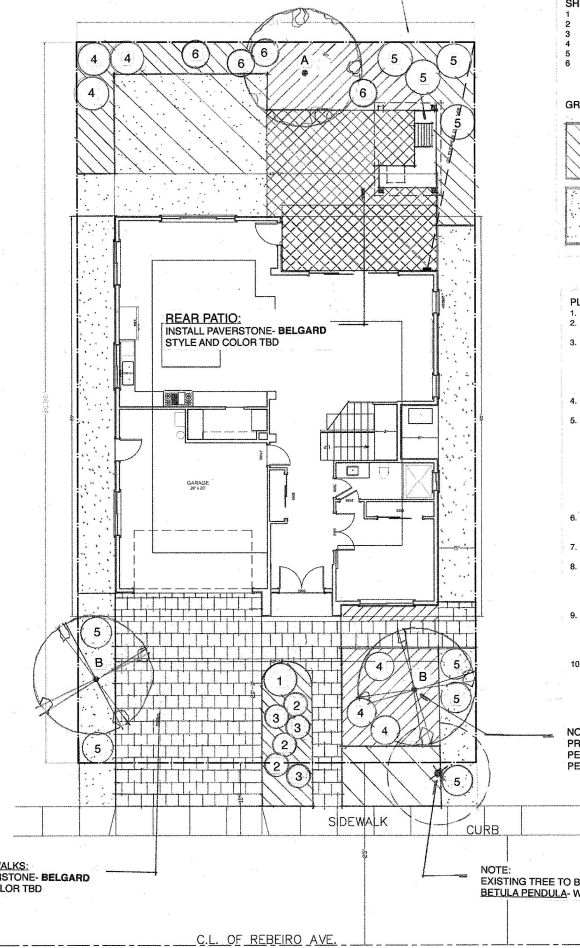
SHEET TITLE:
COVER SHEET

SHEET NO. **A1.0**

DATE: **SEP, 2025**



36" HT. BBQ COUNTER:
 PREFABRICATED METAL FRAMED COUNTERS WITH BACKER BOARD; INSTALL LEDGE STONE VENEER ON COUNTER WALLS; GRANITE COUNTERTOPS; 36" DCS GRILL, DCS BAR REFRIGERATOR AND UNDERCOUNTER STORAGE; DCS METAL STORAGE DOORS



MULCH/WATER USE:
 VL VERY LOW
 L LOW
 M MEDIUM
 H HIGH

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

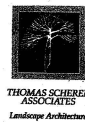
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	H2O	#	COMMENT
TREES:						
A	ARJUTUS MARINA	STRAWBERRY TREE	15 GC.	L	1	ACCENT
B	LAGERSTROMIA F. TUSCORORIA	CRAPPE MYRTLE	15 GC.	L	2	FLOWERING
SHRUBS:						
1	AGAVE 'BLUE FLAME'	AGAVE	5 GC.	L	1	SUCCULENT
2	ROSA X NOARIE	RED CARPET ROSE	5 GC.	M	3	FLOWERING
3	ROSA X NOARIE	CORAL CARPET ROSE	5 GC.	M	3	FLOWERING
4	LOROPETALUM C. 'RAZZLEBERRY'	RED FRINGE FLOWER	5 GC.	L	6	FLOWERING
5	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	5 GC.	L	9	FLOWERING
6	SALVIA LEUCANTHA	MEXICAN SAGE	5 GC.	L	4	FLOWERING

GROUNDCOVERS:

DYCKONIA MARGARETAE PLANT 1 GC. @ 24" O.C. L	NEPETA FAASSENII CARTMINT PLANT 1 GC. @ 24" O.C. L
DECORATIVE PEBBLES 2" LAYER OVER WEED CLOTH COLOR & STYLE TBD. L	TURF: 'TOLERIO PLUS' DWARF FESCUE AND BLUEGRASS BY DELTA BLUEGRASS M

PLANTING NOTES

- Circles shown indicate approximate mature size of plant material.
- Contractor shall be responsible for adequate erosion control measures during construction. See engineer's erosion control plan.
- FINISH GRADING: Till all planter areas to an 8 inch depth. Break up or remove all compacted lumps of soil, roots larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum). Slope areas greater than 3:1 need not be tiled.
- No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational.
- PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted,
 - All trees shall be planted per detail: 1
 - All shrubs shall be planted per detail: 2
- All planter pits shall receive the following back fill mix:
 - 50% soil of the site
 - 30% nitrogen stabilized redwood shavings
 - 20% Nitrohumus or Gypsum or equal
- Fertilizer tablets (Agilam 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
- Include PUMICE into the soil amendments for all succulent plantings
- Contractor shall guarantee all trees, shrubs and groundcovers to live and grow in an acceptable condition for a period of ninety (90) days from the date of acceptance by the owner.
- Upon completion of planting operations, contractor shall apply a min. 3 inch layer of approved mulch shall be installed over the finish grade of all planter areas.
- MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90 calendar days after acceptance by owner. Maintenance shall include weeding of all shrub and ground cover areas, removal of all trash and debris from planter areas and landscape areas; pruning and trimming of all plant materials required; replacement of all dead or dying plant material & two (2) applications of fertilizer.
- ONGOING MAINTENANCE: Owner shall maintain the proposed landscape by the continuation of weeding, pruning, trimming of all plant material to live and grown in an acceptable condition. All dead plant material shall be replaced with the original species specified. Monitoring the irrigation system for any line damage or obstructions preventing proper application of water shall be a part of the ongoing maintenance period.
- Contractor shall comply with all aspects of the City of Santa Clara Water Efficient Landscape Ordinance.



