



# City of Santa Clara

## Meeting Agenda

### Historical & Landmarks Commission

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Thursday, May 7, 2026

6:00 PM

Hybrid Meeting  
City Hall/East Wing  
Sparacino Conference Room  
1500 Warburton Avenue  
Santa Clara, CA 95050

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The City of Santa Clara is conducting the Historical and Landmarks Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Meeting ID: 972 3326 2035

How to Submit Written Public Comment Before Historical and Landmarks Commission Meeting:  
By email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) by 12 p.m. the day of the meeting.  
Those emails will be forwarded to Staff and will be uploaded to the Historical and Landmarks Commission Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Historical and Landmarks Commission items may be viewed on the Internet at  
<https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

#### **CALL TO ORDER AND ROLL CALL**

#### **CONSENT CALENDAR**

1. 26-495 [Historical and Landmarks Commission Meeting Minutes of April 2, 2026](#)

**Recommendation:** Approve the Historical and Landmarks Commission Meeting Minutes of the April 2, 2026 Meeting.

## **PUBLIC PRESENTATIONS**

*[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]*

## **GENERAL BUSINESS**

2. 26-404 [Public Hearing: Recommendation on the Architectural Review \(PLN24-00521\) for Demolition of the Existing 1,198 Square Foot One-Story Residence and the Construction of a New 3,817 Square Foot Two-Story Residence at 4435 Fillmore Street Located Within 200 Feet of Two Historic Resource Inventory Properties. CEQA Status: Exempt from CEQA per Section 15332 - In-Fill Development Projects.](#)

**Recommendation:** Recommend that the Historical and Landmarks Commission find that the proposed project located at 4435 Fillmore Street will not destroy or have significant adverse effect on the integrity of the HRI listed properties within 200 feet of the subject property; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

## **STAFF REPORT**

## **COMMISSIONERS REPORT**

Subcommittee Reporting - 20 Minutes

Board/Committee

Lead/Alternate

Santa Clara Arts and Historic Consortium	Vargas-Smith / Romano
Historic Preservation Society of Santa Clara	Vargas-Smith / Leung
Old Quad Residents Association	Leung
Development Review Hearing	Romano /Vargas-Smith
BART/ High Speed Rail/ VTA BRT Committee	Vargas-Smith/ Leung
El Camino Real Specific Plan Community Advisory Committee	Leung
Downtown Precise Plan	Vargas-Smith/Stocks
Santa Clara Station Area Task Force	Leung/Stocks
Board/Committee	Lead/Alternate

**ADJOURNMENT**

*The next regular scheduled meeting is on June 4, 2026 at 6 pm. in the Council Chambers and via Zoom.*

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

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# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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26-495

Agenda Date: 5/7/2026

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### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### SUBJECT

Historical and Landmarks Commission Meeting Minutes of April 2, 2026

#### RECOMMENDATION

Approve the Historical and Landmarks Commission Meeting Minutes of the April 2, 2026 Meeting.



# City of Santa Clara

## Meeting Minutes

### Historical & Landmarks Commission

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04/02/2026

6:00 PM

Hybrid Meeting  
 City Hall Council  
 Chambers/Virtual  
 1500 Warburton Avenue  
 Santa Clara, CA 95050

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**CALL TO ORDER AND ROLL CALL**

**Chair Leung** called the meeting to order at 6:04 p.m.

**Commissioner Varshney** participated in the meeting remotely under AB 2449 in Government Code § 54953(f) due to emergency circumstances.

**Present** 6 - Commissioner Michael Celso , Commissioner Yvonne Inciarte, Chair Patricia Leung, Commissioner Kathleen Romano, Vice Chair Ed Stocks, and Commissioner Kaushal Varshney

**Absent** 1 - Commissioner Ana Vargas-Smith

**A motion was made by Commissioner Romano, seconded by Commissioner Stocks, to excuse Commissioner Vargas-Smith.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Absent:** 1 - Commissioner Vargas-Smith

**CONSENT CALENDAR**

**1.A** [26-378](#) Historical and Landmarks Commission Meeting Minutes of March 5, 2026

**Recommendation:** Approve the Historical and Landmarks Commission Meeting Minutes of the March 5, 2026 Meeting.

**1.B** [26-279](#) Action on Draft Certified Local Government (CLG) 2024-2025 Annual Report

**Recommendation:** Recommend that the Commission review and take action to approve the Draft Certified Local Government (CLG) 2024-2025 Annual Report.

**A motion was made by Commissioner Celso, seconded by Commissioner Inciarte, to approve the consent calendar.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Excused:** 1 - Commissioner Vargas-Smith

**PUBLIC PRESENTATIONS**

None.

**GENERAL BUSINESS**

2. [26-256](#) Public Hearing: Rezoning to Remove the Historic Combining District from 1341 Homestead Road (906 Monroe Street to Remain in Historic Combining District). CEQA Status: Determination of Consistency with the Downtown Precise Plan Final EIR

**Recommendation:**

**Recommend** that the Historical and Landmarks Commission find that the proposed Rezoning to Remove the Historic Combining District from 1341 Homestead Road (906 Monroe Street to Remain in Historic Combining District) will not destroy or have a significant adverse effect on the integrity of the Historic Resource Inventory property and recommend approval to the Planning Commission and City Council, respectively.

