



# City of Santa Clara

## Meeting Agenda

### Planning Commission

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**Wednesday, February 21, 2024**

**6:00 PM**

**Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050**

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The City of Santa Clara is conducting Planning Commission meetings in a hybrid manner (in-person and continues to have methods for the public to participate remotely).

- Via Zoom:

- o <https://santaclaraca.zoom.us/j/91729202898> Webinar ID: 917 2920 2898 or

- o Phone: 1(669) 900-6833

- Via the City's eComment

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#### **6:00 PM REGULAR MEETING**

**Call to Order**

**Pledge of Allegiance and Statement of Values**

**Roll Call**

**DECLARATION OF COMMISSION PROCEDURES**

**CONTINUANCES/EXCEPTIONS**

**CONSENT CALENDAR**

*Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Planning Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Planning Commission meeting when the Chair calls for these requests during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.*

- 1.      **24-229**      [Planning Commission Meeting Minutes of January 31, 2024](#)

**Recommendation:** Planning Commission Meeting Minutes of the January 31, 2024 Meeting

**PUBLIC PRESENTATIONS**

*Members of the public may briefly address the Commission on any item not on the agenda.*

**PUBLIC HEARING**

*Items listed above under Items for Council Action will be scheduled for Council review following the conclusion of hearings and recommendations by the Planning Commission. Due to timing of notices for Council hearings and the preparation of Council agenda reports, these items will not necessarily be heard on the date the minutes from this meeting are forwarded to the Council. Please contact the Planning Division office for information on the schedule of hearings for these items.*

- 2.      **24-1612**      [Public Hearing: Action on Significant Property Alteration Permit for a 1,207 Square Foot Addition to a Historic Residence and a Variance to Eliminate the Requirement for a Two-Car Garage at 1277 Jackson Street](#)

**Recommendation:**

- 1. Determine that the Project is categorically exempt from formal environmental review per Section 15301(e)(2), Existing Facilities, of the CEQA Guidelines; and
- 2. Adopt a Resolution to approve a Significant Property Alteration Permit for alterations to the main historic resource and a Variance to eliminate the requirement for a two-car garage, subject to findings and conditions of approval.

3. **24-1629** [PUBLIC HEARING: Action on an Environmental Impact Report and Mitigation Monitoring and Reporting Program, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 1957 Pruneridge Avenue to Allow the Development of 22 Detached Single-Family Residences and Associated On- and Off-Site Improvements](#)

**Recommendation:** Alternatives: 1, 2 and 3

1. Adopt a resolution recommending the City Council certify the Environmental Impact Report and adopt the CEQA Findings, Statement of Overriding Considerations, and Mitigation Monitoring and Reporting Program for the 1957 Pruneridge Avenue Residential Project.
2. Adopt a resolution recommending the City Council approve a rezoning of the project site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to allow construction of residential development consisting of 22 detached two-story residences with attached and detached garages, landscaping, and on- and off-site improvements, subject to conditions of approval.
3. Adopt a resolution recommending the City Council approve a Vesting Tentative Subdivision Map to subdivide the land into 22 individual lots and four common lots as a utility corridor, vehicle access, landscape open space and bioretention areas to serve the development, subject to conditions of approval.

**REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:**

1. Announcements/Other Items
2. Commissioner Travel and Training Reports, Requests to attend Trainings

**DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:**

1. Planning Commission Budget Update
2. Upcoming Agenda Items
3. City Council Actions

**ADJOURNMENT:**

*The next regular scheduled meeting is on Wednesday, March 6, 2024 at 6:00 PM in the City Hall Council Chambers and via Zoom.*



The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

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In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

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**any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.**



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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**24-229**

**Agenda Date: 2/21/2024**

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### **REPORT TO PLANNING COMMISSION**

#### **SUBJECT**

Planning Commission Meeting Minutes of January 31, 2024

#### **RECOMMENDATION**

Planning Commission Meeting Minutes of the January 31, 2024 Meeting





# City of Santa Clara

## Meeting Minutes

### Planning Commission

01/31/2024

6:00 PM

Hybrid Meeting  
 City Hall Council  
 Chambers/Virtual  
 1500 Warburton Avenue  
 Santa Clara, CA 95050

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#### **6:00 PM REGULAR MEETING**

#### **Call to Order**

**Chair Cherukuru** called the meeting to order at 6:03 pm

#### **Pledge of Allegiance and Statement of Values**

#### **Roll Call**

**Present** 6 - Vice Chair Yashraj Bhatnagar, Commissioner Nancy A. Biagini, Chair Priya Cherukuru, Commissioner Mario Bouza, Commissioner Lance Saleme, and Commissioner Eric Crutchlow

**Absent** 1 - Commissioner Qian Huang

**A motion was made by Commissioner Biagini, seconded by Commissioner Bhatnager to excuse Commissioner Huang.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

### **DECLARATION OF COMMISSION PROCEDURES**

**Secretary Bouza** read the Declaration of Procedures.

### **CONTINUANCES/EXCEPTIONS**

None.

### **CONSENT CALENDAR**

**A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to approve the Consent Calendar.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

1. [24-116](#) Special Planning Commission Meeting Minutes of January 24, 2024

**Recommendation:** Approve the Special Planning Commission Meeting Minutes of the January 24, 2024 Meeting

### **PUBLIC PRESENTATIONS**

None.

### **PUBLIC HEARING**

2. [24-1522](#) Public Hearing. Rezone Request from MP Planned Industrial to HO-RD High Intensity Office / R&D for the Properties Located at 2421, 2431, 2441 and 2451 Mission College Boulevard

- Recommendation:**
1. Determine that the project falls within the scope of the December 19, 2023 Addendum to the General Plan EIR.
  2. Adopt a resolution recommending the City Council approve a Rezone from MP Planned Industrial to HO-RD High Intensity Office / R&D.

**Planning Manager Lesley Xavier** provided the Staff presentation.

**Commissioners** inquired upon the proximity of residences to the project and the applicant intended use of the property. Staff replied the use is for medical offices and discussed the allowed uses for this property, high intensity office and R&D.

**A motion was made by Commissioner Biagini, seconded by Commissioner Bhatnagar to close Public Hearing.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

**A motion was made by Commissioner Biagini, seconded by Commissioner Saleme to approve Staff Recommendation 1.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

**A motion was made by Commissioner Crutchlow, seconded by Commissioner Biagini to approve Staff Recommendation 2.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

3. [24-1380](#) Public Hearing. Action on Environmental Impact Report, General Plan Amendment, and Use Permit to allow the construction of a new four-story, 244,068 square foot data center with a substation at 2805 Bowers Avenue

- Recommendation:**
1. Adopt a Resolution accepting the Environmental Impact Report prepared by the California Energy Commission (CEC) and adopting the Mitigation Monitoring and Reporting Program;
  2. Adopt a Resolution recommending the City Council approve the General Plan Amendment from High Intensity Office / Research and Development to Light Industrial, subject to findings; and
  3. Adopt a Resolution approving the Use Permit for the demolition of the existing building and construction of a new four-story 244,068 square foot data center with a substation and site improvements in the Light Industrial (ML) zoned property at 2805 Bowers Avenue, subject to findings and conditions of approval.

**Senior Planner Nimisha Agrawal** provided the staff presentation.

Commissioners had a robust discussion including questions and concerns on the proximity of schools and neighboring properties to the proposed data center, height of neighboring buildings, and tree removals at the site. Other items discussed were Commissioner concerns regarding the power usage by data centers and the large of amount of data centers throughout the City, location of generators at the data center and noise abatement.

Commissioners expressed concerns that there was no public input on this item and inquired on the noticing that took place and discussed using local labor hiring for the proposed project. Commissioners inquired on how to create a policy on data centers.

The Applicant and Applicant's team spoke on this item:

**Tim Guarnieri, Owner's representative, CEO**  
Mission Critical Reality

**Neil Sheehan, Principal (Architect)**  
SNHA  
**Scott Galati, President**  
DayZen LLC

**Michael Lisenbee, Senior Project Manager**

**Public Speaker:**  
Field Representative for Carpenters Local Union 405

**A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to close Public Hearing.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

3. [24-1380](#) Public Hearing. Action on Environmental Impact Report, General Plan Amendment, and Use Permit to allow the construction of a new four-story, 244,068 square foot data center with a substation at 2805 Bowers Avenue

**Recommendation:**

1. Adopt a Resolution accepting the Environmental Impact Report prepared by the California Energy Commission (CEC) and adopting the Mitigation Monitoring and Reporting Program;
2. Adopt a Resolution recommending the City Council approve the General Plan Amendment from High Intensity Office / Research and Development to Light Industrial, subject to findings; and
3. Adopt a Resolution approving the Use Permit for the demolition of the existing building and construction of a new four-story 244,068 square foot data center with a substation and site improvements in the Light Industrial (ML) zoned property at 2805 Bowers Avenue, subject to findings and conditions of approval.

**A motion was made by Commissioner Crutchlow, seconded by Commissioner Biagini to continue this item to the March 6, 2024 Planning Commission meeting and directed staff to provide additional notification to properties no less than 2,000 ft. with staff discretion to provide additional notification including schools and daycare facilities.**

4. [24-92](#) Study Session: 2023 State Housing Legislation Update

Meeting went into Recess at 8:16 pm and reconvened at 8:24 pm

**Assistant City Attorney Alexander Abbe** provided the staff presentation providing and overview of 2023 State Housing Legislation.

**REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:**

1. Announcements/Other Items
2. Commissioner Travel and Training Reports, Requests to attend Trainings

1. [24-117](#) APA National Planning Conference 2024

**Recommendation:** There is no staff recommendation.

**A motion was made by Commissioner Biagini, seconded by Commissioner Bhatnagar to expend funds for Commissioners Biagini and Cherukuru to attend the APA National conference in person; and for Commissioner Saleme to attend remotely.**

**Aye:** 6 - Vice Chair Bhatnagar, Commissioner Biagini, Chair Cherukuru, Commissioner Bouza, Commissioner Saleme, and Commissioner Crutchlow

**Excused:** 1 - Commissioner Huang

**DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:**

1. Planning Commission Budget Update

**Staff Aide II Elizabeth Elliott** provided budget updates.

2. Upcoming Agenda Items

**Planning Manager Lesley Xavier** provided updates.

3. City Council Actions

**Planning Manager Lesley Xavier** provided updates.

**ADJOURNMENT:**

The meeting adjourned at 9:43 pm. The next regular scheduled meeting is on Wednesday, February 21, 2024 at 6 pm in the Council Chambers and via Zoom.

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## Agenda Report

24-1612

Agenda Date: 2/21/2024

### REPORT TO PLANNING COMMISSION

#### **SUBJECT**

Public Hearing: Action on Significant Property Alteration Permit for a 1,207 Square Foot Addition to a Historic Residence and a Variance to Eliminate the Requirement for a Two-Car Garage at 1277 Jackson Street

#### **REPORT IN BRIEF**

File No.: PLN22-00667

Project: Significant Property Alteration Permit for an addition to a single-family residence and a Variance to eliminate the requirement to provide two covered parking spaces.

Applicant: Brandon Spencer

Owner: Brandon Spencer

General Plan: Very Low Density Residential

Zoning: Single-Family (R1-6L)

Site Area: 3,813 square foot

Existing Site Conditions: The project site is built with a 1,207 square foot two-bedroom, two-bathroom one-story single-family residence.

#### Surrounding Land Uses

North: Multi-family uses

East: Single-family uses

South: Single-family uses

West: Multi-family and single-family uses

Issues: Consistency with the City's General Plan and Zoning Ordinance

Staff Recommendation: Adopt a resolution approving the Significant Property Alteration Permit and for a 1,207 square foot addition and a Variance to eliminate the requirement for a two-car garage, subject to findings and conditions of approval.

#### **BACKGROUND**

On December 18, 2022, Brandon Spencer, property owner of 1277 Jackson Street, filed an application requesting a Significant Property Alteration Permit (File No. PLN22-00667) for a 1,207 square foot addition and a Variance to eliminate the requirement to provide a two-car garage. There is no existing garage or covered parking on-site. The subject property is listed as a historic resource (a Queen Anne Cottage constructed in 1899) on the City's Historic Resource Inventory (HRI). The subject site is zoned Single-Family (R1-6L) and the General Plan land use designation is Very Low Density Residential.

Note that this project was deemed complete prior to the effective date of the current zoning code and

therefore remains subject to the provisions of the previous zoning code in effect at the time. Zoning Code sections referred to in this staff report are from the prior zoning code.

#### *Significant Properties Alteration Permit*

According to Santa Clara City Code (SCCC) 18.106.050, a Significant Properties Alteration (SPA) permit is required for alteration proposals to an HRI property. In accordance with SCCC 18.106.050 (c)(2), the Historical and Landmarks Commission (HLC) reviews SPA permits for major alterations and makes a recommendation to the Planning Commission, where the Planning Commission shall approve or deny the application.

On December 7, 2023, the HLC heard the application for the proposed SPA permit (Attachment 5 - HLC Staff Report) to add habitable square footage to the basement of the existing two-bedroom, two-bathroom main residence resulting in a four-bedroom, one-office, and three-bathroom single-family residence.

#### *Variance*

The applicant has also applied for a Variance to eliminate the Zoning Code requirement for covered parking on-site. The City's Zoning Code requires two covered parking spaces for single-family residences. The project site does not currently provide any covered parking and is considered legal nonconforming. Prior to the Zoning Code Update, the City's standard practice was to require that a nonconforming single-family residence be brought into conformance with the parking requirement when there is an addition of 500 square feet or more. (Under the Updated Zoning Code, this threshold has been increased to 1,000 square feet, but with the proposed 1,207 square foot addition, the proposal would require a variance under either standard.) The applicant requests a Variance from this requirement and does not propose any covered parking on site.

According to SCCC 18.108, Variances are heard by the Planning Commission. Given that the SPA request is closely related to the Variance request, staff requested the HLC also make a recommendation regarding the Variance to the Planning Commission.

#### *HLC Recommendations*

The HLC recommended approval of both the Significant Property Alteration Permit and the Variance, with comments to correct the minor discrepancy of the basement ceiling height, to modify the proposed kitchen window to a single pane awning style, and for all new windows to match the existing wood-framed windows to the extent feasible (Attachment 6 - HLC Meeting Minutes). The applicant has incorporated all these recommended changes, which are reflected in the Development Plans, included as Attachment 1.

## **DISCUSSION**

### *Project Overview*

The applicant proposes to excavate the basement to add habitable square footage to the historic main residence. To accomplish this, the historic residence would be lifted from the existing foundation while the basement is excavated approximately two feet and the new foundation is installed. The final first floor elevation would remain the same as the original with no changes proposed to the existing front façade. The exterior changes include the addition of windows beneath the first story to provide light and egress for the basement. The architectural features of the Queen Anne Cottage will be retained as no distinctive features will be removed.

As the proposed project includes a 1,207 square foot addition, two covered parking spaces are required. There is no existing parking on-site. In addition, there is an in-ground pool and hot tub at the rear of the lot that limits where covered parking could be located. The required minimum lot width in the R1-6L zone is 60 feet and the subject property has a substandard 50 feet. The substandard 50-foot width of the lot and the existing layout of the home would require a significant demolition of the existing structure to accommodate the required dimension for two covered parking spaces of 20 feet in length by 20 in width. The applicant provided a Letter of Justification for the proposed Variance, included as Attachment 2.

#### *Consistency with the General Plan*

The General Plan designation for the project site is Very Low Density Residential. This classification is intended for residential densities of up to ten units per gross acre. Development is typically single family in scale and character, with a prevailing building type of single family detached dwelling units. Development in this classification maintains a feeling of suburban living with setbacks between structures, parking, large landscaped yards and tree lined streets. The proposed project would expand the existing historic single-family residence and is consistent with the following General Plan Policy:

5.3.1 P4 Encourage new development that meets the minimum intensities and densities specified in the land use classifications or as defined through applicable Focus Area, Neighborhood Compatibility or Historic Preservation policies of the General Plan.

The proposal is consistent with this policy in that the project is proposing to excavate the basement to add habitable square footage to the historic main residence while preserving and maintaining the history integrity of the structure.

#### *Zoning Conformance*

The zoning designation for the project site is Single-Family (R1-6L). This district is intended to stabilize and protect the residential characteristics of the district and to promote and encourage a suitable single-family residential environment. The proposed project does not comply with SCCC Section 18.12.120, which requires each single-family dwelling to have two garage or carport parking spaces. There is no existing covered parking on site and the project does not propose to provide any covered parking in conjunction with the residential addition.

Pursuant to SCCC Section 18.108.010, where practical difficulties, unnecessary hardships, and effects, inconsistent with the general purposes of the Zoning Code may result from the strict application of certain provisions, variances may be granted if the Planning Commission finds the following:

- (a) That there are unusual conditions applying to the land or building which do not apply generally in the same district.
- (b) That the granting of the variance is necessary for the preservation and enjoyment of substantial property rights of the petitioner.
- (c) That the granting of such variance shall not, under the circumstances of the particular case, materially affect adversely the health, safety, peace, morals, comfort or general welfare of persons

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residing or working in the neighborhood of the applicant's property, and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood.

(d) That the granting of the variance is in keeping with the purpose and intent of this title.

The property at 1277 Jackson Street does have unusual conditions in that the existing lot is of substandard size. The lot is smaller than the code required minimums for properties zoned R1-6L with a narrower lot width of 50 feet where the Code requires 60-feet and a smaller lot area of 3,813 square feet where the Code requires 6,000 square feet. The granting of this Variance is necessary for the preservation and enjoyment of the substantial property rights of the applicant in that the applicant is expanding into the basement of the residence and the existing house configuration and lot size limits the ability to provide two covered parking spaces on site.

#### Conclusion:

Consistent with the HLC recommendations, staff finds that the proposed modifications to the main house adhere to the Secretary of the Interior's Standards for Rehabilitation in that the exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed scope and Secretary of the Interior's Standards review indicate that the proposed alterations would be compatible with the historic materials, features, size, scale, proportion, and massing to the protect the integrity of the property and its environment.

Consistent with the HLC recommendations, staff is supportive of the Variance as this is a substandard lot that is 50 feet in width and the existing house configuration would not be able to accommodate a two-car garage. The proposed Variance would allow the property owner to reasonably use the property without incurring the substantial burden of reconstructing the house to accommodate a two-car garage.

#### **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(2) (Class 1 - Existing Facilities), in that the project is a small addition to the existing single-family residence that will result in an increase of not more than 10,000 square feet in an area where all public services and facilities are available and the area is not environmentally sensitive.

#### **FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

#### **COORDINATION**

This report has been coordinated with the City Attorney's Office.

#### **PUBLIC CONTACT**

On February 8, 2024, a notice of public hearing on this item was posted in three conspicuous locations within 300 feet of the project site and mailed to property owners within 300 feet of the project site. At the time of this staff report, Planning staff has not received public comments in support or opposition to the proposed project.

**RECOMMENDATION**

1. Determine that the Project is categorically exempt from formal environmental review per Section 15301(e)(2), Existing Facilities, of the CEQA Guidelines; and
2. Adopt a Resolution to approve a Significant Property Alteration Permit for alterations to the main historic resource and a Variance to eliminate the requirement for a two-car garage, subject to findings and conditions of approval.

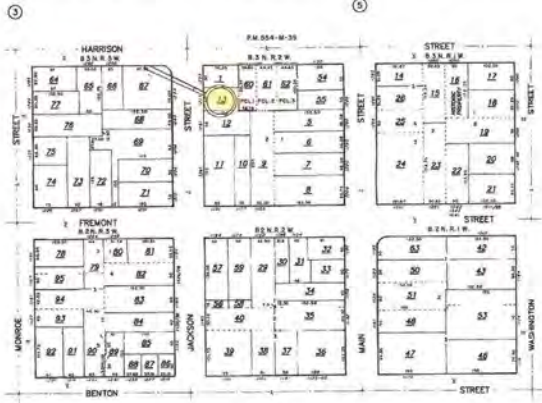
Prepared by: Tiffany Vien, Associate Planner

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

**ATTACHMENTS**

1. Development Plans
2. Letter of Justification
3. Resolution to Approve the Significant Property Alteration Permit and the Variance
4. Conditions of Approval
5. HLC Staff Report
6. HLC Minutes



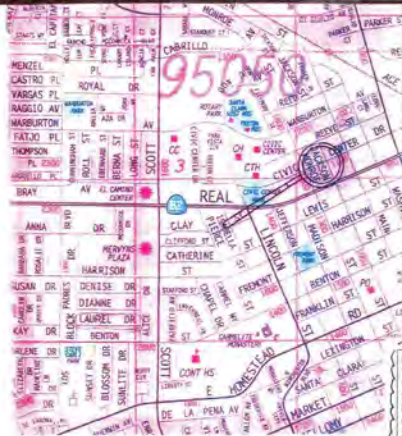
PROPERTY OVERVIEW 1277 JACKSON ST, SANTA CLARA, CA 95050-8022

Owner and Design/Build Information

|   |   |
|---|---|
| Project Name: SPENCER RESIDENCE APPELLA MOHELLE           | Secondary Owner:  |
| Site Address: 1277 JACKSON ST, SANTA CLARA, CA 95050-8022 | Mail Address: 1277 JACKSON ST, SANTA CLARA, CA 95050-8022 |
| APN: 089 010 010  | Lot Number: 1   |
| Maping Tract Number: 077 SANTA CLARA                      | Page Size:  |
| Legal Description: 077 SANTA CLARA                        |   |
| City/County/Zone: SANTA CLARA                             |   |

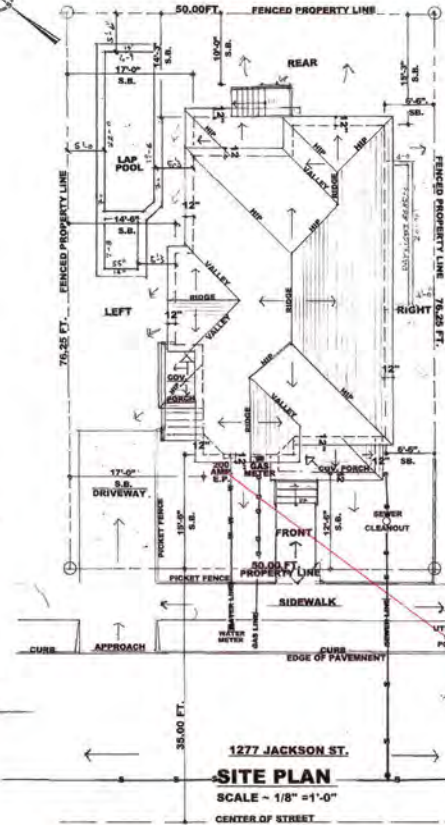
| Property Details |                                      |
|------------------|--------------------------------------|
| APN: 089 010 010 | Year Built: 1890                     |
| APN: 089 010 010 | Year Remodeled: 2023                 |
| APN: 089 010 010 | Number of Units: 1                   |
| APN: 089 010 010 | Number of Stories: 1                 |
| APN: 089 010 010 | Year Sold: Single Family Residential |

41422 11/26 AM 1277 Jackson St, Google Maps



VICINITY MAP

NOTE: 1. 5000 APRON WOOD WINDOW REQUIRED TO REPLACE 5020 SL. WINDOW BELOW DINING ROOM WINDOW.  
2. WOOD WINDOWS SHALL BE REQUIRED TO MATCH EXISTING. VINYL CLAD WINDOWS SHALL NOT BE USED. CHANGES MADE ON A3, A4, A6, A7.  
3. POSSIBLE 8FT.-0" FRAMED CEILING TO ALLOW CLEARANCE FOR PLUMBING MECHANICALS, ELECTRICAL WORK; BELOW PROPOSED STRUCTURAL FRAMING AT 9FT.-0". SHOWN ON SECTION A-A. ON AS.



NOTE: DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM. POOL GUARD-RPM INDUSTRIES INC MODEL BAPT-WT UL 2017 OR EQUIVALENT, TO BE INSTALLED. THE ALARM WILL PRODUCE AN AUDIBLE BEEPING WHEN THE DOOR AND/OR SCREEN, IF PRESENT, ARE OPENED. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 5'4" ABOVE THE DOOR THRESHOLD.

**PARCEL DATA:**

**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA.

|                               |  |
|-------------------------------|--|
| 1. PARCEL NO.:                | 269-15-013                                 |
| 2. YR. BUILT:                 | 1890                                       |
| 3. LOT SIZE:                  | 3812.50 SF.                                |
| 4. BUILDING:                  | 1-STORY                                    |
| 5. SPRINKLER SYSTEM REQUIRED: | YES  |
| 6. ZONING:                    | R1 SINGLE FAM. RES.                        |
| 7. TYPE OF CONSTR.:           | VB   |
| 8. GROUP OCCUPANCY:           | R3   |
| 9. GARAGE:                    | NONE                                       |
| 10. LIVING SPACE:             |  |
| EXISTING 1-STORY HOUSE:       | 1207.00 SF.                                |
| PROPOSED BASEMENT FOR LIVING: | 1207.00 SF.                                |
| TOTAL LIVING:                 | 2414.00 SF.                                |
| TOTAL LOT COVERAGE:           | 1207.00 SF.                                |
| 11. COV. ALLOW'D:             | 3812.50 SF. X .40(%) = 1525.00 SF.         |
| 12. F.A.R.:                   | (1207.00 SF.) / 120700 SF. = 0.3162 OR 32% |

**SCOPE OF WORK: SPENCER RESIDENCE 5-31-2023**

- A. SELECTED CONTRACTOR PROPOSES TO:**
1. DEMO EXISTING BASEMENT AREA WITH 6.5' CEILING FOR (N) BASEMENT/FOUNDATION W/ NEW CEILING HT. OF 8 FT.-0" MIN.
  2. CONSTRUCT NEW BASEMENT AS ADDITIONAL LIVING SPACE WITH LAUNDRY, BATHROOM, TWO BEDROOMS WITH CLOSETS KITCHEN, GAME ROOM, FAMILY ROOM, STAIRCASE TO FIRST FLOOR AND A DAYLIGHT, EGRESS AREA CONSISTING OF LADDERS FOR ESCAPE WITH GRATING COVER AND SUMP PUMP.
  3. INSTALL NEW FURNACE/AC IN BASEMENT AREA.
  4. CONSTRUCT STAIRCASE ON (E) MAIN FLOOR TO (N) BASEMENT WITH SUPPORTING STRUCTURE.
  5. PROVIDE ELECTRICAL AND PLUMBING AS NEEDED.
  6. INSTALL NEW TANKLESS WATER HEATER @ REAR OF HOUSE.
  7. CONTRACTOR SHALL MATCH EXTERIOR FINISH AND TRIM.
    - A. EXISTING 1<sup>ST</sup> STORY (1207.00 SF.).
    - B. PROPOSED BASEMENT TO EXT. FDN. WALLS (1207.00 SF.).
- B. ALL WORK SHALL COMPLY WITH:**
- 2022 BUILDING ENERGY STANDARDS
  - 2022 CALIFORNIA ENERGY CODE, TITLE 24
  - 2022 CALIFORNIA FIRE CODE
  - 2022 CBC CALIFORNIA BUILDING CODE
  - 2022 CBC CALIFORNIA RESIDENTIAL CODE
  - 2022 CBC CALIFORNIA ELECTRICAL CODE
  - 2022 CPC CALIFORNIA PLUMBING CODE
  - 2022 CMC CALIFORNIA MECHANICAL CODE
  - 2022 IBC CALIFORNIA INTERNATIONAL CODE
  - 7-15 ASCE AMERICAN SOC. OF CIVIL ENGINEER'S
  - 318-15 ACI AMERICAN CONCRETE INSTITUTE
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR:**
- ALL LOCAL CODES AND REGULATIONS INCL. ALL SETBACKS
  - ALL SUB-CONTRACTORS, THEIR WORKMANSHIP AND SCHEDULES. BECOME FAMILIAR WITH ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION. THIS PLANNING/ARCH. SHALL ASSUME NO LIABILITY FOR PREVIOUS WORK PERFORMED BY OTHERS WITH OR WITHOUT OFFICIAL BUILDING PERMITS FROM THE CITY OF SANTA CLARA PLANNING, BUILDING DEPARTMENTS, ETC.
- NOTE TO HOMEOWNER/CONTRACTOR:**
- PER CODE R313.2, CHAPTER 15.17. (AS A DEFERRED ITEM). AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BASEMENTS REGARDLESS OF SIZE AND THROUGHOUT EXISTING BASEMENTS THAT ARE EXPANDED MORE THAN 50%.

**PLAN INDEX: SPENCER RESIDENCE 2023**

|  |
|--|
| A1. SITE PLAN/PARCEL DATA                          |
| A1.B SITE PLAN/NOTES                               |
| PC. PRESERVATION COMPLIANCE INFORMATION            |
| T24-1 TITLE 24 REPORT                              |
| T24-2 TITLE 24 REPORT                              |
| GN. GENERAL PLAN NOTES 2023                        |
| CWM. CONSTR. WASTE MANAGEMENT PLAN                 |
| CMCC. CALGREEN MAN. MEASURES/CHECKLIST             |
| A2. EXISTING FLOOR PLAN                            |
| A2.1 DEMO PLAN                                     |
| A3. PROPOSED 1 <sup>ST</sup> FLOOR & BASEMENT PLAN |
| A4. ELECTRICAL: 1 <sup>ST</sup> FLOOR & BASEMENT   |
| A5. SECTION: A-A                                   |
| A6. EXISTING ELEVATIONS: ALL SIDES                 |
| A7. PROPOSED ELEVATIONS: ALL SIDES                 |
| S0 STRUCTURAL NOTES AND DETAILS                    |
| S1 FOUNDATION/1 <sup>ST</sup> FLOOR FRAMG/BASEMT.  |
| S2 NO ENGINEERING SHEET                            |
| S3 STRUCTURAL DETAILS                              |
| E1. NOTES & DETAILS                                |
| TWH TANKLESS WATER HEATER DETAILS                  |
| BEST MANAGEMENT PRACTICES. (CITY OF SANTA CLARA)   |

| REVISIONS | BY       |
|-----------|----------|
| 1         | 12-23-21 |
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|           |          |

PLANNING COMMENTS TO: LUCIO COSTANZO 408-264-0220 408-264-0220 CELL 408-264-0220

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR: THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA. 95050  
PLANNING: LUCIO COSTANZO 408-264-0220  
STRUCTURAL ENGINEER: TONY TRUONG PE. 408-899-0220

**SITE PLAN**

DRAWN: LOU COSTANZO  
CHECKED: S.C.  
DATE: 12-28-21  
SCALE: 1/8" = 1'-0"  
JOB NO: S20210  
SHEET: A1

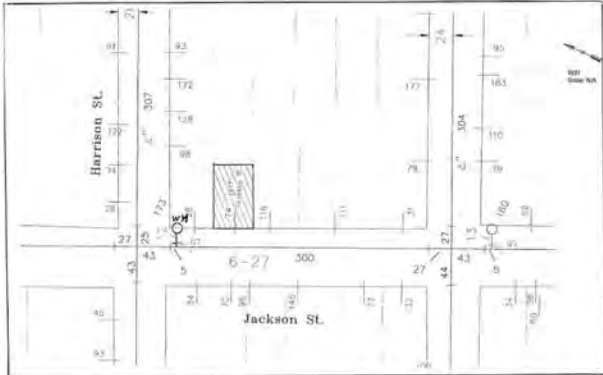
From: Ahmed Aly <>  
 Date: Tue, Mar 21, 2023 at 1:28 PM  
 Subject: RE: Application Submitted - PLN22-00667  
 To: Tiffany Vien <>  
 CC: Ferrara, Michelle <>, Lou Costanzo <>  
 <>, Brandon Spencer <>

Good Afternoon Brandon and Tiffany,

I apologize, this must of slipped through the cracks. Attached is the City water block book information which tells you where the service would be. According to your records, the site is served by a 6" service. This REV information should be verified in the field by your engineer, surveyor, architect or contractor.

Let me know if you have any other questions.

THANKS,



WATER & SEWER -  DEEMED COMPLETE  DEEMED INCOMPLETE  
 Reviewed by: Ahmed Aly

**W1. Existing Services:**

The applicant shall show all existing water and sewer services, meters, and mains on the plans and indicate their sizes on the proposed site plan or on a composite utility plan. If the existing services will not be used, then the applicant shall properly abandon these services at the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.

**W2. New 1-inch Domestic Water Service:**

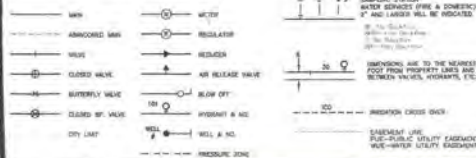
The project shall install a new 1-inch service and meter to serve the new fire sprinkler system. The placement of the service shall comply with the City's separation requirements.

**W3. Utility Separations:**

Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.

**NOTE: NEW 1-INCH WATER SERVICE IS REQUIRED.**  
 OWNER SHALL INSTALL A NEW 1 INCH SERVICE AND METER TO SERVE THE NEW FIRE SPRINKLER SERVICE. THE PLACEMENT OF THIS SERVICE SHALL COMPLY WITH THE CITY'S SEPARATION REQUIREMENTS.  
**NOTE: UTILITY SEPARATION NOTES:**  
 ALL HORIZONTAL AND VERTICAL CLEARANCES SHALL COMPLY WITH STATE AND LOCAL REGULATIONS. MAINTAIN A MINIMUM 12 INCHES OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES:  
 10 INCHES FROM SANITARY SEWER UTILITIES,  
 10 INCHES FROM RECYCLED WATER UTILITIES,  
 8 INCHES FROM STORM DRAIN UTILITIES,  
 5 FT. FROM FIRE AND OTHER WATER UTILITIES,  
 5 FT. FROM ABANDONED WATER SERVICES,  
 5 FT. FROM GAS AND ELECTRIC UTILITIES,  
 5 FT. FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES. OWNER SHALL MAINTAIN A MINIMUM DISTANCE OF 10 FT. FROM EXISTING AND PROPOSED TREES. IF OWNER INSTALLS TREE ROOT BARRIERS, CLEARANCES FROM TREE REDUCES TO 5 FT. (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES) AND STRUCTURES (FENCING, FOUNDATION, BIOFILTRATION SWALES, ETC.) ALLOWED OVER SANITARY SEWER, POTABLE WATER AND RECYCLED WATER UTILITIES AND EASEMENTS.

**WATER SYSTEM LEGEND**



VICINITY MAP



1277 JACKSON ST.  
**SITE PLAN**  
 SCALE = 1/8" = 1'-0"  
 CENTER OF STREET

Dear Santa Clara Planning Department,

I am writing to request a property variance to exempt us from the requirement to provide additional covered parking on our property located at 1277 Jackson Street. We respectfully request that you grant us the variance based on the unique challenges we face in providing the additional covered parking.

Our property faces several obstacles that make it difficult to provide covered parking, including a substandard lot size and the absence of a garage. Additionally, we have an in-ground pool and hot tub that impede where additional parking could be positioned. While we have widened our driveway to accommodate more off-street parking, providing covered parking would be a significant challenge. We are open to other ideas if preferred, but we do not wish to compromise the safety or aesthetics of our property.

We have explored several alternative solutions to address the additional parking issue, including parking off-site, carpooling, and utilizing public transportation. While carpooling has worked for us, the other options do not meet our family's needs. We understand that the zoning regulations require covered parking, but we respectfully request an exemption based on the unique challenges we face.

We assure you that we will take all necessary measures to ensure that our property remains safe and aesthetically pleasing, even without covered parking. We are committed to complying with all other zoning regulations and appreciate the opportunity to work with the board to find a solution that meets everyone's needs. We would also like to emphasize that our in-ground pool and hot tub are essential to our family's quality of life, and we hope to find a solution that allows us to keep them intact.

As long-time residents of Santa Clara and proud homeowners, we hope that you will grant us the variance so that we may continue to enjoy our neighborhood and schools and make our property our forever home. We thank you for your time and consideration and look forward to hearing back from you soon.

Sincerely,

Brandon and Michelle Spencer

**NOTE TO HOMEOWNER/CONTRACTOR:**  
 PER CODE R313.2, CHAPTER 15.17... (AS A DEFERRED ITEM), AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BASEMENTS REGARDLESS OF SIZE AND THROUGHOUT EXISTING BASEMENTS THAT ARE EXPANDED MORE THAN 50%.

**PARCEL DATA:**

**THE SPENCER RESIDENCE**  
**1277 JACKSON ST., SANTA CLARA CA.**

|   |  |
|---|--|
| 1. PARCEL NO.:                                      | 289-15-013                                       |
| 2. YR. BUILT:                                       | 1890   |
| 3. LOT SIZE:  | 3812.50 SF.                                      |
| 4. BUILDING:  | 1-STORY  |
| 5. SPRINKLER SYSTEM REQUIRED:                       | YES  |
| 6. ZONING:  | R1 SINGLE FAM. RES.                              |
| 7. TYPE OF CONSTR.:                                 | VB   |
| 8. GROUP OCCUPANCY:                                 | R3   |
| 9. GARAGE:  | NONE   |
| 10. LIVING SPACE:                                   |  |
| EXISTING 1-STORY HOUSE:                             | 1207.00 SF.                                      |
| PROPOSED BASEMENT FDR LIVING:                       | 1202.00 SF.                                      |
| TOTAL LIVING:                                       | 2414.00 SF.                                      |
| TOTAL LOT COVERAGE:                                 | 1207.00 SF.                                      |
| 11. COV. ALLOW'D: 0.38125 SF. X 40(%) = 1525.00 SF. |  |
| 12. P.A.R.:   | (1207.00 SF.)                                    |
|   | (120700 SF. -/ 3812.50.00 SF. = 0.3146) OR 0.32% |

**PLAN INDEX: SPENCER RESIDENCE 2023**

- A1. SITE PLAN/PARCEL DATA
- A0. SITE PLAN/NOTES
- PC. PRESERVATION COMPLIANCE INFORMATION
- T241 TITLE 24 REPORT
- T242 TITLE 24 REPORT
- GN. GENERAL PLAN NOTES 2022
- CWM. CONSTR. WASTE MANAGEM'T PLAN
- CMCM. CALGREEN MAN. MEASURES/CHECKLIST
- A2. EXISTING FLOOR PLAN
- A2.1 DEMO PLAN
- A3. PROPOSED 1<sup>ST</sup>. FLOOR & BASEMENT PLAN
- A4. ELECTRICAL: 1<sup>ST</sup>. FLOOR & BASEMENT AS. SECTION: A - A
- A6. EXISTING ELEVATIONS: ALL SIDES
- A7. PROPOSED ELEVATIONS: ALL SIDES
- S0 STRUCTURAL NOTES AND DETAILS
- S1 FOUNDATION/1<sup>ST</sup>. FLOOR FRAM'G/BASE/MT.
- S2 NO ENGINEERING SHEET
- S3 STRUCTURAL DETAILS
- E1. NOTES & DETAILS
- TW1 TANKLESS WATER HEATER DETAILS
- BE1 MANAGEMENT PRACTICES. (CITY OF SANTA CLARA)

| REVISION | BY     |
|----------|--------|
| 1        | A. Aly |

FOR COMMENTS OR CONCURRENCE  
 CALL: 408-999-0220  
 FAX: 408-999-0220  
**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR: THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLANNING: LOU COSTANZO 1901 SAN GABRIEL AVENUE, SUITE 100, SAN JOSE, CA 95128  
 STRUCTURAL: ENGINEER: TONY TRUONG TEL: 408-999-0220

**SITE PLAN**

DRAWN: LOU COSTANZO  
 CHECKED: S.C.  
 DATE: 12-28-21  
 SCALE: 1/8" = 1'-0"  
 JOB NO: 320210  
 SHEET: A1.0







HISTORIC RESOURCES INVENTORY

NO. \_\_\_\_\_ DATE: \_\_\_\_\_ HAER \_\_\_\_\_ NR \_\_\_\_\_ SSN \_\_\_\_\_ LAG \_\_\_\_\_ B \_\_\_\_\_

IDENTIFICATION

1. Common name: \_\_\_\_\_  
 2. Historic name: \_\_\_\_\_  
 3. Street or other address: 1277 Jackson St.  
 City: Santa Clara Zip: 95050 County: Santa Clara  
 4. Parcel number: 294513  
 5. Present owner: Lawrence Address: 1277  
 City: \_\_\_\_\_ Zip: \_\_\_\_\_ Ownership (if Public): \_\_\_\_\_ Private   
 6. Present (date) title: Family res. Original use: Single family res.

DESCRIPTION

7a. Architectural style: Queen Anne Cottage  
 7b. Briefly describe the present appearance of the site or structure and describe any significant features in its original condition: 1277 Jackson Street is a single story wooden residence built on a rectangular plan and designed in a Queen Anne Cottage style. The structure exhibits a steeply pitched central roof with 2 offset pedimental-shaped gables and 3 low hipped porch roofs projecting from it. The various roof planes are sheathed in patterned asphalt shingles. The body of the house is sheathed in wide ship lap with over-sized wooden endboards. Flathead shingles ornament the gables. The facade is distinguished by a slightly cut-out, angled bay and two porches. A rectangular entry porch that is supported by 4 turned posts and a small slovenly porch supported by 4 turned posts. Both porches contain 6 straight steep wooden stairs and are highly ornamented by sunburst and cut-out wooden screens under the broad cornice and plain frieze of the porch roofs. Fenestration is generally single and paired, rectangular double-hung windows. A small pediment window highlights the front facing gable. Spinners, pendants and carved, ovalized, wooden brackets ornament one side of the angled bay. Landscaping is minimal. The ever attached garage is an addition.



1777 JAC. - City of Santa Clara  
 Sec. for photos and  
 drawings

Condition: Good Estimated: 1910 Architect: W.C.  
 D. Builder: W.C.

1. Approx. property size (in fact): 300 sq. ft.  
 2. Date of record photograph: April 11, 1979

13. Condition: Excellent  Good  Fair  Deteriorated  No longer in existence   
 14. Alterations: Attached rear garage   
 15. Surroundings: (Check more than one if necessary) Open land  Scaled buildings  Density built-up  Residential  Industrial  Commercial  Other   
 16. Threats to site: None known  Private development  Zoning  Vandalism  Public Works project  Other   
 17. Is the structure: One of original site?  Moved?  Unknown?   
 18. Relationship: One of 3 identical houses in a row.

19. Significance: Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site).  
 The site is significant primarily due to its architecture and the fact that it is one of 3 identical Queen Anne Cottages (with 8,125 and 8,126 Jackson) which despite minor alterations in detail over the years, perfectly reflect the early speculative housing technique for new residential development in Santa Clara. The set of 3 identical Queen Anne Cottages in a row provides a unique addition to the City's urban heritage. This 1910 Sanborn Insurance map shows all three identical Queen Anne Cottages built on their present locations except that their lot numbers are much larger. The 1915 City Directory lists Augustine F. Cron as the owner/occupant of the residence.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
 Architectural  Arts & Letters   
 Economic/Industrial  Exploration/Settlement   
 Government  Military   
 Religion  Scientific/Educational

21. Sources: (List books, documents, newspaper articles, photographs, etc.)  
 Sanborn Insurance Map 1891, 1915. Potts City Directory 1915.

22. Date form prepared: June 1, 1980  
 By: Bonnie Bamburg  
 City: Santa Clara Zip: 95050  
 Phone: (408) 354-3111



Photograph 3 1281 Jackson Street.

View: Front facade showing the very similar Queen Anne Cottage architectural design found in the three houses including the 8 steps to the first level, approximately 4 feet above grade level.



Photograph 4 1277 Jackson Street.

View: front and right facade showing the first level floor is approximately 4 feet above grade. Proposed windows would be on this side of the building, which is not visible from the street.



Photograph 5 1285 Jackson Street.

View Front facade showing the steep steps to the first level of the house, approximately 4 feet above grade. This house shows the most remodeling and loss of architectural details yet retains a visual connection to the other two homes.

Three Queen Anne Cottages in a Row: The row of three Victorian era house listed in the Santa Clara Historical Resources Inventory, are the same style, and form and mass. All are single story and have partial basements with the main floor elevated above the grade approximately 4 feet. Each has 6 stairs leading to the porch and horizontal board siding on all walls of the buildings. Each house also has windows in the basement walls below the first level.

The proposed excavation of the basement at 1277 Jackson Street will allow the occupancy use of the basement and maintain the same approximately 4-foot elevation to the porch and first level floor. The overall height of the house remains the same. The proposed plan does not change the appearance of the row of three Queen Anne Cottages, nor does it depart from the historic development pattern as shown by the three c.1890 houses. The proposed excavation of the basement at 1277 Jackson Street will not be an adverse change to the architectural character of the house or the neighboring houses. The significance stated in the 1979 Historic Resources Inventory will be maintained and is not diminished by the proposed plan to provide additional height in the basement of 1277 Jackson Street.



Figure 1 Section of the 1915 Santa Clara Sanborn Mappage 213, showing the 3 Queen Anne cottages.

1. Each separate historic resource to be preserved, reconstructed, repaired, or restored. Historic character shall be preserved, reconstructed, repaired, or restored. Historic character shall be preserved, reconstructed, repaired, or restored. Historic character shall be preserved, reconstructed, repaired, or restored.
2. The proposed plan to add living space in a basement will not change the sense of the c. 1890 historical development. The house was developed with a basement. No conjectural features will be added.
3. Changes to a historic resource shall not be made unless they are necessary to preserve the historic resource. All architectural features will be retained. Although none of the alterations have acquired historic importance, none will be removed.
4. The foundation has failed and must be replaced. The foundation is not considered a distinctive feature or one that represents specific construction techniques or craftsmanship.
5. During the proposed construction, any deteriorated material, horizontal board siding or window frames will be repaired or replaced in kind.
6. Because the site has been disturbed by the construction of the existing house and basement it is unlikely that archeological resources of importance would be found. However, an archeological survey was not conducted as part of this evaluation process.
7. The proposed plans do not destroy important historical materials of features that characterize the Queen Anne Cottage architecture.
8. The proposed plan to add a functional basement to the historic house is in conformance with the Secretary of the Interior's Standards.



Urban Programmers  
 Santa Clara City Hall  
 1500 Washington Street  
 Santa Clara CA 95050

Subject: 1277 Jackson Street, Proposed Basement Excavation  
 Purpose of this memo: The house at 1277 Jackson Street is one of a trio of very similar Queen Anne Cottage style houses constructed prior to 1891. Together they represent a late nineteenth century development pattern. The properties at 1285 and 1281 Jackson Street are on each side of 1277 Jackson Street and each are individually listed in the Santa Clara Historic Resources Inventory. The owners of the property at 1277 Jackson Street have submitted a plan to replace the failing foundation. As part of the plan the partial basement will be excavated to an 8-ft. height basement, creating a space to be occupied. This will require compliance with life safety codes, including windows for egress, light and air. The City of Santa Clara has required that the plan be evaluated by qualified consultants to determine if the changes through the character-defining architectural features of the house or of the trio of buildings.

The Study/Evaluation: Urban Programmers was asked to review the proposed plans and to compare the changes with the Secretary of the Interior's Standards for Rehabilitation; the criteria used by the City of Santa Clara.

Methodology: Urban Programmers conducted a site visit and took photographs of the three properties. The proposed plans were reviewed to determine if the changes were consistent with the "Standards", and how the changes might affect the group when all three buildings were considered. Marvin Bamburg, AIA, Historic Architect/NWIC and Bonnie Bamburg participated in this evaluation.

Existing property: The site visit conducted by Urban Programmers on September 2, 2002, confirmed that although there have been alterations, the 3 Queen Anne Cottage style houses retained sufficient integrity to be recognized as a pattern of speculative development c. 1890. The front and primary facade of 1277 Jackson St. appears very much the same as it did in the 1979 HRG photograph. The house at 1277 Jackson Street, and the other two, have identical designs that include the first floor raised 4 feet above grade, over the foundation and original wall. Each house has 6 steep steps leading to the front and side porches. Only the house at 1277 Jackson St. was available to be inspected at facade. However, it appeared that all were very similar with horizontal board siding covering the walls including the basement where side windows appear to be original to the design.



Photograph 1 1277 Jackson St.

View: Front facade. Note the raised first level floor level. Few alterations to the architectural details of the front facade.

Photograph 2 1277 Jackson St.

View: Front facade and right side wall. Note the raised level of the porch and first floor.

Proposed plans: The house will be lifted from the existing foundation and stabilized while the 8 foot 6 inches high basement is excavated approximately 2 feet and the new foundation is installed. The house will be lowered onto the new foundation and structurally connected. The basement room height floor to ceiling will be 8 feet. The first floor elevation will remain the same as the original elevation. The stair accessing the new basement will be inside the house. The front porch and front facade features will be repaired where needed and

The proposed plans to create a usable basement were prepared by Lori Constanen and dated 12-20-2021 and are attached to this evaluation.

preserved. No changes are proposed for the front facade. The exterior changes are to add windows beneath the first-floor level to provide light and air egress for the basement. The change on the right side of the house will be two new windows will be added and set within concrete a window well to provide emergency egress. On the left side small sliding style windows are set within the wall above grade in the same area that windows already exist. No changes or alterations are proposed for the exterior facade above the basement level.

The following is a comparison of the proposed basement level plans and the Secretary of the Interior's Standards, for rehabilitating historic buildings.

The house at 1277 Jackson Street will retain the historic residential use.

The character of the house will be retained with no changes to the architectural features of the Queen Anne Cottage. There is very little removal of existing material, all distinctive features and spaces that characterize the house will be retained. Providing a usable basement does not require the removal of distinctive materials.

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |

FOR: THE SPENCER RESIDENCE  
 1277 JACKSON ST., SANTA CLARA, CA.  
 FROM: BONNIE BAMBURG,  
 11070 RIDGEVIEW AV., SAN JOSE, CA. 95127  
 (408) 254-7171  
 bbamburg@urbans.com

A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
 THE SPENCER RESIDENCE  
 1277 JACKSON ST., SANTA CLARA, CA. 95050  
 DRAWN BY: BONNIE BAMBURG, 11070 RIDGEVIEW AV., SAN JOSE, CA. 95127 (408) 254-7171  
 STRUCTURAL ENGINEER: TONY TRUONG, INC. (408) 893-2225

PRESERVATION COMPLIANCE INFORMATION

DRAWN BY: BONNIE BAMBURG  
 CHECKED BY: \_\_\_\_\_  
 DATE: 9-25-22  
 SCALE: NONE  
 JOB NO.: B. BAMBURG  
 SHEET: \_\_\_\_\_  
 PC



### Construction Waste Management Worksheet (4 Lbs. per Sq. Ft. Method) - CW 6

Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project Location: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Waste Worker: \_\_\_\_\_

| Waste Material Type  | Insert into bins per category below |                          |           | Total Area of Project (Square Feet) | Total Lbs. per Square Foot | STATUS |
|----------------------|-------------------------------------|--------------------------|-----------|-------------------------------------|----------------------------|--------|
|                      | Waste Diverted                      | Recycled (unless Reused) | Not Waste |                                     |                            |        |
| Asphalt              | -                                   | -                        | -         |                                     |                            |        |
| Asphalt Shingles     | -                                   | -                        | -         |                                     |                            |        |
| Brick (Reused)       | -                                   | -                        | -         |                                     |                            |        |
| Cardboard            | -                                   | -                        | -         |                                     |                            |        |
| Curbside             | -                                   | -                        | -         |                                     |                            |        |
| Curbside/Curb Pad    | -                                   | -                        | -         |                                     |                            |        |
| Concrete             | -                                   | -                        | -         |                                     |                            |        |
| System Board Drywall | -                                   | -                        | -         |                                     |                            |        |
| Masonry              | -                                   | -                        | -         |                                     |                            |        |
| Metals               | -                                   | -                        | -         |                                     |                            |        |
| Paints               | -                                   | -                        | -         |                                     |                            |        |
| Wood (longboards)    | -                                   | -                        | -         |                                     |                            |        |
| Wood (short boards)  | -                                   | -                        | -         |                                     |                            |        |
| Office Waste         | -                                   | -                        | -         |                                     |                            |        |
| Other                | -                                   | -                        | -         |                                     |                            |        |
| Other                | -                                   | -                        | -         |                                     |                            |        |
| <b>Total:</b>        |                                     |                          |           |                                     |                            |        |

**Notes:**  
 Step 1 - Insert weight totals into Columns A and B where appropriate and total columns.  
 Step 2 - Subtract Column B total from Column A total and insert difference into Column C total (Net Waste).  
 Step 3 - Divide Net Waste (Column C) total by Project Area (Column D) to find the net weight of construction waste per Sq. Ft.  
 Step 4 - Insert total into Column E. If equal to 4 Lbs. or less per sq. ft., compliance with 50 percent waste reduction requirement is achieved.  
 For additional instructions and information, please see reverse.  
 \*Area of project also includes garages, breezeways, and attached roof structures (covered patios, etc.)

### Weight or Volume Summary Worksheet - CW 4

Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project Location: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Waste Worker: \_\_\_\_\_

| Worksheet by page #  | Insert Totals Below |                         | Compliance Method (14CFR only one box) |                                 |
|----------------------|---------------------|-------------------------|--|---------------------------------|
|                      | Diverted            | Non-Recycled (Disposed) | <input type="checkbox"/> Volume        | <input type="checkbox"/> Weight |
| Worksheet 1          |                     |                         |  |                                 |
| Worksheet 2          |                     |                         |  |                                 |
| Worksheet 3          |                     |                         |  |                                 |
| Worksheet 4          |                     |                         |  |                                 |
| <b>Grand Totals:</b> |                     |                         |  |                                 |

**Notes:**  
 Step 1 - Insert totals from Weight or Volume worksheets to Columns C and/or D.  
 Step 2 - Add each Column down and enter grand total in the boxes provided.  
 If Column C is larger than Column D compliance with the 50% waste reduction requirement is achieved.  
**Significance:**  
 The signature below represents that the information provided on this form is true and correct and certifies that I have treated construction waste during the course of this project and that a minimum of 50% of the total waste has been diverted for other reuse or recycling.  
 Company Name: \_\_\_\_\_  
 Responsible Person's Name: \_\_\_\_\_  
 Date Signed: \_\_\_\_\_

### Construction Waste Management Worksheet (Weight Method) - CW 3

Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project Location: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Waste Worker: \_\_\_\_\_

| Waste Material Type  | Insert weight totals into proper category below |        |          |                         | STATUS |
|----------------------|---|--------|----------|-------------------------|--------|
|                      | Recycled  | Reused | Diverted | Non-Recycled (Disposed) |        |
| Asphalt              | -   | -      | -        | -                       |        |
| Asphalt Shingles     | -   | -      | -        | -                       |        |
| Brick (Reused)       | -   | -      | -        | -                       |        |
| Cardboard            | -   | -      | -        | -                       |        |
| Curbside/Curb Pad    | -   | -      | -        | -                       |        |
| Concrete             | -   | -      | -        | -                       |        |
| System Board Drywall | -   | -      | -        | -                       |        |
| Masonry              | -   | -      | -        | -                       |        |
| Metals               | -   | -      | -        | -                       |        |
| Paints               | -   | -      | -        | -                       |        |
| Plastics             | -   | -      | -        | -                       |        |
| Wood (longboards)    | -   | -      | -        | -                       |        |
| Wood (short boards)  | -   | -      | -        | -                       |        |
| Office Waste         | -   | -      | -        | -                       |        |
| Other                | -   | -      | -        | -                       |        |
| Other                | -   | -      | -        | -                       |        |
| <b>Total:</b>        |   |        |          |                         |        |

**Notes:**  
 Step 1 - Insert weight totals into Columns A, B, and D where appropriate.  
 Step 2 - Add Column A to Column B and insert total into Column C for total diverted weight.  
 Step 3 - Add each column down and enter totals in the boxes provided.  
 If Column C is larger than Column D (on the summary sheet), compliance with 50 percent waste reduction requirement is achieved.  
 If multiple worksheets are used, transfer column totals from each worksheet to the summary sheet.  
 For additional instructions and information, please see reverse.

### 4 Lbs. per Sq. Ft. Summary Worksheet - CW 5

Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project Location: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Waste Worker: \_\_\_\_\_

| Worksheet by page # | Insert weight totals into proper category below |                          |           | Total Area of Project (Square Feet) | Total Lbs. per Square Foot | STATUS |
|---------------------|---|--------------------------|-----------|-------------------------------------|----------------------------|--------|
|                     | Waste Diverted                                  | Recycled (unless Reused) | Not Waste |                                     |                            |        |
| Worksheet 1         |   |                          |           |                                     |                            |        |
| Worksheet 2         |   |                          |           |                                     |                            |        |
| Worksheet 3         |   |                          |           |                                     |                            |        |
| Worksheet 4         |   |                          |           |                                     |                            |        |
| <b>Grand Total:</b> |   |                          |           |                                     |                            |        |

**Notes:**  
 Step 1 - Insert totals from 4 Lbs. per Sq. Ft. worksheets into Columns A, B, and C.  
 Step 2 - Add each column down and enter grand total in boxes provided.  
 Step 3 - Subtract Column B grand total from Column A grand total and insert difference into Column C grand total box.  
 Step 4 - Divide Column C grand total by the area of the project (Column D) to find the total net diverted waste in Lbs. per Sq. Ft.  
 Step 5 - Insert total into Column E. If total is 4 Lbs. or less per sq. ft., compliance with 50 percent waste reduction requirement is achieved.  
**Significance:**  
 The signature below represents that the information provided on this form is true and correct and certifies that I have treated construction waste during the course of this project, and that the total net waste generated by this project is 4 lbs. per sq. ft. or less.  
 Company Name: \_\_\_\_\_  
 Responsible Person's Name: \_\_\_\_\_  
 Date Signed: \_\_\_\_\_

### Construction Waste Management Plan (CWMP) Acknowledgment - CW 7

The project manager for each subcontractor and their suppliers that will be performing any work on this job will receive and read a copy of the Construction Waste Management Plan.

By signing below, I acknowledge that I have read the CWMP for this project and agree to any responsibilities to follow the procedures in this plan.

| Date | Company | Foreman Name | Signature |
|------|---------|--------------|-----------|
|      |         |              |           |
|      |         |              |           |
|      |         |              |           |

### Construction Waste Management Worksheet (Volume Method) - CW 2

Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project Location: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Waste Worker: \_\_\_\_\_

| Waste Material Type  | Insert totals for each yard bins per category below |        |          |                         | STATUS |
|----------------------|---|--------|----------|-------------------------|--------|
|                      | Recycled  | Reused | Diverted | Non-Recycled (Disposed) |        |
| Asphalt              | -   | -      | -        | -                       |        |
| Asphalt Shingles     | -   | -      | -        | -                       |        |
| Brick (Reused)       | -   | -      | -        | -                       |        |
| Cardboard            | -   | -      | -        | -                       |        |
| Curbside/Curb Pad    | -   | -      | -        | -                       |        |
| Concrete             | -   | -      | -        | -                       |        |
| System Board Drywall | -   | -      | -        | -                       |        |
| Masonry              | -   | -      | -        | -                       |        |
| Metals               | -   | -      | -        | -                       |        |
| Paints               | -   | -      | -        | -                       |        |
| Plastics             | -   | -      | -        | -                       |        |
| Wood (longboards)    | -   | -      | -        | -                       |        |
| Wood (short boards)  | -   | -      | -        | -                       |        |
| Office Waste         | -   | -      | -        | -                       |        |
| Other                | -   | -      | -        | -                       |        |
| Other                | -   | -      | -        | -                       |        |
| <b>Total:</b>        |   |        |          |                         |        |

**Notes:**  
 Step 1 - Insert volume totals into Columns A, B, and D where appropriate.  
 Step 2 - Add Column A to Column B and insert total into Column C for total diverted volume.  
 Step 3 - Add each column down and enter totals in the boxes provided.  
 If Column C is larger than Column D (on the summary sheet), compliance with 50 percent waste reduction requirement is achieved.  
 If multiple worksheets are used, transfer column totals from each worksheet to the summary sheet.  
 For additional instructions and information, please see reverse.

## GUADALUPE WASTE MANAGEMENT FACILITY

15999 GUADALUPE MINES RD., SAN JOSE CA. 95120  
866 909-4458

### Waste Management Roll-Off / Dumpster Rental Service, Serving San Jose and Santa Clara County.

Call our builder's direct line for assistance, 408-323-6317

**Contact Information**  
 Guadalupe Recycling and Disposal Facility  
 15999 Guadalupe Mines Road  
 San Jose, CA 95128  
 Phone: (408) 268-1670  
 Fax: (408) 268-1672 ext. 2  
 150 East-Care Landscape Center  
 (408) 783-1294

**Site Address (Roll-Off Dumpster):**  
 30 Yard Roll-Off / Dumpster

**Instructions for Waste or Volume Method:**

- Choose which method of construction waste tracking to be used throughout the project. Choose either the Weight Method or the Volume Method. Do not use different methods on the same worksheet.
- To minimize confusion, use the same unit of measure and do not mix pounds and tons, or Cu. Yds. and Cu. Ft. on the same worksheet. It is easier to stay with the same unit of measure for the entire project to avoid the need for conversion.
- Enter construction waste materials that are to be recycled under Reused (Column A).
- Enter construction waste materials that are to be reused under Reused (Column B).
- Enter construction waste materials that will not get recycled or reused under Non-Recycled/Disposed (Column D).
- Add amounts from Column A to amounts from Column B and enter the total under Diverted (Column C).
- Add amounts in each Column (A, B, C, and D) and enter these into Total boxes.
- If the Diverted amount (Column C) is greater than the Non-Recycled/Disposed amount (Column D), compliance with the construction waste reduction requirement of at least 50 percent per Section 4.06B has been achieved.
- When more than one worksheet is used, transfer the totals onto the Weight or Volume Summary Worksheet at the completion of the project.

**Examples of weights and volumes of some typical construction waste materials\***

| Material                    | Range of pounds per cubic yard | Typical pounds per cubic yard | Typical cubic yards per bin |
|-----------------------------|--------------------------------|-------------------------------|-----------------------------|
| Asphalt (existing material) | 250-450                        | 300                           | 5.5                         |
| Asphalt - paving            | 1900-2700                      | 1750                          | 16                          |
| Cardboard                   | 35-135                         | 35                            | 33.5                        |
| Concrete                    | 1300-2200                      | 1750                          | 1.1                         |
| Curbstone                   | 310-320                        | 310                           | 4                           |
| System Drywall              | 220-1250                       | 545                           | 3.7                         |
| Metals                      | 500-540                        | 498                           | 6                           |

\*Source: Sacramento Regional Solid Waste Authority

Standard Conversions: 1 cubic yard equals 27 cubic feet  
1 ton equals 2000 pounds

### Construction Waste Management Plan (CWMP) - CW 1

Project Name: **THE SPENCER RESIDENCE**  
 Project Location: **1277 JACKSON ST., SANTA CLARA CA. 95050**  
 Building Permit #: \_\_\_\_\_  
 Contractors Name: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Owner Name: **BRANDON SPENCER** Telephone: **(510) 325-5858**

**THIS CONSTRUCTION WASTE MANAGEMENT PLAN IS HEREBY SUBMITTED TO COMPLY WITH SECTION 4.06B OF THE 2015 CALIFORNIA GREEN BUILDING STANDARDS CODE. THIS CODE A MINIMUM OF 50% OF THE NON-RECYCLED CONSTRUCTION AND DEMOLITION WASTE BE RECYCLED AND FOR RIVALLED FOR REUSE IN ACCORDANCE WITH SECTION 4.06B, 4.06C, 4.06D, OR 4.06E OF THE 2015 CALIFORNIA GREEN BUILDING STANDARDS CODE. SECTION 4.06C.**

- The method of waste tracking to be used on this project will be (check one box):  
 Volume  Weight  4 Lbs. per Sq. Ft.  Receptive Facility
- Construction waste generated on this project to be transported to a recycling facility will be (check one method):  
 Street-side curbside containers  Multiple street-side containers
- The facility to be tracked with the construction waste is (check one box):  
 Urns of 1 yds. \_\_\_\_\_  
 Urns of 2 yds. \_\_\_\_\_  
 Urns of 3 yds. \_\_\_\_\_
- The following construction methods will be used to reduce the amount of waste generated (check as appropriate):  
 Efficient design (geometry of building components are designed to utilize materials with no material waste)  
 Careful and accurate material ordering  
 Careful material handling and storage  
 Fan-leak or pre-fabricated construction  
 Other: \_\_\_\_\_
- Waste reduction and recycling strategies shall be discussed at periodic project meetings. Each new SUBCONTRACTOR that comes onto the site shall be provided with a copy of the CWMP which shall be posted on the project office. The [PROJECT MGR., OWNER, OR BIDDING CONTRACTOR] shall also ensure all SUBCONTRACTORS are in the location and project site of debris boxes for disposal of construction waste materials.

**Signature Section:**  
 I, \_\_\_\_\_ of the [CONTRACTOR] shall ensure that all supporting documentation which demonstrates compliance with the waste management plan is provided to the local enforcement agency upon completion of the project.  
 I, \_\_\_\_\_ of the [CONTRACTOR] shall ensure that all supporting documentation which demonstrates compliance with the waste management plan is provided to the local enforcement agency upon completion of the project.  
 I, \_\_\_\_\_ of the [CONTRACTOR] shall ensure that all supporting documentation which demonstrates compliance with the waste management plan is provided to the local enforcement agency upon completion of the project.  
 I, \_\_\_\_\_ of the [CONTRACTOR] shall ensure that all supporting documentation which demonstrates compliance with the waste management plan is provided to the local enforcement agency upon completion of the project.

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLANN. LOU COSTANZO, 1501 SAN GABRIEL WY., S.J. 95128. 408-264-0220  
 STRUCTURAL ENGINEER, TONY TRUONG PE. 408 899-0220

**CONSTRUCTION WASTE MANAGEMENT PLAN**

**DRAWN**  
**LOU COSTANZO**  
 CREATED BY  
**T.T.**  
 DATE  
**5-22-23**  
 SCALE  
**NONE**  
 JOB NO.  
**8-20210**  
 SHEET  
**CWM**

**City of Santa Clara**  
**2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC)**  
**RESIDENTIAL CHECKLIST**

Building Division: 408-616-2440  
 Email: [building@cityofsc.org](mailto:building@cityofsc.org)  
 Permit Center: 408-616-3433  
 Email: [permits@cityofsc.org](mailto:permits@cityofsc.org)  
 Planning/Inspection Scheduling System: 408-615-2400

Building Permit No.: **BL02**  
 Address: **1272 JACKSON ST., SANTA CLARA CA, 95050**

Use residential buildings that are designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

| Requirement  | Compliance               |
|--|--------------------------|
| Recycling by occupants. Where 3 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for depositing, storage and collection of non-hazardous materials for recycling per CGC 4.10.2.   | <input type="checkbox"/> |
| <b>ENVIRONMENTAL QUALITY (CGC 4.503)</b>   |                          |
| Lead fireplaces. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits per CGC 4.503.1. Woodstoves and pellet stoves shall also comply with Santa Clara City Code Chapter 15.65.   | <input type="checkbox"/> |
| <b>POLLUTANT CONTROL (CGC 4.504)</b>   |                          |
| Covering of dust openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with heavy plastic sheeting, or other methods acceptable to the City to reduce the amount of water, dust or debris which may enter the system per CGC 4.504.1. | <input type="checkbox"/> |
| Adhesives, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.  | <input type="checkbox"/> |
| Floors, stairs and other coverings shall comply with VOC limits per CGC 4.504.2.2.   | <input type="checkbox"/> |
| Approved paints and coatings shall meet the product-weighted MFR limits for VOC and other requirements per CGC 4.504.2.3.  | <input type="checkbox"/> |
| Ventilation. Documentation shall be provided, at the request of the Building Division, to verify that compliant VOC and formaldehyde have been tested per CGC 4.504.2.4.   | <input type="checkbox"/> |
| Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of CGC 4.504.3.  | <input type="checkbox"/> |
| Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4.  | <input type="checkbox"/> |
| Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall comply with the formaldehyde emissions standards and requirements per CGC 4.504.5.   | <input type="checkbox"/> |
| <b>INTERIOR MOISTURE CONTROL (CGC 4.505)</b>   |                          |
| Concrete slab foundations. Vapor retarder and capillary breaks shall be installed if a sub-grade foundation system is used. The retarder of 1/2" or larger cross section and/or a 15mil vapor retarder with gage taped not less than 6" shall be provided per CGC 4.505.2, CRC R308.2.2, CRC R306.2.3 and CGC Section 1005.  | <input type="checkbox"/> |
| Minimum control of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 18% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.   | <input type="checkbox"/> |
| <b>INDOOR AIR QUALITY AND EXHAUST (CGC 4.506)</b>  |                          |
| Bathroom exhaust fans. Each bathroom shall be mechanically ventilated using ENERGY STAR compliant fans ducted to the exterior and equipped with humidity controls system per CGC 4.506.1.  | <input type="checkbox"/> |
| <b>ENVIRONMENTAL COMFORT (CGC 4.507)</b>   |                          |
| Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2:<br>1. Heat Load/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016, ASHRAE handbook or equivalent.<br>2. Duct systems are sized according to ANSI/ACCA 1 Manual D-2016, ASHRAE handbook or equivalent.<br>3. Select heating and cooling equipment in accordance with ANSI/ACCA 3 Manual S-2014 or equivalent.                       | <input type="checkbox"/> |
| <b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)</b>   |                          |
| Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1.  | <input type="checkbox"/> |
| Special Inspection. Special inspectors employed by the City must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2.  | <input type="checkbox"/> |
| <b>VERIFICATION (CGC 703)</b>  |                          |
| Documentation. Upon request, verification of compliance with this code may include construction documents, site inspections, builder or installer certification inspection reports, or other methods acceptable to the Building Department which will show substantial compliance per CGC 703.1.   | <input type="checkbox"/> |

| Responsible Designer's Declaration Statement  | Contractor Declaration Statement   |
|---|--|
| I hereby certify that this project has been designed to meet the requirements of the 2022 California Green Building Standards Code. | I hereby certify, as the builder or installer under the permit listed herein, that the project will be constructed to meet the requirements of the California Green Building Standards Code. |
| Name: <b>LOU COSTANZO</b>   | Name: _____  |
| Signature: <i>LOU COSTANZO</i>  | Signature: _____   |
| Date: <b>5-22-23</b>  | Date: _____  |
| Company: <b>LOU COSTANZO DESIGN &amp; ASSOC.</b>  | Location: _____  |
| Address: <b>1501 SAN GABRIEL WAY,</b>   | Address: _____   |
| City: <b>SAN JOSE CA, 95125</b>   | City: _____ State: _____ Zip: _____  |

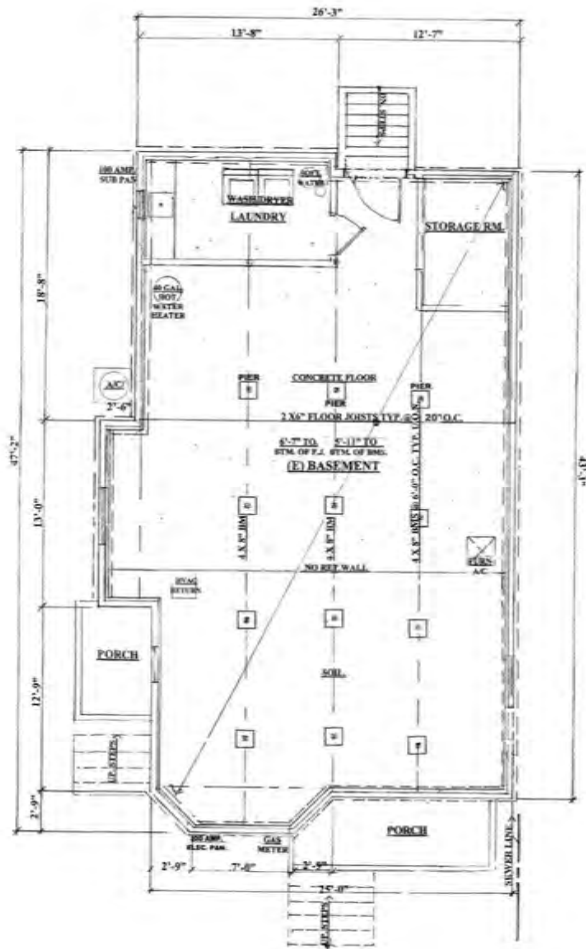
| Requirement  | Compliance               |
|--|--------------------------|
| <b>Feature or Measure</b>  | Yes                      |
| <b>SITE DEVELOPMENT (CGC 4.106)</b>  |                          |
| Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage during construction per CGC 4.106.2.   | <input type="checkbox"/> |
| Drafting and paving. Construction plans shall indicate four site grading or a drainage system will manage all surface water from the site and shall be implemented per CGC 4.106.3.  | <input type="checkbox"/> |
| Electric vehicle (EV) charging for new one- and two-family dwellings and town-homes with attached private garage and/or parking spaces not assigned to a dwelling unit, and ADU/JADU without additional parking lot with electrical panel upgrade or new panels. Provide feasibility for electric vehicle charging with minimum required Level 1 EV Ready, Level 2 EV Ready, Low Power Level 2 EV Ready as specified in CGC 4.106.4.1 as amended by City of Santa Clara Reach Code Ordinance No. 0059 (CGC 5013 Reach Code) Section 13.38.040. | <input type="checkbox"/> |
| Identification. The roadway information shall be permanently and visibly marked as Level 2 EV-READY per CGC 4.106.4.1.1 as amended by CGC 2021 Reach Code section 13.38.040.   | <input type="checkbox"/> |
| Electric vehicle (EV) charging for new multi-family dwellings, affordable housing, hotels, motels, and time residential parking facilities. Provide electric vehicle infrastructure and capacity for electric vehicle charging with minimum required Level 2 EV Charger, Level 1 EV Ready, Level 2 EV Ready, Low Power Level 2 EV Ready as specified in CGC 2021 Reach Code section 13.38.040 and 2022 California Green Code section 4.106.4.2, whichever is more stringent.   | <input type="checkbox"/> |
| 110v Electrical Outlets at Bicycle Parking. All multi-family residential developments shall include secured bicycle parking with 110v electrical outlets per CGC 2021 Reach Code section 13.38.040.  | <input type="checkbox"/> |
| Location. EVCS shall be located adjacent to an accessible parking space, and/or on an accessible route, per CGC 4.106.4.2.2.1.   | <input type="checkbox"/> |
| Dimensions. Each EV ready space or EVCS shall be minimum 18 ft long and 9 ft wide. One in every 25 charging spaces, but not less than one, shall have an 8 ft wide access aisle. A 6 ft wide minimum aisle shall be provided the minimum width of the EV space is 11 ft. Slope shall be for this EV space and the aisle shall not exceed 5.0% in any direction, per CGC 4.106.4.2.2.1.2.   | <input type="checkbox"/> |
| Accessibility. EV Ready and EVCS spaces shall comply with the accessibility provision for EV Charging stations in California Building Code Chapter 11A (Section 1103A) and Chapter 11B, per CGC 4.106.4.2.2.1.2. EV Ready Space Signage. EV ready spaces shall be identified by signage or pavement markings in compliance with California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s), per CGC 4.106.4.2.2.1.2.   | <input type="checkbox"/> |
| Automatic load management system (ALMS) may be installed to increase the number of EV chargers or the average or voltage beyond the minimum requirements in this code. This option does not allow for installing new electrical panel capacity than would be required without ALMS, per CGC 4.106.4.2.2 as amended by CGC 2021 Reach Code section 13.38.040.   | <input type="checkbox"/> |
| Electric vehicle (EV) charging for additions or alterations of parking facilities serving existing multi-family buildings. Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, minimum 10% of total development parking spaces shall be electric vehicle charging spaces capable of supporting future Level 2 electric vehicle recharging equipment (EVSE) per CGC 4.106.4.3.   | <input type="checkbox"/> |
| <b>ENERGY EFFICIENCY (CGC 4.501)</b>   |                          |
| California Energy Code. The building's construction shall meet or exceed the requirements of the 2022 California Building Energy Efficiency Standards per CGC 4.501.1.   | <input type="checkbox"/> |
| <b>WATER EFFICIENCY AND CONSERVATION</b>   |                          |
| <b>INDOOR WATER USE (CGC 4.304)</b>  |                          |
| Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and flush (toilets, showerheads, pre-rinse spray valves) shall comply with the performance requirements of Section 4.303.1.1 through 4.303.1.4.5.   | <input type="checkbox"/> |
| Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).  | <input type="checkbox"/> |
| Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).  | <input type="checkbox"/> |
| Showerheads. The flow rate for angle showerhead and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 psi and shall be certified to the performance criteria of the U.S. EPA WaterSense Specification (CGC 4.303.1.3).   | <input type="checkbox"/> |
| Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 80 psi, and not less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).   | <input type="checkbox"/> |
| Lavatory faucets in common and public use areas. The flow rate shall not exceed 2.0 gallons per minute at 80 psi (CGC 4.303.1.4.2).  | <input type="checkbox"/> |
| Meeting Faucets. The flow rate shall not exceed 1.8 gallons per minute at 80 psi (CGC 4.303.1.4.3).  | <input type="checkbox"/> |
| Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 80 psi (CGC 4.303.1.4.4).  | <input type="checkbox"/> |
| Pre-rinse Spray Valves. Where installed, shall meet the requirements of Title 20 of the California Code of Regulations, and shall be equipped with an integral automatic shutoff (CGC 4.303.1.4.5).  | <input type="checkbox"/> |
| Submitters for multi-family buildings and dwelling units in mixed-use residential/commercial buildings. Submitters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code per CBC 4.303.2.  | <input type="checkbox"/> |
| Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code per CGC 4.303.3.   | <input type="checkbox"/> |
| <b>OUTDOOR WATER USE (CGC 4.304)</b>   |                          |
| Outdoor potable water use in landscape areas. Residential developments shall comply with the City's Water Service and Use Rules and Regulations, Item No. 24, as amended by Santa Clara City Code Section 13.15.060, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1.  | <input type="checkbox"/> |
| <b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)</b>   |                          |
| Roofing. Roofing materials shall be installed in accordance with the manufacturer's instructions, and shall be installed in accordance with the manufacturer's instructions, or other methods acceptable to the City per CGC 4.406.1.  | <input type="checkbox"/> |
| <b>CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.408)</b>  |                          |
| Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of non-hazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3, or 4.408.4 or meet a more stringent local construction and demolition waste management ordinance (CGC 4.408.1).   | <input type="checkbox"/> |
| <b>BUILDING MAINTENANCE AND OPERATION (CGC 4.416)</b>  |                          |
| An operation and maintenance manual shall be provided to the building occupants or owner per CGC 4.416.1.  | <input type="checkbox"/> |

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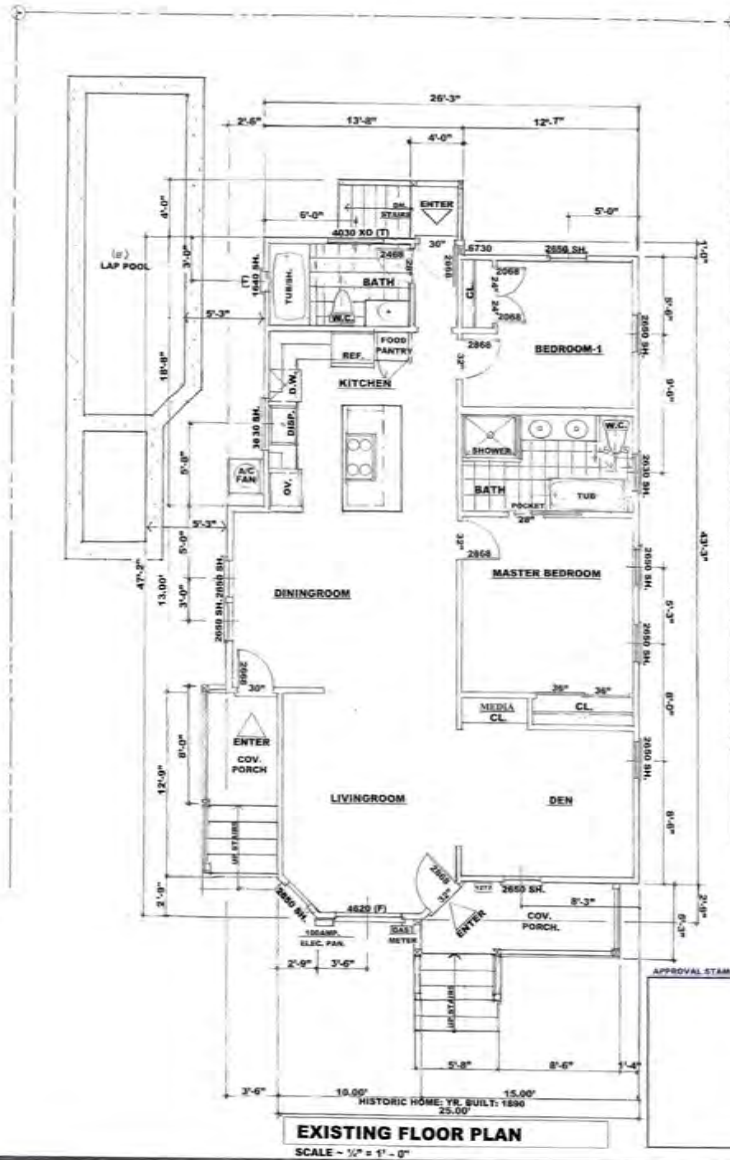
PLANS COMPLY WITH THE CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) 2022. THE PROPOSED BASEMENT AS LIVING WITH STAIRS FOR THE SPENCER RESIDENCE 1272 JACKSON ST., SANTA CLARA CA, 95050 PLANS FOR COSTANZO DESIGN & ASSOCIATES, INC. 1501 SAN GABRIEL WAY, SAN JOSE, CA 95125 408-283-0220 STRUCTURAL ENGINEER, TONY TROIANO PE, 408-283-0225

**CITY OF SANTA CLARA**  
**CAL GREEN MANDATORY**  
**MEASURES/CHECKLIST**  
 2022-23

DRAWN BY: **LOU COSTANZO**  
 CHECKED BY: **S-C**  
 DATE: **5-22-23**  
 TITLE: **NONE**  
 JOB NO: **20-20210**  
 SHEET



**EXIST'G BASEMENT FLOOR PLAN**  
SCALE - 1/4" = 1'-0"



**EXISTING FLOOR PLAN**  
SCALE - 1/2" = 1'-0"

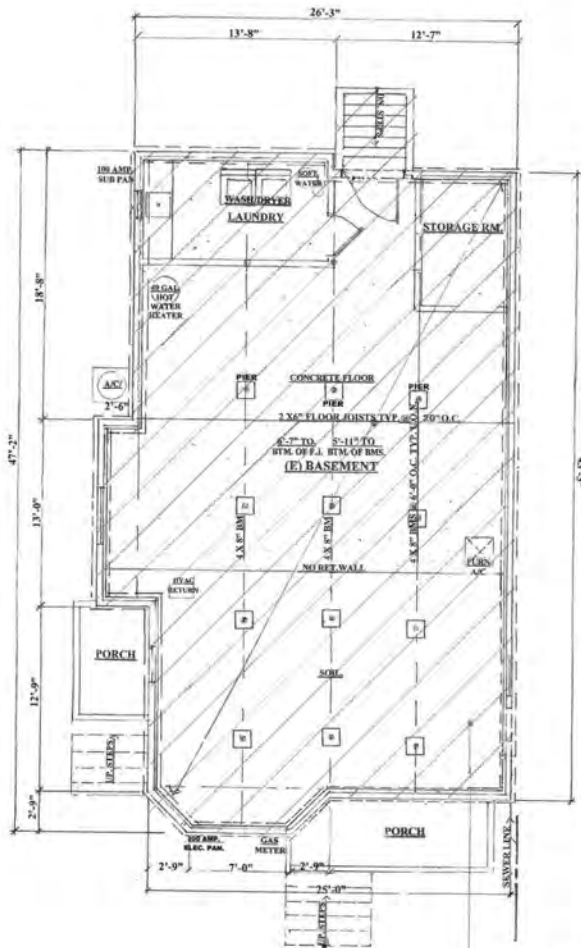
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A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220  
 STRUCTURAL ENGINEER: TONY TRUONG PE. 408 898-0220  
 PLAN COMMENTS TO: LOU@COSTANZO.COM  
 08-17-2018 CELL  
 Tony Truong

**EXISTING FLOOR PLAN**

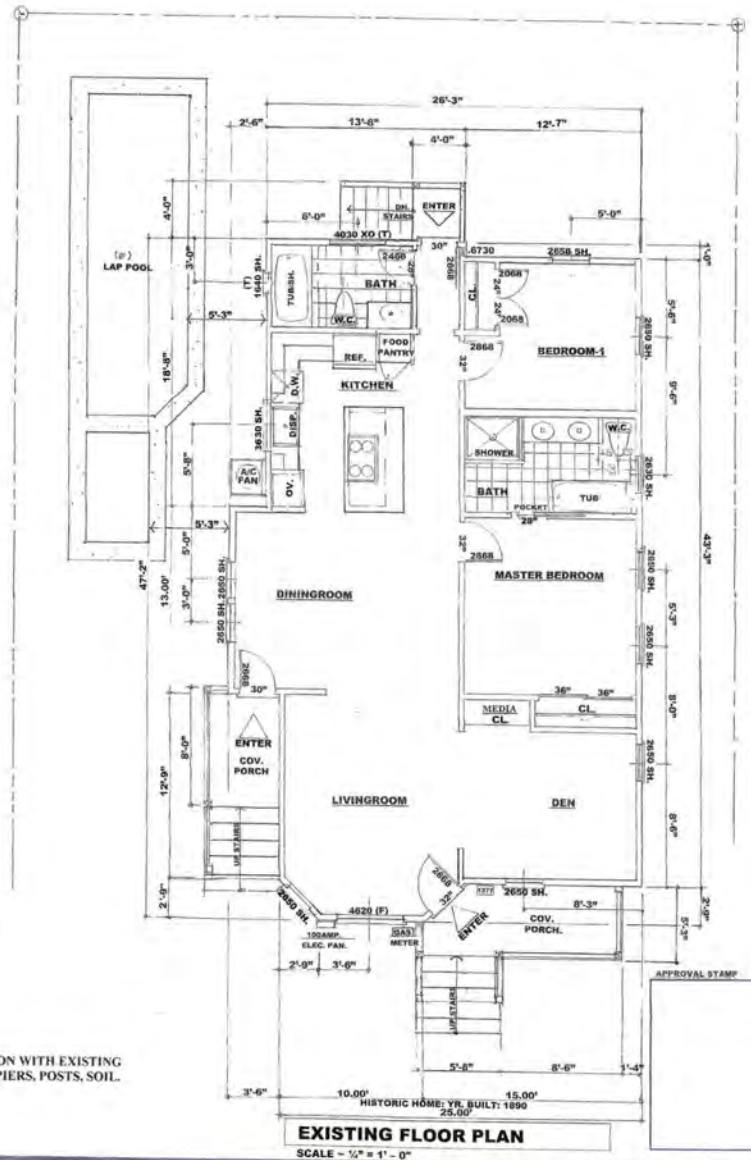
DRAWN: LOU COSTANZO  
 CHECKED: S.C.  
 DATE: 12-28-21  
 SCALE: 1/4" = 1'-0"  
 JOB NO: S20210  
 SHEET:

**A2**



**DEMOLITION NOTE**  
 1. DEMO PERIMETER FOUNDATION WITH EXISTING BASEMENT CONCRETE SLAB, PIERS, POSTS, SOIL.

**DEMOLITION PLAN**  
**EXIST'G BASEMENT FLOOR PLAN**  
 SCALE - 1/4" = 1'-0"



**EXISTING FLOOR PLAN**  
 SCALE - 1/2" = 1'-0"

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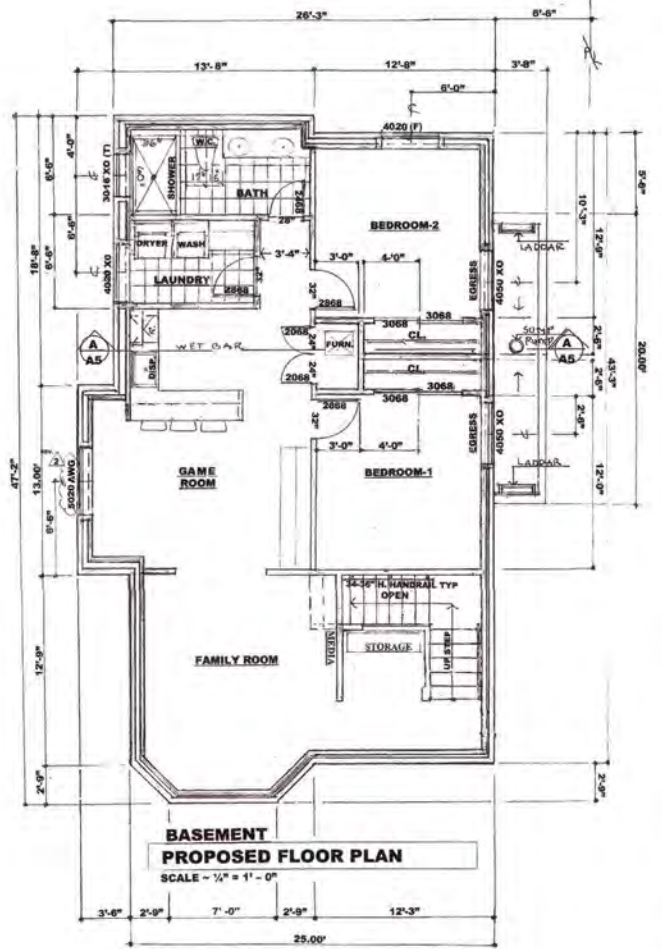
PLAN COMMENTS TO:  
 LUIGI COSTANZO  
 GARY JANT  
 MICHELLE PERELLA  
 L.L. COSTANZO

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
 THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1501 BAY FRONT RD. #1000 SAN JOSE CA. 95131  
 STRUCTURAL ENGINEER: TONY TROIANO P.E. 408.399.0220

**DEMOLITION PLAN**

DRAWN:  
**LOU COSTANZO**  
 CHECKED:  
 S.C.  
 DATE:  
 12 - 28 - 21  
 SCALE:  
 1/4" = 1'-0"  
 SHEET NO:  
 S20210  
 SHEET

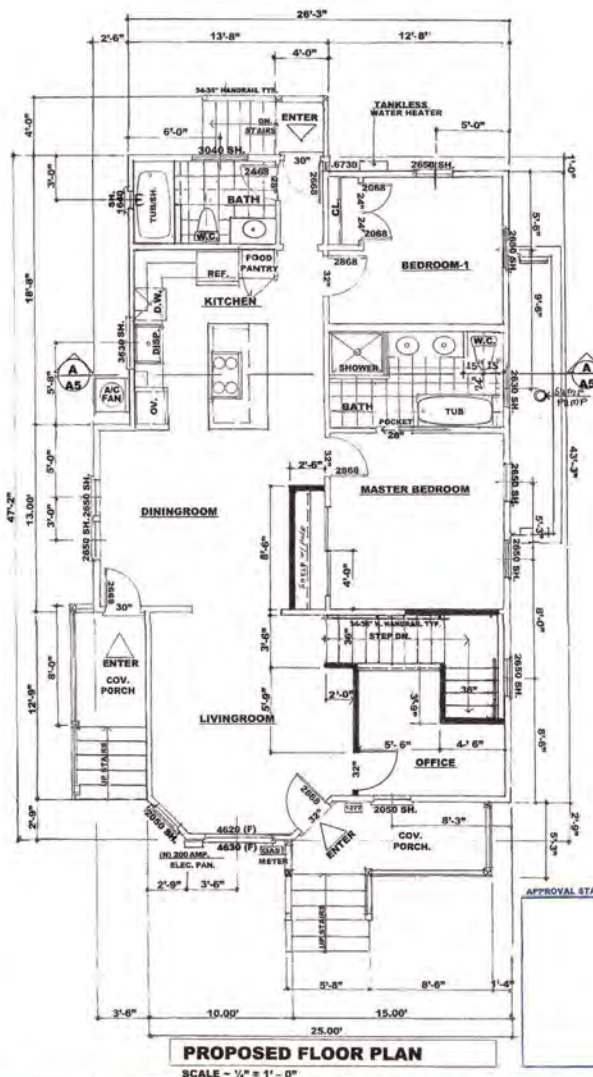
**A2.1**



- OTHER GENERAL NOTES:** 2022
1. **SMOKE ALARMS:** CIRC 314 INSTALL IN EACH SLEEPING ROOM OUTSIDE EACH SEPARATE BEDROOM IN THE IMMEDIATE VICINITY OF THE BEDROOMS & ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITUAL ATTICS.
  2. **CARBON MONOXIDE ALARMS:** CIRC 315 INSTALL CO ALARMS OUTSIDE OF EACH SEPARATE SLEEPING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS, TOP AND BOTTOM OF STAIRS AND LANDINGS.
  3. **ALSO,** ROOMS ARE TO HAVE PRIMARY POWER SOURCE FROM BUILDING HAVE BATTERY BACKUP AND ARE TO BE INTERCONNECTED SEC. 2022 CIRC CODE.
  4. **ATTIC ACCESS:** TO UNOCCUPIED AREA OPENING NOT LESS THAN 22 IN. X 20 IN. WITH NET LESS THAN 30 INCHES HEADROOM. 2022 CIRC SEC. 202.1
  5. **EMERGENCY ESCAPE WINDOWS:** SLEEPING ROOMS
    - A. EGRESS OPENING TO THE NEAREST NOT MORE THAN 1/4" BUTTOM OF SILL 44" ABOVE FINISHED FLOOR MAX.
    - B. MIN. NET CLEAR OPERABLE AREA: 5.7 SQ. FT. (2022 CIRC 202.2)
    - C. MIN. NET CLEAR OPERABLE WIDTH: 20 IN. (2022 CIRC 202.2)
    - D. MIN. NET CLEAR OPERABLE HEIGHT: 24 IN. (2022 CIRC 202.2)
  6. **MECHANICAL VENTILATION SYSTEMS WITH FILTERS:** MECHANICAL VENTILATION SYSTEMS WITH FILTERS FOR BATHS, LAUNDRY ROOM, BUT IN OTHER HABITABLE AREAS, 1-CHANGES PER HOUR ARE REQ.
  7. **BATHROOMS:**
    - A. **BATHROOM EXHAUST FANS:** 2022 CIRC 202.2
    - B. EXHAUST FANS SHALL HAVE A MINIMUM OF 1/4" FREE AREA TO EXHAUST TO THE OUTSIDE THROUGH ROOF OR LESS WHERE THE EXHAUST HEAD DOES NOT EXCEED THE EXHAUST FAN'S RATED CAPACITY. THE EXHAUST FAN SHALL BE FULLY TEMPERED, LAMPNATED GLASS AT WINDOWS IN THE BATHROOM AREA WITHIN 40" ABOVE THE EXHAUST HEAD. THE EXHAUST FAN SHALL BE FULLY TEMPERED, LAMPNATED GLASS AT WINDOWS IN THE BATHROOM AREA WITHIN 40" ABOVE THE EXHAUST HEAD. THE EXHAUST FAN SHALL BE FULLY TEMPERED, LAMPNATED GLASS AT WINDOWS IN THE BATHROOM AREA WITHIN 40" ABOVE THE EXHAUST HEAD.
  8. **WATER CLOSETS (TOILETS):** 1-20 GALL. FLUSH VALVE. 1/2" GPM AT 80 PSI. 1/2" GPM AT 80 PSI. 1/2" GPM AT 80 PSI.
  9. **SHOWER COMPARTMENT:** 2022 CIRC 202.2
  10. **SHOWER VALVES:** SHALL BE PRESSURE BALANCED WITH THERMOSTATIC MIXING VALVE (TMV) OR EQUIVALENT. THE SHOWER VALVE SHALL BE PRESSURE BALANCED WITH THERMOSTATIC MIXING VALVE (TMV) OR EQUIVALENT.
  11. **WATER HEATER:** SHALL BE SECURELY ANCHORED TO THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. THE LOWER TIE ANCHORS SHALL BE LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS. 2022 CIRC 202.2
  12. **TANKLESS WATER HEATER:** (SEE THIS PAGE)
  13. **CLOTHES DRYER EXHAUST VENT:** SHALL BE EXHAUST DIRECT TO OUTSIDE. CONSTRUCTED OF SMOOTH, RIDGED METALLIC MATERIAL WITH A BACKSTOP DAMPER WITH NO SCREEN. (ANY DEVICE ABOVE TO VENT DUCT MUST HAVE ITS APPROVAL LISTING INFORMATION PRINTED ON BRASS OR BURNED INTO THE METAL). SHALL BE LIMITED TO 4 FT. LONG WITH TWO 90 DEGREE ELBOWS. FROM FLOOR TO POINT OF TERMINATION, REDUCE THE LENGTH BY TWO FT. FOR EVERY ELBOW IN EXCESS OF 2 FT.
  14. **GLASS DOORS & WINDOWS:** SHALL BE FULLY TEMPERED, LAMPNATED GLASS AT WINDOWS IN THE BATHROOM AREA WITHIN 40" ABOVE THE EXHAUST HEAD. THE EXHAUST FAN SHALL BE FULLY TEMPERED, LAMPNATED GLASS AT WINDOWS IN THE BATHROOM AREA WITHIN 40" ABOVE THE EXHAUST HEAD.
  15. **PROVIDE HEATING EQUIPMENT SUFFICIENT TO MEET 2022 CIRC, CIRC, CMC REQUIREMENTS FORCED AIR FURNACES LOCATED IN ATTIC: PROVIDE A MIN. CEILING ACCESS OF 30" X 30" CONSTRUCT A 30" WIDE ACCESS PLATFORM (ATTN) FROM ACCESS TO F.A.S. AND SUPPLY AN ELECTRICAL RECEPTICAL AT THE F.A.S. AND A LIGHT FIXTURE THAT IS SWITCHED BY THE ACCESS OPENING.**
  16. **WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISHED WALL SURFACES:** SHALL BE MATERIALS NOT ADVERSELY AFFECTED BY WATER OR DRAINAGE CONDITIONS. IF CEMENT BOARD IS USED IT MUST BE APPROVED BY W.B.
  17. **NOTE PLUMBING, MECHANICAL REQUIREMENTS:** PLUMBING, FIXTURES AND MECHANICAL EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE 2022 CIRC. THE CONTRACTOR / OWNER RESPONSIBLE.
  18. **OPENING DOOR BETWEEN LIVING ROOMS:** SHALL BE 4'-0" X 8'-0" WOOD, SILENT CLOSING, TIGHT FITTING.
  19. **FLOORS AND LANDINGS AT EXT. DOOR:** SHALL BE 1/2" ABOVE FINISHED FLOOR. SHALL BE 1/2" ABOVE FINISHED FLOOR. SHALL BE 1/2" ABOVE FINISHED FLOOR. SHALL BE 1/2" ABOVE FINISHED FLOOR.
  20. **FIRE DEPARTMENT ACCESS:** PROVIDE & MAINTAIN SERVICEABLE FLOOR & DURING CONSTRUCTION.