P.O. Box 68, Aptos, CA 95021
 831.423.0843

LAZARI DESIGN

6154 ROYAL ACORN PLACE
 SAN JOSE CA 95120

Tel: (408) 781-8374
 elazari@comcast.net

OWNER

MR. PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
 2645 REBEIRO AVE.
 SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
 DRAWN: T. SCHERER

SHEET TITLE:
LANDSCAPING PLAN

SHEET NO. **L1**

DATE: **OCT. 20, 2025**

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:
RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

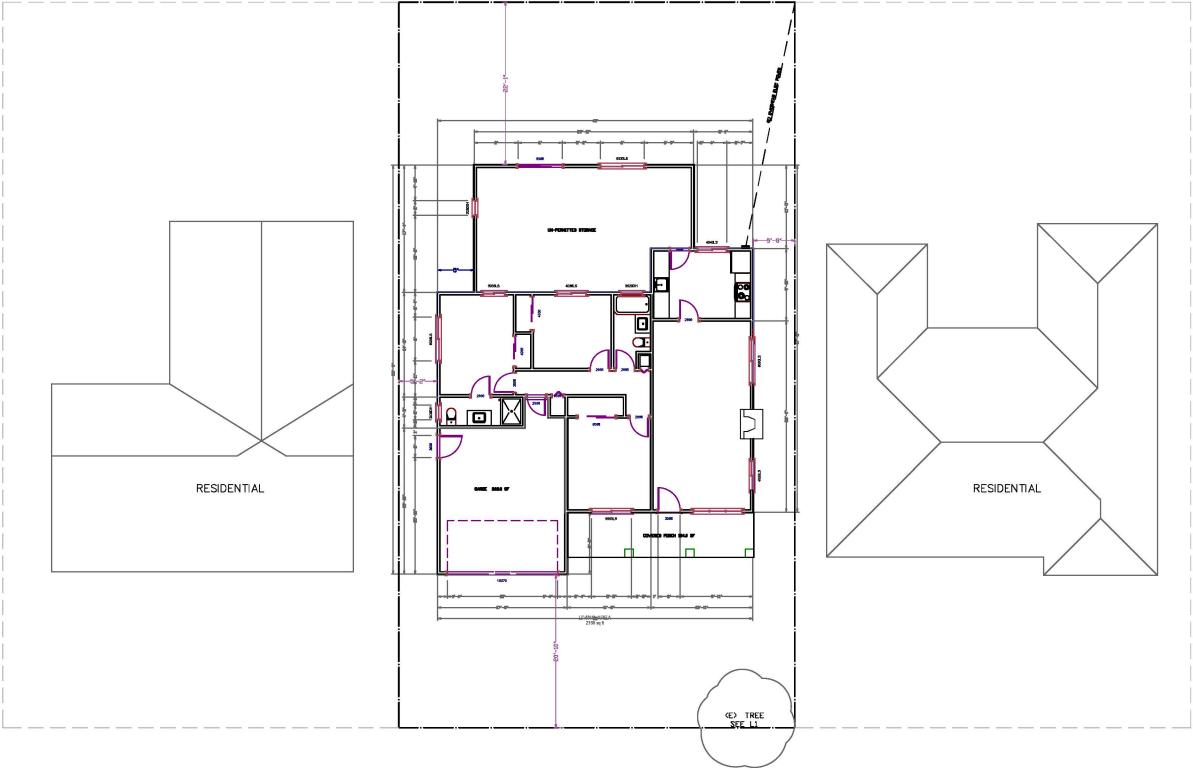
LAZARI DESIGN
6154 ROYAL ACORN PL
SAN JOSE CA 95120
(408) 781-8374

SHEET TITLE:

(E) SITE PLAN

SHEET NO. **A1.1**

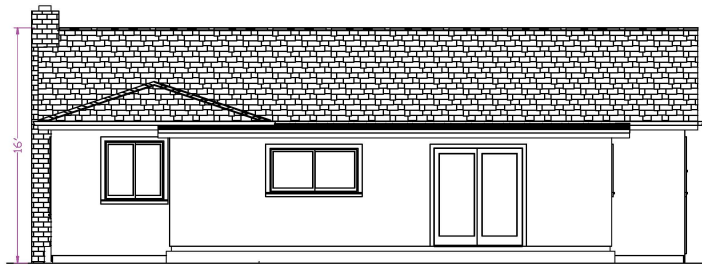
DATE: **SEP, 2025**





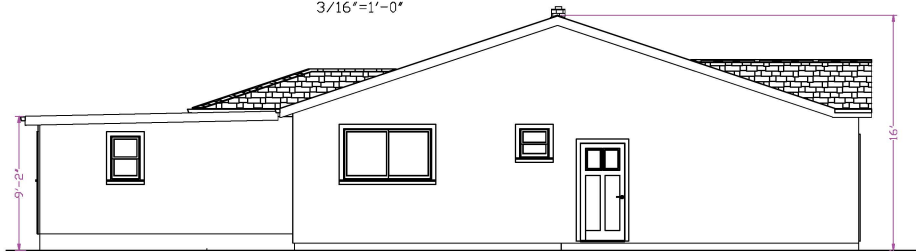
(E) FRONT ELEVATION

3/16"=1'-0"



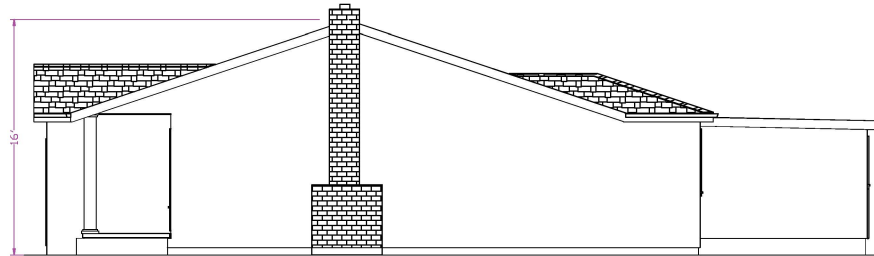
(E) BACK ELEVATION

3/16"=1'-0"



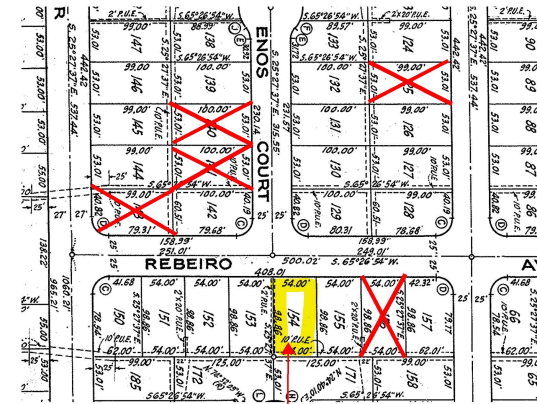
(E) LEFT ELEVATION

3/16"=1'-0"



(E) RIGHT ELEVATION

3/16"=1'-0"



PROJECT



2-STORY HOUSES

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:

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2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

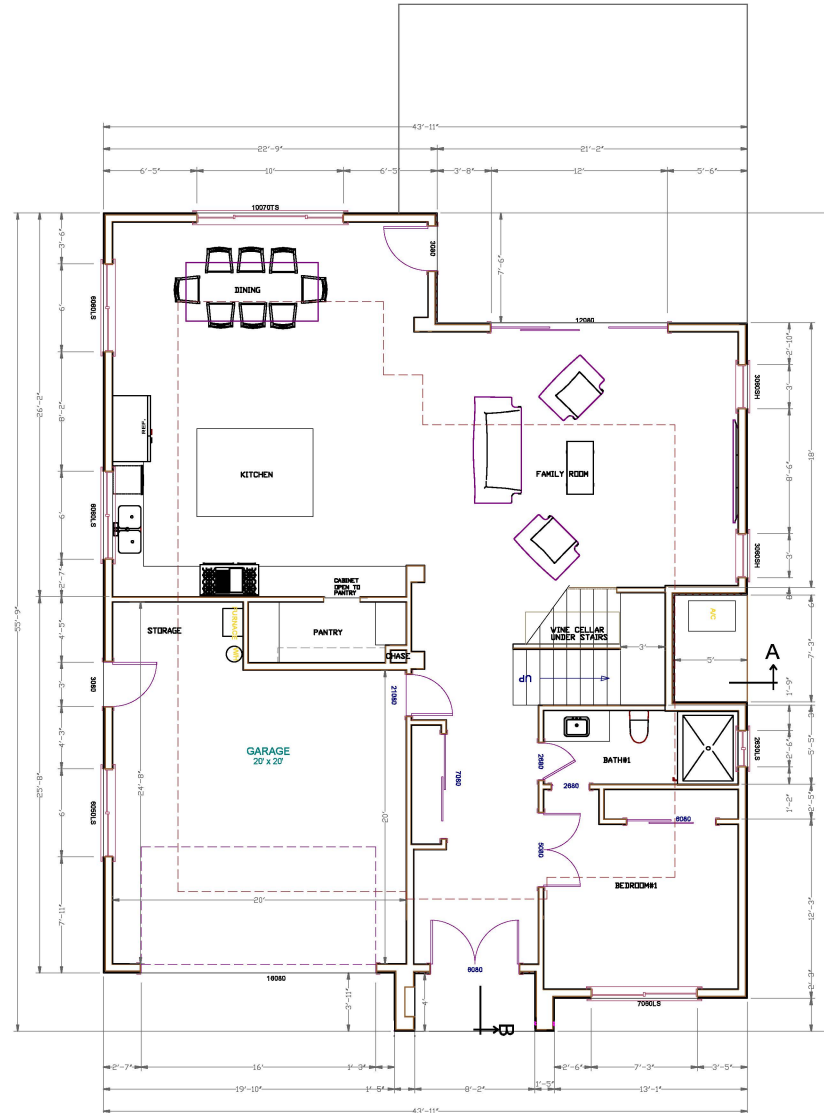
LAZARI DESIGN
6154 ROYAL ACORN PL.
SAN JOSE CA 95120
(408) 781-8374