**Associate Planner Daniel Sobczak** provided the staff presentation.

**Applicant Paul Tai** and **Myron Von Raesfeld** spoke about the project.

Public Speakers:

**Rick Grathy**

**Jonathon Evans**

**A motion was made by Commissioner Romano, seconded by Commissioner Inciarte, to close public hearing.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Excused:** 1 - Commissioner Vargas-Smith

**A motion was made by Commissioner Romano, seconded by Commissioner Inciarte, to approve staff recommendation.**

**Aye:** 5 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, and Commissioner Varshney

**Nay:** 1 - Vice Chair Stocks

**Excused:** 1 - Commissioner Vargas-Smith

3. [26-280](#) Public Hearing: Consideration of a Historic Resource Property Designation for the Tiburcio Vásquez Gravesite Located in Santa Clara Mission Cemetery

**Recommendation:**

There is no staff recommendation.

There was no staff presentation.

Public Comments: **None.**

**A motion was made by Commissioner Inciarte, seconded by Commissioner Stocks to to approve designation of the Tiburcio Vasquez gravesite as historically significant and to recommend that City Council nominate it for local landmark designation.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Excused:** 1 - Commissioner Vargas-Smith

4. [26-281](#) Historic Preservation Ordinance Update and Expenditure of Funds

**Recommendation:** Staff recommends that the Historical and Landmarks approve the expenditure of funds from the Historical Preservation Reserve account to support the update of the Historic Preservation Ordinance and authorize staff to prepare a scope of work, issue a Request for Proposals (RFP), and proceed with the consultant selection process.

There was no staff presentation.

**Public Speaker:**

Jonathon Evans

**A motion was made by Commissioner Inciarte, Seconded by Commissioner Celso, to approve staff recommendation.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Excused:** 1 - Commissioner Vargas-Smith

**STAFF REPORT**

**COMMISSIONERS REPORT**

No updates on this item.

Subcommittee Reporting - 20 Minutes

No updates on this item.

Board/Committee	Lead/Alternate
Santa Clara Arts and Historic Consortium	Vargas-Smith / Romano
Historic Preservation Society of Santa Clara	Vargas-Smith / Leung
Old Quad Residents Association	Leung
Development Review Hearing	Romano /Vargas-Smith
BART/ High Speed Rail/ VTA BRT Committee	Vargas-Smith/ Leung
El Camino Real Specific Plan Community Advisory Committee	Leung
Downtown Precise Plan	Vargas-Smith/Stocks
Santa Clara Station Area Task Force	Leung/Stocks
Board/Committee	Lead/Alternate

Commissioners provided updates on various items, meetings, and groups that they are assigned to.

**ADJOURNMENT**

**A motion was made by Commissioner Romano, seconded by Commissioner Celso, to adjourn the meeting at 7:58 p.m.**

**Aye:** 6 - Commissioner Celso, Commissioner Inciarte, Chair Leung, Commissioner Romano, Vice Chair Stocks, and Commissioner Varshney

**Excused:** 1 - Commissioner Vargas-Smith

The next regular scheduled meeting is on May 7, 2026, at 6 p.m. in the City Hall Council Chambers and via Zoom.

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## Agenda Report

26-404

Agenda Date: 5/7/2026

### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### SUBJECT

Public Hearing: Recommendation on the Architectural Review (PLN24-00521) for Demolition of the Existing 1,198 Square Foot One-Story Residence and the Construction of a New 3,817 Square Foot Two-Story Residence at 4435 Fillmore Street Located Within 200 Feet of Two Historic Resource Inventory Properties. CEQA Status: Exempt from CEQA per Section 15332 - In-Fill Development Projects.

**File No.:** PLN24-00521

**Location:** 4435 Fillmore Street, a 6,250 square-foot property located on the eastern side of Fillmore Street, approximately 200 feet north of the intersection of Fillmore Street and 2nd Street; APN: 104-10-055; the property is zoned Single-Family Residential (R1-6L).

**Applicant:** Daniel Warren, Warren Design

**Owner(s):** GM & Fouzia Solaiman

**Request:** **Architectural Review** for a demolition of the existing 1,198 square-foot residence and the construction of a 3,327 square-foot five-bedroom and four-bathroom two-story residence.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The project site is surrounded by one-story and two-story colonial revival, cottage, ranch, and vernacular style single-family residences.
- The project site is a 6,250 square-foot lot currently occupied by a 1,198 square-foot single story residence with an attached one car garage. The residence was built in 1961.
- Per the Santa Clara City Code 18.120.020.D.7, the request requires Architectural Review approval through a Development Review Hearing for the demolition of the existing structure and construction of a two-story structure.
- The project is before the Historical and Landmarks Commission (HLC) in accordance with Historic Preservation Ordinance (Santa Clara City Code 18.130.070), which requires all projects within 200 feet of a Historic Resources Inventory (HRI) property requiring an Architectural Review through a Development Review Hearing to be first referred to the HLC.
  - The HLC shall review the project for neighborhood compatibility and consistency with the City's Design Guidelines and make a recommendation.
- The proposed project is to demolish the existing 1,198 square-foot residence and to construct a new two-story 3,327 square-foot five-bedroom and four-bathroom residence.
  - The project also includes an attached 490 square-foot accessory dwelling unit (ADU) on the first floor. The proposed ADU is not in the scope of the discretionary architectural

review. In accordance with Section 18.60.020, ADUs proposed on the first story can be reviewed ministerially through a Building permit application.