**WALL LEGEND:**

|                   |                |
|-------------------|----------------|
| (Solid line)      | NEW 2X4 WALLS  |
| (Dashed line)     | REMOVE EXIST'G |
| (Thin solid line) | EXIST'G WALLS  |



REVISIONS

| REV. | DATE     | BY |
|------|----------|----|
| 1    | 12-28-21 | LC |

PLANS COMMENTED TO:  
 PLAN NO. 2021-0001  
 SHEET NO. 01  
 DATE: 12-28-21  
 SCALE: 1/4" = 1'-0"  
 JOB NO. S20210  
 SHEET A3  
 A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA, CA. 95050  
 PLAN: LOU COSTANZO 1601 SAN GABRIEL WAY, S.J. 95128 408-264-0220  
 STRUCTURAL ENGINEER: TONY TRUONG PE. 408 899-0220

**PROPOSED PLAN**

DRAWN: LOU COSTANZO  
 CHECKED: S.C.  
 DATE: 12-28-21  
 SCALE: 1/4" = 1'-0"  
 JOB NO. S20210  
 SHEET A3

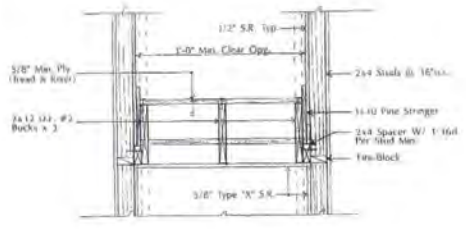




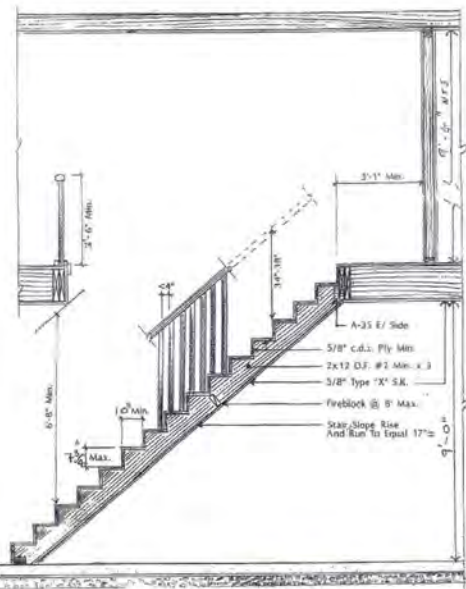
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| 1         | 2-12-23 |
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1. REPLACE "IN KIND" ALL EXISTING WOOD MEMBERS, JOISTS, PURLINS, SUBPURLINS, SHEATHING, STUDS, WALL PLATES WHICH SHOW SIGNS OF DRY ROT OR STRUCTURAL DAMAGE.
2. ALL WOOD EXPOSED TO CONCRETE, WEATHER, OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.
3. ALL FASTENERS OR HARDWARE IN CONTACT WITH PRESSURE TREATED WOOD, CONCRETE OR MASONRY SHALL BE HOT DIPPED, ZINC COATED, GALVANIZED STEEL, OR STAINLESS STEEL.

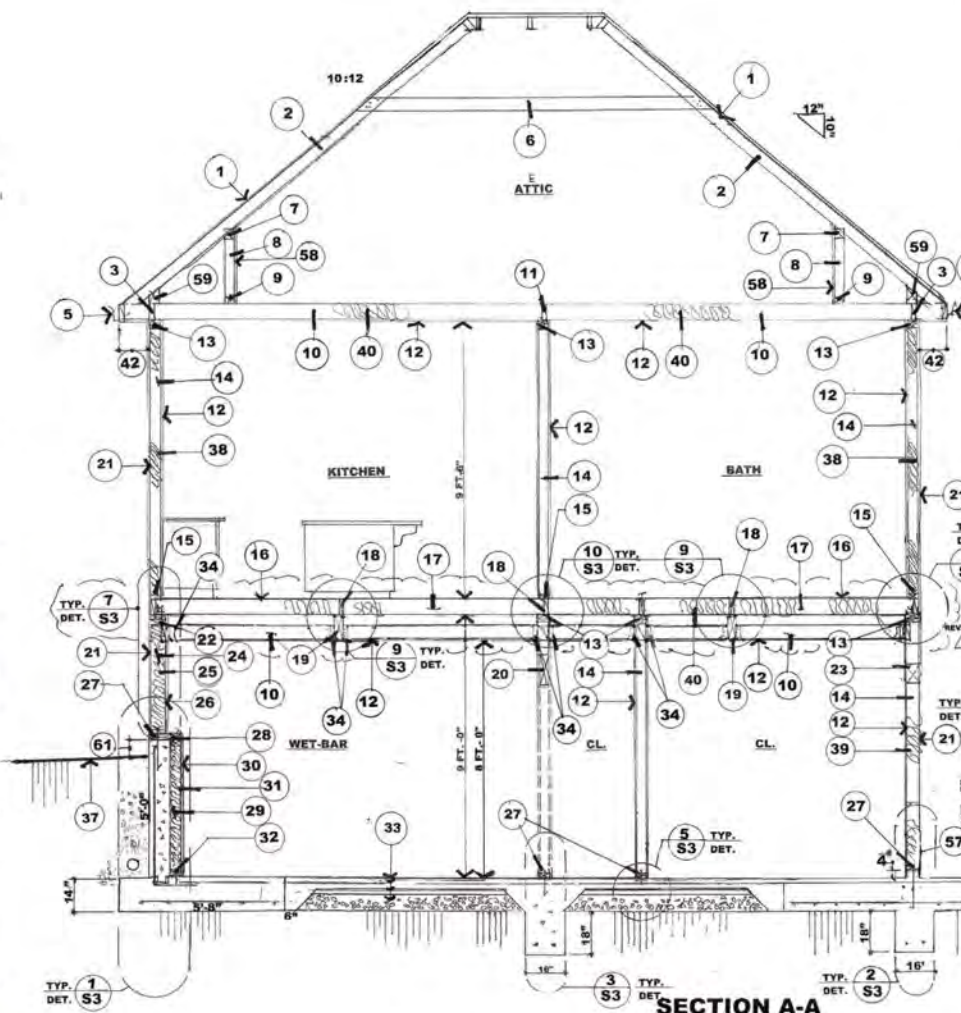
- THE SPENCER RESIDENCE 8-18-2023
- (E) & (N) HOUSE STRUCTURE (10:12" ROOF PITCH) (R.W. - REDWOOD)
- ROOF STRUCTURE**
1. PATTERNED ASPHALT SHINGLES ROOFING (2 LAYERS 1/2" FELT @ 1/2" CDX PLYWOOD @ 1" X 6" SKIP SHEATHING SPACED @ 2' APART.
  2. 2" X 4" RAFTERS SPACED @ 32" O.C. (R.W.)
  3. 2X RAFTER BLOCKING
  4. 50 YR. GLASS FIBER COMPOSITION ROOFING EG ES EBER 1300 @ 3/80 FELT @ 1/2" PLYWD (NAIL W/84'S @ 6" O.C. (E) 12" O.C. (FIELD). SECURE RIDGE/C. WITH CORROSION RESISTANT FASTENERS (CRC RW62.5)
  5. 6" GUTTER @ 2X FASCIA W/ENDPOSTS, FR. DRAIN OR SPLASH BLANK ATTIC CRIPPLE WALL
  6. 2" X 6" (R.W.) COLLAR TIES @ 10'-0" APART 4 X 6" R.W. SPACER
  7. 4 X 4" HDR.
  8. 2 X 4" STUDS @ 24" O.C.
  9. 2 X 4" STM. PLATE
- MAIN STRUCTURE (CEILING, WALL, FLOOR)**
10. 2 X 6" CEILING JOISTS @ 16" O.C. (R.W.)
  11. 2 X 6" BLOCKING
  12. 5/8" GYP. BD. (WALLS & CEILING)
  13. 2 X 4" TOP PLATE (R.W.)
  14. 2 X 4" STUDS @ 16" O.C. (R.W.)
  15. 2 X 4" SOLE PLATE (R.W.)
  16. 1" X 6" REDWOOD SUB. FLOOR
  17. 2 X 6" FLOOR JOISTS @ 16" O.C. (R.W.)
  18. 2 X 6" P.J. BLOCKING
  19. 3/4" X 9.5" 2.2E PBL BM W/IGUS F.2. HANG. & EPZ
  20. 4" POST CAP & 4" PTFDF POST TO BM SUPPORT
  21. 4 X 12" DPF1 HEADERS (DOORS & WINDOWS) U.N.O.
  22. 1/2" X 8" VV GROOVE (R.W.) SIDING OVER "D" PAPER @ 1/2" CDX PLYWD. (WITH 8d NAILS @ 6" O.C. ENDS. & 12" O.C. FIELD) U.N.O.
  - (E) CRIPPLE WALLS @ BASEMENT
  23. 2X4 DF 2 TOP PLATE TYP.
  24. 4X8 DPF1 HDR. S.S.D. (WINDOWS)
  25. 2 X 4 DF2 STUDS @ 16" O.C. TYPICAL (R.W.)
  26. R13 BATT. INSULATION
  27. 2 X 6" PTOF MUOSILL W/58" A.B. X 12" LG. @ 48" O.C. U.N.G. S.A.D.
  - (N) 5 FT. WALL SECURED TO BASEMT. CONC. WALL
  28. DBL. 2 X 4 PTOF TOP PLATE
  29. 2 X 4" STUDS @ 16" O.C.
  30. 5/8" (GREEN) GYP. BD.
  31. R13 BATT. INSULATION
  32. 2 X 4 PTOF #2 SOLE PLATE SECURE TO CONC. W/1/4" POWDER ACT. FASTENERS @ 32" O.C. S.S.D.
  33. 8" THICK CONC. SLAB W/8 BARS AT 16" EA. WAY AT MIDSPAN OVER 8" MIL. FLLM OVER 6" OF 3/4" GRAVEL.
  34. SIMPSON HANGER S.S.D.
  35. A 35 SIMPSON CLIP 24" O.C. S.S.D.
  36. H25A CIP @ EA. TRUSS
  37. GRADE SOIL AWAY FROM FDN. 5% AT 18" P
  - INSULATION (SEE TITLE 24 REPORT)
  38. R-13 BATT. INSULATION (WALL)
  39. R-15 BATT. INSULATION (WALL)
  40. R-19 BATT. INSULATION (FLOOR OR RAFTER)
  41. R-38 BATT. INSULATION (CEILING)
  42. 12" OVERHANDS & 12" EAVES.
  43. WEEP SCREED PER CODE (2" TO GRADE & 2" TO CONCRETE SLAB) PER BLOCK W/4 MESH
- TYPICAL STAIR CONSTRUCTION**
44. HAND RAIL WITH 2 X BLOCK'G IN WALL, 34 - 38" H., 1-1/2" SPACI BETWN. WALL & HANDRAIL WITH METAL BRACKETS.
  45. BALUSTERS SPACED @ 3 3/4"
  46. 3 - 2" X 12" DF 1 STRINGERS
  47. 2 X FIRE BLOCK @ 8 FT. MAX.
  48. 5/8" CDX PLYWD. RISER/STEP MIN.
  49. HDR. BM. S.S.D.
  50. 2ND. FLR. RAIL/GWALUSTRIDE 3FT. - 6" HIGH OR 42" HIGH PONY WALL W/2 X 6 FINISHED S.P. S.D.
  51. STAIR SLOPE RISE AND RUN TO - 17"
  52. USE 5/8" TYP. (X) GYP. BOARD UNDER STAIRCASE
  53. RISE 7.7"
  54. STEP 10" MIN.
  55. NOSE 1 INCH
  56. 2 X SPACER W/16DS AT EA. STUD
  57. 26GA. GI FLASHING 24" H.
  58. 1/2" CDX PLYWD. NAIL W/84'S @ 8" (ENDS) & 12" (FIELD)
  59. (E) 4 X 6 BEVELED BLOCK
  60. (E) 2 X 6 RIDGE BM. 61. 8" MIN.



Typical Stairwell Construction 1"=1'-0"



Typical Stair Construction 1/2"=1'-0"



**SECTION A-A**  
SCALE = 1/4" = 1' - 0"

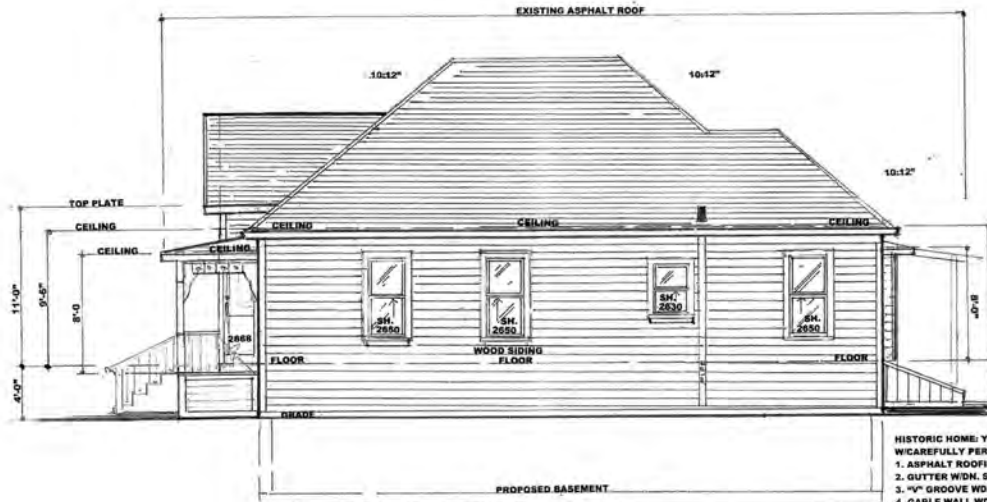
PLAN COMMENTS TO CONTRACTOR/OWNER

A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220  
 STRUCTURAL ENGINEER: TONY TRUONG PE. 408 896-0220

**SECTIONS**

DRAWN  
**LOU COSTANZO**  
 CHECKED  
 S.C.  
 DATE  
 10-28-22  
 SCALE  
 1/4" = 1'-0"  
 JOB NO.  
 820210  
 SHEET

**A5**



**RIGHT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

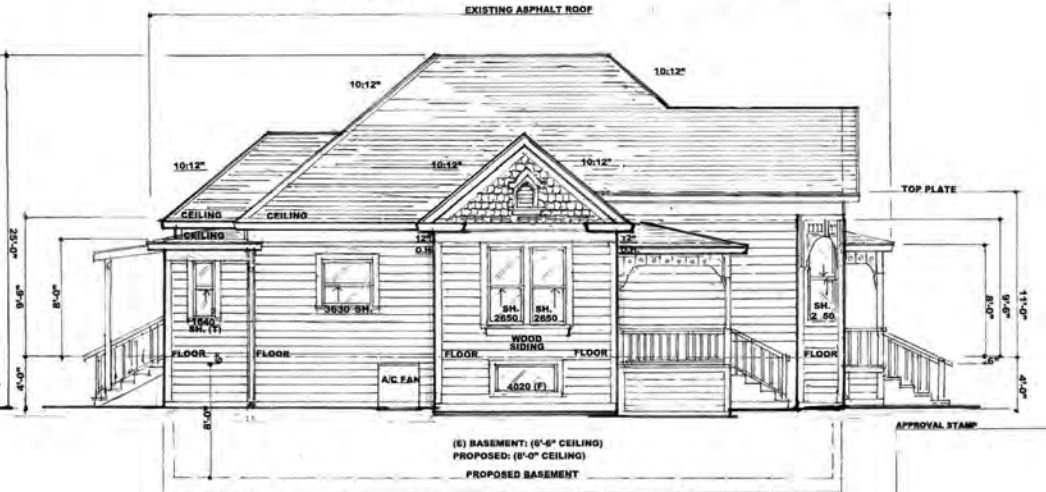


**FRONT ELEVATION**  
SCALE - 1/4" = 1'-0"

- HISTORIC HOME, YR. BUILT: 1890  
W/CAREFULLY PRESERVED ELEMENTS:
1. ASPHALT ROOFING
  2. GUTTER W/DN. SPOUTS TO FR. DRAIN
  3. 1/2" GROOVE WD. SIDING
  4. GABLE WALL WD. SIDING W/ SCALLOPED EDGES
  5. 1 X 12" TRIMMER UNDER SOFFIT OVERHANGS
  6. 4" WINDOW TRIM TYP.
  7. 14 X 24" GWV. W/TRIM
  8. DBL. 12" X 12" GWV. W/16 X 24 WIM.
  9. SINGLE HUNG WINDOWS
  10. (E) BASEMENT; (6'-0" CEILING)
  11. PICKET FENCING



**REAR ELEVATION**  
SCALE - 1/4" = 1'-0"



**EXISTING ELEVATIONS**  
SCALE - 1/4" = 1'-0"

**LEFT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

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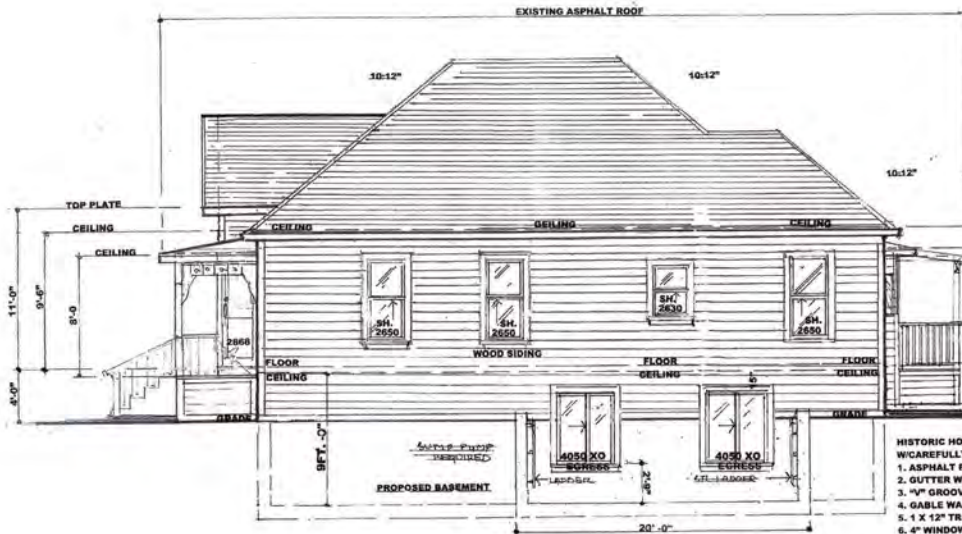
PLAN COMMENTS TO:  
LUCIANO/ANDREO  
484-472-8227 CELL  
TONY COSTANZO

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA CA. 95050  
100% W/ 10% SAN GABRIEL WAY, S.L. 95128, 408-264-0220  
STRUCTURAL ENGINEER: TONY TRUONG P.E. 403 893-0220

**EXISTING  
ELEVATIONS**

DRAWN  
LOU COSTANZO  
S.C.  
DATE  
12-28-21  
SCALE  
1/4" = 1'-0"  
JOB NO.  
S20210  
SHEET

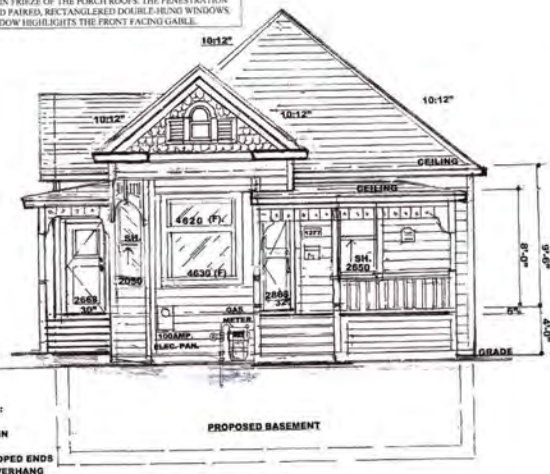
**A6**



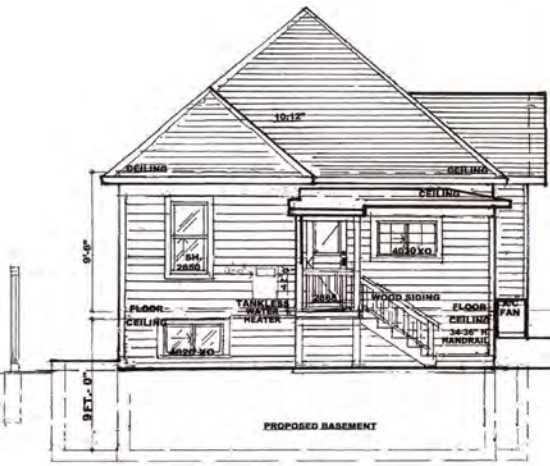
**RIGHT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

**HOUSE HISTORIC DESCRIPTION**  
 HOUSE IS A QUEEN ANNE COTTAGE STYLE, SINGLE STORY WOODEN RESIDENCE WITH STEEPLY HIPPED CENTRAL ROOF WITH TWO OFFSET PEDIMENTAL-SLAPPED GABLES AND 1 LOW HIPPED PORCH ROOFS PROJECTING FROM IT. THE ROOF IS SHEATHED IN PATTERNED ASPHALT SHINGLES. THE BODY OF THE HOUSE IS SHEATHED IN WIDE SHIP-LAP WITH OVER-SIZED WOODEN ENDGARDS. FISHCAL SHINGLES ORNAMENT THE TWO GABLES. THE FACADE IS DISTINGUISHED BY A SLIGHTLY CUT-OUT, ANGLED BAY AND TWO PORCHES. THE RECTANGULAR ENTRY PORCH SUPPORTED BY 4 TURNED POSTS AND A SMALL SIDE ENTRY PORCH THAT IS SUPPORTED BY 4 TURNED POSTS. BOTH PORCHES CONTAIN 4 STRAIGHT STEP WOODEN STAIRS HIGHLY ORNAMENTED BY SUNBURSTS AND CUTOUT WOODEN SCREENS UNDER THE BOXED CORNICE AND PLAIN FRIEZE OF THE PORCH ROOFS. THE FENESTRATION IS GENERALLY SINGLE AND PAIRED, RECTANGLED DOUBLE-HUNG WINDOWS. A SMALL PALLADIAN WINDOW HIGHLIGHTS THE FRONT FACING GABLE.

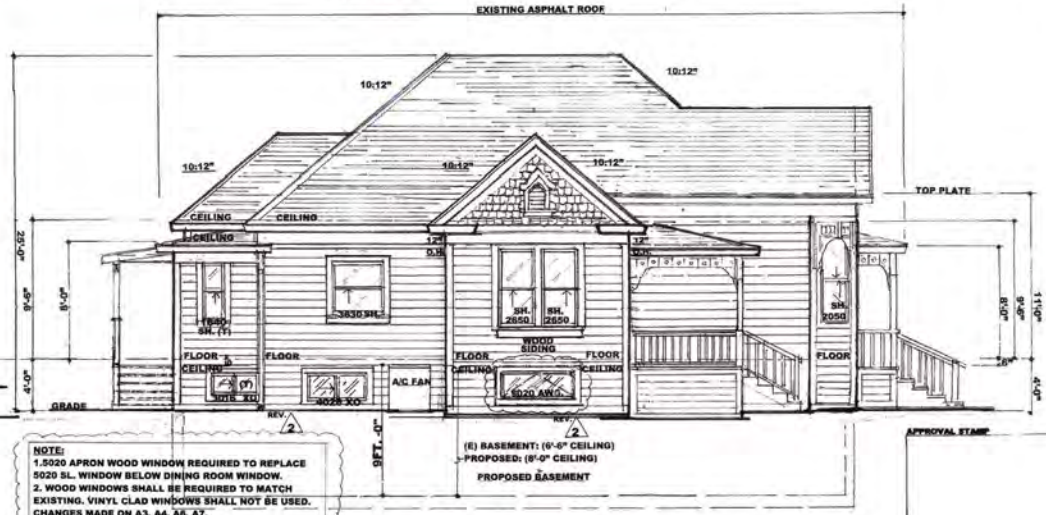
- HISTORIC HOME, YR. BUILT: 1890**  
**W/CAREFULLY PERSERVED ELEMENTS:**
1. ASPHALT ROOFING
  2. GUTTER W/WH. SPOUTS TO FR. DRAIN
  3. 1/4" GROOVE WD. SIDING
  4. GABLE WALL WD. SIDING W/ SCALLOPED ENDS
  5. 1 X 12" TRIMMER UNDER SOFFIT OVERHANG
  6. 4" WINDOW TRIM TYP.
  7. 14 X 24" GWV. METRIC
  8. DBL. 12" X 12" GWV. W/16 X 24 WIN.
  9. SINGLE HUNG WINDOWS
  10. (E) BASEMENT; (6'-0" CEILING)
  11. PICKET FENCING



**FRONT ELEVATION**  
SCALE - 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE - 1/4" = 1'-0"



**LEFT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

**NOTE:**  
 1. 5020 APRON WOOD WINDOW REQUIRED TO REPLACE 5020 SL. WINDOW BELOW DINING ROOM WINDOW.  
 2. WOOD WINDOWS SHALL BE REQUIRED TO MATCH EXISTING. VINYL CLAD WINDOWS SHALL NOT BE USED. CHANGES MADE ON A3, A4, A6, A7.  
 3. POSSIBLE 8FT.-0" FRAMED CEILING TO ALLOW CLEARANCE FOR PLUMBING MECHANICALS, ELECTRICAL WORK, BELOW PROPOSED STRUCTURAL FRAMING AT 9FT.-0". SHOWN ON SECTION A-A ON A5.

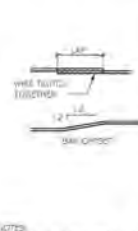
**PROPOSED ELEVATIONS**  
SCALE - 1/4" = 1'-0"

| REVISIONS | BY          |
|-----------|-------------|
| REV. 1    | 12-12-23 LC |
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**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR THE SPENCER RESIDENCE**  
 1277 JACKSON ST. SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1001 SAN GABRIEL WAY, S.A. 95125 408-264-0220  
 STRUCTURAL ENGINEER: TONY TRUONG PH. 408 899-0220

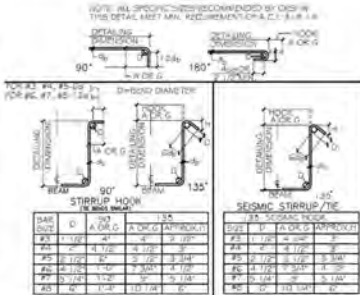
**PROPOSED ELEVATIONS**

**DRAWN** LOU COSTANZO  
**CHECKED** S.C.  
**DATE** 12-28-21  
**SCALE** 1/4" = 1'-0"  
**JOB NO.** S20210  
**SHEET**  
**A7**



MINIMUM LAP LENGTH FOR REINFORCING BARS (UNLESS OTHERWISE NOTED):

| BAR SIZE | LAP LENGTH | OTHER BARS |
|----------|------------|------------|
| #3       | 12" (12')  |            |
| #4       | 16" (16')  |            |
| #5       | 20" (20')  |            |
| #6       | 24" (24')  |            |
| #7       | 28" (28')  |            |
| #8       | 32" (32')  |            |
| #9       | 36" (36')  |            |
| #10      | 40" (40')  |            |
| #11      | 48" (48')  |            |

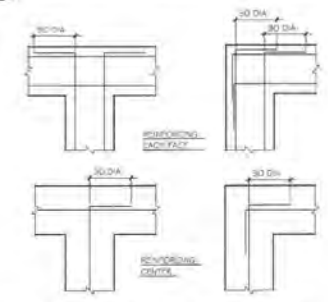


NOTE: ALL SPECIFICATIONS RECOMMENDED BY CSI OR THIS DETAIL MEET MIN. REQUIREMENT OF A.C.I. 3.08.1.6

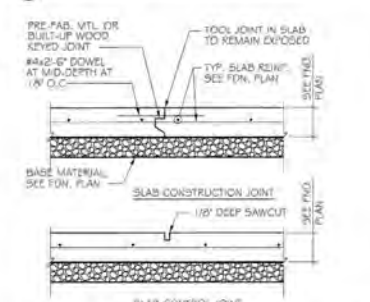
| BAR SIZE | STANDARD HOOKS | SEISMIC HOOKS |
|----------|----------------|---------------|
| #3       | 4"             | 4"            |
| #4       | 5"             | 5"            |
| #5       | 6"             | 6"            |
| #6       | 7"             | 7"            |
| #7       | 8"             | 8"            |
| #8       | 9"             | 9"            |
| #9       | 10"            | 10"           |
| #10      | 11"            | 11"           |
| #11      | 12"            | 12"           |

1 TYP. CONC. REBAR SPLICES

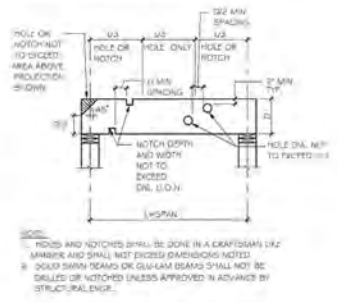
2 STANDARD REBAR HOOKS



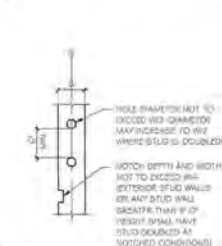
3 CONCRETE FTG. INTERSECTION



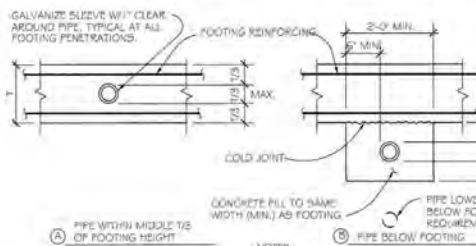
4 SLAB JOINTS



5 JOIST NOTCHING OR DRILLING (SOLID SAWN LUMBER)



6 STUD NOTCHING OR DRILLING



7 TYPICAL PIPE PENETRATIONS THRU FOOTING

CONCRETE NOTES

- CONCRETE STRENGTH: PROVIDE CONCRETE WITH THE FOLLOWING STRENGTHS AT THE LOCATIONS NOTED. ALL DESIGN, MIXTURE, AIR ENTRAINMENT, AGGREGATE SIZE, C/C SHALL BE IN CONFORMANCE WITH THE A.C.I. CODE, LATEST EDITION.
- FOUNDATION: BUILDING GRADE FINISH: 2500; EXTERIOR WALLS: ON GRADE (SEE NOTES); FINISH GRADE: 2500.
- REINFORCING STEEL: ASTM A635 WITH THE FOLLOWING SPECIFICATIONS: #3 AND SMALLER: GRADE 60 (F<sub>y</sub> = 40000 PSI); #4 AND LARGER: GRADE 60 (F<sub>y</sub> = 60000 PSI).
- NOTE: EXTERIOR WALLS: WHERE NOT SPECIFICALLY NOTED ON THE FOUNDATION PLAN, SHALL BE 4" THICK, HAVE A MINIMUM OF COMPACTED GRADE 4" BENEATH, AND SHALL BE REINFORCED WITH #4 @ 16" ON CENTER. WIRE FABRIC LOCATED AT MID DEPTH.
- WALLS AND SLAB REINFORCEMENT IS ACCORDANCE WITH THE FOUNDATION SPEC AND OTHER MANUAL - LATEST EDITION.
- PLACE CONCRETE IN COMPLIANCE WITH ACI 310-1R. ALL CONCRETE SHALL BE REINFORCED (SHOWN).
- CONCRETE JOINTS: REINFORCEMENT FOR NON PRESTRESSED JOINTS IN PLACE CONCRETE SHALL BE AS FOLLOWS:
 

| CONCRETE           | GRADE |
|--------------------|-------|
| CAST AGAINST FORM  | 3'    |
| EXPOSED TO WEATHER | 12'   |
| #4 AND LARGER      | 2'    |
| SLAB ON GRADE      | 2'    |
- PLUMBING: ALL RISERS TO BE CAST INTO CONCRETE SUCH AS: REINFORCING CONE, BOLT, ANCHOR, PIPE, SLEEVE, ETC. SHALL BE SECURED AND ACCELERATE POSITIONED INTO THE FORMS PRIOR TO PLACING THE CONCRETE.
- JOINTING: ALL JOINTS TO BE CAST INTO CONCRETE SHALL OBTAIN THE ENGINEER'S APPROVAL FOR CONCRETE JOINTING JOINT LOCATIONS. REINFORCING STEEL DETAILS MAY CHANGE AND THE CONTRACTOR MAY BE RESPONSIBLE FOR ADDITIONAL EXPENSES AS A RESULT.

GENERAL NOTES

- ALL WORK SHALL BE CHECKED BY A CALIFORNIA LICENSED CONTRACTOR. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO THE CONTRACT DRAWINGS AND SPECIFICATIONS HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- ALL HOLES DRILLED FOR JOISTS SHALL BE 1/4" INCH LARGER THAN THE HOLES TO BE DRILLED. ALL HOLES IN SLABS SHALL BE NOTED ON PLAN. THE NOTCHING OF THE JOIST SHALL BE DRILLED PRIOR TO THE CASTING OF THE CONCRETE. ALL HOLES AND NOTCHES SHALL BE PROTECTED FROM DAMAGE AND REPAIRS SHALL BE MADE TO THE ORIGINAL CONDITION.
- TYPICAL NOTES AND DETAILS ARE PROVIDED TO COVER GENERAL CONDITIONS FOR CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FOLLOW THESE DETAILS AND NOTES THROUGHOUT THE SPECIFIC NATURE OF THE WORK TO BE PERFORMED.
- NOTES AND DETAILS ON THESE STRUCTURAL DRAWINGS SHALL APPLY TO ALL WORK UNLESS OTHERWISE NOTED. DETAILS ARE SHOWN IN DIAGRAMMATIC FORM AND ARE NOT TO BE SCALED OFF. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- DISCREPANCIES: THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS BEFORE APPLICATION AT THE JOB SITE AS WELL AS THE PROVISIONS OF THE PERMITS, CONSTRUCTION DOCUMENTS AND BEING TO THE ARCHITECTURAL ENGINEER'S ATTENTION ANY DISCREPANCY. IN THE EVENT OF A DISCREPANCY, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OTHER AUTHORITY AS APPLICABLE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- EXCAVATION, SHORING, AND BRACING: IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORM WORK, ETC., AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- ASSURANCES: ALL INSPECTION AND TESTING SHALL BE PERFORMED ACCORDING TO BUILDING CODE AND/OR LOCAL BUILDING DEPARTMENT REQUIREMENTS.
- COORDINATION: REFER TO THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND OTHER PERTINENT DRAWINGS FOR THE SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.

TIMBER NOTES

- LUMBER SPECIFICATIONS: UNLESS OTHERWISE NOTED ON DRAWING, LUMBER SHALL BE:
 

| USE           | SIZE           | TYPE  | SPECIES | GRADE |
|---------------|----------------|-------|---------|-------|
| FRAMING       | 2-4" THICK     | NO. 1 |         | NO. 2 |
| ROOF JOIST    | 2" AND THICKER | NO. 1 |         | NO. 2 |
| CEILING JOIST | 2" AND THICKER | NO. 1 |         | NO. 2 |
| REINFORCING   | 4" MIN.        | NO. 1 |         | NO. 2 |
| JOIST         | 4" MIN.        | NO. 1 |         | NO. 2 |
- WOOD PRESERVATION: IN COMPLIANCE WITH U.S. PRODUCT STANDARD FOR TREATED LUMBER (2015).
- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.
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- WOOD PRESERVATION: UPON APPROVAL OF THE STRUCTURAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASUREMENTS, METHODS, PROCEDURES, AND MATERIALS.

NOTES

- DEPTHS OF FTGS. MAY BE DETERMINED BY LOCATION OF PIPE.
- GEN. CONTRACTOR SHALL CONSULT WITH MECH. CONTRACTOR TO DETERMINE EXACT DEPTH AND LOCATION OF PIPES.
- WHERE PIPES CROSS UNDER AND ARE NOT MORE THAN 3 FEET BELOW THE NORMAL BOTTOM OF FTG., EXCAVATION SHALL BE AS SHOWN BELOW FILLED WITH MASS CONCRETE.
- WHERE PIPES CROSS UNDER AND ARE MORE THAN 3 FEET BELOW THE FTG. SHALL BE STEPPED.



PIPE CLEARANCES @ FTG.

Revised: \_\_\_\_\_ By: \_\_\_\_\_

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 SANTA CLARA, CA 95050

**STRUCTURAL NOTES AND DETAILS**

Code: 7-2021  
 Scale: AS NOTED  
 Engineer: T.T.  
 Revision: P.E.  
 Job: S-2021-24  
 Sheet: 50 of 50

NOTE: A MINIMUM OF TWO SILL ANCHORS ARE TO BE PROVIDED PER PLATE, AND THAT THEY ARE TO BE LOCATED NOT MORE THAN 12-INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM THE ENDS AS REQUIRED BY IBCR 6403.1.6.)

NOTE 1:

1. CONTRACTOR SHALL VERIFY EXISTING FOUNDATIONS IS CONVENTIONAL AND NOT A PER AND GRADE BEAM FOUNDATION. CONTRACTOR SHALL ALERT STRUCTURAL ENGINEER IF EXISTING FOUNDATION IS PER AND GRADE BEAM PRIOR TO CONSTRUCTION.

2. ALL ANCHOR EDGE DISTANCE FROM CONCRETE EDGE SHALL BE 2 INCHES MINIMUM (UNLESS NOTIFY OTHERWISE). TYPICAL.

NOTE 2:

4) FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (KS 17.3.1).

EXCEPTIONS:

1. ONE-HALF-INCH DIAMETER OR GREATER STEEL BOLTS.  
2. PLAIN CORDON STEEL FASTENERS IN SBWOOD AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

3) FASTENERS, INCLUDING NUTS AND WASHERS, FOR FIRE-RETARDANT-TREATED WOOD USED IN EXTERIOR APPLICATIONS OR WET OR DAMP LOCATIONS SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (KS 17.3.3).

NOTES:

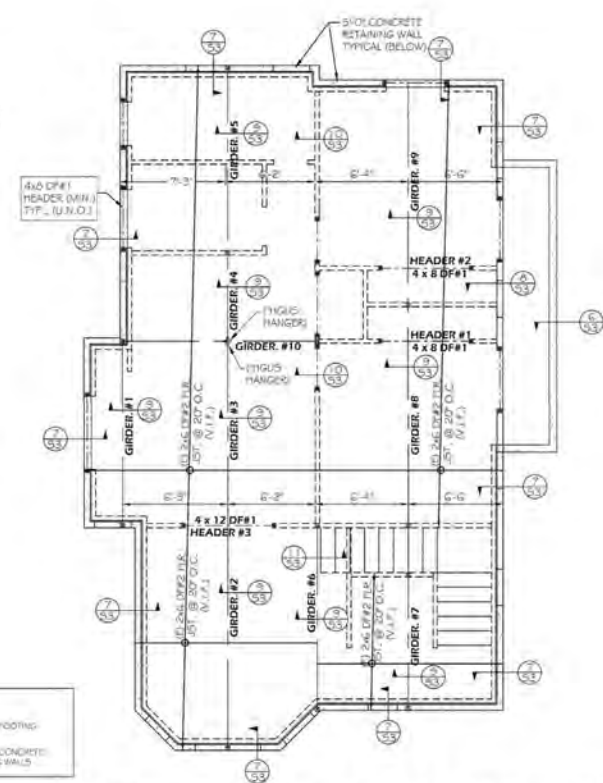
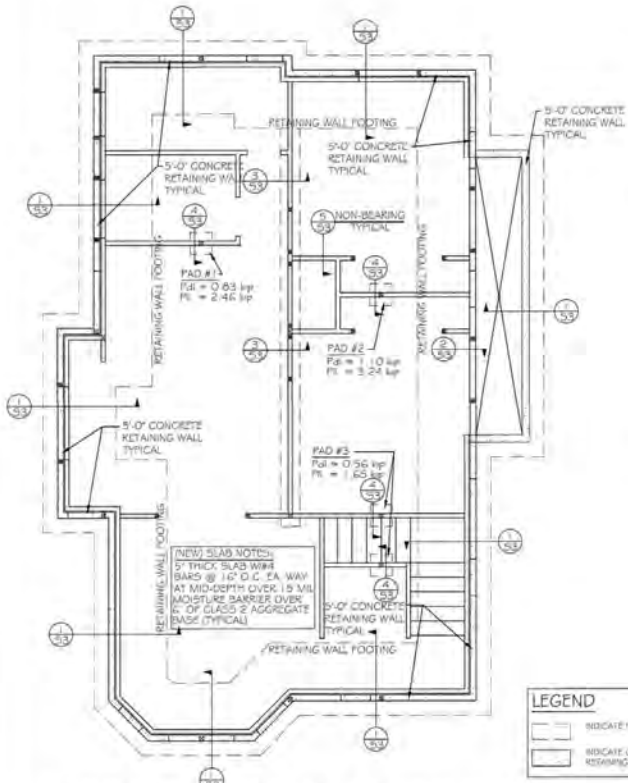
1. THE NEW FOUNDATION AT THE NEW ADDITIONS ARE DESIGN PER CBC-2022 MINIMUM (1,500 PSF) (IBC TABLE 6401.4.1) ALLOWABLE BEARING. THE NEW FOUNDATIONS ARE DESIGN WITHOUT A SOIL REPORT. HOWEVER, IF THE CITY REQUIRED A SOIL REPORT FOR THIS PROJECT, THE OWNER SHALL PROVIDE ONE IN THE FUTURE IF THERE ARE ANY SETTLEMENTS AND CRACKS TO THE NEW FOUNDATIONS LOCATION. THE ENGINEER OF RECORD AND TRUONG DESIGN SHALL NOT TAKE ANY RESPONSIBILITY FOR THESE RESULT.

BEAMS SCHEDULE: (NOTE: CONTRACTOR SHALL VERIFY ALL ACTUAL SPAN OF ALL BEAMS)

| DESCRIPTION | SPAN       | BEAM SIZE                | HANGER (FACE MOUNT) | MAX. LOAD (psf) | BEAM TO COLUMN (CON.)       | BEAM SUPPORT   |
|-------------|------------|--------------------------|---------------------|-----------------|-----------------------------|----------------|
| GIRDER #1   | 11'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #2   | 14'-11" 0" | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #3   | 12'-7"     | 3.5" x 9.5" 2.2E PSL BM. | HGUS                | 9,100           | "PC2" AND FACE MOUNT HANGER | 4x4 PTD#2 POST |
| GIRDER #4   | 8'-0"      | 3.5" x 9.5" 2.2E PSL BM. | HGUS                | 9,100           | "PC2" AND FACE MOUNT HANGER | 4x4 PTD#2 POST |
| GIRDER #5   | 12'-3"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #6   | 12'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #7   | 8'-8"      | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #8   | 12'-8"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #9   | 12'-3"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #10  | 13'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |

DESIGN CRITERIA:

1. WINDS: (2024) MINIMUM 15 MPH  
ROOF DL = 14.2 psf (ROOF CL) = 20.0 psf. EXTERIOR WALL DL = 5.0 psf  
FLOOR DL = 12.5 psf (FLOOR CL) = 40.0 psf. (INTERIOR WALL CL) = 6.0 psf  
MINIMUM ALLOWABLE SOILBORING: 1,200 psf (IBC Table 6401.4.1)



FOUNDATION / FIRST FLOOR PLAN NOTES

1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH THE LATEST ARCHITECTURAL DRAWINGS. ALERT THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE THE STRUCTURAL DRAWINGS.
2. REFER TO STRUCTURAL NOTES ON SHEET 50.
3. FOR TYPICAL CONCRETE REBAR SPLICES REFER TO DETAIL 1/50.
4. FOR TYPICAL REINFORCING AT FOUNDATION INTERSECTION, REFER TO DETAIL 3/50.
5. FOR STANDARD REBAR HOOKS, REFER TO DETAIL 0/50.
6. FOR TYPICAL SLAB JOINT, REFER TO DETAIL 4/50.
7. FOR 1/2\"/>
- 8. FOR STUD AND JOIST DRILLING OR NOTCHING, REFER TO DETAILS 5 AND 6/50.
- 9. FOR WALL PLYWOOD, REFER TO DETAIL 1/2/50.
- 10. FOR FLOOR PLYWOOD, REFER TO DETAIL 1/8/50.
- 11. SHEATH ALL NEW EXTERIOR WALLS WITH 1/2\"/>
- 12. SHEATH NEW FLOOR WITH 3/4\"/>
- 13. ALL POSTS SHOWN AND KING POSTS SHOWN SHALL BE 4x STUD WALL THICKNESS, 1/2\"/>

FOUNDATION PLAN AT BASEMENT SCALE: 1/4" = 1'-0"

FIRST FLOOR FRAMING PLAN AT BASEMENT SCALE: 1/4" = 1'-0"

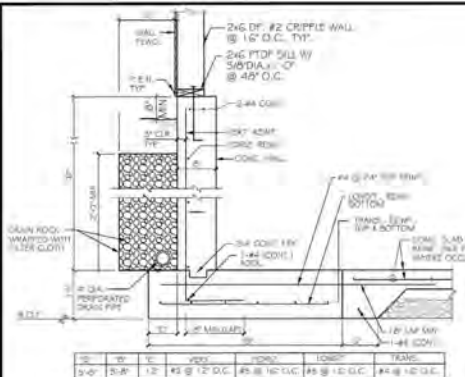
Revisions: 8/

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 SANTA CLARA, CA 95050

FOUNDATION & FIRST FLOOR FRAMING AT BASEMENT

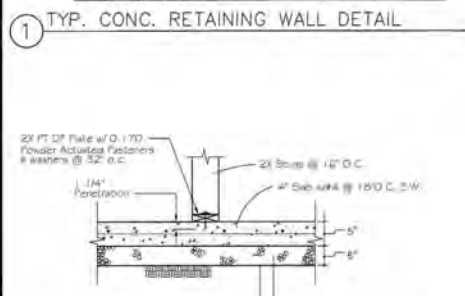
Date: 7-8-23  
 Scale: AS NOTED  
 Engineer: T.T.  
 Worksheet: #5  
 Job: S-2023-24  
 Sheet: S1



2 THICKEN FOOTING AT EXTERIOR WALL

3 SECTION AT BEARING WALL

4 INTERIOR FOOTING SECTION

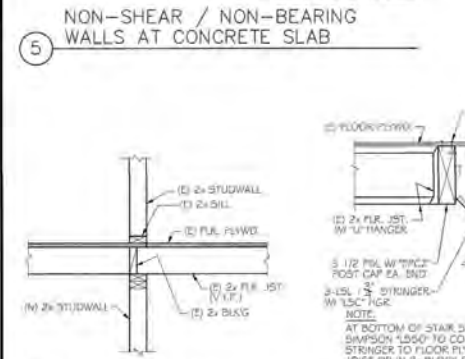


6 SECTION AT LIGHT WELL (RETAINING WALL)

7 FLOOR SECTION AT RETAINING WALL

8 FLOOR SECTION AT LIGHT WELL

9 SECTION AT PSL GIRDER



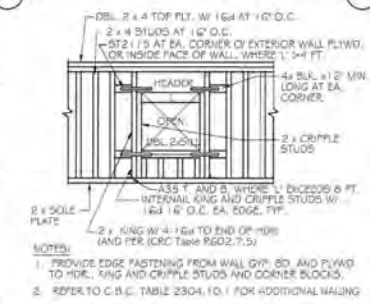
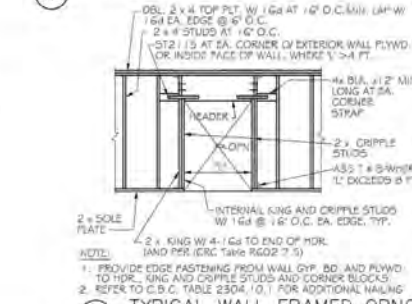
12 PLYWOOD SHEAR WALLS

13 ROOF/FLOOR PLYWOOD

14 DOUBLE TOP PLATE SPLICE

10 SECTION AT BEARING WALL

11 STAIR SECTION



**CRC 2022 TABLE R602.7.5**  
 MAXIMUM STUD SPACING (inches) [per Table R602.3(5)]

| HEADER SPAN (feet) | MAXIMUM STUD SPACING (inches) [per Table R602.3(5)] |
|--------------------|---|
| ≤ 5                | 16  |
| 6                  | 12  |
| 8                  | 8   |
| 10                 | 6   |
| 12                 | 5   |
| 14                 | 4   |

| HEADER SPAN (feet) | NUMBER OF 2x CRIPPLE STUDS BELOW HEADER |
|--------------------|---|
| ≤ 5                | 1                                       |
| 6                  | 2                                       |
| 8                  | 3                                       |
| 10                 | 4                                       |
| 12                 | 5                                       |

10 SECTION AT BEARING WALL

15 TYPICAL WALL FRAMED OPNG.

13 ROOF/FLOOR PLYWOOD

14 DOUBLE TOP PLATE SPLICE

REVISIONS

|     |      |    |
|-----|------|----|
| NO. | DATE | BY |
|     |      |    |
|     |      |    |
|     |      |    |

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**STRUCTURAL DETAILS**

DATE: 7-8-23  
 SCALE: AS NOTED  
 ENGINEER: T.T.  
 REVISIONS: K.S.  
 A/C: 1-2023-24  
 SHEET: 53



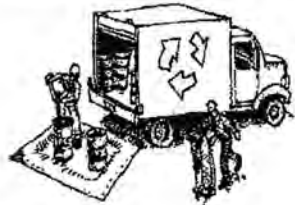




# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washer from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

Dear Santa Clara Planning Department,

I am writing to request a property variance to exempt us from the requirement to provide additional covered parking on our property located at 1277 Jackson Street. We respectfully request that you grant us the variance based on the unique challenges we face in providing the additional covered parking.

Our property faces several obstacles that make it difficult to provide covered parking, including a substandard lot size and the absence of a garage. Additionally, we have an in-ground pool and hot tub that impede where additional parking could be positioned. While we have widened our driveway to accommodate more off-street parking, providing covered parking would be a significant challenge. We are open to other ideas if preferred, but we do not wish to compromise the safety or aesthetics of our property.

We have explored several alternative solutions to address the additional parking issue, including parking off-site, carpooling, and utilizing public transportation. While carpooling has worked for us, the other options do not meet our family's needs. We understand that the zoning regulations require covered parking, but we respectfully request an exemption based on the unique challenges we face.

We assure you that we will take all necessary measures to ensure that our property remains safe and aesthetically pleasing, even without covered parking. We are committed to complying with all other zoning regulations and appreciate the opportunity to work with the board to find a solution that meets everyone's needs. We would also like to emphasize that our in-ground pool and hot tub are essential to our family's quality of life, and we hope to find a solution that allows us to keep them intact.

As long-time residents of Santa Clara and proud homeowners, we hope that you will grant us the variance so that we may continue to enjoy our neighborhood and schools and make our property our forever home. We thank you for your time and consideration and look forward to hearing back from you soon.

Sincerely,

Brandon and Michelle Spencer

RESOLUTION NO \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, APPROVING A SIGNIFICANT PROPERTY ALTERATION PERMIT FOR AN ADDITION TO A HISTORIC RESIDENCE AND A VARIANCE TO ELIMINATE THE PARKING REQUIREMENT AT 1277 JACKSON STREET, SANTA CLARA, CA**

**WHEREAS**, on December 18, 2022, Brandon Spencer (“Property Owner”) submitted an application for a Significant Property Alteration Permit for a 1,207 square foot addition to a historic residence and a Variance request to eliminate the requirement of a two-car garage (“Project”) located at 1277 Jackson Street (“Project Site”);

**WHEREAS**, the Project Site is currently zoned R1-6L – Single Family Residential and has the General Plan land use designation of Very Low Density Residential;

**WHEREAS**, pursuant to Santa Clara City Code (“SCCC”) Section 18.106.050, a Significant Property Alteration Permit is required to for alterations to a Historic Resource Inventory (HRI) property (a Queen Anne Cottage constructed in 1899);

**WHEREAS**, the Project includes the 1,207 square foot addition in the basement of the listed historic residence;

**WHEREAS**, the Significant Property Alteration Permit is Categorically Exempt from formal environmental review per Section 15301(e)(2), Class 1 Existing Facilities, of the Guidelines to the California Environmental Quality Act (“CEQA”), in that the project involves an addition in the basement of the existing residence that will result in an increase of not more than 10,000 square feet in an area where all public services and facilities are available and the area is not environmentally sensitive;

**WHEREAS**, City policy requires two covered parking spaces for single-family residences and that a nonconforming single-family residence be brought into conformance with the parking requirement when there is an addition of 500 square feet or more;

**WHEREAS**, the Property Owner requested a Variance to eliminate the requirement to provide a two-car garage and is proposing not to provide any covered parking spaces on site as a part of this Project;

**WHEREAS**, on December 7, 2023, the Historical and Landmarks Commission conducted a duly noticed public hearing to consider the Project, at the conclusion of which, the Historical and Landmarks Commission voted to recommend that the Planning Commission approve the project.

**WHEREAS**, on February 8, 2024, the notice of public hearing for the February 21, 2024 Planning Commission meeting date for this item was posted in three conspicuous locations within 300 feet of the Project Site and mailed to all property owners located within 300 feet of the Project Site; and

**WHEREAS**, on February 21, 2024, the Planning Commission conducted a duly noticed public hearing to consider the Project and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That pursuant to SCCC Section 18.106.050(d), the Planning Commission hereby approves the Significant Property Alteration Permit for the 1,207 square foot addition to the existing historic residence based on the following findings:
  - A. The alterations are designed to preserve the essential character, features, and defining elements that make the HRI property significant, in that the alterations do not modify the historic aspects of the property;

B. The project proposals will not have a significant adverse effect on the integrity of the HRI property, in that the modifications preserve the defining features of the historic structure;

C. The alterations will be compatible with the existing structure or district, in that the proposed alterations would be compatible with the historic materials, features, size, scale, proportion, and massing of the property; and

D. The alterations are consistent with the Secretary of the Interior's Treatment Standards, in that the exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the property.

3. That pursuant to SCCC Section 18.108.040, the Planning Commission hereby approves of the Variance to eliminate the requirement to provide a two-car garage based on the following findings:

A. That there are unusual conditions applying to the land or building which do not apply generally in the same district, in that the lot area and lot width are substandard from the required minimums in the R1-6L Single Family Residential Zoning District;

B. That the granting of the Variance is necessary for the preservation and enjoyment of substantial property rights of the Property Owner, in that the existing house configuration would not allow the property owner to reasonably use the property without incurring the substantial burden of reconstructing the house to accommodate a two-car garage;

C. That the granting of such Variance shall not, under the circumstances of the particular case, materially affect adversely the health, safety, peace, comfort, or general welfare of persons residing or working in the neighborhood of the Property Owner's property, and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood, in that the property still functions as a single-family residence with off-street parking available on the existing driveway; and

D. That the granting of the Variance is in keeping with the purpose and intent of the Zoning Ordinance, in that eliminating the requirement for a two-car garage would alleviate practical difficulties and unnecessary hardships for the expansion of this existing residence on a substandard lot.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 21ST DAY OF FEBRUARY 2024, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
REENA BRILLIOT  
ACTING DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference: None  
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## **CONDITIONS OF APPROVAL**

### **GENERAL**

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.
- C. Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with PLN22-00667, on file with the Community Development Department, Planning Division.
- D. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- E. This Significant Property Alteration Permit and Variance shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof.

### **ATTORNEY'S OFFICE**

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

### **COMMUNITY DEVELOPMENT**

#### **BUILDING DIVISION**

- BD1. The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
  - a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD2. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
  - <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD3. No construction code review or analysis is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of



all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
- The grade level lobbies shall be min. 1 hour rated all sides and above.
- All stair shafts shall be min. 1 hour rated.
- All elevator shafts shall be min. 1 hour rated.
- All trash chute shafts shall be min. 1 hour rated.
- Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
- Any trash rooms shall be min. 1 hour rated all sides and above.

BD4. The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

BD5. Temporary Certificates of Occupancy will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

BD6. See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.

BD7. This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022 See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.

- Chp. 15.36 – Energy Code for “all electric” provisions for new construction.
- Chp. 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.

#### HOUSING & COMMUNITY SERVICES DIVISION

H1. None

#### PLANNING DIVISION

P1. Property owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P2. Applicant to redesign the proposed project to meet the maximum allowable standards of 600 square feet and 16 feet in height for residential accessory structures under the updated Zoning Ordinance.
- P3. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and federal holidays, all in accordance with City Code Chapter 9.10.
- P4. Incorporate Best Management Practices (BMPs) into construction plans and at least one incorporate post construction water runoff measure into project plans in accordance with the City's Urban Runoff Prevention Program standards prior to issuance of building permits

#### **FIRE**

- F1. There are no fire department water supply or access conditions for the proposed development.

#### **PARKS & RECREATION**

- PR1. A dwelling unit tax of \$10.00 is due for the additional two bedrooms in an existing home.

#### **POLICE**

- PD1. None

#### **PUBLIC WORKS**

##### **ENGINEERING**

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.

##### **STREETS DIVISION**

###### **Landscape**

- L1. None

###### **Solid Waste**

- SW1. None

###### **Stormwater**

- ST1. None

#### **SILICON VALLEY POWER**

- SVP1. No Conditions

## WATER & SEWER

- W1. New 1-inch Domestic Water Service: The project shall install a new 1-inch service and meter to serve the new fire sprinkler system. The placement of the service shall comply with the City's separation requirements.
- W2. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W3. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W4. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W5. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W6. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W7. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If existing services will be used, all existing meters and backflow devices shall be upgraded to meet current City standards. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or

- abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W8. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W9. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W10. Landscaping: All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be California native, non-invasive, low water-using or moderate water-using. High water-using plants and nonfunctional turf are prohibited.
- W11. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features shall be permanently connected to the City's recycled water supply.
- W12. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W13. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W14. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W15. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation)



## Agenda Report

23-1347

Agenda Date: 12/7/2023

### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### **SUBJECT**

Consideration of a Significant Property Alteration Permit for a 1,207 Square Foot Addition to a Historic Residence and a Variance to Eliminate the Requirement for a Two-Car Garage at 1277 Jackson Street

#### **BACKGROUND**

The 3,813 square-foot subject property is located on the southeast corner of Jackson Street and Harrison Street and includes a 1,207 square-foot two-bedroom, two-bathroom one-story residence that is estimated to be constructed in 1889 in the Queen Anne Cottage architectural style. There is no existing garage or covered parking on-site. The subject property is listed as a historic resource on the City's Historic Resource Inventory (HRI).

The project is before the Historical and Landmarks Commission (HLC) for a recommendation to the Planning Commission for the proposed Major Significant Property Alteration Permit to add habitable square footage to the basement of the existing two-bedroom, two-bathroom main residence resulting in a four-bedroom, one-office, and three-bathroom single-family residence. The applicant has also applied for a Variance to eliminate the Zoning Code requirement for covered parking on-site. The City's Zoning Code requires two covered parking spaces for single-family residences. The project site does not currently provide any covered parking and is considered legal nonconforming. The City's standard practice is to require that a nonconforming single-family residence be brought into conformance with the parking requirement when there is an addition of 500 square feet or more. The applicant is requesting a Variance from this requirement and is not proposing any covered parking on site.

#### **DISCUSSION**

The applicant is proposing to excavate the basement to add habitable square footage to the historic main residence. To accomplish this, the historic residence would be lifted from the existing foundation while the basement is excavated approximately two feet and the new foundation is installed. The final first floor elevation would remain the same as the original with no changes proposed to the existing front façade. The exterior changes include the addition of windows beneath the first story to provide light and egress for the basement. The architectural features of the Queen Anne Cottage will be retained as no distinctive features will be removed. A Secretary of the Interior's Standards Review was prepared by Urban Programmers and is included as Attachment 3.

As the proposed project includes a 1,207 square foot addition, two covered parking spaces are required. There is no existing parking on-site. In addition, there is an in-ground pool and hot tub at the rear of the lot that limits where covered parking could be located. The required minimum lot width in the R1-6L zone is 60 feet and the subject property is a substandard 50 feet. The substandard 50-foot width of the lot and the existing layout of the home would require a significant demolition of the

existing structure to accommodate the required dimension for a covered parking space of 20 feet by 20 width. The applicant provided a Statement of Justification for the proposed Variance, included as Attachment 2.

### Conclusion

Staff finds that the proposed modifications to the main house adhere to the Secretary of the Interior's Standards for Rehabilitation in that the exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed scope and Secretary of the Interior's Standards review indicate that the proposed alterations would be compatible with the historic materials, features, size, scale, proportion, and massing to the protect the integrity of the property and its environment.

Staff is supportive of the Variance as this is a substandard lot that is 50 feet in width and the existing house configuration would not be able to accommodate a two-car garage. The proposed Variance would allow the property owner to reasonably use the property without incurring the substantial burden of reconstructing the house to accommodate a two-car garage.

### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301 - Existing Facilities, in that the project is limited to an addition to a historic single-family residence.

### **PUBLIC CONTACT**

On November 22, 2023, a notice of public hearing of this item was posted in three conspicuous locations within 300 feet of the project site and mailed to property owners within 300 feet of the project site. At the time of preparation of this report, the Planning Division has not received any public comments.

### **RECOMMENDATION**

Staff recommends the Historical and Landmarks Commission recommend approval of the Significant Property Alteration (SPA) Permit to the Planning Commission for the proposed alterations to the main historic resource.

Staff recommends the Historical and Landmarks Commission recommend approval of the Variance to eliminate the requirement for a two-car garage with the addition of 1,207 square feet to the existing residence.

Prepared by: Tiffany Vien, Associate Planner  
Reviewed by: Rebecca Bustos, Principal Planner  
Approved by: Lesley Xavier, Planning Manager

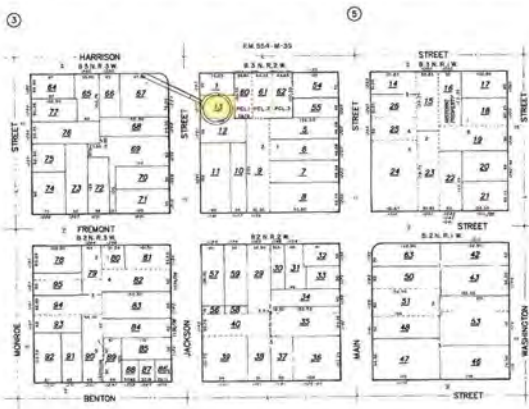
**ATTACHMENTS**

1. Development Plans
2. Variance Statement of Justification
3. Secretary of the Interior's Standards Review



OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

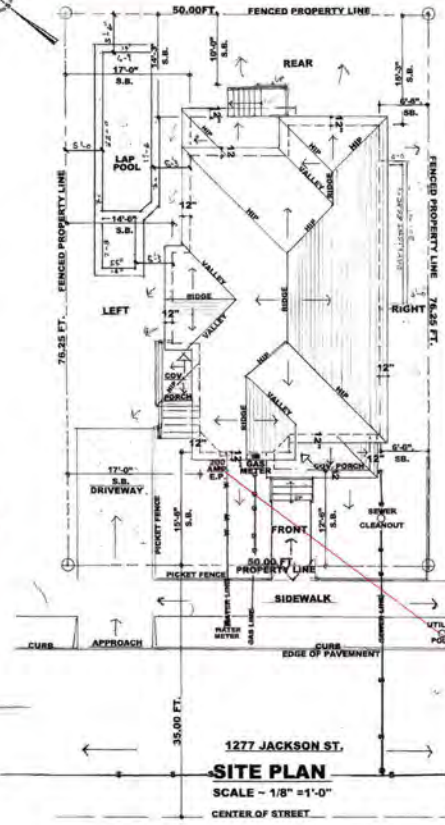
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VICINITY MAP

PROPERTY OVERVIEW 1277 JACKSON ST, SANTA CLARA, CA 95050-4823

| Owner and Geographic Information   |                       | Secondary Owner   |                         |
|--|-----------------------|---|-------------------------|
| Primary Owner:<br>SPENCER BRACON/KO PERDUE MOCHILE<br>107 JACKSON ST, SANTA CLARA, CA 95050-4823<br>A/E: 309-10-013<br>Showing Tour Number:<br>Legal Description: 021 SANTA CLARA<br>City/County/Zone: SANTA CLARA |                       | Secondary Owner:<br>1277 JACKSON ST, SANTA CLARA, CA 95050-4823<br>Lot Number: _____<br>Page: 100 |                         |
| Property Details   |                       |   |                         |
| 1. Acreage: 0.13   | 2. Year Built: 1990   | 3. Square Feet: 1,207   | 4. Lot Area: 1,207 SF   |
| 5. Bathrooms: 1  | 6. Garage: 1          | 7. Number of Units: 1   | 8. Number of Stories: 1 |
| 9. Total Rooms: 3  | 10. Foundation: _____ | 11. Zip Code: 95050   | 12. Other: _____        |
| 13. Zoning: R1   | 14. Parcel: _____     | 15. City: Santa Clara   | 16. State: California   |



1277 JACKSON ST.  
SITE PLAN  
SCALE - 1/8" = 1'-0"  
CENTER OF STREET

**PARCEL DATA:**

**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA.

|  |             |
|--|-------------|
| 1. PARCEL NO.:                                       | 249-15-013  |
| 2. YR. BUILT:  | 1990        |
| 3. LOT SIZE:   | 3812.50 SF. |
| 4. BUILDING:   | 1-STORY     |
| 5. SPRINKLER SYSTEM REQUIRED:                        | YES         |
| 6. ZONING: R1 SINGLE FAM. RES.                       |             |
| 7. TYPE OF CONSTR.:                                  | VB          |
| 8. GROUP OCCUPANCY:                                  | R3          |
| 9. GARAGE:   | NONE        |
| 10. LIVING SPACE:                                    |             |
| EXISTING 1-STORY HOUSE:                              | 1207.00 SF. |
| PROPOSED BASEMENT FOR LIVING:                        | 1207.00 SF. |
| TOTAL LIVING:  | 2414.00 SF. |
| TOTAL LOT COVERAGE:                                  | 1207.00 SF. |
| 11. COV. ALLOW'D: 3812.50 SF. X .46(%) = 1525.00 SF. |             |
| 12. F.A.R.: (1207.00 SF.)                            |             |
| 120700 SF. ÷ 3812.50 SF. = 0.3166 OR 32%             |             |

**PLAN INDEX: SPENCER RESIDENCE 2023**

|   |
|---|
| A1. SITE PLAN/PARCEL DATA                             |
| A1.0 SITE PLAN/NOTES                                  |
| PC. PRESERVATION COMPLIANCE INFORMATION               |
| T24-1 TITLE 24 REPORT                                 |
| T24-2 TITLE 24 REPORT                                 |
| GN. GENERAL PLAN NOTES 2022                           |
| CWM. CONSTR. WASTE MANAGEMENT PLAN                    |
| CMC. CALGREEN MAN. MEASURES/CHECKLIST                 |
| A1. EXISTING FLOOR PLAN                               |
| A2.1 DEMO PLAN  |
| A3. PROPOSED 1 <sup>ST</sup> . FLOOR & BASEMENT PLAN  |
| A4. ELECTRICAL: 1 <sup>ST</sup> . FLOOR & BASEMENT    |
| AS. SECTION: A - A                                    |
| A6. EXISTING ELEVATIONS: ALL SIDES                    |
| A7. PROPOSED ELEVATIONS: ALL SIDES                    |
| S0 STRUCTURAL NOTES AND DETAILS                       |
| S1 FOUNDATION/1 <sup>ST</sup> . FLOOR FRAM'G/BASE'MT. |
| S2 NO ENGINEERING SHEET                               |
| S3 STRUCTURAL DETAILS                                 |
| E1. NOTES & DETAILS                                   |
| TWH TANKLESS WATER HEATER DETAILS                     |
| BEST MANAGEMENT PRACTICES.                            |
| (CITY OF SANTA CLARA)                                 |

- SCOPE OF WORK: SPENCER RESIDENCE 5-31-2023**
- A. SELECTED CONTRACTOR PROPOSES TO:**
1. DEMO EXISTING BASEMENT AREA WITH 6.5" CEILING FOR (N) BASEMENT/FOUNDATION W/ NEW CEILING HT. OF 8 FT.-0" MIN.
  2. CONSTRUCT NEW BASEMENT AS ADDITIONAL LIVING SPACE WITH LAUNDRY, BATHROOM, TWO BEDROOMS WITH CLOSETS KITCHEN, GAME ROOM, FAMILY ROOM, STAIRCASE TO FIRST FLOOR AND A DAYLIGHT, EGRESS AREA CONSISTING OF LADDERS FOR ESCAPE WITH GRATING COVER AND SUMP PUMP.
  3. INSTALL NEW FURNACE/AC IN BASEMENT AREA.
  4. CONSTRUCT STAIRCASE ON (E) MAIN FLOOR TO (N) BASEMENT WITH SUPPORTING STRUCTURE.
  5. PROVIDE ELECTRICAL AND PLUMBING AS NEEDED.
  6. INSTALL NEW TANKLESS WATER HEATER @ REAR OF HOUSE.
  7. CONTRACTOR SHALL MATCH EXTERIOR FINISH AND TRIM.
  8. A. EXISTING 1<sup>ST</sup>. STORY (1207.00 SF.).
  9. B. PROPOSED BASEMENT TO EXT. FDN. WALLS (1207.00 SF.).
- B. ALL WORK SHALL COMPLY WITH:**
- 2022 BUILDING ENERGY STANDARDS  
2022 CALIFORNIA ENERGY CODE, TITLE 24  
2022 CALIFORNIA FIRE CODE  
2022 CBC CALIFORNIA BUILDING CODE  
2022 CRC CALIFORNIA RESIDENTIAL CODE  
2022 CEC CALIFORNIA ELECTRICAL CODE  
2022 CFC CALIFORNIA PLUMBING CODE  
2022 CMC CALIFORNIA MECHANICAL CODE  
2022 IBC CALIFORNIA INTERNATIONAL CODE  
7-15 ASCE AMERICAN SOC. OF CIVIL ENGINEER'G  
318-15 ACI AMERICAN CONCRETE INSTITUTE  
ALL LOCAL CODES AND REGULATIONS INCL. ALL SETBACKS
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR:**
- ALL SUB-CONTRACTORS, THEIR WORKMANSHIP AND SCHEDULES. BECOME FAMILIAR WITH ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION. THIS PLANMAKER/ARCH. SHALL ASSUME NO LIABILITY FOR PREVIOUS WORK PERFORMED BY OTHERS WITH OR WITHOUT OFFICIAL BUILDING PERMITS FROM THE CITY OF SANTA CLARA PLANNING, BUILDING DEPARTMENTS, ETC...  
ANY PLAN VARIATIONS OR DISCREPANCIES SHALL BE BROUGHT TO THIS PLAN MAKER FOR CORRECTION IN A TIMELY MANNER.

NOTE: DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM. POOL GUARDRPM INDUSTRIES INC. MODEL: DRY-PT 01, 2017 OR EQUIVALENT, TO BE INSTALLED. THE ALARM WILL PRODUCE AN AUDIBLE WARNING WHEN THE DOOR AND/OR SCREEN, IF PRESENT, ARE OPENED. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 5' ABOVE THE DOOR THRESHOLD.

NOTE: TO HOMEOWNER/CONTRACTOR: PER CODE R313.2, CHAPTER 15.17... (AS A DEFERRED ITEM). AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BASEMENTS REGARDLESS OF SIZE AND THROUGHOUT EXISTING BASEMENTS THAT ARE EXPANDED MORE THAN 50%.

| REVISIONS | BY |
|-----------|----|
|           |    |
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PLEASE COMMENT TO:  
LOUCOSTANZO.COM  
GARY.MART  
HEATFORRESELL  
LOUCOSTANZO

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:**  
**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA. 95050  
PLANNING DEPARTMENT  
STRUCTURAL ENGINEER: TONY TRUDING P.E. - 408 899-0220

**SITE PLAN**

DRAWN:  
LOU COSTANZO  
CHECKED:  
S.C.  
DATE:  
12-28-21  
SCALE:  
1/8" = 1' - 0"  
JOB NO:  
820210  
SHEET

**A1**

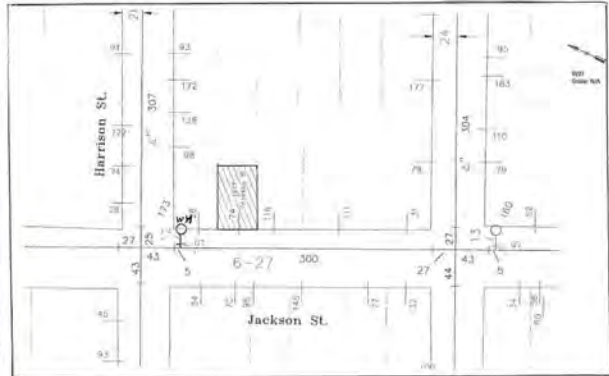
OF SHEETS

From: Ahmed Aly <>  
 Date: Tue, Mar 21, 2023 at 1:28 PM  
 Subject: RE: Application Submitted - PLN22-00667  
 To: Tiffany Vien <>  
 CC: Ferrara, Michelle <> ; Lou Costanzo <>  
 <> ; Brandon Spencer <>

Good Afternoon Brandon and Tiffany,

I apologize, this must of slipped through the cracks. Attached is the City water block and book information which tells you where the service would be. According to your records, the site is served by a 6" service. This information should be verified in the field by your engineer, surveyor, architect or contractor.

Let me know if you have any other questions.  
 THANKS,



WATER & SEWER - (DEEMED COMPLETE) (DEEMED INCOMPLETE)  
 Reviewed by: Ahmed Aly

**W1. Existing Services:**  
 The applicant shall show all existing water and sewer services, meters, and mains on the plans and indicate their sizes on the proposed site plan or on a composite utility plan. If the existing services will not be used, then the applicant shall properly abandon these services at the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.

**W2. New 1-inch Domestic Water Service:**  
 The project shall install a new 1-inch service and meter to serve the new fire sprinkler system. The placement of the service shall comply with the City's separation requirements.

**W3. Utility Separations:**  
 Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 6' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.

**NOTE: NEW 1-INCH WATER SERVICE IS REQUIRED:**  
 OWNER SHALL INSTALL A NEW 1-INCH SERVICE AND METER TO SERVE THE NEW FIRE SPRINKLER SERVICE. THE PLACEMENT OF THIS SERVICE SHALL COMPLY WITH THE CITY'S SEPARATION REQUIREMENTS.  
**NOTE: UTILITY SEPARATION NOTES:**  
 ALL HORIZONTAL AND VERTICAL CLEARANCES SHALL COMPLY WITH STATE AND LOCAL REGULATIONS. MAINTAIN A MINIMUM 12 INCHES OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES:  
 10 INCHES FROM SANITARY SEWER UTILITIES,  
 10 INCHES FROM RECYCLED WATER UTILITIES,  
 8 INCHES FROM STORM DRAIN UTILITIES,  
 6 INCHES FROM FIRE AND OTHER WATER UTILITIES,  
 5 FT. FROM ABANDONED WATER SERVICES,  
 5 FT. FROM GAS AND ELECTRIC UTILITIES,  
 5 FT. FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES. OWNER SHALL MAINTAIN A MINIMUM DISTANCE OF 10 FT. FROM EXISTING AND PROPOSED TREES. IF OWNER INSTALLS ROOT BARRIERS, CLEARANCES FROM TREE REDUCES TO 5 FT. (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES) AND STRUCTURES (FENCING, FOUNDATION, BIOFILTRATION SWALES, ETC.) ALLOWED OVER SANITARY SEWER, POTABLE WATER AND RECYCLED WATER UTILITIES AND EASEMENTS.



Dear Santa Clara Planning Department,

I am writing to request a property variance to exempt us from the requirement to provide additional covered parking on our property located at 1277 Jackson Street. We respectfully request that you grant us the variance based on the unique challenges we face in providing the additional covered parking.

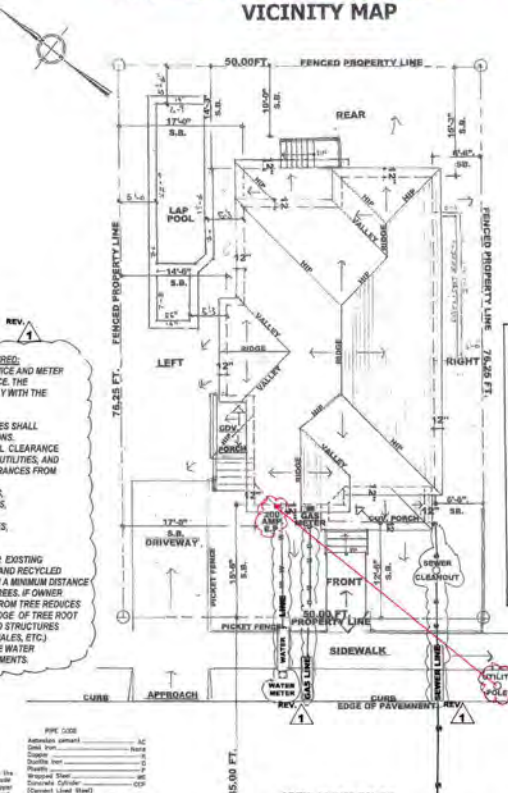
Our property faces several obstacles that make it difficult to provide covered parking, including a substandard lot size and the absence of a garage. Additionally, we have an in-ground pool and hot tub that impede where additional parking could be positioned. While we have widened our driveway to accommodate more off-street parking, providing covered parking would be a significant challenge. We are open to other ideas if preferred, but we do not wish to compromise the safety or aesthetics of our property.

We have explored several alternative solutions to address the additional parking issue, including parking off-site, carpooling, and utilizing public transportation. While carpooling has worked for us, the other options do not meet our family's needs. We understand that the zoning regulations require covered parking, but we respectfully request an exemption based on the unique challenges we face.

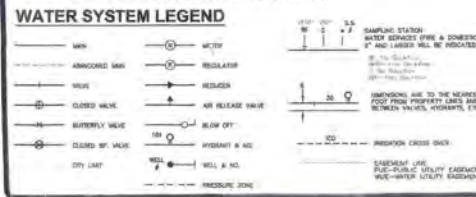
We assure you that we will take all necessary measures to ensure that our property remains safe and aesthetically pleasing, even without covered parking. We are committed to complying with all other zoning regulations and appreciate the opportunity to work with the board to find a solution that meets everyone's needs. We would also like to emphasize that our in-ground pool and hot tub are essential to our family's quality of life, and we hope to find a solution that allows us to keep them intact.

As long-time residents of Santa Clara and proud homeowners, we hope that you will grant us the variance so that we may continue to enjoy our neighborhood and schools and make our property our forever home. We thank you for your time and consideration and look forward to hearing back from you soon.

Sincerely,  
 Brandon and Michelle Spencer



1277 JACKSON ST.  
**SITE PLAN**  
 SCALE ~ 1/8" = 1'-0"  
 CENTER OF STREET



**PARCEL DATA:**  
 THE SPENCER RESIDENCE  
 1277 JACKSON ST., SANTA CLARA, CA.

|   |                     |
|---|---------------------|
| 1. PARCEL NO.:  | 289-15-013          |
| 2. YR. BUILT:   | 1890                |
| 3. LOT SIZE:  | 3812.50 SF.         |
| 4. BUILDING:  | 1-STORY             |
| 5. SPRINKLER SYSTEM REQUIRED:                           | YES                 |
| 6. ZONING:  | R1 SINGLE FAM. RES. |
| 7. TYPE OF CONSTR.:                                     | YB                  |
| 8. GROUP OCCUPANCY:                                     | R3                  |
| 9. GARAGE:  | NONE                |
| 10. LIVING SPACE:                                       |                     |
| EXISTING 1-STORY HOUSE:                                 | 1207.00 SF.         |
| PROPOSED BASEMENT FOR LIVING:                           | 1202.00 SF.         |
| TOTAL LIVING:   | 2414.00 SF.         |
| TOTAL LOT COVERAGE:                                     | 1207.00 SF.         |
| 11. COV. ALLOW'D (0.3172x50.00 SF. = 40%) = 1525.00 SF. |                     |
| 12. P.A.R.:   | (1207.00 SF.)       |
| (120700 SF. = 3812.50.00 SF. = 8.3146 OR 0.32%)         |                     |

NOTE: TO HOMEOWNER/CONTRACTOR:  
 PER CODE R313.2, CHAPTER 15.17... (AS A DEFERRED ITEM).  
 AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL NEW BASEMENTS REGARDLESS OF SIZE AND THROUGHOUT EXISTING BASEMENTS THAT ARE EXPANDED MORE THAN 50%.

**PLAN INDEX: SPENCER RESIDENCE 2023**

|  |
|--|
| A1. SITE PLAN/PARCEL DATA  |
| A10. SITE PLAN/NOTES   |
| PC. PRESERVATION COMPLIANCE INFORMATION                            |
| T241. TITLE 24 REPORT  |
| T242. TITLE 24 REPORT  |
| GN. GENERAL PLAN NOTES 2022  |
| CWM. CONSTR. WASTE MANAGEMENT PLAN                                 |
| CMC. CALGREEN MAN. MEASURES/CHECKLIST                              |
| A2. EXISTING FLOOR PLAN  |
| A2.1 DEMO PLAN   |
| A3. PROPOSED 1 <sup>ST</sup> FLOOR & BASEMENT PLAN                 |
| A4. ELECTRICAL: 1 <sup>ST</sup> FLOOR & BASEMENT AS SECTION: A - A |
| A6. EXISTING ELEVATIONS: ALL SIDES                                 |
| A7. PROPOSED ELEVATIONS: ALL SIDES                                 |
| S0. STRUCTURAL NOTES AND DETAILS                                   |
| S1. FOUNDATION/1 <sup>ST</sup> FLOOR FRAM/G/BASE/MT.               |
| S2. NO ENGINEERING SHEET   |
| S3. STRUCTURAL DETAILS   |
| E1. NOTES & DETAILS  |
| TW1. TANKLESS WATER HEATER DETAILS                                 |
| BE1. MANAGEMENT PRACTICES (CITY OF SANTA CLARA)                    |

| REVISIONS | BY         |
|-----------|------------|
| 1         | 8-18-23 UC |
|           |            |
|           |            |
|           |            |
|           |            |
|           |            |
|           |            |
|           |            |
|           |            |

FOR A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA, CA. 95050  
 PLAN: LOU COSTANZO 1901 SAN GABRIEL AVE., SAN JOSE, CA. 95128-0220  
 ARCHITECTURE, ENGINEERING, INTERIORS TEL: 408.999.0220

**SITE PLAN**

DRAWN  
**LOU COSTANZO**  
 CHECKED  
**S.C.**  
 DATE  
**12-28-21**  
 SCALE  
**1/8" = 1'-0"**  
 JOB NO.  
**320210**  
 SHEET

**A1.0**

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 1 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

Complaint Status: Resolving

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 2 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 3 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 4 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 5 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 6 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 7 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 8 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 9 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 10 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
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OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 11 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
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OFFICE OF CONSUMER ASSISTANCE - RESIDENTIAL PERFORMANCE COMPLAINT REVIEW

Complaint Number: 2019-04-127634-0010  
 Page 12 of 12

Complaint Description: Tap at kitchen

| AP # | AP Type | Complaint | Actual | Expected | Min. Acceptable | Maximum Acceptable | 10 Year | 50 Year | 100 Year | AP Status |
|------|---------|-----------|--------|----------|-----------------|--------------------|---------|---------|----------|-----------|
| 00   | 00      | 00        | 00     | 00       | 00              | 00                 | 00      | 00      | 00       | 00        |

FRI Energy Consultants, LLC  
 5770 Winfield Blvd #15  
 San Jose, CA 95123  
 Phone: 408-866-1620

SPENCER RESIDENCE  
 1277 JACKSON ST  
 SANTA CLARA, CA 95050



NO. \_\_\_\_\_ DATE: \_\_\_\_\_ HAER: \_\_\_\_\_ NR: \_\_\_\_\_ SSN: \_\_\_\_\_ LAG: \_\_\_\_\_ B: \_\_\_\_\_

**IDENTIFICATION**

1. Common name: \_\_\_\_\_

2. Historic name: \_\_\_\_\_

3. Street or other address: 1277 Jackson St.

City: Santa Clara Zip: 95050 County: Santa Clara

4. Parcel number: 249-10-1

5. Present owner: Lawrence Address: 1277

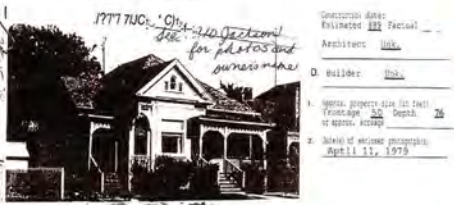
City: \_\_\_\_\_ Zip: \_\_\_\_\_ Ownership (see Public/Private): \_\_\_\_\_

6. Present occupant: Johnnie Family Original use: Single family res.

**DESCRIPTION**

7a. Architectural style: Queen Anne Cottage

7b. Briefly describe the present appearance of the site or structure and describe any significant features in its original condition. 1277 Jackson Street is a single story wooden residence built on a rectangular plan and designed in a Queen Anne Cottage style. The structure exhibits a steeply pitched central roof with 2 offset pedimental-shaped gables and 3 low hipped porch roofs projecting from it. The various roof planes are finished in patterned asphalt shingles. The body of the house is sheathed in wide ship lap with over-sized wooden endboards. Flathead shingles ornament the gables. The facade is distinguished by a slightly cut-out, angled bay and two porches: a rectangular entry porch that is supported by 4 turned posts and a small slovenly porch supported by 4 turned posts. Both porches contain 6 straight steep wooden stairs and are highly ornamented by subunits and cut-out wooden screens under the board cornice and plain frieze of the porch roofs. Porcelain is generally single and paired, rectangular double-hung windows. A small pediment window highlights the front facing gable. Spinners, pendants and carved, oversized wooden brackets ornament one side of the angled bay. Landscaping is minimal. The ever attached garage is an addition.