SHEET TITLE:

(E) ELEVATIONS

SHEET NO. **A1.2**

DATE: **SEP. 2025**



PROPOSED 1ST FLOOR PLAN

1/4"=1'-0"

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

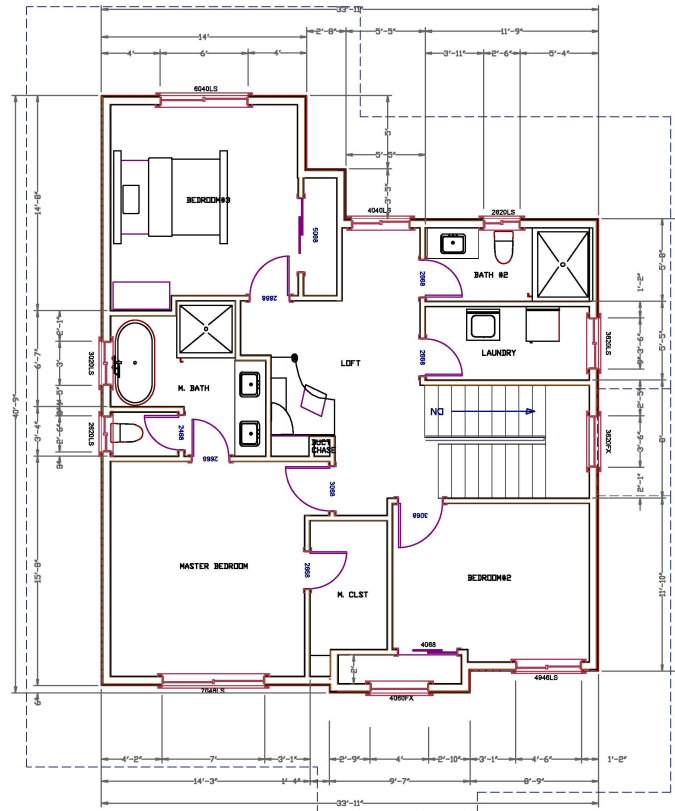
SCALE: AS SHOWN
DRAWN: E. LAZARI

SHEET TITLE:

PROPOSED 1ST FLOOR PLAN

SHEET NO. **A2.0**

DATE: **SEP, 2025**



PROPOSED 2ND FLOOR PLAN

1/4"=1'-0"