- The proposed design features a Mediterranean architectural style with white stucco, Spanish style roofing, and dark bronze decorative shutters, window and door frames, and gutters. The design also has architectural elements in keeping with the style such as a square bay window on the front elevation, windows on the garage door, and decorative columns for the front entry porch.
- The subject property at 4435 Fillmore Street is within 200 feet of 4406 Fillmore Street and 4433 Cheeney Street, which are both listed on the HRI.
  - 4406 Fillmore Street is a Colonial Revival Cottage (J.M. Williamson House) built in 1925. It is a rectangular plan house with clapboard siding and narrow corner moldings with two rounded porch columns, hipped roof, and bay window.
  - 4433 Cheeney Street is a Colonial Revival built in 1905. This residence has a rectangular floor plan with an L-shaped recessed porch, narrow overlap siding, front-facing gable, and a square bay window with modified hip roof.
- The subject property at 4435 Fillmore Street is not located on the same side of the street as 4406 Fillmore Street and is situated on a different block from 4433 Cheeney Street. Given that the historic resources are not situated on the same street frontage in a way that would affect the predominant frontage pattern, no impacts on the resources are anticipated.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:
  - The second floor is less than 66% of the first floor.
  - The second floor is stepped back from the first floor on all sides by five feet or more resulting in an appropriate mass and bulk for a single-family residence.
  - The architectural features of the proposed design are true to the proposed architectural form and style in that the materials include stucco with darker wood decorative shutters and garage door with windows, and brown Spanish tile roofing.
  - The proposed hipped roof and front-facing gable are roof forms found in the neighborhood.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

### **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

### **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects), in that the request is on a project site less than five acres, served by all required, and meets all zoning standards.

### **PUBLIC CONTACT**

Public contact was made by posting the Historical and Landmarks Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may

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be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 63 property owners and tenants within a 300-foot radius of the project site on April 23, 2026. As of the writing of this report, planning staff has not received public comments for this application.

### **RECOMMENDATION**

Recommend that the Historical and Landmarks Commission find that the proposed project located at 4435 Fillmore Street will not destroy or have significant adverse effect on the integrity of the HRI listed properties within 200 feet of the subject property; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

Prepared by: Meha Patel, Associate Planner, Community Development Department

Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department

Approved by: Lesley Xavier, Planning Manager, Community Development Department

### **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

### Vicinity Map (Zoning) - 4435 Fillmore Street



#### Legend

Zoning

Land Parcels

- PD - Planned Development
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential

Base Layers

Site Addresses

- Place
- Single

Land Parcels

- Land Parcels
- Common Areas

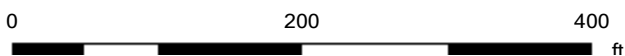
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#### Notes

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**Attachment 2: Project Data/Compliance**

**Project Address: 4435 Filmore Street  
Zoning: R1-6L**

**Project Number: PLN24-00521**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	6,250	6,250	6,000	Y
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	924	1,371	--	--
<b>2<sup>nd</sup> Floor:</b>	--	1,469	--	--
<b>Garage</b>	274	487	--	--
<b>Attached ADU</b>	--	490	--	--
<b>Porch/Patio:</b>	--	100	--	--
<b>Patio</b>	--	260	--	--
<b>Balcony:</b>	--	110	--	--
<b>Total:</b>	1,198	3,817	--	--
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor:</b>	--	62%	66% max	Y
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	19%	35%	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	22	25	20	Y
<b>(2<sup>nd</sup> floor):</b>		25	25	Y
<b>Left Side (1<sup>st</sup> floor):</b>	5	5	5	Y
<b>(2<sup>nd</sup> floor):</b>		10	10	Y
<b>Right Side (1<sup>st</sup> floor):</b>	5	5	5	Y
<b>(2<sup>nd</sup> floor):</b>		10	10	Y
<b>Rear (1<sup>st</sup> floor):</b>	67	40	20	Y
<b>(2<sup>nd</sup> floor):</b>		45	20	Y
<b>Attached Accessory Dwelling Unit Setbacks (FT) – Setbacks same as the main residence</b>				
<b>Height (FT)</b>				
<b>Main building:</b>	14'- 8"	26 -10"	25	N
<b># of Bedrooms/Bathrooms:</b>	2/1	5/4	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	2	2	2	Y
<b>Common Living Area (SFR)</b>	--	32%	Min 25%	Y

## Conditions of Significant Property Alteration Permit Approval

PLN24-00521 / 4435 Fillmore Street

**Architectural Review for a demolition of the existing 1,198 square-foot residence and the construction of a 3,327 square-foot five bedroom and four bathroom two-story residence.**

### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is [Click or tap to enter a date..](#)
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### **OPERATIONAL CONDITIONS**

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

#### **KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



# FILLMORE RESIDENCE

## NEW RESIDENCE

4435 FILLMORE STREET  
SANTA CLARA, CALIFORNIA

WARREN DESIGN  
579 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 650.669.3700