13. Condition: Excellent  Good  Fair  Deteriorated  No longer in existence

14. Alterations: Attached rear garage

15. Surroundings: (Check more than one if necessary) Open land  Scattered buildings  Density built-up  Residential  Industrial  Commercial  Other

16. Threats to site: None known  Private development  Zoning  Vandalism  Public Works project  Other

17. Is the structure: One of original site?  Moved?  Unknown?

18. Related/associated with 3 identical structures in a row

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site).

The site is significant primarily due to its architecture and the fact that it is one of 3 identically planned houses (with 8,12,25 and 11,261 Jackson) which despite minor alterations in detail over the years, perfectly reflect the early speculative housing technique for row identical development in Santa Clara. The set of 3 identical Victorian houses in a row provides a unique addition to the City's urban heritage. This 1915 Sanborn Insurance map shows all three identical Queen Anne Cottages built on their present locations except that their lot sizes are much larger. This 1915 City Directory lists Augustine F. Cron as the owner/occupant of the residence.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)

Architecture  Arts & Letters \_\_\_\_\_

Economic/Industrial \_\_\_\_\_ Exploration/Settlement

Government \_\_\_\_\_ Military \_\_\_\_\_

Religion \_\_\_\_\_ Scientific/Educational \_\_\_\_\_

21. Sources (List books, documents, newspaper, historical photographs, architectural) Sanborn Insurance Map 1891, 1915, Potts City Directory 1915.

22. Date form prepared: June 1, 1989

Prepared by: Bonnie Bamburg

City: Santa Clara Zip: 95050

Name: 1277-10-1



Photograph 3 1281 Jackson Street.

View: Front facade showing the very similar Queen Anne Cottage architectural design found in the three houses including the 8 steps to the first level, approximately 4 feet above grade level.



Photograph 4 1277 Jackson Street.

View: front and right facade showing the first level floor is approximately 4 feet above grade. Proposed windows would be on this side of the building, which is not visible from the street.



Photograph 5 1285 Jackson Street.

View Front facade showing the steep steps to the first level of the house, approximately 4 feet above grade. This house shows the most remodeling and loss of architectural details yet retains a visual connection to the other two homes.

**Three Queen Anne Cottages in a Row.** The row of three Victorian era house listed in the Santa Clara Historical Resources Inventory, are the same style, and form and mass. All are single story and have partial basements with the main floor elevated above the grade approximately 4 feet. Each has 6 stairs leading to the porch and horizontal board siding on all walls of the buildings. Each house also has windows in the basement walls below the first level.

The proposed excavation of the basement at 1277 Jackson Street will allow the occupancy use of the basement and maintain the same approximately 4-foot elevation to the porch and first level floor. The overall height of the house remains the same. The proposed plan does not change the appearance of the row of three Queen Anne Cottages, nor does it detract from the historic development pattern as shown by the three c.1890 houses. The proposed excavation of the basement at 1277 Jackson Street will not be an adverse change to the architectural character of the house or the neighboring houses. The significance stated in the 1979 Historic Resources Inventory will be maintained and is not diminished by the proposed plan to provide additional height in the basement of 1277 Jackson Street.



Figure 1 Section of the 1915 Santa Clara Sanborn Mappage 213, showing the 3 Queen Anne cottages.

- 1. Each separate historic resource to be preserved, reconstructed, repaired, or restored. Historic character, architectural features, and historic significance shall be maintained, and no new construction shall be undertaken.
- 2. The proposed plan to add living space in a basement will not change the sense of the c. 1890 historical development. The house was developed with a basement. No conjectural features will be added.
- 3. Changes to a historic site shall address historic significance to best use (BUI) and historic preservation.
- 4. All architectural features will be retained. Although none of the alterations have acquired historic importance, none will be removed.
- 5. All existing historic architectural features shall be preserved.
- 6. The foundation has failed and must be replaced. The foundation is not considered a distinctive feature or one that represents specific construction techniques or craftsmanship.
- 7. During the proposed construction, any deteriorated material, horizontal board siding or window frames will be repaired or replaced in kind.
- 8. Exterior is original materials. If appropriate, will be reconstructed using the greatest extent possible. Treatment of wood siding and trim materials will be in the same style as the original materials.
- 9. Although a specification for painting or repair have not been prepared, there is no reason that finish chemical treatments would be considered.
- 10. Because the site has been disturbed by the construction of the existing house and basement it is unlikely that archeological resources of importance would be found. However, an archeological survey was not conducted as part of this evaluation process.
- 11. New windows and exterior alterations to related new construction will not detract from the historic character and will be in-kind with the existing structure.
- 12. The use of new materials for reconstruction will be in-kind with the existing materials.
- 13. The proposed plans do not destroy important historic materials of features that characterize the Queen Anne Cottage architecture.
- 14. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features of historic significance will be limited to the minimum necessary for the preservation of the building and its environment.
- 15. Replacing the foundation will provide for the preservation of the building. It is not considered an addition and would not be removed in the future.
- 16. The proposed plan to add a functional basement to the historic house is in conformance with the Secretary of the Interior's Standards.



Santa Clara Planning Department  
Santa Clara City Hall  
1500 Washington Street  
Santa Clara CA 95050

**Subject: 1277 Jackson Street, Proposed Basement Excavation**

Purpose of this memo: The house at 1277 Jackson Street is one of a trio of very similar Queen Anne Cottage style houses constructed prior to 1891. Together they represent a late nineteenth century development pattern. The properties at 1285 and 1281 Jackson Street are on each side of 1277 Jackson Street and each are individually listed in the Santa Clara Historic Resources Inventory. The owners of the property at 1277 Jackson Street have submitted a plan to replace the failing foundation. As part of the plan the partial basement will be excavated to an 8-ft. height basement, creating a space to be occupied. This will require compliance with life safety codes, including windows for egress, light and air. The City of Santa Clara has required that the plan be evaluated by qualified consultants to determine if the changes through the character-defining architectural features of the house or of the trio of buildings.

The Study/Evaluation: Urban Programmers was asked to review the proposed plans and to compare the changes with the Secretary of the Interior's Standards for Rehabilitation; the criteria used by the City of Santa Clara.

**Methodology:** Urban Programmers conducted a site visit and took photographs of the three properties. The proposed plans were reviewed to determine if the changes were consistent with the "Standards", and how the changes might affect the group when all three buildings were considered. Marvin Bamburg, AIA, Historic Architect/NWIC and Bonnie Bamburg participated in this evaluation.

**Existing property:** The site was conducted by Urban Programmers on September 2, 2002, confirmed that although there have been alterations, the 3 Queen Anne Cottage style houses retained sufficient integrity to be recognized as a pattern of speculative development c. 1890. The front and primary facade of 1277 Jackson St. appears very much the same as it did in the 1979 HRG photograph. The house at 1277 Jackson Street, and the other two, have identical designs that include the first floor raised 4 feet above grade, over the foundation and original wall. Each house has 6 steep steps leading to the front and side porches. Only the house at 1277 Jackson St. was available to be visited at facade. However, it appeared that all were very similar with horizontal board siding covering the walls including the basement where side windows appear to be original to the design.



**Proposed plans:** The house will be lifted from the existing foundation and stabilized while the 8 foot 6 inches high basement is excavated approximately 2 feet and the new foundation is installed. The house will be lowered onto the new foundation and structurally connected. The basement room height floor to ceiling will be 8 feet. The final first floor elevation will remain the same as the original elevation. The stair accessing the new basement will be inside the house. The front porch and front facade features will be repaired where needed and

preserved. No changes are proposed for the front facade. The exterior changes are to add windows beneath the first-floor level to provide light and air egress for the basement. The change on the right side of the house will be two new windows will be added and set within concrete a window well to provide emergency egress. On the left side small sliding style windows are set within the wall above grade in the same area that windows already exist.

No changes or alterations are proposed for the exterior facade above the basement level.

The following is a comparison of the proposed basement level plans and the Secretary of the Interior's Standards for Rehabilitating historic buildings.

- 1. A property will be used in a way that is consistent with its historic character.
- 2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features of historic significance will be limited to the minimum necessary for the preservation of the building and its environment.
- 3. The character of the house will be retained with no changes to the architectural features of the Queen Anne Cottage. There is very little removal of existing material, all distinctive features and spaces that characterize the house will be retained. Providing a usable basement does not require the removal of distinctive materials.

September 23, 2002

Urban Programmers  
1000 West Street  
San Jose, CA 95128  
Tel: 408.298.7171  
Fax: 408.298.7172

| REVISIONS | BY |
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**FOR THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA.  
FROM: BONNIE BAMBURG,  
12777 RIDGEVIEW AV., SAN JOSE CA. 95127  
bbamburg@urbans.com 408.298.7171

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:**  
**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA. 95050  
CONTACT: BONNIE BAMBURG, 12777 RIDGEVIEW AV., SAN JOSE, CA. 95128  
STRUCTURAL ENGINEER, TONY TRUONG, INC. 408.292.2228

**PRESERVATION COMPLIANCE INFORMATION**

**DRAWN BY:** BONNIE BAMBURG  
**CHECKED BY:** \_\_\_\_\_  
**DATE:** 9-25-02  
**SCALE:** NONE  
**JOB NO.:** B. BAMBURG  
**SHEET:** \_\_\_\_\_

**PC**





**City of Santa Clara**  
**2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST**

Building Division: 408-616-2440  
 Email: [building@cityofsantaclara.org](mailto:building@cityofsantaclara.org)  
 Permit Center: 408-616-3433  
 Email: [permits@cityofsantaclara.org](mailto:permits@cityofsantaclara.org)  
 Building Inspection Scheduling System: 408-616-2400

Building Permit No.: **BL02**  
 Address: **1272 JACKSON ST., SANTA CLARA CA, 95050**

Non-residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

MANDATORY MEASURES ONLY  
 Please check these items

| Requirement  | Yes                      |
|--|--------------------------|
| Recycling by occupants. Where 3 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for depositing, storage and collection of non-hazardous materials for recycling per CGC 4.410.2   | <input type="checkbox"/> |
| <b>ENVIRONMENTAL QUALITY (CGC 4.503)</b>   |                          |
| Lead fireplaces. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits per CGC 4.503.1. Woodstoves and pellet stoves shall also comply with Santa Clara City Code Chapter 15.65.   | <input type="checkbox"/> |
| <b>POLLUTANT CONTROL (CGC 4.504)</b>   |                          |
| Covering of dust openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with heavy plastic sheeting, or other methods acceptable to the City to reduce the amount of water, dust or debris which may enter the system per CGC 4.504.1. | <input type="checkbox"/> |
| Airborne dust and coatings shall meet the product-weighted MFR limits for RDC and other requirements per CGC 4.504.2.  | <input type="checkbox"/> |
| Verification. Documentation shall be provided, at the request of the Building Division, to verify that compliant VOC and finish materials have been used per CGC 4.504.2.4.  | <input type="checkbox"/> |
| Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of CGC 4.504.3.  | <input type="checkbox"/> |
| Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4.  | <input type="checkbox"/> |
| Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall comply with the formaldehyde emissions standards and requirements per CGC 4.504.5.   | <input type="checkbox"/> |
| <b>INTERIOR MOISTURE CONTROL (CGC 4.505)</b>   |                          |
| Concrete slab foundations. Vapor retarder and capillary breaks shall be installed if a sub-grade foundation system is used. The retarder if 15 mil or larger must be applied under a 10 mil vapor retarder with girth lapped not less than 6" shall be provided per CGC 4.505.2, CRC R306.2.2, CRC R306.2.3 and CGC Section 102.   | <input type="checkbox"/> |
| Moisture control of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 18% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.  | <input type="checkbox"/> |
| <b>INDOOR AIR QUALITY AND EXHAUST (CGC 4.506)</b>  |                          |
| Bathroom exhaust fans. Each bathroom shall be mechanically ventilated using ENERGY STAR compliant fans ducted to the exterior and equipped with humidity controls system per CGC 4.506.1.  | <input type="checkbox"/> |
| <b>ENVIRONMENTAL COMFORT (CGC 4.507)</b>   |                          |
| Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2:<br>1. Heat Load/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016, ASHRAE handbook or equivalent.<br>2. Load systems are sized according to ANSI/ACCA 1 Manual D-2016, ASHRAE handbook or equivalent.<br>3. Select heating and cooling equipment in accordance with ANSI/ACCA 3 Manual S-2014 or equivalent.                       | <input type="checkbox"/> |
| <b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)</b>   |                          |
| Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1.  | <input type="checkbox"/> |
| Special inspection. Special inspectors employed by the City must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2.  | <input type="checkbox"/> |
| <b>VERIFICATION (CGC 703)</b>  |                          |
| Documentation. Upon request, verification of compliance with this code may include construction documents, state inspections, builder or installer certification inspection reports, or other methods accessible to the building department which will show substantial compliance per CGC 703.1.  | <input type="checkbox"/> |

| Responsible Designer's Declaration Statement   | Contractor Declaration Statement  |
|--|---|
| I hereby certify that this project has been designed to meet the requirements of the 2022 California Green Building Standards Code | I hereby certify, as the builder or installer under the permit listed herein, that the project will be constructed to meet the requirements of the California Green Building Standards Code |
| Name: <b>LOU COSTANZO</b>  | Name: _____   |
| Signature: <i>LOU COSTANZO</i>   | Signature: _____  |
| Date: <b>5-22-23</b>   | Date: _____   |
| Company: <b>LOU COSTANZO DESIGN &amp; ASSOC.</b>   | Location: _____   |
| Address: <b>1501 SAN GABRIEL WAY,</b>  | Address: _____  |
| City: <b>SAN JOSE CA, 95125</b>  | City: _____   |
|  | State: _____  |
|  | Zip: _____  |

| Feature or Measure  | Yes                      |
|---|--------------------------|
| <b>SITE DEVELOPMENT (CGC 4.106)</b>   |                          |
| Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage during construction per CGC 4.106.2.  | <input type="checkbox"/> |
| Drafting and paving. Construction plans shall indicate four site grading or a drainage system will manage all surface water from the site and shall be implemented per CGC 4.106.3.   | <input type="checkbox"/> |
| Electric vehicle (EV) charging for new one- and two-family dwellings and town-homes with attached private garage and/or parking spaces not assigned to a dwelling unit, and ADU/JADU without additional parking lot with electrical panel upgrade or new panels. Provide feasibility for electric vehicle charging with minimum required Level 1 EV Ready, Level 2 EV Ready, Low Power Level 2 EV Ready as specified in CGC 4.106.4.1 as amended by City of Santa Clara Reach Code Ordinance No. 2020 (CGC 503) Reach Code Section 13.38.040. | <input type="checkbox"/> |
| Identification. The roadway inspection shall be performed and visibly marked as Level 2 EV-READY per CGC 4.106.4.1.1 as amended by CGC 2021 Reach Code section 13.38.040.   | <input type="checkbox"/> |
| Electric vehicle (EV) charging for new multi-family dwellings, affordable housing, hotels, motels, and time residential parking facilities. Provide electric vehicle infrastructure and capacity for electric vehicle charging with minimum required Level 2 EV Charger, Level 1 EV Ready, Level 2 EV Ready, Low Power Level 2 EV Ready as specified in CGC 2021 Reach Code section 13.38.040 and 2022 California Green Code section 4.106.4.2, whichever is more stringent.  | <input type="checkbox"/> |
| 110v Electrical Outlets at Bicycle Parking. All multi-family residential developments shall include secured bicycle parking with 110v electrical outlets per CGC 2021 Reach Code section 13.38.040.   | <input type="checkbox"/> |
| Location. EVCS shall be located adjacent to an accessible parking space, and/or on an accessible route, per CGC 4.106.4.2.2.1.  | <input type="checkbox"/> |
| Dimensions. Each EV ready space or EVCS shall be minimum 18 ft long and 9 ft wide. One in every 25 charging spaces, but not less than one, shall have an 8 ft wide access aisle. A 6 ft wide minimum aisle shall be provided the minimum width of the EV space is 11 ft. Slope shall be for this EV space and the aisle shall not exceed 5.0% in any direction, per CGC 4.106.4.2.2.1.2.  | <input type="checkbox"/> |
| Accessibility. EV Ready and EVCS spaces shall comply with the accessibility provision for EV Charging stations in California Building Code Chapter 11A (Section 1103A) and Chapter 11B, per CGC 4.106.4.2.2.1.2. EV Ready Space Signage. EV ready spaces shall be identified by signage or pavement markings in compliance with California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s), per CGC 4.106.4.2.2.1.2.  | <input type="checkbox"/> |
| Automatic load management system (ALMS) may be installed to increase the number of EV chargers or the amperage or voltage beyond the minimum requirements in this code. This option does not allow for installing new electrical panel capacity than would be required without ALMS, per CGC 4.106.4.2.2 as amended by CGC 2021 Reach Code section 13.38.040.   | <input type="checkbox"/> |
| Electric vehicle (EV) charging for additions or alterations of parking facilities serving existing multi-family buildings. Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, minimum 10% of total development parking spaces shall be electric vehicle charging spaces capable of supporting future Level 2 electric vehicle recharging equipment (EVSE) per CGC 4.106.4.3.  | <input type="checkbox"/> |
| <b>ENERGY EFFICIENCY (CGC 4.201)</b>  |                          |
| California Energy Code. The building's construction shall meet or exceed the requirements of the 2022 California Building Energy Efficiency Standards per CGC 4.201.1.  | <input type="checkbox"/> |
| <b>WATER EFFICIENCY AND CONSERVATION</b>  |                          |
| <b>INDOOR WATER USE (CGC 4.304)</b>   |                          |
| Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets, showerheads, pre-rinse spray valves) shall comply with the performance requirements of Section 4.303.1.1 through 4.303.1.4.5.   | <input type="checkbox"/> |
| Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).   | <input type="checkbox"/> |
| Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).   | <input type="checkbox"/> |
| Showerheads. The flow rate for angle showerhead and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 psi and shall be certified to the performance criteria of the U.S. EPA WaterSense Specification (CGC 4.303.1.3).  | <input type="checkbox"/> |
| Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 80 psi, and not less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).  | <input type="checkbox"/> |
| Lavatory faucets in common and public use areas. The flow rate shall not exceed 0.5 gallons per minute at 80 psi (CGC 4.303.1.4.2).   | <input type="checkbox"/> |
| Meeting Faucets. The flow rate shall not exceed 1.2 gallons per minute (CGC 4.303.1.4.3).   | <input type="checkbox"/> |
| Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 80 psi (CGC 4.303.1.4.4).   | <input type="checkbox"/> |
| Pre-rinse Spray Valves. When installed, shall meet the requirements of Title 20 of the California Code of Regulations, and shall be equipped with an integral automatic shutoff (CGC 4.303.1.4.5).  | <input type="checkbox"/> |
| Submitters for multi-family buildings and dwelling units in mixed-use residential/commercial buildings. Submitters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code per CBC 4.303.2.   | <input type="checkbox"/> |
| Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code per CGC 4.303.3.  | <input type="checkbox"/> |
| <b>OUTDOOR WATER USE (CGC 4.304)</b>  |                          |
| Outdoor potable water use in landscape areas. Residential developments shall comply with the City's Water Service and Use Rules and Regulations, Item No. 24, as amended by Santa Clara City Code Section 13.15.062, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1.   | <input type="checkbox"/> |
| <b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.405)</b>  |                          |
| Roofing. Roofing materials shall be installed in accordance with the manufacturer's instructions and shall be installed in accordance with the manufacturer's instructions and shall be installed in accordance with the manufacturer's instructions, or other methods acceptable to the City per CGC 4.405.1.  | <input type="checkbox"/> |
| <b>CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.406)</b>   |                          |
| Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of non-hazardous construction and demolition waste in accordance with Section 4.406.2, 4.406.3, or 4.406.4 or meet a more stringent local construction and demolition waste management ordinance (CGC 4.406.5).  | <input type="checkbox"/> |
| <b>BUILDING MAINTENANCE AND OPERATION (CGC 4.410)</b>   |                          |
| An operation and maintenance manual shall be provided to the building occupants or owner per CGC 4.410.1.   | <input type="checkbox"/> |

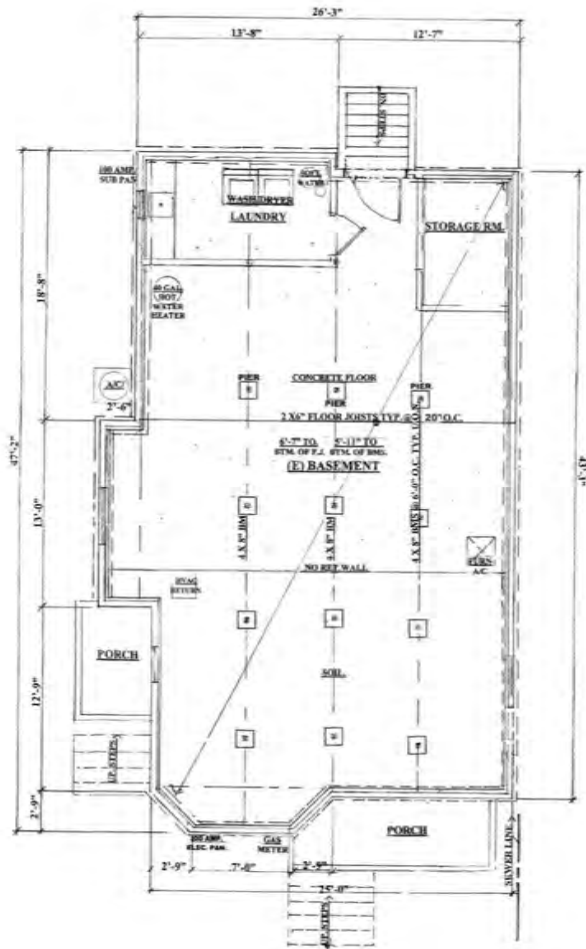
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**PLANS COMPLY WITH THE PROPOSED BASEMENT AS LIVING WITH STAIRS FOR THE SPENCER RESIDENCE**  
**1272 JACKSON ST., SANTA CLARA CA, 95050**  
 PLANS FOR COSTANZO DESIGN & ASSOCIATES, INC. 1501 SAN GABRIEL WAY, SUITE 205 SAN JOSE CA 95125  
 STRUCTURAL ENGINEER: TONY TRONCINI PE, 408-893-9225

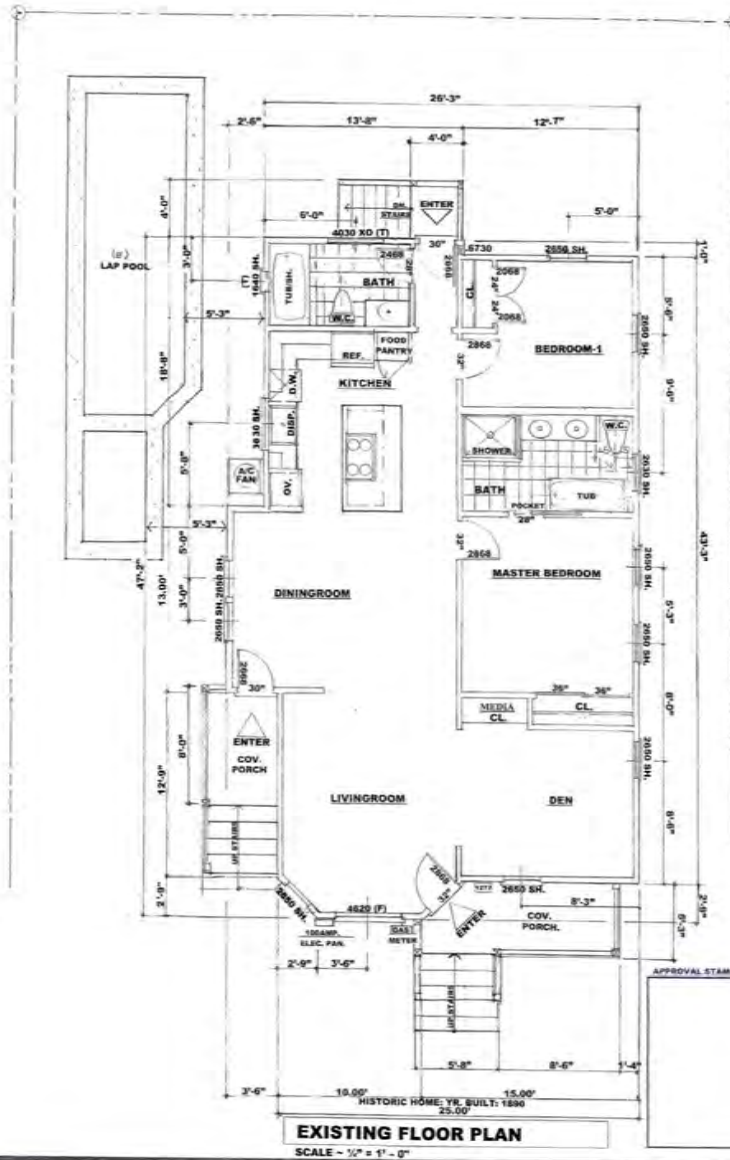
**CITY OF SANTA CLARA CALIFORNIA MANDATORY GREEN BUILDING MEASURES/CHECKLIST**  
**2022-23**

**DRAWN BY**  
**LOU COSTANZO**  
**CHECKED BY**  
**LOU COSTANZO**  
**DATE**  
**5-22-23**  
**SCALE**  
**NONE**  
**JOB NO.**  
**20-20210**  
**SHEET**  
**CMMC**





**EXIST'G BASEMENT FLOOR PLAN**  
SCALE - 1/4" = 1'-0"



**EXISTING FLOOR PLAN**  
SCALE - 1/2" = 1'-0"

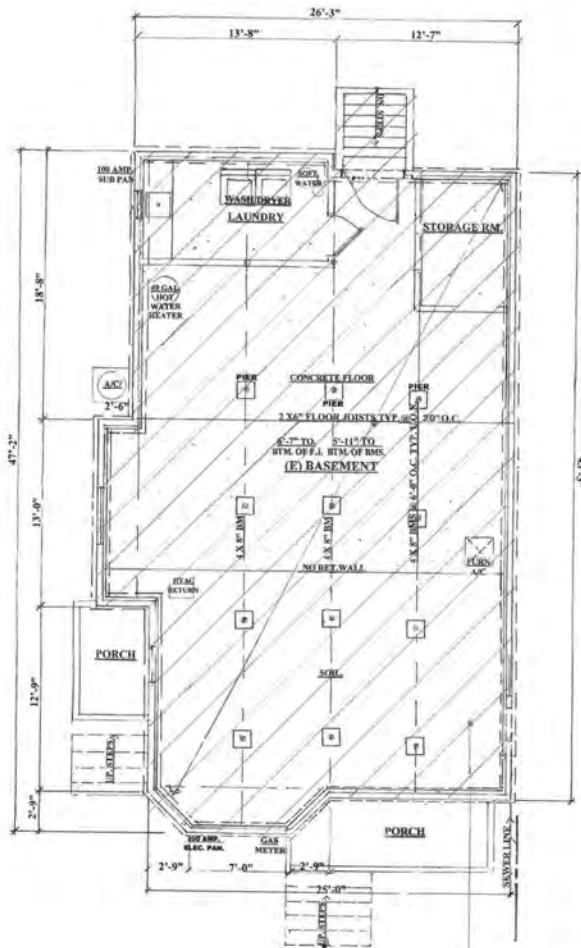
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A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220  
 STRUCTURAL ENGINEER: TONY TRUONG PE. 408 898-0220  
 LOU COSTANZO  
 4/24/2010

**EXISTING FLOOR PLAN**

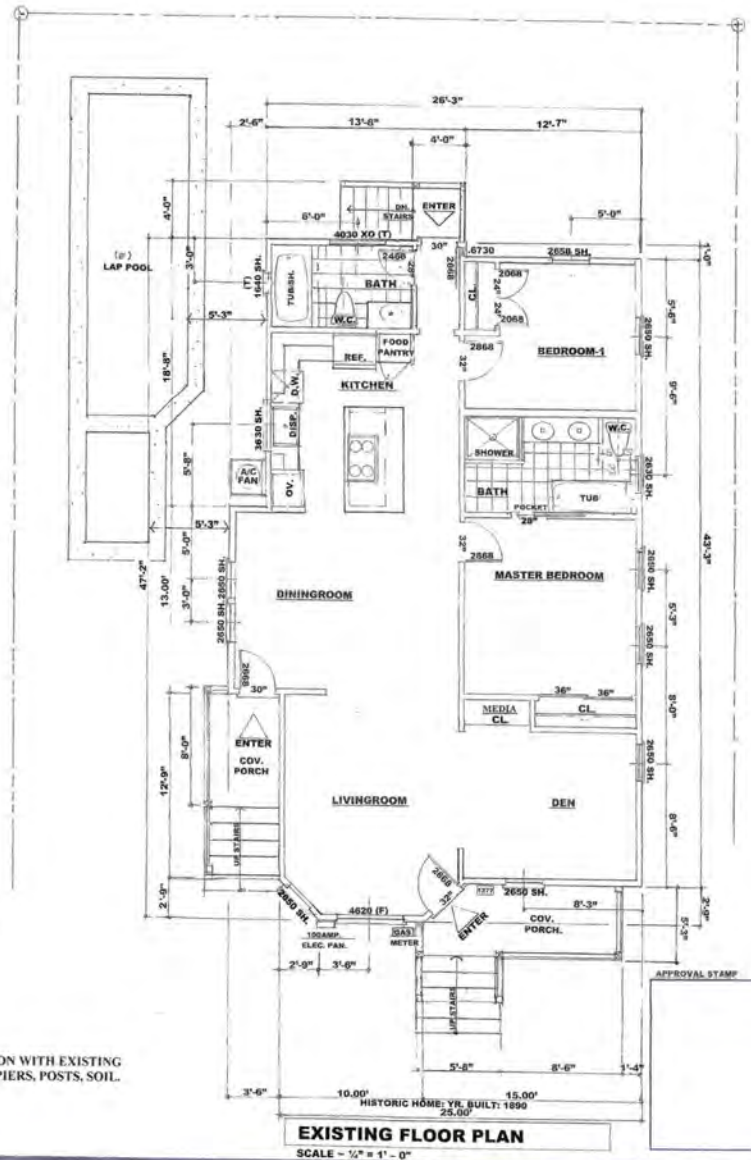
DRAWN: LOU COSTANZO  
 CHECKED: S.C.  
 DATE: 12-28-21  
 SCALE: 1/4" = 1'-0"  
 JOB NO: S20210  
 SHEET:

**A2**



**DEMOLITION NOTE**  
 1. DEMO PERIMETER FOUNDATION WITH EXISTING BASEMENT CONCRETE SLAB, PIERS, POSTS, SOIL.

**DEMOLITION PLAN**  
**EXIST'G BASEMENT FLOOR PLAN**  
 SCALE - 1/4" = 1'-0"



**EXISTING FLOOR PLAN**  
 SCALE - 1/2" = 1'-0"

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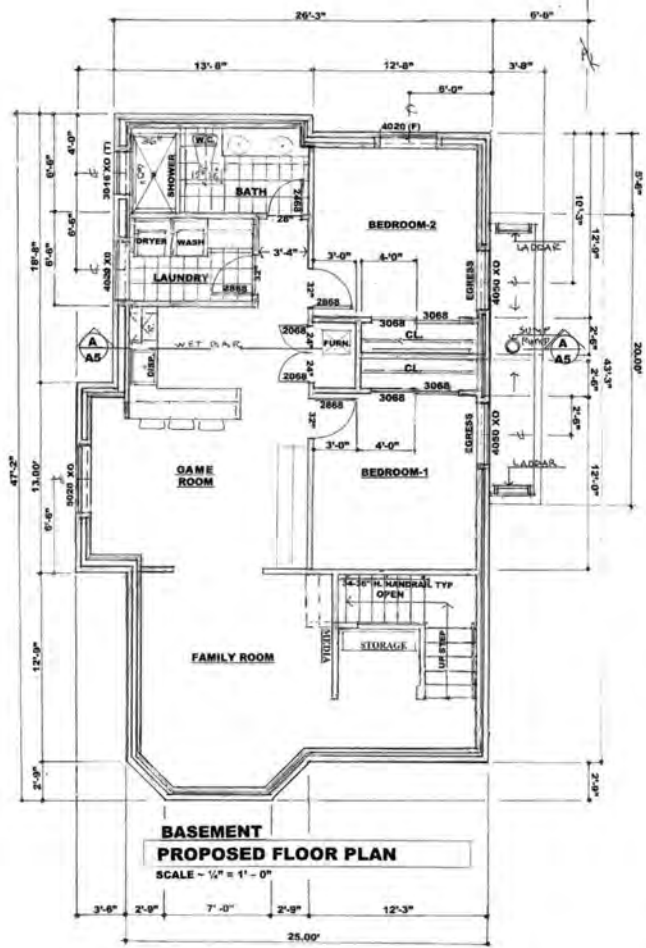
PLAN COMMENTS TO:  
 LUIGI COSTANZO  
 GARY JANT  
 MICHELLE PERELLA  
 L.L. COSTANZO

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
 THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA. 95050  
 PLAN: LOU COSTANZO 1501 BAY FRONT RD. #1000 SAN JOSE CA. 95131-4020  
 STRUCTURAL ENGINEER: TONY TROIANO P.E. 408.399.0220

**DEMOLITION PLAN**

DRAWN:  
 LOU COSTANZO  
 CHECKED:  
 S.C.  
 DATE:  
 12 - 28 - 21  
 SCALE:  
 1/4" = 1'-0"  
 SHEET NO:  
 S20210  
 SHEET

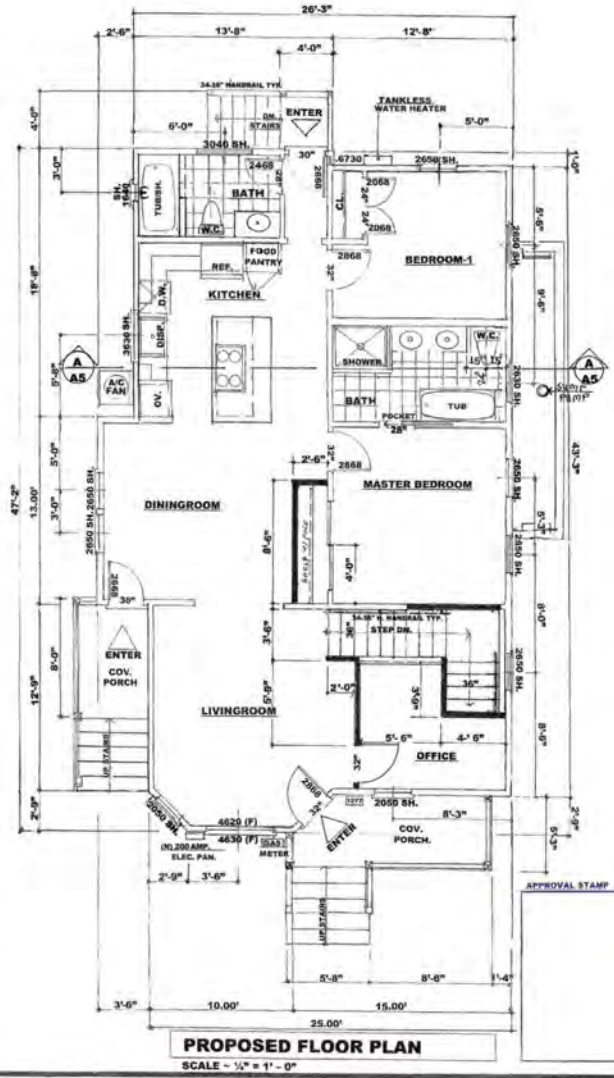
**A2.1**



- OTHER GENERAL NOTES: 2022**
- SMOKE ALARMS:** CFC 316 INSTALL IN EACH SLEEPING ROOM OUTSIDE EACH SEPARATE BEDROOM IN THE IMMEDIATE VICINITY OF THE BEDROOMS & ON EACH ADDITIONAL STORY OF THE BUILDING INCLUDING BASEMENTS AND HABITABLE ATTICS.
  - CARBON MONOXIDE ALARMS:** CFC 316 INSTALL CO ALARMS OUTSIDE OF EACH SEPARATE SLEEPING AREA SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF THE BUILDING, INCLUDING BASEMENTS, STOPS AND BUTTRES OF STAIRWAYS (LANDINGS).
  - ALSO, BATTERIES:** HAVE BATTERIES BACKUP AND ARE TO BE EXTERIOR CONNECTED SEC. RISE OF 2022 CFC CODE.
  - LIGHT FIXTURES:** IN FRONT EVERY DOOR WINDOW WITHIN 30" OF THE ENTRY AT ANY DOOR WINDOW SHALL BE LAMP LAMINATED SECURITY GLASS (NOT TEMP. GLASS) WHICH IS A MIN. 1/4" THICK, WITH A VITOL INTERLAYER OR 1/4" POLY CARBONATE SECURITY SHEETS OR EQUIVALENT.
  - ALL CABINETS, MECHANICALS BY OTHERS.**
  - ALL FINISH REQUIREMENTS BY OTHERS.**
  - HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE:** TO BE 36 IN. UNPROTECTED OR 24 IN. PROTECTED.
  - MAX. FLOOR FT. CHANGE & DOOR IS 3/4 IN. @**
  - UNDER FLOOR ACCESS:** IF EXCEEDS 24 INCH CLEAR WITHOUT PIPE OR INFRASTRUCTURE: 2022 CFC SEC. 808.4
  - ATTIC ACCESS:** TO NON-CURVED AREA OPENING NOT LESS THAN 22 IN. X 20 IN. WITH NOT LESS THAN 30 INCHES HEADROOM: 2022 CFC SEC. 807.1
  - EMERGENCY ESCAPE WINDOWS - SLEEPING ROOMS:**
    - IF OPENING TO BE MEASURED NOT MORE THAN BOTTOM OF SILL 44" ABOVE FINISHED FLOOR MARK.
    - MIN. NET CLEAR OPERABLE AREA: 5.7 SF (5.0 IN. X 36 IN. NET CLEAR OPERABLE WIDTH, 20 IN. MIN. HEIGHT)
    - MIN. NET CLEAR OPERABLE HEIGHT: 20 IN. MIN. HEIGHT
  - ALL WINDOWS, FRENCH AND SLIDING PATIO DOORS:** SHALL HAVE DOUBLE GLAZING, WEATHER STRIPPING AND FLASHING. TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
  - MECHANICAL VENTILATION SYSTEMS WITH REFRIGERATION:** IN KITCHEN, BATH, SHOWER OR BATHROOM, LAUNDRY ROOM, BUT IN OTHER HABITABLE AREAS, EXCEPT PER 908.4 AND REQ.
  - BATHROOMS:**
    - BATHROOM EXHAUST FAN:** 2022.1
    - EACH BATHROOM CONTAINING A BATH, SHOWER OR TURBOSHOWER EXHAUST FAN SHALL BE MECHANICALLY VENTILATED FOR THE PURPOSE OF HUMIDITY CONTROL, WITH CAPACITY A MINIMUM 50 CFM AND HUMIDITY CONTROLLER.
    - SETTLING WATER CLOSETS:** CFC 408.5
    - WATER CLOSET AND REETS SHALL HAVE 1/2" FROM CENTER OF SHOWER AREA AND THE CLEAR SPACE IN FRONT OF IT 4 INCHES.
    - SHOWERS:** CFC 408.6
    - SHOWER ROOMS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 12 INCHES OF UNOBSTRUCTED OPENING OF EQUAL OR GREATER AREA TO THE SHOWER ROOM.
    - SHOWER COMPARTMENT:** CFC 408.6
    - SHOWER PAN DIMENSIONS SHALL HAVE A MINIMUM OF 60 IN. AND AS NOT CAPABLE OF ENCOMPASSING A 36 INCH CIRCLE.
    - TURBOSHOWER VALVES:** SHALL BE PRESSURE BALANCED WITH LEAK RATING MET AT 120 PSI (GAL) PER MIN. LOCATION OF SHOWER VALVES & HEADS CFC 408.9
    - SHOWER VALVES & HEADS SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC. PROVIDE SAFETY GLASS AT WINDOWS IN TURBOSHOWER AREA WITHIN 48" OF TURBOSHOWER HEADS.
    - SHOWER STALLS - COMPARTMENT A TUB ENCLOSURE:** MUST COMPLY WITH THE REQUIREMENTS OF ALL THE DRAINAGE AT 1/2 GPM PER RECEPTOR AT 1/2 INCH HEAD (SEE 908.4) IN MIN. DOORS AND PANELS OF SHOWER AND BATHS SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC. PROVIDE SAFETY GLASS AT WINDOWS IN TURBOSHOWER AREA WITHIN 48" OF TURBOSHOWER HEADS.
    - TILE WALLS:** 6" CEMENTOR GYPSUM BOARD APPROVED, SUCH AS WONDERSHEATH FOR BROWN FORM FLOOR TILE CLINGING JOINTS TO TURBOSHOWER AREA AT 1/8" BARRED TILE TO BE 1/2" ABOVE FINISHED FLOOR OF SHOWER OR BATH AREA. SECTION SHOWN ON SHEET FOR 1/2" PER 1/8" FOR LAUNDRY ROOM AREA.
    - KITCHEN FAUCETS:** ARE NOT TO EXCEED 1.8 GPM PER MIN. AT 60 PSI (SEE 908.4) TABLE 408.1.2.2.2 WATER CLOSET FLOTTETS: 1.28 GPM @ 60 PSI
    - LAUNDRY FAUCETS:** 1.2 GPM @ 60 PSI, 1.28 GPM @ 90 PSI (SEE 908.4) TABLE 408.1.2.2.2 CFC CODE.
    - SHOWERS:** 2022 CFC SEC. 408.1.1
    - SINGLE SHOWER HEAD:** 1.8 GPM AT 80 PSI
    - DOUBLE SHOWER HEADS:** COMBINED FLAT RATE AT ALL SHOWER HEADS AND/OR OTHER SHOWER HEADS CONTROLLED BY A SINGLE VALVE 1.8 GPM AT 80 PSI (SEE CFC CODE SEC. 408.1.2.2)
    - JETTED TUBS:** REQUIRE AFTER DRAINAGE ON SEPT. CEMENT AND A READILY ACCESSIBLE GATED PROVIDED TO ACCESS OUTLET. SEE CFC CODE.
    - WATER HEATER:** SHALL BE MECHANICALLY ANCHORED WITH TIE TO WALL, ANCHORS OR STRAPS AS PROVIDED WITHIN THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. THE LOWER STRAPS/ANCHORS LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS. SEE CFC CODE.
    - TANKLESS WATER HEATER:** (SEE TWH PAGE).
    - CLOTHES DRYER EXHAUST VENT:** 2022 CFC 908.4
    - SHALL BE ANCHORED, SHALL BE EQUIPPED WITH EXHAUST DUCT TO OUTSIDE, CONTINUED OF SMOOTH BENDED METALLIC MATERIAL WITH A BACKDRIFT DAMPER WITH NO SEALS, JAVY REVEAL TO VENT DUCT MUST HAVE ITS APPROVED LISTING INFORMATION PROMINENTLY DISPLAYED. DUCT LENGTH SHALL BE LIMITED TO 4 FT. LONG WITH TWO 90 DEGREE ELBOWS. FROM DRYER TO POINT OF TERMINATION, REDUCE THE LENGTH BY TWO FT. FOR EVERY ELBOW IN EXCESS OF 2.
    - GLASS DOORS & WINDOWS:** SUBJECT TO WIND IMPACT MUST HAVE SAFETY GLASS OR PROTECTIVE GRILL OR PUNCH RESISTANT.
    - PROVIDE HEATING EQUIPMENT SUFFICIENT TO MEET 2022 CFC CODE, SEE REQUIREMENTS.**
    - FORCED AIR FURNACE:** LOCATED IN ATTIC, PROVIDE A 3/4" WIDE ACCESS PLATFORM WITH BEAM ACCESS TO F.A.U. AND SUPPLY AN ELECTRICAL RECEPTICAL AT THE ACCESS OPENING.
    - WALL SURFACES:** BEHIND CERAMIC TILE OR OTHER FINISHED WALL SURFACES SHALL BE MATERIALS NOT ADVERSELY AFFECTED BY WATER OR DAMP CONDITIONS. IF GYPSUM BOARD IS USED IT MUST BE APPROVED FOR PLUMBING, MECHANICAL REQUIREMENTS.
    - NOTE:** PLUMBING, MECHANICAL REQUIREMENTS, PLUMBING FIXTURES AND MECHANICAL EQUIPMENT ARE SHOWN SCHEMATICALLY. INSTALLATION WORK SHALL BE THE CONTRACTOR'S OWN RESPONSIBILITY.
    - OPENING DOOR BETWEEN LIVING/DINING AREA:** SHALL BE 1-3/8" SOLID WOOD, SELF-CLOSING, TIGHT FITTING.
    - FLOORS AND LANDINGS AT EXT. DOORS:** SHALL BE 1-1/2" THICK 19/16" FINISH FLOOR.
    - NOT MORE THAN 1-1/2" LOWER THAN TOP OF THRESHOLD:** 30" IN DIRECTION OF TRAVEL WITH NOT LESS THAN WIDTH OF DOOR.

**WALL LEGEND:**

|                   |                |
|-------------------|----------------|
| (Solid line)      | NEW 2X4 WALLS  |
| (Dashed line)     | REMOVE EXIST'G |
| (Thin solid line) | EXIST'G WALLS  |



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A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
 1277 JACKSON ST., SANTA CLARA CA, 95050  
 PLANS: LOU COSTANZO 1001 SAN GABRIEL WAY, S.J., 95125 408-364-0220  
 STRUCTURAL ENGINEER, TONY TRUONG PE, 408-895-0220

**PROPOSED PLAN**

DESIGNER:  
**LOU COSTANZO**  
 CHECKED:  
**S.C.**  
 DATE:  
**12 - 28 - 21**  
 SCALE:  
**1/8" = 1'-0"**  
 JOB NO:  
**820210**  
 SHEET:  
**A3**

**SECTION R310  
EMERGENCY ESCAPE AND RESCUE OPENINGS**

**R310.1 Emergency escape and rescue opening required.** Stairways, habitable areas and every sleeping room shall be provided with one or more emergency escape and rescue openings. Where basements exist one or more sleeping rooms, an emergency escape and rescue opening shall be provided in each sleeping room. Emergency escape and rescue openings shall open directly into a public way, or be at least 5 feet from this space in a public way.

- Exceptions:**
1. Stairway egress shall be provided with one or more emergency escape and rescue openings on one or more levels of the floor.
  2. Where the dwelling or occupancy is equipped with an automatic fire alarm system installed in accordance with Section 907.04, sleeping rooms in basements shall not be required to have emergency escape and rescue openings provided that the basement has one of the following:
    1. One stairway egress complying with Section R311 and one emergency escape and rescue opening.
    2. Two means of egress complying with Section R311.

**R310.2 Minimum opening size, location and placement.**

Emergency escape and rescue openings shall have a net clear opening of not less than 5.7 square feet (0.53 m<sup>2</sup>). The net clear opening shall be not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide. The net clear opening shall be not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**R310.3 Window sill height.** Where a window is provided for an emergency escape and rescue opening, the sill shall be not less than 20 inches (508 mm) above the finished floor. The sill shall be not less than 20 inches (508 mm) above the finished floor.

**R310.4 Window well.** The minimum area of the window well shall be not less than 5.7 square feet (0.53 m<sup>2</sup>), with a minimum height and width of not less than 20 inches (508 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

**R310.5 Ladder and steps.** Window wells shall be provided with a permanent ladder or steps. The ladder or steps shall be not less than 20 inches (508 mm) wide and shall be not less than 20 inches (508 mm) high.

**R310.6 Drainage.**

Window wells shall be designed to prevent drainage by connecting to the building's foundation drainage system required by Section R901.1 or by an approved alternative method.

**R310.7 Replacement windows.** Replacement windows shall be installed in accordance with the requirements of Section R310.2 and the requirements of Section R901.1, provided that the replacement window meets the following conditions:
 

1. The replacement window is not part of a change of occupancy.
2. The replacement window is not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**R310.8 Ladder and steps.**

Window wells shall be designed to prevent drainage by connecting to the building's foundation drainage system required by Section R901.1 or by an approved alternative method.

**R310.9 Drainage.** Window wells shall be designed to prevent drainage by connecting to the building's foundation drainage system required by Section R901.1 or by an approved alternative method.

**R310.10 Alterations or repairs of existing buildings.**

Alterations or repairs of existing buildings shall be in accordance with the requirements of Section R310.2 and the requirements of Section R901.1, provided that the replacement window meets the following conditions:
 

1. The replacement window is not part of a change of occupancy.
2. The replacement window is not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**R310.11 Floor and landings at exterior doors.**

Floor and landings at exterior doors shall be not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**R310.12 Floor elevations at exterior doors.**

Floor elevations at exterior doors shall be not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**R310.13 Floor elevations at exterior doors.**

Floor elevations at exterior doors shall be not less than 20 inches (508 mm) high and not less than 20 inches (508 mm) wide.

**REVISIONS**

| NO. | DATE | BY |
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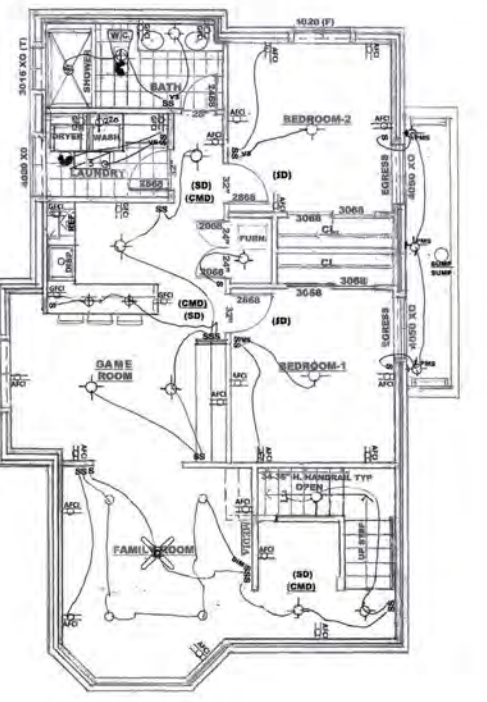
**OTHER ELECTRICAL NOTES**

1. RECESSED LIGHTING OR BASEBOARD AREAS - CHECK REFER TO PLAN'S GENERAL NOTES.
2. ELECTRICAL DEVICES ARE SHOWN SCHEMATICALLY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR WORK COMPLIANCE TO CODE AND ALL APPLICABLE REGULATIONS.
3. ELECTRICAL SERVICE SHALL BE LOCATED IN THE VICINITY OF THE GUEST ENTRANCE TO THE BUILDING AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR SMALL APPLIANCES, CONTRACTOR TO PROVIDE TWO 20 AMP CIRCUITS.
4. INTERIOR BUB PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS.
5. LIGHTING REQUIREMENTS IN COMPLIANCE WITH 2022 CA ENERGY CODE SEC. 9008 WHICH INCLUDES THE FOLLOWING:
  - A. ALL LIGHTING AS HIGH EFFICACY, (IE, PVA-BASE CFL, FLUO, ENERGY EFFICIENT, 24 HOURS) OTHER THAN LAMP, LED LAMPHIRES WITH INTEGRAL SOURCE, ETC. CEC TABLE 9008.4.
  - B. SCREEN BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREEN-BASED LAMPARY APPLIANCE OR COMPLIANT LAMP-LAMP COMPLIANT LIGHT SOURCES MUST BE MARKED AS "LAMP-ONLY" OR "LAMP-ONLY" BY THE MANUFACTURER OR BEING APPLICABLE FOR USE IN ENCLOSED LUMINAIRE OR LIGHT FIXTURE.
  - C. ALL COMPLIANT LIGHT SOURCES BY THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACUANCY SENSORS OR DIMMERS (EXCEPT CLOSETS LESS THAN 10' BY 10' OR HALLWAYS) CEC (9008.4.2) CEILING RECESSED DOWNLIGHT LUMINAIRES 1. LED LUMINAIRES WITH INTEGRAL SOURCE, 2. PVA-BASED LAMP, 3. WIRE, 4. AH, ETC. 5. GU-BAZED LED LIGHT SOURCES 6. ALL BATHROOM LIGHTING SHALL BE HIGH EFFICACY, WITH AT LEAST ONE BATHROOM LIGHT TO BE CONTROLLED BY A VACUANCY SENSOR.
  7. AT LEAST ONE FIXTURE IN GARAGE CONTROLLED BY A VACUANCY SENSOR CEC (9008.4.3)
  8. AT LEAST ONE (1) IN EVERY ROOM CONTROLLED BY A VACUANCY SENSOR (9008.4.4)
  9. EMERGENCY FAIR (EXCEPT KITCHEN EXHAUST HOODS) SWITCHED SEPARATELY FROM LIGHTING OR UTILIZE A DEVICE WHICH LIGHTING CAN BE TURNED OFF WHILE THE FAIR IS RUNNING.
  10. SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING IN KITCHEN LIGHTING FROM OTHER LIGHTING SYSTEM. CEC (9008.4.5)
  11. OUTDOOR LIGHTING AS HIGH EFFICACY WITH MANUAL OFF/ON SWITCH AND ONE OF THE FOLLOWING: 1. PHOTO CONTROL, AND MOTION SENSOR, 2. PHOTO CONTROL AND ALGORITHMIC TIME SWITCH CONTROL, 3. ASTRONOMICAL TIME SWITCH CONTROL, 4. ENERGY MANAGEMENT CONTROL SYSTEMS.
6. LIGHTING IN ALL BEDROOM AREAS, HALLWAYS SHALL:
A">
  - A. PROVIDE DIMMABLE SWITCH.
  - B. PROVIDE MANUAL ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMBINE WITH AND SHALL NOT HAVE MOTION CONTROL THAT ALLOWS THE LAMPHIRES TO BE TURNED ON AUTOMATICALLY OR BY AN OVERHEAD ALLOWING THE LAMPHIRES TO BE ALWAYS ON. C. CLOSETS LESS THAN 10' BY 10' ARE EXCEPTED FROM LIGHTING REQUIREMENTS.
  - D. LUMINAIRES IN HALLWAYS CEILING SHALL BE RATED A BRIGHT LAMP FOR ALL RECESSED LUMPHIRES
  - E. TERMINATION OF ALL BATHROOM LIGHTING SHALL BE A MIN. OF 2 FEET FROM ANY OPENINGS INTO THE BUILDING AND SHALL BE 1 FT. AWAY FROM DOORS, WINDOWS, OPENING-SWITCHES, OR ATTC EVENTS.



**ELECTRICAL PLAN**

SCALE = 1/8" = 1'-0"



**BASEMENT**

ALL LIGHTING TO BE HIGH EFFICACY

**ELECTRICAL SYMBOLS**

- DUPLICATE WALL SWITCH
  - ARC-FAULT-CIRCUIT INTERRUPTER (EXCEPTION: LAUNDRY CLOTHES DRYER)
  - GROUNDED-FAULT CIRCUIT INTERRUPTER
  - DUPLICATE WALL SWITCH
  - CEILING DUPLEX OUTLET
  - SINGLE PLUS RECESSED FLOOR OUTLET
  - 220V 3-C. 230 V. CLOTHES DRYER/VENT/PLUG - IN
  - W.P. EXT. WEATHERPROOF DUPLEX OUTLET
- ALL LIGHTING SHALL BE HIGH EFFICACY**
- 3 LIGHT SWITCH
  - 3-WAY LIGHT SWITCH
  - VACUANCY SENSOR
  - OCCUPANCY SENSOR LIGHT SWITCH
  - DIMMER LIGHT SWITCH W/LED
  - LOW VOLTAGE DIMMER SWITCH
  - 3-WAY DIMMER SWITCH
  - EXT. BOX FOR WALL MTD. LIGHT FIXTURE
  - EXT. BOX FOR SURFACE LIGHT FIXTURE
  - LED FOR UNDER CABINET LIGHTING
  - CHANDLER LIGHT FIXTURE
  - FAN FAN
  - CEILING RECESSED LED LIGHT FIX. 6", 6", 6", 2"
  - FIXTURE FLOOR
  - JAMBRAE (2) 100 CFM FAN OR 60 CFM OR 60 CFM DOOR BELL (CHIMES)
  - TELEVISION
  - PANASONIC CEILING EXHAUST FAN
  - PANASONIC EXHAUST FAN W/ LIGHT REQUIRED
  - (2) SWITCHES AND BATHROOMS
  - LED LIGHT'S (UNDER-CABINET LIGHTING)
  - SMOKE DETECTOR (SEE 9011 CEC 9011.2)
  - HARD-WIRED BATTERY BACKUP
  - (CMD) CARBON MONOXIDE DET. SEE 9011 CEC 9011.2 (HIGH EFFICACY EXTERIOR FIXTURES)
  - PHOTO-MOTION SENSOR CONTROLLED OUTDOOR LIGHTING SHALL BE HIGH EFFICACY, CONTROLLED BY ONE OF THE FOLLOWING:
    1. PHOTO-MOTION CONTROL SENSORS.
    2. PHOTO-MOTION & ALTO. CONTROL TIME SWITCH.
    3. ASTRONOMICAL TIME SWITCH
    4. EMS ENERGY MANAGEMENT CONTROL SYSTEMS
  - EXT. ELEC. PANEL 300 AMP.
  - EXT. ELEC. PANEL 200 AMP.
  - EXT. ELEC. PANEL 150 AMP.
  - SUB PAN 100 AMP
  - CEILING FAN

PLAN COMMENTS TO BE MAINTAINED TO THE CONTRACTOR'S RECORD COPY

A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:

**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA CA, 95050  
PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.A. 95125-408-364-0220  
STRUCTURAL ENGINEER, TONY TRUONG P.E. 408-899-0220

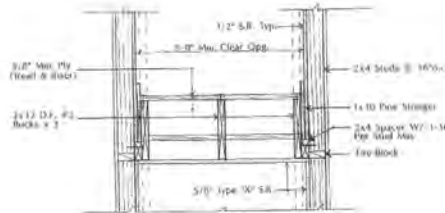
**ELECTRICAL PLAN**

DRAWN: LOU COSTANZO  
CHECKED: T.T.  
DATE: 8-22-23  
SCALE: 1/8" = 1'-0"  
JOB NO: S-20210  
SHEET: A4

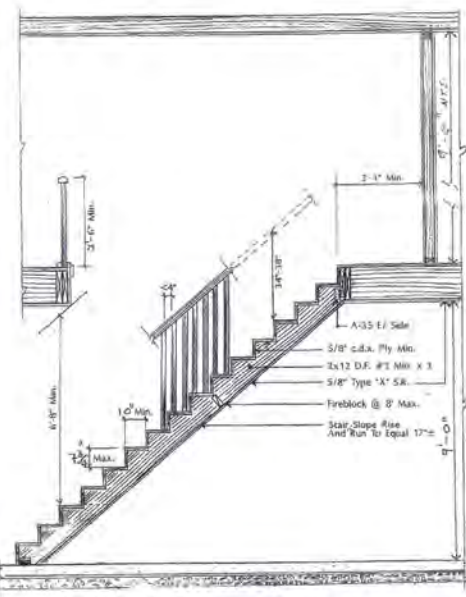
1. REPLACE "IN KIND" ALL EXISTING WOOD MEMBERS, JOISTS, PURLINS, SUBPURLINS, SHEATHING, STUDS, WALL PLATES WHICH SHOW SIGNS OF DRY ROT OR STRUCTURAL DAMAGE.
2. ALL WOOD EXPOSED TO CONCRETE, WEATHER, OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.
3. ALL FASTENERS OR HARDWARE IN CONTACT WITH PRESERVE TREATED WOOD, CONCRETE, OR MASONRY SHALL BE HOT-DIPPED, ZINC COATED, GALVANIZED STEEL OR STAINLESS STEEL.

**THE SPENCER RESIDENCE** 8-18-2012

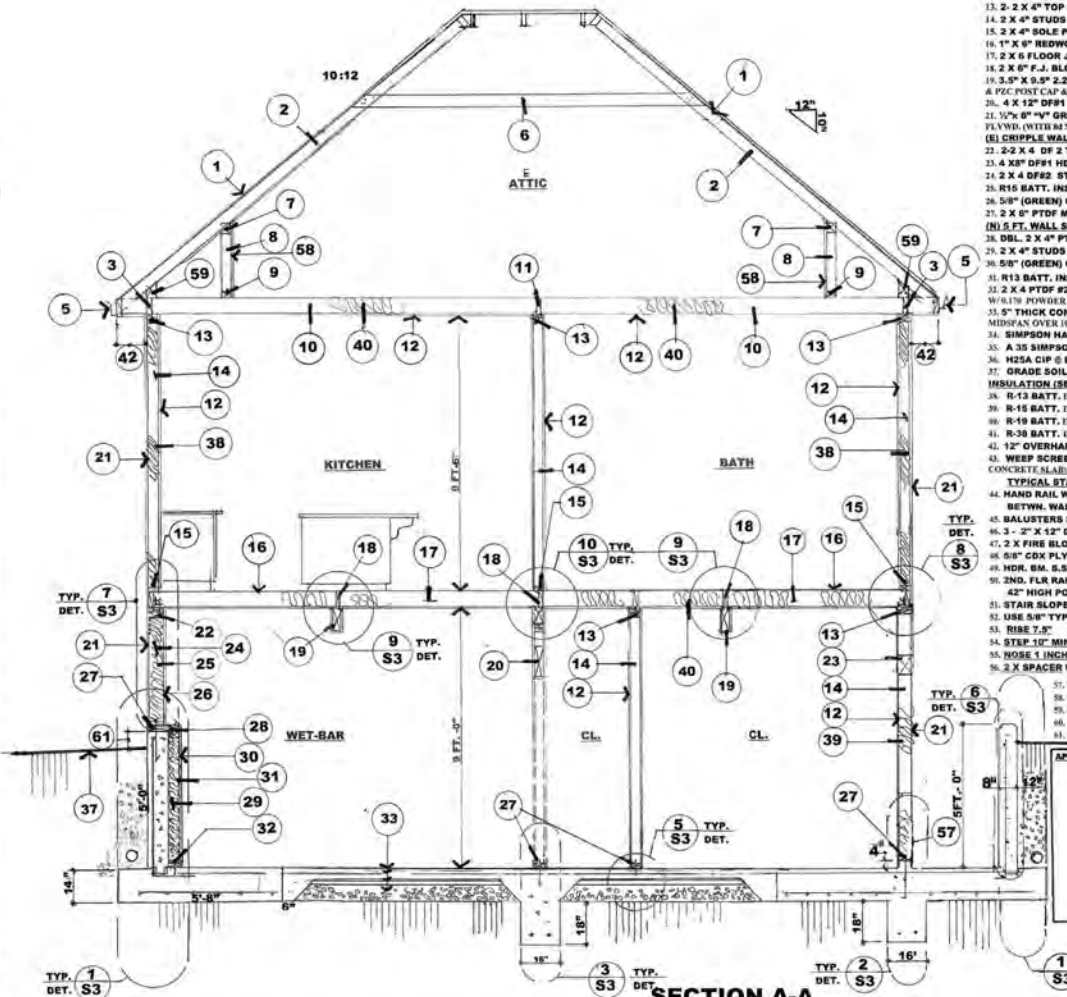
- (E) & (H) HOUSE STRUCTURE:** (10:12" ROOF PITCH) (R.W. - REDWOOD)
- ROOF STRUCTURE**
1. PATTERED ASPHALT SHINGLES ROOFING O2 LAYERS 150 FELT O1 1/2" CDX PLYWOOD O1 1" X 6" SKEP SHEATHING SPACED @ 3" APART.
  2. 2 X 4" RAFTERS SPACED @ 32" O.C. (R.W.)
  3. 2X RAFTER BLOCKING
  4. 80 YR. CLASS "C" COMPOSITION ROOFING IC ES ESER 1309 O2 3/8" FELT O1 1/2" PLYWD (NAIL W/ 8d'S @ 6" O.C. (E) 12" O.C. (FIELD), SEE SPEC. SCHEDULE WITH CORROSION RESISTANT FASTENERS (CIC #1005.3)
  5. G1 GUTTER O2 2X FASCIA W/ 2" SPOTS; FL. DRAIN OR SPLASH BLKS' ATTIC CRIPPLE WALL)
  6. 2 X 8" (R.W.) COLLAR TIES @ 10'-0" APART 4" X 6" W. SPACER
  7. 4 2" HDR.
  8. 2 X 4" STUDS @ 24" O.C.
  9. 2 X 4" BTM. PLATE
- MAIN STRUCTURE (CEILING, WALL, FLOOR)**
10. 2 X 8" CEILING JOISTS @ 16" O.C. (R.W.)
  11. 2 X 8" BLOCKING
  12. 5/8" GYP. BD. (WALLS & CEILING)
  13. 2 X 4" TOP PLATE (R.W.)
  14. 2 X 4" STUDS @ 16" O.C. (R.W.)
  15. 2 X 4" SOLE PLATE (R.W.)
  16. 1" X 6" REDWOOD SUB. FLOOR
  17. 2 X 6" FLOOR JOISTS @ 16" O.C. (R.W.)
  18. 2 X 8" F.J. BLOCKING
  19. 3/8" X 8" @ 24" PER BM W/ BEUG'S M. HANG. & ETCZ & PZC POST CAP & 4X4 PFD#2 POST TO BM SUPPORT.
  20. 4 X 12" DFP#1 HEADERS (DOORS & WINDOWS) U.N.O.
  21. 1/2" X 8" #7 GROOVE (R.W.) SIDING OVER "D" PAPER O1 1/2" CDX PLYWD. OVER 1/4" NAILED @ 8" O.C. ENDS & 12" O.C. FIELD) U.N.O.
- (E) CRIPPLE WALL @ BASEMENT**
22. 2 X 4" OF 2 TOP PLATE TYP.
  23. 4 8" DFP#1 HDR. S.S.D. (WINDOWS)
  24. 2 X 4" DFP#2 STUDS @ 16" O.C. TYPICAL (R.W.)
  25. R15 BATT. INSULATION
  26. 5/8" (GREEN) GYP. BD.
  27. 2 X 8" PTFD MUDDILL W/ 8" X 12" LG. @ 48" O.C. U.N.O. S.S.D.
- (H) 5 FT. WALL SECURED TO BASEMENT CONC. WALL**
28. DBL. 2 X 4" STUDS @ 16" O.C.
  29. 2 X 4" STUDS @ 16" O.C.
  30. 5/8" (GREEN) GYP. BD.
  31. R13 BATT. INSULATION
  32. 2 X 4" PTFD #2 SOLE PLATE SECURE TO CONC. W/ 1/2" POWDER COAT. FASTENERS @ 12" O.C. S.S.B.
  33. 5" THICK CONC. SLAB W/ 4 BARS AT 10" EA. WAY AT MIDSPAN OVER 19" MIL FLEM OVER 8" OF 3/4" GRAVEL
  34. SIMPSON HANGER S.S.D.
  35. A 35 SIMPSON CLIP 24" O.C. S.S.D.
  36. H25A CIP @ EA. TRUSS
  37. GRADE SOIL AWAY FROM FDN. 8" AT 10"
  38. INSULATION (SEE TIE & REPORT
  39. R-13 BATT. INSULATION (WALL)
  40. R-15 BATT. INSULATION (WALL)
  41. R-15 BATT. INSULATION (FLOOR OR RAFTER)
  42. R-36 BATT. INSULATION (CEILING)
  43. 1" OVERHANGS & 1" EAVES
  44. WEEP SCREED PER CODE (4" TO GRADE & 2" TO CONCRETE SLAB PER BLOCK W/ 4 MESH)
- TYPICAL STAIR CONSTRUCTION**
45. HANG RAIL WITH 2 X BLOCK @ 16" IN WALL, 24 - 35" H., 1-1/2" SPAGI BETWN. WALL & HANDRAIL WITH METAL BRACKETS.
  46. BALUSTERS SPACED < 3 3/4"
  47. 2" X 12" DF 1 STRINGERS
  48. 2 X FIRE BLOCK @ 8" MAX.
  49. 6" X CDX PLYWD. RISER/STEP MIN.
  50. HDR. BM. S.S.D.
  51. 2ND. FLR RAIL/W/BALUSTRADE 3FT. - 6" HIGH OR 42" HIGH PONY WALL W/ 2 X 6 FINISHED CAP S.S.D.
  52. STAIR SLOPE RISE AND RUN TO -17" ±
  53. USE 5/8" TYP. (X) GYP. BOARD UNDER STAIRCASE
  54. RISE 7.5"
  55. STEP 11" MIN.
  56. NOSE 1 INCH
  57. 2 X SPACER W/ 16DS AT EA. STUD
  58. 26GA. OI FLASHING 24" H.
  59. 1/2" CDX PLYWD. NAIL W/ 8D'S @ 6" (ENDS) & 12" (FIELD)
  60. (E) 4 X 6 BEVELED BLOCK
  61. (E) 2 X 8" RIDGE BM.
  62. 1" MIN.



Typical Stairwell Construction 1"=1'-0"



Typical Stair Construction 1/2"=1'-0"



**SECTION A-A**  
SCALE - 1/2" = 1'-0"

| REVISIONS | BY |
|-----------|----|
|           |    |
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|           |    |
|           |    |

PLAN COMMENTS TO BE ADDED TO DRAWING SET BY OWNER. CALL PROJECT ENGINEER.

LOU COSTANZO

A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA, CA. 95050  
PHONE: (415) 951-1515 FAX: (415) 951-1515  
STRUCTURAL ENGINEER: TONY THUONG, PE. (408) 899-0220

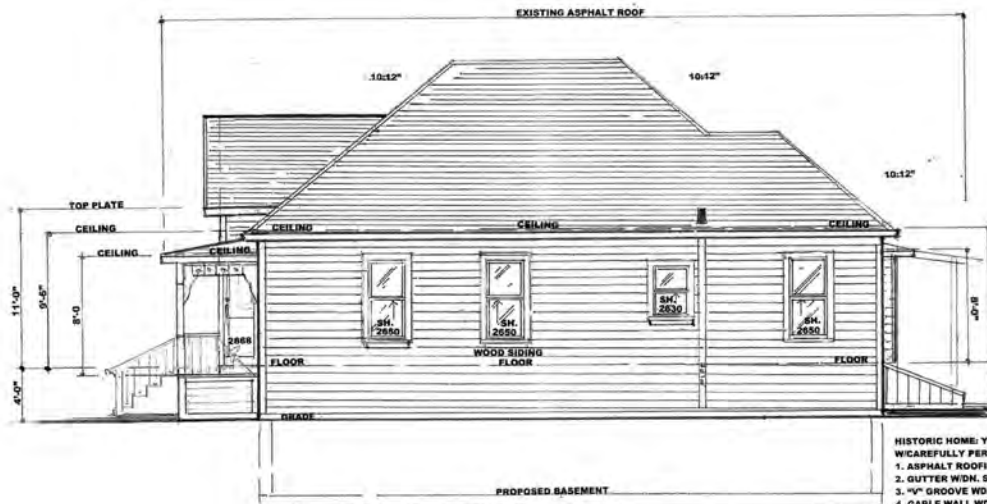
**SECTIONS**

DESIGNED BY  
**LOU COSTANZO**

|            |              |
|------------|--------------|
| CHECKED BY | S.C.         |
| DATE       | 10-28-22     |
| SCALE      | 1/2" = 1'-0" |
| JOB NO.    | 320210       |
| SHEET      |              |

**A5**

9/ SHEETS



**RIGHT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

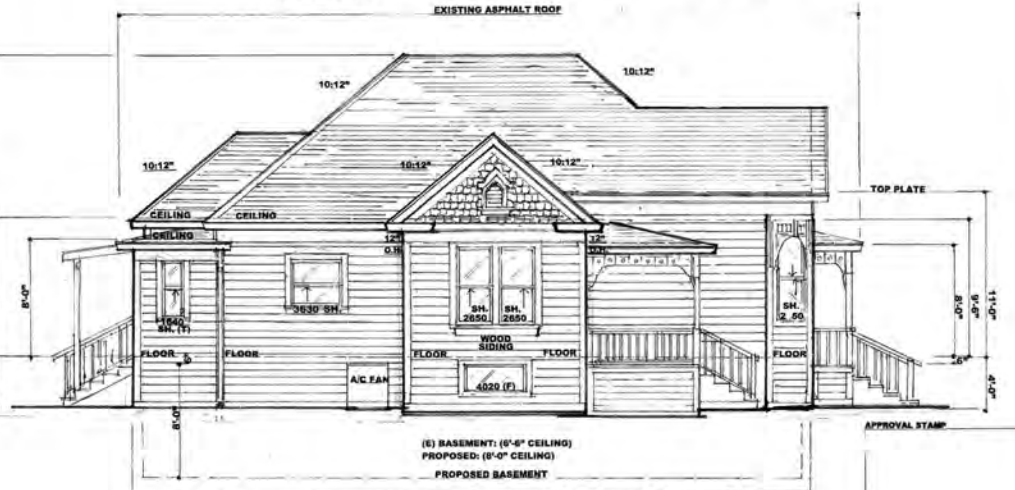


**FRONT ELEVATION**  
SCALE - 1/4" = 1'-0"

- HISTORIC HOME, YR. BUILT: 1890  
W/CAREFULLY PRESERVED ELEMENTS:
1. ASPHALT ROOFING
  2. GUTTER W/DN. SPOUTS TO FR. DRAIN
  3. 1/2" GROOVE W/D. SIDING
  4. GABLE WALL W/D. SIDING W/ SCALLOPED CORNICES
  5. 1 X 12" TRIMMER UNDER SOFFIT OVERHANGS
  6. 4" WINDOW TRIM TYP.
  7. 14 X 24" G.W.V. W/TRIM
  8. DBL. 12" X 12" G.W.V. W/16 X 24 WIM.
  9. SINGLE HUNG WINDOWS
  10. (E) BASEMENT; (R)-6" CEILING
  11. PICKET FENCING



**REAR ELEVATION**  
SCALE - 1/4" = 1'-0"



**LEFT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

**EXISTING ELEVATIONS**  
SCALE - 1/4" = 1'-0"

| REVISIONS | BY |
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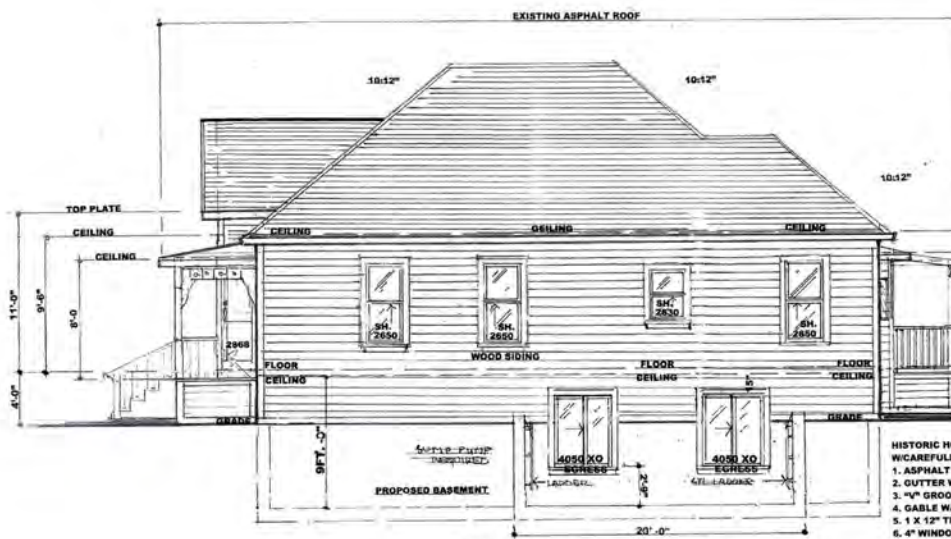
PLAN COMMENTS TO:  
LUCIFER/PAZ/COOR  
484-472-8227 CELL  
484-472-8227 CELL  
Tony Costanzo

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:  
THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA CA. 95050  
1277 JACKSON ST., SANTA CLARA CA. 95050  
STRUCTURAL ENGINEER: TONY TRUONG P.E. 408-899-0220

**EXISTING  
ELEVATIONS**

DRAWN  
LOU COSTANZO  
S.C.  
DATE  
12-28-21  
SCALE  
1/4" = 1'-0"  
JOB NO.  
S20210  
SHEET

**A6**



**RIGHT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

**HOUSE HISTORIC DESCRIPTION:**  
HOUSE IS A QUEEN ANNE COTTAGE STYLE, SINGLE STORY WOODEN RESIDENCE WITH STEEPLY HIPPED CENTRAL ROOF WITH TWO OFFSET PEDIMENTAL-SHAPED GABLES AND LOW HIPPED PORCH ROOFS PROJECTING FROM IT. THE ROOF IS SHEATHED IN PATTERNS ASHLEAT SHINGLES. THE BODY OF THE HOUSE IS SHEATHED IN WIDE SHIP-LAP WITH OVER-SIZED WOODEN ENDBOARDS. FINISCALE SHINGLES ORNAMENT THE TWO GABLES. THE FACADE IS DISTINGUISHED BY A SLIGHTLY CUT-OUT, ANGLED BAY AND TWO PORCHES. THE RECTANGULAR ENTRY PORCH SUPPORTED BY 4 TURNED POSTS AND A SMALL SIDE ENTRY PORCH THAT IS SUPPORTED BY 4 TURNED POSTS. BOTH PORCHES CONTAIN A STRAIGHT STEP WOODEN STAIRS. HIGHLY ORNAMENTED BY SUNBURSTS AND CUT-OUT WOODEN SCREENS UNDER THE BROWLED CORNICE AND FLAT TRIM OF THE PORCH ROOFS. THE FINISTRATION IS GENERALLY SINGLE AND PAIRED, RECTANGLED DOUBLE-HUNG WINDOWS. A SMALL PALLADIAN WINDOW HIGHLIGHTS THE FRONT FACING GABLE.

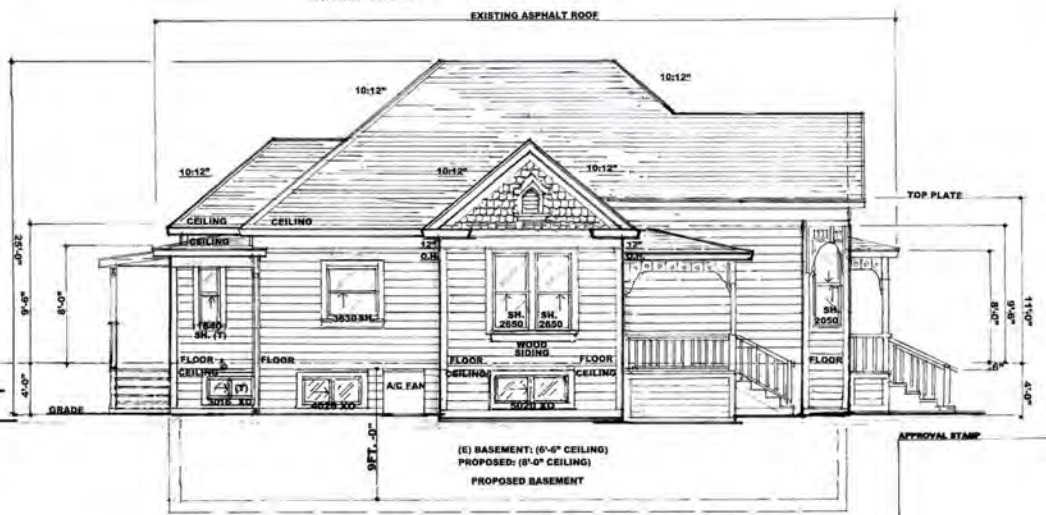
- HISTORIC HOME: YR. BUILT: 1890**  
**W/CAREFULLY PRESERVED ELEMENTS:**
1. ASPHALT ROOFING
  2. GUTTER W/DN. SPOUTS TO FR. DRAIN
  3. 1/4" GROOVE WD. SIDING
  4. GABLE WALL WD. SIDING W/ SCALLOPED ENDS
  5. 1 X 12" TRIMMER UNDER SOFFIT OVERHANG
  6. 4" WINDOW TRIM TYP.
  7. 14 X 24" GWV. W/TRIM
  8. DBL. 12" X 12" GWV. W/16 X 24 WIN.
  9. SINGLE HUNG WINDOWS
  10. (E) BASEMENT; (0'-0" CEILING)
  11. PICKET FENCING



**FRONT ELEVATION**  
SCALE - 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE - 1/4" = 1'-0"



**LEFT-SIDE ELEVATION**  
SCALE - 1/4" = 1'-0"

**PROPOSED ELEVATIONS**  
SCALE - 1/4" = 1'-0"

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |
|           |    |

**A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR:**  
**THE SPENCER RESIDENCE**  
1277 JACKSON ST., SANTA CLARA CA. 95050  
PLANNED BY LOU COSTANZO 1951 SAN GABRIEL WAY, S.J. 95125 408-264-2420  
STRUCTURAL ENGINEER TONY TRUONG P.E. 408-893-0220

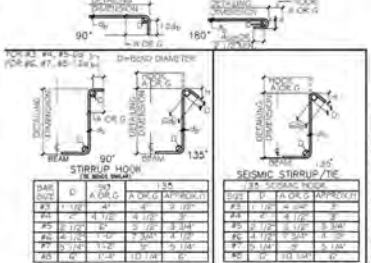
**PROPOSED ELEVATIONS**

**DRAWN** LOU COSTANZO  
**CHECKED** S.C.  
**DATE** 12-28-21  
**SCALE** 1/4" = 1'-0"  
**JOB NO.** S20210  
**SHEET**  
**A7**



**MINIMUM LAP LENGTH FOR REINFORCING BARS (UNLESS OTHERWISE NOTED)**

| BAR SIZE | LAP LENGTH | OTHER BARS |
|----------|------------|------------|
| #3       | 8" @ 1'-0" |            |
| #4       | 8" @ 1'-0" |            |
| #5       | 8" @ 1'-0" |            |
| #6       | 8" @ 1'-0" |            |
| #7       | 8" @ 1'-0" |            |
| #8       | 8" @ 1'-0" |            |
| #9       | 8" @ 1'-0" |            |
| #10      | 8" @ 1'-0" |            |
| #11      | 8" @ 1'-0" |            |



**CONCRETE NOTES**

**CONCRETE STRENGTH** - PROVIDE CONCRETE WITH THE FOLLOWING STRENGTHS AT THE LOCATIONS NOTED. ALL CONCRETE SHALL BE IN CONFORMANCE WITH THE A.C.I. CODE, LATEST EDITION.

**FOUNDATION** SHALL BE MINIMUM 3500 PSI AND 4000 PSI FOR EXTERIOR WALLS ON GRADE (SEE SECTION FOR WALL DETAIL).

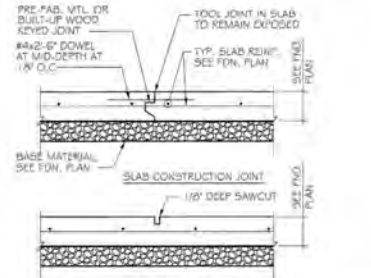
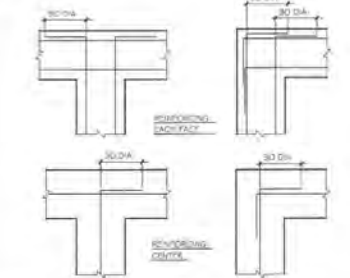
**ALL JOISTS SHALL BE HANGERS (2" X 8" MIN) AND BOUNDARY ARE INTERMEDIATE.**

**REINFORCING STEEL** - ASTM A615 WITH THE FOLLOWING DIMENSIONS:

| BAR SIZE | STANDARD HOOKS | STRENGTH |
|----------|----------------|----------|
| #3       | 1/4"           | 2300     |
| #4       | 1/4"           | 2300     |
| #5       | 1/4"           | 2300     |
| #6       | 1/4"           | 2300     |
| #7       | 1/4"           | 2300     |
| #8       | 1/4"           | 2300     |
| #9       | 1/4"           | 2300     |
| #10      | 1/4"           | 2300     |
| #11      | 1/4"           | 2300     |

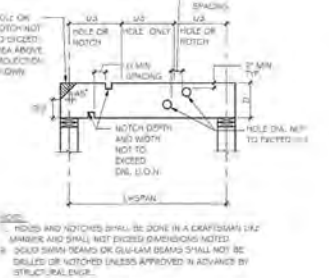
1 TYP. CONC. REBAR SPLICES

2 STANDARD REBAR HOOKS

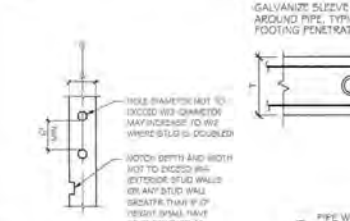


3 CONCRETE FTG. INTERSECTION

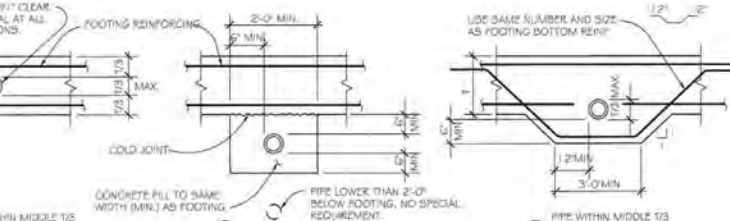
4 SLAB JOINTS



5 JOIST NOTCHING OR DRILLING (SOLID SAWN LUMBER)



6 STUD NOTCHING OR DRILLING



7 TYPICAL PIPE PENETRATIONS THRU FOOTING

**CONCRETE NOTES**

**CONCRETE STRENGTH** - PROVIDE CONCRETE WITH THE FOLLOWING STRENGTHS AT THE LOCATIONS NOTED. ALL CONCRETE SHALL BE IN CONFORMANCE WITH THE A.C.I. CODE, LATEST EDITION.

**FOUNDATION** SHALL BE MINIMUM 3500 PSI AND 4000 PSI FOR EXTERIOR WALLS ON GRADE (SEE SECTION FOR WALL DETAIL).

**ALL JOISTS SHALL BE HANGERS (2" X 8" MIN) AND BOUNDARY ARE INTERMEDIATE.**

**REINFORCING STEEL** - ASTM A615 WITH THE FOLLOWING DIMENSIONS:

**NOTE:** EXTERIOR WALLS, WHERE NOT SPECIFICALLY NOTED ON THE FOUNDATION PLAN, SHALL BE 4" THICK, HAVE A MINIMUM 4" COMPACTED GRADE FILL BASE, AND SHALL BE REINFORCED WITH #4 BARS, 18" SPACING. WIRE FABRIC LOCATED AT MID-DEPTH.

**FOUNDATION FINISH** - REINFORCEMENT SHALL BE ACCORDANCE WITH THE FOUNDATION AND WALLS MANUAL - LATEST EDITION.

**PLACE CONCRETE IN COMPLIANCE WITH ACI 110-1R. ALL CONCRETE SHALL BE REINFORCED (SHOWN).**

**CONCRETE QUALITY CONTROL** - ALL CONCRETE SHALL BE TESTED AT 7, 28 AND 90 DAYS AS FOLLOWS:

| CONCRETE                              | GRADE | TEST |
|---------------------------------------|-------|------|
| CAST AGAINST FORMS EXPOSED TO WEATHER | 3"    | 1"   |
| #4 AND LARGER                         | 3"    | 1"   |
| SLAB ON GRADE                         | 2"    | 1"   |

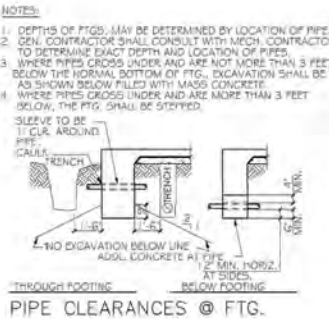
**PLUMBING** - ALL PIPES TO BE CAST INTO CONCRETE SHALL BE REINFORCED CORNERS, BOLTS, ANCHORS, PIPES, SERVICES, ETC. SHALL BE SECURED AND ACCELERATED POSITIVE INTO THE FORMS PRIOR TO PLACING THE CONCRETE.

**JOINTS** - ALL JOINTS TO BE CAST INTO CONCRETE SHALL BE THE ENGINEER'S APPROVAL FOR CONCRETE JOINT LOCATION. REINFORCING STEEL DETAILS MAY CHANGE AND THE CONTRACTOR MAY BE RESPONSIBLE FOR ADDITIONAL EXPENSE AS A RESULT.

**TIMBER NOTES**

**LUMBER SPECIFICATIONS (UNLESS OTHERWISE NOTED ON FRAME PLAN)**

| USE               | GRADE | TYPE        | SPACING | GRADE |
|-------------------|-------|-------------|---------|-------|
| FRAMING           | 2-4   | THICK       | NO 2    |       |
| ROOFING           | 2-4   | THICK       | NO 2    |       |
| ROOFING           | 2-4   | THICK       | NO 2    |       |
| CEILING JOIST     | 2"    | AND GREATER |         | NO 2  |
| REMARKS           |       |             |         | NO 2  |
| SOB               | NO 1  |             |         |       |
| 2 1/2" x 8" JOIST |       |             |         | NO 2  |



PIPE CLEARANCES @ FTG.

**GENERAL NOTES**

- ALL WORK SHALL BE CHECKED BY A CALIFORNIA LICENSED ARCHITECTURAL ENGINEER. ALL CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE A.C.I. CODE, LATEST EDITION.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE MOST RECENT REVISIONS. ALL CHANGES SHALL BE BY WRITTEN ORDER OF THE ARCHITECT AND SHALL BE SIGNED BY BOTH PARTIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE A.C.I. CODE, LATEST EDITION.
- ALL JOISTS SHALL BE HANGERS (2" X 8" MIN) AND BOUNDARY ARE INTERMEDIATE.
- TYPICAL NOTES AND DETAILS ARE PROVIDED TO COVER GENERAL CONDITIONS FOR CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FOLLOW THESE DETAILS AND NOTES THROUGHOUT THE SPECIFIC NATURE OF THE WORK TO BE PERFORMED.
- NOTES AND DETAILS ON THESE STRUCTURAL DRAWINGS SHALL APPLY UNLESS OTHERWISE NOTED OTHERWISE. DETAILS ARE SHOWN IN DIAGRAMMATIC FORM AND ARE NOT TO BE SCALED OFF. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS, SLOPES, FINISHES, ETC. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IMMEDIATELY. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IMMEDIATELY. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IMMEDIATELY.
- DISCREPANCIES - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY AND SHALL BE CORRECTED IMMEDIATELY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS.
- EXCAVATION, SHORING, AND BRACING - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE NECESSARY SHORING, BRACING, FORM WORK, ETC. AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. ALL SHORING AND BRACING SHALL BE INSTALLED AND MAINTAINED TO SUPPORT ALL CONSTRUCTION LOADS, AND TO MAINTAIN ALL BUILDING COMPONENTS SAFELY IN PLACE UNTIL THEY ARE FULLY ASSEMBLED AND ANCHORED INTO THE COMPLETED STRUCTURE.
- ASBESTOS - ALL INSPECTION AND TESTING SHALL BE PERFORMED ACCORDANCE TO BUILDING CODE AND/OR LOCAL BUILDING DEPARTMENT REQUIREMENTS.
- COORDINATION - REFER TO THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACT DRAWINGS FOR THE SIZE AND LOCATION OF PIPE, DUCT, AND OTHER OPENINGS. ALL DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS, ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.

**TRUONG DESIGN**

WE CAN HELP YOU WITH YOUR PROJECTS

1277 JACKSON STREET, SANTA CLARA, CA 95050

PHONE: (408) 298-1188

EMAIL: TRUONGDESIGN@GMAIL.COM

A BASEMENT AS LIVING W/STAIR FOR:  
**SPENCER RESIDENCE**  
 1277 JACKSON STREET  
 SANTA CLARA, CA 95050

**STRUCTURAL NOTES AND DETAILS**

|          |           |
|----------|-----------|
| Date     | 7-23      |
| Scale    | AS NOTED  |
| Engineer | T.T.      |
| Reviewed | P.E.      |
| Job      | S-2023-24 |
| Sheet    | 50        |
| of       | 50        |



NOTE: A MINIMUM OF TWO SILL ANCHORS ARE TO BE PROVIDED PER PLATE, AND THAT THEY ARE TO BE LOCATED NOT MORE THAN 12-INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM THE ENDS AS REQUIRED BY IBCR 404.3.1.6.)