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

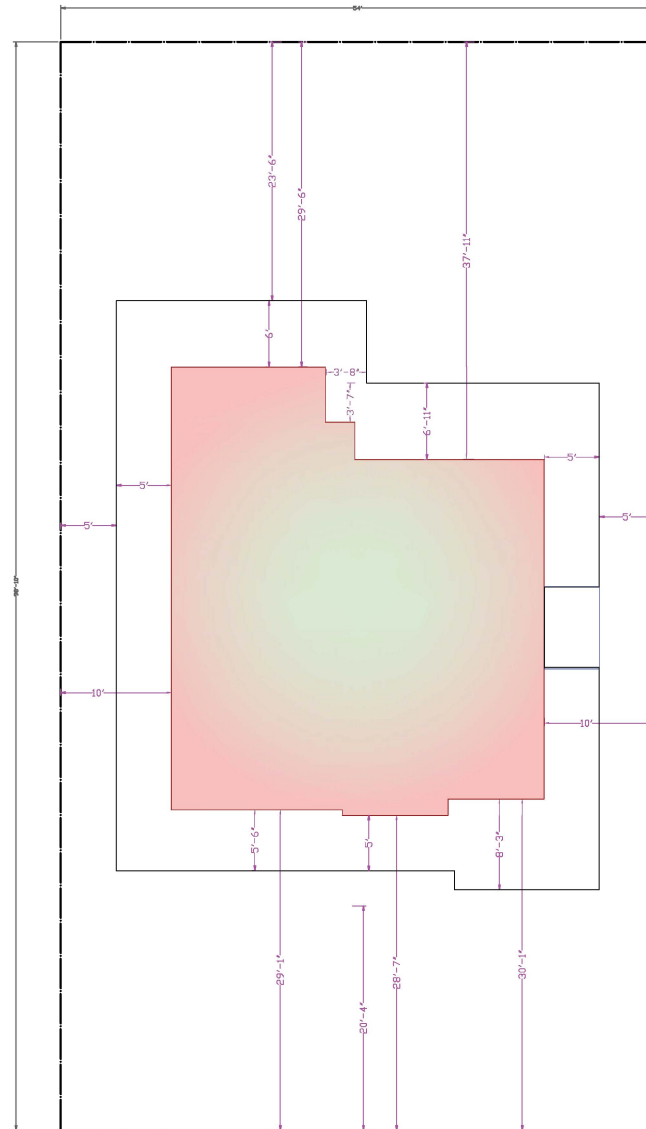


SHEET TITLE:

PROPOSED 1ST FLOOR PLAN

SHEET NO. **A3.0**

DATE: **SEP, 2025**



SETBACKS
3/8" = 1'-0"

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER
MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

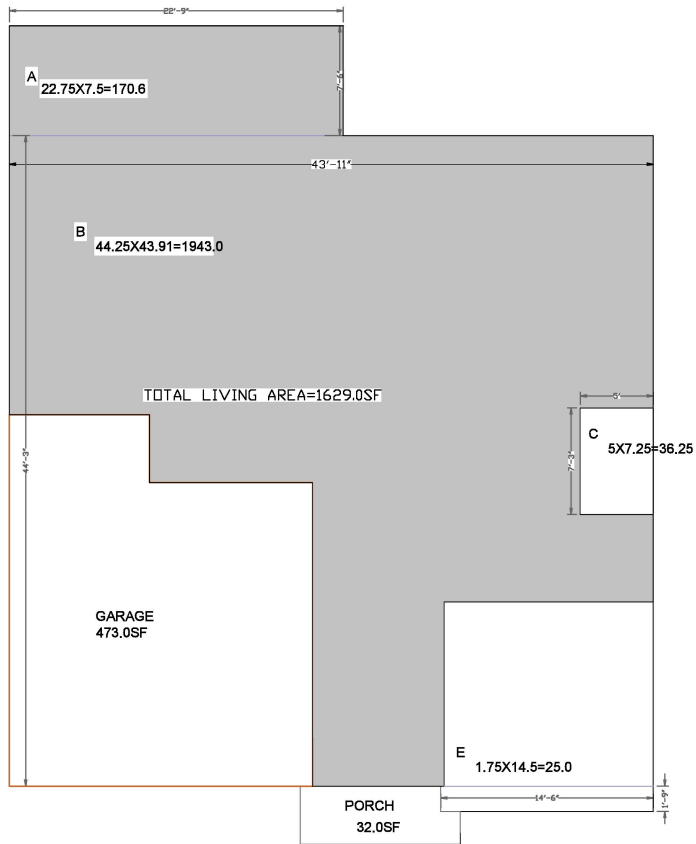
SCALE: AS SHOWN
DRAWN: E. LAZARI

LAZARI DESIGN
6154 ROYAL ACORN PL
SAN JOSE CA 95120
(408) 781-8374

SHEET TITLE:
SETBACKS

SHEET NO. **A4.0**

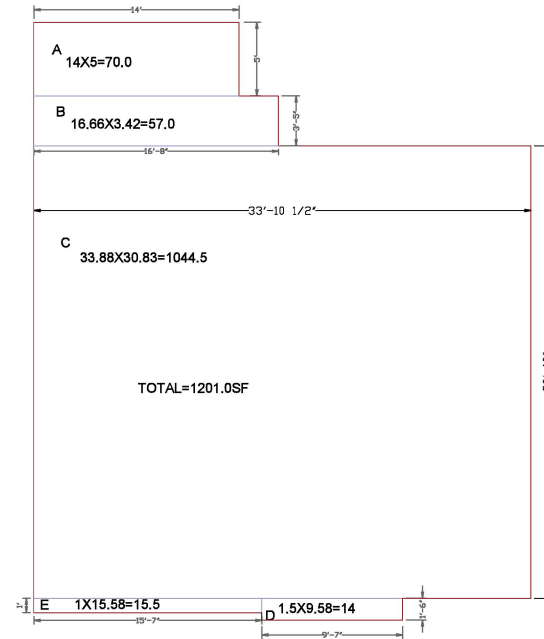
DATE: **SEP, 2025**



COMMON LIVING AREA: 1465 SF
1465/2830=51%

FLOOR AREAS DIAGRAMS

1/4"=1'-0"



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6154 ROYAL ACORN PLACE
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Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI



SHEET TITLE:

FLOOR AREA DIAGRAMS

SHEET NO. **A4.1**

DATE: **SEP. 2025**

LAZARI DESIGN

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OWNER

MR.
PHONE:

PROJECT LOCATION:

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SANTA CLARA, CA 95051

REVISIONS	DATE

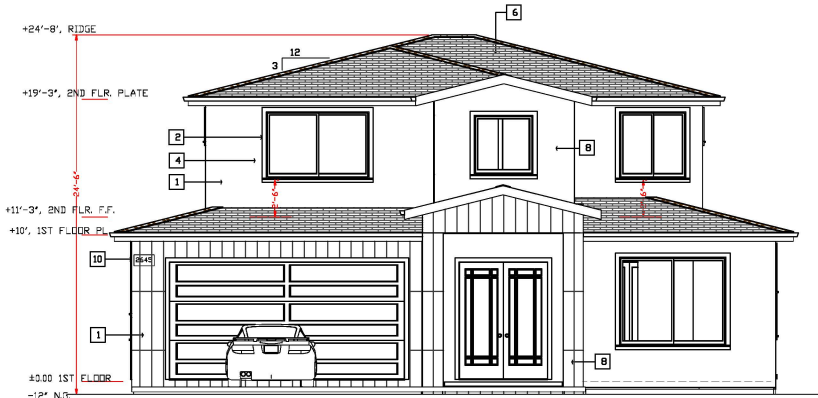
SCALE: AS SHOWN
DRAWN: E. LAZARI

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6154 ROYAL ACORN PL
SAN JOSE CA 95120
(408) 781-8374

SHEET TITLE:
ELEVATIONS

SHEET NO. **A5.0**

DATE: **SEP. 2025**

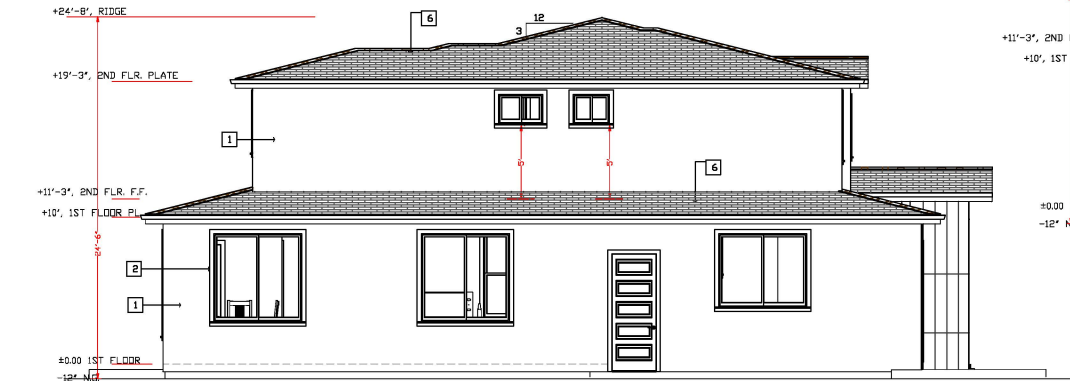


FRONT ELEVATION

1/4"=1'-0"