*Handwritten signature*

FILLMORE RESIDENCE  
NEW RESIDENCE  
4435 FILLMORE STREET  
SANTA CLARA, CALIFORNIA

CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX
<p><b>AA.1 PLANNING &amp; DESIGN/SITE DEVELOPMENT</b></p> <p>4.106.1 A PLAN IS DEVELOPED &amp; IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.</p> <p>4.106.2 THE SITE SHALL BE PLANNED &amp; DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS.</p> <p>CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS.</p> <p><b>AA.2 ENERGY EFFICIENCY</b></p> <p>4.201.1 LOW-VOLTAIRE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.</p> <p>AA.3 WATER EFFICIENCY &amp; CONSERVATION</p> <p>4.303.1 INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> <li>1. WATER SAVING FIXTURES AND LOW RESTRICTIONS SHALL BE USED.</li> <li>2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.</li> </ol> <p>4.303.2 WHEN USING THE FOLLOWING METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERS HEADS SHALL NOT EXCEED MAXIMUM FLOW RATES</p> <p>4.303.3 PLUMBING FIXTURES (WATER CLOSETS &amp; URINALS) &amp; FITTINGS (FAUCETS &amp; SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.</p> <p>OUTDOOR WATER USE</p> <p>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:</p> <ol style="list-style-type: none"> <li>1. A LOCAL WATER EFFICIENT LANDSCAPE ORDNANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDNANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR</li> <li>2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.</li> </ol> <p><b>AA.4 MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY</b></p> <p>4.406.1 JOINTS &amp; OPENINGS</p> <p>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>4.481.1 A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PERMITTED LANDFILL OR IMPLEMENTATION OF A WASTE-MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT.</p> <p>4.482 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION &amp; DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.</p> <p>4.410.1 AN OPERATION &amp; MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.</p> <p>AA.5 ENVIRONMENTAL QUALITY POLLUTION CONTROL</p> <p>4.501.1 DUCT OPENINGS &amp; OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</p> <p>4.504.1 ADHESIVES, SEALANTS &amp; CAULKS SHALL BE COMPLIANT WITH VOC &amp; OTHER TOXIC COMPOUND LIMITS.</p> <p>4.504.2.2 PAINTS, STAINS &amp; OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.2.3 ALL JOINTS &amp; COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED AVER LIMITS FOR ROCC &amp; OTHER TOXIC COMPOUNDS.</p> <p>4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMITS FINISH MATERIALS HAVE BEEN USED.</p> <p>4.504.3 CARPET &amp; CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFLC) FLOORSCORE PROGRAMS.</p> <p>4.504.5 PARTICULATE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS, SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH:</p> <ol style="list-style-type: none"> <li>1. 0.05% MOISTURE RESISTANCE CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.</li> <li>2. 0.05% MOISTURE RESISTANCE CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.</li> <li>3. 0.05% MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL &amp; FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.</li> </ol> <p>INDOOR AIR QUALITY &amp; EXHAUST</p> <p>4.506.1 ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM, CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM.</p> <p>ENVIRONMENTAL COMPLIANCE</p> <p>4.507.1 WHOLE-HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R=2.</p> <p>4.507.2 DUCT SYSTEMS ARE SIZED, DESIGNED &amp; EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> <li>1. ESTABLISH HEAT LOSS &amp; GAIN VALUES ACCORDING TO ACCA MANUAL D, OR EQUIVALENT.</li> <li>2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 190 (MANUAL D) OR EQUIVALENT.</li> </ol> <p>1. INSTALL HEAT LOSS &amp; GAIN VALUE EQUIPMENT ACCORDING TO ACCA (MANUAL S) OR EQUIVALENT.</p> <p>INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</p> <p>702.11 HVAC SYSTEM SHALL BE TRAINED &amp; CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.</p> <p>702.2 SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED &amp; ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.</p> <p>703.1 VERIFICATION OF COMPLIANCE WITH THE CODE MAY INCLUDE:</p> <p>CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.</p>	<p>1. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE &amp; LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/4".</p> <p>2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATERBASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.</p> <p>3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 5-7.</p> <p>4. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUPS.</p> <p>5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.</p>	<p>1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2022, CALIFORNIA BUILDING CODE (CBC) 2022, CALIFORNIA MECHANICAL CODE (CMC) 2022, CALIFORNIA PLUMBING CODE (CPC) 2022, CALIFORNIA FIRE CODE (CFC) 2022, CALIFORNIA ELECTRICAL CODE (CEC) 2022, CALIFORNIA GREEN BUILDING CODE (CGBC) 2022, ENERGY EFFICIENCY STANDARDS TITLE 24, SITE DRAINAGE, NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.