NOTE 1:

1. CONTRACTOR SHALL VERIFY EXISTING FOUNDATIONS IS CONVENTIONAL AND NOT A PER AND GRADE BEAM FOUNDATION. CONTRACTOR SHALL ALERT STRUCTURAL ENGINEER IF EXISTING FOUNDATION IS PER AND GRADE BEAM PRIOR TO CONSTRUCTION.

2. ALL ANCHOR EDGE DISTANCE FROM CONCRETE EDGE SHALL BE 2 INCHES MINIMUM (UNLESS NOTIFY OTHERWISE). TYPICAL.

NOTE 3:

4) FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (KS 17.3.1.)

EXCEPTIONS:

- ONE-HALF-INCH DIAMETER OR GREATER STEEL BOLTS.
- PLAIN CORDED STEEL FASTENERS IN SBWOOD AND ZINC BORATE PRESERVATIVE-TREATED WOOD (IN AN) INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.
- FASTENERS, INCLUDING NUTS AND WASHERS, FOR FIRE-RETARDANT-TREATED WOOD USED IN EXTERIOR APPLICATIONS OR WET OR DAMP LOCATIONS SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (KS 17.3.3.)

NOTES:

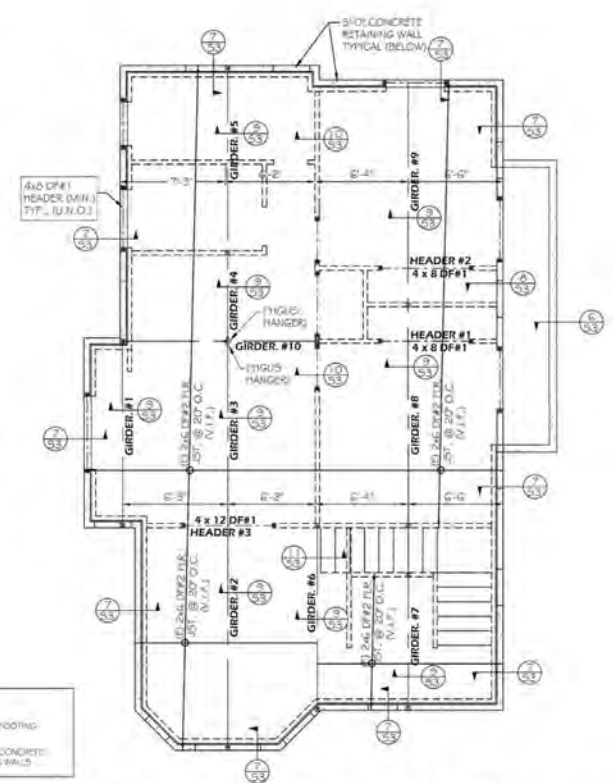
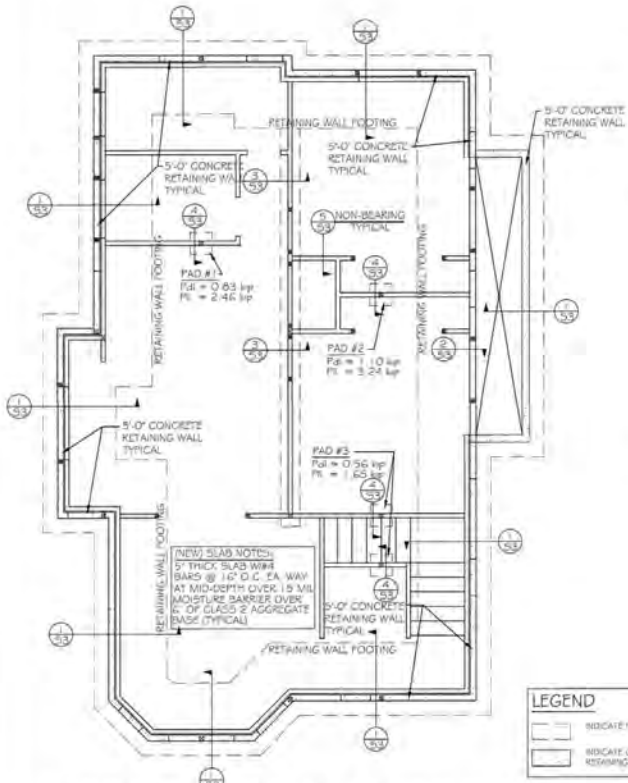
1. THE NEW FOUNDATION AT THE NEW ADDITIONS ARE DESIGN PER CBC-2022 MINIMUM (1,500 PSF) (IBC TABLE 401.4.1) ALLOWABLE BEARING. THE NEW FOUNDATIONS ARE DESIGN WITHOUT A SOIL REPORT. HOWEVER, IF THE CITY REQUIRED A SOIL REPORT FOR THIS PROJECT, THE OWNER SHALL PROVIDE ONE IN THE FUTURE IF THERE ARE ANY SETTLEMENTS AND CRACKS TO THE NEW FOUNDATIONS LOCATION. THE ENGINEER OF RECORD AND TRUONG DESIGN SHALL NOT TAKE ANY RESPONSIBILITY FOR THESE RESULT.

BEAMS SCHEDULE: (NOTE: CONTRACTOR SHALL VERIFY ALL ACTUAL SPAN OF ALL BEAMS)

| DESCRIPTION | SPAN       | BEAM SIZE                | HANGER (FACE MOUNT) | MAX. LOAD (psf) | BEAM TO COLUMN (CON.)       | BEAM SUPPORT   |
|-------------|------------|--------------------------|---------------------|-----------------|-----------------------------|----------------|
| GIRDER #1   | 11'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #2   | 14'-11" 0" | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #3   | 12'-7"     | 3.5" x 9.5" 2.2E PSL BM. | HGUS                | 9,100           | "PC2" AND FACE MOUNT HANGER | 4x4 PTD#2 POST |
| GIRDER #4   | 8'-0"      | 3.5" x 9.5" 2.2E PSL BM. | HGUS                | 9,100           | "PC2" AND FACE MOUNT HANGER | 4x4 PTD#2 POST |
| GIRDER #5   | 12'-3"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #6   | 12'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #7   | 8'-8"      | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #8   | 12'-8"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #9   | 12'-3"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |
| GIRDER #10  | 13'-0"     | 3.5" x 9.5" 2.2E PSL BM. | -                   | -               | "PC2" AND "PC2" POST CAP    | 4x4 PTD#2 POST |

DESIGN CRITERIA:

- DESIGN: UNIFORM MASSING DESIGN
- ROOF DL = 14.2 psf; ROOF LL = 20.0 psf; EXTERIOR WALL DL = 5.0 psf; EXTERIOR LL = 12.3 psf; EXTERIOR LL = 40.0 psf; INTERIOR WALL DL = 6.0 psf
- MINIMUM ALLOWABLE STORING: 1,000 psf (IBC Table 401.4.1)



FOUNDATION / FIRST FLOOR PLAN NOTES

- CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH THE LATEST ARCHITECTURAL DRAWINGS. ALERT THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE THE STRUCTURAL DRAWINGS.
- REFER TO STRUCTURAL NOTES ON SHEET 50.
- FOR TYPICAL CONCRETE REBAR SPLICES REFER TO DETAIL 1/50.
- FOR TYPICAL REINFORCING AT FOUNDATION INTERSECTION, REFER TO DETAIL 3/50.
- FOR STANDARD REBAR HOOKS, REFER TO DETAIL 0250.
- FOR TYPICAL SLAB JOINT, REFER TO DETAIL 4/50.
- FOR 1"PIE THROUGH FOOTING, REFER TO DETAIL 7/50.
- FOR STUD AND JOIST DRILLING OR NOTCHING, REFER TO DETAILS 5 AND 6/50.
- FOR WALL PLYWOOD, REFER TO DETAIL 1/255.
- FOR FLOOR PLYWOOD, REFER TO DETAIL 1/8/55.
- Sheath all new exterior walls with 1/2" CDX EXPOSURE 1, A.P.A. RATED PLYWOOD WITH 2x AT 4' O.C. (EDGE, P.E.N.) 1/2" O.C. FIELD. ALL EDGES ARE TO BE NAILED TO 2x BLOCKING MINIMUM. PROVIDE PLYWOOD EDGE NAILING (P.E.N.) TO ALL POSTS, DOUBLE TOP PLATES, BOTTOM SOLE PLATES, MUD SILLS, EDGE JOISTS, JOIST END BLOCKS, AND OTHER LOCATIONS NOTED IN THE DRAWINGS (AT 2x CRIPPLE WALLS TO NEW CONCRETE RETAINING WALLS)
- Sheath new floor with 3/4" T&G A.P.A. RATED 1STUD-FLOOR, EXPOSURE 1 PLYWOOD WITH FACE GRAIN PERPENDICULAR TO JOISTS WITH ADHESIVE TO BEARING SURFACES AND TAG JOISTS WITH 1/4" AT 5' O.C. EDGES, P.E.N.) 1" O.C. (FIELD); STAGGER END SPLICES. (AS REQUIRED)
- All posts shown [square symbol] and king posts shown [square symbol] shall be 4x STUD WALL THICKNESS, 1/2" O.N. (S.A.D.) FOR STUD WALL THICKNESS. TYPICAL POST TO BEAM CONNECTIONS SHALL BE EPCS @ ENDS & PCS @ INTERIOR SUPPORTS, U.O.N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT POST CAP SIZE. PLYWOOD SHALL BE USED WHERE SHIMMING IS REQUIRED.

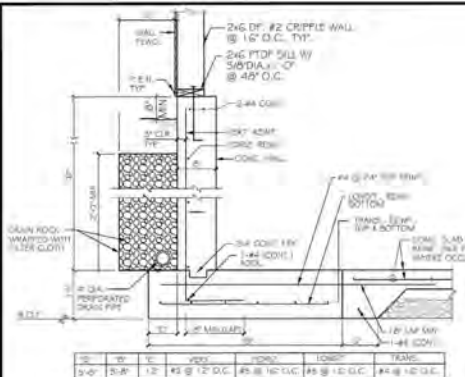
Revisions: 8/

**TRUONG DESIGN**  
 WEICHAO HUANG, M.A.S., M.P.E., D.D.  
 11450 CALIFORNIA BLVD., SUITE 200  
 IRVINE, CALIFORNIA 92618  
 Email: truongdesign@truongdesign.com

**FOUNDATION & FIRST FLOOR FRAMING AT BASEMENT**

A BASEMENT AS LIVING W/STAIR FOR:  
**SPENCER RESIDENCE**  
 1277 JACKSON STREET  
 SANTA CLARA, CA 95050

Date: 7-8-23  
 Scale: AS NOTED  
 Engineer: T.T.  
 Worksheet: #5  
 Job: S-2023-24  
 Sheet: S1

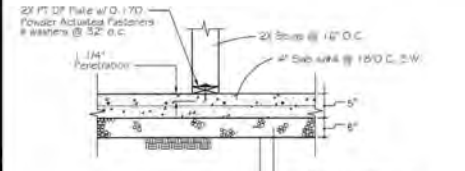


2 THICKEN FOOTING AT EXTERIOR WALL

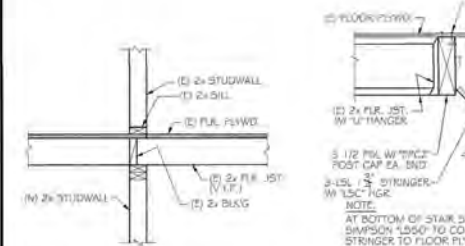
3 SECTION AT BEARING WALL

4 INTERIOR FOOTING SECTION

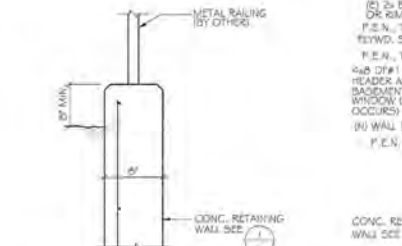
1 TYP. CONC. RETAINING WALL DETAIL



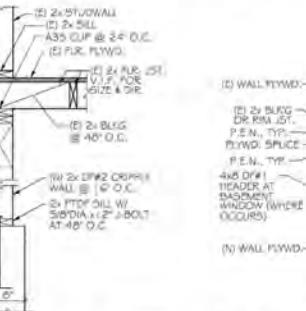
5 NON-SHEAR / NON-BEARING WALLS AT CONCRETE SLAB



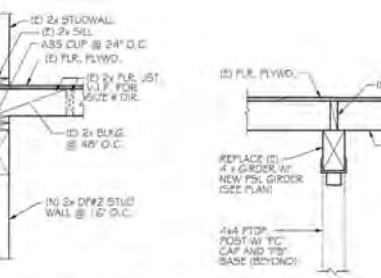
10 SECTION AT BEARING WALL



6 SECTION AT LIGHT WELL (RETAINING WALL)



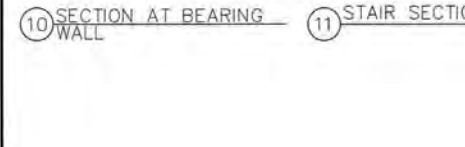
7 FLOOR SECTION AT RETAINING WALL



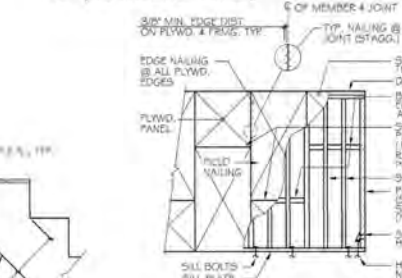
8 FLOOR SECTION AT LIGHT WELL



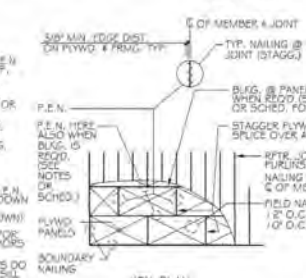
9 SECTION AT PSL GIRDER



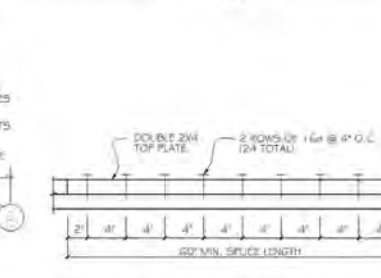
11 STAIR SECTION



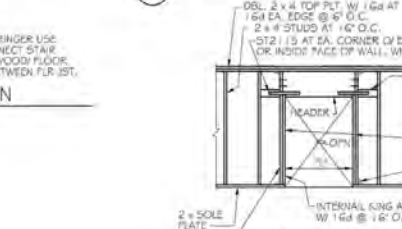
12 PLYWOOD SHEAR WALLS



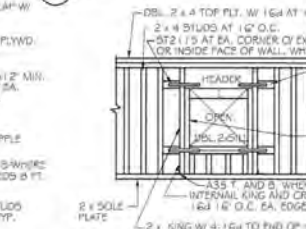
13 ROOF/FLOOR PLYWOOD



14 DOUBLE TOP PLATE SPLICE



15 TYPICAL WALL FRAMED OPNG.



**CRC 2022 TABLE R602.7.5**  
 MAXIMUM STUD SPACING (inches) [per Table R602.3(5)]

| HEADER SPAN (feet) | MAXIMUM STUD SPACING (inches) |
|--------------------|-------------------------------|
| ≤ 5                | 16                            |
| 6                  | 12                            |
| 8                  | 8                             |
| 10                 | 6                             |
| 12                 | 4                             |

| HEADER SPAN (feet) | NUMBER OF 2x CRIPPLE STUDS BELOW HEADER |
|--------------------|---|
| ≤ 5                | 1                                       |
| 6                  | 2                                       |
| 8                  | 3                                       |
| 10                 | 4                                       |
| 12                 | 5                                       |

|         |    |
|---------|----|
| Revised | By |
|         |    |
|         |    |
|         |    |



A BASEMENT AS LIVING W/STAIR FOR:  
**SPENCER RESIDENCE**  
 1277 JACKSON STREET  
 SANTA CLARA, CA 95050

**STRUCTURAL DETAILS**

Date: 7-8-23  
 Book: AS NOTED  
 Engineer: T.T.  
 Reviewed: K.S.  
 App: 1-2023-24  
 Sheet: 53

[CBC 314.455, 315.549]

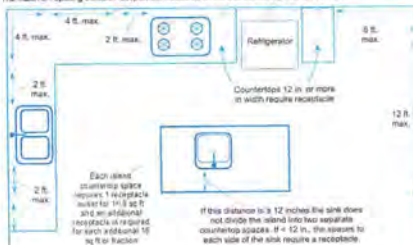
**LIGHTING:**

- Electrical - Lighting:
- All installed lighting shall be high efficiency [CBC 150.001(A)]
- Under cabinet lighting must be switched separately from other lighting [CBC 150.002(G)]

**KITCHENS:**

- Electrical - Lighting:
- All needed lighting shall be high efficiency [CBC 150.001(A)]
- must be switched separately from other lighting [CBC 150.002(G)]
- Electrical - Branch Circuits:
- A maximum of two 20-amp small appliance branch circuits are required to serve countertop and/or receptacles in the kitchen, pantry and dining room [CBC 210.11(C)(1)(2)]. No bath-appliances are allowed on these circuits (except an electric clock or the ignition of a gas range).
- Individual (dedicated) circuits are required for garbage disposals, microwave, convector, speed blenders [CBC 210.11(A)(1)(2)].
- APFC (Auto-Back-Circuit-Interrupter) protection is required for all 120V 15-20-amp branch circuits supplying kitchen outlets or devices [CBC 210.12(A)].

- Electrical - Receptacles:
- Receptacles shall be installed at each countertop space at 12 in. in width. Receptacles shall be installed to the top no point along the wall line is more than 24 inches horizontally from an outlet in that space [CBC 210.52(C)(1)]. The maximum spacing between receptacles, measured on the wall/countertop line, is 48 inches.



- All receptacles serving kitchen countertop surfaces shall have GFCI protection [CBC 210.84(A)].
- Countertop receptacles shall not be installed in a face-up position [CBC 408.52(E)]. Under cabinet receptacles are allowed [CBC 210.52(C)(2)]. Receptacles or air outlets can be installed on the underside of the cabinet above the receptacles if within 30 inches of the countertop.
- Dishwashers require GFCI protection, including 240-volt dishwashers [CBC 210.84(A)(1), 422.54(A)(7)].



- On islands and peninsulas, electrical outlets are allowed on the side of the island, not more than 12 inches below the countertop and with no overhanging countertop greater than 6 inches [CBC 210.52(C)(5)].
- An island or peninsula is considered divided into separate countertop spaces when a sink or range is installed and does not have 12 inches of space behind it. See the diagram on page 2.
- Back-type counters are considered with tops. Microwave 2, 2, 2 require receptacles on each countertop that is more than 4 ft. from a receptacle outlet, measured at the top of the island [CBC 210.52(A)(1)(5)(7)].
- A range hood / microwave combination must be cord-and-pull connected if the circuit is an individual dedicated branch circuit. The receptacle outlet shall be a single type, not a duplex receptacle that would accept two plugs [CBC 422.18(B)(4)].

**Kitchen Plumbing:**

- Dishwashers shall be connected with an approved drainage air gap device located above the flood level rim of the sink [CBC 407.3].
- Newly installed kitchen faucets shall not exceed 1.6 gallons per minute [GPM] at 2.31 ft. head. An EPA-certified plumbing fixture and reduced to the degree of repair that is required if necessary to comply with EPA 2007 Plumbing Fixtures Replacement Requirements - See Water Conservation/Certification Form.
- A gas leak is required on all piping modifications of at least 18 PSI or 15 inches. A maximum 15 PSI (psi) is required for the gas leak [CBC 121.3].
- Gas lines that run under a slab shall run through an approved, vented, gas tight conduit [CBC 121.0-1.4].
- An accessible shut-off valve shall be installed outside each appliance and piped to the union connection thereto and in addition to any valve on the appliance [CBC 121.6].
- Appliance gas flexible connectors shall be flat and of minimum length but not to exceed 6 feet [CBC 121.3-1].
- All hot water pipes require insulation to be at least the thickness of the pipe diameter [CBC 608.12, 608.12-1].

**Kitchen Mechanical:**

- A mechanical fan is required to replace a kitchen exhaust hood that involves an outside air vent. The vent must terminate on the building exterior at least 3 ft. from other openings into the building [CBC 302.2-1].
- A mechanical exhaust directly to the outdoors shall be provided in each kitchen. Range hoods exhaust rate shall be at least 100 CFM. Mechanical exhaust fans including power-fan appliances shall have exhaust rates at least 300 CFM [CBC 405.4, 408.1-1].
- A ducted residential exhaust hood is required and shall be constructed of metal with a smooth interior surface (finish) (conjugated) ducting is not required for exhaust hoods. Through-the-roof protection [CBC 604.1.1, 604.1-1].
- Minimum 30" vertical clearance above cooktop surface to combustible or metal cabinets [CBC 422.3].

**BATHROOMS**

**Bath Electrical:**

- All installed lighting shall be high efficiency [CBC 150.001(A)].
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor) [CBC 150.002(A)].
- Exhaust fans must be switched separately from lighting, with the exception that lighting integral to an exhaust fan can be on the same switch if the fan is controlled by a humidity or temperature sensor when the system is off.
- All receptacle outlets in bathrooms shall be GFCI protected [CBC 210.84(A)(1)].
- All receptacle outlets in bathrooms shall be tamper-resistant [CBC 408.12(A)(4)].
- When a bathtub or shower stall is in an area not technically considered a bathroom (by the definitions in the residential code), receptacles within 6 ft. of the bathroom stall must be GFCI protected [CBC 210.84(A)(9)].
- A receptacle outlet is required within 3 feet of each wash basin location. It may be on the wall, or an adjacent partition, or on the face or side of the cabinet not more than 12 inches below the top of the basin [CBC 210.52(B)].
- Receptacles cannot be face-up in a vanity surface. Reed-top receptacles are allowed [CBC 408.52(E) & 210.52(D)].
- A maximum of one 100-volt, 30-amp circuit is required for the receptacle outlet(s) within 3 ft. of the outside edge of the sink basin in the bathroom(s). This circuit can serve multiple bathroom receptacles within 3 ft. of edge of sink basin or countertop and similar work surfaces but can have no other outlets, including lights [CBC 210.11(C)(2), 210.52(D)]. However, if a 20-amp circuit serves only one.



- Bathrooms, lights and fans can be on the same circuit with the receptacles in that bathroom [CBC 210.11(C)(3) exception].
- Hydro-massage tubs require an individual (dedicated) branch circuit and readily accessible GFCI protection [CBC 603.7]. An access door is required and must be large enough to remove the motor and pump. Cont-contrasted equipment must have the receptacle facing the opening and be no more than two feet behind the access door [CBC 650.3].

- Recessed light fixtures in shower enclosures must be listed for a damp or wet location [CBC 410.15(A)].
- Permanent fixtures, track lights, and mobile track units shall not be installed lower than 8 feet above the floor/finish of a tub, including the area 3 feet east of the edge of the tub [CBC 410.10(C)].
- Electric panel shall not be installed in bathrooms [CBC 240.24(B)].
- All 125-volt through 250-volt receptacles installed in bathrooms within 6 ft. of bathtub or shower enclosure within 6 ft. of any vanity or floor drain location shall have ground-fault circuit interrupter protection for personnel [CBC 210.84(A)].

**Bathroom Plumbing, General:**

- All hot water pipes require insulation thickness to be at least equal to the pipe diameter [CBC 608.12, 608.12-1].
- Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards:
- Water closets shall not exceed 1.28 gallons per flush [GPCF] 411.2, CGSBC 4.303.3-1
- Showers shall not exceed 2.0 GPM at 80 psi [CBC 401.2.1, CGSBC 4.303.3-1]
- Laundry faucets shall not exceed 1.2 GPM at 80 PSI [CBC 407.2.2]
- All existing plumbing fixtures not included in the scope of new work shall be repaired if necessary to comply with 2007 Plumbing Fixtures Replacement Requirements - See Water Conservation/Certification Form.

**Bathroom Plumbing, Shower:**

- Shower stalls require a minimum of 1024 sq. inches area if a 30" curb must be from the side of the finished shower-walk to middle of the stall. Shower doors must swing out and must be at least 22" wide [CBC 405.4, 408.6]. The curb may project up to 2 inches.
- Safety gloves, goggles or aprons are required for all glass shower doors and partitions and for windows in walls facing the tub or shower and located less than 60 inches above the starting surface of the bathtub/shower and within 80 inches horizontally [CBC 1026.4.1(5)(5)].
- Showers require a minimum 2 inch drain and trap [CBC Table 702.1].

**Bathroom Plumbing, Toilets & Bidets:**

- Toilets and bidets require a minimum 10 inches of clearance from the center line of the toilet to each side, and 24 inches of clearance from the front edge of the bowl [CBC 402.5].
- Laundry areas require a minimum of 24 inches front clearance [CBC 402.5].
- The maximum water temperature to a shower or tub/shower combination is 120°F. The water heater thermostat cannot be used as the control for this temperature. Water shall provide cold and thermal shock protection, and be pressure-balanced, thermostatic, or combination pressure-balanced/thermostatic mixing in accordance with ASSE 1018 or ASSE A112 18 1/8/58 A 125.1, [CBC 408.3-2].

**Mechanical:**

- Mechanical ventilation is required in all bathrooms with tubs or showers. Corridor windows in not an egressed way of providing bathroom exhaust for humidity control. [CBC 405.3, CGSBC 4.309.1, CBC 302.3.1] The fan must move minimum 50 CFM of air and be separately switched from the lighting. Fans that operate continuously can be 40 CFM [CBC 405.3, 405.3.1]. The duct must terminate in the exterior not less than 3 feet from openings into the building, 3 ft from a property line or 10 ft from a forced air fire. [CBC 503.2.1]
- Bathrooms with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq. ft. half of which is operable [CBC 403.3].

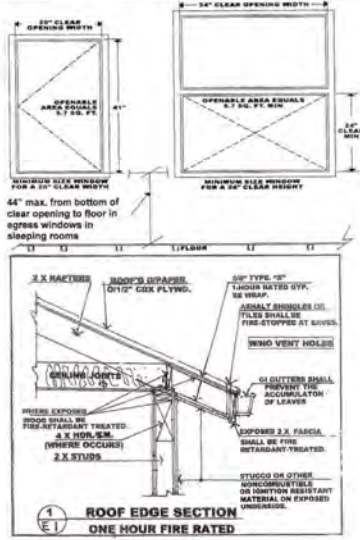
**Tile & Backing:**

- Water-resistant gypsum board (purple board) can be used as a tile backer board in areas that are not subject to direct exposure to water or high humidity [CBC 702.3.1.1]. Examples would be a wall behind a toilet or above a vanity countertop. Purple board cannot be used in a shower for direct application of tile. It can be used in showers behind a water-resistant membrane with mortar bed and with. Other acceptable materials for application of tile in showers include cement board, floor-pan or glass mat gypsum backer [CBC 702.3.1.1].
- Bathtub and shower floors and walls above bathtubs with attached shower heads and all shower combinations must be finished with a nonabsorbent finish. Walls with surfaces shall extend to a height of not less than 8 feet above the floor [CBC 407.2].
- See CBC 408.1 for information on lining for showers and receptors.

**Laundry Rooms**

**Electrical:**

- All new or altered lighting shall be high efficiency [CBC 150.001(A)].
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor) [CBC 150.002(A)].
- All 120-volt through 250-volt receptacles in laundry areas require GFCI protection, including but not limited to the clothes washer and dryer receptacles [CBC 210.84(A)(1)].
- All non-locking type 125-volt, 15- and 20-ampere receptacle outlets shall be tamper-resistant, except those supplied dedicated space for an appliance not easily moved from one place to another (behind clothes washer) [CBC 408.12(A)].
- A separate 20-amp circuit is required for the laundry equipment. The lights and other receptacles in the room cannot be on that circuit [CBC 210.84(A)].
- All circuits supplying outlets or devices in the laundry area (including laundry areas in garages) must be AFCI protected [CBC 19.9(A)].

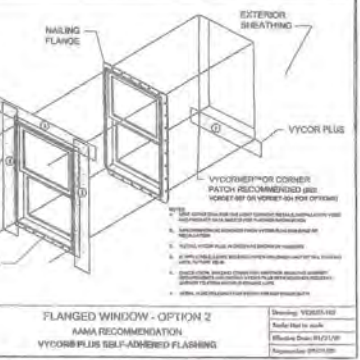
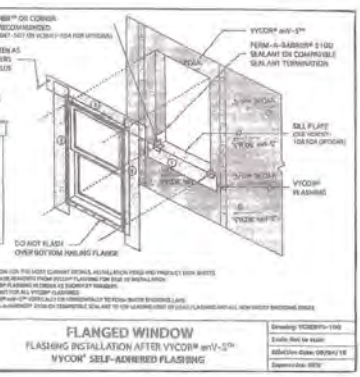
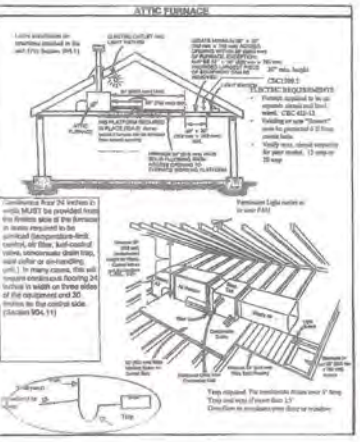
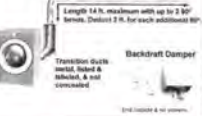
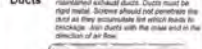
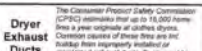


**Plumbing:**

- Clothes washer drainpipes must be 2-inch diameter. The vent of the trap must be roughed in 6 - 18 inches above the floor. The ventpipe must be a minimum of 1/8 inch and a maximum of 3/8 inch above the trap [CBC 504.4].

**Mechanical:**

- Clothes dryer in closets require a minimum of 100 sq. ft. in. of opening for makeup air which can be supplied by louvers or undercutting the door [CBC 504.4-1].
- Dryer ducts must be smooth-walled rigid metal or at least 4-inch diameter and not more than 14 ft. in length. Two 30" intake louvers within the 14 ft. and for 50-cfm in areas of full duct 2 ft from above 14 ft length for each additional load [CBC 504.4-1.1].
- Ducts may not pass through vents or be shared with other systems or piping. They cannot be connected with screws that penetrate the duct interior [CBC 504.4].
- Dryer ducts must terminate on the building exterior in a backdraft damper. Screws or ducts cannot be installed [CBC 504.4].
- Flexible transition ducts (non-ducting) between the dryer and the metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction [CBC 504.4-2.2 exception]. They must be 1/2 inch thick and labeled "UL" as dry transition ducts and cannot be pleated.



REVISIONS BY table with 2 columns

A PROPOSED BASEMENT AS LIVING WITH STAIRS FOR: THE SPENCER RESIDENCE 1277 JACKSON ST., SANTA CLARA CA. 95050 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S., 95125 408-264-0220 STRUCTURAL ENGINEER: TONY TRUONG PE, 408-899-0320

NOTES

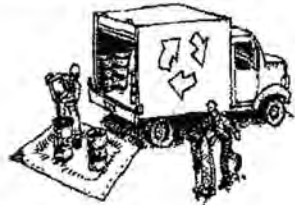
DRAWN LOU COSTANZO CHECKED S.C. DATE 5-23-23 SCALE NONE ORN NO S-20210 SHEET E1



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 7 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washer from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

Dear Santa Clara Planning Department,

I am writing to request a property variance to exempt us from the requirement to provide additional covered parking on our property located at 1277 Jackson Street. We respectfully request that you grant us the variance based on the unique challenges we face in providing the additional covered parking.

Our property faces several obstacles that make it difficult to provide covered parking, including a substandard lot size and the absence of a garage. Additionally, we have an in-ground pool and hot tub that impede where additional parking could be positioned. While we have widened our driveway to accommodate more off-street parking, providing covered parking would be a significant challenge. We are open to other ideas if preferred, but we do not wish to compromise the safety or aesthetics of our property.

We have explored several alternative solutions to address the additional parking issue, including parking off-site, carpooling, and utilizing public transportation. While carpooling has worked for us, the other options do not meet our family's needs. We understand that the zoning regulations require covered parking, but we respectfully request an exemption based on the unique challenges we face.

We assure you that we will take all necessary measures to ensure that our property remains safe and aesthetically pleasing, even without covered parking. We are committed to complying with all other zoning regulations and appreciate the opportunity to work with the board to find a solution that meets everyone's needs. We would also like to emphasize that our in-ground pool and hot tub are essential to our family's quality of life, and we hope to find a solution that allows us to keep them intact.

As long-time residents of Santa Clara and proud homeowners, we hope that you will grant us the variance so that we may continue to enjoy our neighborhood and schools and make our property our forever home. We thank you for your time and consideration and look forward to hearing back from you soon.

Sincerely,

Brandon and Michelle Spencer

September 25, 2022

Santa Clara Planning Department  
Santa Clara City Hall  
1500 Warburton Street  
Santa Clara CA 95150

Subject: 1277 Jackson Street- Proposed Basement Excavation

**Purpose of this memo:** The house at 1277 Jackson Street is one of a trio of very similar Queen Anne Cottage style houses constructed prior to 1891.<sup>1</sup> Together they represent a late nineteenth century development pattern. The properties at 1295 and 1261 Jackson Street are on each side of 1277 Jackson St and each are individually listed in the Santa Clara Historic Resource Inventory. The owners of the property at 1277 Jackson Street have submitted a plan to replace the failing foundation. As part of the plan the partial basement will be excavated to an 8-ft. height basement, creating a space to be occupied. This will require compliance with life safety codes, including windows for egress, light and air. The City of Santa Clara has required that the plan be evaluated by qualified consultants to determine if the changes diminish the character- defining architectural features of the house or of the trio of buildings.

**The Study/Evaluation:** Urban Programmers was asked to review the proposed plans and to compare the changes with the Secretary of the Interior's Standards for Rehabilitation- the criteria used by the City of Santa Clara.

**Methodology:** Urban Programmers conducted a site visit and took photographs of the three properties. The proposed plans were reviewed to determine if the changes were consistent with the "Standards", and how the changes might affect the group when all three buildings were considered. Marvin Bamburg, AIA, Historic Architect(NWIC) and Bonnie Bamburg participated in this evaluation

**Existing property:** The site visit conducted by Urban Programmers on September 2, 2022, confirmed that although there have been alterations, the 3 Queen Anne Cottage style houses retained sufficient integrity to be recognized as a pattern of speculative development c. 1890 . The front and primary façade of 1277 Jackson St. appears very much the same as it did in the 1979 HRI photograph. The house at 1277 Jackson Street, and the other two, have identical designs that include the first floor raised 4 feet above grade, over the foundation and cripple wall. Each house has 6 steep steps leading to the front and side porches. Only the house at 1277 Jackson St. was available to be viewed on all facades, however, it appeared that all were very similar with horizontal board siding covering the walls including the basement where side windows appear to be original to the design..

Bonnie Bamburg, owner  
10710 Ridgeview Avenue  
San Jose California  
95127  
USA

Phone: 408-254-7171  
Fax: 408-254-0969  
E-mail: bbamburg@USA.net



Photograph 1 1277 Jackson St.

View” Front façade. Note the raised first level floor level. Few alterations to the architectural details of the front façade.



Photograph 2 1277 Jackson St.

View: Front façade and right side wall. Note the raised level of the porch and first floor.

**Proposed plans:**<sup>2</sup> The house will be lifted from the existing foundation and stabilized while the 6 foot 6 inches high basement is excavated approximately 2 feet and the new foundation is installed. The house will be lowered onto the new foundation and structurally connected. The basement room height floor to ceiling will be 8 feet. The final first floor elevation will remain the same as the original elevation. The stair accessing the new basement will be inside the house. The front porch and front façade features will be repaired where needed and

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<sup>2</sup> The proposed plans to create a usable basement were prepared by Lou Constanzo and dated 12-2802921 and are attached to this evaluation.



preserved. No changes are proposed for the front façade. The exterior changes are to add windows beneath the first-floor level to provide light and air and egress for the basement. The change on the right side of the house will be two new windows will be added and set within concrete a window well to provide emergency egress. On the left side small sliding style windows are set within the wall above grade in the same area that windows already exist.

No changes or alterations are proposed for the exterior facades above the basement level,

**The following is a comparison of the proposed basement level plans and the Secretary of the Interior's Standards, for rehabilitating historically important buildings.**

### **Secretary of the Interior's Standards for Rehabilitation and Rehabilitating Historic Buildings**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The house at 1277 Jackson Street will retain the historic residential use.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The character of the house will be retained with no changes to the architectural features of the Queen Anne Cottage. There is very little removal of existing material, all distinctive features and spaces that characterize the house will be retained. Providing a usable basement does not require the removal of distinctive materials.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed plan to add living space in a basement will not change the sense of the c. 1890 historical development. The house was developed with a basement. No conjectural features will be added.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

All architectural features will be retained. Although none of the alterations have acquired historic importance, none will be removed.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The foundation has failed and must be replaced. The foundation is not considered a distinctive feature or one that represents specific construction techniques or craftsmanship.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

During the proposed construction, any deteriorated material, horizontal board siding or window frames will be repaired or replaced in kind.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Although a specification for painting or repair have not been prepared, there is no reason that harsh chemical treatments would be considered.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Because the site has been disturbed by the construction of the existing house and basement it is unlikely that archeological resources of importance would be found. However, an archeological survey was not conducted as part of this evaluation process.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed plans do not destroy important historical materials of features that characterize the Queen Anne Cottage architecture.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Replacing the foundation will provide for the preservation of the building. It is not considered an addition and would not be removed in the future.

The proposed plan to add a functional basement to the historic house is in conformance with the Secretary of the Interior's Standards.

Three Queen Anne Cottages in a Row. The row of three Victorian era house listed in the Santa Clara Historical Resources Inventory, are the same style, and form and mass. All are single story and have partial basements with the main floor elevated above the grade approximately 4 feet. Each has 6 stairs leading to the porch and horizontal board siding on all walls of the buildings. Each house also has windows in the basement walls below the first level.

The proposed excavation of the basement at 1277 Jackson Street will allow the occupancy use of the basement and maintain the same approximately 4-foot elevation to the porch and first level floor. The overall height of the house remains the same. The proposed plan does not change the appearance of the row of three Queen Anne Cottages, nor does it detract from the historic development pattern o shown by f the three c.1890 houses. The proposed excavation of the basement at 1277 Jackson Street will not be an adverse change to the architectural character of the house or the neighboring houses. The significance stated in the 1979 Historic Resources Inventory will be maintained and is not diminished by the proposed plan to provide additional height in the basement of 1277 Jackson Street.

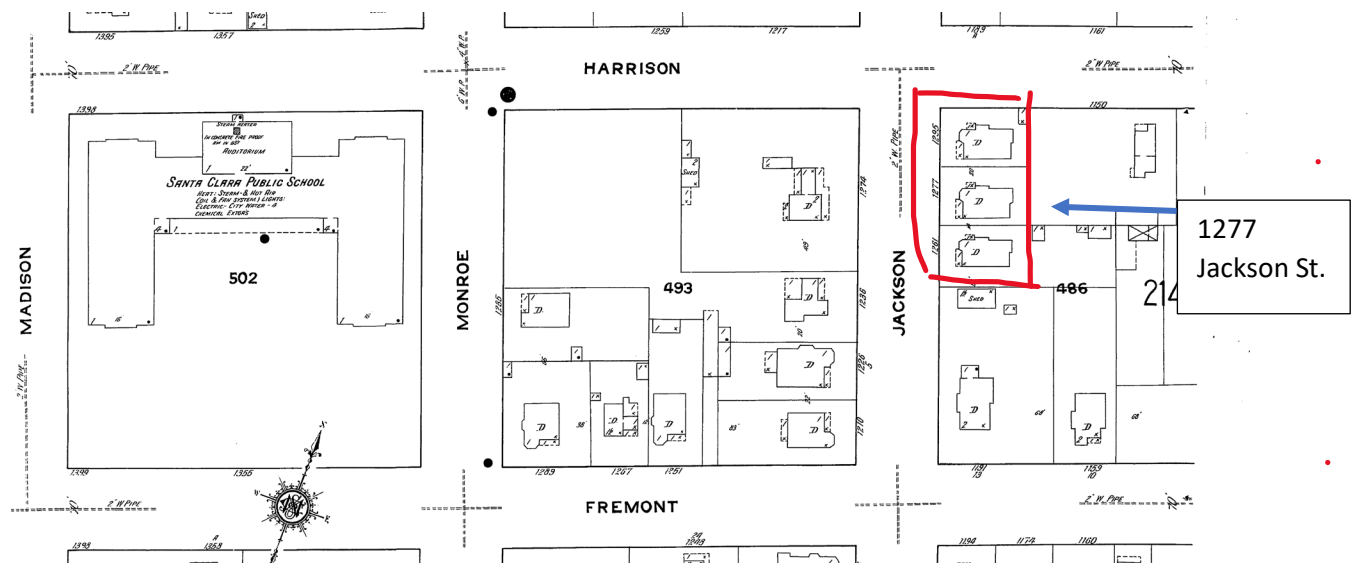


Figure 1 Section of the 1915 Santa Clara Sanborn Map page 213, showing the 3 Queen Anne cottages.



Photograph 3 1261 Jackson Street.

View: Front façade showing the very similar Queen Anne Cottage architectural design found in the three houses including the 6 steps to the first level, approximately 4 feet above grade level.



Photograph 4      1277 Jackson Street

View: front and right

façade showing the first level floor is approximately 4 feet above grade Proposed windows would be on this side of the building, which is not visible from the street..



Photograph 5 1295 Jackson Street.

View Front façade showing the steep steps to the first level of the house, approximately 4 feet above grade. This house shows the most remodeling and loss of architectural details yet retains a visual connection to the other two homes.

HISTORIC RESOURCES INVENTORY

Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_ Loc \_\_\_\_\_  
UTM: A \_\_\_\_\_ B \_\_\_\_\_  
C \_\_\_\_\_ D \_\_\_\_\_

IDENTIFICATION

1. Common name: \_\_\_\_\_
2. Historic name: \_\_\_\_\_
3. Street or rural address: 1277 Jackson St.  
City Santa Clara Zip 95050 County Santa Clara
4. Parcel number: 269-15-13
5. Present Owner: Engelhaupt Address: same  
City \_\_\_\_\_ Zip \_\_\_\_\_ Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Single family res. Original use: Single family res.

DESCRIPTION

- 7a. Architectural style: Queen Anne Cottage
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition: 1277 Jackson Street is a single story wooden residence built on a rectangular plan and designed in a Queen Anne Cottage style. The structure exhibits a steeply hipped central roof with 2 offset pedimental-shaped gables and 3 low hipped porch roofs projecting from it. The various roof planes are sheathed in patterned asphalt shingles. The body of the house is sheathed in wide ship lap with over-sized wooden endboards. Fishscale shingles ornament the 2 gables. The facade is distinguished by a slightly cut-out, angled bay and two porches: a rectangular entry porch that is supported by 5 turned posts and a small side-entry porch supported by 3 turned posts. Both porches contain 6 straight step wooden stairs and are highly ornamented by sunbursts and cut-out wooden screens under the boxed cornice and plain frieze of the porch roofs. Fenestration is generally single and paired, rectangular double-hung windows. A small palladian window highlights the front facing gable. Spindles, pendants and carved, oversized, wooden brackets ornament one side of the angled bay. Landscape is minimal. The rear attached garage is an addition.



- Construction date:  
Estimated 1889 Factual \_\_\_\_\_
- Architect Unk.
- Builder Unk.
1. Approx. property size (in feet)  
Frontage 50 Depth 76  
or approx. acreage \_\_\_\_\_
2. Date(s) of enclosed photograph(s)  
April 11, 1979

13. Condition: Excellent \_\_\_ Good  Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: Attached rear garage
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up   
Residential  Industrial \_\_\_ Commercial \_\_\_ Other: \_\_\_\_\_
16. Threats to site: None known \_\_\_  Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_\_\_
17. Is the structure: On its original site?  Moved? \_\_\_ Unknown? \_\_\_
18. Related features: One of 3 identical houses in a row.

**SIGNIFICANCE**

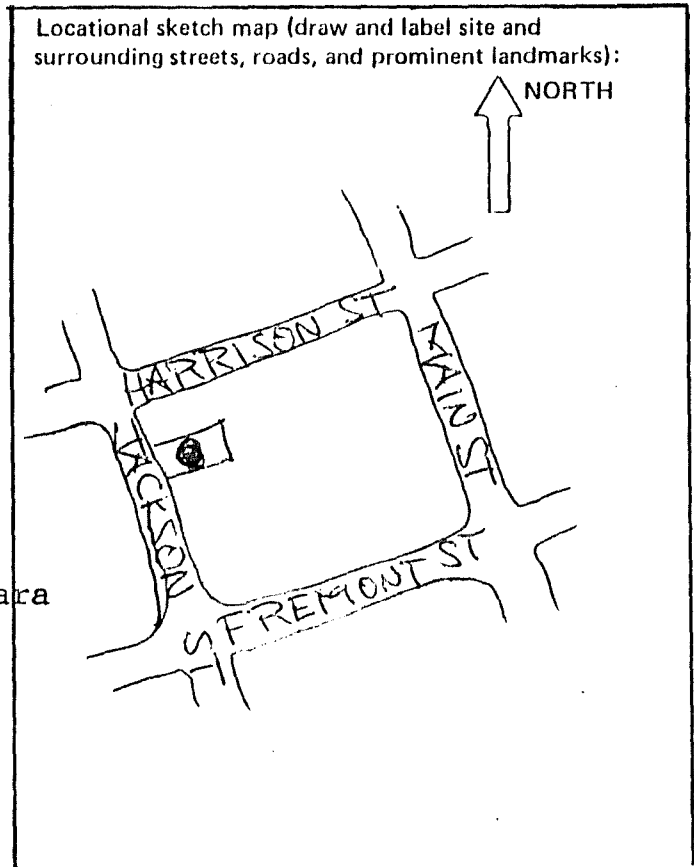
19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)  
 The site is significant primarily due to its architecture and the fact that it is one of 3 identically planned houses (with #1295 and #1261 Jackson) which despite minor alterations in detail over the years, perfectly reflect the early speculative housing techniques for residential development in Santa Clara. The set of 3 identical Victorian houses in a row provides a unique addition to the City's urban heritage. The 1891 Sanborn Insurance map shows all three identical Queen Anne Cottages built on their present locations except that their lot sizes are much larger. The 1915 City Directory lists Augustine J. Cronin as the owner/occupant of the residence.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
 Architecture  Arts & Leisure \_\_\_  
 Economic/Industrial \_\_\_ Exploration/Settlement   
 Government \_\_\_ Military \_\_\_  
 Religion \_\_\_ Social/Education \_\_\_

21. Sources (List books, documents, surveys, personal interviews and their dates).  
 Sanborn Insurance Map 1891, 1915. Polks City Directory 1915.

22. Date form prepared Dec. 1, 1980  
 By (name) Miller/Giudici/Zavlaris of  
 Organization for the City of Santa Clara  
 Address: 1500 Warburton  
 City Santa Clara Zip 95050  
 Phone: (408) 984-3111

RC







# City of Santa Clara

## Meeting Minutes

### Historical & Landmarks Commission

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12/07/2023

6:00 PM

Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050

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#### **REVISED AGENDA - additional attachments have been added to RTC 23-1252**

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

• Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Webinar ID: 972 3326 2035

Public Comments prior to meeting may be submitted via email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

#### **PUBLIC PARTICIPATION IN ZOOM WEBINAR:**

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, you may leave the meeting.

**CALL TO ORDER AND ROLL CALL**

**Chair Vargas-Smith** called the meeting to order at 6:02 p.m.

**Present** 6 - Commissioner Michael Celso , Commissioner Amy Kirby,  
Commissioner Patricia Leung, Vice Chair Kathleen Romano,  
Commissioner Ed Stocks, and Chair Ana Vargas-Smith

**Absent** 1 - Commissioner Yvonne Inciarte

**A motion was made by Commissioner Stocks, seconded by  
Commissioner Leung, to excuse Commissioner Inciarte.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,  
Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**CONSENT CALENDAR**

**A motion was made by Commissioner Leung, seconded by  
Commissioner Romano, to approve the Consent Calendar with a  
note to update the minutes to reflect the correct Chair and  
Commissioner titles in several places.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,  
Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**1.A**     [23-1323](#)     Historical and Landmarks Commission Minutes of October 5, 2023

**PUBLIC PRESENTATIONS**

**GENERAL BUSINESS**

2. [23-1347](#) Consideration of a Significant Property Alteration Permit for a 1,207 Square Foot Addition to a Historic Residence and a Variance to Eliminate the Requirement for a Two-Car Garage at 1277 Jackson Street

Public Speakers:

**Brandon Spencer**

**A motion was made by Commissioner Stocks, seconded by Commissioner Romano, to recommend approval of the Significant Property Alteration Permit to the Planning Commission with the following updates:**

- **Correct the plans to address the discrepancy between the 8' vs. 9, basement ceiling height, while not modifying the basement windows (do not change their height)**
- **Modify the proposed kitchen window to a single pane awning style**
- **For all new windows, try to match the existing wood windows to the extent feasible**

**A motion was made by Commissioner Celso, seconded by Commissioner Romano, to recommend approval of the Variance to the Planning Commission.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

3. [23-1348](#) Consideration of a Significant Property Alteration Permit for a 556 Square-Foot Addition to the Basement and a 590 square foot First Floor Addition to a Mills Act Residence and a Variance for the Construction of a New Nonconforming Garage at 324 Madison Street

Public Speakers:

**Tommy Tran**

**Rob Mayer**

**A motion was made by Commissioner Leung, seconded by Commissioner Kirby, to recommend approval of the Significant Property Alteration Permit to the Planning Commission with the following recommendations:**

- **Retain the existing chimney**
- **Differentiate the stucco on the new addition**

**A motion was made by Commissioner Leung, seconded by Commissioner Stocks, to recommend approval of the Variance to the Planning Commission.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

- 4. [23-1252](#) Consideration of an Environmental Impact Report for the Demolition of a Potentially Significant Structure to Construct a Residential Development with 22 Detached Single-Family Dwellings at 1957 Pruneridge Avenue

Public Speakers:

**Cory Kusich**

**Richard**

**A motion was made by Commissioner Celso, seconded by Commissioner Stocks, to recommend certification of the EIR to the Planning Commission and City Council with the following recommendations:**

- **Developer to create a memorial to the church (using the Architect William Mays' name) utilizing materials from the church in the memorial if the church is not relocated**
- **Return to the HLC to present the memorial design**

**Aye:** 5 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, and Chair Vargas-Smith

**Nay:** 1 - Vice Chair Romano

**Excused:** 1 - Commissioner Inciarte

- 5. [23-1324](#) Action on HLC Board and Committee Assignments

The Board and Committee assignments were updated as follows:

| <b>Board/Committee</b>                                     | <b>Lead/Alternate</b>        |
|--|------------------------------|
| Santa Clara Arts and Historic Consortium:                  | <b>Vargas-Smith / Romano</b> |
| Historic Preservation Society of Santa Clara:              | <b>Vargas-Smith / Leung</b>  |
| Old Quad Residents Association:                            | <b>Leung</b>                 |
| Development Review Hearing:                                | <b>Romano / Vargas-Smith</b> |
| BART/ High Speed Rail/ VTA BRT Committee:                  | <b>Vargas-Smith / Leung</b>  |
| El Camino Real Specific Plan Community Advisory Committee: | <b>Leung</b>                 |
| Downtown Precise Plan:                                     | <b>Vargas-Smith / Stocks</b> |
| Santa Clara Station Area Task Force:                       | <b>Leung / Stocks</b>        |

**STAFF REPORT**

- 1. Berryessa Adobe Maintenance

- 2. Training and Travel Request
- 3. Streetlight Banners for Historic Preservation Month

**Staff Liaison Rebecca Bustos** gave a verbal report of the price quotes for the banner design, fabrication, and installation/removal.

**A motion was made by Commissioner Leung, seconded by Commissioner Romano, to establish a Banner Subcommittee with Chair Vargas-Smith, Commissioner Romano, and Commissioner Kirby.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**COMMISSIONERS REPORT**

- 1. Subcommittee Reporting - 20 minutes

- 2. Board/Committee

Lead/Alternate

|   |                      |
|---|----------------------|
| Santa Clara Arts and Historic Consortium                  | Leung / Romano       |
| Historic Preservation Society of Santa Clara              | Vargas-Smith / Leung |
| Old Quad Residents Association                            | Leung / Romano       |
| Development Review Hearing                                | Romano /Vargas-Smith |
| BART/ High Speed Rail/ VTA BRT Committee                  | Vargas-Smith/ Vacant |
| Zoning Ordinance Update                                   | Romano / Vacant      |
| El Camino Real Specific Plan Community Advisory Committee | Leung                |
| Downtown Precise Plan                                     | Vargas               |

**ADJOURNMENT**

The meeting was adjourned at 9:44 p.m.

**A motion was made by Commissioner Leung, seconded by Commissioner Romano to adjourn the meeting.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

The next regular scheduled meeting is Thursday, January 4, 2024

**MEETING DISCLOSURES**

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



## Agenda Report

24-1629

Agenda Date: 2/21/2024

### REPORT TO PLANNING COMMISSION

#### **SUBJECT**

**PUBLIC HEARING:** Action on an Environmental Impact Report and Mitigation Monitoring and Reporting Program, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 1957 Pruneridge Avenue to Allow the Development of 22 Detached Single-Family Residences and Associated On- and Off-Site Improvements

#### **REPORT IN BRIEF**

**Applicant /Owner:** SCS Development

**General Plan:** Very Low Density Residential

**Zoning:** Public, Quasi-Public, and Public Park or Recreation (B)

**Site Area:** 2.47 acres

**Existing Conditions:** The site contains the St. Mark's Episcopal Church (now vacant), which includes a church building and a single-story parish hall and administration building connected to a two-story classroom building. Buildings are concentrated in the center of the site and are surrounded by a surface parking lot and perimeter landscaping to the north, west and east, and a landscape setback fronting Pruneridge Avenue to the south.

#### **Surrounding Land Uses:**

- North: Single-family detached residences
- South: Pruneridge Avenue and a mix of neighborhood commercial uses and detached single-family residences
- East: Neighborhood commercial uses
- West: Neighborhood commercial uses

**Staff Recommendation:** That the Planning Commission adopt resolutions recommending the City Council certify the Environmental Impact Report (EIR); adopt the California Environmental Quality Act (CEQA) Findings, Statement of Overriding Considerations, and Mitigation Monitoring and Reporting Program; and approve the Rezone and Vesting Tentative Subdivision Map for the property located at 1957 Pruneridge Avenue.

#### **BACKGROUND**

SCS Development Company filed an application for the subject proposal on September 6, 2022 to construct a single-family residential development with 22 detached two-story homes, private street and associated on- and-off site improvements on the 2.47-acre site. Implementation of the proposal requires a rezone of the property from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to construct the residential development and a Vesting Tentative Subdivision Map (Chapter 17.05 of the City Code) to subdivide the property into individual for-sale lots and four common lots for use as a utility corridor, vehicle access, landscape open space and

bioretention areas. Fifteen percent of the total number of units (or 3.3 homes) are required to be provided as affordable housing units. Per the City's Affordable Housing Ordinance (SCCC § 17.04.080.B), any fractional unit requirement may be addressed by providing one additional affordable unit or by payment of an in-lieu fee. Redevelopment of the property as proposed includes the demolition of all existing structures and site improvements (surface parking lot and landscaping).

### Project History and Previous Actions

The existing buildings are over 50 years in age and were evaluated for potential historical and architectural significance in accordance with CEQA. A California Department of Parks & Recreation Form 523 ("DPR") was prepared to record and evaluate the building complex, landscape features and historic context, followed by peer review of the analysis. In accordance with 18.106.060 of the City's Preservation Ordinance, the project was referred to the Historical and Landmarks Commission (HLC) for consideration of the Draft Environmental Impact Report (DEIR) for the proposed demolition of the existing structures and to determine whether the property is eligible for listing on the City's Historic Resource Inventory (HRI).

The DPR is incorporated as part of the EIR prepared for the project (Attachment 1) and along with an analysis, was included in the HLC staff report (Attachment 8). The EIR concludes that the church is eligible for listing as an historic resource on the City's HRI as a result of the building architecture. The project was reviewed by the HLC at a publicly noticed meeting on December 7, 2023. Following review of the documents and public testimony, the HLC recommended certification of the EIR to the Planning Commission and City Council with the recommendations listed below and did not recommend the property for listing on the City's HRI. The HLC meeting minutes are provided as Attachment 7.

- Developer to create a memorial to the church (using the Architect William Mays' name) utilizing materials from the church in the memorial if the church is not relocated.
- Developer to return to the HLC to present the memorial design.

Mitigation Measure CUL-1 of the EIR already requires the developer to prepare a Historic Resources Mitigation Action Plan, that includes steps like documentation, attempted relocation, and salvage of historic materials. The Commission or Council could give direction to include the HLC's recommended conditions as a part of that Action Plan.

### **DISCUSSION**

Primary issues for the project include consistency with the City's General Plan, and conformance with the City Code for Planned Development Zoning and its subdivision.

#### ***General Plan Conformance***

The existing General Plan designation for the project site is Very Low Density Residential. This designation is intended for residential densities of up to 10 dwelling units per acre (du/ac) and envisioned for single-family residential development in scale and character. Development in this classification maintains a feeling of suburban living with setbacks between structures, parking, large landscaped yards and tree lined streets.

The proposed project provides 8.9 du/ac and is consistent with the following General Plan Policies:



### General Land Use Policies

- 5.3.1-P2: Encourage advance notification and neighborhood meetings to provide an opportunity for early community review of new development proposals.
- 5.3.1-P26: Support a community-initiated planning process so that existing neighborhoods can participate in developing more detailed plans for street, landscape and pedestrian facility improvements.

The applicant conducted public outreach through mailings and two community meetings to involve neighboring property owners in the design of the project. Notices were mailed to property owners within 1,000 feet of the project boundaries and interested parties.

- 5.3.1-P8: Work with property owners to improve or redevelop underutilized and vacant properties.
- 5.3.1-P9: Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

The project would redevelop an underutilized parcel for the construction of 22 for-sale single-family residences and public and private on- and off-site improvements, that include private street, utilities, and landscaping as part of the development.

- 5.3.1-P10: Provide opportunities for increased landscaping and trees in the community, including requirements for new development to provide street trees and a minimum 2:1 on- or off-site replacement for trees removed as part of the proposal to help increase the urban forest and minimize the heat island effect.

The proposed development plan includes landscaping of the site and the project street frontage with a variety of plant and tree species and would replace the trees removed with redevelopment of the property at a minimum 2:1 ratio.

- 5.3.1-P12: Encourage convenient pedestrian connections within new and existing developments.
- 5.3.1-P16: Consolidate curb cuts with new development on arterial roadways to minimize pedestrian/vehicle conflicts at driveway locations and improve traffic flow.

The project includes sidewalks to facilitate pedestrian access and link neighboring land uses. Two existing curb-cuts and a sidewalk along the project frontage would be removed and replaced with a single curb-cut along Pruneridge Avenue, separated sidewalk and landscape strip which would minimize vehicle interface with pedestrians and improve traffic flow.

- P.3.1-P29: Encourage design of new development to be compatible with, and sensitive to, nearby existing and planned development, consistent with other applicable General Plan policies.

The proposed project is the construction of 22 detached single-family homes with front yards along the street frontage and setback between buildings that reflect and would blend in with neighboring single-family homes and one- and two-story commercial development.

### Transition Policies

- 5.5.2-P1: Require that new development incorporate building articulation and architectural features, including front doors, windows, stoops, porches or bay windows along street frontages, to integrate new development into the existing neighborhoods.

The project incorporates offsets along the building planes and a mixture of exterior materials and architectural features to create visual breaks and interest in the design for compatibility with the surrounding neighborhood. Residences along Pruneridge Avenue are designed to integrate into the surrounding neighborhood with the front doors, windows and outdoor patios oriented towards the public domain, Pruneridge Avenue. Pedestrian paths connect the residences facing Pruneridge Avenue to the public sidewalk fronting the site and neighboring properties.

- 5.5.2-P3: Implement site design solutions, such as landscaping and increased building setbacks, to provide buffers between nonresidential and residential uses.
- 5.5.2-P5: Require that new development provide an appropriate transition to surrounding neighborhoods.

The project includes landscaped building setbacks to transition two-story residential development on the site from adjacent commercial properties and abutting one- and two-story detached single-family homes.

### **Zoning Conformance**

Filing of the rezone and vesting subdivision map applications occurred concurrently with the City's efforts to comprehensively update the Zoning Code. The project was deemed complete by the City's Project Clearance Committee (PCC) on June 13, 2023, prior to the adoption of the Zoning Code update. Under the updated Zoning Code, all planning permit applications that are active and that have been determined by the PCC to be complete before the effective date of the Zoning Code, February 8, 2024, shall be processed in compliance with the requirements in effect when the application was deemed complete. Therefore, the current B zoning designation for the site is in effect, as is the project's ability to utilize a rezone to the PD district.

Under existing conditions, the B zoning district assigned to the property is intended to provide for public, quasi-public and public park facilities and does not allow for residential development (per Chapter 18.52 of the City Code); thereby requiring a rezone of the property to PD to utilize flexible development standards to allow the construction of housing at a residential density consistent with the existing General Plan designation for the property.

Per Chapter 18.54 of the City Code, PD zoning districts are intended to allow for creative design solutions and land uses not otherwise allowed in standard zoning districts while maintaining compatibility with the existing community and allowing for greater community ownership. The proposed PD zoning establishes development standards in the density and site design compatible with existing and approved land uses surrounding the project site.

### Affordable Housing

The proposed project is subject to the City's Inclusionary Housing Ordinance and would be required to designate 15 percent of the 22 homes (or 3.3 homes) for qualifying home buyers based on income

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level at or below 100 percent Area Median Income, on average. Per Section 17.40.080.B of the City's Affordable Housing Ordinance, the fractional unit (0.3) requirement may be addressed by providing an additional affordable unit or payment of an in-lieu fee.

### Site Design and Architecture

The proposal is a small lot residential development with individual lots ranging in size from 3,523 square feet (sf) to 4,356 sf, consisting of 22 two-story single-family residences with either an attached or detached garage. A row of detached homes will front Pruneridge Avenue (on the south side of the property) and a second row of detached homes (on the north side of the property) will front the driveway aisle / private street behind that separates and provides vehicle access to the homes and on-site parking.

Three types of floor plans range in size from 1,750 sf to 2,925 sf, inclusive of the garage. Plans 1A and B are four-bedroom and 3.5-bath homes with an attached three-car garage. Plan 2A and B are five-bedroom and four-bath homes with an attached three-car garage. Plan 3 is a four-bedroom and three-bath home with detached two-car garage. Each unit has an outdoor patio and private fenced in yard. Building coverage of the lots range from 37 to 53 percent with the remaining allocated to patio and yard area.

The proposed building architecture would be reflective of a modern interpretation of cottage farmhouse design. The design incorporates a mixture of materials that include stucco and batten board (horizontal and vertical) siding and stone veneer applied to the exterior elevations for texture and visual interest. The use of divided light windows and alternating use of architectural materials will provide a rhythmic cohesion and symmetry in the design. Offsets in the building elevations, recessed windows, and varied roof forms (e.g. shed and gable) will provide breaks in mass and scale of the buildings and roof structures. Roofs will be clad with asphalt shingles. Metal seam roofs will appear atop porches of the homes with extended covered front porches.

### Circulation and Parking

Two existing curb-cuts and the sidewalk along the project frontage would be removed and replaced with a single curb-cut along Pruneridge Avenue for ingress and egress, at the southeast corner of the site, for vehicle access and a required separated sidewalk along the street frontage that includes a landscape strip next to the curb and sidewalk behind. The single driveway would serve the residences aligned along the drive aisle and provide a hammerhead near its terminus for use by emergency vehicles for back-out.

Because the project site is located within a half-mile of a major transit stop, the City cannot require the provision of any parking spaces under Assembly Bill 2097 (2022). Nevertheless, nineteen of the units will include three-car garages, while three units will include two-car garages, for a total of 63 covered spaces. While no designated visitor parking spaces are provided, driveways in front of the garages allow for additional uncovered parking. There are currently no parking restrictions along Pruneridge Avenue fronting the project site.

### Landscaping and Open Space

The project includes a landscape plan for the site that incorporates a mixture of plant species and trees for planting within common areas and yards of the residences. Fifty existing on-site trees will be removed and as a condition of project approval, the project will replace the removed trees at a

minimum of 2:1 with 24-inch box species or equivalent. The proposed project would include the planting of approximately 79, 24- to 36- inch box trees throughout the site and would feature drought tolerant, low water use landscaping in the common areas and yards of the residential units. An additional 21 replacement trees would be provided off-site.

As a condition of project approval, a Home Owners Association will be established and Covenants, Conditions and Restrictions recorded to manage and maintain on- and off-site improvements (including buildings utilities, landscaping and fencing,) in good condition for the life of the project.

### ***Subdivision***

In accordance with Chapter 17.05 of the City Code, the project requires a tentative subdivision map. The application includes 22 for-sale lots and four common parcels (circulation, landscape open-space and bioretention areas). The Subdivision Committee reviewed and deemed the application complete, satisfying code requirements and including conditions of approval contained in Attachment 10.

### **ENVIRONMENTAL REVIEW**

An Environmental Impact Report was prepared for the project by the environmental consultant firm David J. Powers & Associates, in accordance with the California Environmental Quality Act (CEQA). The Draft Environmental Impact Report (DEIR) and Notice of Availability were posted on the City's website at [Environmental Review/CEQA | City of Santa Clara \(santaclaraca.gov\)](https://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa) <<https://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa>> and available for public review for 45-days between November 17, 2023 and January 2, 2024, in accordance with CEQA requirements. No public or agency comments on the DEIR were submitted during the 45-day review period.

The DEIR examined potential environmental impacts associated with project development and identified significant impacts on biological, cultural resources, and geology and soils. Mitigation measures were identified for implementation that would reduce most of the significant project development impacts to less than significant levels. However, significant unavoidable project level and cumulative cultural resources impacts were identified to remain with demolition of the church, which is identified as being eligible for listing as an architecturally significant local structure, to redevelop the site. All other resource areas would experience a less than significant impact with project development

In considering a project, CEQA requires decision-makers to balance economic, legal, social, technological, or other benefits of a proposed project against its unavoidable environmental risks when determining whether to approve the project. To approve a project that has a significant unavoidable environmental impact, decision-makers must make findings, supported by substantial evidence, that the specific economic, legal, social, technological, or other benefits of a proposed project outweigh the unavoidable environmental effects. In accordance with CEQA Guidelines 15124 (b), the DEIR identifies project objectives for evaluation of the proposed project and the development of a range of alternatives for consideration in the findings or statement of overriding considerations.

The EIR determined that the project would have a less-than-significant impact in the resource areas of Energy and Greenhouse Gas Emissions. Part of the basis for these conclusions was that the project would be subject to the City's Reach Code, and one of the requirements of the Reach Code is

that the project construct All-Electric Buildings, with no installation of natural gas infrastructure. Recently, however, a court of appeal opinion, California Restaurant Association v. City of Berkeley, called into question the validity of the All-Electric requirements in the Reach Code. City planning and legal staff are currently evaluating the full nature and extent of this case's impact on the City's Reach Code requirements. If the All-Electric provisions in the Reach Code were ultimately determined to be invalid, then the project developer would potentially be able to install natural gas infrastructure and utilize methane, which is one of the most potent greenhouse gases. For this project, at the very least, this would require the City to re-examine the analysis and conclusions of the Energy and Greenhouse Gas chapters of the EIR. Consequently, the developer has made a commitment not to install any natural gas infrastructure, regardless of the legal status of the City's Reach Code. The description of the project in the PD zoning and the conditions of approval will specifically state that the project does not include any natural gas infrastructure, and that any future proposal to utilize methane would require an amendment to the PD zoning. As a result, the analysis in the EIR remains valid.

### **FISCAL IMPACT**

There is no fiscal impact to the City for processing the requested application other than administrative time and expense typically covered by processing fees paid by the applicant.

### **COORDINATION**

This report has been coordinated with the City Attorney's Office.

### **PUBLIC CONTACT**

On February 8, 2024, the notice of public hearing for this item was mailed to property owners within 1,000 feet of the project side boundaries and interested parties. Newspaper notice of this item was published in The Weekly, a newspaper of general circulation, on February 7, 2024. At the time of this staff report, no comments have been received by the Planning Department in support or opposition to the project.

### **Community Meetings**

Virtual public outreach meetings were conducted by the Property Owner/Applicant on November 16, 2022 and August 30, 2023 to engage the neighborhood community in the planning process. Notices of the meetings were mailed by the Property Owner/Applicant to properties within 1,000 feet of the project site boundaries and posted on the City's website. These meetings provided the community opportunities to review and comment on the proposal and revised changes made to the dwellings, site circulation and landscaping resulting from community input.

### **ALTERNATIVES**

1. Adopt a resolution recommending the City Council certify the Environmental Impact Report and adopt the CEQA Findings, Statement of Overriding Considerations, and the Mitigation Monitoring and Reporting Program for the 1957 Pruneridge Avenue Residential Project.
2. Adopt a resolution recommending the City Council approve a rezoning of the project site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to allow construction of residential development consisting of 22 detached two-story residences with attached and detached garages, landscaping, and on- and off-site improvements, subject to conditions of approval.
3. Adopt a resolution recommending City Council approve a Vesting Tentative Subdivision Map to subdivide the land into 22 individual lots and four common lots as a utility corridor, vehicle

access, landscape open space and bioretention areas to serve the development, subject to conditions of approval.

4. Deny the rezoning from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to allow construction of residential development consisting of 22 detached two-story residences with attached and detached garages, landscaping, and on- and off-site improvements.
5. Deny the Vesting Tentative Subdivision Map to subdivide the land into 22 individual lots and four common lots as a utility corridor, vehicle access, landscape open space and bioretention areas to serve the development.

## **RECOMMENDATION**

Alternatives: 1, 2 and 3

1. Adopt a resolution recommending the City Council certify the Environmental Impact Report and adopt the CEQA Findings, Statement of Overriding Considerations, and Mitigation Monitoring and Reporting Program for the 1957 Pruneridge Avenue Residential Project.
2. Adopt a resolution recommending the City Council approve a rezoning of the project site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to allow construction of residential development consisting of 22 detached two-story residences with attached and detached garages, landscaping, and on- and off-site improvements, subject to conditions of approval.
3. Adopt a resolution recommending the City Council approve a Vesting Tentative Subdivision Map to subdivide the land into 22 individual lots and four common lots as a utility corridor, vehicle access, landscape open space and bioretention areas to serve the development, subject to conditions of approval.

Prepared by: Debby Fernandez, Associate Planner

Reviewed by, Sheldon S. Ah Sing, Development Review Officer

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

## **ATTACHMENTS**

1. Environmental Impact Report
2. Mitigation Monitoring and Reporting Program
3. Findings of Fact and Statement of Overriding Considerations
4. Resolution Recommending Council Certify Environmental Impact Report
5. Resolution Recommending Council Approve the Rezone
6. Resolution Recommending Council Approve the Vesting Tentative Subdivision Map
7. Draft Historical and Landmarks Commission meeting minutes of December 7, 2023
8. Historic and Landmarks Commission Staff Report December 7, 2023.
9. Conditions of Rezoning Approval
10. Conditions of Tentative Subdivision Map Approval
11. Development Plans
12. Vesting Tentative Subdivision Map

## **1957 Pruneridge Avenue Residential Project**

Draft Environmental Impact Report (DEIR)  
and  
Final Environmental Impact Report (FEIR)

[1957 Pruneridge Avenue - 22 Detached Units \(CEQA\) | Environmental Review/CEQA | City of Santa Clara \(santaclaraca.gov\)](https://www.santaclaraca.gov/1957-Pruneridge-Avenue-22-Detached-Units-CEQA-Environmental-Review-CEQA-City-of-Santa-Clara)

These Documents are available for review in the Community Development/Planning Division

**MITIGATION MONITORING AND REPORTING PROGRAM**

**1957 Pruneridge Residential Project**

**CITY OF SANTA CLARA**

**January 2024**

**P R E F A C E**



Section 21081 of the California Environmental Quality Act (CEQA) requires a Lead Agency to adopt a Mitigation Monitoring or Reporting Program whenever it approves a project for which measures have been required to mitigate or avoid significant effects on the environment. The purpose of the monitoring or reporting program is to ensure compliance with the mitigation measures during project implementation.

On \_\_\_\_\_, the City Council approved the Environmental Impact Report (EIR) for the 1957 Pruneridge Residential Project. The Initial Study/Mitigated Negative Declaration concluded that the implementation of the project could result in significant effects on the environment and mitigation measures were incorporated into the proposed project or are required as a condition of project approval. This Mitigation Monitoring or Reporting Program addresses those measures in terms of how and when they will be implemented.

This document does *not* discuss those subjects for which the EIR concluded that mitigation measures would not be required to reduce significant impacts.

| MITIGATION MONITORING OR REPORTING PROGRAM<br>1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT  |  |   |  |  |
|---|--|---|--|--|
| Impacts   | Mitigation   | Timeframe for Implementation  | Responsibility for Implementation              | Oversight of Implementation                              |
| <b>Air Quality</b>  |  |   |  |  |
| <p><b>IMPACT AIR-3.1:</b><br/>The proposed project would exceed the Cancer Risk Threshold of 10 cases per million during construction of the project.</p> | <p><b>MM-AIR 3.1-1:</b> All construction equipment larger than 25 horsepower used at the site for more than two continuous days or 20 hours total shall meet U.S. EPA Tier 4 emission standards for PM (PM<sub>10</sub> and PM<sub>2.5</sub>).</p> <p>If Tier 4 equipment is not available, alternatively the project will use equipment that meets U.S. EPA emission standards for Tier 3 engines and include particulate matter emissions control equivalent to CARB Level 3 verifiable diesel emission control devices that altogether achieve a 60 percent reduction in particulate matter exhaust in comparison to uncontrolled equipment; alternatively (or in combination).</p> | During Construction   | Project Contractor                             | City of Santa Clara Building Department                  |
|   | <p>Alternatively, the applicant may develop a construction operations plan demonstrating that the construction equipment used on-site would achieve a reduction in construction diesel particulate matter emissions by 60 percent or greater. Elements of the plan could include a combination of the following measures:</p> <ul style="list-style-type: none"> <li>• Implementation Tier 4 engines or alternatively fueled equipment,</li> <li>• Installation of electric power lines during early construction phases to avoid use of diesel generators and compressors,</li> <li>• Use of electrically-powered equipment,</li> </ul>   | <p>Prior to issuance of any demolition, grading, and/or building permits (whichever occurs earliest).</p> | Project Applicant and air quality professional | Director of Community Development or Director's Designee |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b> | <b>Mitigation</b>   | <b>Timeframe for Implementation</b> | <b>Responsibility for Implementation</b> | <b>Oversight of Implementation</b> |
|----------------|---|-------------------------------------|--|------------------------------------|
|                | <ul style="list-style-type: none"> <li>• Forklifts and aerial lifts used for exterior and interior building construction shall be electric,</li> <li>• Change in construction build-out plans to lengthen phases, and</li> <li>• Implementation of different building techniques that result in less diesel equipment usage.</li> <li>• Such a construction operations plan would be subject to review by an air quality expert and approved by the City prior to construction.</li> </ul> <p>The project applicant shall submit a construction operations plan prepared by an air quality professional that outlines how the construction contractor will achieve the measures outlined above. The plan shall be submitted to the Director of Community Development for review and approval prior to issuance of any demolition, grading, and/or building permits (whichever occurs earliest).</p> |                                     |  |                                    |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| Impacts  | Mitigation   | Timeframe for Implementation   | Responsibility for Implementation                    | Oversight of Implementation   |
|--|--|--|--|---|
| <b>Biology</b>   |  |  |  |   |
| <p><b>Impact BIO-1.1:</b><br/>Construction activities could disrupt nesting raptors, or other birds, resulting in abandonment of nests and loss of fertile eggs.</p> | <p><b>MM-BIO 1.1-1:</b> Construction shall be scheduled to avoid the nesting season to the extent feasible. The nesting season for most birds, including most raptors, in the San Francisco Bay Area extends from February 1st through August 31st.</p> <p>If it is not possible to schedule construction and tree removal between September 1 and January 31, then pre-construction surveys for nesting birds shall be completed by a qualified ornithologist to ensure that no nests are disturbed during project implementation. This survey shall be completed no more than 14 days prior to the initiation of grading, tree removal, or other construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August).</p> <p>During this survey, the ornithologist shall inspect trees and other possible nesting habitats within and immediately adjacent to the construction area for nests. If an active nest is found sufficiently close to work areas to be disturbed by construction, the qualified ornithologist, in consultation with California Department of Fish and Wildlife (CDFW), shall determine the extent of a construction-free buffer zone to be established around the nest to ensure that raptor or migratory bird nests shall not be disturbed during project construction.</p> | <p>No more than 14 days prior to the initiation of grading, tree removal, or other demolition or construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August)</p> | <p>Project applicant and Qualified ornithologist</p> | <p>Director of Community Development or the Director's designee</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b>   | <b>Mitigation</b>  | <b>Timeframe for Implementation</b>            | <b>Responsibility for Implementation</b>  | <b>Oversight of Implementation</b>       |
|--|--|--|---|--|
| <p><b>Impact BIO-5.1:</b> The proposed project would not comply with the City’s tree protection policy.</p>  | <p><b>MM-BIO-5.1-1:</b> The project applicant will coordinate with the supervising planner to identify locations off-site for replacement trees in addition to the trees proposed as part of the landscaping on-site in accordance with General Plan Policy 5.3.1- P10. This will require the planting of 21, 24-inch box trees off-site to fully offset the removal of trees on-site.</p> <p>The project applicant will provide the supervising planner with appropriate documentation to confirm that all on- and off-site replacement trees have been planted prior to issuance of occupancy permits.</p>   | <p>Prior to issuance of occupancy permits.</p> | <p>The project applicant will provide the supervising planner with appropriate documentation to confirm that all on- and off-site replacement trees have been planted</p> | <p>Supervising Planner</p>               |
| <b>Cultural Resources</b>  |  |  |   |  |
| <p><b>Impact CUL-1.1:</b> The proposed project would require the demolition of the church building on-site which would result in a substantial adverse change to a locally eligible historical resource pursuant to CEQA Guidelines Section 15064.5.</p> | <p><b>MM CUL-1.1:</b> Prior to issuance of any grading, demolition, or building permits the project applicant shall prepare and submit, for review and approval by the Director of Community Development or the Director’s designee, a Historic Resources Mitigation Action Plan (Action Plan) demonstrating that the following steps, actions, and documents have been completed for the historic structure in accordance with the Action Plan timeline. The Action Plan shall include roles and responsibilities between the project applicant, City staff, and outside individuals, groups, firms, and consultants.</p> <p><b>Documentation (HABS):</b> The structure and associated features on the project site shall be documented in accordance with the guidelines established for the Level III Historic American</p> | <p>Prior to grading of the project site</p>    | <p>A qualified archaeological consultant and project applicant</p>  | <p>Director of Community Development</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b> | <b>Mitigation</b>  | <b>Timeframe for Implementation</b>      | <b>Responsibility for Implementation</b> | <b>Oversight of Implementation</b>                 |
|----------------|--|--|--|--|
|                | <p>Building Survey (HABS) consistent with the Secretary of the Interior’s Standards for Architectural and Engineering Documentation and shall consist of the following components:</p> <p><b>Drawings</b> – Prepare sketch floor plans of the buildings and site plan.</p> <p><b>Photographs</b> – 35 mm digital photographs meeting the digital photography specifications.</p> <p><b>Written Data</b> – a historical report with the history of the property, property description and historical significance.</p> <p>A qualified architectural historian meeting the Secretary of the Interior’s Professional Qualification Standards shall oversee the preparation of the sketch plans, photographs, research and written data.</p> <p>The documentation shall be submitted to the Director of Community Development or the Director’s designee and the City’s Historic Preservation Officer for review and approval. After approval, the required documentation shall be filed with the Northwest Information Center at Sonoma State University, the repository for the California Historical Resources Information System.</p> <p><b>MM CUL-1.2:</b> Documentation (Digital Scans): Prior to issuance of any grading, demolition, or building permits, the structure and associated features on the project site shall be</p> | <p>Prior to issuance of any grading,</p> | <p>Project applicant,</p>                | <p>City’s Director of Community Development or</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b> | <b>Mitigation</b>   | <b>Timeframe for Implementation</b>   | <b>Responsibility for Implementation</b>  | <b>Oversight of Implementation</b>   |
|----------------|---|---|---|--|
|                | <p>documented by a qualified architectural historian through a series of digital scans and video production. The architectural historian shall meet the Secretary of the Interior’s Professional Qualification Standards. A plan of the proposed procedures for the digital scans shall be submitted to the City’s Director of Community Development or the Director’s designee prior to commencement of preparing the digital scans for review and approval. The digital scans must be submitted to the City and filed with the Northwest Information Center at Sonoma State University, the repository for the California Historical Resources Information System prior to the issuance of occupancy permits.</p> <p><b>MM CUL-1.3:</b> Relocation by the Project applicant and/or a Third Party: Prior to issuance of any demolition permits, the project applicant, or an interested third party, shall be required to advertise the availability of the church for relocation for a period of no less than 60 days. The advertisements must include notification in a newspaper of general circulation, on a website, and notice placed on the project site. The project applicant shall provide evidence (i.e., receipts, date and time stamped photographs, etc.) to the City’s Director of Community Development or the Director’s designee that this condition has been met prior to the issuance of demolition permits.</p> <p>If the project applicant or third party agrees to relocate the structure, the following measures must be followed:</p> | <p>demolition, or building permits</p> <p>Prior to issuance of any demolition permits</p> | <p>architectural historian</p> <p>The project applicant, or an interested third party</p> | <p>the Director’s designee</p> <p>City’s Director of Community Development or the Director’s designee that this condition has been met prior to the issuance of demolition permits</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b> | <b>Mitigation</b>   | <b>Timeframe for Implementation</b>  | <b>Responsibility for Implementation</b>  | <b>Oversight of Implementation</b>   |
|----------------|---|--|---|--|
|                | <p>The Director of Community Development or Director’s designee must determine that the receiver site is feasible for the building based on the existing setting.</p> <p>Prior to relocation, the project applicant or third party shall hire a historic preservation architect and a structural engineer to undertake an existing condition study that establishes the baseline condition of the church prior to relocation. The documentation shall take the form of written descriptions and visual illustrations, including those character-defining physical features of the resource that convey its historic significance and must be protected and preserved. The documentation shall be reviewed and approved by the City’s Director of Community Development or the Director’s designee prior to the structure being moved.</p> <p>To protect the building during relocation, the project applicant shall engage a building mover who has experience moving similar historic structures. A structural engineer shall also be engaged to determine how the building needs to be reinforced/stabilized before the move.</p> <p>Once moved, the building shall be repaired and rehabilitated, as needed, by the project applicant or third party in conformance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. In particular, the character-defining</p> | <p>Upon completion of all field work, but before completion of the Findings Report</p> <p>During relocation</p> <p>After relocation of the structure</p> | <p>Project applicant</p> <p>The project applicant</p> <p>Project applicant or third party</p> | <p>Director of Community Development</p> <p>Structural Engineer</p> <p>Director of Community Development</p> |



**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| Impacts | Mitigation  | Timeframe for Implementation   | Responsibility for Implementation                     | Oversight of Implementation   |
|---------|---|--|---|---|
|         | <p>features shall be retained in a manner that preserves the integrity of the building for the long-term preservation and reuse.</p> <p>Upon completion of the repairs, a qualified architectural historian shall document and confirm that work to the structure was completed in conformance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties and character-defining features were preserved. The project applicant shall submit a memo report supplement to the Action Plan to the City’s Director of Community Development or the Director’s designee documenting the relocation, repair, and reuse prior to issuance of any occupancy permits for the proposed project.</p> <p><b>MM CUL-1.4: Salvage:</b> If the project applicant and/or a third party cannot agree to relocate the structure within the specified time, the structure shall be made available for salvage to companies facilitating the reuse of historic building materials prior to the issuance of any demolition permits. The time frame available for salvage shall be established by the City’s Director of Community Development or the Director’s designee in accordance with the Action Plan. The project applicant must provide evidence to the City’s Director of Community Development or the Director’s designee and Director of Community Development, or Director’s designee, that this</p> | <p>After Completion of repairs</p> <p>Prior to the issuance of any demolition permits.</p> | <p>The project applicant</p> <p>Project applicant</p> | <p>City’s Director of Community Development or the Director’s designee</p> <p>City’s Director of Community Development or the Director’s designee and Director of Community Development, or Director’s designee</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| Impacts   | Mitigation  | Timeframe for Implementation   | Responsibility for Implementation   | Oversight of Implementation   |
|---|---|--|---|---|
|   | condition has been met prior to the issuance of any demolition permits.   |  |   |   |
| <p><b>Impact CUL-2.1:</b><br/>Construction of the proposed project would result in excavation in an area which has moderate sensitivity for archeological resources, and could disturb unrecorded archaeological resources.</p> | <p><b>MM CUL-2.1:</b> Prior to commencement of any ground-disturbing activity on-site, the project applicant shall retain a registered professional archaeologist to be present during all ground-disturbing activity associated with the project. For the purposes of these conditions, ground-disturbing activities shall be defined as any ground disturbance, including but not limited to, excavation, grading, grubbing, scarring, drilling, scraping, blading, trenching, vegetation removal, or demolition of the existing structure or site improvements within the development area shown on the project plans. A registered professional archaeologist shall be given five days’ written notice prior to the start of any ground-disturbing activity. The project applicant shall document receipt of notification in writing.</p> <p><b>MM CUL-2.2:</b> In the event that buried, or previously unrecognized archaeological deposits or materials of any kind are inadvertently exposed during any construction activity, work within 50 feet of the find shall cease until a qualified archaeologist can assess the find and provide recommendations for further treatment, if warranted. The archaeologist, in consultation with the project applicant, shall make the necessary plans for treatment of the find(s) if the resource is eligible for listing on the National Register of Historic Places (NRHP) or the California Register of Historical Resources</p> | <p>In the event that human remains are discovered during excavation and/or grading of the site</p> <p>In the event that buried, or previously unrecognized archaeological deposits or materials of any kind are inadvertently exposed during</p> | <p>Project Applicant and registered professional archaeologist</p> <p>Registered professional archaeologist and project applicant</p> | <p>Santa Clara County Coroner, Native American Heritage Commission (NAHC)</p> <p>Santa Clara County Coroner, Native American Heritage Commission (NAHC)</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b> | <b>Mitigation</b>   | <b>Timeframe for Implementation</b> | <b>Responsibility for Implementation</b> | <b>Oversight of Implementation</b> |
|----------------|---|-------------------------------------|--|------------------------------------|
|                | <p>(CRHR). Construction within a radius determined by the archaeologist shall not recommence until the assessment is complete.</p> <p>Any treatment other than preservation in place must be approved by the City of Santa Clara. Treatment for most resources would consist of (but would not be limited to) sample excavation, artifact collection, site documentation, and historical research, with the aim to target the recovery of important scientific data contained in resource.</p> <p>The culturally affiliated tribe(s) who consulted on the project, or if no consultation occurred the tribe identified by the Native American Heritage Commission (NAHC), shall determine the disposition of any Tribal Cultural Resources (TCR) artifacts discovered during on-site excavation or construction activities or TCR artifacts resulting from execution of a treatment plan. The disposition of TCR artifacts shall include, but not be limited to, reburying in close proximity of the finds without scientific study, allowing scientific study before reburying the materials either near the origin of the find or in another protected place, or temporary curation at a facility at an institution that meets the U.S. Secretary of the Interior’s criteria for curation (36 CFR 79) prior to reburial. Disposition of any TCR artifacts shall be subject to approval by the culturally affiliated tribe. All curation fees and related expenses shall be paid by the project applicant.</p> | any construction activity           |  |                                    |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| Impacts  | Mitigation  | Timeframe for Implementation   | Responsibility for Implementation | Oversight of Implementation   |
|--|---|--|-----------------------------------|---|
|  | <p>To ensure adequate space and protection are provided for reburial of any TCRs discovered on the project site, the Permittee shall designate a cultural easement area. The easement area shall be in a location that will not be subject to future disturbance and that will not require the relocation of buildings or other physical improvements on the site.</p> <p>The registered professional archaeologist shall file State of California Department of Parks and Recreation (DPR) Series 523 forms for the cultural easement/TCR reburial location (if used) with the California Historical Resources Information System (CHRIS) Center in accordance with the guidelines established by the California Office of Historic Preservation. The DPR Series 523 forms shall establish a permanent record of the cultural easement location and any TCRs discovered on the project site for future site identification and protection. The registered professional archeologist shall also file a Sacred Lands File record with the NAHC on behalf of the culturally affiliated tribe.</p> |  |                                   |   |
| <p><b>Impact CUL-3.1:</b> The proposed project could result in the disturbance of human remains during excavation of the project site.</p> | <p><b>MM CUL-3.1:</b> In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American</p>  | <p>In the event that human remains are discovered during excavation and/or grading of the site</p> | <p>Project applicant</p>          | <p>Santa Clara County Coroner and the Native American Heritage Commission</p> |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b>   | <b>Mitigation</b>   | <b>Timeframe for Implementation</b>                        | <b>Responsibility for Implementation</b> | <b>Oversight of Implementation</b>      |
|--|---|--|--|---|
|  | Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which will be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.  |  |  |   |
| <p><b>Impact CUL - 4.1:</b><br/>The proposed project would result in the demolition of the church building on-site which would cause a substantial adverse cumulative change in a historical resource pursuant to CEQA Guidelines Section 15064.5.</p> | The proposed project would implement Mitigation Measures MM CUL-1.1 through MM CUL-1.5 which would reduce impacts to the historical resources on-site.  |  |  |   |
| <b>Geology and Soils</b>   |   |  |  |   |
| <p><b>Impact GEO-1.1:</b><br/>Buildings constructed on-site could experience settlement in the event of strong ground shaking as a result of an earthquake</p>   | <p><b>MM GEO 1-1:</b> Consistent with General Plan Policy 5.10.5-P6 and General Plan Policy 5.10.5-P7, the project would be built using standard engineering and seismic safety design techniques. Building design and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which will be included in a geotechnical report to the City. The report shall be</p> | As part of the building permit review and issuance process | Project applicant and contractors        | City of Santa Clara's Building Division |

**MITIGATION MONITORING OR REPORTING PROGRAM  
1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT**

| <b>Impacts</b>            | <b>Mitigation</b>   | <b>Timeframe for Implementation</b> | <b>Responsibility for Implementation</b> | <b>Oversight of Implementation</b> |
|---------------------------|---|-------------------------------------|--|------------------------------------|
| or other geologic events. | reviewed and approved by the City of Santa Clara’s Building Division as part of the building permit review and issuance process. The building shall meet the requirements of applicable Building and Fire Codes, including the current California Building Code, as adopted or updated by the City. The project shall be designed to withstand potential geologic hazards identified on the site, including liquefaction and shrink swell capacity of soils, and the project shall be designed to reduce the risk to life or property in compliance with the Building Code. |                                     |  |                                    |

In addition to mitigation measures listed above, there are also other conditions of approval the project shall implement, including the following:

| <b>CONDITIONS OF APPROVAL</b>   |
|---|
| <b>1957 PRUNERIDGE RESIDENTIAL PROJECT</b>  |
| <b>Construction Dust Emissions Best Management Practices</b>  |
| <ul style="list-style-type: none"> <li>• During any construction period ground disturbance, the applicant shall ensure that the project contractor implements measures to control dust and exhaust. Implementation of the measures recommended by BAAQMD and listed below would reduce the air quality impacts associated with grading and new construction to a less than significant level. Additional measures are identified to reduce construction equipment exhaust emissions. The contractor would implement the following best management practices (BMPs) that are required of all projects:               <ul style="list-style-type: none"> <li>○ All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) would be watered two times per day.</li> <li>○ All haul trucks transporting soil, sand, or other loose material off-site would be covered.</li> <li>○ All visible mud or dirt track-out onto adjacent public roads would be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</li> <li>○ All vehicle speeds on unpaved roads would be limited to 15 miles per hour (mph).</li> <li>○ All roadways, driveways, and sidewalks to be paved would be completed as soon as possible. Building pads would be laid as soon as possible after grading unless seeding or soil binders are used.</li> <li>○ Idling times would be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage would be provided for construction workers at all access points.</li> <li>○ All construction equipment would be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment would be checked by a certified mechanic and determined to be running in proper condition prior to operation.</li> <li>○ Post a publicly visible sign with the telephone number project construction superintendent regarding dust complaints. This person would respond and take corrective action within 48 hours. The Air District’s phone number would be visible to ensure compliance with applicable regulations.</li> </ul> </li> </ul> |
| <b>Paleontological Resources</b>  |
| <ul style="list-style-type: none"> <li>• If vertebrate fossils are discovered during construction, all work on the site shall stop immediately, the Director of Community Development or the Director’s designee shall be notified, and a qualified professional paleontologist shall assess the nature and importance of the find and recommend appropriate treatment. Treatment may include, but is not limited to, preparation and recovery of fossil materials so that they can be housed in an appropriate museum or university collection and may also include preparation of a report for publication describing the</li> </ul>  |

**CONDITIONS OF APPROVAL**  
**1957 PRUNERIDGE RESIDENTIAL PROJECT**

finds. The project applicant shall be responsible for implementing the recommendations of the qualified paleontologist. A report of all findings shall be submitted to the Director of Community Development or the Director's designee.