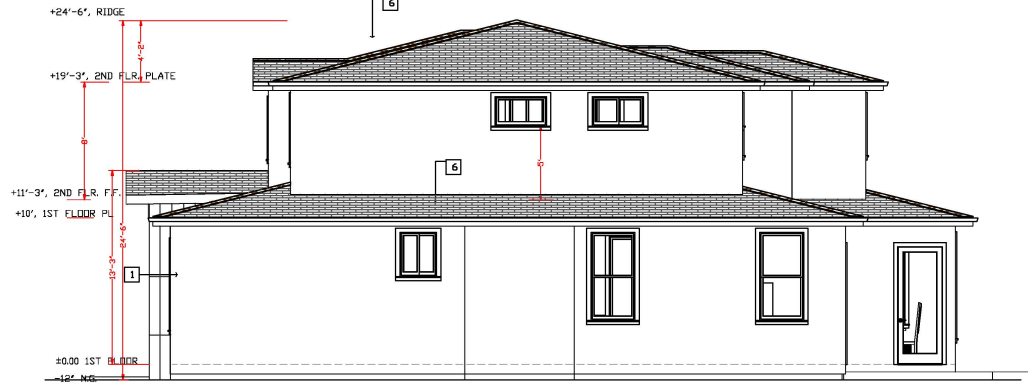
EXTERIOR ELEVATION NOTES

- EXTERIOR WALLS: 7/8" CEMENT PLASTER, 3 COATS o/ 2 LAYERS OF 10" PAPER o/ PLYWOOD SHEATHING w/ FINISH: COLOR, CRYSTAL WHITE.
- EXTERIOR TRIMS: FORM WITH SMOOTH STUCCO FINISH, COLOR= SAME AS STUCCO
- WINDOWS: MILGARD OR BY OWNER, VINYL, DUAL GLAZED w/ LOW-E GLAZING, SASH COLOR = BLACK
- ROOFING: ICC RATED, CROC CERTIFIED (GAF SHINGLES ESR-1475) CLASS-A COMP. SHINGLE, COLOR = BLACK, SHINGLES SHOULD BE OVER MIN TWO LAYERS
15lb FELT, ROOF MATERIAL MUST BE -COOL ROOF MATERIAL-PER ATTACHED.
MIN. AED SOLAR REFLECTANCE=0.2
MIN. THERMAL EMITTANCE=0.75
MIN. SOLAR REFLECTANCE INDEX (SRI)=16
- ROOFING: METAL ROOF.
- EXTERIOR WALL: SIDING, IPE SIDING OR SIMILAR.
- FASCIA & GUTTER: PAINTED 6" G.I. FASCIA GUTTER o/ 2x6 FASCIA BOARD; COLOR = WHITE
- THE ADDRESS NUMBER, NUMBER SHALL CONTRAST WITH THEIR BACKGROUND.
NUMBERS SHALL BE NOT LESS THAN 4" HIGH WITH A STRIKE WIDTH OF NOT LESS THAN 0.3". (CRC SECTION R319.1).
-PROVIDE ANOTHER STREET NUMBER OF ADJ ABOVE
MAIN FRONT BEDROOM VISIBLE FROM STREET.



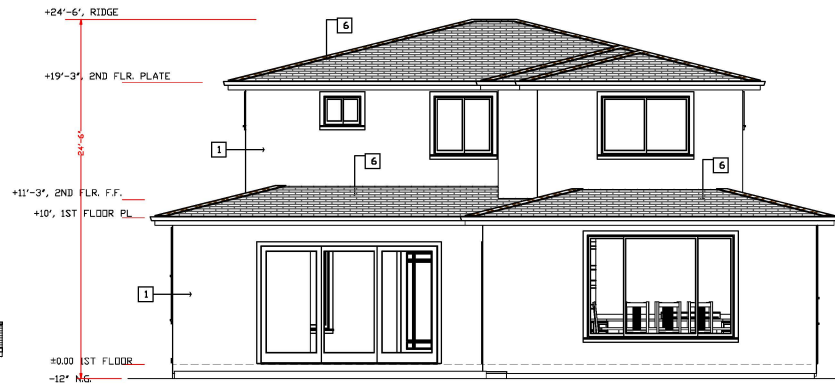
LEFT ELEVATION

1/4"=1'-0"



RIGHT ELEVATION

1/4"=1'-0"

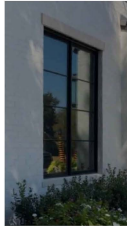


BACK ELEVATION

1/4"=1'-0"



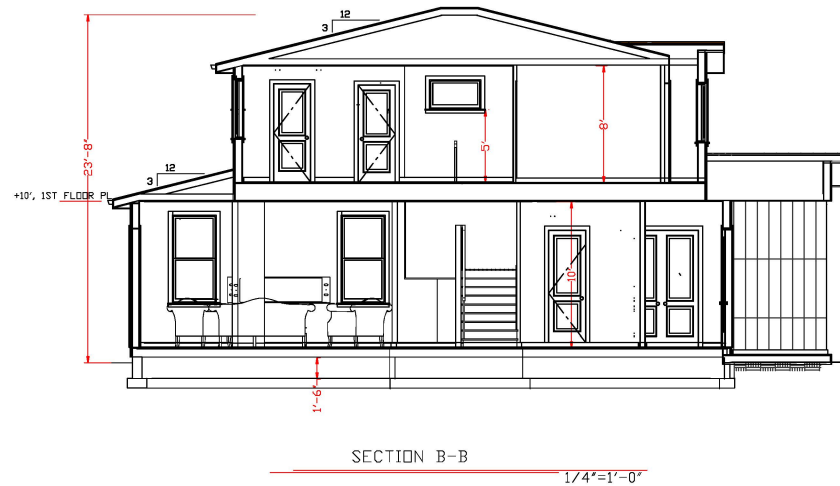
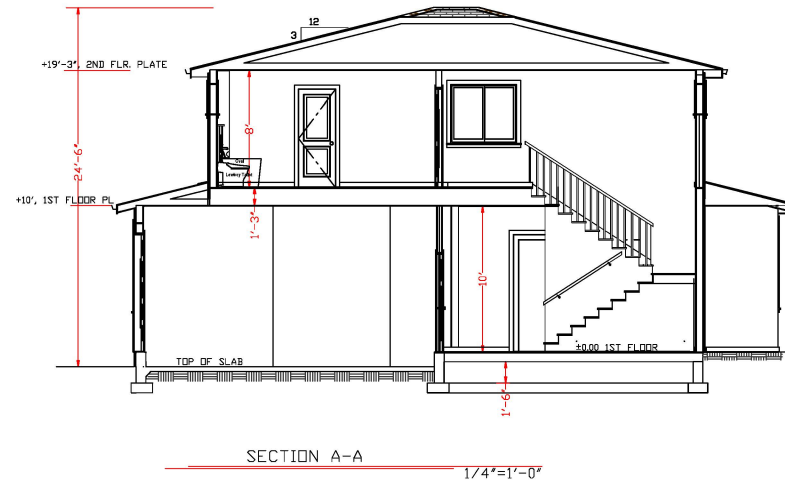
ROOFING: COMPOSITION SHINGLE.
COLOR= BLACK