</p> <p>2. FOUNDATION: SOIL UNDER SLABS AND FOOTINGS TO BE 5% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLABS SHALL BE 2800 PSI AT 28 DAYS. FILL WORK SHALL BE 2800 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 4" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOIL ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.</p> <p>3. ALL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.</p> <p>4. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 (D) WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.</p> <p>5. PROVIDE SOLE BRACING AT ALL FINISHED CEILINGS AND SOFFITS AT WALLS.</p> <p>7. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 8' PROVIDE 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2x6 EACH END.</p> <p>8. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12" O.C. (MINIMUM).</p> <p>9. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.</p> <p>10. POWER DRIVEN FASTENERS: ESP 2209 X4J PS 536 AS MANUFACTURED BY "MILIT"; SPACING: 18" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS.</p> <p>11. EXTERIOR FINISH TO BE HORIZONTAL SIDING AT 1st FLOOR AND SHINGLE SIDING AT THE 2nd FLOOR. SEE EXTERIOR ELEVATIONS, UNLESS OTHERWISE NOTED (O.N.).</p> <p>12. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: SHIP-SHORED, SUPERIOR W/ CASING BOARD, MILCOR 966 EXTERIOR CORNER, MILCOR 411 EXP. JOINT INTERIOR CORNER, MILCOR 403 EXP. JOINT.</p> <p>13. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.</p> <p>14. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 30" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN CLOSED POSITION SHALL BE TEMPERED, H-S, HORIZONTAL SLIDER, S-U, SINGLE HINGE, OBS-OBS-CURE, PXL-FIXED, TEMP-TEMPERED, H-F, 1/2", HALF ROUND.</p> <p>15. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.</p> <p>16. EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DIMENSIONAL MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.</p> <p>17. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS.</p> <p>18. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD, ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.</p> <p>19. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.</p>	<p>T-1 PROJECT DATA GENERAL NOTES</p> <p>T-1.1 GENERAL NOTES</p> <p>T-1.2 BLUEPRINT FOR A CLEAN BAY</p> <p>DEND SITE PLAN</p> <p>A-1 SITE PLAN</p> <p>A-2 PROPOSED 1st LEVEL FLOOR PLAN</p> <p>A-3 PROPOSED 2nd LEVEL FLOOR PLAN</p> <p>A-4 EXTERIOR ELEVATIONS</p> <p>A-5 EXTERIOR ELEVATIONS</p> <p>A-6 ROOF PLAN</p> <p>A-7 SECTION</p>
	<p><b>SPECIAL INSPECTIONS</b></p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.</p> <ul style="list-style-type: none"> <li>RETIROFF HOLD-DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLD-DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS.</li> </ul>		<p><b>PROJECT DATA</b></p> <p>PROJECT ADDRESS: 4435 FILLMORE STREET</p> <p>ASSESSOR PARCEL NUMBER: 104-10-055</p> <p>ZONING: R-4</p> <p>CONSTRUCTION TYPE: I-4E (SPRINKLERED)</p> <p>FLOOD ZONE: R-4U</p> <p>LOT SEE: 6,293 S.F.</p> <p>EXISTING RESIDENCE TO BE DEMO'D: 924 S.F.</p> <p>EXISTING GARAGE TO BE DEMO'D: 1,371.08 S.F.</p> <p>PROPOSED 1st LEVEL: 490.67 S.F.</p> <p>PROPOSED 2nd LEVEL: 1,459.15 S.F.</p> <p>TOTAL LIVING AREA: 3,330.25 S.F.</p> <p>PROPOSED GARAGE: 486.65 S.F.</p> <p>PROPOSED COVERED PORCH: 100.33 S.F.</p> <p>PROPOSED COVERED PATIO: 269 S.F.</p> <p>PROPOSED BALCONY: 110.32 S.F.</p> <p>TOTAL LOT COVERAGE: 2,201 S.F.</p> <p>MAX. LOT COVERAGE: 908.33 S.F. - PROVIDED (823.8 S.F. - REQUIRED)</p> <p>EXISTING BEDROOM: 1</p> <p>EXISTING BATHROOM: 1</p> <p>PROPOSED BEDROOM: 5 (PLUS 1 BEDROOM IN ADU)</p> <p>PROPOSED BATHROOM: 4 (PLUS 1 BATHROOM IN ADU)</p> <p>PROPOSED PARKING: COVERED: 2</p> <p>UNCOVERED: 2</p>
	<p><b>SPECIAL INSPECTIONS</b></p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.</p> <ul style="list-style-type: none"> <li>RETIROFF HOLD-DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLD-DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS.</li> </ul>	<p><b>DEFERRED SUBMITTALS</b></p> <p>DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL.</p> <ul style="list-style-type: none"> <li>FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT. THE STRUCTURE WILL COMPLY WITH R313 FOR RESIDENTIAL FIRE SPRINKLERS. SUBMIT DESIGN CALCULATION AND PLAN TO COUNTY FIRE (685) 375-010.</li> </ul>	
	<p><b>VICINITY MAP</b></p>	<p><b>PROJECT CONTACTS</b></p> <p>OWNER: GM &amp; FOLUJ SOLAMAN GM&amp;FOLUJ@GMAIL.COM 4435 FILLMORE STREET SANTA CLARA, CA 95051 (408) 403-1300</p> <p>DESIGNER: WARREN DESIGN DANIEL WARREN 579 E. CAMPBELL AVE. CAMPBELL, CA 95008 650-669-3700</p>	
			<p><b>SCOPE OF WORK:</b></p> <p>DEMO EXISTING 924 S.F. RESIDENCE, CONSTRUCT A NEW 2 STORY RESIDENCE WITH LIVING ROOM, FAMILY DINING, KITCHEN, MUD ROOM, OFFICE, POWER ROOM, 2 GAR GARAGE, COVERED PORCH, COVERED PATIO, AND ATTACHED ADU WITH KITCHEN, LIVING, BEDROOM, AND BATHROOM AT 1ST LEVEL, AND PRIMARY BEDROOM, PRIMARY BATHROOM, LAUNDRY, LOFT, 3 BEDROOMS, AND 3 BATHROOMS AT 2ND LEVEL. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.</p> <p>PHOTOVOLTAIC SYSTEM (PV):</p> <ul style="list-style-type: none"> <li>A PV SYSTEM OF ___ kWdc IS A 'REQUIRED SPECIAL FEATURE' OF THE ENERGY CALCULATION.</li> <li>A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.</li> </ul>