**Traffic Parking Controls**

- A 25-foot long red painted curb will be painted on both sides of the site access driveway along Pruneridge Avenue to prohibit street parking and allow for adequate site distance for cars exiting the site.

**Lead and Asbestos**

- In conformance with state and local laws, a visual inspection/pre-demolition survey, and possible sampling, shall be conducted prior to the demolition of on-site building(s) to determine the presence of ACSMs and/or LBP.
- During demolition activities, all building materials containing LBP shall be removed in accordance with Cal/OSHA Lead in Title 8, California Code of Regulations (CCR), Section 1532.1, including employee training, employee air monitoring, and dust control. Any debris or soil containing LBP or coatings shall be disposed of at landfills that meet acceptance criteria for the type of lead being disposed.
- All potentially friable ACMs shall be removed in accordance with NESHAP guidelines prior to demolition or renovation activities that may disturb ACMs. All demolition activities shall be undertaken in accordance with Cal/OSHA standards contained in Title 8, CCR, Section 1529, to protect workers from asbestos exposure.
- A registered asbestos abatement contractor shall be retained to remove and dispose of ACMs identified in the asbestos survey performed for the site in accordance with the standards stated above.
- Materials containing more than one-percent asbestos are also subject to BAAQMD regulations. Removal of materials containing more than one-percent asbestos shall be completed in accordance with BAAQMD requirements and notifications.

**Construction Water Quality Best Management Practices**

- Burlap bags filled with drain rock shall be installed around storm drains to route sediment and other debris away from the drains;
- Earthmoving or other dust-producing activities would be suspended during period of high winds;
- All exposed or disturbed soil surfaces would be watered at least twice daily to control dust as necessary;
- Stockpiles of soil or other materials that can be blown by the wind would be watered or covered;
- All trucks hauling soil, sand, and other loose materials shall be covered;
- All paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites would be swept daily (with water sweepers); and



**CONDITIONS OF APPROVAL**  
**1957 PRUNERIDGE RESIDENTIAL PROJECT**

- Vegetation in disturbed areas would be replanted as quickly as possible.

**Construction Noise Control Plan**

- Develop a construction noise control plan, including, but not limited to, the following available controls:
  - Ensure that excavating, grading and filling activities, and other construction activities (including the loading and unloading of materials and truck movements) within 300 feet of residentially zoned property, including hotel properties, are limited to the hours of 7:00 a.m. to 6:00 p.m. on weekdays and between the hours of 9:00 a.m. and 6:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays.
  - Construct temporary noise barriers, where feasible, to screen stationary noise-generating equipment. Temporary noise barrier fences would provide a 5 dBA noise reduction if the noise barrier interrupts the line-of-sight between the noise source and receptor and if the barrier is constructed in a manner that eliminates any cracks or gaps.
  - Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.
  - Unnecessary idling of internal combustion engines should be strictly prohibited.
  - Locate stationary noise-generating equipment, such as air compressors or portable power generators, as far as possible from sensitive receptors as feasible. If they must be located near receptors, adequate muffling (with enclosures where feasible and appropriate) shall be used to reduce noise levels at the adjacent sensitive receptors. Any enclosure openings or venting shall face away from sensitive receptors.
  - Utilize "quiet" air compressors and other stationary noise sources where technology exists.
  - Construction staging areas shall be established at locations that will create the greatest distance between the construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
  - Locate material stockpiles, as well as maintenance/equipment staging and parking areas, as far as feasible from residential receptors.
  - Route construction-related traffic along major roadways and as far as feasible from sensitive receptors.
  - Control noise from construction workers' radios to a point where they are not audible at existing residences bordering the project site.
  - The contractor shall prepare a detailed construction schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with adjacent residential land uses so that construction activities can be scheduled to minimize noise disturbance.

**CONDITIONS OF APPROVAL**  
**1957 PRUNERIDGE RESIDENTIAL PROJECT**

- Designate a "disturbance coordinator" who would be responsible for responding to any complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., bad muffler, etc.) and will require that reasonable measures be implemented to correct the problem. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include in it the notice sent to neighbors regarding the construction schedule.

**Interior Noise Building Design Measures**

- The following noise insulation features shall be incorporated into the proposed project to reduce interior noise levels to 45 dBA CNEL or less at residential interiors:
  - Provide a suitable form of forced-air mechanical ventilation, as determined by the local building official, so that windows can be kept closed at the occupant's discretion to control interior noise and achieve the interior noise standards. Preliminary calculations indicate that worst-case units along Pruneridge Avenue would require windows and doors having a minimum rating of 26 STC in order to achieve the interior noise threshold of 45 dBA CNEL.
  - A qualified acoustical specialist shall prepare a detailed analysis of interior residential noise levels resulting from all exterior sources during the design phase pursuant to requirements set forth in the Santa Clara General Plan. The study will review the final site plan, building elevations, and floor plans prior to construction and recommend building treatments to reduce residential interior noise levels to 45 dBA CNEL or lower. Treatments would include, but are not limited to, sound-rated windows and doors, sound-rated wall and window constructions, acoustical caulking, protected ventilation openings, etc. The specific determination of what noise insulation treatments are necessary shall be conducted on a unit-by-unit basis during final design of the project. Results of the analysis, including the description of the necessary noise control treatments, shall be submitted to the City, along with the building plans and approved design, prior to issuance of a building permit.

Sources: City of Santa Clara. *Draft EIR for the 1957 Pruneridge Residential Project*. September 2023.

# CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS AND STATEMENT OF OVERRIDING CONSIDERATIONS FOR THE 1957 PRUNERIDGE AVEUNE RESIDENTIAL PROJECT

## I. INTRODUCTION

The City of Santa Clara (City), as the Lead Agency under California Environmental Quality Act (CEQA), Public Resources Code Section 21000 *et seq.*, has prepared the Final Environmental Impact Report for the 1957 Pruneridge Avenue Residential Project (State Clearinghouse No. 2023100200) (Final EIR or EIR<sup>1</sup>). The Final EIR is a project EIR pursuant to Section 15161 of the State Guidelines for implementation of the CEQA (CEQA Guidelines).<sup>1</sup> The Final EIR consists of the September 2023 Draft Environmental Impact Report (Draft EIR) and the January 2023 Final Environmental Impact Report. The EIR addresses the environmental effects associated with implementation of the project. The EIR is intended to serve as an informational document for public agency decision-makers and the general public regarding the objectives and components of the project. The EIR addresses the potential significant adverse environmental impacts associated with the project and identified feasible mitigation measures and alternatives that may be adopted to reduce or eliminate those impacts.

In determining to approve the 1957 Pruneridge Avenue Residential Project, which is described in more detail in Section II, the City Council certifies that the EIR reflects the City's own independent judgment and analysis under Public Resources Code Section 21082.1(a)-(c) and CEQA Guidelines Section 15090(a)(3). The City Council further makes and adopts the following findings of fact and adopts and incorporates into the project the mitigation measures identified in the EIR, all based on substantial evidence in the whole record of this proceeding (“administrative record”). Pursuant to CEQA Guidelines Section 15090(a), the EIR was presented to the City Council of the City of Santa Clara, and the City Council reviewed and considered the information contained in the EIR prior to making the findings provided in Sections IV to VIII, below. The conclusions presented in these findings are based upon the EIR and other evidence in the administrative record. The documents that constitute the administrative record on which the City Council's findings are based are located at the Planning Division office at City Hall, 1500 Warburton Avenue, Santa Clara, California. This information is presented in compliance with CEQA Guidelines Section 15091(e).

## II. PROJECT DESCRIPTION

### Project Location

The project site is located at 1957 Pruneridge Avenue in the City of Santa Clara (APN 303-03-025). The site has a General Plan Designation of Very Low Density Residential and is zoned Public, Quasi-Public, and Public Park or Recreation (B).

The 2.47-acre site is occupied by two existing buildings which made up the St. Marks Episcopal Church. One building is a church which features stained glass windows around the entire structure, a gabled tile roof, and stylized arches on each end of the building. The other structure is a one- to two-

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<sup>1</sup> The State CEQA Guidelines are found in California Code of Regulations, Title 14, Section 15000 *et seq.*

story office and school building. The one-story portion of the building is a wooden sided and stucco building with stained glass windows on the east side of the structure and a shingle roof. The two-story portion of the building is a stucco sided building with a balcony facing to the south and tiled roof. Adjacent to this building is a small playground with a storage shed.

There is a small courtyard with landscaping connecting the two buildings and parking is provided in a surface lot surrounding the buildings on the west, east, and north sides. The project site contains 50 trees and features other low-lying landscaping throughout the project site.

The site is currently accessible from two driveways on Pruneridge Avenue, one on the west end of the site and one on the east end.

The buildings are vacant and do not currently have visitors or use city services.

### **Project Overview**

The proposed project would remove all structures and landscaping from the project site and construct 22 two-story residential units at a density of 8.9 dwelling units per acre (du/ac). Each unit would include a two to three car garage. Additionally, the project site would include a landscaped paseo in the middle of the site that would provide access to the sidewalk on Pruneridge Avenue. Access to the project site would be provided by an ingress/egress driveway at the east end of the project site. The driveway would connect to a drive aisle which separates the units on the north and south sides of the project site.

Three of the residential units would be affordable units compliant with the City of Santa Clara Affordable Housing program.

The proposed project would include the planting of approximately 79, 24- to 36- inch box trees throughout the site and would feature drought tolerant, low water use landscaping in the common areas and yards of the residential units.

The proposed project would include a rezoning of the project site from Public, Quasi Public, or Recreation (B) to Planned Development (PD). The stained-glass windows of the church complex would be removed and protected for future use by the congregation that previously occupied the church.

### *Construction Details*

The estimated construction period for the proposed project is seven months (approximately 157 construction days). The maximum depth of excavation for the proposed project would be approximately 7.5 feet and the project would require approximately 6,000 cubic yards of cut and 250 cubic yards of fill.

### *Off-site Improvements*

The project proposes the following off-site improvements and utility connections:

- Replace existing curb, gutter and sidewalk along project frontage (in kind).
- Two connections of new water main to existing water main in Pruneridge Avenue.
- Remove and replace existing fire hydrant on project frontage.
- Connect to existing 12-inch sanitary sewer main in Pruneridge Avenue and install new manhole.
- Connect to existing 24-inch storm drain main in Pruneridge Avenue and install new manhole.
- Remove existing utility poles and underground overhead wires along project frontage.

### **Project Objectives**

Pursuant to CEQA Guidelines Section 15124, the EIR must identify the objectives sought by the proposed development project. The applicant’s objectives for the project are as follows:

1. Provide a project that meets the strategies and goals of the City of Santa Clara General Plan. Specifically, providing a low-density development, such as single family detached residential housing units, on the approximately 2.5-acre underutilized infill site at a maximum density of 10 units per acre.
2. Provide three new single family detached affordable residential housing units in accordance with the City of Santa Clara’s Affordable Housing Program.
3. Support the principles of “Smart Growth “by providing new housing at key transportation nodes.
4. Create a high quality, well-designed, low-density development that is compatible with the existing neighborhood and community of predominantly single-family houses and promotes the safety and well-being of its residents and the surrounding community.
5. Create a development resulting in a net reduction in impervious surface area and collect and treat all stormwater runoff on-site.

### **III. ENVIRONMENTAL REVIEW PROCESS**

In accordance with Section 15082 of the CEQA Guidelines, the City prepared a Notice of Preparation (“NOP”) of an EIR for the 1957 Pruneridge Avenue Residential Project. The NOP was sent to state and local responsible and trustee agencies and federal agencies on May 8, 2023. The 30-day comment period concluded on June 7, 2023. The NOP provided a description of the project and identified probable environmental effects that could result from implementation of the project. The City also held a public scoping meeting on May 25, 2023, during the NOP comment period to discuss the project and solicit public input as to the scope and content of the EIR. The meeting was held over Zoom to allow for more public engagement.

The City prepared the Draft EIR for the 1957 Pruneridge Avenue Residential Project in compliance with the CEQA Guidelines. The Draft EIR was circulated for public review and comment for 45 days from November 17, 2023 through January 2, 2024. During this period, the Draft EIR was available to the public and local, state, and federal agencies for review and comment. Notice of the Availability and completion of the Draft EIR was sent directly to every agency, person, and organization that commented on the NOP, as well as to the Office of Planning and Research. Written comments from

public agencies, organizations, and individuals concerning the environmental review contained in the Draft EIR were sent to the City during the 45-day public review period on the Draft EIR.

Following the conclusion of the 45-day public review period on the Draft EIR, the City prepared a Final EIR in conformance with CEQA Guidelines Section 15132. The Final EIR includes responses to comments received by the City on the Draft EIR and any necessary text revisions to the Draft EIR. These revisions do not require recirculation of the EIR because none of the revisions constitute “significant new information” pursuant to CEQA Guidelines Section 15088.5 in as much as these changes would not result in a new environmental impact and would not cause a substantial increase in the severity of an environmental impact; and the project sponsor would adopt the mitigation measures. The response to comments document was circulated on January 9, 2024.

On February 21, 2024, at a duly noticed public hearing, the Planning Commission recommended that the City Council certify the Final EIR.

#### **IV. FINDINGS**

These findings summarize the environmental determinations of the EIR about project impacts before and after mitigation, and do not attempt to repeat the full analysis of each environmental impact contained in the EIR. Instead, these findings provide a summary description of and basis for each impact in the EIR, describe the applicable mitigation measures identified in the EIR, and state the City’s findings and rationale on the significance of each impact with the adopted mitigation measures. A full explanation of these environmental findings and conclusions can be found in the EIR, and these findings hereby incorporate by reference the discussion and analysis in the EIR, supporting the EIR’s determinations regarding mitigation measures and the project’s impacts.

In adopting the mitigation measures outlined below, the City intends to adopt each of the mitigation measures identified in the Final EIR. Accordingly, in the event a mitigation measure identified in the Final EIR has been inadvertently omitted from these findings, such mitigation measure is hereby referred to, adopted, and incorporated in the findings below by reference. In addition, in the event the language of a mitigation measure set forth below fails to accurately reflect the mitigation measure in the Final EIR due to a clerical error, the language of the mitigation measure as set forth in the Final EIR shall control unless the language of the mitigation measure has been specifically and expressly modified by these findings.

Sections V through VII, below, provide brief descriptions of the impacts the Final EIR identified as less than significant with adopted mitigation. Impacts associated with the demolition of the potentially historic church in the Final EIR were found to be Significant and Unavoidable. These descriptions also reproduce the full text of the mitigation measures identified in the Final EIR for each significant impact.

#### **V. SIGNIFICANT ADVERSE IMPACTS IDENTIFIED IN THE FINAL EIR THAT ARE REDUCED TO A LESS THAN SIGNIFICANT LEVEL BY MITIGATION MEASURES ADOPTED AND INCORPORATED INTO THE PROJECT**

The City Council, having reviewed and considered the information contained in the EIR, hereby finds, pursuant to Public Resources Code Section 21081(a)(1) and CEQA Guidelines Section 15091(a)(1), that the following potentially significant impacts will be reduced below a level of significance with implementation of the identified mitigation measures. These findings are based on Section 3.0 of the Draft EIR, the discussion and analysis of which are hereby incorporated in full by this reference.

### **Biological Resources**

**Impact BIO-1.1:** Construction activities could disrupt nesting raptors, or other birds, resulting in abandonment of nests and loss of fertile eggs.

**MM-BIO 1.1:** Construction shall be scheduled to avoid the nesting season to the extent feasible. The nesting season for most birds, including most raptors, in the San Francisco Bay Area extends from February 1st through August 31st.

If it is not possible to schedule construction and tree removal between September 1 and January 31, then pre-construction surveys for nesting birds shall be completed by a qualified ornithologist to ensure that no nests are disturbed during project implementation. This survey shall be completed no more than 14 days prior to the initiation of grading, tree removal, or other construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August).

During this survey, the ornithologist shall inspect trees and other possible nesting habitats within and immediately adjacent to the construction area for nests. If an active nest is found sufficiently close to work areas to be disturbed by construction, the qualified ornithologist, in consultation with California Department of Fish and Wildlife (CDFW), shall determine the extent of a construction-free buffer zone to be established around the nest to ensure that raptor or migratory bird nests shall not be disturbed during project construction.

**Findings BIO-1.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant biological resource impact. Specifically, implementation of MM BIO-1.1, set forth below, which is hereby adopted and incorporated into the project, would reduce biological resource impacts to a less than significant level by avoiding the nesting bird season or conducting bird surveys in trees close to construction activity to protect active nests.

**Impact BIO-5.1:** The proposed project would not comply with the City's tree protection policy on-site.

**MM BIO-5.1:** The project applicant will coordinate with the supervising planner to identify locations offsite for replacement trees in addition to the trees proposed as part of the landscaping on-site in accordance with General Plan Policy 5.3.1- P10 and Santa Clara City Code 12.35. This will require the planting of 21, 24-inch box trees off-site to fully offset the removal of trees on-site.

The project applicant will provide the supervising planner with appropriate documentation to confirm that all on- and off-site replacement trees have been planted prior to issuance of occupancy permits.

**Findings BIO-5.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant biological resource impact. Specifically, implementation of MM BIO-5.1, set forth below, which is hereby adopted and incorporated into the project, would reduce biological resource impacts to a less than significant level by ensuring trees removed from the project site are replaced in accordance with City General Plan Policy 5.3.1-P10.

### **Cultural Resources**

**Impact CUL-1.1:** The proposed project would require the demolition of the church building on-site which would result in a substantial adverse change to a locally eligible historical resource pursuant to CEQA Guidelines Section 15064.5.

**MM CUL-1.1:** Prior to issuance of any grading, demolition, or building permits the project applicant shall prepare and submit, for review and approval by the Director of Community Development or the Director's designee, a Historic Resources Mitigation Action Plan (Action Plan) demonstrating that the following steps, actions, and documents have been completed for the historic structure in accordance with the Action Plan timeline. The Action Plan shall include roles and responsibilities between the project applicant, City staff, and outside individuals, groups, firms, and consultants.

Documentation (HABS): The structure and associated features on the project site shall be documented in accordance with the guidelines established for the Level III Historic American Building Survey (HABS) consistent with the Secretary of the Interior's Standards for Architectural and Engineering Documentation and shall consist of the following components:

- A. Drawings – Prepare sketch floor plans of the buildings and site plan.
  - B. Photographs – 35 mm digital photographs meeting the digital photography specifications.
  - C. Written Data – a historical report with the history of the property, property description and historical significance.
- A qualified architectural historian meeting the Secretary of the Interior's Professional Qualification Standards shall oversee the preparation of the sketch plans, photographs, research and written data.



The documentation shall be submitted to the Director of Community Development or the Director's designee and the City's Historic Preservation Officer for review and approval. After approval, the required documentation shall be filed with the Northwest Information Center at Sonoma State University, the repository for the California Historical Resources Information System.

**MM CUL-1.2:** Documentation (Digital Scans): Prior to issuance of any grading, demolition, or building permits, the structure and associated features on the project site shall be documented by a qualified architectural historian through a series of digital scans and video production. The architectural historian shall meet the Secretary of the Interior's Professional Qualification Standards. A plan of the proposed procedures for the digital scans shall be submitted to the City's Director of Community Development or the Director's designee prior to commencement of preparing the digital scans for review and approval. The digital scans must be submitted to the City and filed with the Northwest Information Center at Sonoma State University, the repository for the California Historical Resources Information System prior to the issuance of occupancy permits.

**MM CUL-1.3:** Relocation by the Project applicant and/or a Third Party: Prior to issuance of any demolition permits, the project applicant, or an interested third party, shall be required to advertise the availability of the church for relocation for a period of no less than 60 days. The advertisements must include notification in a newspaper of general circulation, on a website, and notice placed on the project site. The project applicant shall provide evidence (i.e., receipts, date and time stamped photographs, etc.) to the City's Director of Community Development or the Director's designee that this condition has been met prior to the issuance of demolition permits.

If the project applicant or third party agrees to relocate the structure, the following measures must be followed:

1. The Director of Community Development or Director's designee must determine that the receiver site is feasible for the building based on the existing setting.
2. Prior to relocation, the project applicant or third party shall hire a historic preservation architect and a structural engineer to undertake an existing condition study that establishes the baseline condition of the church prior to relocation. The documentation shall take the form of written descriptions and visual illustrations, including those character-defining physical features of the resource that convey its historic significance and must be protected and preserved. The documentation shall be reviewed and approved by the City's Director of Community Development or the Director's designee prior to the structure being moved.
3. To protect the building during relocation, the project applicant shall engage a building mover who has experience moving similar historic structures. A

structural engineer shall also be engaged to determine how the building needs to be reinforced/stabilized before the move.

4. Once moved, the building shall be repaired and rehabilitated, as needed, by the project applicant or third party in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In particular, the character-defining features shall be retained in a manner that preserves the integrity of the building for the long-term preservation and reuse.

Upon completion of the repairs, a qualified architectural historian shall document and confirm that work to the structure was completed in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties and character-defining features were preserved. The project applicant shall submit a memo report supplement to the Action Plan to the City's Director of Community Development or the Director's designee documenting the relocation, repair, and reuse prior to issuance of any occupancy permits for the proposed project.

**MM CUL-1.4:** Salvage: If the project applicant and/or a third party cannot agree to relocate the structure within the specified time, the structure shall be made available for salvage to companies facilitating the reuse of historic building materials prior to the issuance of any demolition permits. The time frame available for salvage shall be established by the City's Director of Community Development or the Director's designee in accordance with the Action Plan. The project applicant must provide evidence to the City's Director of Community Development or the Director's designee and Director of Community Development, or Director's designee, that this condition has been met prior to the issuance of any demolition permits.

**Findings CUL-1.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant cultural resource impact. Specifically, implementation of MM CUL-1.1 through -1.4, set forth below, which are hereby adopted and incorporated into the project, would avoid and/or reduce significant impacts to the church building, however the impact would remain significant and unavoidable because of the demolition of the historic structure.

**Impact CUL-2.1:** Construction of the proposed project would result in excavation in an area which has moderate sensitivity for archeological resources, and could disturb unrecorded archaeological resources.

**MM CUL-2.1:** Prior to commencement of any ground-disturbing activity on-site, the project applicant shall retain a registered professional archaeologist to be present during all ground-disturbing activity associated with the project. For the purposes of these conditions, ground-disturbing activities shall be defined as any ground disturbance, including but not limited to, excavation, grading, grubbing, scarring, drilling, scraping, blading, trenching, vegetation removal, or demolition of the existing structure or site improvements within the development area shown on the project plans. A registered professional archaeologist shall be given five days'

written notice prior to the start of any ground-disturbing activity. The project applicant shall document receipt of notification in writing.

- MM CUL-2.2:** In the event that buried, or previously unrecognized archaeological deposits or materials of any kind are inadvertently exposed during any construction activity, work within 50 feet of the find shall cease until a qualified archaeologist can assess the find and provide recommendations for further treatment, if warranted. The archaeologist, in consultation with the project applicant, shall make the necessary plans for treatment of the find(s) if the resource is eligible for listing on the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR). Construction within a radius determined by the archaeologist shall not recommence until the assessment is complete.
- a. Any treatment other than preservation in place must be approved by the City of Santa Clara. Treatment for most resources would consist of (but would not be limited to) sample excavation, artifact collection, site documentation, and historical research, with the aim to target the recovery of important scientific data contained in resource.
  - b. The culturally affiliated tribe(s) who consulted on the project, or if no consultation occurred the tribe identified by the Native American Heritage Commission (NAHC), shall determine the disposition of any tribal cultural resources (TCR) artifacts discovered during on-site excavation or construction activities or TCR artifacts resulting from execution of a treatment plan. The disposition of TCR artifacts shall include, but not be limited to, reburying in close proximity of the finds without scientific study, allowing scientific study before reburying the materials either near the origin of the find or in another protected place, or temporary curation at a facility at an institution that meets the U.S. Secretary of the Interior's criteria for curation (36 CFR 79) prior to reburial. Disposition of any TCR artifacts shall be subject to approval by the culturally affiliated tribe. All curation fees and related expenses shall be paid by the project applicant.
  - c. To ensure adequate space and protection are provided for reburial of any TCRs discovered on the project site, the Permittee shall designate a cultural easement area. The easement area shall be in a location that will not be subject to future disturbance and that will not require the relocation of buildings or other physical improvements on the site.
  - d. The registered professional archaeologist shall file State of California Department of Parks and Recreation (DPR) Series 523 forms for the cultural easement/TCR reburial location (if used) with the California Historical Resources Information System (CHRIS) Center in accordance with the guidelines established by the California Office of Historic Preservation. The DPR Series 523 forms shall establish a permanent record of the cultural easement location and any TCRs discovered on the project site for future site

identification and protection. The registered professional archeologist shall also file a Sacred Lands File record with the NAHC on behalf of the culturally affiliated tribe.

**Findings CUL-2.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant cultural resource impact. Specifically, implementation of MM CUL-2.1 and MM CUL-2.2, set forth below, which are hereby adopted and incorporated into the project, would avoid and/or reduce significant impacts to unknown buried archaeological resources to a less than significant level by completing a presence/absence exploration and/or monitoring excavation activities and identifying the procedures necessary to protect resources if found.

**Impact CUL-3.1:** The proposed project could result in the disturbance of human remains during excavation of the project site.

**MM CUL-3.1:** In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which will be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.

**Findings CUL-3.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant cultural resource impact. Specifically, implementation of MM CUL-3.1, set forth below, which is hereby adopted and incorporated into the project, would avoid and/or reduce significant impacts to unknown buried human remains to a less than significant level by following procedures necessary to identify and protect resources if found.

### **Geology and Soils**

**Impact GEO-1.1:** Buildings constructed on-site could experience settlement in the event of strong ground shaking as a result of an earthquake or other geologic events.

**MM GEO-1.1:** Consistent with General Plan Policy 5.10.5-P6 and General Plan Policy 5.10.5-P7, the project would be built using standard engineering and seismic safety design techniques. Building design and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which will be included in a geotechnical report to the City. The report shall be reviewed and approved by the City of Santa Clara's Building Division as part of the building permit review and issuance process. The building shall meet the requirements of applicable Building and Fire Codes, including the current California Building Code, as adopted or updated by the City. The project shall be designed to withstand potential geologic hazards identified on the site, including liquefaction and shrink swell

capacity of soils, and the project shall be designed to reduce the risk to life or property in compliance with the Building Code.

**Findings GEO-1.1:** Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant geological hazards impact. Specifically, implementation of MM GEO-1.1, set forth below, which is hereby adopted and incorporated into the project, would reduce geologic hazards impacts to a less than significant level by ensuring that the proposed project complies with the Santa Clara Building Division review process and California Building Code.

## **VI. GROWTH INDUCING IMPACTS**

An EIR is required to discuss growth inducing impacts, which consist of the ways in which the project could foster economic or population growth, or the construction of additional housing, either directly or indirectly, in the surrounding environment. (CEQA Guidelines Section 15126.2(d); Pub. Resources Code Section 21100(b)(5).)

Direct growth inducement would result, for example, if a project involves the construction of substantial new housing that would support an increased population in a community or establishes substantial new permanent employment opportunities. This additional population could, in turn, increase demands for public utilities, public services, roads, and other infrastructure. Indirect growth inducement would result if a project stimulates economic activity that results in physical development or removes an obstacle to growth and development (e.g., increasing infrastructure capacity that would enable new or additional development). CEQA Guidelines Section 15126.2(d) cautions that it must not be assumed that growth in any area is necessarily beneficial, detrimental, or of little significance to the environment.

These findings are based on the discussion of growth inducing impacts in Section 4.0 of the Draft EIR, the discussion and analysis of which is hereby incorporated in full by this reference.

The project proposes to demolish the existing church and administrative building on-site and develop 22 residential units. As discussed in Section 3.19 Utilities and Service Systems of the Draft EIR, expansion of the existing utility infrastructure is not proposed or required because the existing utilities would have capacity for the new development which could occur under the proposed project. In addition, the site is an infill location within Santa Clara and would not require new public streets to be constructed to access the site (a new private street is proposed on-site to serve the development). For these reasons, the project would not foster or stimulate substantial economic growth or population growth, or the construction of additional housing in the surrounding environment which is not already planned.

## **VII. SIGNIFICANT AND IRREVERSIBLE ENVIRONMENTAL CHANGES**

CEQA Guidelines Section 15126(c) requires that an EIR also address significant and irreversible environmental changes that may occur as a result of project implementation. Significant irreversible changes include the use of nonrenewable resources, the commitment of future generations to similar use, irreversible damage resulting from environmental accidents associated with the project and the irretrievable commitment of resources.

These findings are based on the discussion of significant and irreversible environmental changes in Section 5.0 of the Draft EIR, the discussion and analysis of which is hereby incorporated in full by this reference.

### **Use of Nonrenewable Resources; Commitment of Future Generations to Similar Use**

The City of Santa Clara encourages the use of building materials that include recycled materials and makes information available on those building materials to developers. The new buildings would be built to current codes, including the Reach Code, which require insulation and design to minimize wasteful energy consumption. The proposed development project would be constructed in compliance with CALGreen requirements and the City's policies and ordinances controlling wasteful energy use. Moreover, as explained in Section 3.6 of the EIR, the project is consistent with the City's General Plan policies regarding energy use, which foster development that reduces the use, irretrievable commitment and consumption of nonrenewable resources in transportation, buildings and urban services (utilities).

## **VIII. ALTERNATIVES**

CEQA requires that an EIR identify alternatives to a project as it is proposed. Section 15126.6 of the CEQA Guidelines specifies that the EIR should identify alternatives which “would feasibly attain most of the basic objectives of the project but would avoid or substantially lessen any of the significant effects of the project.” The EIR considered alternatives of design, scope, or location, which would substantially lessen the project's significant impacts, even if those alternatives “impede to some degree the attainment of the project objectives” or are more expensive. While CEQA does not require that alternatives must be capable of meeting all of the project objectives, an alternative's ability to meet most of the objectives is considered relevant to its consideration.

### **The Project Objectives**

The applicant's objectives for the project are as follows:

1. Provide a project that meets the strategies and goals of the City of Santa Clara General Plan. Specifically, providing a low-density development, such as single family detached residential housing units, on the approximately 2.5-acre underutilized infill site at a maximum density of 10 units per acre.
2. Provide three new single family detached affordable residential housing units in accordance with the City of Santa Clara's Affordable Housing Program.
3. Support the principles of “Smart Growth “by providing new housing at key transportation nodes.
4. Create a high quality, well-designed, low-density development that is compatible with the existing neighborhood and community of predominantly single-family houses and promotes the safety and well-being of its residents and the surrounding community.
5. Create a development resulting in a net reduction in impervious surface area and collect and treat all stormwater runoff on-site.

CEQA, the CEQA Guidelines, and applicable case law have determined that feasibility can be based on a wide range of factors and influences. Section 15126.6(f)(1) of the CEQA Guidelines advises that such factors can include, but are not limited to, the suitability of an alternate site, economic viability, availability of infrastructure, consistency with planning documents or regulatory limitations, jurisdictional boundaries or whether the project proposed can "reasonably acquire, control or otherwise have access to the alternative site."

The City Council, having reviewed and considered the information contained in the EIR, hereby finds that the alternatives described below are not feasible. The City finds that there are specific economic, legal, social, technological or other considerations, including consideration for the provision of employment opportunities for highly trained workers, and important matters of public policy that render these alternatives infeasible.

As explained above, "feasible" is defined in CEQA Guidelines Section 15364 to mean "capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, legal, social, and technological factors." According to CEQA Guidelines Section 15091(a)(3), the City may reject an alternative to the project if the City finds that it would be infeasible to implement that alternative because of "[s]pecific economic, legal, social, technological, or other considerations, including the provision of employment opportunities for highly trained workers." An agency also may reject an alternative that does not meet the public policy goals of the agency. In *Rialto Citizens for Responsible Growth v. City of Rialto* (2012) 208 Cal.App.4<sup>th</sup> 899, 947, the City of Rialto approved a project while rejecting as infeasible a reduced-density alternative that stripped out the portions of the project that would have created a synergistic mix of retail and restaurant tenants. Additionally, in *Environmental Council of Sacramento v. City of Sacramento* (2006) 142 Cal.App.4<sup>th</sup> 1018, 1039, the appellate court upheld the City of Sacramento's findings that additional preservation of open space would be infeasible because it would "at the very least [slow] 'the progress of necessary development such that the public's health and welfare is harmed through the lack of economic growth and productivity and a shortage of housing supply.'"<sup>2</sup>

These findings are based on the discussion of alternatives in Section 7.0 of the Draft EIR and Section 5.0 of the Final EIR, the discussion and analysis of which are hereby incorporated in full by this reference.

### **Alternatives Considered but Rejected**

#### *Location Alternative*

One alternative proposed for the project was a alternative location. In considering an alternative location in an EIR, the CEQA Guidelines advise that the key question is "whether any of the significant effects of the project would be avoided or substantially lessened by putting the project in another location". The alternative location would need to be of similar size to the project site, with a low density General Plan designation and controlled by the project applicant. Sites of similar size that could be redeveloped are present in the City of Santa Clara, however, the project applicant does

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<sup>2</sup> Similarly, courts have upheld an agency's infeasibility finding on a policy-based rationale in the following cases: *Gilroy Citizens for Responsible Planning v. City of Gilroy* (2006) 140 Cal.App.4<sup>th</sup> 911, 936, and *Defend the Bay v. City of Irvine* (2004) 119 Cal.App.4<sup>th</sup> 1261, 1270.

not have control of alternative sites of similar size in the City. Sites with the General Plan designation for low density housing are sites which would be adjacent to existing residences. As such, air quality and noise construction-related impacts would be comparable to the proposed project. Furthermore, due to the known cultural sensitivity of the City, ground disturbance on any site would have the potential to uncover unrecorded subsurface resources. Lastly, impacts to nesting birds and loss of tress could occur on any site which has trees or where there are trees nearby.

Relocation of the proposed project would protect the existing church structure on the project site in the near-term and would prevent impacts to this historic resource.<sup>3</sup> Although this is the case, changing the location of the project could still result in the change in significance of a historic resource since many of the buildings throughout Santa Clara are over 50 years in age and another suitable location may also have a historic building on it.

For these reasons, most of the impacts associated with the proposed project would not be reduced through relocation of the proposed project. Additionally, the project applicant does not control other parcels within the City suitable for the project and an alternative location to the project was considered but rejected as infeasible.

#### *Preservation Alternative*

A preservation alternative which would relocate the on-site, locally historic, church structure was considered for the proposed project. Although the building was determined to be structurally stable for relocation, the size of the structure limited the locations that would be suitable for relocation. Furthermore, the church structure would be required to be preserved consistent with the Secretary of the Interior's Standards and adaptively reused at the location it is relocated. The location would also have to be comparable in setting to the existing project site. Based on a preliminary review of available sites in the City, there are very few underutilized or vacant sites in the City of Santa Clara because most of the City is built out, especially in residential neighborhoods on a major roadway such as Pruneridge Avenue. Therefore, it is unlikely that relocating the church building would be feasible and the preservation alternative was not considered further.

#### **No Project - No Development Alternative**

The CEQA Guidelines specifically require consideration of a "No Project" Alternative. The purpose of including a No Project Alternative is to allow decision makers to compare the impacts of approving the project with the impacts of not approving the project. CEQA Guidelines Section 15126.6 specifically advises that the No Project Alternative is "what would be reasonably expected to occur in the foreseeable future if the project were not approved, based on current plans and consistent with available infrastructure and community services," and emphasizes that an EIR should take a practical approach, and not "...create and analyze a set of artificial assumptions that would be required to preserve the existing physical environment."

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<sup>3</sup> Moving the proposed project to another location would not guarantee the retention the church structure in perpetuity.



The No Project – No Development Alternative would retain the existing church complex on-site as is. If the project site were to remain as is, there would be no significant impacts. This alternative would not meet any of the project objectives. In addition, the City would lose the opportunity to redevelop an underutilized site in a central location near services and transit to meet the City’s Regional Housing Allocation Needs targets for the production of housing and the City’s strategies and goals of the General Plan.

The project site has a zoning designation of Public, Quasi Public, or Recreation (B), which is intended to serve the needs of the general population. It is possible that in the future an alternative development proposal, such as an alternative public use or recreational buildings, may be presented for the project site. Any such project would be inconsistent with the General Plan land use designation. Construction of any new public use would have similar impacts related to construction. Any future development proposals for the site would require review and approval by the City of Santa Clara.

This alternative would not result in a residential development consistent with the project objectives and would be inconsistent with the General Plan designation. Any future development on-site would also have similar construction and operational impacts. Additionally, the redevelopment of the site with non-residential development would result in the City losing the opportunity for new housing to meet Regional Housing Allocation needs.

### **Reduced Development Alternative – Retain Historic Resources On-site**

Impacts associated with the proposed development project would primarily result from construction of the project. While all construction-related impacts have been mitigated to less than significant, a reduced density alternative would lessen and/or avoid one or more of the construction related impacts and would avoid the demolition of the church structure.

The Reduced Development Alternative would reduce the number of residential units proposed on-site to allow for the church building to be retained in its existing location. This proposal would provide a maximum of 14 dwelling units to allow for proper circulation and access to unit driveways. The retained church would be available for adaptive reuse and would need to be retrofitted on the interior and structurally to ensure it is seismically safe for occupation. Any modifications to the building would need to meet the Secretary of the Interior’s Standards for rehabilitation of a historic building and the building would need to be maintained for the life of the project.

This alternative would reduce the project impacts associated with historic resources to a less than significant level because it would not require demolition of the church. The impacts associated with biology, geology and soils, and subsurface cultural resources would remain the same because these are all associated with the project site location.

Reduction of the number of units on-site would reduce the amount of housing provided by the proposed project. However, this would still meet the project objective to provide low density development with a maximum density of 10 units per acre. These units would still include affordable residential housing in conformance with the City of Santa Clara’s Affordable housing program. The proposed project would still be able to reduce impervious surfaces on-site and would provide “Smart

Growth” consistent with the character of the surrounding community. Based on this information the Reduced Development Alternative would meet all project objectives and would reduce the impact on historical resources.

### **Environmentally Superior Alternative**

The CEQA Guidelines state that an EIR shall identify an environmentally superior alternative. Based on the above discussion, the environmentally superior alternative to the proposed project is the No Project - No Development Alternative because all of the project’s significant environmental impacts would be avoided. However, Section 15126.6(e)(2) states that “if the environmentally superior alternative is the No Project Alternative, the EIR shall also identify an environmentally superior alternative among the other alternatives.” In addition to the No Project -No Development Alternative, the Reduced Development – Retain Historic Resources On-site Alternative would avoid or result in lesser impacts than the proposed project.

## **IX STATEMENT OF OVERRIDING CONSIDERATIONS**

CEQA requires decision makers to balance, as applicable, the economic, legal, social, technological and/or other benefits of a project against its significant and unavoidable environmental impacts when determining whether to approve the project. If the specific economic, legal, social, technological and/or other benefits of the project outweigh the significant and unavoidable impacts, those impacts may be considered "acceptable" (CEQA Guidelines Section 15093(a)). When significant impacts are not avoided or lessened, CEQA requires the agency to state, in writing, the specific reasons for considering a project acceptable. Those reasons must be based on substantial evidence in the Final EIR or elsewhere in the administrative record (CEQA Guidelines Section 15093(b)).

The City finds that all feasible mitigation measures identified in the Final EIR within the purview of the City will be implemented with the project, and that the remaining significant and unavoidable impacts are outweighed and are found to be acceptable due to the following specific overriding economic, legal, social, technological and/or other benefits based upon the facts set forth in the above Findings, the Final EIR and the administrative record, as follows, each of which outweighs the project's remaining significant and unavoidable impacts:

- The project will promote the orderly and beneficial development of an underutilized property and visually improve the Project Site and surrounding neighborhood with physical and financial investment in the construction of a modern and visually aesthetic residential development with on-site parking, site improvements, landscaping, and streetscape.
- The project will provide residential development consistent with the General Plan designation for the Project Site and create high quality, for-sale homeownership opportunities in proximity to transit corridors and commercial services.
- The project will contribute to the City’s housing stock with minimal impact to the surrounding neighborhood and provide a suitable affordable housing component that addresses the City’s lower income housing needs and jobs/housing imbalance.

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL APPROVE AND CERTIFY A FINAL ENVIRONMENTAL IMPACT REPORT, MAKE FINDINGS WITH RESPECT THERETO, AND ADOPT A STATEMENT OF OVERRIDING CONSIDERATIONS AND A MITIGATION MONITORING AND REPORTING PROGRAM FOR THE 1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT LOCATED AT 1957 PRUNERIDGE AVENUE, SANTA CLARA**

PLN22-00505 (Rezone)  
PLN23-00264 (Vesting Tentative Subdivision Map)  
SCH# 202300200 (Environmental Impact Report)

**WHEREAS**, On September 6, 2022, SCS Development (“Owner”) filed an application for the development of a 2.47-acre site located at 1957 Pruneridge Avenue, Santa Clara (“Project Site”);

**WHEREAS**, the Project Site has a General Plan designation of Very Low Density Residential and is zoned Public, Quasi-Public, and Public Park or Recreation (B);

**WHEREAS**, the Project Site is developed with assembly uses (religious worship and education) and contains St. Mark’s Church complex, comprising a one-story parish hall and administration building, a church building, surface parking lots and site landscaping;

**WHEREAS**, the Owner has applied to rezone the Project Site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) to allow construction of 22 two-story detached residences, a private street, and associated on- and off-site improvements, in addition to a Vesting Tentative Subdivision Map to subdivide the property into individual for-sale lots and four common lots for use as a utility corridor, vehicle access, landscape open space and bioretention areas (“Project”), as shown on the Development Plans and Vesting Tentative Subdivision Map, attached hereto and incorporated herein by this reference;

**WHEREAS**, on October 6, 2023, the City of Santa Clara (“City”) distributed a Notice of Preparation of a Draft Environmental Impact Report (“DEIR”) and posted the Notice at the Santa

Clara County Clerk's office, soliciting guidance on the scope and content of the environmental information to be included in the DEIR;

**WHEREAS**, the DEIR was prepared in accordance with the California Environmental Quality Act ("CEQA") (Public Resources Code § 21000 et seq.) and the City circulated copies of the DEIR to the public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons and agencies, and the City sought the comments of such persons and agencies for forty-five (45) days, beginning on November 17, 2023 and concluding on January 2, 2024 ("Comment Period");

**WHEREAS**, the City did not receive any comments on the DEIR during the review period;

**WHEREAS**, the Final EIR ("FEIR") consists of a list of agencies and organizations to whom the DEIR was sent and minor revisions to text and Figure 2.2-1 (Conceptual Site Plan) and Figure 2.2-2 (Landscape Plan) that do not change the conclusions nor require recirculation of the DEIR. The FEIR was subsequently distributed for a 10-day review period beginning on January 9, 2024 and concluding on January 19, 2024;

**WHEREAS**, the DEIR FEIR, and Exhibits constitute the EIR for the Project;

**WHEREAS**, the Planning Commission has reviewed the EIR prepared for the Project, the City Staff reports pertaining to the EIR, and all evidence received at a duly noticed public hearing on February 21, 2024. All of these documents and evidence are herein incorporated by reference into this Resolution;

**WHEREAS**, the EIR identified certain significant and potentially significant adverse effects on the environment that would be caused by the Project as proposed;

**WHEREAS**, the EIR determined that the project would have a less-than-significant impact in the resource areas of Energy and Greenhouse Gas Emissions, based on a requirement in the City's Reach Code that the project construct All-Electric Buildings, with no installation of natural gas infrastructure. Because recent litigation has raised a question about the enforceability of the

City's Reach Code, the developer has voluntarily committed to construct All-Electric Buildings, regardless of whether the Reach Code is enforceable;

**WHEREAS**, the EIR outlined various mitigation measures that would substantially lessen or avoid the Project's significant effects on the environment, as well as alternatives to the Project as proposed that would provide some environmental advantages;

**WHEREAS**, the City is required whenever possible, pursuant to CEQA, to adopt all feasible mitigation measures or feasible project alternatives that can substantially lessen or avoid any significant environmental effects of the Project;

**WHEREAS**, Public Resources Code § 21081, subdivision (a) requires a lead agency, before approving a project for which an EIR has been prepared and certified, to adopt findings specifying whether mitigation measures and, in some instances, alternatives discussed in the EIR, have been adopted or rejected as infeasible;

**WHEREAS**, the "CEQA Findings and Statement of Overriding Considerations" attached to this Resolution is a set of Findings of Fact prepared in order to satisfy the requirements of Public Resources Code § 21081, subdivision (a);

**WHEREAS**, as the CEQA Findings explain, the Planning Commission, reflecting the advice of City staff, has expressed its intention to recommend the City Council adopt the proposed Project as described;

**WHEREAS**, the Planning Commission has determined that the alternatives addressed in the EIR would not be feasible and would not sufficiently satisfy the Project Objectives. The details supporting these determinations are set forth in the CEQA Findings;

**WHEREAS**, in taking this course, the Planning Commission has acted consistent with the CEQA mandate to look to project mitigations and/or alternatives as a means of substantially lessening or avoiding the environmental effects of projects as proposed;

**WHEREAS**, the Planning Commission, in reviewing the Project as proposed, intends to recommend the City Council adopt all mitigation measures set forth in the EIR;

**WHEREAS**, the significant effects that cannot be avoided or substantially lessened by the adoption of feasible mitigation measures will necessarily remain significant and unavoidable;

**WHEREAS**, Public Resources Code § 21081, subdivision (b) and CEQA Guidelines § 15093 require the City Council to adopt a Statement of Overriding Considerations before approving a project with significant unavoidable environmental effects;

**WHEREAS**, as detailed in the CEQA Findings, the Planning Commission has determined that, despite the occurrence of significant unavoidable environmental effects associated with the Project, as mitigated and adopted, there exist certain overriding economic, social and other considerations for approving the Project which justify the occurrence of those impacts and render them acceptable; and

**WHEREAS**, the Planning Commission has reviewed the EIR and Mitigation Monitoring and Reporting Program, attached as the “MMRP”, the CEQA Findings, the City Staff reports pertaining to the EIR, and all evidence received at a duly noticed public hearing on February 21, 2024. All of these documents and evidence are incorporated herein by reference into this Resolution.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that the EIR has been completed in compliance with CEQA.
3. That the Planning Commission hereby finds the EIR has been presented to the Planning Commission, which reviewed and considered the information and analysis contained therein.
4. That the Planning Commission hereby recommends that the City Council find, pursuant to Public Resources Code Section 21081 and California Code of Regulations, Title 14, Section 15091, that many of the proposed mitigation measures described in the EIR are feasible, and

therefore will become binding upon the City and affected landowners and their assigns or successors in interest when the Project is approved.

5. That the Planning Commission hereby recommends that the City Council finds that none of the Project Alternatives set forth in the EIR can feasibly substantially lessen or avoid those significant adverse environmental effects not otherwise lessened or avoided by the adoption of all feasible mitigation measures while still sufficiently achieving the project objectives.

6. That, in order to comply with Public Resources Code Section 21081.6, the Planning Commission hereby recommends that the City Council adopt the Mitigation Monitoring and Reporting Program as set forth in the attached "MMRP". The Program is designed to ensure that, during project implementation, the City, affected landowners, their assigns and successors in interest and any other responsible parties comply with the feasible mitigation measures identified. The MMRP identifies, for each mitigation measure, the party responsible for implementation.

7. That the EIR set forth project-level and cumulative environmental impacts that are significant and unavoidable that cannot be mitigated or avoided through the adoption of feasible mitigation measures or feasible alternatives. As to these impacts, the Planning Commission hereby recommends that the City Council finds that there exist certain overriding economic, social and other considerations for approving the Project that the City Council believes justify the occurrence of those impacts, as detailed in the "CEQA Findings" exhibit attached hereto.

8. Based on the findings set forth in this Resolution and the evidence in the City Staff Report, and the attached CEQA Findings, the Planning Commission hereby recommends that the City Council approve and certify the EIR, make the findings attached hereto, adopt an MMRP, and adopt a statement of overriding considerations finding that there exist certain overriding economic, social and other considerations for approving the Project that justify the occurrence of the associated impacts, all in accordance with CEQA for the Project.

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9. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 21<sup>st</sup> DAY OF FEBRUARY BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST:

\_\_\_\_\_  
REENA BRILLIOT  
ACTING DIRECTOR OF COMMUNITY  
DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Development Plans
2. Vesting Tentative Subdivision Map
3. CEQA Findings and Statement of Overriding Considerations
4. Mitigation Monitoring and Reporting Program (MMRP)



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL APPROVE A REZONING FROM PUBLIC, QUASI-PUBLIC, AND PUBLIC PARK OR RECREATION (B) TO PLANNED DEVELOPMENT (PD) TO ALLOW A RESIDENTIAL DEVELOPMENT CONSISTING OF 22 DETACHED SINGLE-FAMILY RESIDENCES LOCATED AT 1957 PRUNERIDGE AVENUE, SANTA CLARA**

PLN22-00505 (Rezone)  
PLN23-00264 (Vesting Tentative Subdivision Map)  
SCH#2023100200 (Environmental Impact Report)

**WHEREAS**, on September 6, 2022, SCS Development (“Owner”) filed a development application for the 2.47-acre site located at 1957 Pruneridge Avenue (APN:303-03-025), which is developed as the St. Mark’s Church complex and consists of a one-story parish hall and administration building, a church building, surface parking lots and site landscaping (“Project Site”);

**WHEREAS**, the Owner simultaneously applied to rezone the Project Site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) and subdivide the land through a Vesting Tentative Subdivision Map application to allow the construction of 22 two-story for-sale detached single-family residences, associated on- and off-site improvements and four common lots to be used as a utility corridor, vehicle access, landscape open space, and bioretention areas to serve the development (“Project”), as shown on the attached Development Plans and Vesting Tentative Subdivision Map, incorporated herein by this reference;

**WHEREAS**, a Draft Environmental Impact Report (“DEIR”) was prepared in accordance with the California Environmental Quality Act (“CEQA”) and the City circulated copies of the DEIR and Notice of Availability for 45-day review to the public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons, organizations and agencies; and the City sought the comments of such persons, organizations and agencies. The City received no public or agency comments on the DEIR and subsequently prepared and circulated a Final

EIR (“FEIR”), for 10-day review in accordance with CEQA, that includes minor revisions to text and Figure 2.2-1 (Conceptual Site Plan) and Figure 2.2-2 (Landscape Plan) that do not change the conclusions of the DEIR;

**WHEREAS**, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the DEIR, FEIR and Appendix to the FEIR, that combined constitute the EIR for the Project, to less than significant and a Statement of Overriding Considerations for the significant unavoidable impact associated with the proposed demolition of the church building with Project development, that cannot be mitigated to less than significant, has been prepared in accordance with CEQA;

**WHEREAS**, the Santa Clara City Code (SCCC) provides for the review and recommendation of the City’s Planning Commission of all rezoning requests before action is to be taken by the City Council;

**WHEREAS**, on February 8, 2024, the notice of public hearing for the February 21, 2024, Planning Commission meeting for this item was mailed to property owners within a 1,000 foot radius of the Project Site boundaries; and

**WHEREAS**, on February 21, 2024, the Planning Commission held a duly noticed public hearing to consider the Project, EIR, MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby recommends that the City Council rezone the Project Site from Public, Quasi-Public, Public Park or Recreation (B) to Planned Development

(PD) to allow 22 two-story for-sale detached single-family residences, associated on- and off-site improvements and four common lots to be used as a utility corridor, vehicle access, landscape open space, and bioretention areas to serve the development, as shown on the attached Development Plans and conditioned as specified in the attached Conditions of Rezoning Approval, incorporated herein by this reference.

3. Pursuant to SCCC Code Section 18.112.040, the Planning Commission determines that the following findings exist in support of the rezoning:

A. The existing zoning is inappropriate or inequitable, in that the existing zoning for the Project Site does not allow residential development and creation of housing opportunities envisioned by the 2010-2035 General Plan. The Planned Development (PD) zoning would allow residential development to implement the General Plan's Housing Element more fully than the existing Public, Quasi-Public, and Public Park or Recreation (B) zoning designation for the Project Site.

B. The proposed zone change will conserve property values, protect or improve the existing character and stability of the area in question, and will promote the orderly and beneficial development of such area in that the proposal redevelops an underutilized property and visually improves the Project Site and surrounding neighborhood with physical and financial investment in the construction of a modern, high quality, residential home ownership development with on-site parking, site improvements, landscaping, and streetscape enhancements.

C. The proposed zone change is required by public necessity, public convenience, or the general welfare of the City in that the proposed zone change provides residential development consistent with the General Plan designation for Project Site and for-sale high-quality homeownership opportunities for 22 households, of which three of the residences shall be available at affordable income levels; and in furtherance of the City's climate goals, the

Owner has committed to constructing All-Electric Buildings without the installation of any natural gas infrastructure.

D. The proposed zone change would allow imaginative planning and design concepts to be utilized that would otherwise be restricted in other zoning districts in that the proposed zone change would allow flexibility in the development standards to construct for-sale detached residences that are compatible with existing and planned development in the surrounding residential and commercial area.

4. That based on the findings set forth in this resolution and the evidence in the City Staff Report, EIR and MMRP, the Planning Commission hereby recommends that the City Council rezone the Project Site to allow development of 22 detached single-family residences, as shown on the attached Development Plans and conditioned as specified in the attached Conditions of Rezoning Approval.

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5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 21st DAY OF FEBRUARY 2024, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

Attachments Incorporated by Reference:

1. Development Plans
2. Vesting Tentative Subdivision Map
3. Rezone Conditions of Approval

ATTEST: \_\_\_\_\_  
REENA BRILLIOT  
ACTING DIRECTOR OF COMMUNITY  
DEVELOPMENT  
CITY OF SANTA CLARA

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE THE VESTING TENTATIVE SUBDIVISION MAP FOR THE 1957 PRUNERIDGE AVENUE RESIDENTIAL PROJECT LOCATED AT 1957 PRUNERIDGE AVENUE, SANTA CLARA, TO SUBDIVIDE THE 2.47-ACRE PROJECT SITE INTO 22 INDIVIDUAL LOTS AND FOUR COMMON LOTS**

PLN2022-00505 (Rezone)  
PLN23-00264 (Vesting Tentative Subdivision Map)  
SCH# 202300200 (Environmental Impact Report)

**WHEREAS**, on September 6, 2022, SCS Development (“Owner”) filed a development application for the 2.47-acre site located at 1957 Pruneridge Avenue (APN: 303-03-025), which is developed as the St. Mark’s Church complex and consists of a one-story parish hall and administration building, a church building, surface parking lots and site landscaping (“Project Site”);

**WHEREAS**, the Owner has simultaneously applied to rezone the Project Site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) and subdivide the land to allow construction of 22 for-sale detached two-story single-family residences, associated on- and off-site improvements and four common lots to be used as a utility corridor, vehicle access, landscape open space, and bioretention areas, to serve the development (“Project”), as shown on the attached Development Plans and proposed Vesting Tentative Subdivision Map, incorporated herein by this reference;

**WHEREAS**, pursuant to Section 17.05.210 of the Code of the City of Santa Clara (“SCCC”), a Tentative Subdivision Map shall be required for all divisions of land into five or more parcels;

**WHEREAS**, consistent with the proposed uses under the development plan, the proposal includes the division of the site into 22 individual lots and four common lots, as shown on the proposed Vesting Tentative Subdivision Map, attached hereto and incorporated herein by this reference;

**WHEREAS**, on June 13, 2023, the Subdivision Committee determined that the application was complete and that the Vesting Tentative Subdivision Map be reviewed by the Planning Commission and the City Council in conformance with Section 17.05.300 of the SCCC as a Vesting Tentative Subdivision Map along with the Project;

**WHEREAS**, SCCC Section 17.05.300(g) requires that the Planning Commission make recommendations of denial, approval or conditional approval to the City Council on the Vesting Tentative Subdivision Maps;

**WHEREAS**, a Draft Environmental Impact Report (“DEIR”) was prepared in accordance with the California Environmental Quality Act (“CEQA”) and the City circulated copies of the DEIR and Notice of Availability for 45-day review to the public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons, organizations and agencies; and the City sought the comments of such persons, organizations and agencies. The City received no public or agency comments on the DEIR and subsequently prepared and distributed a Final EIR (“FEIR”) for 10-day review, in accordance with CEQA, that includes minor revisions to text and Figure 2.2-1 (Conceptual Site Plan) and Figure 2.2-2 (Landscape Plan) that do not change the conclusions of the DEIR;

**WHEREAS**, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the DEIR, FEIR and Appendix to the FEIR, that combined constitute the EIR for the Project, to less than significant and a Statement of Overriding Considerations for the significant unavoidable impact associated with the proposed demolition of the church building with Project development, that cannot be mitigated to less than significant has been prepared in accordance with CEQA;

**WHEREAS**, Section 17.05.300 (g) of the SCCC requires that the Planning Commission conduct a public hearing before considering the approval of a Vesting Tentative Subdivision Map for the division of land;

**WHEREAS**, notice of the public hearing on the Vesting Tentative Subdivision Map was published in *The Weekly*, a newspaper of general circulation for the City, on February 7, 2024;

**WHEREAS** on February 8, 2024, notices of the public hearing on the Vesting Tentative Subdivision Map were mailed to all property owners within 1,000 feet of the Project Site boundaries; and

**WHEREAS**, on February 21, 2024, the Planning Commission held a duly noticed public hearing to consider the Project, EIR, MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. Vesting Tentative Subdivision Map Findings. Pursuant to California Government Code Sections 66426 and 66428 and SCCC Section 17.05.300(h), the Planning Commission finds and determines that:

A. The Vesting Tentative Subdivision Map is consistent with the objectives, policies, general land use and programs specified in the City's General Plan in that the proposed Vesting Tentative Subdivision Map is to allow the development of 22 detached single-family residences, four common lots to be used as a utility corridor, vehicle access, landscape open space and bioretention areas, and on- and off-site improvements compatible with neighboring residential development and existing and planned development in the surrounding area, subject to conditions set forth in the Vesting Tentative Subdivision Map Conditions of Approval, attached hereto and incorporated by this reference. The Project proposes a density of 8.9 dwelling units per acre, consistent with the Very Low Residential Density General Plan designation for the Project Site, which allows residential development of up to ten (10) dwelling



units per acre. The project also furthers of the City's goal to reduce the use of methane gas citywide stated in Appendix 8.13 (Climate Action Plan), in that the Owner has committed to constructing All-Electric Buildings without the installation of any natural gas infrastructure.

B. The design and improvements of the proposed subdivision are consistent with the City's General Plan in that the Vesting Tentative Subdivision Map would redevelop an underutilized and vacant property (Policy 5.3.1-P8), provides adequate landscaping and replaces trees at a 2:1 ratio (Policy 5.3.1-P10), includes sidewalks and consolidates curb cuts to minimize pedestrian/vehicle conflicts (Policies 5.3.1-P12 and P16), and provides a design that is compatible with and sensitive to neighboring residential development (Policy 5.3.1-P29).

C. The site is physically suitable for the proposed type of development in that the Project is designed to provide high quality housing consistent with existing and planned development in the surrounding area.

D. This site is physically suitable for the proposed density of development in that the Project Site is located in an urbanized area and allows for redevelopment consistent with the height, uses and development that are existing and planned in the surrounding area.

E. The design of the subdivision and type of improvements are not likely to cause serious health problems in that the proposed residential subdivision will implement Covenants Conditions and Restrictions for operation and maintenance of the buildings, common lots and site improvements, and does not propose the use of hazardous materials.

F. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage and will not substantially or unavoidably injure fish or wildlife or their habitat in that the Project Site is located in an urbanized setting, on a previously developed site, and includes mitigation measures, as identified in the EIR and MMRP, that reduce impacts to wildlife habitat to less than significant levels.

G. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision in

that, the Project is designed to avoid encroachments and conflicts with public easements in the site design.

H. The Vesting Tentative Subdivision Map provides, to the extent feasible, for future passive or natural heating or cooling opportunities, in that it would allow flexibility in the development standards to maximize the benefits of green building standards for site and building design.

4. Based on the findings set forth in this Resolution and the evidence in the Staff Report, EIR, MMRP, and such other evidence as received at the public hearings on this matter before the Planning Commission, the Planning Commission hereby recommends approval of the Vesting Tentative Subdivision Map to the City Council, substantially in the form on file as shown in the attached Vesting Tentative Subdivision Map and Conditions of Vesting Tentative Subdivision Map Approval, incorporated herein by this reference.

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5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 21st DAY OF FEBRUARY, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
REENA BRILLIOT  
ACTING DIRECTOR OF COMMUNITY  
DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Development Plans
2. Vesting Tentative Subdivision Map
3. Vesting Tentative Subdivision Map Conditions of Approval



# City of Santa Clara

## Meeting Minutes

### Historical & Landmarks Commission

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12/07/2023

6:00 PM

Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050

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#### **REVISED AGENDA - additional attachments have been added to RTC 23-1252**

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

• Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Webinar ID: 972 3326 2035

Public Comments prior to meeting may be submitted via email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

#### **PUBLIC PARTICIPATION IN ZOOM WEBINAR:**

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, you may leave the meeting.

**CALL TO ORDER AND ROLL CALL**

**Chair Vargas-Smith** called the meeting to order at 6:02 p.m.

**Present** 6 - Commissioner Michael Celso , Commissioner Amy Kirby,  
Commissioner Patricia Leung, Vice Chair Kathleen Romano,  
Commissioner Ed Stocks, and Chair Ana Vargas-Smith

**Absent** 1 - Commissioner Yvonne Inciarte

**A motion was made by Commissioner Stocks, seconded by  
Commissioner Leung, to excuse Commissioner Inciarte.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,  
Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**CONSENT CALENDAR**

**A motion was made by Commissioner Leung, seconded by Vice  
Chair Romano, to approve the Consent Calendar with a note to  
update the minutes to reflect the correct Chair and  
Commissioner titles in several places.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,  
Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**1.A** [23-1323](#) Historical and Landmarks Commission Minutes of October 5, 2023

**PUBLIC PRESENTATIONS****GENERAL BUSINESS**

2. [23-1347](#) Consideration of a Significant Property Alteration Permit for a 1,207 Square Foot Addition to a Historic Residence and a Variance to Eliminate the Requirement for a Two-Car Garage at 1277 Jackson Street

Public Speakers:

**Brandon Spencer**

**A motion was made by Commissioner Stocks, seconded by Vice Chair Romano, to recommend approval of the Significant Property Alteration Permit to the Planning Commission with the following updates:**

- **Correct the plans to address the discrepancy between the 8' vs. 9, basement ceiling height, while not modifying the basement windows (do not change their height)**
- **Modify the proposed kitchen window to a single pane awning style**
- **For all new windows, try to match the existing wood windows to the extent feasible**

**A motion was made by Commissioner Celso, seconded by Vice Chair Romano, to recommend approval of the Variance to the Planning Commission.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

3. [23-1348](#) Consideration of a Significant Property Alteration Permit for a 556 Square-Foot Addition to the Basement and a 590 square foot First Floor Addition to a Mills Act Residence and a Variance for the Construction of a New Nonconforming Garage at 324 Madison Street

Public Speakers:

**Tommy Tran**

**Rob Mayer**

**A motion was made by Commissioner Leung, seconded by Commissioner Kirby, to recommend approval of the Significant Property Alteration Permit to the Planning Commission with the following recommendations:**

- **Retain the existing chimney**
- **Differentiate the stucco on the new addition**

**A motion was made by Commissioner Leung, seconded by Commissioner Stocks, to recommend approval of the Variance to the Planning Commission.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

- 4. [23-1252](#) Consideration of an Environmental Impact Report for the Demolition of a Potentially Significant Structure to Construct a Residential Development with 22 Detached Single-Family Dwellings at 1957 Pruneridge Avenue

Public Speakers:

**Cory Kusich**

**Richard**

**A motion was made by Commissioner Celso, seconded by Commissioner Stocks, to recommend certification of the EIR to the Planning Commission and City Council with the following recommendations:**

- **Developer to create a memorial to the church (using the Architect William Mays' name) utilizing materials from the church in the memorial if the church is not relocated**
- **Return to the HLC to present the memorial design**

**Aye:** 5 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, and Chair Vargas-Smith

**Nay:** 1 - Vice Chair Romano

**Excused:** 1 - Commissioner Inciarte

- 5. [23-1324](#) Action on HLC Board and Committee Assignments

The Board and Committee assignments were updated as follows:

| <b>Board/Committee</b>                                     | <b>Lead/Alternate</b>        |
|--|------------------------------|
| Santa Clara Arts and Historic Consortium:                  | <b>Vargas-Smith / Romano</b> |
| Historic Preservation Society of Santa Clara:              | <b>Vargas-Smith / Leung</b>  |
| Old Quad Residents Association:                            | <b>Leung</b>                 |
| Development Review Hearing:                                | <b>Romano / Vargas-Smith</b> |
| BART/ High Speed Rail/ VTA BRT Committee:                  | <b>Vargas-Smith / Leung</b>  |
| El Camino Real Specific Plan Community Advisory Committee: | <b>Leung</b>                 |
| Downtown Precise Plan:                                     | <b>Vargas-Smith / Stocks</b> |
| Santa Clara Station Area Task Force:                       | <b>Leung / Stocks</b>        |

**STAFF REPORT**

- 1. Berryessa Adobe Maintenance

- 2. Training and Travel Request
- 3. Streetlight Banners for Historic Preservation Month

**Staff Liaison Rebecca Bustos** gave a verbal report of the price quotes for the banner design, fabrication, and installation/removal.

**A motion was made by Commissioner Leung, seconded by Vice Chair Romano, to establish a Banner Subcommittee with Chair Vargas-Smith, Vice Chair Romano, and Commissioner Kirby.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

**COMMISSIONERS REPORT**

- 1. Subcommittee Reporting - 20 minutes

- 2. Board/Committee

Lead/Alternate

|   |                      |
|---|----------------------|
| Santa Clara Arts and Historic Consortium                  | Leung / Romano       |
| Historic Preservation Society of Santa Clara              | Vargas-Smith / Leung |
| Old Quad Residents Association                            | Leung / Romano       |
| Development Review Hearing                                | Romano /Vargas-Smith |
| BART/ High Speed Rail/ VTA BRT Committee                  | Vargas-Smith/ Vacant |
| Zoning Ordinance Update                                   | Romano / Vacant      |
| El Camino Real Specific Plan Community Advisory Committee | Leung                |
| Downtown Precise Plan                                     | Vargas               |

**ADJOURNMENT**

The meeting was adjourned at 9:44 p.m.

**A motion was made by Commissioner Leung, seconded by Vice Chair Romano to adjourn the meeting.**

**Aye:** 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Vice Chair Romano, Commissioner Stocks, and Chair Vargas-Smith

**Excused:** 1 - Commissioner Inciarte

The next regular scheduled meeting is Thursday, January 4, 2024

**MEETING DISCLOSURES**



The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
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## Agenda Report

23-1252

Agenda Date: 12/7/2023

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### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### SUBJECT

Consideration of an Environmental Impact Report for the Demolition of a Potentially Significant Structure to Construct a Residential Development with 22 Detached Single-Family Dwellings at 1957 Pruneridge Avenue

#### BACKGROUND

On September 6, 2022, SCS Development Company filed an application for a Planned Development (PD) Rezoning to construct a single-family residential development consisting of 22 detached two-story homes, a private street, and associated on- and-off site improvements at 1957 Pruneridge Avenue. The proposal requires a rezone of the 2.47-acre property from Public, Quasi-Public, Public Park or Recreation (B) to PD Planned Development and a Vesting Tentative Tract Map to subdivide the property into individual for-sale lots and a common lot for use as a utility corridor and vehicle access. Redevelopment of the property as proposed includes the demolition of all existing structures and site improvements. The proposal is consistent with the Very Low Density Residential General Plan designation assigned to the property which allows residential development up to 10 dwelling units per acre (du/ac). The proposal provides nine du/ac.

The existing site was developed for assembly uses (religious worship and education) and is consistent with the current zoning of the property. The site contains the St. Mark's Episcopal Church complex, including a single-story parish hall and administration building connected to a two-story classroom building constructed between 1955-1958 and a church building constructed in 1964. The buildings are concentrated in the center of the site and are surrounded by a surface parking lot to the north, west, and east and a landscaped setback fronting Pruneridge Avenue to the south. The property borders commercial development to the east and west and single-family residential tracts to the north. Across Pruneridge Avenue to the south are a mix of commercial development and single-family residences.

The parish hall / administration / classroom building was constructed in phases and has undergone alterations over time. It is a wood framed U-shaped structure with stucco finish and mix of mid-century modern and Spanish colonial architectural styles. The parish hall has a pitched red tile roof with broad eaves and gable roof. Stacked glass panel windows are arranged in a vertical pattern on the south and east elevations. Varied window styles are located horizontally on the north elevation. The administration building links the parish hall and classroom. It has a shingled pitched roof with broad eaves and knee braces. The windows are arranged horizontally along the west and east elevation and includes a row of colored glass windows on the west elevation. The two-story classroom section has a flat roof and exterior staircase with metal railing that provides access to the second-floor balcony. Windows are symmetrically arranged along the first and second floor elevations.

The church building is rectangular and is considered unique for its structural system and architectural style. It consists of eight concrete arch frames with side wings that extend outside the building to support the roof eaves. Inside, the arches span across the interior of the building. Side walls between the concrete arches are designed with vertical panes of glass separated by wood mullions and glazed with rectangular pieces of colored glass in abstract patterns. A pictorial colored glass window is mounted above two wood-hinged doors on the west building elevation / front entrance to the church. Paired vertical panels of colored glass are present at the east end of the building on the north and south sides of the building and a small Blenko-style colored glass panel is present on the rear wall on the church facing east. The building architecture is a blending of mid-century modern, brutalist and Spanish colonial with a pitched red tile roof and stucco cladding on the exterior elevations.

In accordance with Section 18.106.060 of the Historic Preservation Ordinance, the proposed demolition permit application and EIR are being referred to the HLC for a recommendation on whether to grant, modify, or disapprove the demolition permit application. The HLC recommendation will be forwarded to the City Council.

### **DISCUSSION**

The existing buildings are greater than 50 years in age and were evaluated for potential historical and architectural significance in accordance with the California Environmental Quality Act (CEQA). A Department of Recreation Form 523 ("DPR") was prepared by Bonnie and Marvin Bamberg of Urban Programmers to record and evaluate the building complex, landscape features, and historic context in March 2023. A peer review of the analysis was conducted by Patricia Kallan of Archeological/Historical Consultants in May 2023. These two documents are combined and provided as Attachment 2 and incorporated for analysis in the preparation and publication of the Draft Environmental Impact Report (DEIR) for the project.

The criteria for evaluation are those of the National Register of Historic Places, the California Register of Historical Resources (CRHR) and the City of Santa Clara's Historical Preservation Element for local significance. The analysis concluded that the buildings are not eligible for listing on the National Register of the Historic Places as they are not associated with an event or entity significant in the history of Santa Clara, the State, or the Nation; and that the National Register may not consider the history of religious facilities to avoid any appearance by government as to the validity of any religious belief, except in circumstances of very significant architecture. Applying the CRHR criteria, the analysis concluded that the buildings are not eligible for listing as a significant resource as they are not associated with people or events of significance in history; that the site has been disturbed/redeveloped such that it is not likely to yield information important to the prehistory or history of the local area, California or the Nation; and that the existing buildings are a mix of architectural styles that do not represent a specific architectural style or period of construction.

Based on the City's local criteria, Saint Mark's complex of religious buildings does not meet the criteria for significance under the Santa Clara Criteria. However, Saint Mark's Episcopal Church, as an individual building, is eligible for designation as a qualified historic resource due to its unique structural system and mix of materials in construction.

Based on the project's consistency with the General Plan and the development of needed for-sale housing units, staff recommends that the HLC recommend approval to the City Council to certify the EIR for the proposed demolition and development of the 22-unit residential project.

**ENVIRONMENTAL REVIEW**

An Environmental Impact Report was prepared for the project by the environmental consultant firm David J. Powers & Associates, in accordance with the California Environmental Quality Act (CEQA). The Draft Environmental Impact Report (DEIR) and Notice of Availability were posted on the City's website and circulated for a 45-day review on November 17, 2023 and ending on January 2, 2024, in accordance with CEQA requirements.

The DEIR examined potential environmental impacts associated with project development and identified significant impacts on biological, cultural resources, and geology and soils. Mitigation measures were identified for implementation that would reduce most of the significant project development impacts to less than significant levels. Although mitigation measures will be implemented regarding the demolition of the eligible resource, the mitigation will not reduce the impact to less than significant. Therefore, significant unavoidable project level and cumulative cultural resources impacts were identified to remain with demolition of the church building. All other resource areas would experience a less than significant impact with project development.

When considering a project, CEQA requires decision-makers to balance economic, legal, social, and technological, or other benefits of a proposed project against its unavoidable environmental risks when determining whether to approve the project. To approve a project that has a significant unavoidable environmental impact, decision-makers must make findings, supported by substantial evidence, that the specific economic, legal, social, technological, or other benefits of a proposed project outweigh the unavoidable environmental effects. In accordance with CEQA Guidelines 15124 (b), the applicant has identified project objectives for evaluation of the proposed project and the City has considered a range of alternatives in the DEIR for consideration in the findings or statement of overriding considerations. Statements of overriding considerations may include the need to develop additional housing at a time when housing is in great need.

**PUBLIC CONTACT**

The notice of public meeting for this item was posted at three locations within 300 feet of the project site and mailed to property owners within 1,000 feet of the project site boundaries. Consistent with AB 52, formal notification of the proposed project and consultation request was provided to the Native American Tribes listed by the Native Heritage Commission with association to the area. The City did not receive a response from the Tribal representatives requesting consultation. At the time of preparation of this report, the Planning Division has not received any public or agency comments.

**RECOMMENDATION**

Staff recommends that the Historical and Landmarks Commission recommend that the City Council certify the Environmental Impact Report for the proposed demolition and new residential development with 22 detached single-family dwellings at 1957 Pruneridge Avenue.

Prepared by Debby Fernandez, Associate Planner  
Reviewed by: Rebecca Bustos, Principal Planner  
Approved by: Lesley Xavier, Planning Manager

**ATTACHMENTS**

1. [Link to Draft Environmental Impact Report](#)

2. DPR Evaluation
3. Development Plans

# 1975 Pruneridge Avenue Residential Project

## Environmental Impact Report

[https://www.santaclaraca.gov/Home/Components/BusinessDirectory/  
BusinessDirectory/483/3649](https://www.santaclaraca.gov/Home/Components/BusinessDirectory/BusinessDirectory/483/3649)





ARCHAEOLOGICAL/HISTORICAL CONSULTANTS

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May 30, 2023

**Re: Peer Review of DPR 523 forms for 1957 Pruneridge Avenue, Santa Clara**

### *Introduction*

This memorandum presents a peer review of the DPR 523 form prepared by Bonnie Bamberg of Urban Programmers (UP) for the building complex and landscape features at St. Mark's Episcopal Church, 1957 Pruneridge Avenue, Santa Clara, California. The building complex consists of the church, classrooms, and parish hall buildings, all constructed between 1955 and 1964.

This peer review will address the following topics:

- organization, clarity, and formatting of the DPR 523 forms;
- adequacy of the building description;
- adequacy of the historic context research;
- adequacy and accuracy of the National Register of Historic Places, California Register of Historic Resources and Santa Clara Criteria for Local Significance evaluations for the property; and
- editorial suggestions.

### *Organization and Clarity*

A historic resources evaluation (HRE) usually consists of a stand-alone report on the history of a property and its structures, with an evaluation of whether any historical resources are present on the property as defined in the CEQA Guidelines (at §15064.5). Historical resources may include archaeological sites, historic architecture, and historic landscapes that are eligible for the California Register of Historical Resources.

An HRE report is usually accompanied by California Department of Parks and Recreation (DPR) 523 forms, which are the standard format for recording historic resources in California. When prepared as an appendix to a longer HRE report, DPR 523 forms usually present a short form of the historic context, building description, and CRHR evaluation contained in the longer report. Sometimes, as in this project, DPR 523 forms are submitted to clients in lieu of a separate report, and in these cases they typically include a fuller historic context discussion and more detailed CRHR evaluation.

For this project, UP prepared DPR 523 forms and a cover letter, but not a separate HRE report. Generally, the prose is clear and readable, the forms are well-organized, and all of the necessary fields are filled out. We would suggest combining the historic context discussions into one section for clarity. There are also many errors in spelling and formatting that should be addressed in a revision. Please see "Editorial Suggestions" below for specific details.



### *Building Description*

The Urban Programmers DPR 523 forms provide a good description of the building complex and landscape features at St. Mark's Episcopal Church. The character-defining features list is useful and seems appropriate.

However, the educational building's former use as a preschool is not mentioned and should be noted. It was operating as St. Mark's preschool from the mid 1990s to at least 2015.

If the authors want to add additional detail, the March 17, 2023 letter report by FIBA Structural Engineers also provides a more detailed description of the structural system of the church.

### *Historic Context Research*

The historic context statement is used to establish the context in which the buildings should be evaluated. In this DPR 523 form, the context is split between page 25 ("Architectural Context") and page 29 ("Historical Context and Theme"). It would be more effective to have a single historic context statement.

The historic context provides detailed information on the history of the parish and a biography of William May, while providing an outline history of Santa Clara and of mid-century modern building techniques. Many of the details presented in the history section lack citations, making it impossible to verify the information presented. The authors should cite their sources when revising the DPR 523 forms.

With respect to the architectural context (p.25-26), it would be useful to discuss changes taking place in church architecture during this period. The 1950s and 1960s saw the uses of new material and mid-century idioms in many churches, and sometimes changes in layout (the "church in the round"), along with a shift in focus from exterior to interior space that tracked with trends in residential and commercial construction during this period. This was a period of significant theological change, with many denominations seeking to modernize worship and some becoming involved in progressive social reforms during this period (see comments below). The most relevant academic source on this appears to be Geva (2019), but popular articles by Florian (2022) and Henderson (2022) provide a good overview.

The history of St. Mark's Parish (p.26-27) provides a detailed overview of the construction history, but does not clearly cite the sources used by the authors. (The pamphlet and directory cited are not in the bibliography.) It should be noted that the 1988 St. Mark's History and Directory names John Galagan as the first Vicar, followed by John Haverland, with Ward McCabe arriving in 1959. McCabe himself is worthy of more discussion: he served as Rector from 1959-1984, throughout the period of potential significance. McCabe was known for social, political, and economic justice activism in the local community and had letters frequently published in local and national newspapers. He was among the first Episcopal priests to train women for the priesthood. His obituary and that of his wife, Evelyn, provide additional information (*Mercury News* 2004, 2011), and numerous articles in the *News* and *Mercury* covered his activities during his period of rectorship.

The biography of William May (p.27-28) provides many interesting details of his life, though again the source for some of this information is unclear and should be cited. The DPR 523 forms also indicate on page 28 that "although research was conducted in several repositories, there was no listing for any other building designed by Bill May." Later on page 28 the following statement also appears: "research did not uncover any other architectural project that was directly associated with William N. (Bill) May."

Although the Urban Programmers evaluators were unable to locate evidence of any other works of architect William May, Archaeological/Historical Consultants' preliminary research for this project found mention of many other works by May in local newspapers, along with coverage of awards that May had won, including the 1971 "Certificate of Merit" from the American Plywood Association and the 1965-66 Western Home Awards Program sponsored by Sunset Magazine and AIA. A list of 13 of May's works and citations are included as an

attachment to this memorandum; further research may identify more. He was an active local architect, and his works should be discussed to provide a basis for evaluating the significance of his work under Criterion 3.

The historical context provided for Santa Clara (p.29-30) also lacks any citations. It would be useful to discuss the dates and architectural character of nearby subdivisions and commercial districts, in order to determine whether St. Marks is part of any potential historic district in the area.

### *National Register Evaluation*

The proposed project does not have a Federal nexus, and therefore criteria for identifying historic resources for compliance with the California Environmental Quality Act (CEQA) is the California Register of Historical Resources. An evaluation under National Register of Historic Places criteria is not required for this report and should be deleted.

### *California Register Evaluation*

#### *Criterion 1*

While it does not appear that important events occurred at St. Mark's Episcopal Church, it is not clear to the reviewers that "suburbanization and retail growth" are the only patterns of history that apply to the property. Christian social movements of the mid-20<sup>th</sup> century might be another appropriate pattern to discuss.

#### *Criterion 2*

This section should discuss whether the building is significant for its associations with Ward McCabe and William May. McCabe appears to have had some local reputation for his social justice activism and to have been involved in national movements such as the ordination of women priests in the Episcopal Church. May was a locally active architect whose life was closely associated with the church, as evidenced by his role as an active member and his burial on-site. While we think it unlikely, the discussion should consider whether the careers of these individuals and their association to the property are significant enough for eligibility under this criterion.

#### *Criterion 3*

The DPR 523 forms indicate that none of the buildings at St. Mark's Episcopal Church are eligible under Criteria 3 because they do not "embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master or possess high artistic value" (page 33).

In the context of Archaeological/Historical Consultants' historical research about William May and his architecture outlined below, we recommend that the evaluator reconsider their conclusion that the church is not eligible for the California Register under Criterion 3. Apparently May had designed other buildings that, like St. Mark's Episcopal Church, exhibited innovative sculptural forms and engineering (referred to stylistically as Brutalism or Expressionism), such as the 1961 "Circle House" in Los Gatos which consists of three overlapping circles with a kitchen in the middle to take advantage of the views. The St. Mark's Episcopal Church building by itself may "embody the distinctive characteristics of a type, period, region, or method of construction."

Moreover, the Criterion 3 evaluation should consider the church building in the context of the development of religious architecture during the 1950s and 1960s, where major changes in spatial organization in many churches corresponded with the use of modernist materials and idioms. Is May's work typical of this period and type of architecture?

#### **Criterion 4**

Information potential in a historic resource can also include information about building materials and construction techniques. If a building itself contains information that is not otherwise accessible through documentary sources, it is possible that it may be eligible under this criterion. While this is unlikely to be the case for this project, we would recommend including a statement about the information potential of the building itself.

We would recommend removing the language about archaeological potential, since the authors do not appear to have prepared an archaeological study for this project.

#### **Santa Clara Local Register**

We agree with the authors' evaluation of the property under the Santa Clara Criteria for Local Significance.

#### **Editorial Suggestions**

##### **General**

The DPR 523 forms have many errors in spelling and punctuation that should be corrected. A few examples include "alter" for "altar", "NTHP" for "NRHP", "Dioses" for "Diocese", and the spacing between the comma and "Santa Clara" in the header on most pages. Double spaces, missing parentheses, inconsistent fonts, and orphan sentence fragments should also be corrected.

##### **Page 1**

- The NRHP status code should also be on the Primary Record.
- In *P3b: Resource Attributes*, HO2 is not a valid code for DPR523 forms. The appropriate code appears to be HP16 (Religious Building).
- The Primary Record states that Bonnie Bamberg prepared the forms, while the Building, Structure, and Object Record lists three authors. Please clarify.

##### **Page 2**

- For "alter" read "altar"
- The page starts with a sentence fragment; it looks like something is missing.

##### **Page 4**

- Photograph 1 should have each building labeled, and a north arrow would be helpful.

##### **Page 5**

- There is a sentence fragment at the bottom of the page.

##### **Page 25**

- For "NTHP" read "NRHP"
- The map on the Building, Structure, and Object record (page 25) is not a sketch map, but rather shows the vicinity of the building. The DPR 523 form should include at minimum a sketch map of the project area. Preferable would be a full-page site plan indicating the locations of each building with text labels, a north arrow, and a scale.

##### **Page 27**

- Mention that the memorial garden dates to the 1990s (church dedication plaque dates it to 1994).
- For "Dioses" read "Diocese"

*Page 28*

- The name of May's wife is spelled two different ways in this section. Her obituary suggests that it should be "Edmonds" rather than "Edmondson".
- An architectural draftsman is typically a full-time employee. It is a professional position, not held only by interns.

*Page 39*

- For "alter" read "altar" (several locations)

*References Cited*

Geva, Anat

2019 *Modernism and American mid-20th century sacred architecture*. London: Routledge.

Henderson

2022 "The Theological Angle of the Mid-Century Modern Craze." *Common Good Magazine*. Available at: <https://commongoodmag.com/the-theological-angle-of-the-mid-century-modern-craze/>; accessed May 30, 2023.

Florian, Maria-Cristina

2022 "Sacred Modernity: An Exploration of the Modernist Movement in Mid-Century Holy Architecture." *Architecture Daily*, 27 June 2022. Available at: <https://www.archdaily.com/984046/sacred-modernity-an-exploration-of-the-modernist-movement-in-mid-century-holy-architecture>, Accessed 30 May 2023.

*Mercury News*

2004 "William Ward McCabe, fought for social justice – South Bay minister helped get hospital for poor build in S.J." November 23, 2022. Available at: [https://infoweb.newsbank.com/apps/news/openurl?ctx\\_ver=z39.88-2004&rft\\_id=info%3Asid/infoweb.newsbank.com&svc\\_dat=AMNEWS&req\\_dat=0ED7205AB93FC626&rft\\_val\\_format=info%3Aofi/fmt%3Akev%3Amtx%3Actx&rft\\_dat=document\\_id%3Anews%252F10082EEF8ACA56F7](https://infoweb.newsbank.com/apps/news/openurl?ctx_ver=z39.88-2004&rft_id=info%3Asid/infoweb.newsbank.com&svc_dat=AMNEWS&req_dat=0ED7205AB93FC626&rft_val_format=info%3Aofi/fmt%3Akev%3Amtx%3Actx&rft_dat=document_id%3Anews%252F10082EEF8ACA56F7), accessed November 23, 2022.

2021 "Evelyn Dull McCabe." April 11, 2021. Available at: [https://infoweb.newsbank.com/apps/news/openurl?ctx\\_ver=z39.88-2004&rft\\_id=info%3Asid/infoweb.newsbank.com&svc\\_dat=AMNEWS&req\\_dat=0ED7205AB93FC626&rft\\_val\\_format=info%3Aofi/fmt%3Akev%3Amtx%3Actx&rft\\_dat=document\\_id%3Anews%252F181CC0E4285F6360](https://infoweb.newsbank.com/apps/news/openurl?ctx_ver=z39.88-2004&rft_id=info%3Asid/infoweb.newsbank.com&svc_dat=AMNEWS&req_dat=0ED7205AB93FC626&rft_val_format=info%3Aofi/fmt%3Akev%3Amtx%3Actx&rft_dat=document_id%3Anews%252F181CC0E4285F6360), accessed November 23, 2022.

Attachment: Works by William May

*Works & Awards*

- 1958 The Brookside Club, Saratoga. May was the architect of the first tennis and swim club in Saratoga, built on three acres with a pool, three courts, and play and leisure areas. May is photographed with the Saratoga mayor at the groundbreaking ceremony (Los Gatos Times 1958; San Jose Mercury News 1958a-b; San Jose Evening News 1958).
- 1958 Red Cottage Motel, El Camino Real, Menlo Park. This 26-unit "luxury garden-type motel" was designed by May while he was with the firm of Kurt Gross and built by John E. McCarthy and Sons (The Peninsula Times Tribune 1958; San Mateo Times 1958).
- c. 1961 The Circle House, 17681 Foster Rd, Los Gatos. May designed this house for the Rosen family. It consists of three overlapping circles with a kitchen in the middle to take advantage of the views and was built using reinforced concrete masonry with wood accents throughout the house. This house was featured in the San Francisco Examiner and San Jose Mercury News (Blum 1964; Befame 1965)
- 1964-5 San Jose State Kappa Gamma Sorority Chapter House, 360 S 11<sup>th</sup> Street, San Jose. May was the consulting architect on the three-story, Georgian colonial style house, designed by Francis Schmitz (San Jose Mercury News 1964; Marquardt 1965).
- c. 1965 Harveys Residence, Magdalena Ave, Los Altos. May designed this house for the Harveys family. It consists of three pagoda-style buildings linked by trellises set amongst oak trees. This house was featured in the San Jose Mercury News (Befame 1965a).
- 1965 William May of San Jose won a Special Award in the 1965-66 Western Home Awards Program sponsored by Sunset Magazine and AIA. Winners were to be featured in the Oct 1965 issue of Sunset (San Mateo Times 1965).
- c. 1967 Gray Vacation Home, Lake Berryessa. May designed this vacation retreat on the lake for the Gray family. It was a three-story building with a steeply pitched roof, glass walls, and three deck areas that were stepped down so as not to obstruct views. This house was featured in the San Jose Mercury News (Befame 1967).
- c. 1968 Johnston Residence, 13434 Old Oak Way, Saratoga. May designed this two-story house for the Johnston family on a steep site surrounded by oak trees. It had a chopped gable roof, L-shaped floor plan, and floor-to-ceiling windows, and the exterior was stained to match the surrounding oaks. This house was featured in the Los Gatos Times-Saratoga Observer and the Sunday Mercury-News (Befame 1973; Tennison 1973).
- 1968 The firm of William May & W.G. McElhinney of San Jose won runner up in a design contest for a new Palo Alto Airport. The firm won a prize of \$2,000 (Palo Alto Times 1968).
- c. 1973 Cypress Point Apartments and Villas, Mountain View. William May and William McElhinney designed this 300 plus-unit development for Thrust IV. Described as surrounded by lawns and man-made pools and lagoons, the apartments were clad in plywood with simple single-sloped roofs. May and McElhinney received from the American Plywood Association a Plywood Design Awards Citation of Merit, Residential/Multi-Family Category, for "outstanding structural and aesthetic uses of plywood." This project also received an award from the City of Mountain View for its outstanding design (San Mateo Times 1973; Palo Alto Times 1973, 1975; San Jose Mercury News 1976b).

- c. 1975 Whalers Cove Development, Schwan Lake, Santa Cruz. May designed 28 split-level villas for this Thrust IV development. The villas had vaulted wood plank and beam ceilings with skylights (San Jose Mercury News 1975).
- c. 1976 Cypress Point Woods Townhouses, Mountain View. May designed two-bedroom and three-bedroom plans for this approximately 80-unit Thrust IV development (Palo Alto Times 1975; San Jose Mercury News 1976b).
- c. 1976 Sylvan Avenue Development, Mountain View. This Thrust IV development was announced in 1976 and planned 45 single family homes designed by William May (San Jose Mercury News 1976a).

### References

#### Befame, Jeannette

- 1965a A Tree House In 3 Sections. *San Jose Mercury News* 10 January:6-7.
- 1965b Hilltop Home is Built In-The-Round. *San Jose Mercury News* 21 March:12-13.
- 1967 Vacation Retreat Or Second Home. *San Jose Mercury News* 31 December:6-7.
- 1973 Seeing The House For The Trees. *Sunday Mercury-News* [San Jose] 24 June:California Today 10-11.
- 1976a Thrust IV Planning Mountain View Homes. 4 January:100.
- 1976b Pre-Construction Sale Begins For Townhouses. *San Jose Mercury News* 10 July:91.