BLACK WINDOWS AT STUCCO WALLS



Crystal White
X-50 (Base 100)



LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

LAZARI DESIGN
6154 ROYAL ACORN PL
SAN JOSE CA 95120
(408) 781-8374

SHEET TITLE:

SECTIONS

SHEET NO. **A5.1**

DATE: **SEP. 2025**

MR.
PHONE:

PROJECT LOCATION:

RAMTIN JAHANI
2645 REBEIRO AVE.
SANTA CLARA, CA 95051

PROJECT LOCATION:

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

LAZARI DESIGN
6154 ROYAL ACORN PL
SAN JOSE CA 95120
(408)781-8374

DATE: **SEP. 2025**



Tracy Tam

From: Tricia Biocini [REDACTED]
Sent: Tuesday, December 2, 2025 10:31 AM
To: Tracy Tam
Subject: Re: New Construction 2645 Rebeiro (PLN25-00387)

You don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Ms. Tam,

I have been living at 660 Marshall Court in Santa Clara for almost 40 years. My husband and I installed solar panels on our rooftop about 22 years ago because we wanted to help slow down the effects of global warming. We had three young children at home and wanted to do our part to make their world a better place.

Even though it was an expensive project, we thought it was the right thing to be proactive. We put on enough panels to zero out our energy use.

The California Solar Rights Act (1978) was "...created to promote and encourage the widespread use of solar energy systems and to protect and facilitate adequate access to sunlight which is necessary to generate energy systems" (California's Solar Act, Dec. 2014).

The idea was to "reduce the state's dependence on non-renewable fossil fuels, supplement energy sources and decrease air and water pollution" (CA Solar Act, 12/2014). These are goals that are important to all of our futures to live healthy lives and have less climate disasters.

There is a plan to build a two story home behind my home (2645 Rebeiro) that could block my south facing solar panels from producing energy. I wanted to bring this to your attention because my panels have been there for years producing energy to use electricity in my home. The possibility of building a two story that will block my southern exposure even partially will alter the amount of energy that my panels produce.

Even though we need housing in our community, I hope that our city is committed to helping build a better future for citizens.

This will be an issue that comes up more often as homeowners want to expand their living spaces. It is important to be fair about your decisions and that environmental factors are taken into consideration.

I am hoping that the project can be modified to allow for sunlight to continue to shine on my panels.

Please notify me when you have a date for the Planning Commission meeting that discusses this project.

Thank you,

Patricia Biocini

660 Marshall Court
Santa Clara
[REDACTED]

On Tue, Nov 18, 2025 at 4:27 PM Tricia Biocini [REDACTED] wrote:

Thank you Tracy., I will write up a letter in the next couple of weeks.

Patricia Biocini

On Tue, Nov 18, 2025 at 4:05 PM Tracy Tam <TTam@santaclaraca.gov> wrote:

Hi Patricia,

Thank you for your email. The project hasn't been set for a public meeting yet, but I certainly welcome your feedback at this stage. You may address the letter to myself.

Thank you,

Tracy Tam | Associate Planner

Community Development Department | Planning Division

[1500 Warburton Avenue | Santa Clara, CA 95050](#)

O: 408.615.2450 | D: 408.615.2432



**City of
Santa Clara**
The Center of What's Possible

From: Tricia Biocini [REDACTED]
Sent: Sunday, November 16, 2025 12:23 PM
To: Tracy Tam <TTam@SantaClaraca.gov>
Subject: New Construction 2645 Rebeiro

You don't often get email from [REDACTED] [Learn why this is important](#)

Hi Tracy,

I received the Notice Of Development Proposal yesterday, November 15, for 2645 Rebeiro Avenue (PLN25-00387) in the mail.

I live at 660 Marshall Court which is behind the proposed new construction. I am concerned about this project because I have solar panels on my roof facing south. Since the house is going to be two stories and very large it may block the sun from hitting my panels during parts of the day.

I know there is a solar shade law and another California Law that protects homeowners who have solar panels on their roof.

I know that Santa Clara strives to be a green city, so I would assume the city encourages its residents to install solar panels on their roof.

I am assuming there will be a meeting that the public can attend, but it was not listed on the flyer.

Could you please contact me with the date of a meeting on the project?

Who should I address a formal letter to?

Thank you,

Patricia Biocini