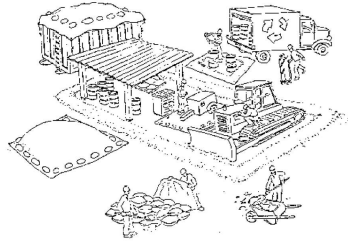
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TITLE SHEET  
SHEET INDEX  
PROJECT DATA  
VICINITY MAP  
GENERAL NOTES

Project No: 2461  
Sheet No: T-1



# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump; trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clear it up immediately.

### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

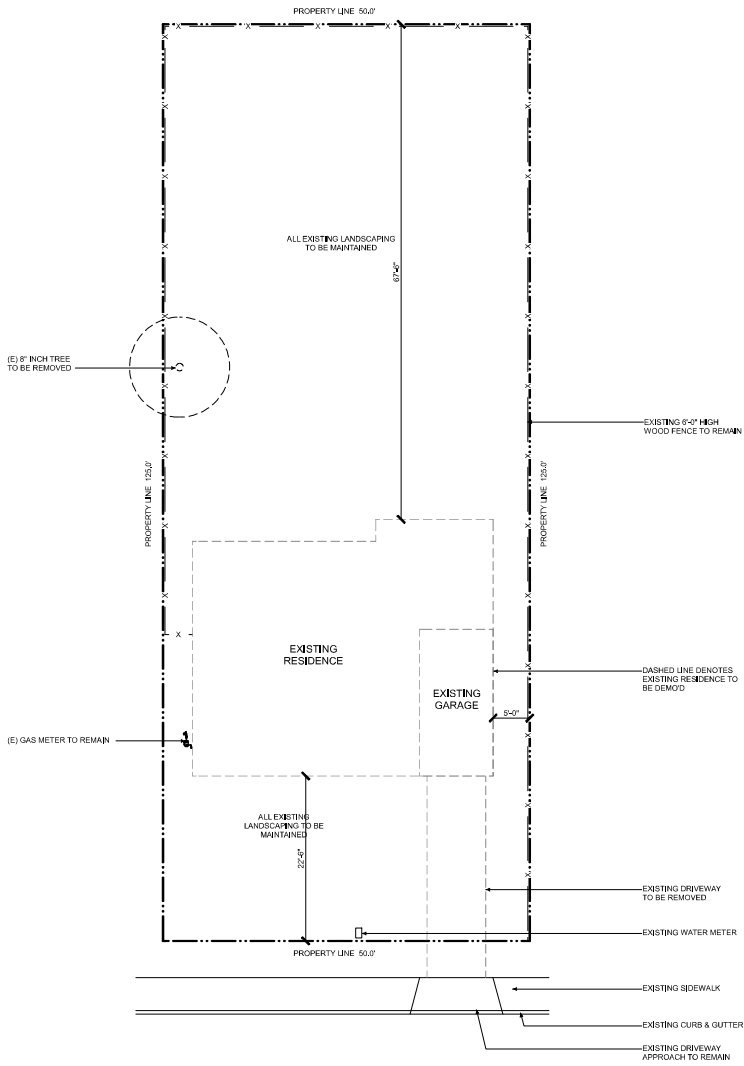


### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



FILLMORE STREET

Demo Site Plan



SCALE: 1/8" = 1'-0"



**WARREN DESIGN**  
 878 E. CAMPBELL AVE. CAMPBELL, CA 95008 P: 866.966.8270

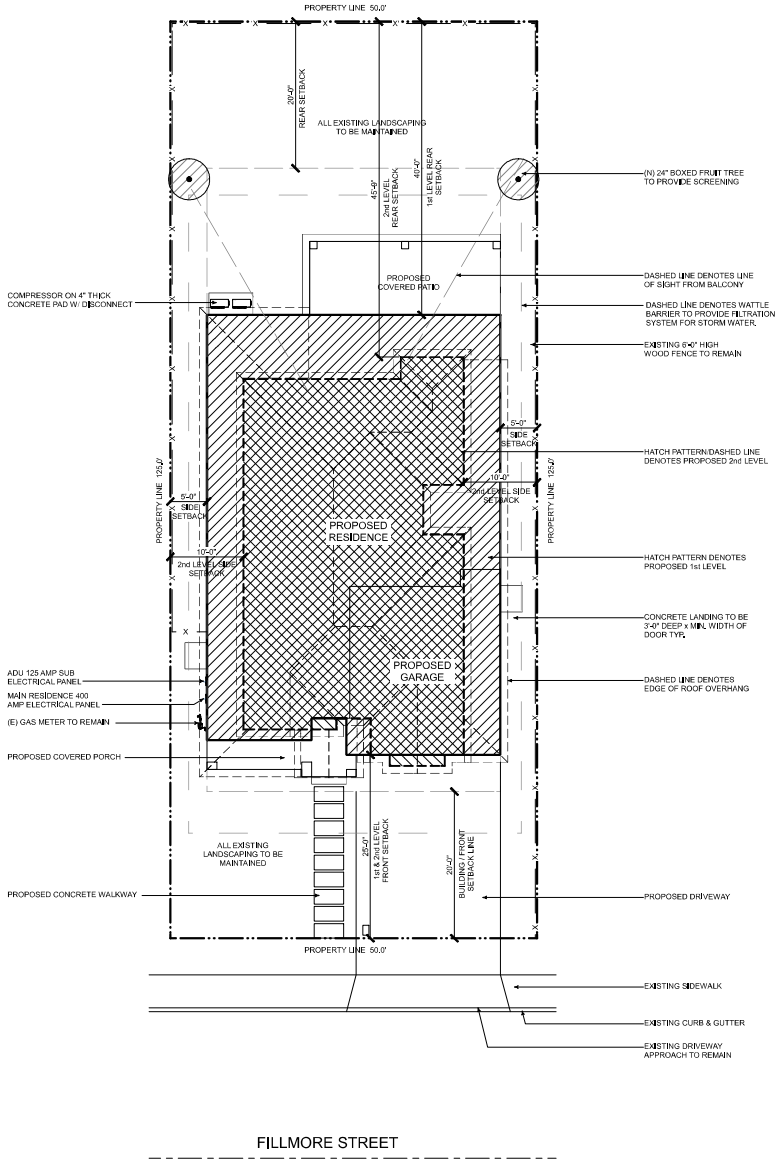
*DW*  
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**FILLMORE RESIDENCE**  
**NEW RESIDENCE**  
**4435 FILLMORE STREET**  
**SANTA CLARA CALIFORNIA**

Date:	09/23/2024
Drawn By:	DW
Revisions:	
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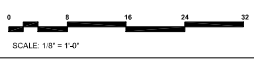
**DEMO SITE PLAN**