#### Blum, Walter

- 1964 Circles and Scenery. *San Francisco Examiner* 6 December: Pictorial Living 26-30.

#### Los Gatos Times

- 1958 Club has ground breaking. 14 October:7.

#### Marquardt, Reed

- 1965 There's No Place Like Home. *San Jose Mercury News* 17 October:99.

#### Palo Alto Times

- 1968 Palo Alto firm wins airport design prize. 24 January:2.
- 1973 Cypress Point wins design award. 24 April:8.
- 1975 Developer buys land in Mt. View. 9 September:26.

#### Peninsula Times Tribune [Palo Alto]

- 1958 \$250,000 motel started in MP. 10 March:6.

#### San José Mercury News

- 1958a Saratoga Club Plans Described. 1 May:3.
- 1958b Saratogans Cut Ground For New Brookside Club. 19 October:57.
- 1964 Sorority Starts Residence Hall. 23 April:50.
- 1975 Whalers Cove Down To 3. 21 September:131.

#### San Jose Evening News

- 1958 Private Saratoga Club Gets City Use Permit. 1 May:13.

#### San Mateo Times

- 1958 "Red Cottage Motel groundbreaking." 11 March: 21.
- 1965 Foster City Homes Capture Award; 443 Contest Entries. 25 September:21, 26.
- 1973 Architects, Designer Win Merit Citations. 12 May:13.

#### Tennison, Debbie

- 1973 Unique Saratoga home reflects family's lifestyle. *Los Gatos Times-Saratoga Observer* 11 September:2.

State of California **The Resources Agency**  
**DEPARTMENT OF PARKS AND RECREATION**  
**PRIMARY RECORD**

Primary #  
 HRI #  
 Trinomial  
 NRHP Status Code

Other  
 Review Code

Reviewer

Date

Listings

Page 1 of 39 \*Resource Name or #: (Assigned by recorder) 1957 Pruneridge Ave. Santa Clara  
 P1. Other Identifier: Saint Mark's Episcopal Church

\*P2. Location:  Not for Publication  Unrestricted

\*a. County Santa Clara and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_; R \_\_\_; \_\_\_ of \_\_\_ of Sec \_\_\_; \_\_\_ B.M.

c. Address 1957 Pruneridge Ave. City Santa Clara Zip 95051

d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 5392832.72 mE/ 4132031.11 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)  
APN 303-03-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The parcel contains a complex of buildings developed for St. Mark's Episcopal Congregation for religious worship and education. Buildings constructed prior to 1968 are modest, utilitarian designs, with red tile facing the courtyard and broad eaves, as a nod to the Spanish Colonial and California Mission style in one and two-story buildings. The sanctuary, constructed in 1968, is an unusual building set apart and distinct from the others, with landscaping to fit the religious values of the congregation.

Buildings c.1955-1958. The attached wood-framed buildings form a "U" in plan with a two-story building on one side, a single-story in the center and a slightly taller hall building at the other side. The parish hall faces the open end of the "U", with a courtyard side entrance.



\*P3b. Resource Attributes: (List attributes and codes) HO 2

\*P4. Resources Present:  Building  Structure  Object  Site  
 District  Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Front façade  
December 21, 2022

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both

\*P7. Owner and Address:  
SCS Development Company  
404 Saratoga Ave. # 100  
Santa Clara CA 95050

\*P8. Recorded by: (Name, affiliation, and address) Bonnie Bamburg  
Urban Programmers  
10710 Ridgeview Ave.  
San Jose CA  
95127

\*P9. Date Recorded: 3/15/2023

\*P10. Survey Type: (Describe)  
Intensive

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

## CONTINUATION SHEET

Page 2 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

with stucco siding. The two-story classroom building is a rectangular form with a flat roof and parapet facing into the courtyard. Below the parapet, a shed roof with red tile covers an exterior walkway on the second level. This stylistic detail supported by square posts give the building a minor nod to Spanish Colonial style. Windows and doors are standard sliding systems with intragratal frames.

The center administration building has similar windows. The pitched roof is covered with shingles and has a wide overhang eave on the east facing into the courtyard. The eaves cover the walkway in front of the building and are supported by square posts.

At the other end is the Parish hall that served as the sanctuary before the church was constructed. This building has a pitched roof with shingles and stucco siding. Glass panels are in the east end and on the rear (west) wood strips form a simple vertical pattern. A cross is on the ridge of the roof. It appears that Kriss, Goudt & Kriss provided the conceptual designs. Ruth and Going was the engineer for the project.

In 1964 a new sanctuary was permitted and completed in 1968.<sup>1</sup> The building was constructed to face toward the older buildings. The building sits on an exposed aggregate pad that extends to the front creating a patio or gathering space. The church building was designed with an unusual structural system consisting of eight concrete arche frames with side extensions (wings). The arches have their footings below the slab floor of the church. The wings on the arches extend outside to support the eaves of the roof acting like large rafters. The red tile roof dominates the building. Inside, the arches span across the interior of the rectangular building. A keystone element in the top of the arch suggests the two sides were cast separately and joined in the center.<sup>2</sup> The interior wood ceiling does not reveal how the arches are structurally connected. The front entrance wall exhibits a pictorial colored-glass window above sets of hinged wood doors with narrow insets of colored glass. The side walls between the arches have a long window opening that are divided with wood mullions and glazed with rectangular pieces of colored glass in abstract patterns. A raised alter area is at the east end of the space. A pipe organ was removed from this area leaving the wall unfinished. The rear of the building houses administrative and utilitarian functions and its exterior is sheathed in stucco. A utilitarian rear door and a small Blenko-style colored-glass panel exist in the otherwise blank wall.<sup>3</sup>

The building was designed at the end of the Mid-century Modern era and captures

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<sup>1</sup> Santa Clara Building Permit 1964-27592

<sup>2</sup> Architectural plans were not available

<sup>3</sup> Marc Haeger, Haeger Stained Glass Studio, was asked to visit the building and evaluate the glasswork. During an interview on March 14, 2023, he said the glass was not unusual and was currently available from glass supply companies. The wood mullions looked tight and of good craftsmanship. However, the structure to hold the glass pieces in place is deteriorating in several places. <sup>3</sup>



## CONTINUATION SHEET

Page 3 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

the melding of the Brutalist style with heavy concrete forms that were beginning to be seen in the late 1960s-70s in architectural design. At the same time there is a sense of Spanish Colonial of the early California missions in the arches and spaces. The church design blends the heavy concrete with the warmth and light quality provided by the colored glass walls. The overall design and mix of materials is unusual in the religious architecture of Santa Clara.

The landscaping was designed as part of the religious program. Although it is overgrown, and has lost some of the character, there are numerous small statues and markers along a winding path. The stand of mature trees create spaces for the winding path where small concrete benches and biblical sayings are etched or applied to several concrete boxes with religious art that appear to have been lighted. The design appears to have been created by a professional landscape architect.

### Character-defining Features

#### Classroom Building and Parish Hall

##### The two-story Classroom

- Form and mass
- smooth stucco
- Exterior corridor on the second floor
- Square posts
- Red tile roof

##### Parish Hall

- Rectangular gable-end building
- Knee-braces under the eaves
- Vertical windows under the gable
- Smooth stucco

##### Church Building

- Exposed aggregate base and patio space
- Rectangular form and scale
- Low sloping roof of red tile, curved ends
- 8 concrete formed arches extending beyond the eaves
- Front doors with colored glass insets
- Pictorial Window above entry doors
- Wood Mullions on side windows
- Colored glass windows on both sides of the building.

## CONTINUATION SHEET

Page 4 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

P5b continued: Photographs.



Photograph 1 1957 Pruneridge Avenue, Santa Clara  
View: aerial photograph of the Saint Mark's Episcopal Church complex.  
Source: Google Earth Pro, 2022

## CONTINUATION SHEET

Page 5 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 2 1957 Pruneridge Avenue, Santa Clara  
View: Front façade showing the aggregate front patio and pad with the Concrete arch forming the covered entrance. Red tile curves over the eaves along the gable.

lower wall.

**CONTINUATION SHEET**

Page 6 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 3 1957 Pruneridge Avenue, Santa Clara  
View: North façade showing the heavy mullions in the windows and smooth stucco.

## CONTINUATION SHEET

Page 7 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 4 1957 Pruneridge Avenue, Santa Clara  
View: North façade showing rear portion of the building with smooth stucco and vertical windows.

**CONTINUATION SHEET**

Page 8 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 5 1957 Pruneridge Avenue, Santa Clara  
View: Side (South) facade showing the ends of the arches and window pattern.

## CONTINUATION SHEET

Page 9 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 6 1957 Pruneridge Avenue, Santa Clara  
View: Rear (East) façade showing the stucco wall with the former  
landscaped area under the trees.

## CONTINUATION SHEET

Page 10 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 7 1957 Pruneridge Avenue, Santa Clara  
View: Front of the Church showing the artistic entry doors and pictorial window above.



## CONTINUATION SHEET

Page 11 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 8 1957 Pruneridge Avenue, Santa Clara  
View: Interior (south wall) of the church showing the arches, ceiling  
and window pattern.

**CONTINUATION SHEET**

Page 12 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 9  
View: Interior (north wall).

1957 Pruneridge Avenue, Santa Clara

## CONTINUATION SHEET

Page 13 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 10 1957 Pruneridge Avenue, Santa Clara  
View: Windows of the rear portion of the building with grilles for security.

**CONTINUATION SHEET**

Page 14 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 10 1957 Pruneridge Avenue, Santa Clara  
View: window detail. On the left is a Blenko-style vertical window in a concrete setting. On the right is a section of the side window with wood mullions and wood frames.

**CONTINUATION SHEET**

Page 15 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 11 1957 Pruneridge Avenue, Santa Clara  
View: Looking east at the rear of the classroom and parish hall complex.

**CONTINUATION SHEET**

Page 16 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 12 1957 Pruneridge Avenue, Santa Clara  
View: Interior of courtyard showing the administration wing and two-story classroom building.

**CONTINUATION SHEET**

Page 17 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 13 1957 Pruneridge Avenue, Santa Clara  
View: Courtyard next to the Parish hall with a broad overhanging roof  
covering the walkway.

## CONTINUATION SHEET

Page 18 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 14 1957 Pruneridge Avenue, Santa Clara  
View: The two-story classroom building that faces south in the courtyard.



**CONTINUATION SHEET**

Page 19 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 15 1957 Pruneridge Avenue, Santa Clara  
View: Single-story admin building on the south side of the courtyard.

## CONTINUATION SHEET

Page 20 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 16 1957 Pruneridge Avenue, Santa Clara  
View: South side of the Parish hall.

## CONTINUATION SHEET

Page 21 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 17 1957 Pruneridge Avenue, Santa Clara  
View: East end of the Parish hall with broad overhanging eaves with angular downspouts on the south façade.

**CONTINUATION SHEET**

Page 22 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 18 1957 Pruneridge Avenue, Santa Clara  
View: East of the Church landscaped area with mature trees religious  
statuary and benches.

# CONTINUATION SHEET

Page 23 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



Photograph 19 1957 Pruneridge Avenue, Santa Clara  
View: Artifacts from the overgrown landscaping.



# CONTINUATION SHEET

Page 24 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023 X Continuation Update

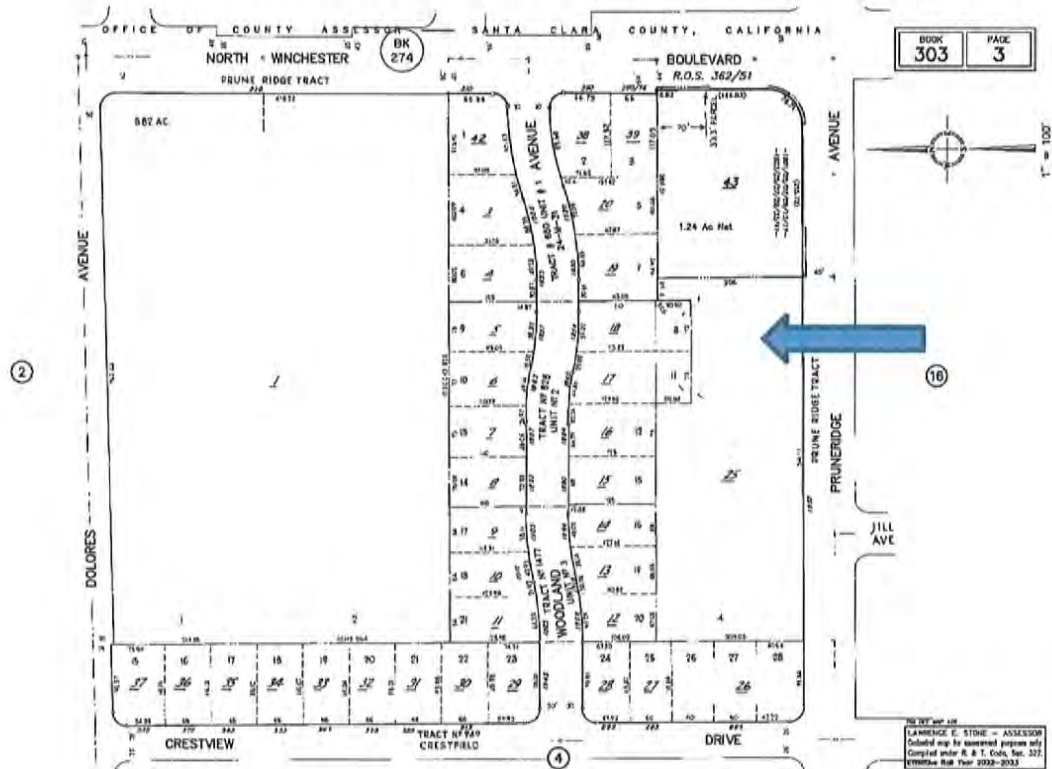


Figure 1 Santa Clara County Assessor's Map; Book 303 page 03 Parcel 25 Pruneridge Avenue, Santa Clara

**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. Santa Clara \*NRHP Status Code 5B

Page 25 of 39

B1. Historic Name: Saint Mark's Episcopal Church

B2. Common Name: Saint Mark's Episcopal Church and School

B3. Original Use: Religious Education and Worship B4. Present Use: Vacant

\*B5. Architectural Style: Modern Variation with Spanish Colonial and Brutalist elements

\*B6. Construction History: (Construction date, alterations, and date of alterations)  
School and Social Hall complex 1955-1958 Church Sanctuary 1968

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:  
Mature trees, landscaping, memorial Garden

B9a. Architect: School Unknown Church William N. May Builder: Don Gordon Construction Co.

\*B10. Significance: Theme Architecture-Religious Area Santa Clara

Period of Significance 1968-2020 Property Type Church Applicable Criteria NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Saint Mark's Episcopal Church complex is not eligible for listing in the California Register of Historical Resources or NTHP. The complex is not eligible as a historic resource in Santa Clara, however Saint Mark's Church is eligible for designation as a separate building under the Santa Clara Historical Resource Criteria for architectural significance. The building meets the criteria for a qualified historic resource.

Saint Mark's Church (1968 sanctuary) is an unusual building due to the structural system of 8 concrete arch forms joined at the roof allowing the light frame walls of colored glass. The modern design, using concrete arches with footings set in a slab foundation, is in the Brutalist style, yet the sculptural design of the arches is graceful and overall the building has an element of historicism in the Colonial architecture of the California Missions. The system is not found in other religious buildings in Santa Clara. The architect, William May, was a member of the congregation and had a history of employment with structural engineering firms that may have influenced the design.

Architectural Context: Santa Clara was growing in population and with both commercial and industrial development. Many of the industrial buildings were constructed of

B11. Additional Resource Attributes: (List attributes and codes) HP16

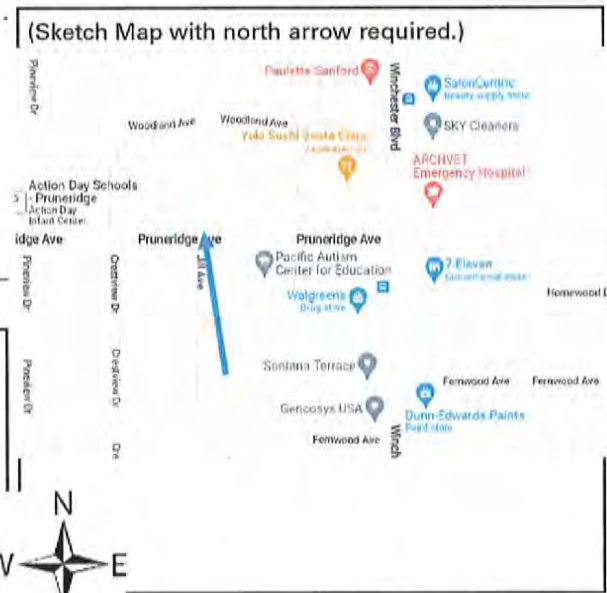
\*B12. References:  
See attached

B13. Remarks:

\*B14. Evaluator: Bonnie Bamberg, Marvin Bamberg  
AIA, William Zavlaris MUP

\*Date of Evaluation: 3/15/2023

(This space reserved for official comments.)



## CONTINUATION SHEET

Page 26 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

B 10 Significance continued:

concrete panels or structural systems that were fabricated before being installed. Concrete was an efficient material that allowed larger spaces to be free of columns and replaced the wood framing or poured-in-place concrete of the pre-WWII era. Architects were moving toward the Brutalist era that began in England in the 1950's and to California in the 1960's. Brutalism focused on exhibiting the structure, usually appearing heavy and long lasting. In this style, materials have little additional ornamentation and rely on the structure to provide light patterns.

### History of Saint Mark's Episcopal Parish and Buildings.

The congregation was founded in 1955 as an outreach mission sponsored by Trinity Episcopal Church in San Jose. At that time, the City of Santa Clara had a population of 22,000 and was expected to grow significantly. The congregation from Trinity purchased 3 acres of an apricot orchard with a house for \$10,000 to develop the new facility. Initially the house was used for services, but it was inadequate and the group moved to the American Legion Hall for services. Within a year Saint Mark's congregation had acquired plans for a religious complex of three buildings - a two-story school, a single-story administration building and a meeting hall that would serve as the church sanctuary. Records from the congregation show the membership volunteered to do much of the construction. Over the decade 1955-1965, alterations and expansions were made to the original buildings.<sup>1</sup> The congregation continued growing. In 1959 Rev. Ward McCabe became the first Vicar, and a part-time secretary was hired. In 1962, St. Marks was established as a Parish, no longer a Mission of Trinity Church. The next year the congregation made plans to construct a church building. In 1964, building permit 1964-27592 was issued by the City to build a new church building (sanitary).

William May, a member of the congregation, was selected as the architect for the new building. May was a partner with William McElhinney. Ruth and Going were the civil engineers, and Don Gordon, General Contractor, was selected to build the church. Building permit 1964-27595 was issued in 1964. The building was completed and a formal consecration ceremony was held in 1968.<sup>2</sup>

The complex of buildings that was Saint Mark's Episcopal Church at 1957 Pruneridge were developed and used exclusively for religious purposes, including education, social welfare and programs that furthered the religious mission of the Episcopal Church. In addition to the church

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<sup>1</sup> Santa Clara Building Permits are listed at the end of this section.

<sup>2</sup> St. Mark's History- a pamphlet of the Congregation .



## CONTINUATION SHEET

Page 27 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

building, Saint Mark's created a Memorial Garden for the parish to inter the cremated remains of parishioners. The area to the north of the sanctuary building appears to have been the Memorial Garden, and to the east (rear of the building), the area was landscaped with a winding path and religious statuary and icons. The exterior wall held small plaques listing those who were interred in the Memorial Garden.

In 1980 there were approximately 96 members of the Parish, many were single women, and few were families with young children.<sup>3</sup> By 2010 the congregation had declined, until it was no longer able to accept the financial burden of the clergy and property. In 1980, Saint Mark's became part of the El Camino Diocese that extends from Palo Alto south to San Louis Obispo. In meetings with the congregation and Diocese, the decision was made to close St. Mark's Parish. On February 20, 2022 a deconsecration ceremony was held; it was the last time the congregation would meet at Saint Mark's Church. The property reverted to the El Camino Diocese. In 2022 the property was placed for sale and was purchased by SCS Development company. Plans have been submitted to the City of Santa Clara for a residential subdivision on the property.

Architect William N. May. William Norman (Bill) May was born on January 17, 1923, in Queens Long Island, New York. From his early life he was surrounded by building construction; his father was an engineer, and by 1930, when the U.S. Census was enumerated, the family was living in Illinois and his older brother was a carpenter. While living in Illinois, William attended Southern Illinois University where he studied architecture and met Georgia Edmondson - his future wife. His education was disrupted by WWII, and he joined the U.S. Marine Corps. In 1944, while stationed in Fredrick, Oklahoma, he married Georgia Edmonds, who he met in Illinois. The next year he spent in Italy as a draftsman in the military. At the completion of his military service, he joined his wife in Berkeley California where she had worked in the nearby shipyard as a welder during the war.<sup>4</sup> Bill May finished his architectural degree at the University of California Berkeley in 1948. During his student years, he belonged to Scabbard and Blade the Military Fraternity.<sup>5</sup> While a student and after he graduated, May worked as a draftsman for a structural engineering firm.<sup>6,7</sup> During the family's time in Berkeley, a son and daughter were born. The family moved to the lower peninsula in 1952, and purchased a house in Sunnyvale in 1954. After moving south, Bill May worked for the firm of

<sup>3</sup> 1980 St Mark's Directory.

<sup>4</sup> Obituary Georgia Edmondson May, San Jose Mercury News, May 4, 2006

<sup>5</sup> Blue & Gold, University of California Berkeley Yearbook, 1948

<sup>6</sup> Berkeley City Directory, 1945-1948, U.S. Census 1950

<sup>7</sup> U.S. Census 1950 Berkeley California

## CONTINUATION SHEET

Page 28 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

Kriss, Gooudt & Kriss with offices in San Jose.<sup>8</sup> In 1957 he was working as a draftsman (architectural intern) for Kurt Gross Architect, 363 Park Avenue, San Jose. Bill May opened his architectural office at 1565 The Alameda and moved to 919 The Alameda in 1963 only to return to 1565 The Alameda the following year. From 1967 to 1974 he was in a partnership, May & McElhinney, with offices at 914 Hedding Street, San Jose. Prior to the partnership, William Glen McElhinney had worked for Bender and Curtis, Architects in San Jose. The partnership dissolved and McElhinney opened his own office in Palo Alto. Subsequently Bill May had a partnership with Leonard Winston.<sup>9</sup> Bill May retired before 1980; afflicted with Alzheimer's disease, he passed away at his home in Sunnyvale on October 27, 2001.<sup>10</sup> His ashes were interred at Saint Mark's Church Memorial Garden. His name plaque has been removed from the building.

Although research was conducted in several repositories, there was no listing for any other building designed by Bill May.

### Research methodology:

Standard research methods were used in compiling the history of Saint Mark's Episcopal Church, 1957 Pruneridge Avenue, Santa Clara, and information about the architect William Norman (Bill) May and the architecture of the building.

Repositories included, Santa Clara Library, California Room of the Dr. Martin Luther King Main Library, San Jose, San Jose building permits. San Jose Mercury News collection, and Santa Clara Valley Chapter of the American Institute of Architects scrapbooks that are archived at History San Jose. The internet was used in accessing Ancestry.com and the California Newspaper collection maintained by U.C. Riverside. Contributing to this Architectural assessment and description were Marvin Bamberg AIA Historic Architect, and William Zavlaris MUP and Architectural Historian for several surveys in Santa Clara. Additional research was attempted by interviewing architects who worked in the Winston & May office. Pam Yoshida was interviewed by phone and follow up email. We also sent letters to the children and granddaughter of Bill and Georgia May requesting information about buildings he had designed (January 2023). No response to the letters has yet been received. Research did not uncover any other architectural project that was directly associated with William N. (Bill) May.

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<sup>8</sup> San Jose City Directory

<sup>9</sup> Email, Pam Yoshida who worked with Bill May during the partnership Winston -May..

<sup>10</sup> Obituary, Georgia Edmonson May, San Jose Mercury News, May 4, 2006

## CONTINUATION SHEET

Page 29 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

### EVALUATION OF HISTORICAL AND ARCHITECTURAL SIGNIFICANCE

For the purposes of this report, the criteria used to evaluate the property are those of the National Register of Historic Places, the California Register of Historical Resources, and the City of Santa Clara's Historic Preservation Element in the General Plan and the Zoning Ordinance.

### HISTORICAL CONTEXT AND THEME

The historical context (an element of the City's history and heritage) with the theme of architecture during the period of 1960-2000 was used to evaluate the subject property, buildings, and site. The context contains a time, theme, and categories by which to consider potential historic resources.

In the decades following WWII, the population of the City grew as new residents were attracted to the emerging high-tech companies in and around Santa Clara. It was also a time when veterans started or returned to college using the G.I. Bill and often settled in the area. People who had been sent to internment camps returned to claim property or start new lives. Families needed housing and the agricultural lands offered flat terrain that easily accepted subdivisions for homes, commercial and industrial development. By the mid-1950s, the population of Santa Clara, like the rest of what became Silicon Valley, was growing. The City was developing to meet the needs and desires of the population for goods and services, schools, parks and religious facilities. Along major transit corridors, El Camino Real, Stevens Creek Blvd, and lesser throughfares like Pruneridge Avenue and Homestead Road, orchards were replaced with development, housing tracts, strip centers, schools and churches. Larger centers included department stores such as The Emporium and mid-sized anchors like Mervyns.

What came to be known as the "strip center" was often only small businesses grouped in a line facing the street with several diverse businesses that served the local community. They occasionally contained a grocery market, "destination" retail, or single-purpose retail such as furniture sales that drew customers from a much larger area. Churches and schools were thought of as augmenting residential neighborhoods and were stand-alone developments that were sprinkled throughout the City.

The study area. Pruneridge Avenue between N. Winchester and Crestview

## CONTINUATION SHEET

Page 30 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

is typical of the mix of uses on an important corridor, retail, religious and residential.

### EVALUATION OF HISTORICAL SIGNIFICANCE

The evaluation considers, Saint Mark's Episcopal Church facilities as a group, but divides the development with the 1955-1958 buildings in one group and the 1968 church considered as a separate building due to the difference in age and architectural design. The architecture and existing conditions were evaluated during a field survey conducted in December 2022 and again in March 2023.

### EVALUATION USING THE NATIONAL REGISTER CRITERIA

#### National Register of Historic Places - Standards (Criteria)

The National Register of Historic Places has established standards for evaluating the significance of resources that are important in the heritage of the Nation. Historic resources may be considered important at the local, state, or national level. To apply the standards the resource must be considered within significant historical contexts. The standards, age, and integrity statements are as follows:

1. A property must be fifty years old or meet additional criteria.
2. The resource must retain architectural and historical integrity from the period of significance.
3. The resources must meet at least one of the following four criteria.
  - a. are associated with events that have made a significant contribution to the broad patterns of our history; or
  - b. are associated with the lives of persons significant in our past; or
  - c. embody the distinctive characteristics of a type, period, or method that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
  - d. have yielded, or may be likely to yield, information important in prehistory or history.

Criterion of age: The buildings were constructed in 1955-1968 and are over fifty years old.

Evaluation of Integrity: The subject property retains the original aspects of location, materials, workmanship, design, setting, and the sense of feeling of a Mid-century religious complex. Some alterations have

## CONTINUATION SHEET

Page 31 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

occurred, however these have not been significant. The aspect of association is not met because the property is not associated with an event or entity significant in the history of Santa Clara, the State, or the Nation.

The category is Religion - a religious facility.

The National Register may not consider the history of religious facilities to avoid any appearance of judgement by government as to the validity of any religious belief. Religious facilities may only be considered for listing if they exhibit very significant architecture or high artistic quality.<sup>11</sup>

Criterion a: The era of suburbanization and population growth that occurred from the mid-1950s and into the 1980s is represented in the development of this property. However, the National Register further clarifies the broad events with the word significant "*with events that have made a significant contribution to the broad patterns of our history.*" The subdivision and subsequent development of this individual property, without other events associated with the property, is not considered to have exceptional individual significance at the level required by the National Register of Historic Places. Further, the National Register may not consider the religious history of a property

Criterion b: Research did not uncover any sectarian event associated with a person of importance.

Criterion c: The complex of buildings is designed in an efficient layout and style for religious services and education. The classroom and parish hall group is of minor architectural design with a small influence of Spanish Colonial. The church building is a mix of late Mid-century Modern and Brutalist influences, however, this is not sufficient for the National Register. The Register requires "*buildings embody the distinctive characteristics of a type, period, or method that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction.*" The religious complex is not eligible for the National Register of Historic Places under Criterion C. or Criteria Consideration C Religious Property.

Criterion d: The property has been extensively redeveloped, which disturbed the shallow soil cover. It is, therefore, unlikely that the property will yield additional information about history or prehistory. However, an archeological survey was not part of this evaluation.

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<sup>11</sup> Categories for significant secular associations also may apply

## CONTINUATION SHEET

Page 32 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

Conclusion: The buildings are not eligible for individual listing in the National Register of Historic Places because they do not meet any of the four criteria.

### EVALUATION USING THE CRITERIA OF THE CALIFORNIA REGISTER

The criteria for listing in the California Register of Historical Resources are consistent with those for listing resources in the National Register of Historic Places but have been modified for state use in order to include a range of historical resources which better reflect the history of California. A historical resource must be 50 years old and significant at the local, state, or national level. The State criteria follows the National Register of Historic Places in not considering the history of a religious property unless it had association with significant secular vents or persons. The following are the four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.
4. It has yielded, or is likely to yield, information important to the prehistory or history of the local area, California, or the Nation.

In addition, the resource must retain enough of its historic character or appearance to be recognizable as a historic property and to convey the reason for its significance. The building constructed in the decades 1950-1970 are evaluated because there are some instances where a building that is close to 50 years old may be found to be significant when it reaches the 50-year mark.

Criterion of age: The structures on site were constructed from 1955-1968 and are over fifty years old.

Evaluation of Integrity: The subject property retains the original aspects of location, materials, workmanship, design, setting, and the sense of feeling of a Mid-century religious facility. The aspect of association is not met because the property is not associated with a secular event or person significant in the history of Santa Clara, the State, or the Nation.

Criterion 1 *It is associated with events that have made a significant*

## CONTINUATION SHEET

Page 33 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

*contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.*

The era of suburbanization and commercial growth that occurred in the mid-1950s is represented in the development of this property. However, the subdivision and subsequent development of a religious facility without a significant secular association is not considered individually significant within the broad pattern of suburbanization and retail growth at the level required by the California Register of Historical Resources.

Criterion 2. *It is associated with the lives of persons important to local, California, or national history.*

Research did not uncover a significant secular person associated with the religious property in a manner that was completely different from the religious purpose of the property. The property is not associated with people whose influence was significant, and that is required under criterion 2.

Criterion 3. *It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.*

The complex of buildings is designed in an efficient layout and style for religious services and education. The classroom and parish hall group is of minor architectural design with a minor influence of Spanish Colonial. The church building is a mix of late Mid-century Modern and Brutalist influences with an unusual structural system. The California Register of Historical Resources requires "It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values" The buildings in the Saint Mark's religious facility do not meet criterion 3.

Criterion 4 *It has yielded, or is likely to yield, information important to the prehistory or history of the local area, California, or the Nation.*

The property has been extensively redeveloped, and therefore, the shallow soil cover has been disturbed. Therefore, it is unlikely that the property will yield additional information about history or prehistory. This study did not include an archaeological records search.

## CONTINUATION SHEET

Page 34 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

Conclusion. The religious facility or any building does not appear eligible for individual listing in the California Register of Historical Resources under any of the four criteria.

### INTEGRITY OF THE BUILDINGS AND SITE

When a property is determined eligible for listing in the California Register or the National Register it is necessary to evaluate the integrity based upon 7 aspects, location, design, craftsmanship, materials, setting, feeling and association. The buildings on the subject property were not determined eligible for either register. They were not evaluated further for individual integrity.

### CITY OF SANTA CLARA GENERAL PLAN regarding Historic Properties:

The Santa Clara General Plan provides that *Structures of historic or architectural significance shall be identified and documented, and efforts shall be made to preserve them.*

The Municipal Code Section 18.58.030 - Designation

*...the historical Landmarks Commission shall consider the listings in the National Register of Historic Places, the California Historical Landmarks Program, the Santa Clara County Preliminary Inventory of Historic Landmarks, and City's historical survey, and other compilations of historical buildings and sites. The Commission shall evaluate the proposed landmark for its historical or cultural uniqueness or as an outstanding local example of an architectural style or building techniques.*

*The Santa Clara Municipal Code does not exclude religious property from being designated a historic landmark if it meets the criteria adopted by the City Council.*

### Criteria for Local Significance (Adopted by the City Council on April 8, 2004):

#### Qualified Historic Resource

*Any building, site, or property in the City that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical, or archeological significance is potentially eligible.*

#### Criteria for Historical or Cultural Significance

*To be historically or culturally significant, a property must meet at*



## CONTINUATION SHEET

Page 35 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

least one of the following criteria:

1. The site, building, or property has character, interest, integrity, and reflects the heritage and cultural development of the City, region, State, or Nation.
2. The property is associated with an historical event.
3. The property is associated with an important individual or group who contributed in a significant way to the political, social, and/or cultural life of the community.
4. The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
5. A building is directly associated with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
6. A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings, or agricultural setting.

### Criteria for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder, or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.
5. The property has a visual symbolic meaning or appeal for the community.
6. A building has unique or uncommon building materials or a historically early or innovative method of construction or assembly.
7. A building has notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork, or functional layout.

### Criteria for Geographic Significance

## CONTINUATION SHEET

Page 36 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

To be geographically significant, a property must have at least one of the following features:

1. *A neighborhood, group, or unique area that is directly associated with broad patterns of local area history.*
2. *A continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.*
3. *An intact, historical landscape or landscape features associated with an existing building.*
4. *A notable use of landscaping design in conjunction with an existing building.*

### **Evaluation considering the criteria for local significance.**

Criteria for historical or cultural significance: *The buildings do not meet the criteria for significance under Historical or cultural significance.*

Criteria for architectural significance: *2,3,6.*

2. *The property is identified with a particular architect, master builder, or craftsman.*

St. Mark's Church was designed by and is identified with William n. (Bill) May AIA- Architect. Bill May practiced architecture in the local area and was a member of St. Mark's Episcopal Church

3. *The property is architecturally unique or innovative.*

St. Mark's Church is unique and innovative in the use of cast concrete arches for a religious building.

6. *A building has unique or uncommon building materials or a historically early or innovative method of construction or assembly.*

St. Mark's has an uncommon use of formed concrete arches in the structural system of the building.

7. *The property is architecturally unique or innovative. A building has notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork, or functional layout.*

## CONTINUATION SHEET

Page 37 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

St. Mark's Church has a notable aesthetic in the fenestration inset with rectangles of colored glass in an abstract pattern.

### Criteria for Geographic Significance:

The religious complex does not appear to have any geographic significance.

**Conclusion of the evaluation for Local significance.** Saint Mark's complex of religious buildings does not meet the criteria for significance under the Santa Clara Criteria. However, Saint Mark's Episcopal Church, as an individual building, meets 4 criteria elements under Architectural Significance and is eligible for designation as a qualified historic resource.

### **SOURCES CONSULTED:**

In addition to the R.L. Polk Publishing Company City Directories, official records of the Santa Clara County Recorder, and those of the Santa Clara County Assessor, the following resources were consulted. Publications are listed in the footnotes.

### **Records of St, Marks.**

Pamphlets and notes from the administration of St. Mark's were used during the research.

### **PUBLISHED WORKS**

City of Santa Clara - General Plan

Caughey, John W., CALIFORNIA, Prentice Hall Inc., Englewood, NY, 1953.

Lichenstein, Bea, Images of America Santa Clara, Arcadia Publishing Co., San Francisco, 2004.

Polk, R. L. Publishing company, City Directories for Santa Clara & San Jose, Oakland and Berkeley; 1870-1984

Rifkind, C. A Field Guide to American Architecture, Times Mirror, New York, 1980.

## CONTINUATION SHEET

Page 38 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

Sanborn Insurance Publishing Company - Maps 1887, 1891, 1915-1966

Santa Clara Historical and Landmarks Commission, Tour of Historical Santa Clara, undated

Santa Clara Chamber of Commerce, website for economic data business categories

State of California, Office of Historic Preservation, Instructions for Nominating Historical Resources to the California Register of Historical Resources, 1997.

State of California, California Register of Historical Resources (data listing)

Sheuh, Sam Images of America Silicon Valley, Arcadia Publishing Co., San Francisco, 2009.

Thomson & West, 1876 Historical Atlas of Santa Clara County. California.

United States Department of the Interior, National Register Bulletin - How to Apply the National Register Criteria for Evaluation, 1997.

### Official Records-

Notice of Completion: November 10, 1955

Notice of occupancy June 1968

05/04/2018

BLD1989-077960

Building Permit

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Received

BLD1988-077598

Building Permit

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Received

11/17/2011

BLD2011-27210

Building Permit

Remove existing roof. Add IB roof system PVC 60 mil. Add two roof membrane vents. Install new gutters - 108 ft. (C of O is B-2 as of 1964)

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled

11/15/2000

## CONTINUATION SHEET

Page 39 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave. ,Santa Clara

\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update

BLD2000-14438

Building Permit

RENEWED\*\*\*\*\*REPLACING EXISTING SIGN / NEW FOOTING

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Expired



07/07/1998

BLD1998-118576

Building Permit

2 POLE LIGHTS, 4 FLOOD LIGHTS; ADD ELEC

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled



07/16/1997

BLD1997-114303

Building Permit

ADD 6 CEIL. LIGHT/FANS; ALTER INTERIOR

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled



06/24/1992

BLD1992-093178

Building Permit

ALTER A 2 STORY 480 SF (EXIST) INTERIOR TYPE VN GROUP E3 MF = 2

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled



06/29/1988

BLD1988-077960

Building Permit

ALTER BUILDING FOR ORGAN TYPE VN GROUP A2 ADD LIGHTS

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled



11/12/1986

BLD1986-72740

Building Permit

ADD A 144 SF STORAGE SHED TYPE VN GROUP M2

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled



02/13/1964

BLD1964-27592

Building Permit

ERECT A 1 STORY CHURCH BUILDING TYPE V IHR GROUP B-2 CO = #1661

1957 PRUNERIDGE AV, SANTA CLARA CA 95050

Finalled

## CONTINUATION SHEET

Page 40 of 39 \*Resource Name or # (Assigned by recorder) 1957 Pruneridge Ave., Santa Clara  
\*Recorded by: Urban Programmers \*Date 3/15/2023  Continuation  Update



09/24/1958  
BLD1958-17035  
Building Permit  
ERECT A 2 STORY SUNDAY SCHOOL BUILDING TYPE V-B3  
1957 PRUNERIDGE AV, SANTA CLARA CA 95050  
Finald



12/28/1955  
BLD1955-11424  
Building Permit  
ERECT PARISH HALL AND CLASSROOMS, TYPE 5  
1957 PRUNERIDGE AV, SANTA CLARA CA 95050  
Finald



## REZONING CONDITIONS OF APPROVAL

### GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

### ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

### COMMUNITY DEVELOPMENT

#### BUILDING DIVISION

- B1. Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
  - a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- B2. The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
  - a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- B3. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml) . All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page
  - <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- B4. No construction code review or analysis is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of



all spaces (-CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
  - The grade level lobbies shall be minimum 1 hour rated all sides and above.
  - All stair shafts shall be minimum 1 hour rated.
  - All elevator shafts shall be minimum 1 hour rated.
  - All trash chute shafts shall be minimum 1 hour rated.
  - Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - Any trash rooms shall be minimum 1 hour rated all sides and above.
- B5. The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- B6. Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, Public Works / Engineering, Fire Prevention, Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO's.
- B7. See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- B8. This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022 See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
- Chp. 15.36 – Energy Code for “all electric” provisions for new construction.
  - Chp. 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.

#### HOUSING & COMMUNITY SERVICES DIVISION

- H1. In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 22 units for-sale residential development. The Applicant shall provide not less than fifteen percent (15%) of the units (or 3.3 units) to affordable households made available at affordable sales prices to extremely low, very low, low and/or moderate-income households as long as the distribution of affordable units averages to a maximum of one-hundred (100) percent of Area Median Income. All prices are set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). Applicant shall be responsible for cost incurred under the Building Energy Efficiency Standards – Title 24 for the each affordable for- sale residential unit. Additionally, where the calculation of affordable housing requirements results in a

fractional unit, the Applicant shall either pay an In-Lieu Fee or the Applicant shall provide an additional unit to satisfy the requirement. Any in-lieu fee payment due to the City by the Applicant shall be payable prior to the issuance of the certificate of occupancy. The in-lieu fee amount shall be equal to the difference between the unrestricted appraised market value ("Initial Market Value") and the Affordable Sales Price of one of the BMP units at completion, multiplied by the fractional unit. The Initial Market Value of the last BMP unit sold shall be the basis for calculating the in-lieu fee to be paid by Applicant.

- H2. Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price for the Affordable Units at Lot 14, 15 and 22, and apply all terms and covenants guaranteeing the prescribed affordability. Satisfaction of the affordable housing obligation shall be memorialized in the AHA and subject to City Council approval. There will be a fee for the preparation of the AHA in the amount of \$4,020 which will be due prior to execution of the AHA. Please note all fees are based on the current Municipal Fee Schedule in effect at the time the project is approved

#### PLANNING DIVISION

- P1. Submit plans for final architectural review to the Planning Division for Architectural Committee review and approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, irrigation plan, signage, and stormwater management plan.
- P2. The Developer must provide third party verification of the stormwater management plan for conformance with C3 requirements as part of the architectural submittal.
- P3. Submit complete landscape plans, including irrigation plan and composite utility and tree layout overlay plan, for Planning Department review and approval with installation of required landscaping prior to the issuance of occupancy and or final building permits. Landscape plan to include type and size of proposed trees. Type and size of tree replacement on project site shall be at the direction of the City Arborist and require Planning review and approval. Coordinate with the Street Department and City Arborist for the type, location, installation and maintenance of street trees fronting the project site along the public right-of-way. Installation of root barriers and super-soil may be required with the installation of trees where electric, water, and sewer utilities are in proximity.
- P4. The overlay plan is to show the location of all utilities, storm drains, catch basins, sewer mains, joint trenches, building footprints, driveways, walkways, and trees. Trees are required to be 10 feet from public water, storm and sewer facilities unless a City approved Tree Root Barrier (TRB) is used. If a City approved TRB is used the TRB must be a minimum of five feet from the public water, storm and sewer facility with the tree behind the TRB and specified on the plan. Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Planning and Inspection.
- P5. Developer shall construct a complete street section along the project frontage of Pruneridge Avenue to include a 5-foot landscape strip with 4.5-feet of clear planting width and a 5-foot sidewalk behind the landscape strip. The landscape strip is to include trees (minimum 24-inch box) and drought tolerant plantings.
- P6. Submit as-built on-site plans prepared by a registered civil engineer showing all utilities serving the subject property.
- P7. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. As this project involves land area of one acre or more, the Developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A stormwater pollution prevention plan is also required with the NOI.

- P8. The Developer shall submit a truck hauling route for demolition, soil, debris and material removal, and construction to the Director of Community Development for review and approval prior to the issuance of demolition and building permits.
- P9. Minor changes to individual homes, landscaping, or other minor plan elements would be subject to Planning Division review and approval of a Minor Adjustment to an approved project, or through Architectural Review, subject to the discretion of the Director of Community Development.
- P10. Project site landscaping shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval. Trees permitted by the City for removal shall be replaced at a 2:1 ratio with 24-inch box specimen tree, or equal alternative as approved by the Director of Community Development.
- P11. Developer shall submit to the City Covenants, Conditions and Restrictions (CC&R's) or equivalent instrument assigning and governing perpetual maintenance of the common lots, private street/vehicle access driveway, on-site and street frontage landscaping in good condition for the life of the Project, prior to issuance of building permits. Said document shall be recorded along with the Title for each property with the Santa Clara County Recorder's Office.
- P12. The Covenant, Conditions and Restrictions for this project shall include language that precludes exclusive storage use of the garage and obstruction of parking spaces in the garage by storage, shall and requires property owners to maintain garages for parking purposes.
- P13. Garages shall be accessible for parking and labeled as such on the building permit plans.
- P14. Overhead garage storage shall be offered as a design option in each of the units.
- P15. Provide automatic garage door openers and roll-up garage doors.
- P16. Each garage shall be equipped with electrical vehicle charging stations.
- P17. HVAC units shall be screened from view along the public right-of-way.
- P18. Individual garbage and recycling containers shall be kept out of sight from the public right-of-way and private driveway until collection day.
- P19. Applicant shall comply with all the construction and on-going mitigation measures described in the adopted Mitigation Monitoring and Reporting Program to the satisfaction of the Director of Community Development. The Mitigation and Monitoring and Reporting Program shall be included in all construction plan sets.
- P20. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved roads) shall be watered two times per day, except on days when rain occurs.
- P21. All visible mud or dirt track-out onto the adjacent public right-of-way shall be removed using wet power vacuum street sweeper at least once per day. The use of dry power sweeping shall be prohibited.
- P22. Additional dust and noise abatement measures may be on the project site at the discretion of the Community Development Director to provide additional sound attenuation and fugitive dust abatement as described in the project Mitigation Monitoring and Reporting Program. This may include additional noise monitoring and installation of a temporary noise control blanket barrier, if necessary, along building facades facing construction sites if conflicts occurred which are irresolvable by proper scheduling.
- P23. This approval has been issued in reliance upon the developer's assurance that no natural gas infrastructure will be installed at any time, and is an express basis for granting the PD rezoning. No natural gas infrastructure shall be installed on the project site. If the developer seeks to install natural gas infrastructure in the future, the developer must first seek an amendment to the PD zoning.

## **FIRE**

- F1. Prior to Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup:
- Department of Toxic Substances Control (DTSC);
  - State Water Resources Control Board; or
  - Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

- F2. Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.
- F3. Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F4. Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F5. Prior to Building Permit Issuance, any EVAE's or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment
- F6. Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the PCC process. None of these discussions are binding and can only be formally approved through submitting an Alternate Means and Measures (AMM) permit. The AMM permit is formally documenting that and still needs to be submitted.
- F7. Please be aware that emergency rescue openings are required for this project per California Residential Code R310 and locations should be on the front or back side of the house (not the side of the house).

## **PARKS & RECREATION**

- PR1. This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 66 residents (2.98 persons/household x 22 units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.1967-acres. The equivalent fee due in lieu of parkland dedication is therefore \$1,378,608.

- PR2. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City.
- PR3. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before a project is deemed complete by Planning.
- PR4. Dwelling Unit Tax: a dwelling unit tax (DUT) in the amount of \$700 is also due based on the number of units and additional bedrooms per City Code Chapter 3.15.

## **POLICE**

- PD1. The property should be fenced off during demolition and construction as a safety barrier to the public and deterrent to theft and other crime. Consider not having any screening material on the fence so passing Police Patrol checks will be able to see into the site.
- PD2. Address numbers should be a minimum of twelve (12) inches in height for commercial or industrial buildings. Consider illuminated numbers during the hours of darkness, and in a color that is contrasting to the background material. They shall be clearly visible from the street. Where multiple units or buildings occupy the same property, each unit/building address shall be clearly visible. A monument sign, preferably at all entrances to the property, should be prominently displayed showing all unit/building numbers, addresses, etc. A map is recommended for large complexes with multiple streets or walkways.
- PD3. If the project includes any benches, these benches should not be longer than 5 feet in length and should have arm rests at both ends. If the benches are longer than 5 feet in length, there should be a divider (arm rest or similar) in the middle of the bench in addition to the arm rests on both ends. This helps prevent unlawful lodging and/or skateboarding. Another option to benches could be cubes, knee walls, or other creative types of seating possibilities.

## **PUBLIC WORKS**

### **ENGINEERING**

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. All work within City of San Jose right-of-way shall require a City of San Jose encroachment permit.
- E5. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E6. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner

acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.

- E7. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E8. All storm drain mains and laterals, sanitary sewer mains and laterals shall be outside the drip line of mature trees or 10' clear of the tree trunk whichever is greater.
- E9. Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E10. Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E11. If requested, Developer/property owner shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.
- E12. Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E13. Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E14. Onsite pathways shall be dedicated as private easements, as needed.
- E15. After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E16. Pavement treatment shall be 2" grind and overlay with dig-outs for the full street width of Pruneridge Avenue.
- E17. Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction
- E18. Residential bicycle parking shall be a minimum of 8 Class I spaces (one per 3 dwelling units) and 2 Class II spaces (one per 15 dwelling units) per 2007 VTA Bicycle Technical Guidelines.
- E19. Class I and Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.
- E20. Submit Vehicle Miles Travel and vehicle trip calculations in accordance with the City transportation policy:  
<https://www.santaclaraca.gov/our-city/departments-g-z/public-works/engineering/traffic-engineering/transportation-analysis-policy-update>
- E21. Conduct a trip generation analysis for the project. A local transportation analysis (LTA) will be required if the project generates over 100 net new trips.

- E22. Landscape improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- E23. All on-site structures (including fences) must be clear of Driveway Visibility Clearance Areas per City Standard Detail TR-9.
- E24. Replace unused/abandoned driveways with new curb, gutter, and sidewalk.
- E25. Design and construct driveway in accordance with City Standard Detail ST-8.

## STREETS DIVISION

### Landscape

- L1. Include City of Santa Clara Tree Preservation/City Arborist specifications on all improvement plans.
- L2. No cutting of any part of public trees, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).
- L3. Identified existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City of Santa Clara prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.

### Solid Waste

- SW1. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at [Environment@SantaClaraCA.gov](mailto:Environment@SantaClaraCA.gov) or (408) 615-3080 for more information. All collection is to occur on private property using individual toters.
- SW2. The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines.
- SW3. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/> .
- SW4. Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.
- SW5. This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.

- SW6. Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.
- SW7. All refuse from all residential, commercial, industrial and institutional properties within the city shall be collected at least once a week, unless otherwise approved in writing (SCCC 8.25.120). Garbage service level required for residential developments (single-family and multi-family) as well as motels and hotels shall be no less than twenty (20) gallons per unit. All project shall submit to the Public Works Department the preliminary refuse service level assessment for approval.

### Stormwater

- ST1. Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter shall be submitted with the Plan.
- ST3. For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans.
- ST5. Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The City reserves the right to review the 3rd party inspection reports on the C.3 stormwater facilities installation.
- ST7. Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST8. As-Built drawing shall be submitted to the Public Works Department. Include C.3 Stormwater Treatment Facilities Construction general notes on the improvement plans.
- ST9. Permeable Pavement, Media Filter vaults, Interceptor Trees and Trash Full Capture Devices shall be inspected by a third-party reviewer and/or manufacturer representative for conformance with the details and specifications. If necessary, percolation test shall be performed to ensure proper installation. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST10. Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).



- ST11. The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Department - Environmental Services at (408) 615-3080 or [Street@SantaClaraCA.gov](mailto:Street@SantaClaraCA.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.
- ST12. Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST13. For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
- a. Direction of roof runoff into cisterns or rain barrels
  - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
  - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces
- Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.
- ST14. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST15. Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST16. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST17. All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.
- ST18. Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST19. The use of architectural copper is discouraged. If such material is used, all wastewater generated by the installation, cleaning, treating, or washing of the surface of copper architectural features, including copper roofs, shall not be discharged to the City's storm drain system.

### **SILICON VALLEY POWER**

- EL1. Drive Aisle A should be a 10' U.G.E.E if its only for electric and public tv and cable companies. Install a joint trench with public tv and cable conduits 1' away from the SVP conduits. This clearance only applies if all conduits are installed at the same time. Reference UG1000 standard for joint trench configuration. Phone and cable conduits should be placed on the side closer to the trees.
- EL2. Any streetlight foundations that conflict with the new location of the SVP trench along Pruneridge Ave, will need to be relocated further back from the front of curb.
- EL3. All streetlighting, low voltage, and fiber systems are to be designed during detailed design.

- EL4. All tie-in points shown on the utility plan along with electrical substructure will be needed prior to the removal of the overhead power lines.
- EL5. All electrical laterals serving parcels on the south side of Drive Aisle A may need easements if it's a private roadway. All easements for SVP should be a U.G.E.E (underground electric easement).
- EL6. Clearances: (Make sure job notes do not conflict with SVP clearance requirements)
  - a. EQUIPMENT
    - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
    - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
    - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
    - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
      - 1. Thirty (30) inches from side of equipment sides.
      - 2. Forty Eight (48) inches in front of access doors.
        - a. Barrier Pipes in front of access doors shall be removable.
  - b. CONDUITS
    - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
    - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
    - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
    - iv. Three (3) foot minimum clearance is required between sign-posts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
    - v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
    - vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
    - vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
  - c. VAULTS/MANHOLES
    - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
    - ii. Five (5) foot minimum clearance is required between adjacent conduits.
    - iii. Minimum 36" from face of curb, or bollards required.
  - d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
    - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
  - e. Guy Anchors

- i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).
  - f. Trees
    - i. OH 1230 for Overhead Lines
    - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- EL7. Reference listed SVP standards for clearances.
  - a. Installation of Underground Substructures by Developers
  - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
  - c. UG0339 – Remote Switch Pad
  - d. OH1230 – Tree Clearances From Overhead Electric Lines
  - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- EL8. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a “Load Survey” form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a “Service Investigation Form” and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. SVP will do exact design of required substructures after plans are submitted for building permits.
- EL9. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- EL10. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- EL11. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- EL12. Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per SVP Standard MS-G7, Rev. 2.
- EL13. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- EL14. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- EL15. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from an 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk. Transformer pad must be a minimum of 10’-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- EL16. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE’s or electric easements.
- EL17. Any relocation of existing electric facilities shall be at Developer’s expense.
- EL18. Electric Load Increase fees may be applicable.
- EL19. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes,

vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).

- EL20. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- EL21. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- EL22. Encroachment permits will not be signed off by SVP until Developers Work substructure construction drawing has been completed.
- EL23. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publicly-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1' clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- EL24. Proper clearance must be maintained from all SVP facilities, including a 5' clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- EL25. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.
- EL26. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- EL27. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

- EL28. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- EL29. High Rise Metering and Multi-Floor Infrastructure Requirements
- a. Refer to UG0250 – High Density Residential Metering Requirements
  - b. Refer to FO-1901 – Fiber Optic Splicing and Testing Methods
- EL30. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.
- EL31. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.
- EL32. In events where electric load demand exceeds 2MVA or service size exceeds 4000 Amps at 480V for a building, the Customer shall take service at 12KV. If electric load for a single metered location service exceeds 4.5MVA, additional 12KV service(s) may be provided. All 12KV utility connection points terminate at the Customer Switchgear. UGEE easement up to the Customer Switchgear is required, along with an 18’ drivable space. 10’ working clearance is required in front of and behind the switchgear. 5’ working clearance is required on the sides of the switchgear (with no panels). Customer 12KV Switchgear must be located outdoors on “real dirt” unless otherwise agreed upon with SVP. SVP owns and maintains the cable/conduit up to the customer switchgear.
- EL33. In events where electric service is provided at 120/208V or 277/480V the utility connection point is at the secondary compartment of SVP transformers. Customer owns and maintains the cable and conduits up to the SVP transformers.
- EL34. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

## **WATER & SEWER**

- W1. Recycled Water Ready: All onsite plumbing for non-domestic water uses (e.g. irrigation, industrial processes, cooling, etc.) shall be designed for recycled water use and shall comply with all Recycled Water regulations.
- W2. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W3. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12” minimum vertical clearance is maintained.

- W4. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W5. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W6. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W7. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W8. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W9. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W10. Landscaping: All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W11. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.

- W12. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W13. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W14. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W15. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.
- Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:
- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
  - b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation) .

## VESTING TENTATIVE SUBDIVISION MAP CONDITIONS OF APPROVAL

### GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

### ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

### COMMUNITY DEVELOPMENT

#### BUILDING DIVISION

- B1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- B2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- B3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- B4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division



shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
  - The grade level lobbies shall be min.1 hour rated all sides and above.
  - All stair shafts shall be minimum 1 hour rated.
  - All elevator shafts shall be minimum 1 hour rated.
  - All trash chute shafts shall be minimum 1 hour rated.
  - Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - Any trash rooms shall be minimum 1 hour rated all sides and above.
- B5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- B6. Informational: Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, Public Works./ Engineering, Fire Prevention, Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Department, with the Building Division being the final approval of all TCO.'s.

#### PLANNING DIVISION

- P1. Developer shall submit to the City Covenants, Conditions and Restrictions (CC&R's) or equivalent instrument assigning and governing perpetual maintenance of the common lot/private street in good condition for the life of the Project, prior to issuance of building permits. Said document shall be recorded along with the Title for each property with the Santa Clara County Recorder's Office.
- P2. The Covenant, Conditions and Restrictions for this project shall include language that precludes exclusive storage use of the garage and obstruction of parking spaces in the garage by storage, shall and requires property owners to maintain garages for parking purposes.
- P3. This approval has been issued in reliance upon the developer's assurance that no natural gas infrastructure will be installed at any time, and is an express basis for granting the PD rezoning. No natural gas infrastructure shall be installed on the project site. If the developer seeks to install natural gas infrastructure in the future, the developer must first seek an amendment to the PD zoning.

## **FIRE**

- F1. Prior to Building Permit Issuance, any EVAE's or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.

## **PUBLIC WORKS**

### **ENGINEERING**

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. All work within City of San Jose right-of-way shall require a City of San Jose encroachment permit.
- E5. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E6. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E7. Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E8. Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E9. Onsite pathways shall be dedicated as private easements, as needed.
- E10. After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.

## **SILICON VALLEY POWER**

- EL1. Remove overlapping PUE and UGEE on the north side of Drive Aisle A. It should only be a UGEE and you should install a joint trench to allow for SVP conduits and public tv/cable. In the joint trench configuration conduits need to go in at the same time, 1' apart. Reference UG1000 standard.

## **WATER & SEWER**

- W1. Related Approvals: Applicant shall comply with all related City approvals, entitlements, permits, or requirements associated with the subject property, unless explicitly superseded or revised by the Director of Water and Sewer Utilities.
- W2. Separate Services: Applicant shall provide separate water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way services for each parcel to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Services cannot cross a different parcel than the one it serves. No parcel shall be created that requires an easement from an adjacent parcel in order to be served. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W3. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.



**DEVELOPER**

SCS DEVELOPMENT COMPANY  
 404 SARATOGA AVENUE, SUITE 100  
 SANTA CLARA, CA 95050  
 (408) 985-6020  
 CONTACT: CORY KUSICH

**CIVIL ENGINEER**

CARLSON, BARBEE & GIBSON INC.  
 2633 CAMINO RAMON, SUITE 350  
 SAN RAMON, CA 94582  
 (925) 866-0322  
 CONTACT: LEE ROSENBLATT

**LANDSCAPE ARCHITECT**

RIPLEY DESIGN GROUP  
 1615 BONANZA STREET  
 WALNUT CREEK, CA 94596  
 (925) 938-7377  
 CONTACT: ANNIKA CARPENTER

**ARCHITECT**

DANIELIAN ASSOCIATES  
 60 CORPORATE PARK  
 IRVINE, CA 92606  
 (949) 474-6030  
 CONTACT: VICTOR ALVAREZ-DURAN

**SHEET INDEX**

| NO. |                                      | NO. | LANDSCAPE PLANS               | NO. | ARCHITECTURAL PLANS                               | NO. |  | NO. |                                    | NO. |                            | NO.  |     |      |
|-----|--------------------------------------|-----|-------------------------------|-----|---|-----|--|-----|------------------------------------|-----|----------------------------|--|-----|------|
| 1   | COVER SHEET                          | 8   | L1 LANDSCAPE SITE PLAN        | 16  | A0.0 CONCEPTUAL STREET SCENE                      | 24  | A2.2 P1B BUILDING ELEVATIONS REAR NEIGHBOR SIDE                              | 32  | A3.4 PLAN BMR WITH PORCH           | 40  | D1.0 ARCHITECTURAL DETAILS | 48   | AR8 |      |
|     | <b>CIVIL PLANS</b>                   | 9   | L2 LANDSCAPE DETAILS          | 17  | A1.1 P1A BUILDING ELEVATIONS REAR NEIGHBOR SIDE   | 25  | A2.3 PLAN 2A + ADU   | 33  | A4.1 COLOR SCHEME 1                | 41  | AR1                        | CONCEPT RENDERING - AT REAR NEIGHBOR                       | 49  | AR9  |
| 2   | C1.0 GRADING PLAN                    | 10  | L3 LANDSCAPE TYPICAL LOTS     | 18  | A1.2 P1B BUILDING ELEVATIONS REAR NEIGHBOR SIDE   | 26  | A2.4 PORCH CONDITION   | 34  | A4.2 COLOR SCHEME 2                | 42  | AR2                        | CONCEPT RENDERING - AT PRUNERIDGE ROAD                     | 50  | AR10 |
| 3   | C2.0 UTILITY PLAN                    | 11  | L4 LANDSCAPE HYDROZONE PLAN   | 19  | A1.3 P1A BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE | 27  | A2.5 PORCH CONDITION   | 35  | A4.3 COLOR SCHEME 3                | 43  | AR3                        | CONCEPT RENDERING - ALONG BIORETENTION AREA                | 51  | AR11 |
| 4   | C3.0 STORMWATER CONTROL PLAN         | 12  | L5 TREE MITIGATION PLAN       | 20  | A1.4 P1A BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE | 28  | A2.6 P2A BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE W/ ENHANCED SIDE ELEVATION | 36  | A5.1 SHADOW STUDIES - MARCH 21     | 44  | AR4                        | CONCEPT RENDERING - INTERIOR COURTYARD DAY AT BMR          |     |      |
| 5   | C4.0 STORMWATER BMP PLAN             | 13  | L6 TREE AND UTILITY PLAN      | 21  | A1.5 P1B BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE | 29  | A3.1 BMR BUILDING ELEVATIONS REAR NEIGHBOR SIDE                              | 37  | A5.2 SHADOW STUDIES - JUNE 21      | 45  | AR5                        | CONCEPT RENDERING - INTERIOR COURTYARD NIGHT AT PLAN 1     |     |      |
| 8   | C5.0 FIRE ACCESS PLAN                | 14  | L7 TREE PROTECTION PLAN       | 22  | A1.6 P1A BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE | 30  | A3.2 PLAN 1B + ADU   | 38  | A5.3 SHADOW STUDIES - FEBRUARY 3   | 46  | AR6                        | CONCEPT RENDERING - PRUNERIDGE PORCH SPACE                 |     |      |
|     | <b>JOINT TRENCH PLANS</b>            | 15  | L8 LANDSCAPE PLANTING PALETTE | 23  | A2.1 P2A BUILDING ELEVATIONS REAR NEIGHBOR SIDE   | 31  | A3.3 PLAN BMR WITH PORCH BUILDING ELEVATIONS                                 | 39  | A5.4 SHADOW STUDIES - SEPTEMBER 21 | 47  | AR7                        | CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE |     |      |
| 6   | INT1 JOINT TRENCH ENTENT TITLE SHEET |     |                               |     |   |     |  |     |                                    |     |                            |  |     |      |
| 7   | INT2 JOINT TRENCH ENTENT             |     |                               |     |   |     |  |     |                                    |     |                            |  |     |      |

MAY 19, 2023



# 1957 PRUNERIDGE AVENUE

REZONING APPLICATION & PLANNED DEVELOPMENT  
 SANTA CLARA, CALIFORNIA



CIVIL ENGINEERS • SLURRY WALLS • TIE OFFSHOOTS

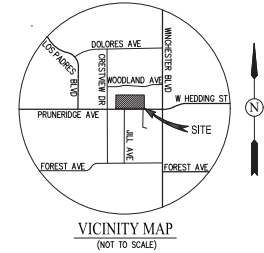
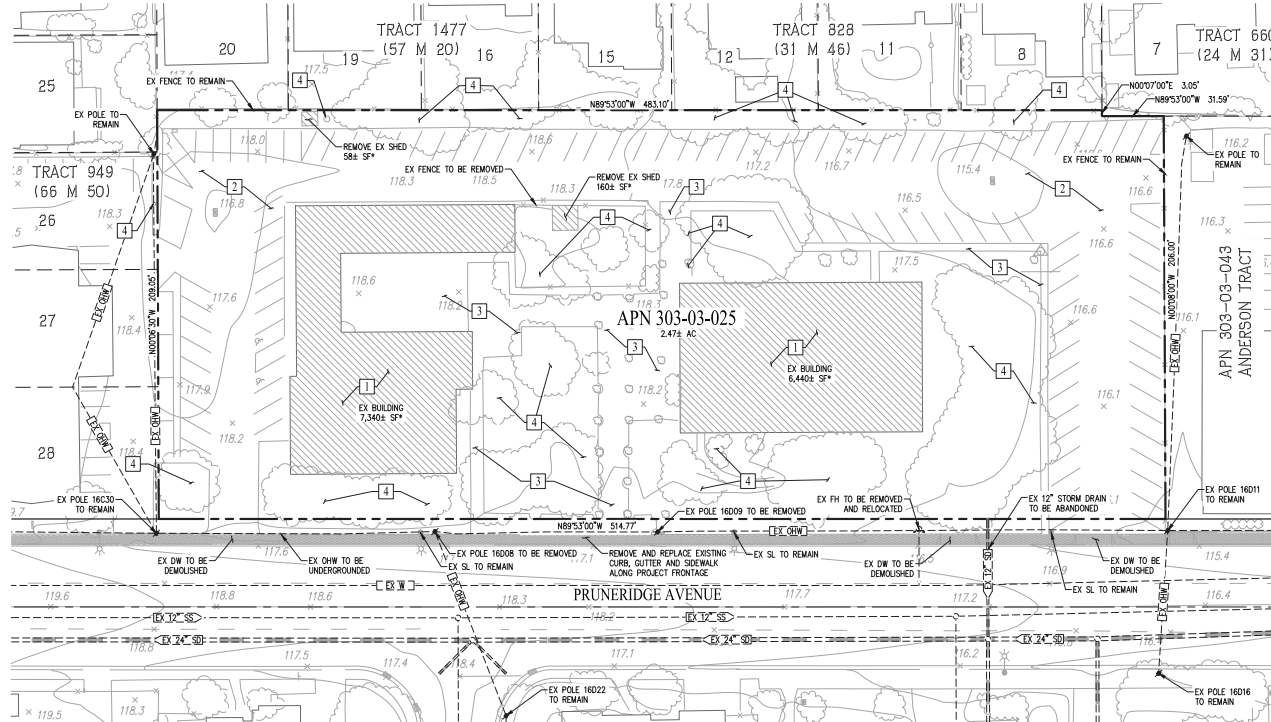


**CONTACTS:**

- 1. OWNER/DEVELOPER: SCS DEVELOPMENT COMPANY  
404 SARATOGA AVENUE, SUITE 100  
SANTA CLARA, CA 95050  
(408) 985-6020  
CORY KUSCH
- 2. ENGINEER: CARLSON, BARBEZ & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CALIFORNIA 94583  
(925) 866-0322  
LEE ROSENBLATT, RCE 65469

**GENERAL NOTES**

- 1. ASSESSORS PARCEL NO. 303-03-025
- 2. SITE AREA: 2.47± ACRES
- 3. LOTS: RESIDENTIAL: 22 (LOTS 1-22)  
PRIVATE ROADWAY CIRCULATION: 1  
WATER QUALITY: 1
- 4. DWELLING UNITS: 22
- 5. SITE DENSITY: 8.9 DU/AC
- 6. EXISTING GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL  
PROPOSED GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
- 7. EXISTING ZONING: PUBLIC, QUAS PUBLIC, AND PUBLIC PARK OR RECREATION (P)  
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
- 8. BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS VALLEY WATER BENCHMARK BM869, BEING A BRASS DISK ON TOP OF CONCRETE TRAFFIC ISLAND AT THE NORTHEAST CORNER OF SAN TOMAS EXPRESSWAY AND PRUNERIDGE AVENUE, HAVING AN NAVD88 ELEVATION OF 112.31 FEET.
- 9. BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF PRUNERIDGE AVENUE, BEING N89°53'00" W PER TRACT NO. 334, MAP OF PRUNERIDGE MANOR (12 M 17).
- 10. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED.
- 11. EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
- 12. STREETS: ALL DRIVE AISLES WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE: 0.2%)
- 13. TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS.
- 14. STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS (OR APPROVED EQUAL).
- 15. FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN  
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 060850229H  
DATE: MAY 18, 2009
- 16. UTILITIES:  
WATER(OFF-SITE): CITY OF SANTA CLARA  
WATER(ON-SITE): PRIVATE  
FIRE: PRIVATE  
SEWER (OFF-SITE): CITY OF SAN JOSE  
SEWER (ON-SITE): PRIVATE  
STORM DRAIN (OFF-SITE): CITY OF SANTA CLARA  
STORM DRAIN (ON-SITE): PRIVATE  
ELECTRIC: SILICON VALLEY POWER  
TELEPHONE: AT&T  
CABLE TV: COMCAST
- 17. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP

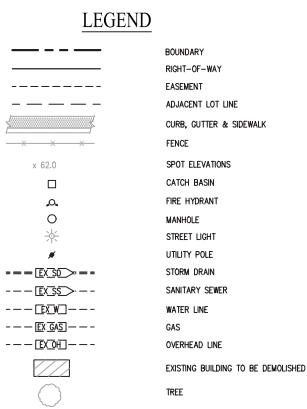


**SHEET INDEX**

| Sheet Number | Sheet Title             |
|--------------|-------------------------|
| C1.0         | EXISTING CONDITIONS     |
| C2.0         | SITE PLAN               |
| C3.0         | GRADING PLAN            |
| C4.0         | UTILITY PLAN            |
| C5.0         | STORMWATER CONTROL PLAN |
| C5.1         | STORMWATER BMP PLAN     |
| C6.0         | FIRE ACCESS PLAN        |

**ABBREVIATIONS**

|     |                         |
|-----|-------------------------|
| DW  | DRIVEWAY                |
| EX  | EXISTING                |
| FC  | FACE OF CURB            |
| JT  | JOINT TRENCH            |
| OHW | OVERHEAD WIRE           |
| PL  | PROPERTY LINE           |
| PUE | PUBLIC UTILITY EASEMENT |
| R/W | RIGHT-OF-WAY            |
| SD  | STORM DRAIN             |
| SL  | STREET LIGHT            |
| SS  | SANITARY SEWER          |
| SW  | SIDEWALK                |
| TYP | TYPICAL                 |
| W   | WATER                   |

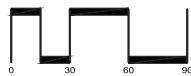


**DEMOLITION NOTES**

- NOTE DESCRIPTION
- 1 REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
  - 2 REMOVE EXISTING ASPHALT AND PARKING LOT CURB AND GUTTER
  - 3 REMOVE EXISTING CONCRETE
  - 4 REMOVE EXISTING TREE AND SHRUBS
- \*EXISTING STRUCTURE AREAS BASED ON FIELD SURVEY DATA.

**REZONING APPLICATION  
EXISTING CONDITIONS  
1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023

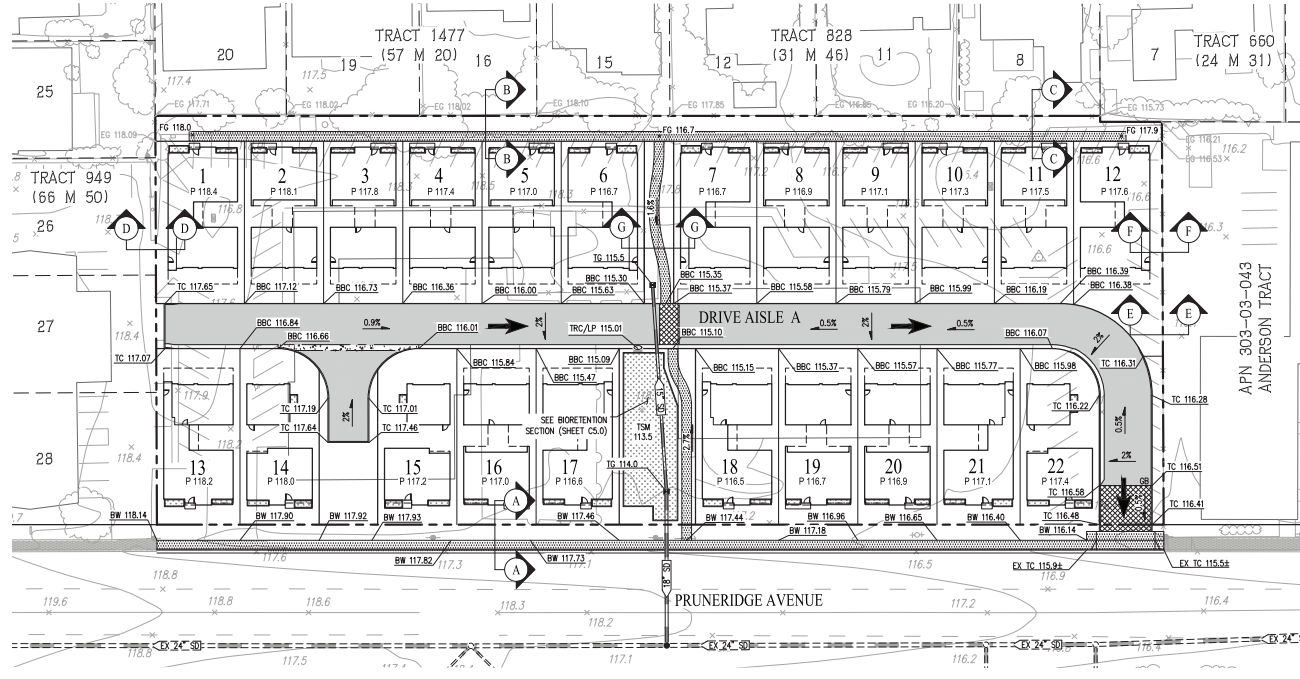
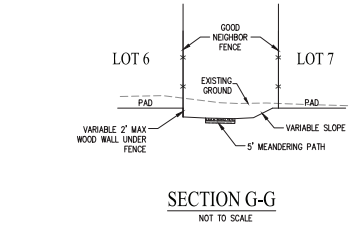
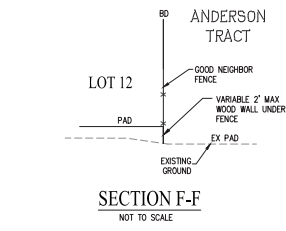
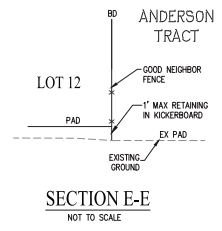
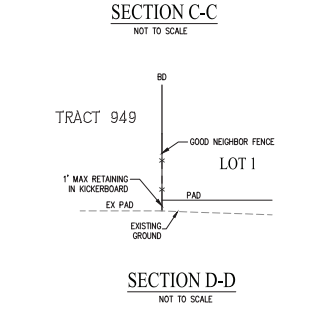
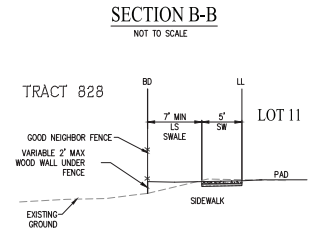
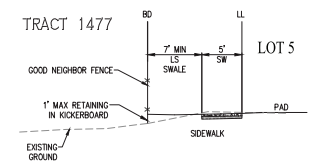
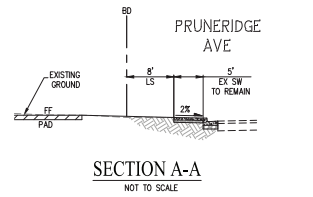
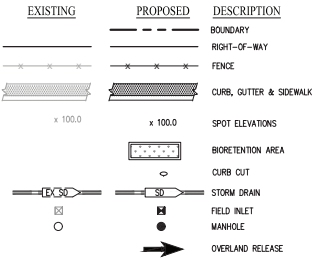


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SHEET NO.  
**C1.0**  
OF 7 SHEETS

JOB NO: 3656

**LEGEND**



**PAVEMENT DESIGN CHART**

| STREET        | T1  | R   | HOT MIX ASPHALT (HSM) | CALTRANS CLASS 2 AGGREGATE BASE (AB) | TOTAL PAVEMENT THICKNESS |
|---------------|-----|-----|-----------------------|--------------------------------------|--------------------------|
| DRIVE AISLE A | 5.5 | 6.0 | 3"                    | 10"                                  | 13"                      |

**EARTHWORK SUMMARY**

| DESCRIPTION   | CUT        | FILL     |
|---------------|------------|----------|
| ROUGH GRADING | 4,400 C.Y. | 750 C.Y. |
| TOTAL         | 3,650 C.Y. |          |

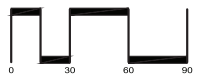
NOTE:  
1. R-VALUE TO BE FINALIZED BY GEOTECHNICAL ENGINEER WITH FINAL DESIGN.  
2. EARTHWORK QUANTITIES ARE APPROXIMATE AND REPRESENT RAW NUMBERS ONLY.  
3. EARTHWORK QUANTITIES DO NOT INCLUDE REUSING ROCK GENERATED FROM EXISTING PARKING AREA OR BUILDING FOUNDATION, APPROXIMATELY 2,700 C.Y. OF ROCK WILL BE GENERATED IN THIS WAY DURING DEMOLITION.

**ABBREVIATIONS**

- BBC BACK OF BEVELED CURB
- BO BOUNDARY
- BW BACK OF WALK
- CC CURB CUT
- CL CENTERLINE
- DN DRIVEWAY
- EX EXISTING
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- LS LANDSCAPE
- P PAD
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- SD STORM DRAIN
- SW SIDEWALK
- TC TOP OF CURB
- TG TOP OF GRATE
- TSN TOP OF SOIL MAX TYPICAL
- TYP TYPICAL

**REZONING APPLICATION  
GRADING PLAN  
1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023



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JOB NO: 3656

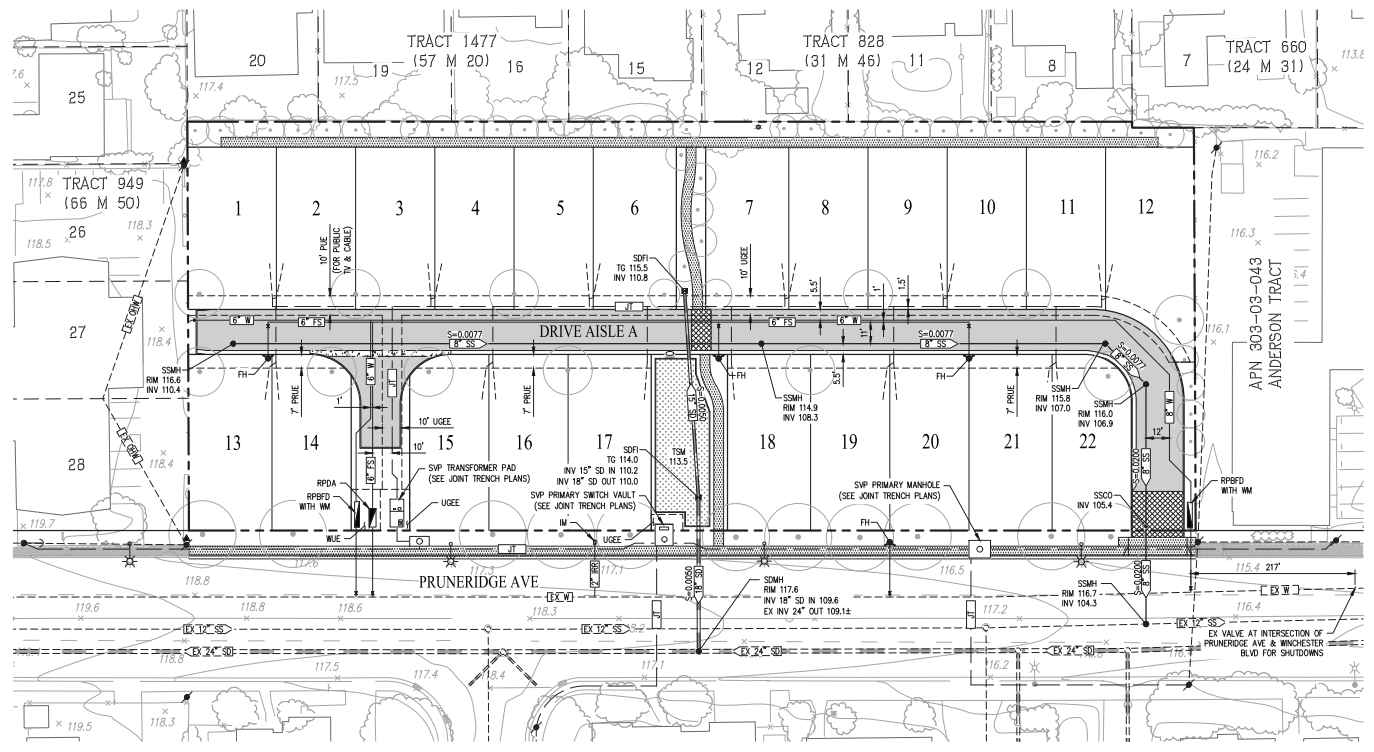
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**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION             |
|----------|----------|-------------------------|
| ---      | ---      | BOUNDARY                |
| ---      | ---      | RIGHT-OF-WAY            |
| ---      | ---      | CURB, GUTTER & SIDEWALK |
| ---      | ---      | STORM DRAIN             |
| ---      | ---      | SANITARY SEWER          |
| ---      | ---      | FIRE SERVICE            |
| ---      | ---      | IRRIGATION SERVICE      |
| ---      | ---      | WATER LINE              |
| ---      | ---      | WATER VALVE             |
| ---      | ---      | JOINT TRENCH            |
| ---      | ---      | FIRE HYDRANT            |
| ---      | ---      | FIELD INLET             |
| ---      | ---      | MANHOLE                 |
| ---      | ---      | STREET LIGHT            |
| ---      | ---      | BIORETENTION AREA       |
| ---      | ---      | CURB CUT                |
| ---      | ---      | TREES                   |

**ABBREVIATIONS**

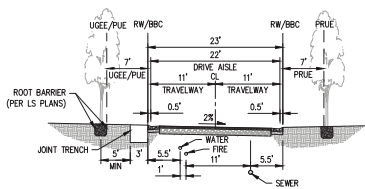
|       |                                     |
|-------|-------------------------------------|
| BD    | BOUNDARY                            |
| CC    | CURB CUT                            |
| CL    | CENTERLINE                          |
| DW    | DRIVEWAY                            |
| FH    | FIRE HYDRANT                        |
| FF    | FINISH FLOOR                        |
| FI    | FIELD INLET                         |
| IM    | IRRIGATION METER                    |
| INV   | INVERT                              |
| JT    | JOINT TRENCH                        |
| LF    | LINEAR FEET                         |
| LS    | LANDSCAPE                           |
| OHW   | OVERHEAD WIRE                       |
| P     | PROPERTY LINE                       |
| PRUE  | PRIVATE UTILITY EASEMENT            |
| PUE   | PUBLIC UTILITY EASEMENT             |
| RPFBD | REDUCED PRESSURE BACKFLOW PREVENTER |
| RPRDA | REDUCED PRESSURE DETECTOR ASSEMBLY  |
| RW    | RIGHT-OF-WAY                        |
| S     | SLOPE                               |
| SD    | STORM DRAIN                         |
| SDMH  | STORM DRAIN MANHOLE                 |
| SS    | SANITARY SEWER                      |
| SSMH  | SANITARY SEWER MANHOLE              |
| SW    | SIDEWALK                            |
| TSM   | TOP OF SOIL MIX                     |
| TYP   | TYPICAL                             |
| UEE   | UNDERGROUND ELECTRICAL EASEMENT     |
| W     | WATER                               |
| WM    | WATER METER                         |
| WUE   | WATER UTILITY EASEMENT              |



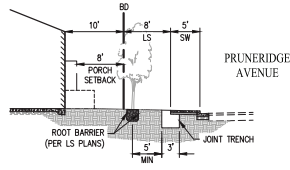
**UTILITY NOTES:**

- STORM DRAIN:
  - PROPOSED STORM DRAIN FACILITIES WILL BE PRIVATE.
  - MINIMUM SLOPE OF THE STORM DRAIN PIPE IS 0.005.
  - MINIMUM COVER IS 2'.
- SEWER:
  - PROPOSED SEWER FACILITIES WITHIN PRIVATE ROADWAYS WILL BE PRIVATE.
  - MINIMUM SLOPE OF THE SEWER PIPE IS 0.005.
  - MINIMUM PIPE SIZE IS 8".
  - ALL SANITARY SEWER PIPE TO BE PVC SDR-26.
  - MINIMUM COVER FOR SANITARY SEWER PIPES TO BE 2.5'.
  - 10' HORIZONTAL CLEARANCE FROM EXISTING AND PROPOSED TREES UNLESS ROOT BARRIER IS INSTALLED, THEN 5' FROM ROOT BARRIER.
- WATER/FIRE:
  - PROPOSED WATER & FIRE FACILITIES WILL BE PRIVATE.
  - ALL WATER & FIRE PIPE TO BE PVC SDR-26.
  - THERE SHALL BE ONE WATER METER PER LOT.
  - 12" VERTICAL CLEARANCE FROM ALL OTHER UTILITIES.
  - 10' HORIZONTAL CLEARANCE FROM SANITARY SEWER AND RECYCLED WATER UTILITIES.
  - 8' FROM STORM DRAIN UTILITIES.
  - 5' FROM THE EDGE OF EXISTING OR PROPOSED DRIVEWAYS.
- UTILITY LAYOUT SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN.

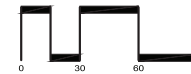
**REZONING APPLICATION  
UTILITY PLAN**  
1957 PRUNERIDGE AVENUE  
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023



**DRIVE AISLE A**  
(NOT TO SCALE)



**PRUNERIDGE FRONTAGE**  
(NOT TO SCALE)



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**C2.0**  
OF 3 SHEETS

JOB NO: 3656

**LEGEND**

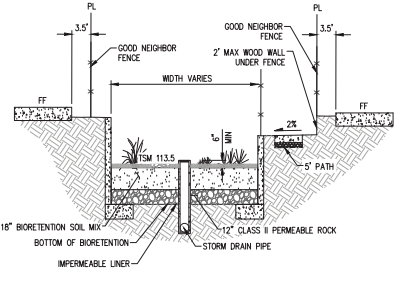
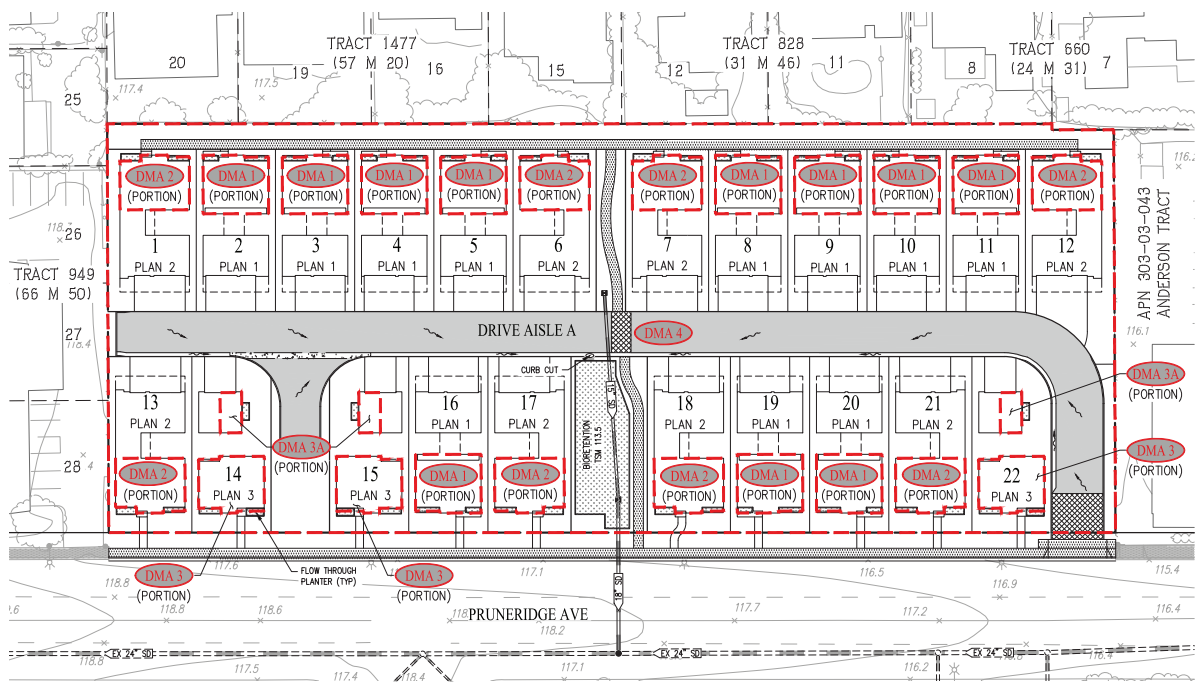
| EXISTING  | PROPOSED  | DESCRIPTION                       |
|-----------|-----------|-----------------------------------|
| - - - - - | - - - - - | BOUNDARY                          |
| - - - - - | - - - - - | RIGHT-OF-WAY                      |
| - - - - - | - - - - - | CURB, GUTTER & SIDEWALK           |
| - - - - - | - - - - - | STORM DRAIN                       |
| ○         | ●         | FIELD INLET                       |
| ○         | ●         | MANHOLE                           |
| *         | *         | STREET LIGHT                      |
| [Pattern] | [Pattern] | BIORETENTION AREA                 |
| [Pattern] | [Pattern] | DRIVE AISLE                       |
| [Pattern] | [Pattern] | DRIVEWAY                          |
| [Pattern] | [Pattern] | DECORATIVE PAVEMENT               |
| [Pattern] | [Pattern] | BARE EARTH                        |
| - - - - - | - - - - - | CURB CUT                          |
| - - - - - | - - - - - | DIRECTION OF FLOW                 |
| - - - - - | - - - - - | DRAINAGE MANAGEMENT AREA BOUNDARY |
| (DMA 1)   | (DMA 1)   | DRAINAGE MANAGEMENT AREA          |

**ABBREVIATIONS**

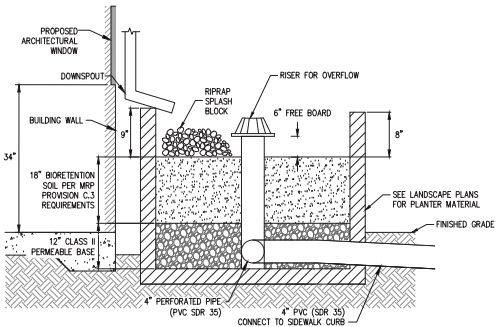
|      |                     |
|------|---------------------|
| BD   | BOUNDARY            |
| CC   | CURB CUT            |
| CL   | CENTERLINE          |
| FI   | FIELD INLET         |
| INV  | INVERT              |
| LF   | LINEAR FEET         |
| LS   | LANDSCAPE           |
| PL   | PROPERTY LINE       |
| R/W  | RIGHT-OF-WAY        |
| S    | SLOPE               |
| SD   | STORM DRAIN         |
| SDMH | STORM DRAIN MANHOLE |
| SW   | SIDEWALK            |
| TSM  | TOP OF SOIL MIX     |
| TYP  | TYPICAL             |

**CITY OF SANTA CLARA  
C.3 CONSTRUCTION NOTES**

- THIRD PARTY REVIEW AND CERTIFICATION OF INSTALLATION AND COMPLETED STORMWATER TREATMENT MEASURES IS REQUIRED. THIRD PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE LOCATED AT [WWW.SANTACLARA.CA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/46993/63608350413382672](http://WWW.SANTACLARA.CA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/46993/63608350413382672).
- AT BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF SANTA CLARA. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION.
- THE 3RD PARTY SHALL REVIEW ALL INSTALLED STORMWATER TREATMENT MEASURES AND CERTIFY THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS.
- SOILS IN THE BIORETENTION FACILITIES SHOULD MEET THE BIOTREATMENT SOIL MIX (BSM) SPECIFICATIONS PER SCURPPP C.3 STORMWATER HANDBOOK, APPENDIX C. A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLES WITH, OR EXCEEDS, SPECIFIED REQUIREMENTS.
- PERMEABLE DRAIN ROOF SHALL BE CLASS 2 PERM ROOF PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIALS.
- PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
- INSTALLATION OF POROUS PAVEMENT AND/OR VAULTS SHALL BE DONE PER STANDARD DETAILS AND SPECIFICATIONS. THIRD PARTY REVIEWER OR VENDOR SHALL INSPECT THE POROUS PAVEMENT AND/OR VAULTS INSTALLATION (INCLUDING IF NECESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONCURRENCE LETTER TO THE CITY OF SANTA CLARA, (NOT RELEVANT FOR THIS PROJECT)
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED TO VERIFY THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES.
- FOR ANY LINER PENETRATIONS, RADIAL CUT THE LINER FOR PIPE MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
- SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION FACILITIES.



TYPICAL BIORETENTION DETAIL  
NOT TO SCALE



TYPICAL FLOW THROUGH PLANTER DETAIL  
NOT TO SCALE

**PRELIMINARY STORM WATER TREATMENT**

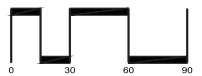
| AREA ID | DESCRIPTION   | TREATMENT TYPE       | PERVIOUS AREA (SF) | IMPERVIOUS AREA (SF) | EFFECTIVE IMPERVIOUS AREA (SF) | TREATMENT AREA REQUIRED (SF)* | TREATMENT AREA PROVIDED (SF) | PONDING DEPTH (IN.) |
|---------|---|----------------------|--------------------|----------------------|--------------------------------|-------------------------------|------------------------------|---------------------|
| DMA 1   | THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 2 ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS                              | FLOW THROUGH PLANTER | 0                  | 10,920               | 10,920                         | 437                           | 616                          | 6                   |
| DMA 2   | THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 2 ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS                              | FLOW THROUGH PLANTER | 0                  | 7,605                | 7,605                          | 305                           | 400                          | 6                   |
| DMA 3   | THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 3 ROOF AREAS (EXCLUDING DETACHED GARAGES) THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS | FLOW THROUGH PLANTER | 0                  | 2,740                | 2,740                          | 110                           | 120                          | 6                   |
| DMA 3A  | THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 3 DETACHED GARAGE ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS              | FLOW THROUGH PLANTER | 0                  | 685                  | 685                            | 30                            | 60                           | 6                   |
| DMA 4   | REMAINDER OF PROJECT AREA NOT INCLUDED IN DMA# 1, 2 & 3   | BIORETENTION         | 37,743             | 47,817               | 51,592                         | 2,065                         | 2,105                        | 6                   |

- \* TREATMENT AREA REQUIRED IS CALCULATED USING THE 4% RULE.
- NOTES:
- ALL PLANTS PROPOSED FOR THE BIORETENTION AREAS WILL BE CONSISTENT WITH THE RECOMMENDED PLANTS FROM TABLE D-1 IN APPENDIX D OF THE SCURPPP C.3 HANDBOOK.
  - DRAINAGE WILL BE ROUTED TO BIORETENTION FACILITIES THROUGH A COMBINATION OF CURB CUTS & AREA DRAINS.
  - 18\"/>

**REZONING APPLICATION  
STORMWATER CONTROL PLAN**

1957 PRUNERIDGE AVENUE  
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.  
**C3.0**  
OF 3 SHEETS

JOB NO: 3656

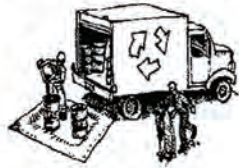
11/20/2023/10/20/2023



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by lining it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services: (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor;
  - Abandoned underground tanks;
  - Abandoned wells;
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bugged material on pallets and under cover.
- ❑ Discontinue application of any erodible-landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washbouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

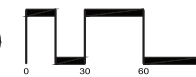


## REZONING APPLICATION STORMWATER BMP PLAN

1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: 1"=30' DATE: MAY 2023

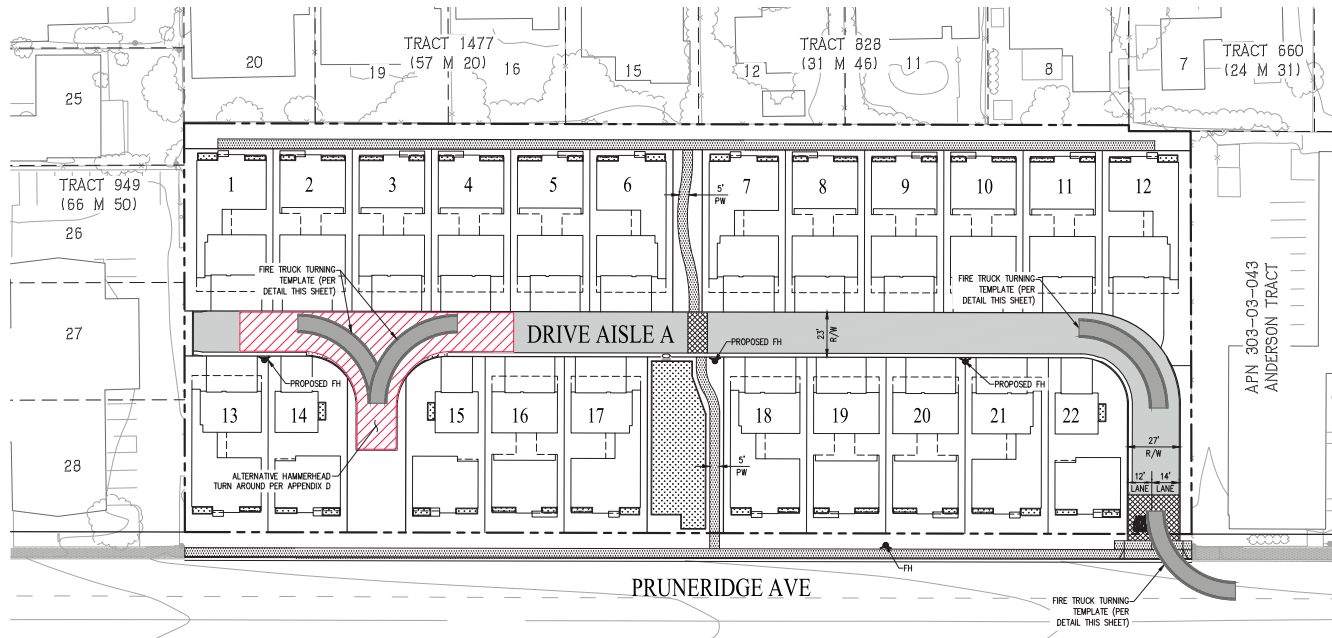


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SHEET NO.  
**C4.0**  
OF 5 SHEETS

JOB NO.: 3656

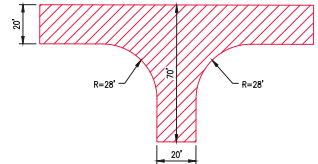


| LEGEND |          | DESCRIPTION             |
|--------|----------|-------------------------|
| ---    | EXISTING | BOUNDARY                |
| ---    | PROPOSED | PROPERTY LINE           |
| ---    | PROPOSED | RIGHT-OF-WAY            |
| ---    | PROPOSED | CURB, GUTTER & SIDEWALK |
| ⦿      | PROPOSED | FIRE HYDRANT            |

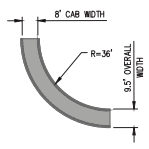


TYPICAL CURB STRIPING

NOTE: NO STREET PARKING ALLOWED ON SITE. CURB TO BE PAINTED RED THROUGHOUT.



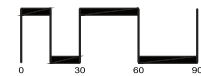
ALTERNATIVE 120° HAMMERHEAD PER APPENDIX D  
NOT TO SCALE



FIRE TRUCK TURNING TEMPLATE  
NOT TO SCALE

# REZONING APPLICATION FIRE ACCESS PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023



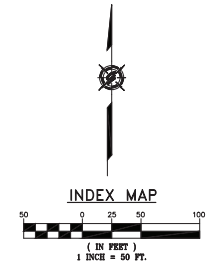
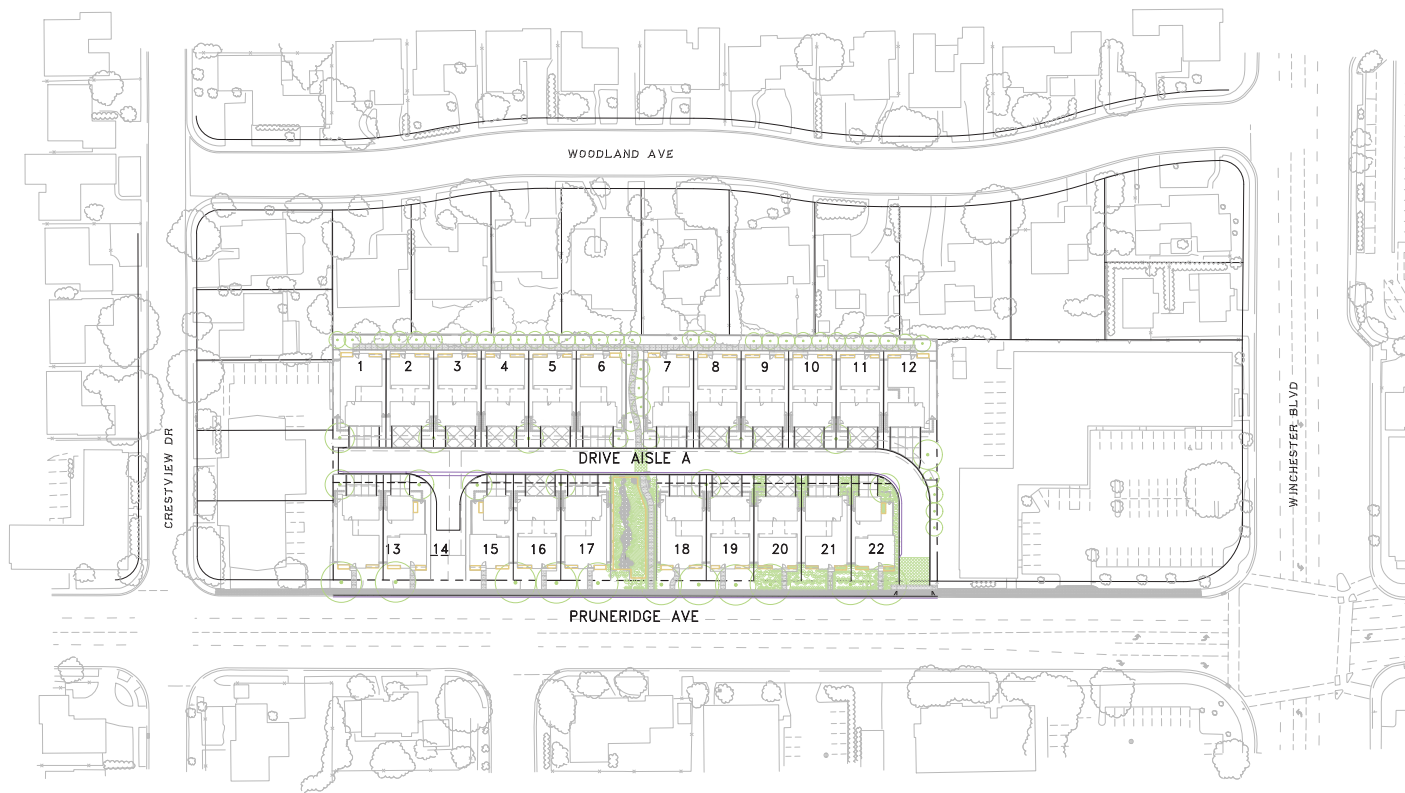
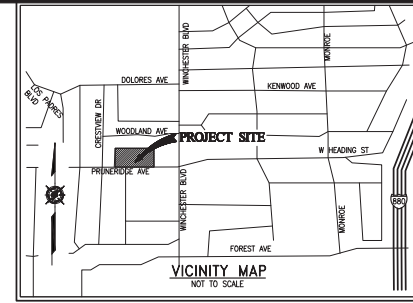
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SHEET NO.  
**C5.0**  
OF 5 SHEETS

JOB NO.: 3656

H:\2023\20230501\1957PRUNERIDGE\1957PRUNERIDGE.DWG

**SCS DEVELOPMENT  
1957 PRUNRIDGE AVE  
SANTA CLARA, CALIFORNIA  
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

| REVISIONS | DESCRIPTION | DATE | APPROVED |
|-----------|-------------|------|----------|
|           |             |      |          |
|           |             |      |          |
|           |             |      |          |

**GIACALONE**  
DESIGN SERVICES, INC.  
2000 STANFORD AVE, SUITE 200 | PALO ALTO, CA 94303  
415.964.1100

**JOINT TRENCH INTENT TITLE SHEET**  
SCS DEVELOPMENT  
1957 PRUNERIDGE AVE  
SANTA CLARA CALIFORNIA

PROJECT MANAGER:  
B. FULLINGTON  
DRAWN BY:  
A. VERNER  
CHECKED BY:  
D. CROWFOOT (P.E.)  
SCALE:  
1"=50'  
JOB NUMBER:  
22-218  
DATE LAST MODIFIED:  
05-19-23  
**SHEET**  
**INT1**  
OF 2 SHEETS

| PROJECT TEAM CONTACTS         |                  |              |
|-------------------------------|------------------|--------------|
| COMPANY:                      | CONTACT:         | PHONE:       |
| SCS DEVELOPMENT               | KEN PERRY        | 408-985-6045 |
| CBG                           | LEE ROSENBLATT   | 925-866-0322 |
| PG&E                          | TBD              |              |
| AT&T                          | JERRY SCHEMBRI   | 408-635-8900 |
| QUANTA - SANTA CLARA          | BEN LOPEZ        | 408-691-9428 |
| GIACALONE DESIGN SERVICES INC | BRETT FULLINGTON | 925-467-1740 |

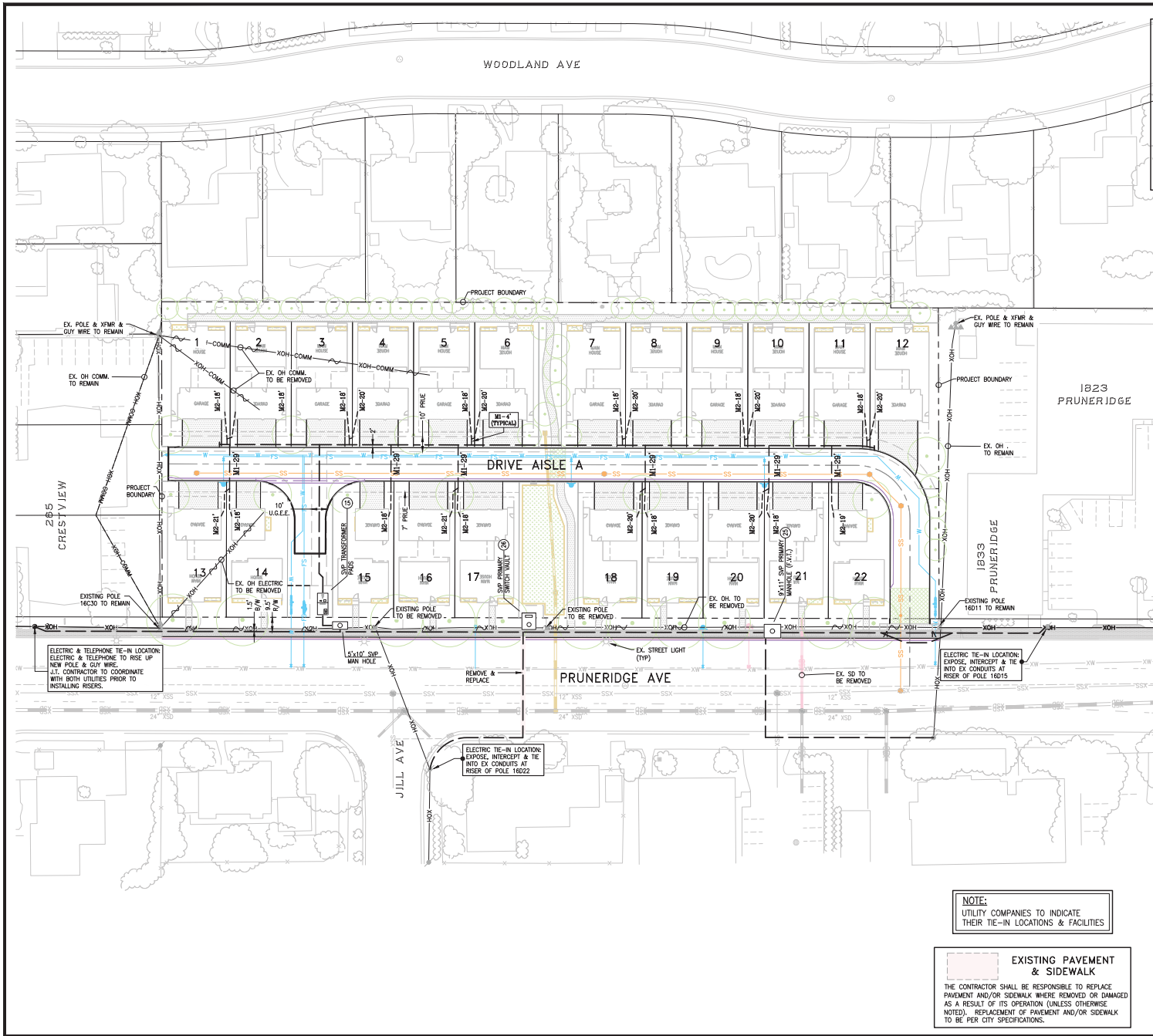
| PG&E PM NO. |
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| LATEST FILES RECEIVED               |     |          |         |   |
|-------------------------------------|-----|----------|---------|---|
| DESCRIPTION:                        | BY: | DATE:    | STATUS: |   |
| GAS DESIGN                          |     |          |         |   |
| ELECTRIC DESIGN                     |     |          |         |   |
| TELEPHONE LAYOUT                    |     |          |         |   |
| CATV LAYOUT                         |     |          |         |   |
| STREET LIGHT PLANS - PUBLIC         |     |          |         |   |
| STREET LIGHT PLANS - PRIVATE        |     |          |         |   |
| IMPROVEMENT PLANS (ELECTRONIC FILE) | CBG | 04-19-23 | -       | - |

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

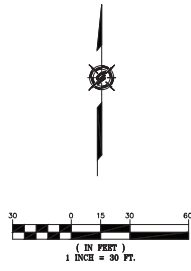
| PROJECT DESCRIPTION & SCOPE   |
|---|
| <ul style="list-style-type: none"> <li>• PROVIDE NEW ELECTRIC, GAS, TELE., &amp; CATV SERVICE TO 22 SFD</li> <li>• ELECTRIC COORDINATION</li> <li>•</li> <li>•</li> <li>•</li> <li>•</li> </ul> |

| SHEET INDEX |                                 |
|-------------|---------------------------------|
| SHEET       | DESCRIPTION                     |
| INT1        | JOINT TRENCH INTENT TITLE SHEET |
| INT2        | JOINT TRENCH INTENT             |
|             |                                 |
|             |                                 |
|             |                                 |



### LEGEND

- EXISTING TRENCH OR UTILITIES
- PROPOSED TRENCH (DISTRIBUTION)
- PROPOSED TRENCH (SERVICE)
- PROPOSED STREET LIGHT TRENCH
- EXISTING UTILITY SPLICE BOX
- 9'x11' SWP PRIMARY MANHOLE (F.V.T.)
- SWP TRANSFORMER PAD
- SWP PRIMARY SWITCH VAULT (F.V.T.)



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS NOT FOR CONSTRUCTION**

TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
**811**  
CALL BEFORE YOU DIG

**NOTE:**  
UTILITY COMPANIES TO INDICATE THEIR TIE-IN LOCATIONS & FACILITIES

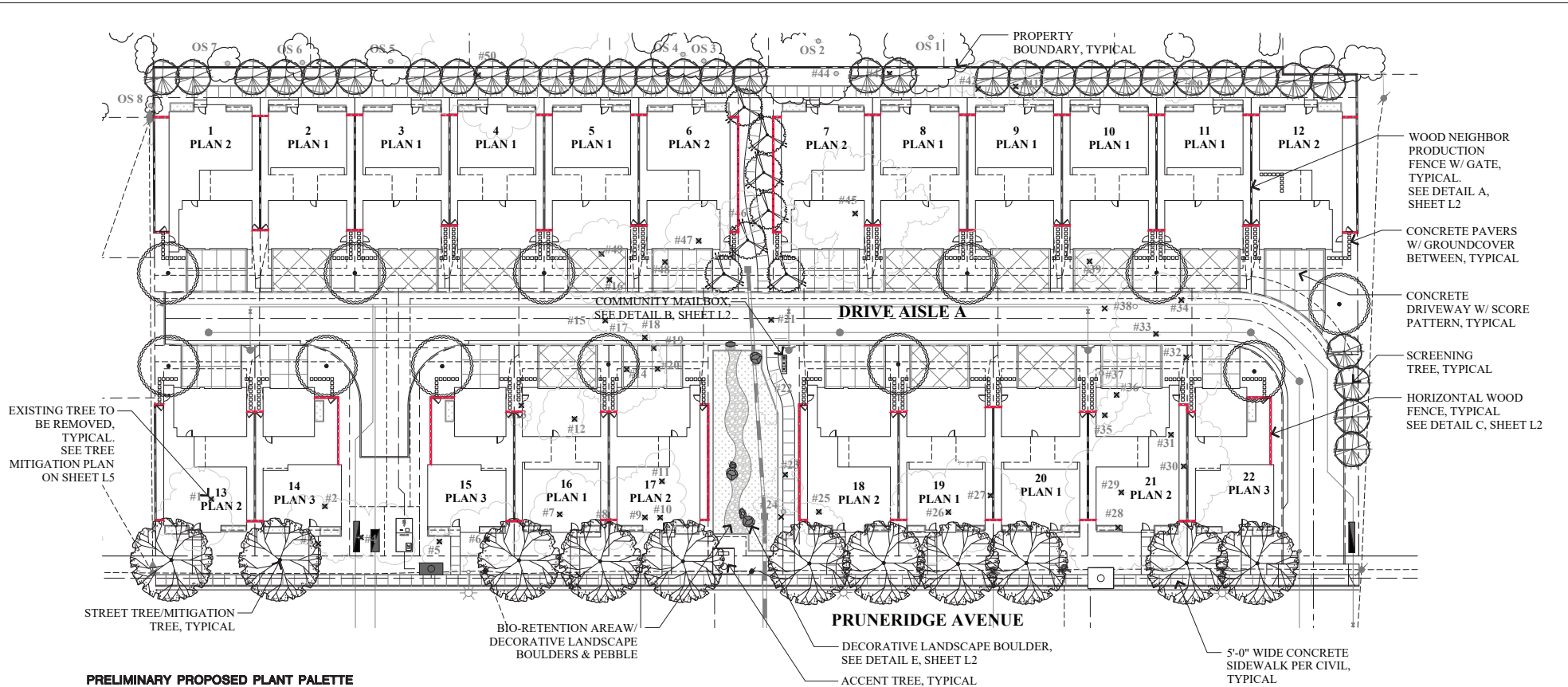
**EXISTING PAVEMENT & SIDEWALK**  
THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.

| REVISIONS | DESCRIPTION | DATE |
|-----------|-------------|------|
|           |             |      |
|           |             |      |
|           |             |      |

**GIACALONE**  
DESIGN SERVICES, INC.  
2000 STANFORD WALK, SUITE 200 | PALMDALE, CA 93550  
805.441.1111

**JOINT TRENCH INTENT**  
SCS DEVELOPMENT  
1957 PRUNERIDGE AVE  
SANTA CLARA  
CALIFORNIA

PROJECT MANAGER:  
B. FULLINGTON  
DRAWN BY:  
A. VERNER  
CHECKED BY:  
D. CROWFOOT (P.E.)  
SCALE:  
1" = 30'  
JOB NUMBER:  
22-228  
DATE LAST MODIFIED:  
05-19-23  
SHEET  
**INT2**  
OF 2 SHEETS



WOOD NEIGHBOR PRODUCTION FENCE W/ GATE, TYPICAL. SEE DETAIL A, SHEET L2

CONCRETE PAVERS W/ GROUNDCOVER BETWEEN, TYPICAL

CONCRETE DRIVEWAY W/ SCORE PATTERN, TYPICAL

SCREENING TREE, TYPICAL

HORIZONTAL WOOD FENCE, TYPICAL SEE DETAIL C, SHEET L2

EXISTING TREE TO BE REMOVED, TYPICAL. SEE TREE MITIGATION PLAN ON SHEET L5

STREET TREE/MITIGATION TREE, TYPICAL

BIO-RETENTION AREA/ DECORATIVE LANDSCAPE BOULDERS & PEBBLE

PRUNERIDGE AVENUE

DECORATIVE LANDSCAPE BOULDER, SEE DETAIL E, SHEET L2

ACCENT TREE, TYPICAL

5'-0" WIDE CONCRETE SIDEWALK PER CIVIL, TYPICAL

**PRELIMINARY PROPOSED PLANT PALETTE**

| BOTANICAL NAME                                  | COMMON NAME        | SIZE    | WATER USE    | SYMBOL | BOTANICAL NAME             | COMMON NAME                  | SIZE                            | WATER USE |
|---|--------------------|---------|--------------|--------|----------------------------|------------------------------|---------------------------------|-----------|
| <b>EXISTING TREE TO BE REMOVED</b>              |                    |         |              |        | <b>SHRUBS - FRONTYARD</b>  |                              |                                 |           |
| OS 8  |                    |         |              |        | CAR DIV                    | CAREX OVIOLA                 | 1 GALLON                        | LOW       |
| OS 6  |                    |         |              |        | CIS SRA                    | CISTUS X SKANBERGI           | 1 GALLON                        | LOW       |
| OS 5  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| OS 4  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| OS 3  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| OS 2  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| OS 1  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| OS 8  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 5 GALLON                        | LOW       |
| <b>EXISTING TREE TO BE REMAIN</b>               |                    |         |              |        | <b>SHRUBS - BIO-SWALE</b>  |                              |                                 |           |
| OS 8  |                    |         |              |        | ACH MIL                    | ACHILLEA MILLEFOLIUM         | 1 GALLON                        | LOW       |
| OS 6  |                    |         |              |        | BOU 'B.A.'                 | BOUTELOUA G. BLONDE AMBITION | 1 GALLON                        | LOW       |
| OS 5  |                    |         |              |        | CIS SRA                    | CISTUS X SKANBERGI           | 1 GALLON                        | LOW       |
| OS 4  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 1 GALLON                        | LOW       |
| OS 3  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 1 GALLON                        | LOW       |
| OS 2  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 1 GALLON                        | LOW       |
| OS 1  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 1 GALLON                        | LOW       |
| OS 8  |                    |         |              |        | CHO TEC                    | CHONROPELALUM TECTORUM       | 1 GALLON                        | LOW       |
| <b>ACCENT TREES / MITIGATION TREES</b>          |                    |         |              |        | <b>GRASSES &amp; HERBS</b> |                              |                                 |           |
| CERIS OCCIDENTALIS                              | WESTERN REDBUD     | 24" BOX | LOW          |        | NO MOW TURF                | SODPOSS                      | NATIVE FESCUES                  | LOW       |
| LAGERSTROEMIA L. 'CATAWBA'                      | CRAPE MYRTLE STND. | 24" BOX | LOW          |        |                            |                              | AVAILABLE FROM DELTA BLUE GRASS |           |
| <b>SCREENING TREES</b>                          |                    |         |              |        | <b>ROSA BANKSIAE</b>       |                              |                                 |           |
| LAURIUS NOBILIS SARATOGA                        | SARATOGA LAUREL    | 24" BOX | LOW          |        | ROSA BANKSIAE              | LADY BANKS ROSE              | 5 GALLON                        | LOW       |
| OLEA EUROPAEA 'MAJESTIC BEAUTY' FRUITLESS OLIVE | 24" BOX            | LOW     |              |        |                            |                              |                                 |           |
| <b>STREET TREES / MITIGATION TREES</b>          |                    |         |              |        |                            |                              |                                 |           |
| OLEA EUROPAEA 'MAJESTIC BEAUTY' FRUITLESS OLIVE | 24" BOX            | LOW     |              |        |                            |                              |                                 |           |
| QUERCUS COCCINEA                                | SCARLET OAK        | 36" BOX | LOW          |        |                            |                              |                                 |           |
| <b>PLANT CALLOUT SYMBOL KEY</b>                 |                    |         |              |        |                            |                              |                                 |           |
| PLANT CITY                                      | PLANT SYMBOL       | SIZE    | PLANT SYMBOL | UNITS  |                            |                              |                                 |           |

**NOTES:**

- ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
- TREES BE PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
- LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDNANCE.
- ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS, USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
- ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3".
- ALL IRRIGATION SHALL BE DESIGNED FOR RECYCLED WATER USE

**VESTING TENTATIVE MAP**

**LANDSCAPE SITE PLAN**

**1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023

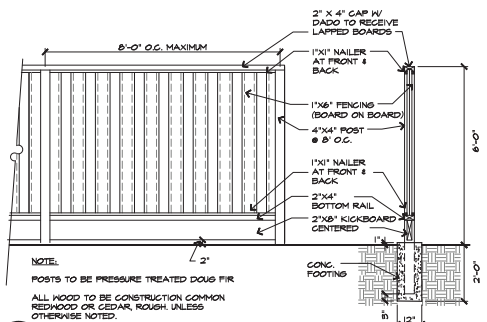
GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.



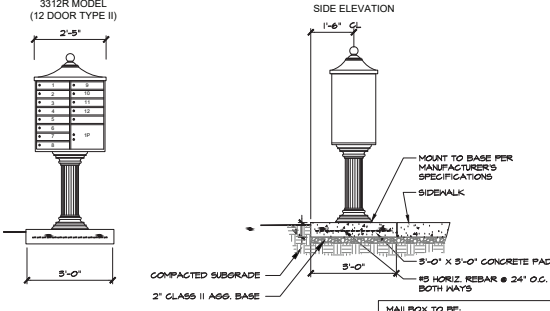
SAN RAMON (925) 866-0322  
ROSEVILLE (916) 788-4456  
WWW.CBANDG.COM

SHEET NO.  
**L1**  
OF 8 SHEETS

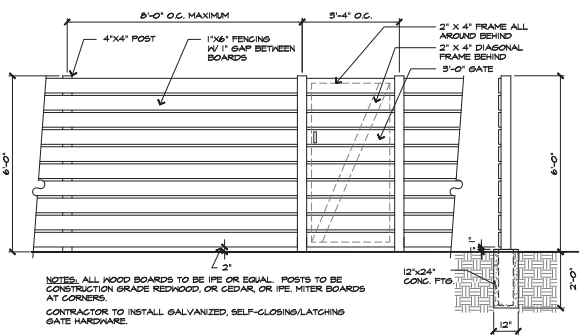
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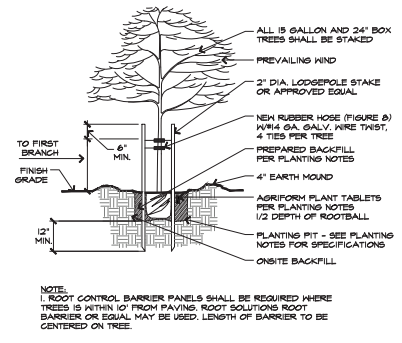
**A INTERIOR SIDYARD WOOD FENCE W/ KICKERBOARD** SCALE: 1/2" = 1'-0" 034 - fence



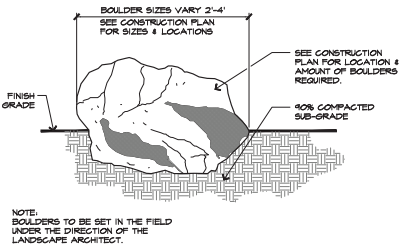
**B COMMUNITY MAILBOXES** SCALE: 1/2" = 1'-0" 034 - mailbox



**C 6' WOOD SCREEN & GATE** SCALE: 1/2" = 1'-0" 034 - fence



**D TREE PLANTING AND STAKING DETAIL** SCALE: 1/2" = 1'-0" 034 - treeing



**E BOULDER INSET FINISHED GRADE** NTS 000 - Bdr

**CITY OF SANTA CLARA TREE PRESERVATION NOTES:**

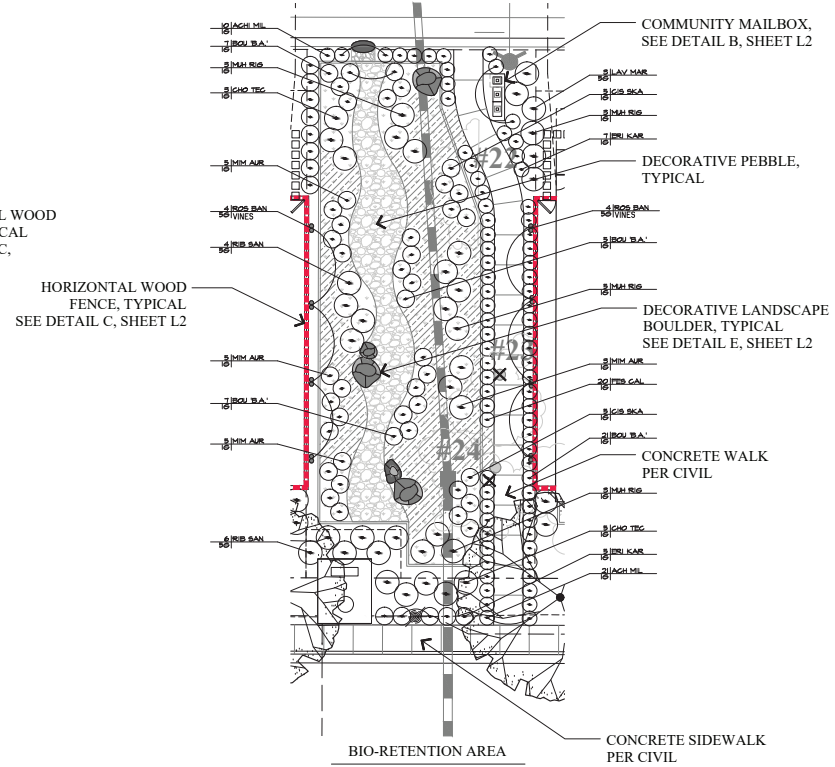
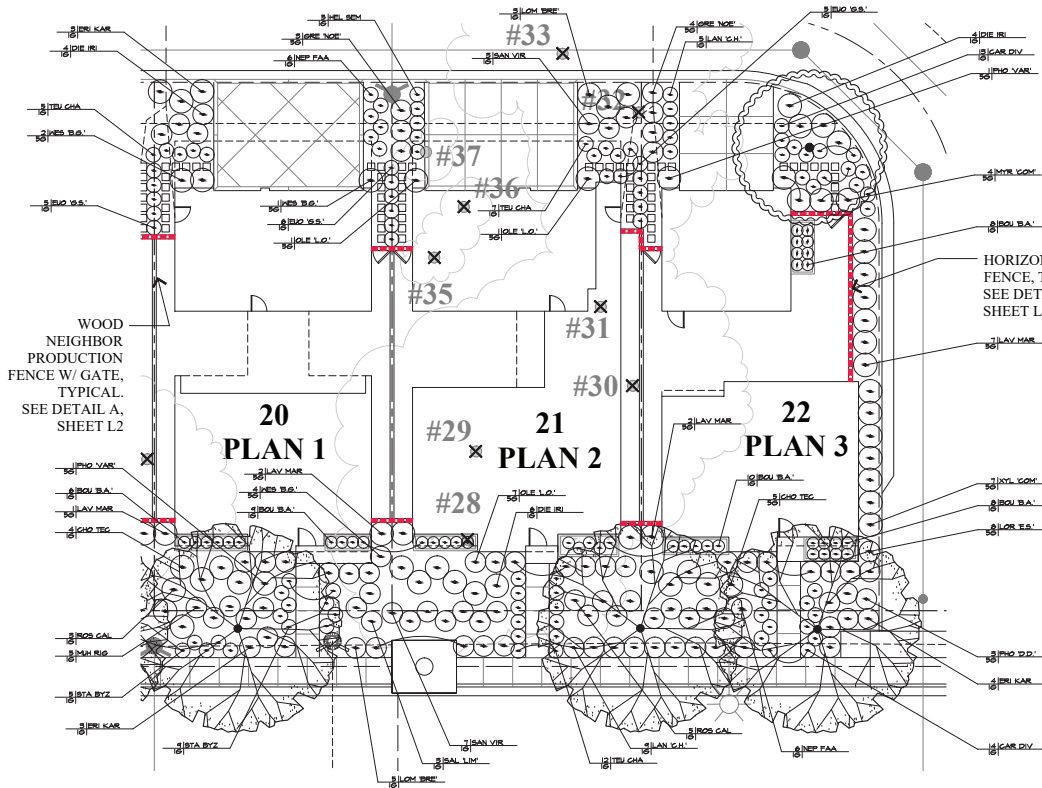
- NO CUTTING OF ANY PART OF CITY TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING APPROVAL AND DIRECT SUPERVISION FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY (408-615-3080).
- NO CUTTING OF ANY PART OF PRIVATE TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT DIRECT SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST.
- WHEN CONSTRUCTION OCCURS WITHIN THE DRIP LINE OF EXISTING TREES, CONTRACTOR SHALL PILE THE SOIL ON THE SIDE AWAY FROM THE TREE. WHEN THIS IS NOT POSSIBLE, PLACE SOIL ON PLYWOOD, TARP, OR 4"-6" THICK BED OF MULCH. THIS IS TO HELP PREVENT CUTTING INTO THE SOIL SURFACE WHEN THE BACKHOE OR TRACTOR BLADE REFILLS THE TRENCH.
- REFILL OPEN TRENCHES QUICKLY WITHIN HOURS OF EXCAVATION WHEN THEY OCCUR WITHIN THE DRIP LINE OF EXISTING TREES. IF THIS IS NOT POSSIBLE AND THE WEATHER IS HOT, DRY, OR WINDY, CONTRACTOR MUST KEEP ROOT ENDS MOIST BY COVERING THEM WITH WET BURLAP. IF THE TEMPERATURE IS 80°F OR GREATER, THE BURLAP MUST BE INSPECTED EVERY HOUR AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL, MOIST CONDITION. IF THE TEMPERATURE IS BELOW 80, THE BURLAP MUST BE INSPECTED EVERY FOUR HOURS AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL, MOIST CONDITION. SMALL ROOTS CAN DRY OUT AND DIE IN 10-15 MINUTES. LARGER ROOTS CAN SUCCEUM IN AN HOUR OR LESS UNDER UNFAVORABLE WEATHER CONDITIONS.
- WHEN ROOTS 2" OR LARGER ARE REQUIRED TO BE CUT, SHOVEL BY HAND NEAR THE ROOTS AND PRUNE THE ROOTS WITH AN INDUSTRY-APPROVED PRUNING TOOL. ROOTS THAT ARE ACCIDENTALLY BROKEN SHOULD BE PRUNED TWO INCHES FROM THE DAMAGED END. CRUSHED OR TORN ROOTS ARE MORE LIKELY TO ALLOW DECAY TO BEGIN. SHARPLY CUT ROOTS PRODUCE A FLUSH OF NEW ROOTS HELPING THE TREE TO RECOVER FROM ITS INJURY.
- CONTRACTOR SHALL NOTIFY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY 72 HOURS IN ADVANCE OF ANY WORK REQUIRING DIGGING AROUND OR WITHIN THE DRIP LINE OF EXISTING TREES.
- A CLEAR SYSTEM OF FLAGGING MUST BE PROVIDED AROUND TREES WITHIN 30' OF THE PROPOSED GRADING. CONTRACTOR SHALL SECURE APPROVAL OF SUCH SYSTEM FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY.
- MATERIALS, EQUIPMENT, TEMPORARY BUILDINGS, FUELS, PAINTS AND OTHER CONSTRUCTION ITEMS SHALL NOT BE PLACED WITHIN THE DRIP LINE OF EXISTING TREES.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCING SHALL BE PLACED AT THE DRIP LINE OF EXISTING TREES OR, IF POSSIBLE, 1.5 TIMES THE RADIIUS OF THE DRIP LINE OUT FROM THE TRUNK OF THE TREE. A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH FENCE. THE SIGN SHALL BE A MINIMUM OF 6"x12" AND CLEARLY STATE "WARNING- TREE PROTECTION ZONE THIS FENCE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE CITY ARBORIST/PROTECT ARBORIST". FENCES SHALL BE 6-FOOT TALL CHAIN LINK OR EQUIVALENT, AS APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. FENCES SHALL REMAIN UNTIL ALL GRADING AND CONSTRUCTION WORK IS COMPLETED. IN ADDITION, WRAP ALL TREES WITH STRAW WADDE UP TO THE FIRST MAIN BRANCH, AND THEN WRAP SNOW FENCING AROUND THE WADDE ON ALL TREES IN THE CONSTRUCTION ZONE TO PROTECT THEM FROM BARK DAMAGE CAUSED BY THE WORK.
- NO TRENCHING SHALL BE DONE WITHIN THE DRIP LINE OF EXISTING TREES WITHOUT THE APPROVAL OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. OPEN TRENCHING IN THE ROOT ZONE OF A PUBLIC TREE IS PROHIBITED EXCEPT IN CASES WHERE THE TRENCHING FALLS OUTSIDE THE DRIP LINE OF THE TREE INVOLVED. EXCEPTIONS MAY BE ALLOWED IF, IN THE OPINION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY, THE IMPACT OF TRENCHING ON THE TREE WILL BE NEGLIGIBLE.
- ANY CUTTING OF EXISTING ROOTS OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ANY CUTTING OF EXISTING ROOTS OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- GRADING SHOULD NOT CREATE DRAINAGE PROBLEMS FOR TREES BY CHANNELING WATER INTO THEM, OR CREATING SUNKEN AREAS.
- ALL GRADING WITHIN THE DRIP LINE OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ALL GRADING WITHIN THE DRIP LINE OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE ORIGINAL GRADE AT THE BASE OF EXISTING TREES SHALL NOT BE MODIFIED. IF A GRADE INCREASE IS NECESSARY, DRY WELLS SHOULD BE USED.
- WHEN TRENCHING IS ALLOWED, THE CONTRACTOR MUST FIRST CUT ROOTS WITH A VERMEER ROOT CUTTER PRIOR TO ANY TRENCHING TO AVOID TUGGING OR PULLING OF ROOTS.
- TREES THAT ARE DETERMINED TO BE REMOVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY DUE TO AN UNFORESEEN CIRCUMSTANCE DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL DETERMINE THE REPLACEMENT SPECIE, SIZE, QUANTITY, AND SPACING.
- REPLACE 4"-6" THICK MULCH AROUND ALL EXISTING TREES (OUT TO THEIR DRIP LINE) THAT ARE TO BE RETAINED PRIOR TO ANY CONSTRUCTION. THIS WILL HELP MAINTAIN MOISTURE UNDER THE TREE WITHIN THE FENCING AREA.
- BORER PITS ARE NOT ALLOWED WITHIN THE DRIP LINE OF ANY TREE.

**VESTING TENTATIVE MAP LANDSCAPE DETAILS**

**1957 PRUNERIDGE AVENUE**  
 CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
 SCALE: AS SHOWN DATE: August 22, 2023

**cbg** CIVIL ENGINEERS • SURVEYORS • PLANNERS  
 SAN RAMON • (925) 866-0322  
 ROSELVILLE • (916) 788-4456  
 WWW.CBMNDG.COM

SHEET NO.  
**L2**  
 OF 8 SHEETS

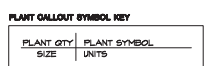


TYPICAL LOTS

BIO-RETENTION AREA

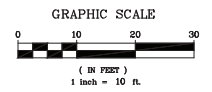
**PRELIMINARY PROPOSED PLANT PALETTE**

| BOTANICAL NAME                                  | COMMON NAME        | SIZE     | WATER USE | SYMBOL   | BOTANICAL NAME         | COMMON NAME                     | SIZE                         | WATER USE | SYMBOL   | BOTANICAL NAME | COMMON NAME                     | SIZE                             | WATER USE             |          |     |
|---|--------------------|----------|-----------|----------|------------------------|---------------------------------|------------------------------|-----------|----------|----------------|---------------------------------|----------------------------------|-----------------------|----------|-----|
| <b>ACCENT TREES / MITIGATION TREES</b>          |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| CERIS OCCIDENTALIS                              | WESTERN REDBUD     | 24" BOX  | LOW       | (Symbol) | CAREX DIVULSA          | EUROPEAN GREY SEDGE             | 1 GALLON                     | LOW       | (Symbol) | ACH MIL.       | ACHILLEA MILLEFOLIUM            | COMMON YARROW                    | 1 GALLON              | LOW      |     |
| LAGERSTROEMIA I. 'CATAWBA'                      | GRAPE MYRTLE STND. | 24" BOX  | LOW       | (Symbol) | CIS SCA                | CISTUS X SWANBERGII             | 1 GALLON                     | LOW       | (Symbol) | BOU 'S.A.'     | BOUTELOUA G. 'BLONDE AMBITION'  | BLUE GRAMA GRASS                 | 1 GALLON              | LOW      |     |
| <b>BRECKENING TREES</b>                         |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| LAURUS NOBILIS SARATOGA                         | SARATOGA LAUREL    | 24" BOX  | LOW       | (Symbol) | CHO TEC                | CHONDROPETALUM TECTORUM         | CAPE RUSH                    | 5 GALLON  | LOW      | (Symbol)       | CIS SKA                         | CISTUS X SWANBERGII              | ROCKROSE              | 1 GALLON | LOW |
| <b>STREET TREES / MITIGATION TREES</b>          |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| OLEA EUROPAEA 'MAJESTIC BEAUTY' FRUITLESS OLIVE | 24" BOX            | LOW      | (Symbol)  | ERI KAR  | ERIGERON KARVINSKIANUS | SANTA BARBARA DAISY             | 1 GALLON                     | LOW       | (Symbol) | CHO TEC        | CHONDROPETALUM TECTORUM         | CAPE RUSH                        | 1 GALLON              | LOW      |     |
| QUERCUS COCCINEA                                | SCARLET OAK        | 36" BOX  | LOW       | (Symbol) | EUNYMUS                | EUNYMUS JAPONICUS 'GREEN SPIRE' | GREEN SPIRE EUNYMUS          | 5 GALLON  | LOW      | (Symbol)       | ERI KAR                         | ERIGERON KARVINSKIANUS           | SANTA BARBARA DAISY   | 1 GALLON | LOW |
| <b>SHRUBS - FRONTIARY</b>                       |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | DIETES                 | DIETES IRIDIODES                | FORTNIGHT LILY               | 1 GALLON  | LOW      | (Symbol)       | FES CAL                         | FESTUCA CALIFORNICA              | CALIFORNIA FESCUE     | 1 GALLON | LOW |
| <b>SHRUBS - BEO-SHUBS</b>                       |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | GRE 'YUC'              | GREVILLEA NOBELII               | WOOLY GREVILLEA              | 5 GALLON  | LOW      | (Symbol)       | MIM AUR                         | MINKLUS AGRIANTAGUS              | STICKY MONKEY FLOWER  | 1 GALLON | LOW |
| <b>GRASS/COVERS</b>                             |                    |          |           |          |                        |                                 |                              |           |          |                |                                 |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | HEL SEM                | HELICTOTRICHON SEMPERVIRENS     | BLUE OAT GRASS               | 1 GALLON  | LOW      | (Symbol)       | MUH RIG                         | MUHLENBERGIA RIGENS              | DEER GRASS            | 1 GALLON | LOW |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | LAV MAR                | LAVATERA MARITIMA               | TREE MALLOW                  | 5 GALLON  | LOW      | (Symbol)       | RIB SAN                         | ROSES SANDERSONII                | RED FLOWERING CURRANT | 1 GALLON | LOW |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | LOW 'BIR'              | LONDMANDRA LONGIFOLIA 'BREEZE'  | DWARF MAT RUSH               | 1 GALLON  | LOW      | (Symbol)       | RHA 'L.S.'                      | RHAMNUS CALIFORNICA 'LITTLE SUR' | COFFEEBERRY           | 1 GALLON | LOW |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | LOS 'E.S.'             | LOROPETALUM 'SHERALD SNOW'      | CHINESE FRINGE FLOWER        | 5 GALLON  | LOW      | (Symbol)       | <b>GRASS/COVERS</b>             |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | MYR 'COM'              | MYRTUS C. 'COMPACTA'            | DWARF MYRTLE                 | 5 GALLON  | LOW      | (Symbol)       | NO MOW TURF - SOODED            |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | NEP FAA                | NEPETA FASSINII                 | CATMINT                      | 1 GALLON  | LOW      | (Symbol)       | AVAILABLE FROM DELTA BLUE GRASS |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | OLE 'L.O.'             | OLEA EUROPAEA 'LITTLE OLLIE'    | LITTLE DWARF OLIVE           | 5 GALLON  | LOW      | (Symbol)       | NATIVE FESCUES                  |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | PHO 'D.D.'             | PHORUM DARK DELIGHT'            | NEW ZEALAND FLAX             | 5 GALLON  | LOW      | (Symbol)       | VINES                           |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | PHO 'VAR'              | PHORUM T. 'VARIESATUM'          | CALIFORNIA WILD ROSE         | 5 GALLON  | LOW      | (Symbol)       | ROSA BANKSIAE                   |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | ROS CAL                | ROSA CALIFORNICA                | CALIFORNIA WILD ROSE         | 1 GALLON  | LOW      | (Symbol)       | LADY BANKS ROSE                 |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | SAL 'LIM'              | SALVA MEDICINA 'LIMELIGHT'      | MEXICAN SAGE                 | 5 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | SAN VIR                | SANTOLINA VIRENS                | GREEN LAVENDER COTTON        | 1 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | STA BYZ                | STACHYS BYZANTINA 'BIG EARS'    | STACHYS BYZANTINA 'BIG EARS' | 1 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | TEU CHA                | TEUCRIUM CHAMAEZEDRY'S          | GERMANDER                    | 1 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | WES 'B.C.'             | WESTRINGIA FRUTICOSA 'BLUE GEM' | BLUE GEM WESTRINGIA          | 1 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |
| (Symbol)  | (Symbol)           | (Symbol) | (Symbol)  | (Symbol) | XYL 'COM'              | XYLOSMA C. 'COMPACTA'           | COMPACT XYLOSMA              | 5 GALLON  | LOW      | (Symbol)       | 5 GALLON                        |                                  |                       |          |     |



**VESTING TENTATIVE MAP  
LANDSCAPE TYPICAL LOTS**

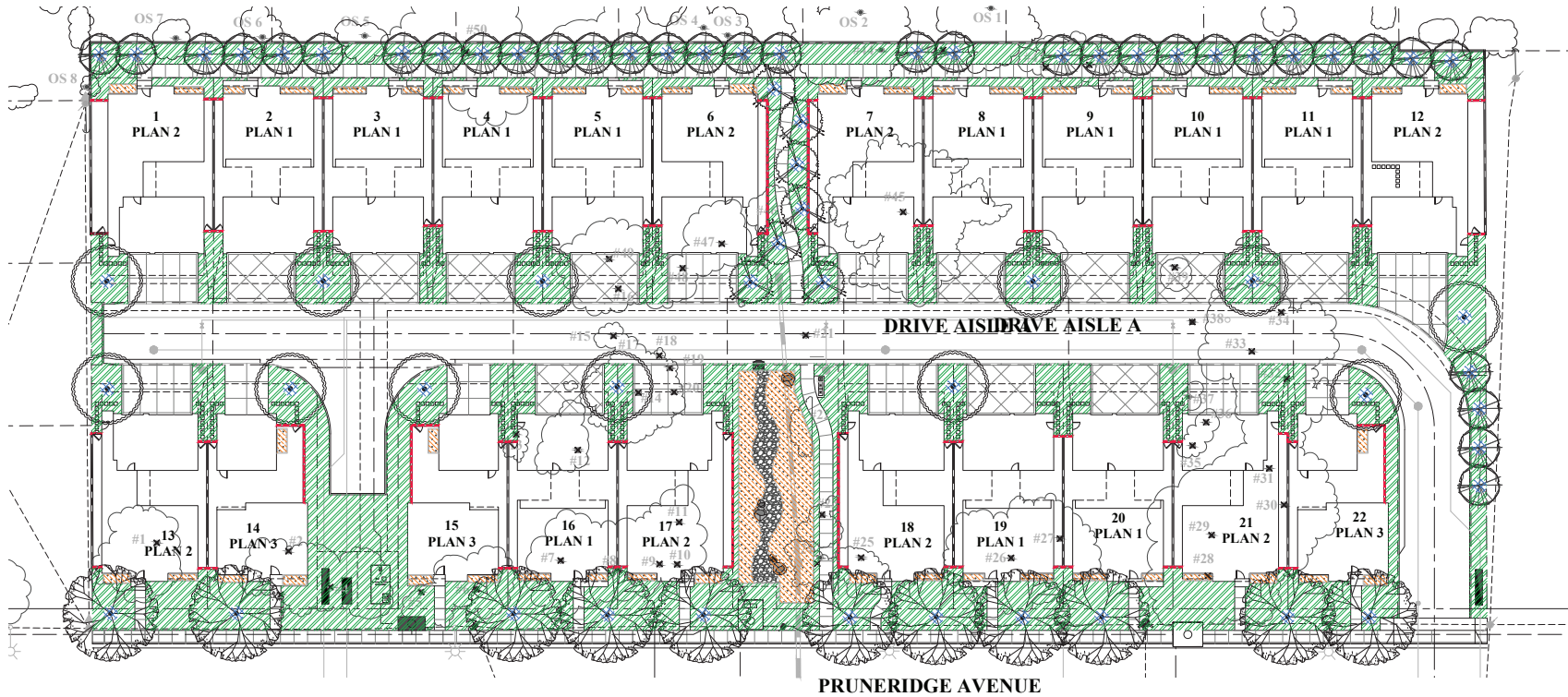
**1957 PRUNERIDGE AVENUE**  
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023






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**L3**  
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JOB NO: 3656



**LANDSCAPE HYDROZONE LEGEND**

-  ZONE A: PARTIAL TO FULL SUN, DROUGHT TOLERANT SHRUB & GROUNDCOVER PLANTING WITH DRIP EMITTERS, LOW WATER USE.
-  ZONE B: PARTIAL TO FULL SUN, TREES WITH BUBBLERS, LOW WATER USE.
-  ZONE C: BIO-RETENTION AREA PLANTING WITH DRIP EMITTERS, LOW WATER USE.

**WATER USE CALCULATIONS:**

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:

$$MAWA = (ET_{0.62} \times 0.25 \times LA)$$

THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:

$$ETWU = (ET_{0.62} \times (LFA \times HA) + SLA)$$

- ET<sub>0</sub> = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
- LA = LANDSCAPE AREA
- HA = HYDROZONE AREA (SQUARE FEET)
- PF = PLANT FACTOR FROM WINDSOLS
- IE = IRRIGATION EFFICIENCY (0.8)
- 0.25 = ET ADJUSTMENT FACTOR
- 0.62 = CONVERSION FACTOR (TO GALLONS)

**WATER BUDGET CALCULATIONS:**

- LOW WATER USE SHRUB PLANTING AREA = 26,783 SF
- LOW WATER USE BIO-RETENTION SHRUB PLANTING AREA = 1,009 SF
- LOW WATER USE TREE PLANTING AREA = 462 SF
- TOTAL PLANTING AREA = 28,254 SF

**ESTIMATED TOTAL WATER USE:**

$$ETWU \text{ (LOW WATER USE)} = (44.2) \times (0.62) \times (0.2 \times 28,254) = 191,855 \text{ GAL/YR}$$

$$\text{TOTAL ETWU} = 191,855 \text{ GAL/YR}$$

**MAXIMUM APPLIED WATER ALLOWANCE:**

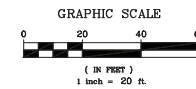
$$MAWA \text{ (TOTAL LANDSCAPED AREA)} = (44.2) \times (0.62) \times (0.45 \times 28,354) = 349,656 \text{ GAL/YR}$$

**NOTE:**  
ALL IRRIGATION SHALL BE DESIGNED FOR RECYCLED WATER USE

**VESTING TENTATIVE MAP  
LANDSCAPE HYDROZONE PLAN**

**1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023



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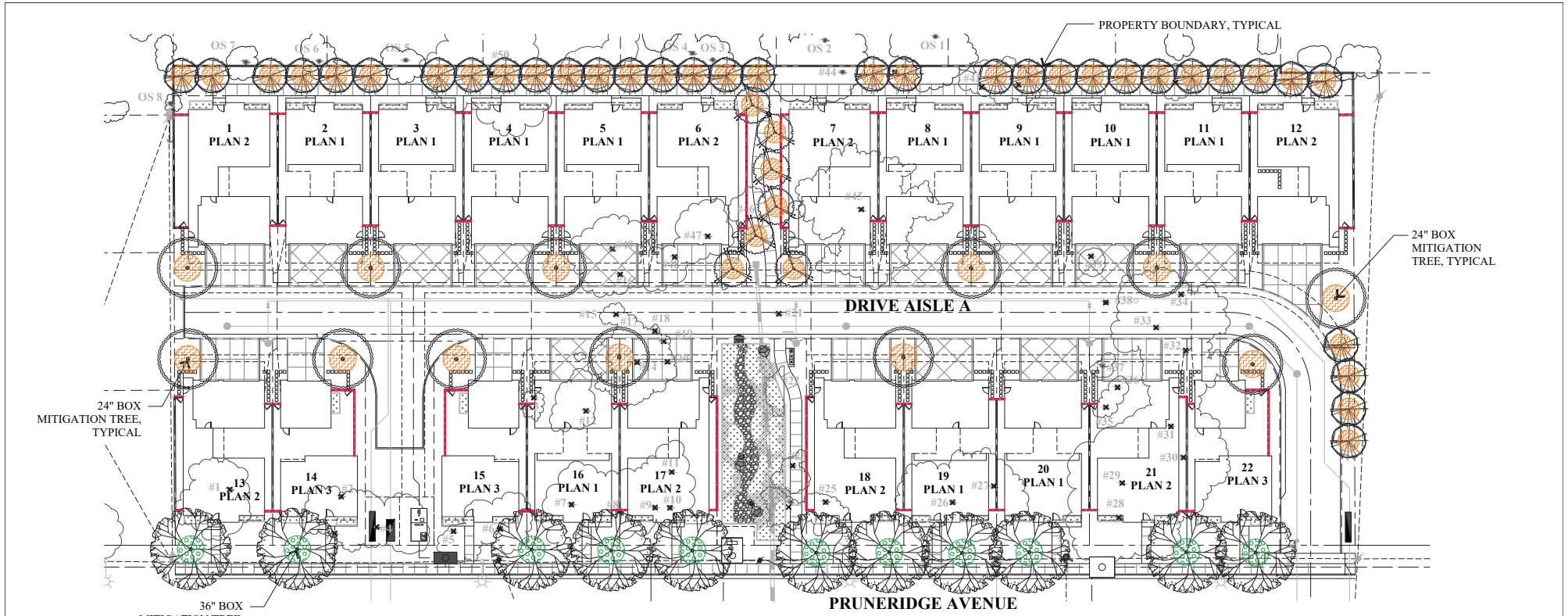
SHEET NO.

**L4**

OF 8 SHEETS

JOB NO: 3656





**TREE REPORT EVALUATION**

(PER TREE REPORT PREPARED BY DAVID J. POWERS AND ASSOCIATES, INC. DATED OCTOBER 20, 2022)

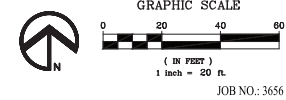
| Tree ID | Species | DBH | Height | Condition | Notes |
|---------|---------|-----|--------|-----------|-------|
| 1       | ...     | ... | ...    | ...       | ...   |
| 2       | ...     | ... | ...    | ...       | ...   |
| 3       | ...     | ... | ...    | ...       | ...   |
| 4       | ...     | ... | ...    | ...       | ...   |
| 5       | ...     | ... | ...    | ...       | ...   |
| 6       | ...     | ... | ...    | ...       | ...   |
| 7       | ...     | ... | ...    | ...       | ...   |
| 8       | ...     | ... | ...    | ...       | ...   |
| 9       | ...     | ... | ...    | ...       | ...   |
| 10      | ...     | ... | ...    | ...       | ...   |
| 11      | ...     | ... | ...    | ...       | ...   |
| 12      | ...     | ... | ...    | ...       | ...   |
| 13      | ...     | ... | ...    | ...       | ...   |
| 14      | ...     | ... | ...    | ...       | ...   |
| 15      | ...     | ... | ...    | ...       | ...   |
| 16      | ...     | ... | ...    | ...       | ...   |
| 17      | ...     | ... | ...    | ...       | ...   |
| 18      | ...     | ... | ...    | ...       | ...   |
| 19      | ...     | ... | ...    | ...       | ...   |
| 20      | ...     | ... | ...    | ...       | ...   |
| 21      | ...     | ... | ...    | ...       | ...   |
| 22      | ...     | ... | ...    | ...       | ...   |
| 23      | ...     | ... | ...    | ...       | ...   |
| 24      | ...     | ... | ...    | ...       | ...   |
| 25      | ...     | ... | ...    | ...       | ...   |
| 26      | ...     | ... | ...    | ...       | ...   |
| 27      | ...     | ... | ...    | ...       | ...   |
| 28      | ...     | ... | ...    | ...       | ...   |
| 29      | ...     | ... | ...    | ...       | ...   |
| 30      | ...     | ... | ...    | ...       | ...   |
| 31      | ...     | ... | ...    | ...       | ...   |
| 32      | ...     | ... | ...    | ...       | ...   |
| 33      | ...     | ... | ...    | ...       | ...   |
| 34      | ...     | ... | ...    | ...       | ...   |
| 35      | ...     | ... | ...    | ...       | ...   |
| 36      | ...     | ... | ...    | ...       | ...   |
| 37      | ...     | ... | ...    | ...       | ...   |
| 38      | ...     | ... | ...    | ...       | ...   |
| 39      | ...     | ... | ...    | ...       | ...   |
| 40      | ...     | ... | ...    | ...       | ...   |
| 41      | ...     | ... | ...    | ...       | ...   |
| 42      | ...     | ... | ...    | ...       | ...   |
| 43      | ...     | ... | ...    | ...       | ...   |
| 44      | ...     | ... | ...    | ...       | ...   |
| 45      | ...     | ... | ...    | ...       | ...   |
| 46      | ...     | ... | ...    | ...       | ...   |
| 47      | ...     | ... | ...    | ...       | ...   |
| 48      | ...     | ... | ...    | ...       | ...   |
| 49      | ...     | ... | ...    | ...       | ...   |
| 50      | ...     | ... | ...    | ...       | ...   |
| 51      | ...     | ... | ...    | ...       | ...   |
| 52      | ...     | ... | ...    | ...       | ...   |
| 53      | ...     | ... | ...    | ...       | ...   |
| 54      | ...     | ... | ...    | ...       | ...   |
| 55      | ...     | ... | ...    | ...       | ...   |
| 56      | ...     | ... | ...    | ...       | ...   |
| 57      | ...     | ... | ...    | ...       | ...   |
| 58      | ...     | ... | ...    | ...       | ...   |
| 59      | ...     | ... | ...    | ...       | ...   |
| 60      | ...     | ... | ...    | ...       | ...   |
| 61      | ...     | ... | ...    | ...       | ...   |
| 62      | ...     | ... | ...    | ...       | ...   |
| 63      | ...     | ... | ...    | ...       | ...   |
| 64      | ...     | ... | ...    | ...       | ...   |

X DESIGNATES TREES TO BE REMOVED.

**TREE MITIGATION NOTE:**  
 TOTAL OF (64) MITIGATION TREES ARE PROPOSED TO MITIGATE TOTAL OF (49) EXISTING TREES TO BE REMOVED, (11) OF THE MITIGATION TREES ARE UPSIZED TO BE 36" BOX.  
 \* REQUIRED TREE PLACEMENT RATIO 2:1 FOR GOOD OR MEDIUM CONDITION TREES, RATIO 1:1 FOR POOR CONDITION TREES. (34) EXISTING TREES ARE IN GOOD OR MEDIUM CONDITION, (15) TREES ARE IN POOR CONDITION. ANY DIFFERENCE SHALL BE SATISFIED BY IN-LIEU FEES.  
 REQUIRED TOTAL MITIGATION TREES: 34 X 2+15 = 83

**VESTING TENTATIVE MAP  
 TREE MITIGATION PLAN  
 1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
 SCALE: AS SHOWN DATE: August 22, 2023

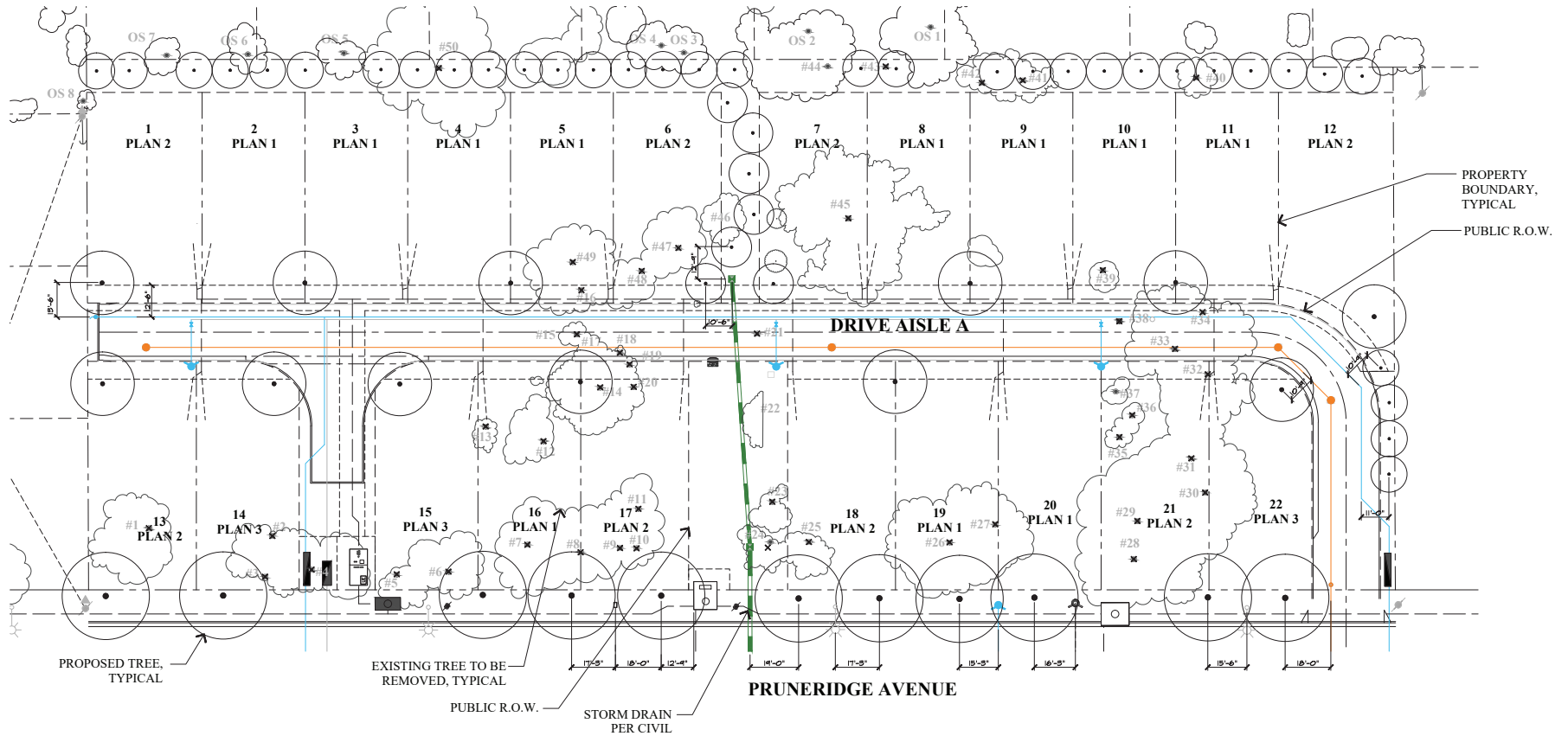


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SHEET NO. **L5**  
 OF 8 SHEETS

JOB NO: 3656



**LEGEND**

- EXISTING TREE CANOPY TO BE REMOVED
- EXISTING TREE CANOPY TO BE REMAIN
- PROPOSED TREE CANOPY REFER TO SHEET L1 FOR SIZE AND SPECIES
- SANITARY SEWER PER CIVIL
- WATER PER CIVIL
- STORM DRAIN PER CIVIL

**NOTES:**

ALL PROPOSED TREES ARE DESIGNED TO MAINTAIN A MINIMUM 10'-0" HORIZONTAL CLEARANCE FROM UTILITIES.

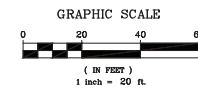
TREES ARE TO BE PLANTED A MINIMUM OF 5' FROM BASE OF TREE, TREES 5' TO 10' FROM BASE OF TREE TO INCLUDE INSTALLATION OF A ROOT BARRIER.

**VESTING TENTATIVE MAP**

**TREE AND UTILITY PLAN**

**1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023

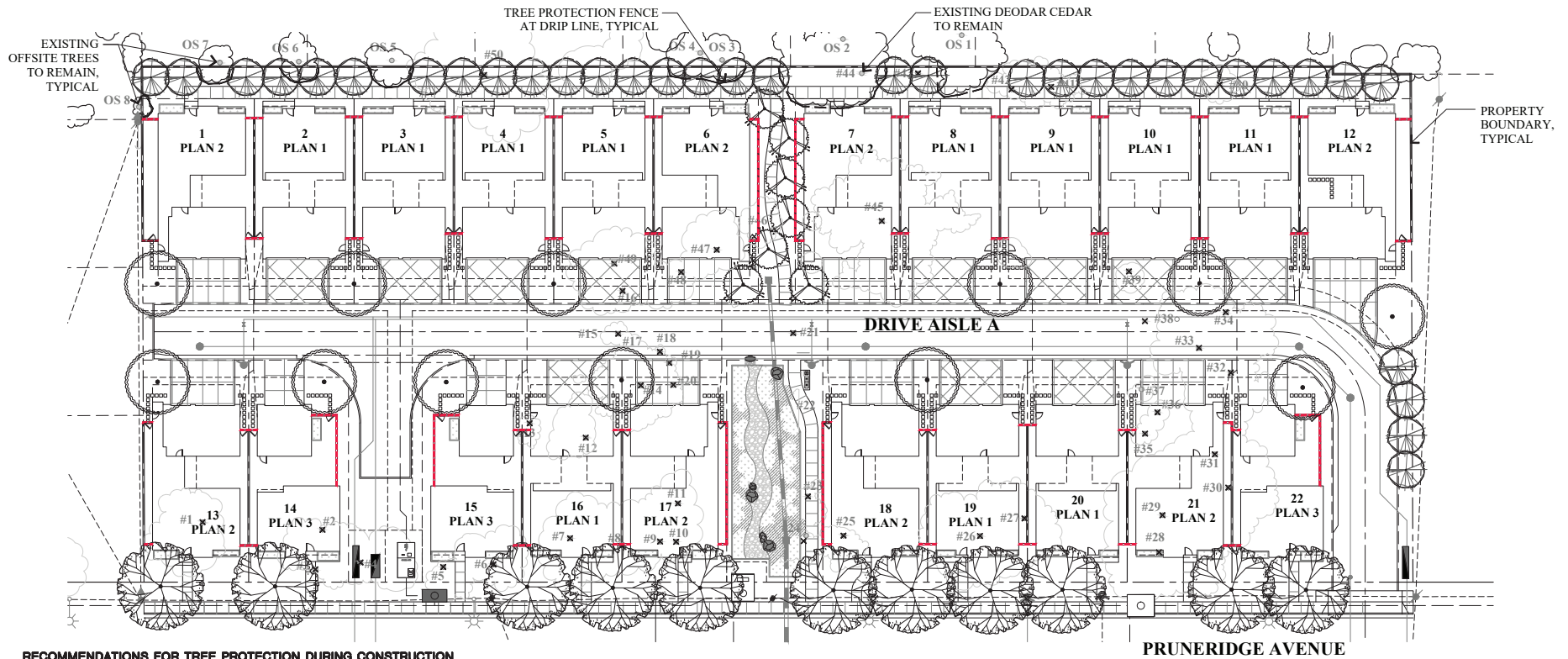


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JOB NO.: 3656



**RECOMMENDATIONS FOR TREE PROTECTION DURING CONSTRUCTION**

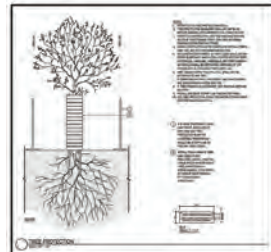
**SITE PREPARATION:** ALL EXISTING TREES SHALL BE FENCED WITHIN OR AT THE DRIP LINE (FOLIAR SPREAD) OF THE TREE. DEPENDING ON THE LOCATION OF THE TREE THE FENCING MAY NOT BE ABLE TO BE AT THE DRIPLINE. EXAMPLES OF THIS WOULD BE PUBLIC RIGHT OF WAY, NEAR PROPERTY LINES OR AROUND EXISTING STRUCTURES TO REMAIN. WHERE COMPLETE DRIP LINE FENCING IS NOT POSSIBLE, THE ADDITION OF STRAW WADDOLES AND ORANGE SNOW FENCING WRAPPING THE TRUNK SHALL BE INSTALLED PER THE TREE PROTECTION DETAIL. THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF GALVANIZED 1/2-GAUGE WIRE MESH WITH GALVANIZED POSTS OR ANY MATERIAL SUPERIOR IN QUALITY. A TREE PROTECTION ZONE (TPZ) SIGN SHALL BE AFFIXED TO FENCING AT APPROPRIATE INTERVALS AS DETERMINED BY THE ARBORIST ON SITE. SEE TREE PROTECTION DETAIL FOR ADDITIONAL INFORMATION, INCLUDING TREE PROTECTION ZONE SIGN. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, THE FOLIAR FRINGE SHALL BE RAISED TO OFFSET THE CHANCE OF LIMB DAMAGE FROM ACTIVE CONSTRUCTION.

**ACTIVE CONSTRUCTION:** ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCROACHMENT WITHIN THE FENCED AREA AND DRIPLINE IS PROHIBITED WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT. IF CONSTRUCTION ACTIVITY NEEDS TO HAPPEN IN THE TPZ THE FENCE CAN BE MOVED TEMPORARILY FOR DELIVERY OF CONSTRUCTION MATERIALS. THE CONTRACTOR SHOULD MAKE ACCOMMODATIONS TO OFF LOAD ITEMS SUCH AS TRUSSES, TIMBER, PLASTERBOARD, WALLBOARD, CONCRETE, GYPSUM BOARD, FLOORING, ROOFING OR ANY OTHER HEAVY CONSTRUCTION MATERIAL OUTSIDE THE FOLIAR SPREAD OF THE TREE SO THERE IS NO HEAVY EQUIPMENT NEEDED THAT COULD CAUSE DAMAGE TO THE CANOPY OF THE TREE OR COMPACT THE ROOT ZONE. THE TREE PROTECTION FENCING SHOULD BE REESTABLISHED PER THE PLANS AND DETAILS IMMEDIATELY AFTER ANY ACTIVITY THROUGH THE TPZ. PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.

**GRADING/EXCAVATING:** ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN THE SITE PREPARATION SECTION ABOVE WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY A CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OBTAINED BY AN ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR AND DUG DIRECTLY BENEATH THE TRUNK OF THE TREE. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED NIGHTLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. AN ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.

**REMEDIAL REPAIRS:** AN ARBORIST SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES AND PRESCRIBING NECESSARY REMEDIAL WORK TO ENSURE THE HEALTH AND STABILITY OF THE TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN THE PREVIOUS SECTIONS. IN ADDITION, PRUNING, AS OUTLINED IN INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES; PRUNING AND ANSI A300 PART I STANDARD PRACTICES; PRUNING SHALL BE PRESCRIBED AS NECESSARY. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONER'S OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.

**FINAL INSPECTION:** UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. AN ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINING THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.



(PER TREE REPORT PREPARED BY DAVID J. POWERS AND ASSOCIATES, INC. DATED OCTOBER 20, 2022)

**NOTES:**  
NO CUTTING OF ANY PART OF PRIVATE TREES OR PUBLIC TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING PRIOR APPROVAL OF THE CITY ARBORIST. TREE TRIMMING/REMOVAL SHALL BE DONE IN ACCORDANCE TO THE CITY OF SANTA CLARA TREE PRESERVATION/CITY ARBORIST SPECIFICATIONS AND WITH DIRECT SUPERVISION OF A CERTIFIED ARBORIST (CERTIFICATION OF INTERNATIONAL SOCIETY OF ARBORICULTURE).

**LEGEND**

- #X EXISTING ONSITE TREE
- EXISTING OFFSITE TREE
- ✕ DESIGNATES TREES TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE AT DRIP LINE PER ARBORIST REPORT

**VESTING TENTATIVE MAP  
TREE PROTECTION PLAN**

**1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023

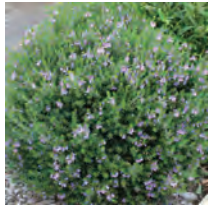
**GRAPHIC SCALE**  
0 20 40 60  
( IN FEET )  
1 inch = 20 ft.

**cbg**  
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SHEET NO.  
**L7**  
OF 8 SHEETS

JOB NO.: 3656



WESTRINGIA FRUTICOSA 'BLUE GEM'  
BLUE GEM WESTRINGIA



OLEA EUROPAEA 'LITTLE OLLIE'  
LITTLE OLLIE DWARF OLIVE



LAVATERA MARITIMA  
TREE MALLOW



XYLOSMA CONGESTUM 'COMPACTA'  
COMPACT XYLOSMA



MYRTUS C. 'COMPACTA'  
DWARF MYRTLE



CAREX DIVULSA  
EUROPEAN GREY SEDGE



STACHYS BYZANTINA 'BIG EARS'  
BIG EARS LAMB'S EAR



CHONDROPETALUM TECTORUM  
SMALL CAPE RUSH



BOUTELOUA G. 'BLONDE  
AMBITION'  
BLUE GRAMA GRASS



RHAMNUS C. 'LITTLE SUR'  
COFFEEBERRY



EUONYMUS J. 'GREEN SPIRE'  
GREEN SPIRE EUONYMUS



PHORMIUM T. 'VARIEGATUM'  
NEW ZEALAND FLAX



SALVIA MEXICANA 'LIMELIGHT'  
MEXICAN SAGE



GREVILLEA 'NOELLI'  
WOOLY GREVILLEA



MUHLENBERGIA RIGENS  
DEER GRASS



LOMANDRA LONGIFOLIA 'BREEZE'  
DWARF MAT RUSH



SANTOLINA VIRENS  
GREEN LAVENDER COTTON



LANTANA 'CHAPEL HILL YELLOW'  
CHAPEL HILL LANTANA



CISTUS X SKANBERGII  
ROCKROSE



ROSA CALIFORNICA  
CALIFORNIA WILD ROSE



NEPETA FAASSENII  
CATMINT



DIETES IRIDIOIDES  
FORTNIGHT LILY



LOROPETALUM 'EMERALD SNOW'  
CHINESE FRINGE  
FLOWER



RIBES SANGUINEUM  
RED FLOWERING CURRANT



PHORMIUM 'DARK DELIGHT'  
NEW ZEALAND FLAX



ACHILLEA MILLEFOLIUM  
COMMON YARROW



TUECRIUM CHAMAEDRYS  
GERMANDER



FESTUCA CALIFORNICA  
CALIFORNIA FESCUE



MIMULUS AURANTIACUS  
STICKY MONKEY FLOWER



STACHYS BYZANTINA 'BIG EARS'  
BIG EARS LAMB'S EAR



ERIGERON KARVINSKIANUS  
SANTA BARBARA DAISY

## VESTING TENTATIVE MAP

### LANDSCAPE PLANTING PALETTE

### 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: AS SHOWN DATE: August 22, 2023



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OF 8 SHEETS

JOB NO.: 3656



PLAN BMR

PLAN 1B

PLAN 2B

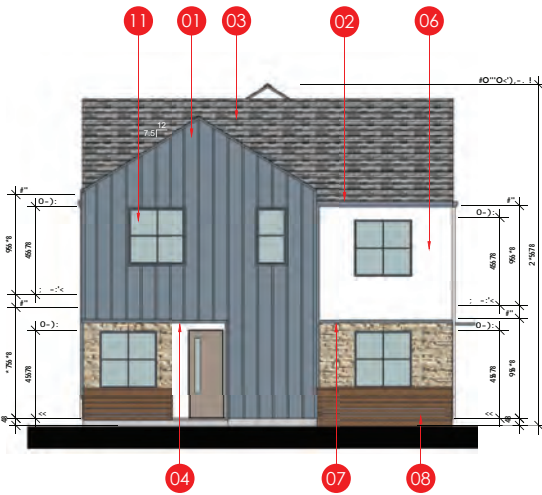
1957 PRUNERIDGE AVENUE

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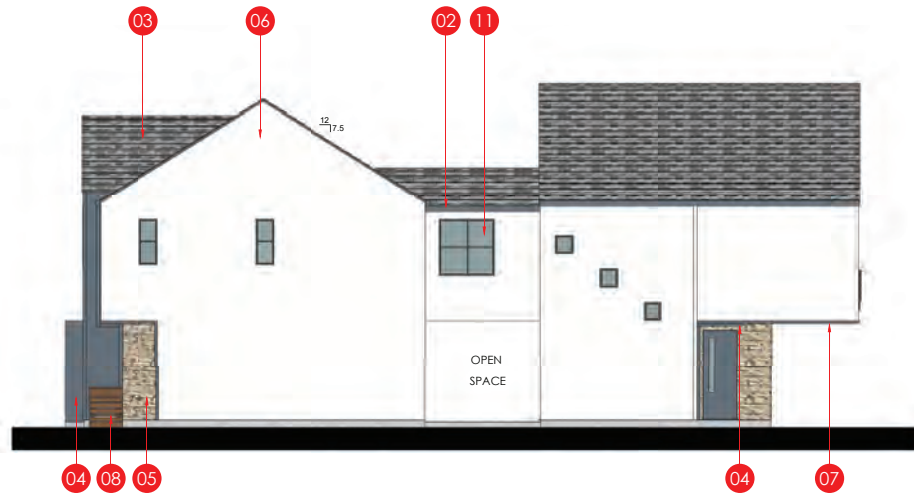
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 SHEET NO.:  
**A0.0**  
 OF 14 SHEETS



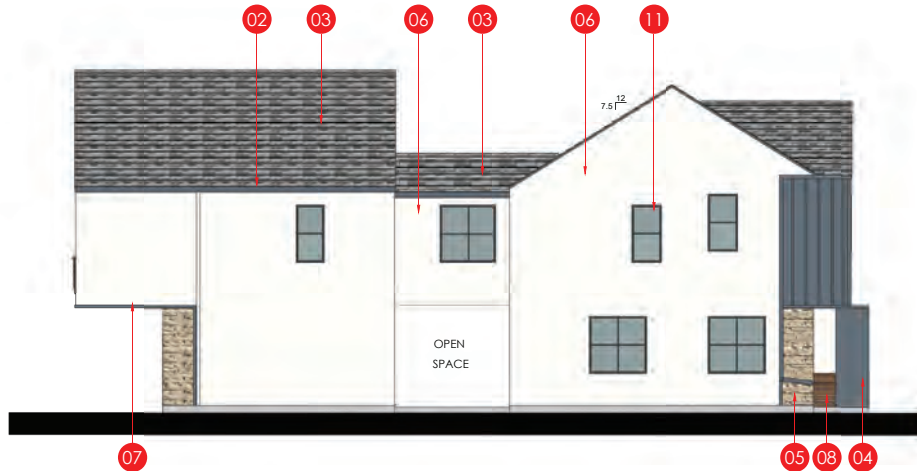
FRONT ELEVATION

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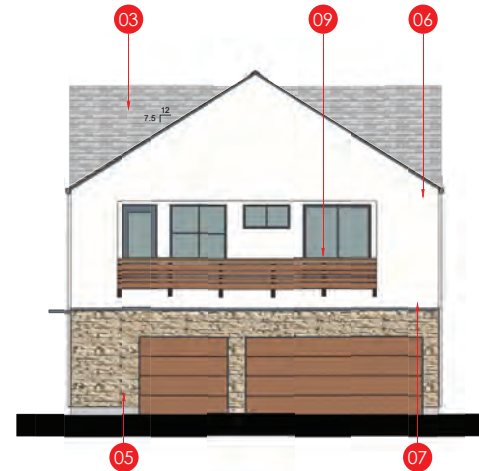
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

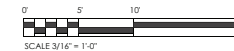
SCALE: 3/16"=1'-0"

| -> O#1 ( |                         |
|----------|-------------------------|
| 01       | BATTEN BOARD            |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW / PANEL  |
| 05       | STONE VENER             |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENSION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE

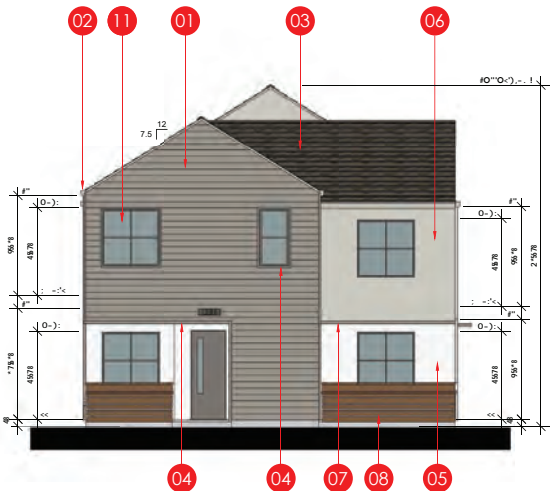
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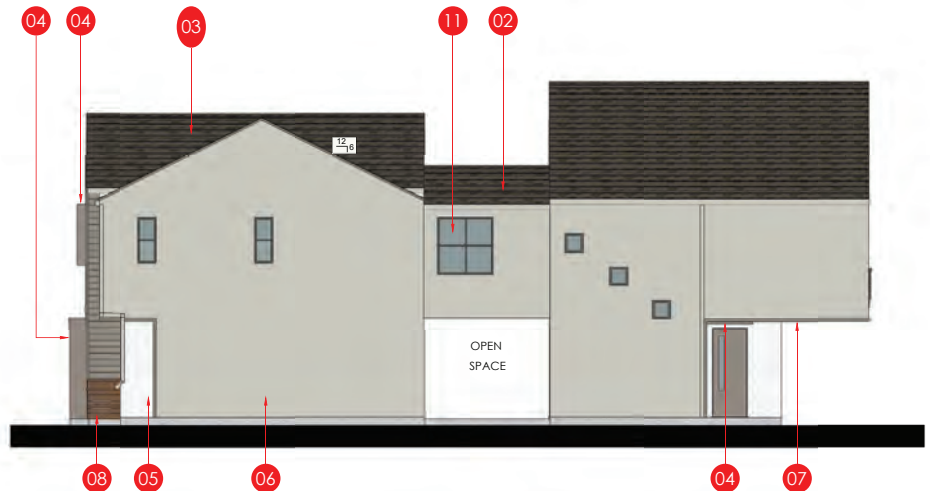


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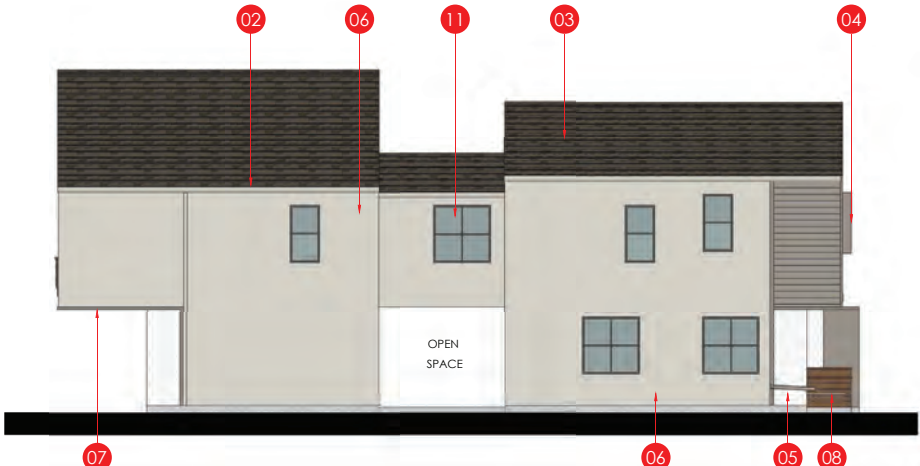
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 OF 14 SHEETS



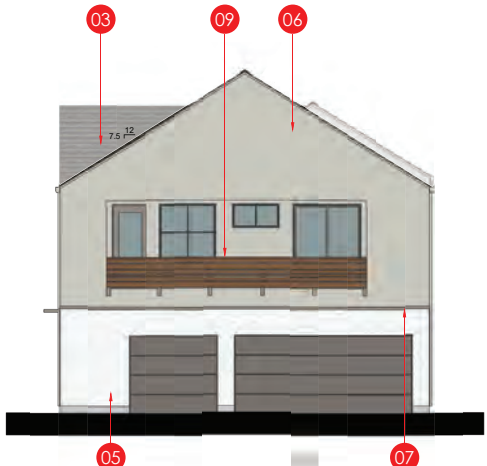
FRONT ELEVATION  
SCALE: 3/16"=1'-0"



RIGHT ELEVATION  
SCALE: 3/16"=1'-0"



LEFT ELEVATION  
SCALE: 3/16"=1'-0"

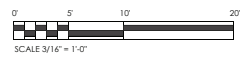


REAR ELEVATION  
SCALE: 3/16"=1'-0"

| -> O#1 ( |                         |
|----------|-------------------------|
| 01       | HORIZONTAL SIDING       |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW / PANEL  |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE  
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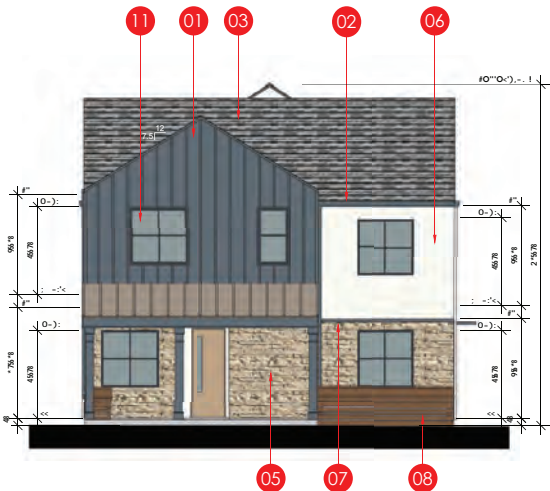