Project No:	2461
Sheet No:	A-1



FILLMORE STREET

Site Plan



- (N) 24" BOXED FRUIT TREE TO PROVIDE SCREENING
- DASHED LINE DENOTES LINE OF SIGHT FROM BALCONY
- DASHED LINE DENOTES WATTLE BARRIER TO PROVIDE FILTRATION SYSTEM FOR STORM WATER
- EXISTING 6'0" HIGH WOOD FENCE TO REMAIN
- HATCH PATTERN DASHED LINE DENOTES PROPOSED 2nd LEVEL
- HATCH PATTERN DENOTES PROPOSED 1st LEVEL
- CONCRETE LANDING TO BE 3'0" DEEP x MIN. WIDTH OF DOOR TYP.
- DASHED LINE DENOTES EDGE OF ROOF OVERHANG
- PROPOSED DRIVEWAY
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING DRIVEWAY APPROACH TO REMAIN

GENERAL NOTES:

- 1 VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
- 2 SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 6'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
- 3 ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
- 4 THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CGC 1804.3).
- 5 ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CGC 1808.7A).
- 6 LEAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE RESISTANCE RATING ON ALL LEAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR SAFE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CGC SECTION R302 & TABLE R302.1(2).

WASTE MANAGEMENT PLAN:

CONSTRUCTION WASHOUT WATER FROM CONCRETE, MORTAR, TILE, TILING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINE IMPERVIOUS TYP. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN PAINTS, SOLVENTS, GLUES, TANNING COMPOUNDS, FOOD PRODUCTS, OR EASILY RECYCLEABLE DEBRIS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY WAIVED OFF SITE, RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR  
WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. RECREATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

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*Handwritten signature*

FILLMORE RESIDENCE  
NEW RESIDENCE  
4435 FILLMORE STREET  
SANTA CLARA CALIFORNIA

Date:	09/23/2024
Drawn By:	DW
Revisions:	
	▲
	▲
	▲
	▲
	▲

SITE PLAN

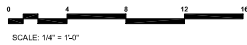
Project No:	2461
Sheet No:	A-1.1







Front Elevation



APPROVED ADDRESS TO CONTRAST W/ BACKGROUND MIN. 4\"/>

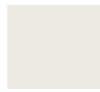
26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 3/16\"/>



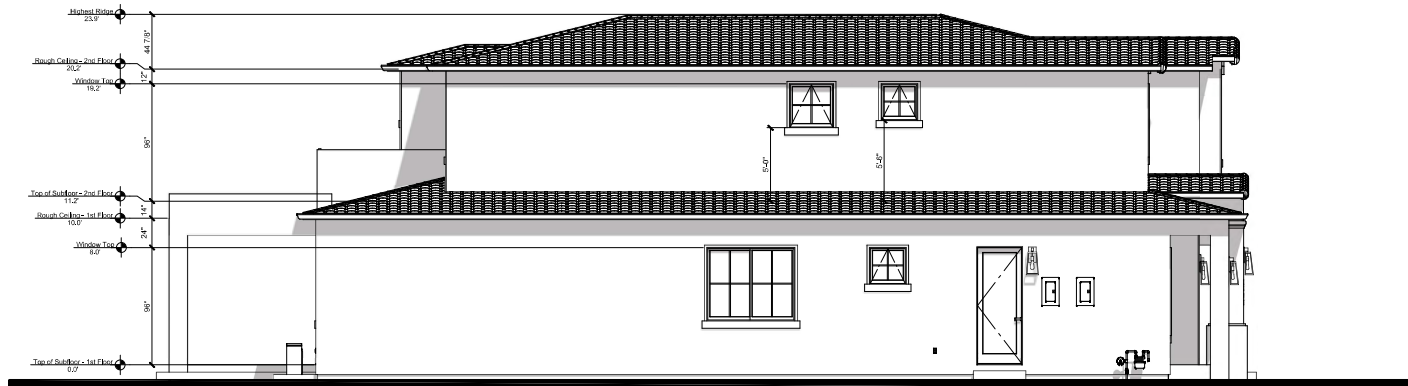
SPANISH TILE ROOFING - COLOR: SAN MATEO BLEND



WINDOW/DOOR FRAMES - SHUTTERS, & GUTTERS - COLOR: DARK BRONZE



STUCCO & SOFFITS - COLOR: PURE WHITE



- ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALIED SHINGLE FLASHING IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
- EXTERIOR WINDOWS AND DOORS,
  - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO CORNICES,
  - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS,
  - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM,
  - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS,
  - AT BUILT-IN GUTTERS,

WARREN DESIGN

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FILLMORE RESIDENCE

NEW RESIDENCE  
4435 FILLMORE STREET

SANTA CLARA CALIFORNIA

Date: 09/23/2024

Drawn By: DW

Revisions:



EXTERIOR ELEVATIONS

Project No: 2461

Sheet No: A-4

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Rear Elevation



26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 3/16\"/>



Right Elevation

- ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
- EXTERIOR WINDOWS AND DOORS.
  - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
  - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
  - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
  - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
  - AT BUILT-IN GUTTERS.

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FILLMORE RESIDENCE

NEW RESIDENCE

4435 FILLMORE STREET

SANTA CLARA CALIFORNIA

Date: 09/23/2024

Drawn By: DW

Revisions:



EXTERIOR ELEVATIONS

Project No: 2461

Sheet No: A-5

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ROOF PLAN GENERAL NOTES:

1. ARROWS INDICATE DIRECTION OF ROOF SLOPE.
2. OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.C.)
3. PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.S.F. TYPICAL.
4. INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
5. INSTALL "COSE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
6. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

1st LEVEL ATTIC VENTILATION:

- 564.17 S.F. OF ATTIC SPACE / 300 = 1.88 S.F.
- 1.68 S.F. x 14 SQ. INCHES = 27.72 SQ. INCHES REQ'D
- 27.72 SQ. INCHES / 2 = 13.86 SQ. INCHES

- 13.86 SQ. INCHES REQ'D / 72 SQ. INCHES = 2 - 32"x24" O'HAGEN FLAT ROOF VENTS.
- PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'S (9 SQ. INCHES OF VENTING PER BLOCK)
- 13.86 SQ. INCHES REQ'D / 9 SQ. INCHES = 1.5 FREEZE BLOCKS REQUIRED.
- PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

2nd LEVEL ATTIC VENTILATION:

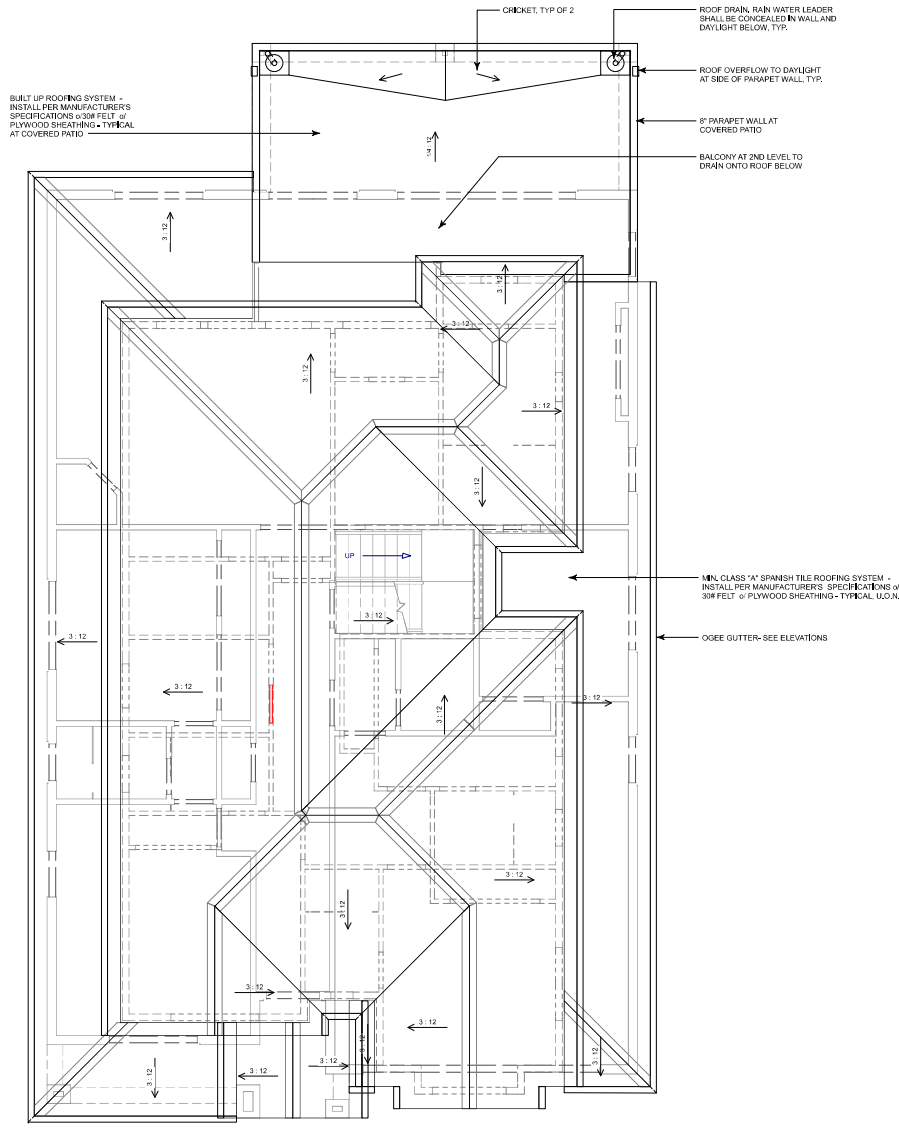
- 1,493.9 S.F. OF ATTIC SPACE / 300 = 4.98 S.F.
- 4.98 S.F. x 14 SQ. INCHES = 71.72 SQ. INCHES REQ'D
- 71.72 SQ. INCHES / 2 = 35.86 SQ. INCHES

- 35.86 SQ. INCHES REQ'D / 72 SQ. INCHES = 5 - 32"x24" O'HAGEN FLAT ROOF VENTS.
- PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'S (9 SQ. INCHES OF VENTING PER BLOCK)
- 35.86 SQ. INCHES REQ'D / 9 SQ. INCHES = 4.0 FREEZE BLOCKS REQUIRED.
- PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

NOTE:  
AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.S.F.

FOUNDATION VENTILATION:  
8"x16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS.

- 1,801.38 S.F. / 150 S.F. = 12 S.F.
- 8"x16" = 72 S.F.
- 12 S.F. / 72 S.F. = 17 VENTS MIN. REQ'D



Roof Plan

SCALE: 1/4" = 1'-0"

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*Warren*

**FILLMORE RESIDENCE**  
NEW RESIDENCE  
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SANTA CLARA CALIFORNIA

Date:	09/23/2024
Drawn By:	DW
Revisions:	
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<b>ROOF PLAN</b>	
Project No:	2461
Sheet No:	A-6
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