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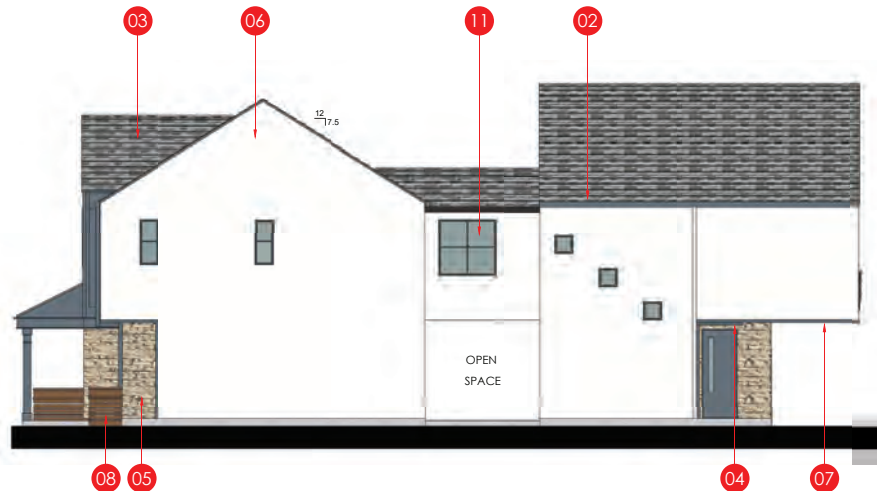
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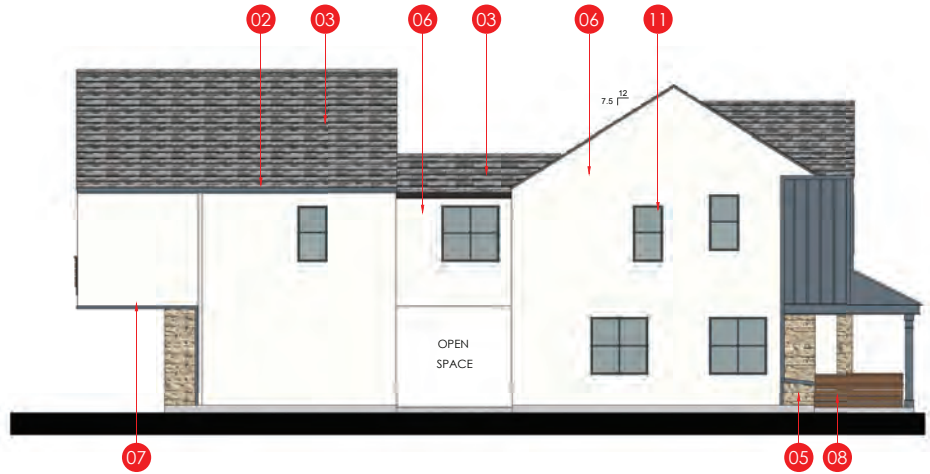
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**A1.2**  
OF 14 SHEETS



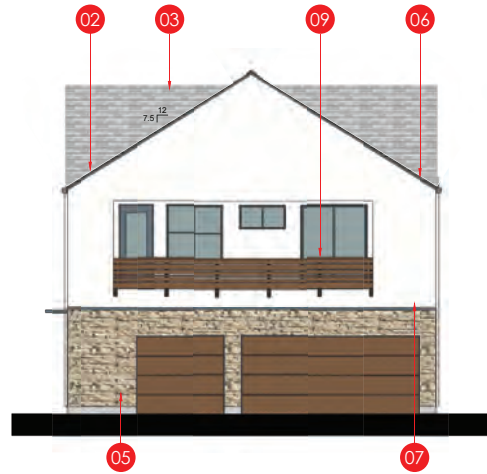
FRONT ELEVATION  
SCALE: 3/16"=1'-0"



RIGHT ELEVATION  
SCALE: 3/16"=1'-0"



LEFT ELEVATION  
SCALE: 3/16"=1'-0"

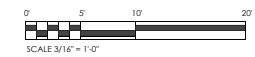


REAR ELEVATION  
SCALE: 3/16"=1'-0"

| -1> O#1 ( |                         |
|-----------|-------------------------|
| 01        | BATTEN BOARD            |
| 02        | GUTTER                  |
| 03        | ASPHALT SHINGLES        |
| 04        | METAL EYE BROW          |
| 05        | STONE VENER             |
| 06        | STUCCO                  |
| 07        | WOOD TRIM               |
| 08        | WATER RETENSION PLANTER |
| 09        | DECORATIVE WOOD RAIL    |
| 10        | DECORATIVE LIGHT        |
| 11        | TYP. RECESSED WINDOW    |
| 12        | STANDING SEAM ROOF      |

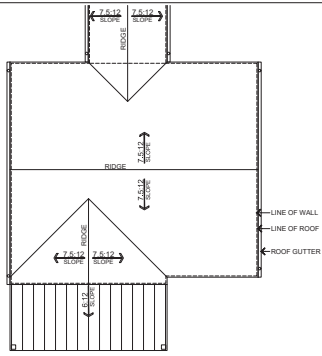
1957 PRUNERIDGE AVENUE  
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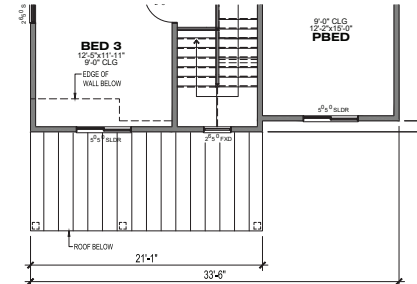


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 SHEET NO.:  
**A1.3**  
 OF 14 SHEETS

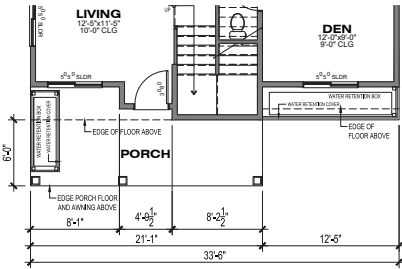




**ROOF PLAN**  
SCALE: 1/8"=1'-0"

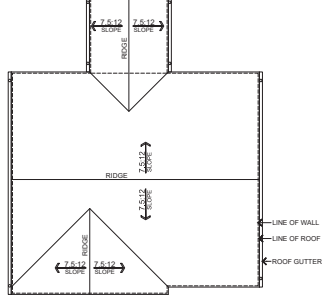
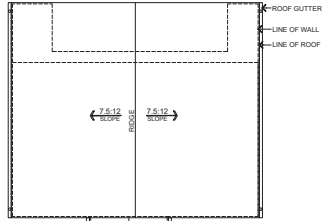


**2ND FLOOR**

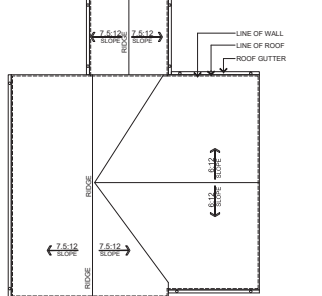
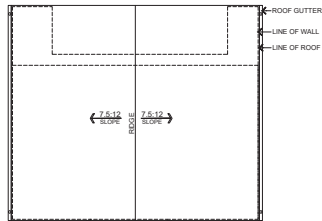


**1ST FLOOR  
PLAN 1A  
WITH OPT PORCH**

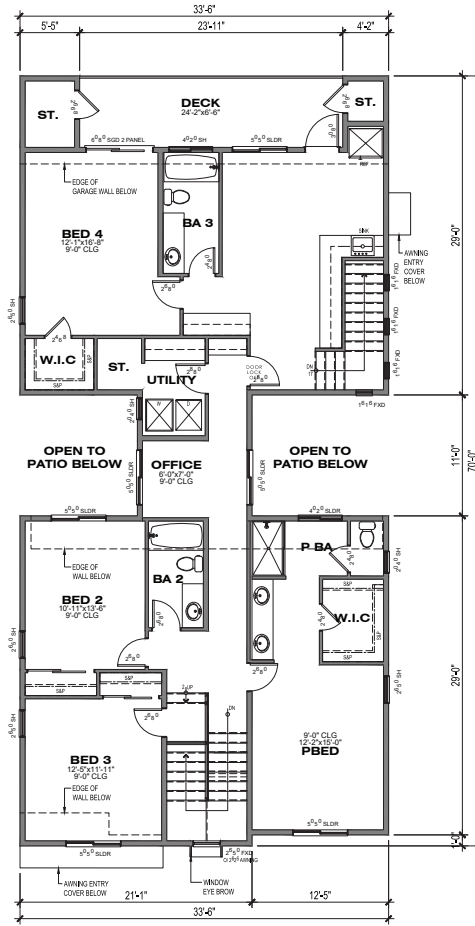
PRUNERIDGE ROAD SIDE  
1957 PRUNERIDGE AVENUE  
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1'-0" DATE: 21 SEPTEMBER 2023



**ROOF PLAN 1A**  
SCALE: 1/8"=1'-0"



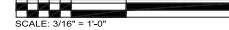
**ROOF PLAN 1B**  
SCALE: 1/8"=1'-0"



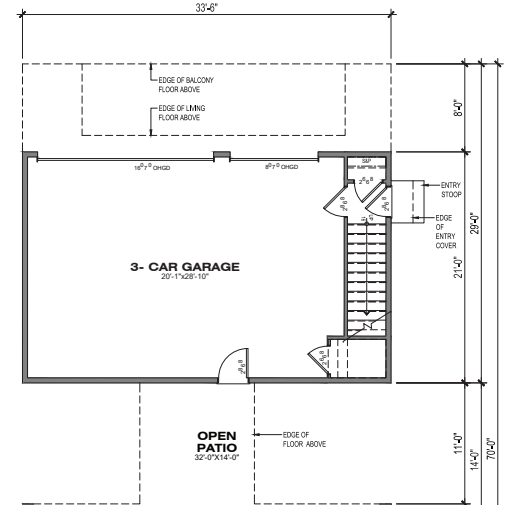
**2ND FLOOR**  
1,777.52 SF

**PLAN 1A**  
REAR NEIGHBORHOOD SIDE  
4BED/3.5BA  
AREA: 2,615.73 SF

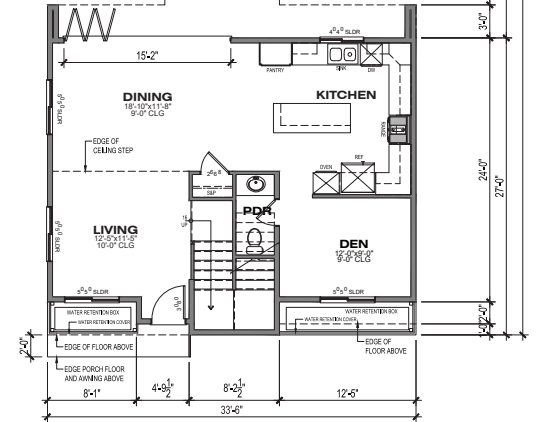
NOTE:  
FLOOR PLANS REPRESENT PLAN 1A ELEVATIONS. PLAN 1B  
FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF  
WINDOWS AND ROOF DESIGN



SCALE: 3/16" = 1'-0"

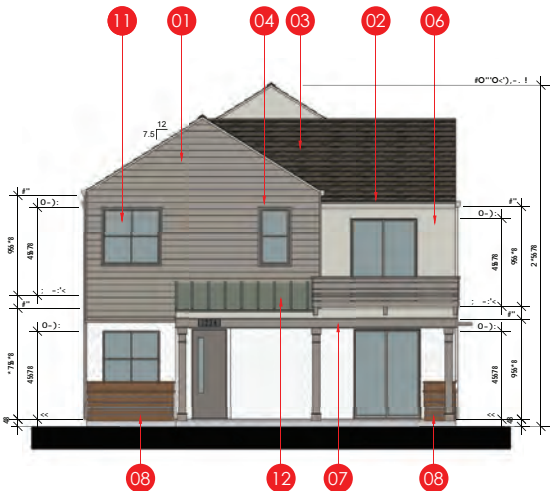


**1ST FLOOR**  
838.21 SF

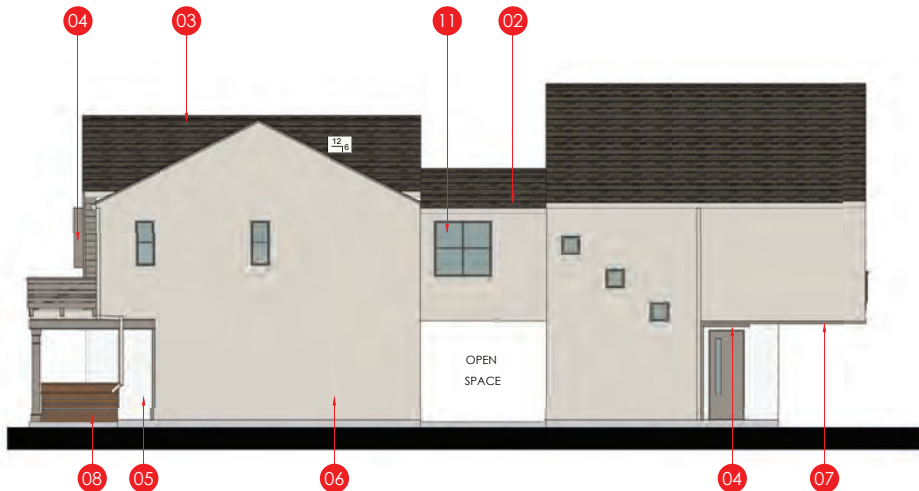


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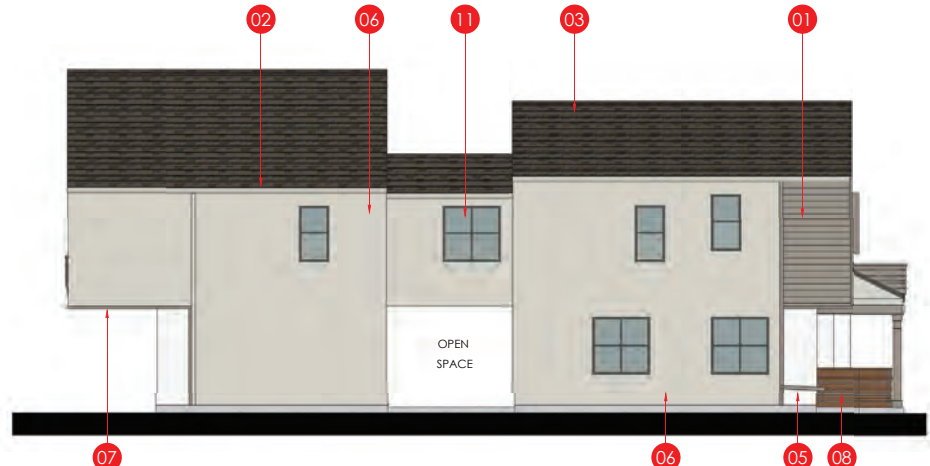
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OF SHEETS



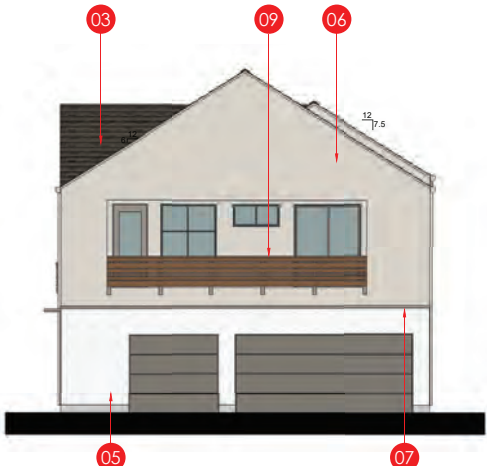
FRONT ELEVATION  
SCALE: 3/16"=1'-0"



RIGHT ELEVATION  
SCALE: 3/16"=1'-0"



LEFT ELEVATION  
SCALE: 3/16"=1'-0"



REAR ELEVATION  
SCALE: 3/16"=1'-0"

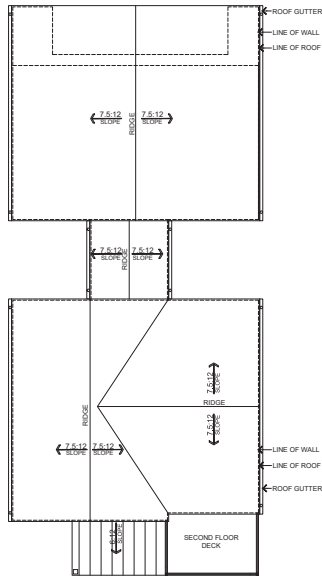
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|----------|-------------------------|
| 01       | HORIZONTAL SIDING       |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW          |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE  
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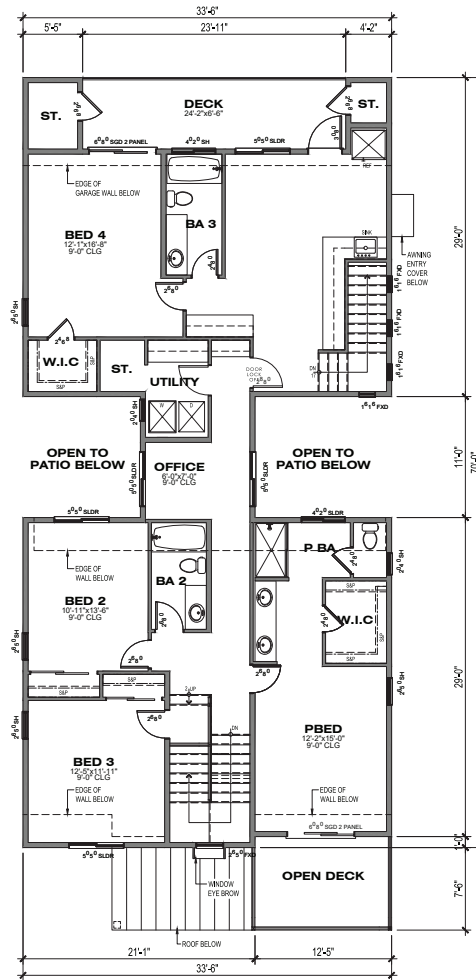
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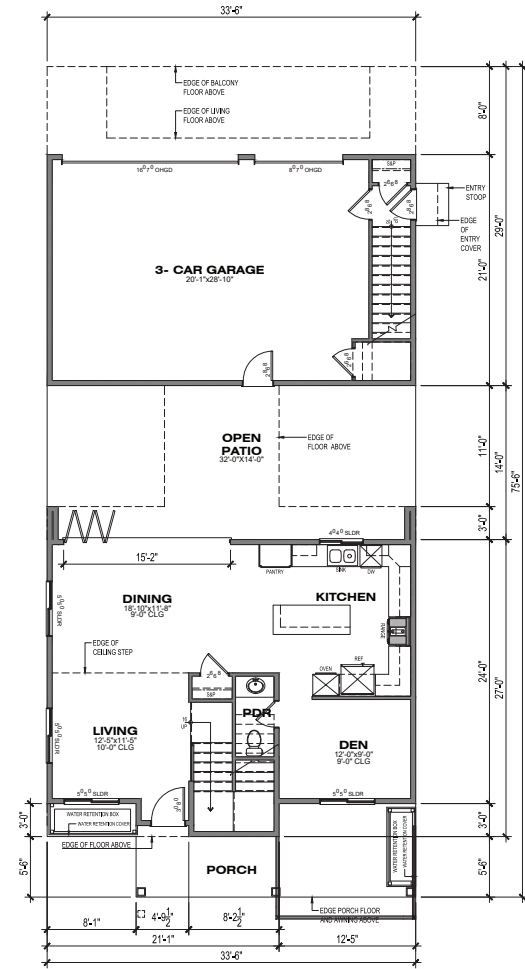
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**A1.5**  
 OF 14 SHEETS



**ROOF PLAN 1B**  
SCALE: 1/8" = 1'-0"



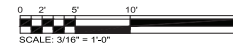
**2ND FLOOR**  
1,777.52 SF



**1ST FLOOR**  
838.21 SF

**PLAN 1B**  
WITH PORCH DECK  
PRUNERIDGE ROAD SIDE  
4BED/3.5BA  
AREA: 2,615.73 SF

NOTE:  
FLOOR PLANS REPRESENT PLAN 1A ELEVATIONS. PLAN 1B FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF WINDOWS AND ROOF DESIGN

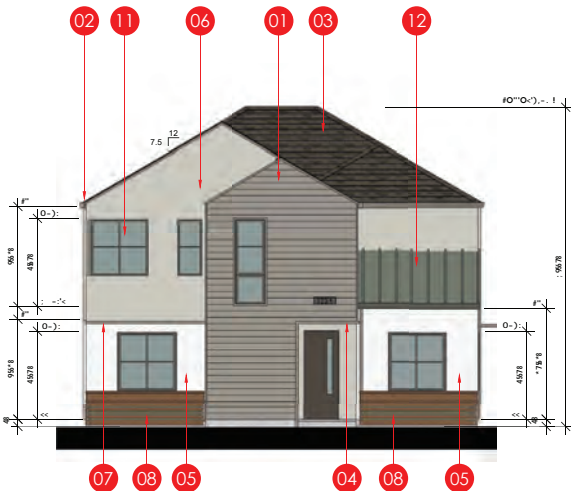


**1957 PRUNERIDGE AVENUE**

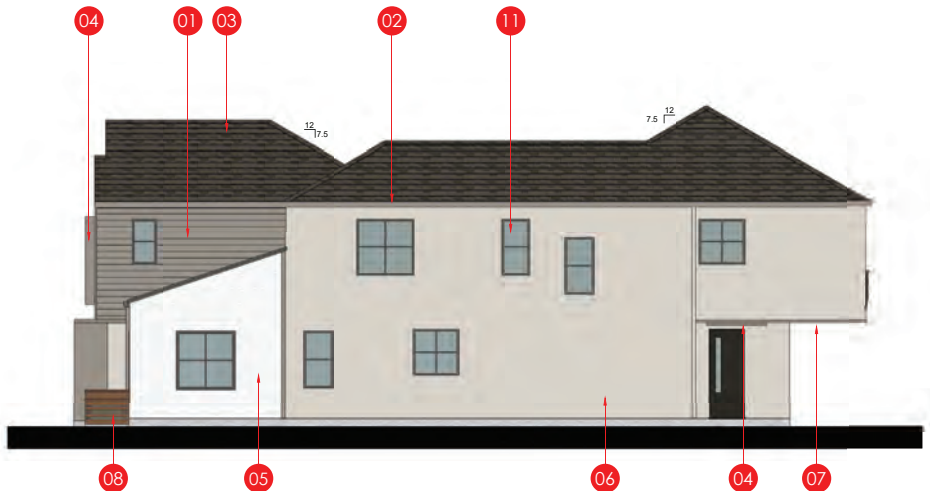
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1'-0" DATE: 21 SEPTEMBER 2023

JOB NO.: 22007.00  
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SHEET NO.  
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OF SHEETS

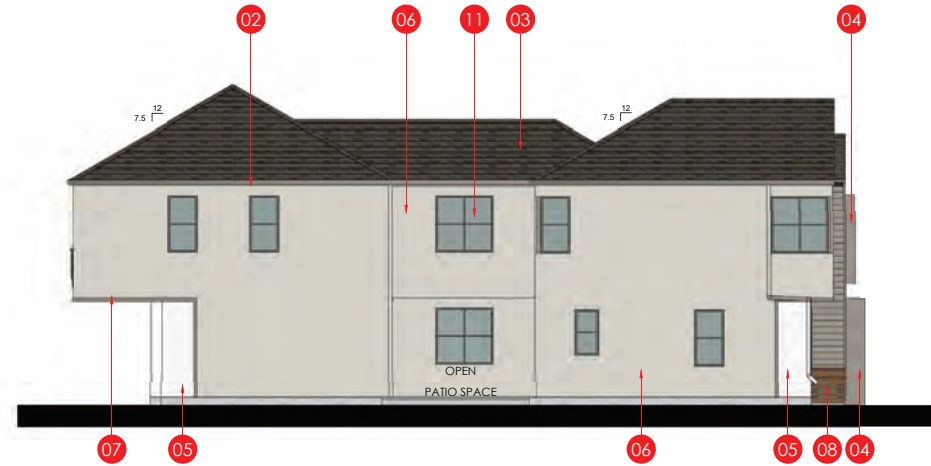


FRONT ELEVATION  
SCALE: 3/16"=1'-0"

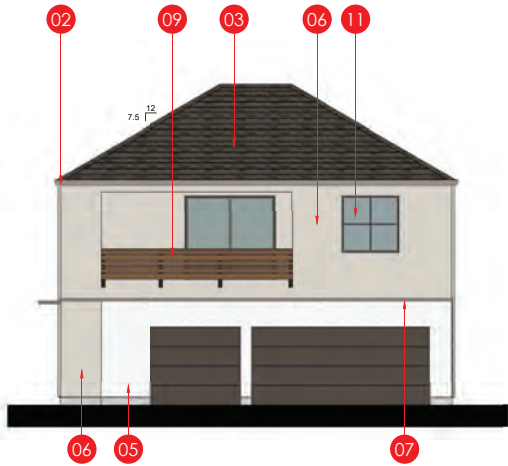


RIGHT ELEVATION  
SCALE: 3/16"=1'-0"

| =!> O#1 ( |                         |
|-----------|-------------------------|
| 01        | HORIZONTAL SIDING       |
| 02        | GUTTER                  |
| 03        | ASPHALT SHINGLES        |
| 04        | METAL EYE BROW          |
| 05        | STONE VENEER            |
| 06        | STUCCO                  |
| 07        | WOOD TRIM               |
| 08        | WATER RETENTION PLANTER |
| 09        | DECORATIVE WOOD RAIL    |
| 10        | DECORATIVE LIGHT        |
| 11        | TYP. RECESSED WINDOW    |
| 12        | STANDING SEAM ROOF      |



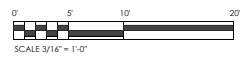
LEFT ELEVATION  
SCALE: 3/16"=1'-0"



REAR ELEVATION  
SCALE: 3/16"=1'-0"

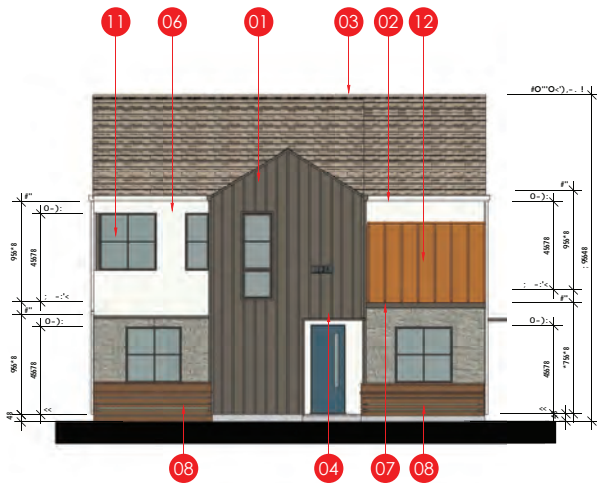
1957 PRUNERIDGE AVENUE  
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 CO&O)'(CO! 1!'\*(003



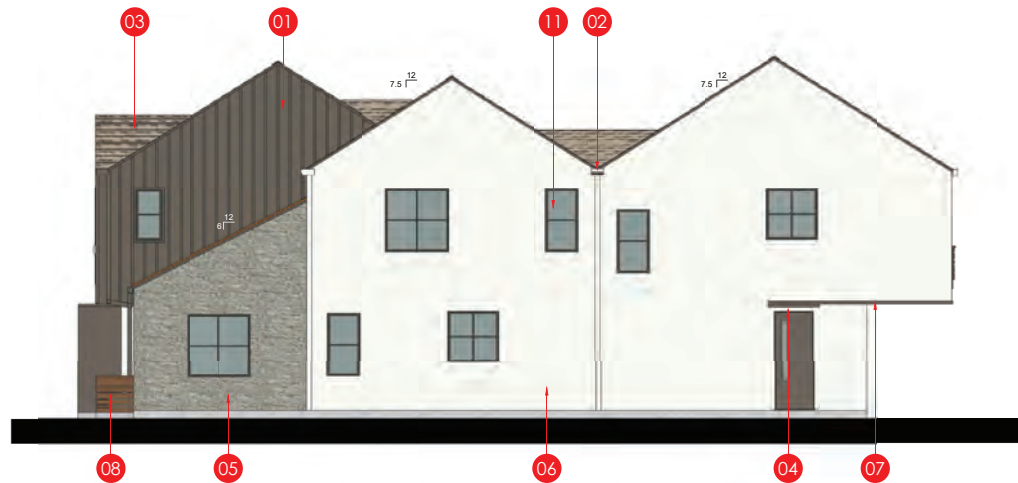
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 SHEET NO.:  
**A2.1**  
 OF 14 SHEETS



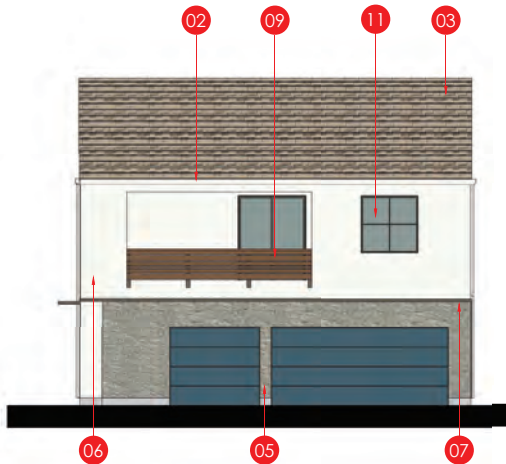
FRONT ELEVATION

SCALE: 3/16"=1'-0"



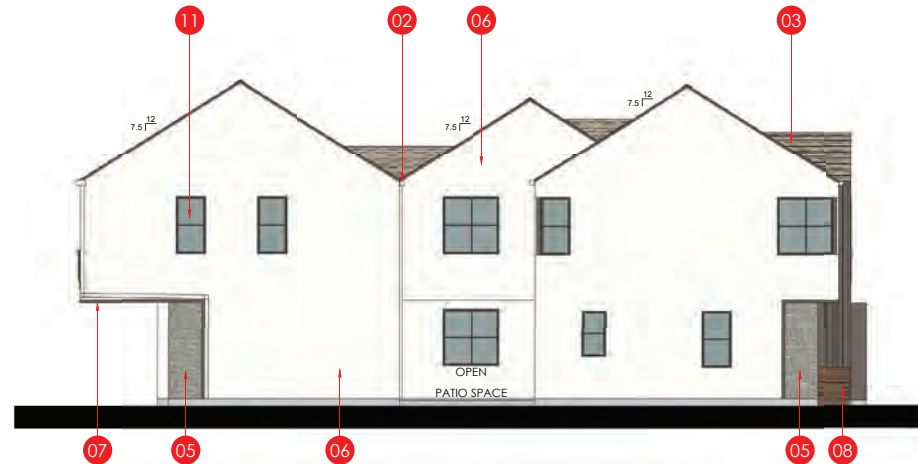
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

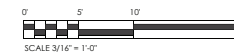
SCALE: 3/16"=1'-0"

| -> 0#1 ( |                         |
|----------|-------------------------|
| 01       | BATTEN BOARD            |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW          |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE

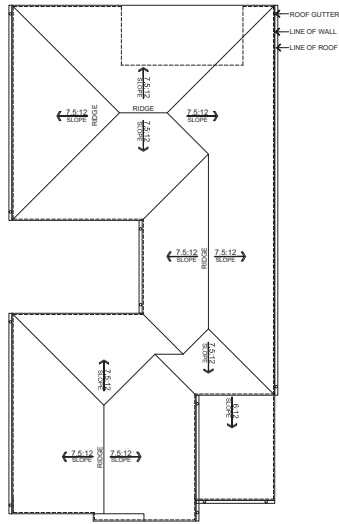
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" ; + '\$ , & - , . ' ! & ! / % # , O ( ' CO&O)'(CO! 1 ! ! ; '(OO3 ' )!%)' ! ,. O+O)'(-!

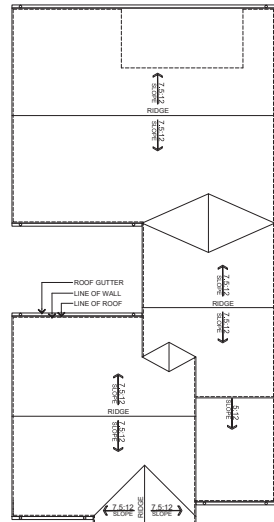


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SHEET NO.:  
**A2.2**  
 OF 14 SHEETS



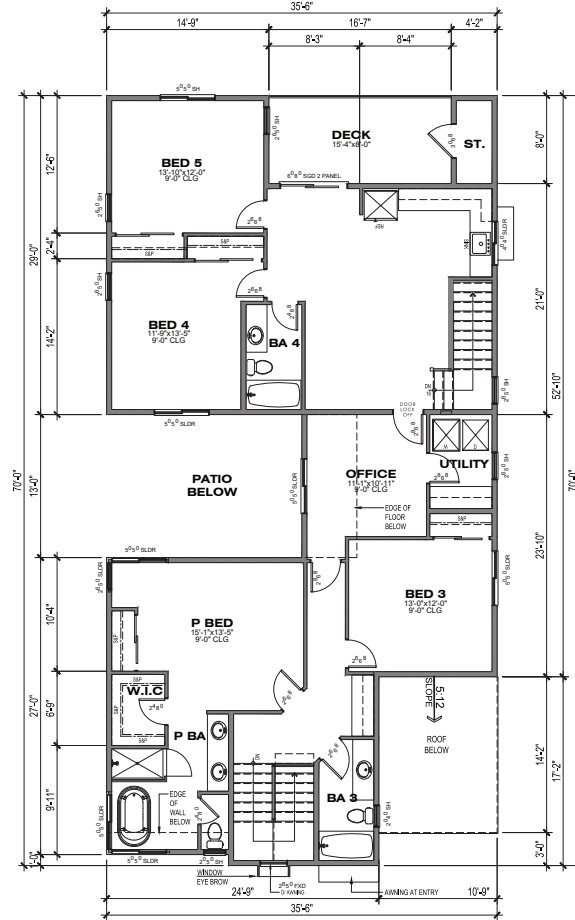
**ROOF PLAN 2A**  
SCALE: 1/8"=1'-0"



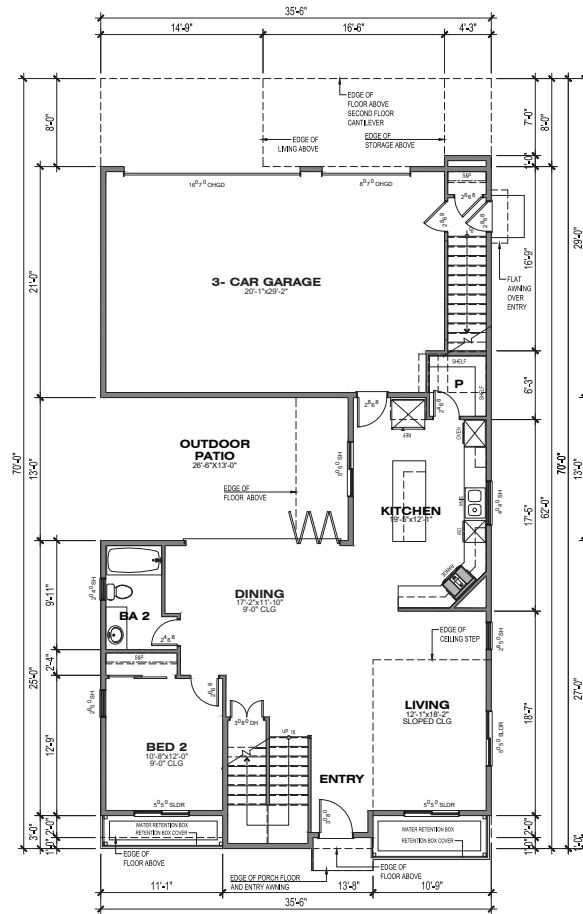
**ROOF PLAN 2B**  
SCALE: 1/8"=1'-0"

**1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023



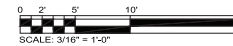
**2ND FLOOR**  
1,804.82 SF



**1ST FLOOR**  
1,120.43 SF

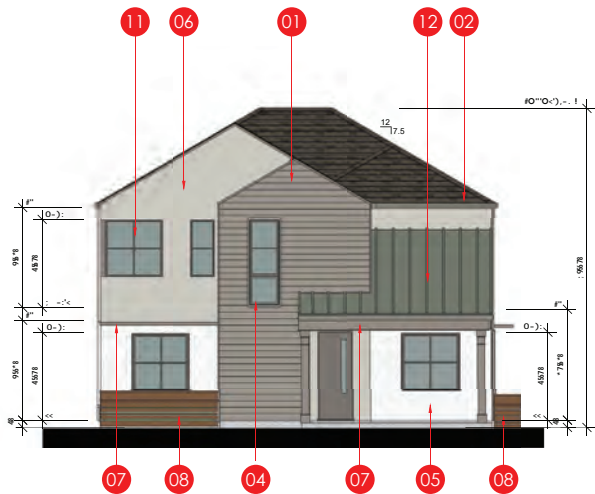
**PLAN 2A**  
REAR NEIGHBOR SIDE  
5BED/4BA  
AREA: 2,925.25 SF

NOTE:  
FLOOR PLANS REPRESENT PLAN 2A ELEVATIONS. PLAN 2B  
FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF  
WINDOWS AND ROOF DESIGN



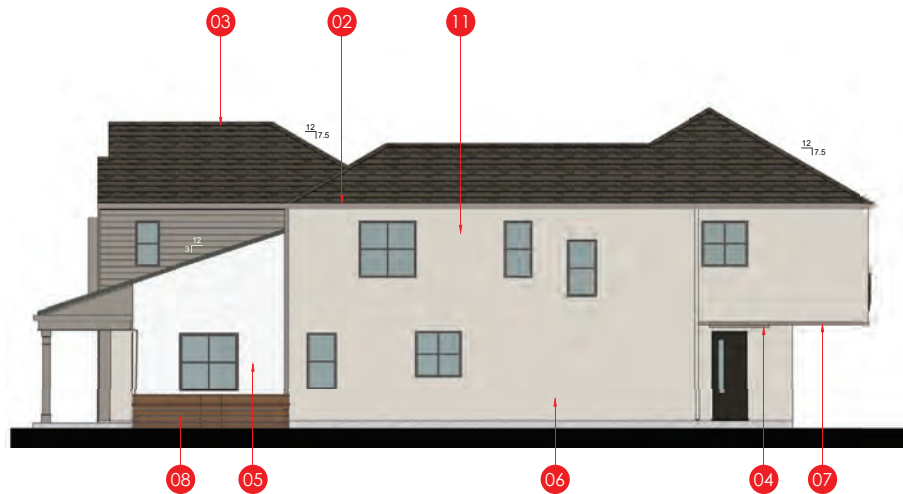
JOB NO.: 22007.00  
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**A2.3**  
OF SHEETS



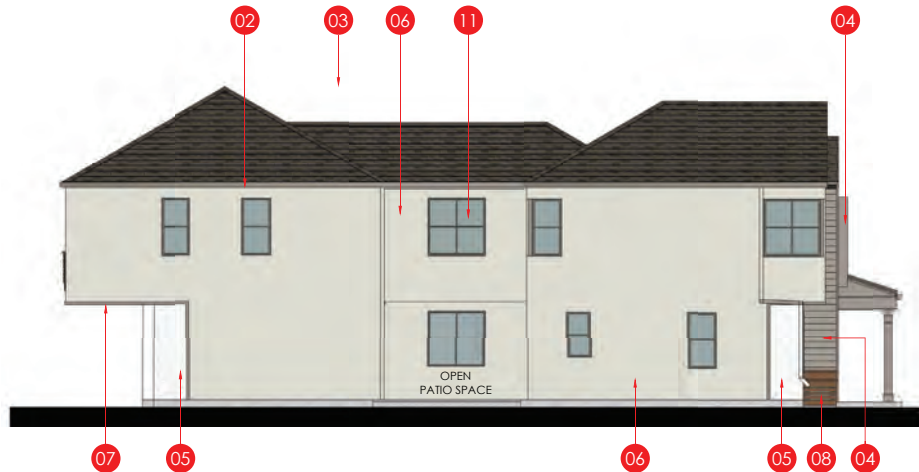
FRONT ELEVATION

SCALE: 3/16"=1'-0"



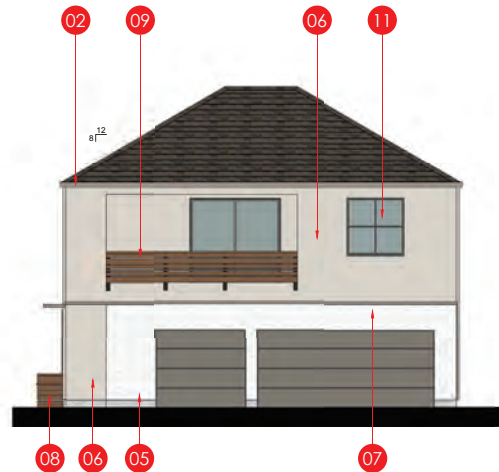
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

| -> 0#1 ( |                         |
|----------|-------------------------|
| 01       | BATTEN BOARD            |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW          |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE

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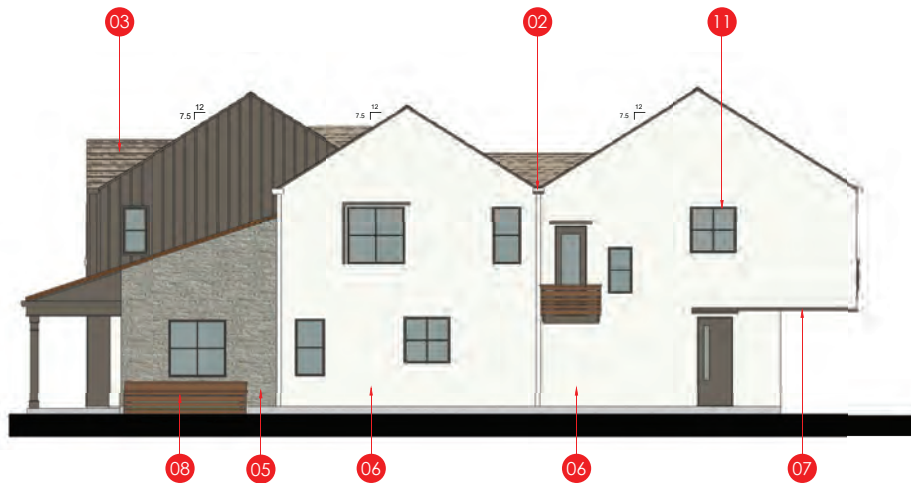
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/0/23045/6  
 SHEET NO.:  
**A2.4**  
 OF 14 SHEETS



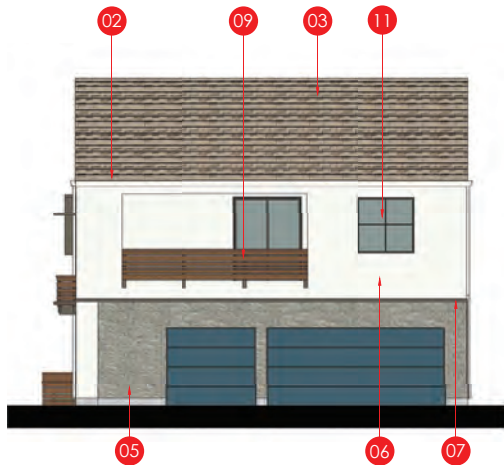
FRONT ELEVATION

SCALE: 3/16"=1'-0"



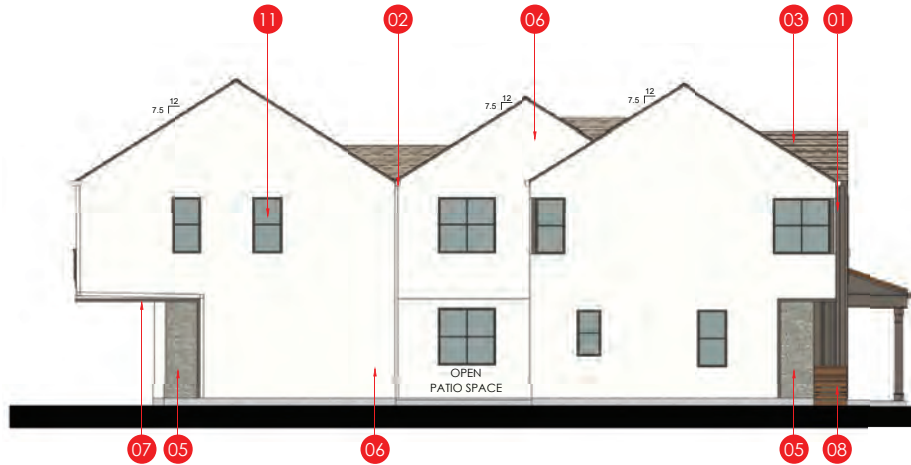
RIGHT ELEVATION (ENHANCED ELEVATION @ BIORETENSION)

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

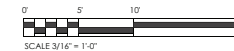
SCALE: 3/16"=1'-0"

| -> O#1 ( |                         |
|----------|-------------------------|
| 01       | BATTEN BOARD            |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW          |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE

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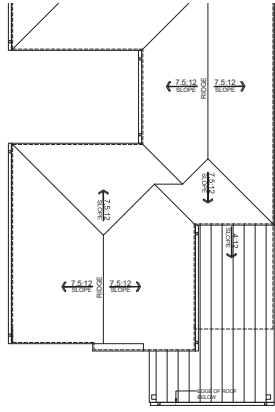
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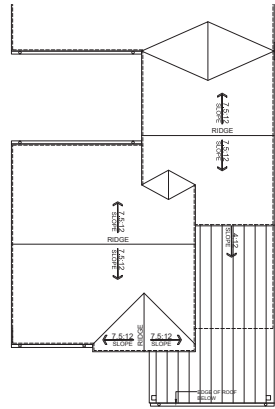
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 SHEET NO.:  
**A2.5**  
 OF 14 SHEETS

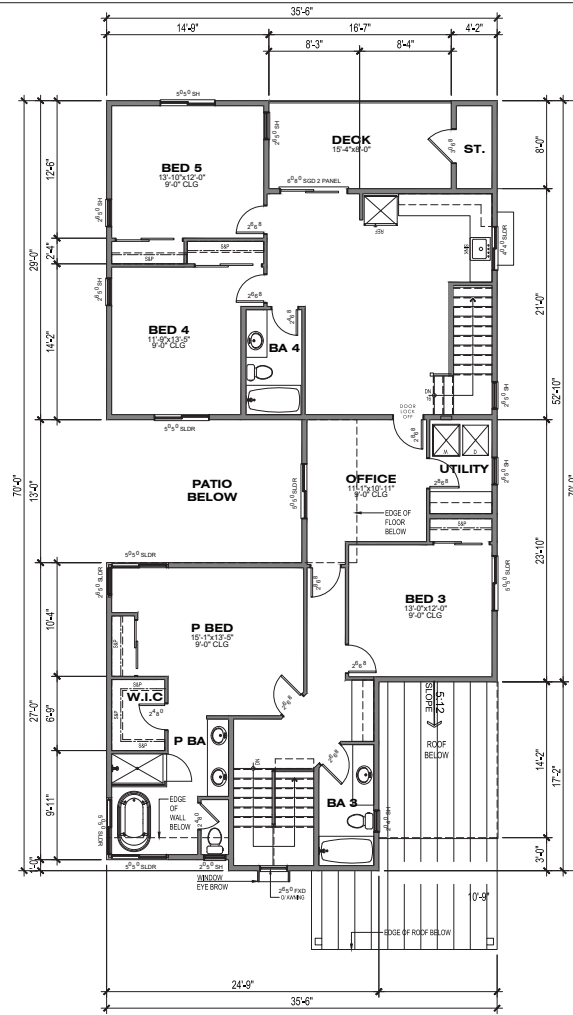




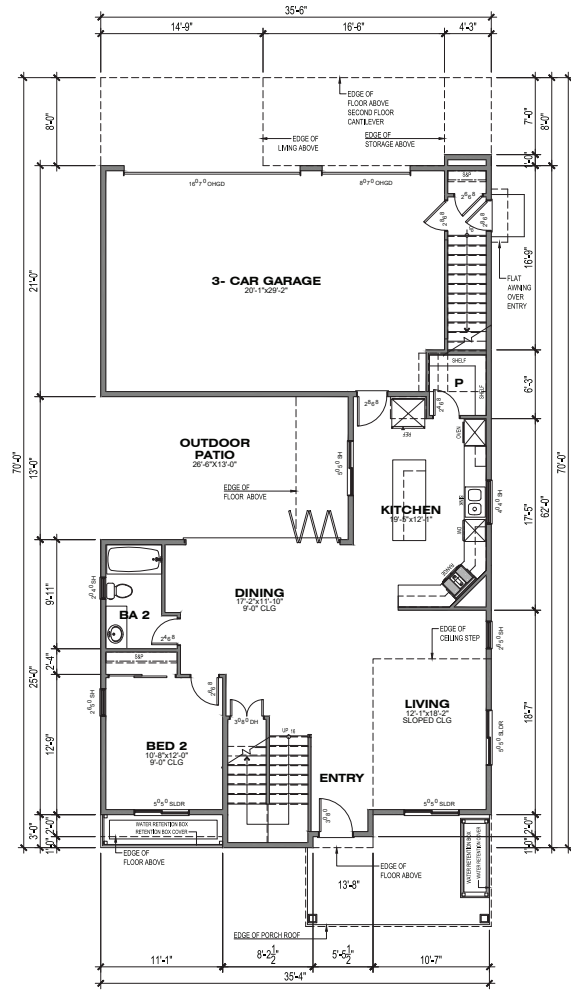
ROOF PLAN 2A WITH PORCH  
SCALE: 1/8"=1'-0"



ROOF PLAN 2B WITH PORCH  
SCALE: 1/8"=1'-0"



2ND FLOOR  
1,804.82 SF

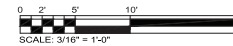


1ST FLOOR  
1120.43 SF

PLAN 2B

WITH PORCH CONDITION  
PRUNERIDGE ROAD SIDE  
5BED/4BA  
AREA: 2,925.25 SF

NOTE:  
FLOOR PLANS REPRESENT PLAN 2A ELEVATIONS WITH  
PORCH CONDITION FACING PRUNERIDGE ROAD.



SCALE: 3/16" = 1'-0"

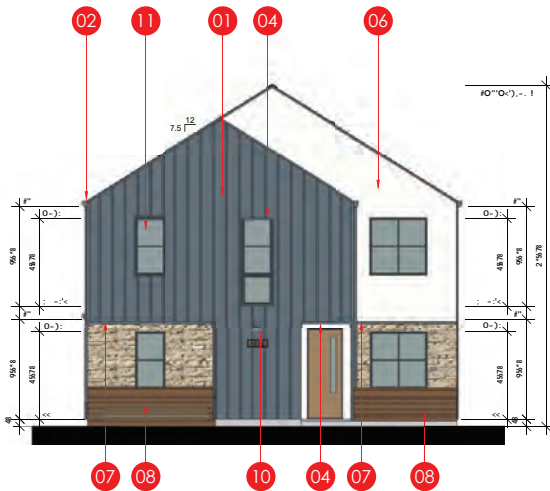
JOB NO.: 22007.00

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SHEET NO.  
**A2.6**  
OF SHEETS

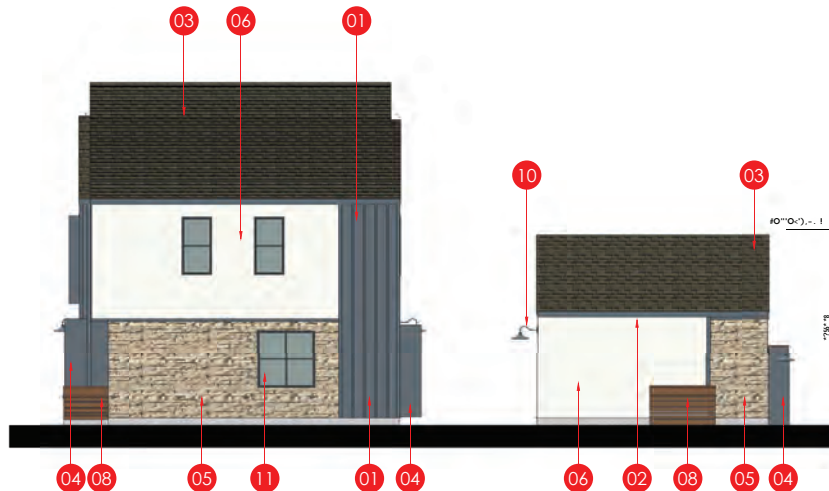
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023



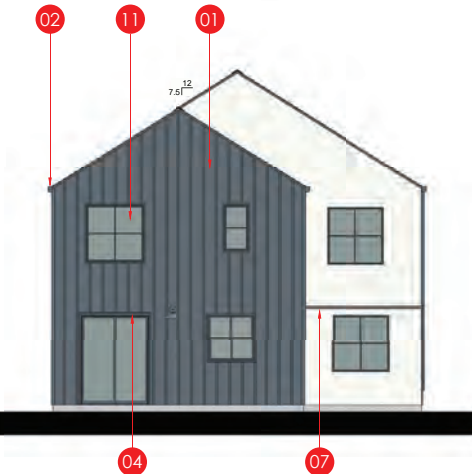
FRONT ELEVATION

SCALE: 3/16"=1'-0"



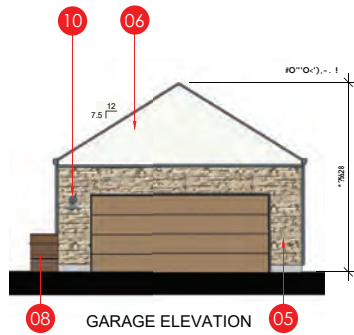
RIGHT ELEVATION

SCALE: 3/16"=1'-0"

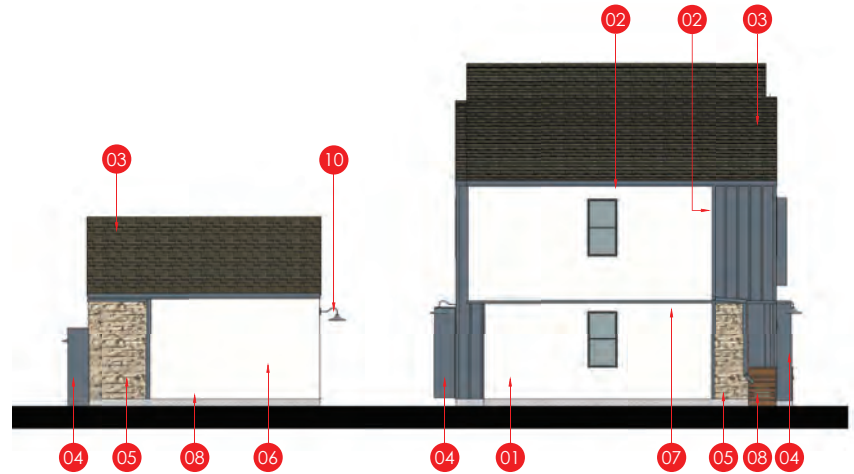


REAR ELEVATION

SCALE: 3/16"=1'-0"



GARAGE ELEVATION



LEFT ELEVATION

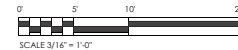
SCALE: 3/16"=1'-0"

| -1> O#1 ( |                         |
|-----------|-------------------------|
| 01        | BATTEN BOARD            |
| 02        | GUTTER                  |
| 03        | ASPHALT SHINGLES        |
| 04        | METAL EYE BROW          |
| 05        | STONE VENEER            |
| 06        | STUCCO                  |
| 07        | WOOD TRIM               |
| 08        | WATER RETENTION PLANTER |
| 09        | DECORATIVE WOOD RAIL    |
| 10        | DECORATIVE LIGHT        |
| 11        | TYP. RECESSED WINDOW    |
| 12        | STANDING SEAM ROOF      |

1957 PRUNERIDGE AVENUE

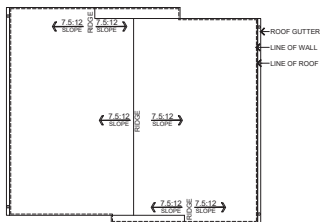
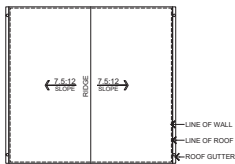
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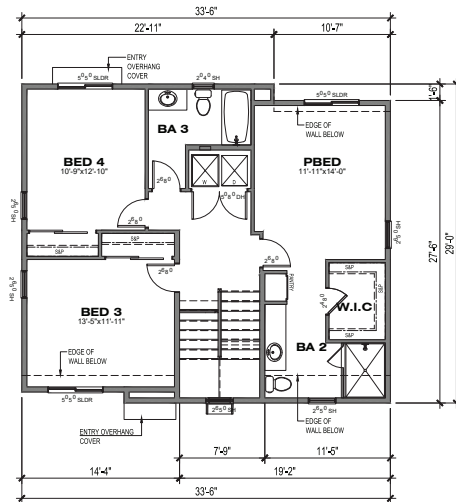
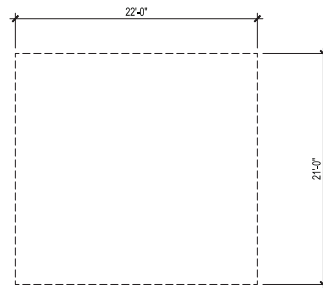


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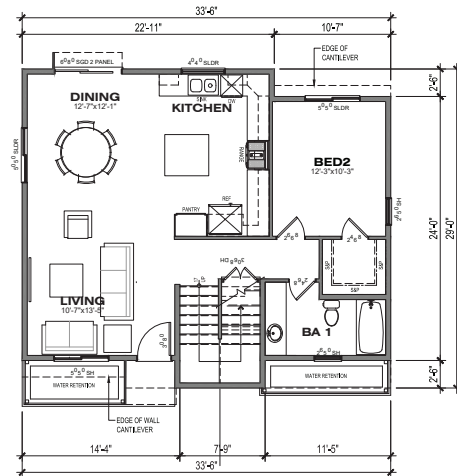
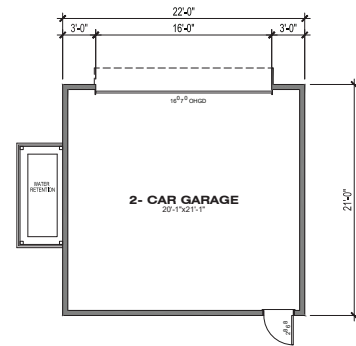
/0/23045/6  
 SHEET NO.:  
**A3.1**  
 OF 14 SHEETS



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**2ND FLOOR**  
868.00 SF

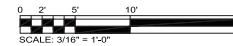


**1ST FLOOR**  
881.81 SF

**PLAN BMR**  
**REAR NEIGHBOR SIDE**  
4BED/3BA  
AREA: 1,749.81 SF

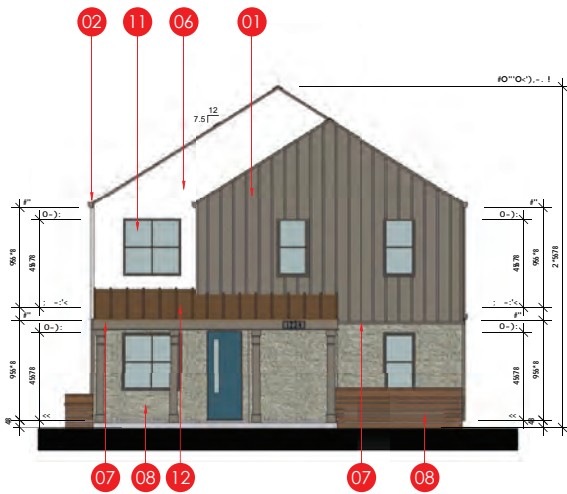
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023



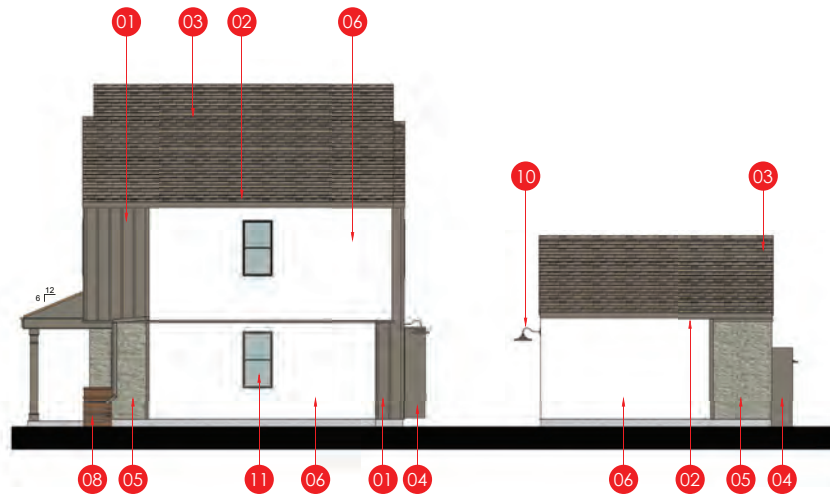
JOB NO.: 22007.00  
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SHEET NO.  
**A3.2**  
OF SHEETS



FRONT ELEVATION

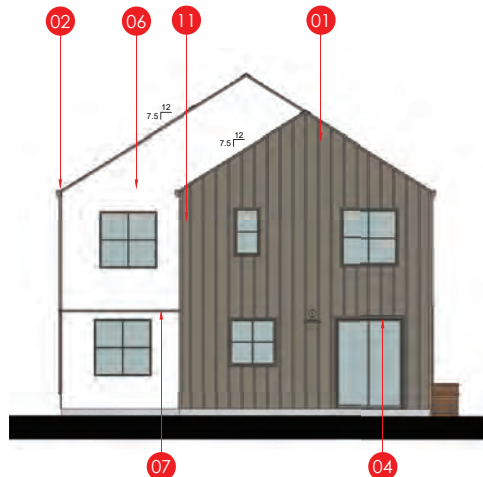
SCALE: 3/16"=1'-0"



RIGHT ELEVATION

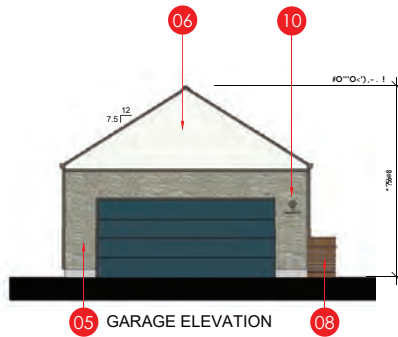
SCALE: 3/16"=1'-0"

| -> O#I ( |                         |
|----------|-------------------------|
| 01       | BATTEN BOARD            |
| 02       | GUTTER                  |
| 03       | ASPHALT SHINGLES        |
| 04       | METAL EYE BROW          |
| 05       | STONE VENEER            |
| 06       | STUCCO                  |
| 07       | WOOD TRIM               |
| 08       | WATER RETENTION PLANTER |
| 09       | DECORATIVE WOOD RAIL    |
| 10       | DECORATIVE LIGHT        |
| 11       | TYP. RECESSED WINDOW    |
| 12       | STANDING SEAM ROOF      |

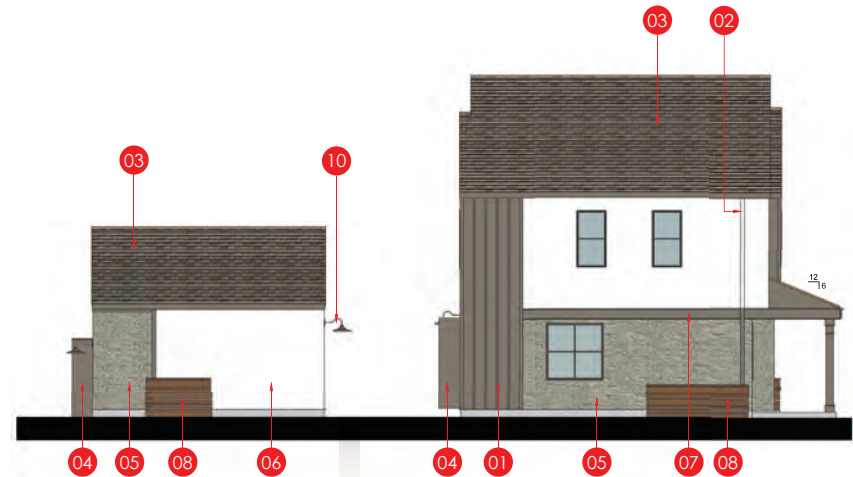


REAR ELEVATION

SCALE: 3/16"=1'-0"



GARAGE ELEVATION



LEFT ELEVATION

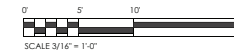
SCALE: 3/16"=1'-0"

1957 PRUNERIDGE AVENUE

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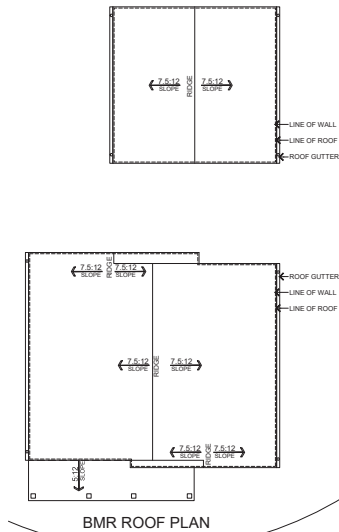
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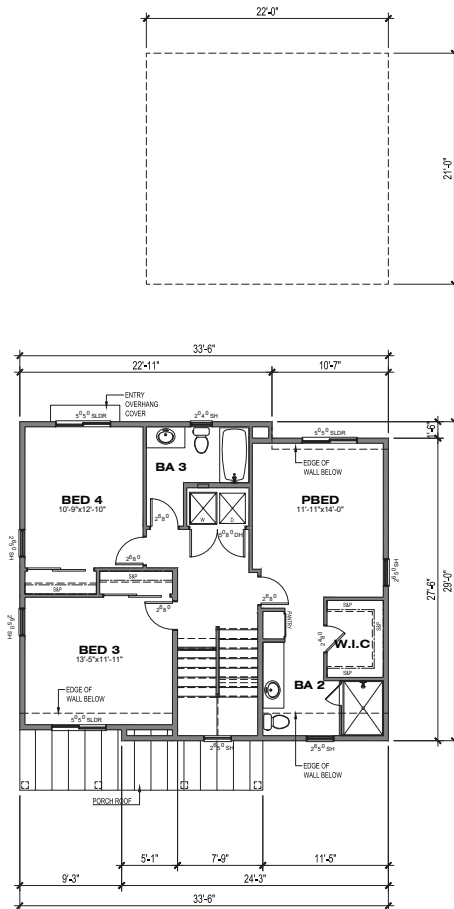


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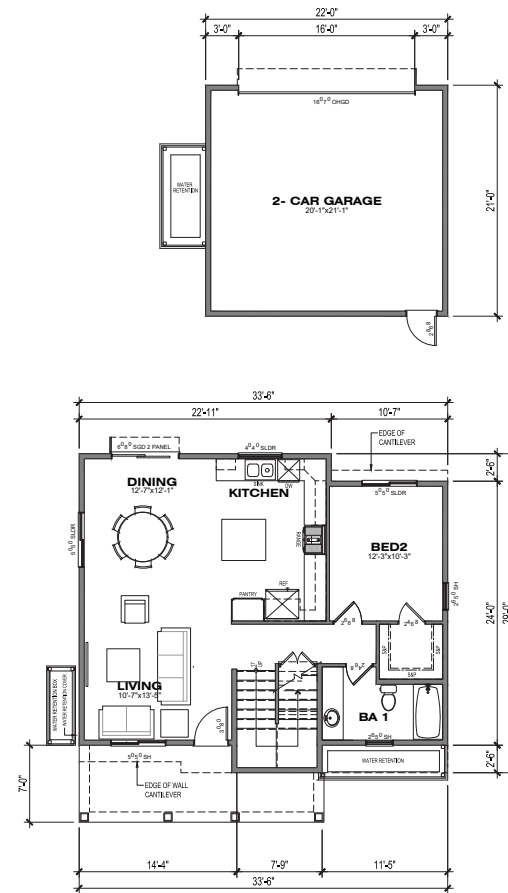
/0/23045/6  
SHEET NO.:  
**A3.3**  
OF 14 SHEETS



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



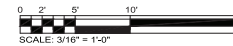
**2ND FLOOR**  
868.00 SF



**1ST FLOOR**  
881.81 SF

**PLAN BMR WITH PORCH**  
**PRUNERIDGE ROAD SIDE**  
4BED/3BA  
AREA: 1,749.81 SF

1957 PRUNERIDGE AVENUE  
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023



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SHEET NO.  
**A3.4**  
OF SHEETS



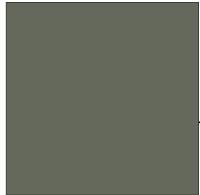
BATTEN BOARD / SIDING /  
METAL EYEBROW AWNING  
SHERWIN-WILLIAMS  
SW#7018  
DOVE TAIL



ASPHALT SHINGLES  
OWENS CORNING  
COLOR/FINISH: SUMMERWOOD



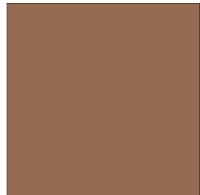
STUCCO BODY  
SHERWIN-WILLIAMS  
SW#7015  
REPOSE GRAY



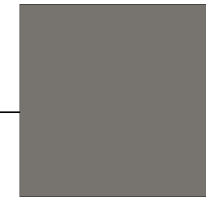
STANDING SEAM METAL ROOF  
McEROY METAL  
SHADES OF DESTINATION  
COLOR: TERRATONE



BRICK VENEER  
EL DORADO STONE  
COLOR/FINISH: TUNDRA BRICK "CHALK DUST"



DECORATIVE FENCING  
WOOD  
SHERWIN-WILLIAMS  
SW#7705  
WHEAT PENNY



ENTRY DOOR/GARAGE DOOR  
SHERWIN-WILLIAMS  
SW#7019  
GAUNLET GRAY

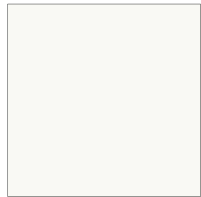


PLAN 1B WITH PORCH AS EXAMPLE

1957 PRUNERIDGE AVENUE

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STUCCO BODY  
SW#7757  
HIGH REFLECTIVE WHITE



ASPHALT SHINGLES  
OWENS CORNING  
COLOR/FINISH: AMBER



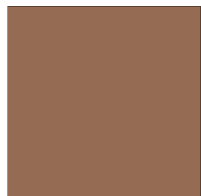
BATTEN BOARD / SIDING /  
METAL EYEBROW AWNING  
SHERWIN-WILLIAMS  
SW#7047  
PORPOISE



ENTRY / GARAGE DOOR  
SW#7620  
SEAWORTHY



PLAN 2B WITH PORCH AS EXAMPLE



DECORATIVE FENCING  
WOOD  
SHERWIN-WILLIAMS  
SW#7705  
WHEAT PENNY



STANDING SEAM METAL ROOF  
McEroy METAL  
ARCHITECTURAL COLORS  
COLOR: COPPER PENNY METALIC



STONE VENEER  
EL DORADO STONE  
COLOR/FINISH: EUROPEAN LEFGE SIDEWALK

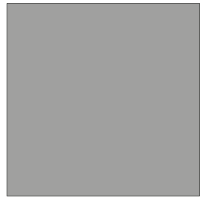
1957 PRUNERIDGE AVENUE

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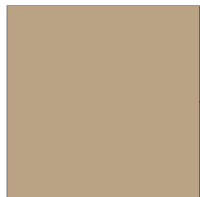
CO&O)'(CO! 1!';



BATTEN BOARD BODY / TRIM  
SW#6250  
GRANITE PEAK



STANDING SEAM METAL ROOF  
MCELROY METAL  
ASH GRAY



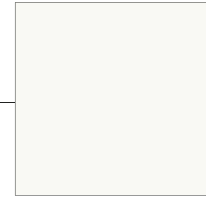
ENTRY DOOR/GARAGE DOOR  
SHERWIN-WILLIAMS  
SW#6108  
LATTE



ASPHALT SHINGLES  
OWENS CORNING  
COLOR/FINISH: SIERRA GRAY



PLAN 1B WITH PORCH AS EXAMPLE



STUCCO BODY  
SW#7757  
HIGH REFLECTIVE WHITE



STONE VENEER  
EL DORADO STONE  
LEDGE CUT 33 OCEAN FLOOR



DECORATIVE FENCING  
WOOD  
SHERWIN-WILLIAMS  
SW#7705  
WHEAT PENNY

1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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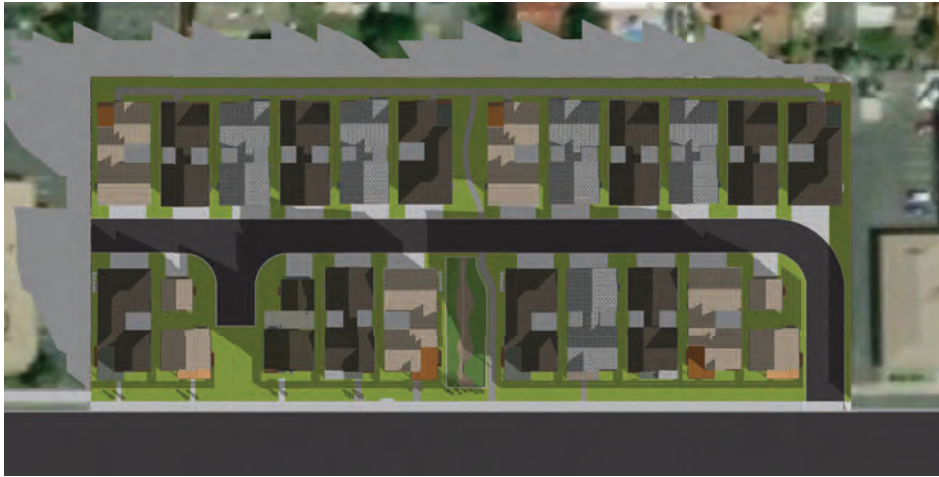


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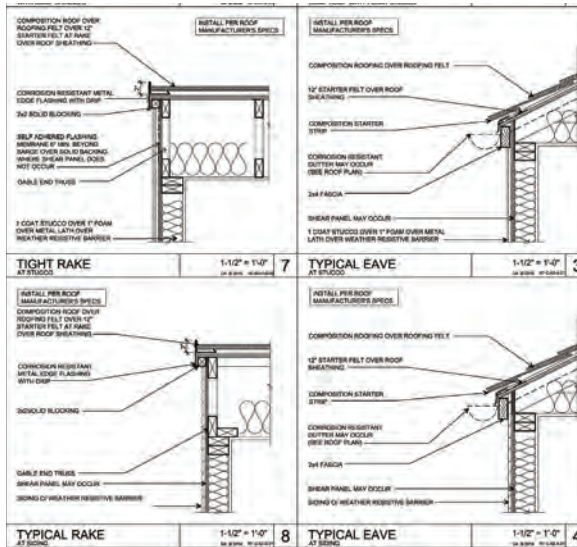
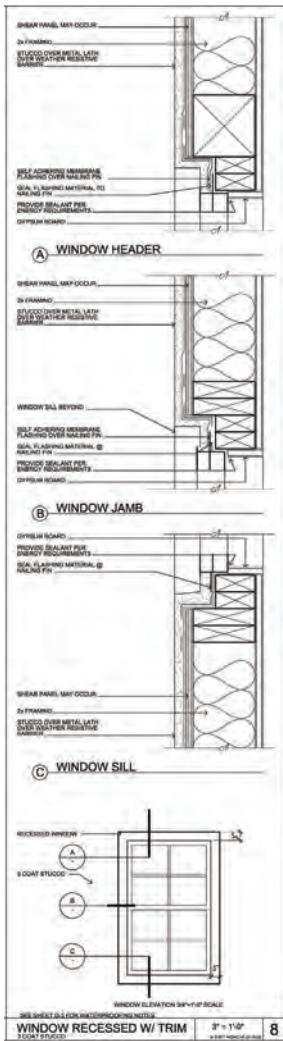


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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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 AT REAR NIEGHBOR MINUS TREES AND FENCE

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 OF 14 SHEETS



1957 PRUNERIDGE AVENUE

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/0/23045/6  
 SHEET NO.:  
**AR8**  
 OF 14 SHEETS



1957 PRUNERIDGE AVENUE

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 AT REAR NIEGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

City of San Diego, California

CONCEPTUAL SITE PLAN  
 AT REAR NEIGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

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 AT REAR NIEGHBOR MINUS TREES AND FENCE

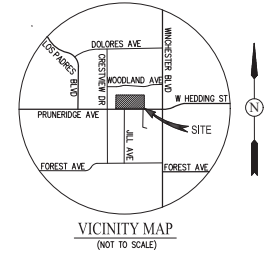
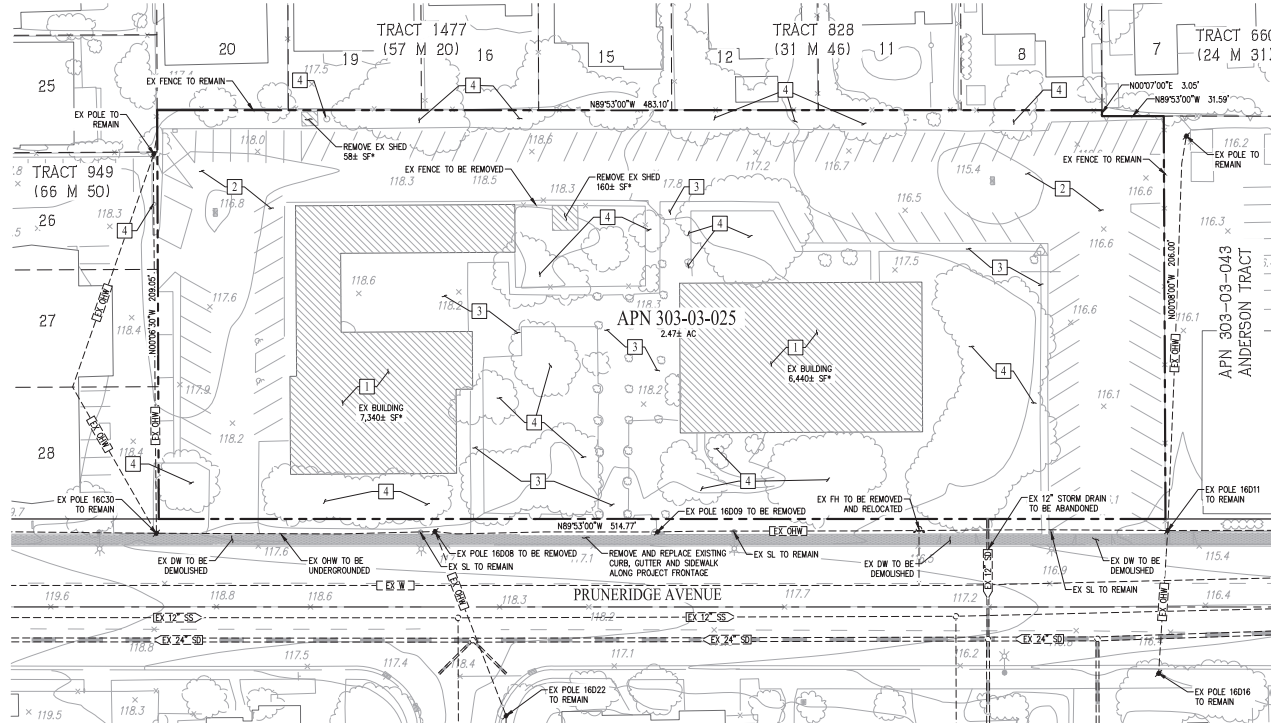


**CONTACTS:**

1. OWNER/DEVELOPER: SCS DEVELOPMENT COMPANY  
404 SARATOGA AVENUE, SUITE 100  
SANTA CLARA, CA 95050  
(408) 985-6020  
CORY KUSCH
2. ENGINEER: CARLSON, BARBE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CALIFORNIA 94583  
(925) 866-0322  
LEE ROSENBLATT, RCE 65469

**GENERAL NOTES**

- ASSESSORS PARCEL NO. 303-03-025
- SITE AREA: 2.47± ACRES
- LOTS: RESIDENTIAL: 22 (LOTS 1-22)  
PRIVATE ROADWAY CIRCULATION: 1  
WATER QUALITY: 1
- DWELLING UNITS: 22
- SITE DENSITY: 8.9 DU/AC
- EXISTING GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL  
PROPOSED GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
- EXISTING ZONING: PUBLIC, QUAS PUBLIC, AND PUBLIC PARK OR RECREATION (P)  
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
- BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS VALLEY WATER BENCHMARK BM869, BEING A BRASS DISK ON TOP OF CONCRETE TRAFFIC ISLAND AT THE NORTHEAST CORNER OF SAN TOMAS EXPRESSWAY AND PRUNERIDGE AVENUE, HAVING AN NAVD88 ELEVATION OF 112.31 FEET.
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF PRUNERIDGE AVENUE, BEING N89°53'00" PER TRACT NO. 334, MAP OF PRUNERIDGE MANOR (12 M 17).
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED.
- EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
- STREETS: ALL DRIVE AISLES WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE: 0.2%)
- TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS.
- STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS (OR APPROVED EQUAL).
- FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN  
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06085C0229H  
DATE: MAY 18, 2009
- UTILITIES:  
WATER(OFF-SITE): CITY OF SANTA CLARA  
WATER(ON-SITE): PRIVATE  
FIRE: PRIVATE  
SEWER (OFF-SITE): CITY OF SAN JOSE  
SEWER (ON-SITE): PRIVATE  
STORM DRAIN (OFF-SITE): CITY OF SANTA CLARA  
STORM DRAIN (ON-SITE): PRIVATE  
ELECTRIC: SILICON VALLEY POWER  
TELEPHONE: AT&T  
CABLE TV: COMCAST
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP

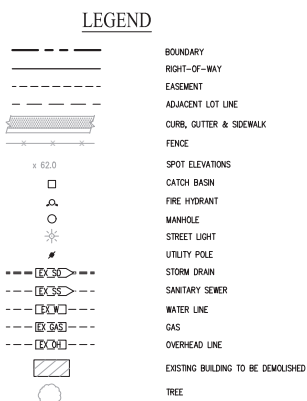


**SHEET INDEX**

| Sheet Number | Sheet Title         |
|--------------|---------------------|
| TM1          | EXISTING CONDITIONS |
| TM2          | SITE PLAN           |
| TM3          | DEVELOPMENT PLAN    |

**ABBREVIATIONS**

|     |                         |
|-----|-------------------------|
| DW  | DRIVEWAY                |
| EX  | EXISTING                |
| FC  | FACE OF CURB            |
| JT  | JOINT TRENCH            |
| OHW | OVERHEAD WIRE           |
| PL  | PROPERTY LINE           |
| PUE | PUBLIC UTILITY EASEMENT |
| R/W | RIGHT-OF-WAY            |
| SD  | STORM DRAIN             |
| SL  | STREET LIGHT            |
| SS  | SANITARY SEWER          |
| SW  | SIDEWALK                |
| TYP | TYPICAL                 |
| W   | WATER                   |

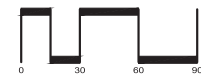


**DEMOLITION NOTES**

- NOTE DESCRIPTION
- REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
  - REMOVE EXISTING ASPHALT AND PARKING LOT CURB AND GUTTER
  - REMOVE EXISTING CONCRETE
  - REMOVE EXISTING TREE AND SHRUBS
- \*EXISTING STRUCTURE AREAS BASED ON FIELD SURVEY DATA.

**VESTING TENTATIVE MAP  
EXISTING CONDITIONS  
1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.  
**TM1**  
OF 3 SHEETS

JOB NO: 3656

**ABBREVIATIONS**

- AC ACRES
- BBC BACK OF BEVELED CURB
- BC BACK OF CURB
- BD BOUNDARY
- BW BACK OF WALK
- CL CENTERLINE
- DW DRIVEWAY
- DU DWELING UNITS
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- FC FACE OF CURB
- LS LANDSCAPE
- PL PROPERTY LINE
- PAE PRIVATE ACCESS EASEMENT
- PUAE PRIVATE UTILITY EASEMENT
- PW PATHWAY
- RW RIGHT-OF-WAY
- SW SIDEWALK
- TC TOP OF CURB
- TYP TYPICAL
- UGE UNDERGROUND ELECTRICAL EASEMENT
- WUE WATER UTILITY EASEMENT

**LEGEND**

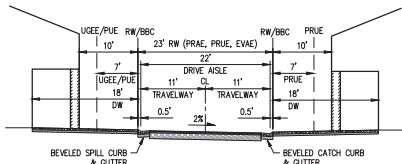
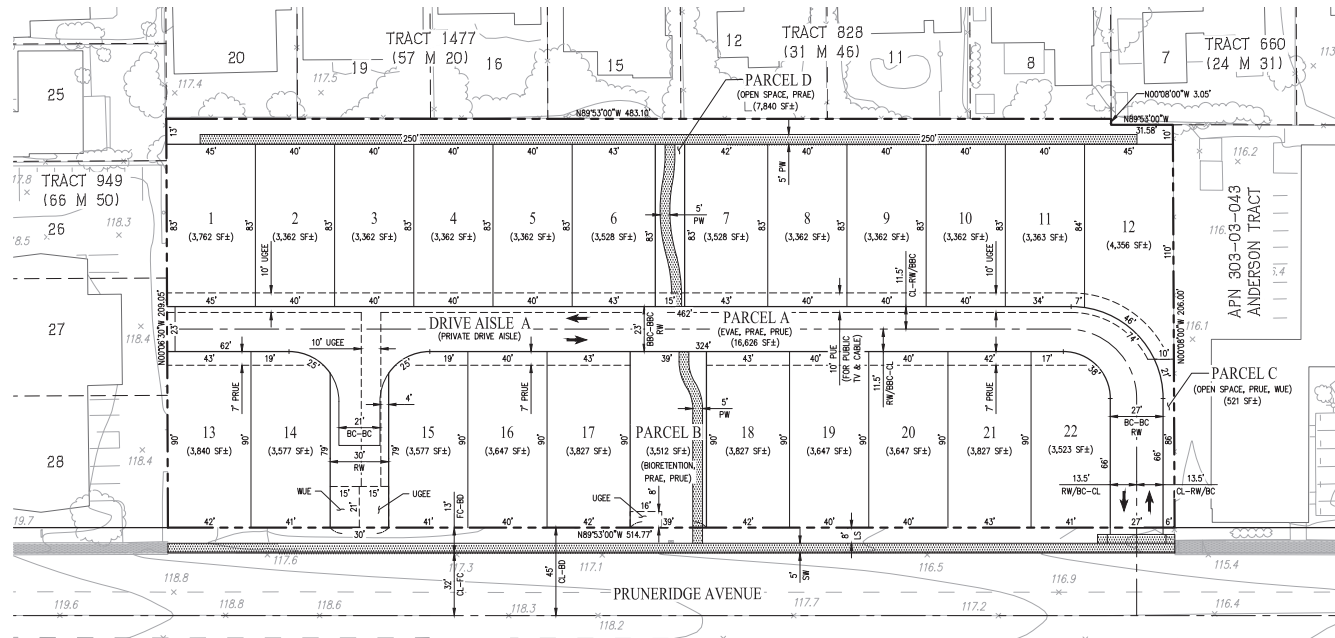
- | EXISTING | PROPOSED | DESCRIPTION             |
|----------|----------|-------------------------|
| ---      | ---      | BOUNDARY                |
| ---      | ---      | CENTERLINE              |
| ---      | ---      | PROPERTY LINE           |
| ---      | ---      | RIGHT-OF-WAY            |
| ---      | ---      | EASEMENT                |
| ---      | ---      | CURB, GUTTER & SIDEWALK |
- DIRECTION OF TRAVEL

**PARKING SUMMARY**

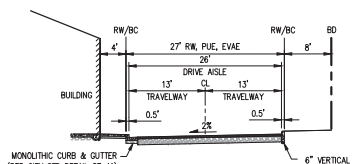
| PARKING TYPE     | RATIO         | NUMBER OF SPACES  |
|------------------|---------------|-------------------|
| GARAGE           | 2.9 SPACES/DU | 63 SPACES         |
| DRIVEWAY (QUEST) | 2.9 SPACES/DU | 63 SPACES         |
| <b>TOTAL</b>     |               | <b>126 SPACES</b> |

**SITE DENSITY**

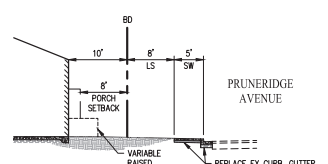
| UNIT COUNT           | SITE AREA | SITE DENSITY |
|----------------------|-----------|--------------|
| RESIDENTIAL 22 UNITS | 2.47 AC   | 8.9 DU/AC    |



**DRIVE AISLE A**  
23' BBC-BBC (NOT TO SCALE)  
(PRIVATE STREET)



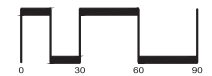
**DRIVE AISLE A - ENTRY**  
27' BC-BC (NOT TO SCALE)  
(PRIVATE STREET)



**PRUNERIDGE AVENUE**  
(NOT TO SCALE)

**VESTING TENTATIVE MAP  
SITE PLAN  
1957 PRUNERIDGE AVENUE**

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023

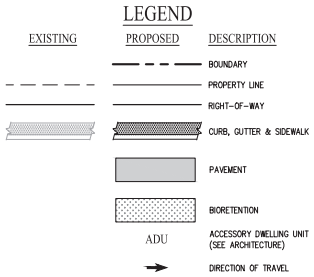


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SHEET NO.  
**TM2**  
OF 3 SHEETS

JOB NO: 3656

11-99-04-02-TM2-03 & 11-99-04-02



**UNIT MIX**

| PLAN         | BUILDING FOOTPRINT (SF) | TOTAL     | %           |
|--------------|-------------------------|-----------|-------------|
| 1            | 1,778                   | 11        | 50%         |
| 2            | 1,805                   | 8         | 36%         |
| 3 (BMR)      | 1,337                   | 3         | 14%         |
| <b>TOTAL</b> |                         | <b>22</b> | <b>100%</b> |

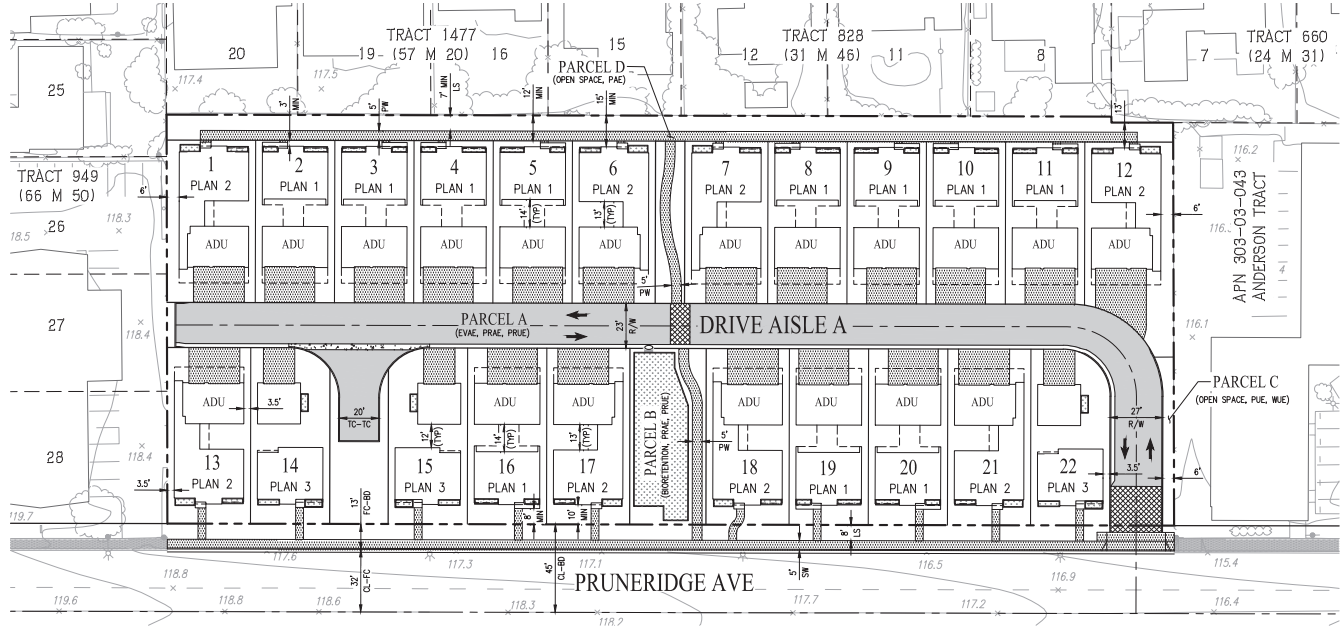
NOTE: ALL SQUARE FOOTAGES AND PRODUCT MIX IS APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL DESIGN.

**SETBACK SUMMARY**

| SETBACK            | DIMENSION (MINIMUM) |
|--------------------|---------------------|
| GARAGE             | 18'                 |
| 2ND STORY          | 10'                 |
| FRONT              | 3'                  |
| FRONT (PRUNERIDGE) | 10'                 |
| PORCH              | 1'                  |
| PORCH (PRUNERIDGE) | 8'                  |
| SIDE               | 3.5'                |

**PARCEL AREA SUMMARY**

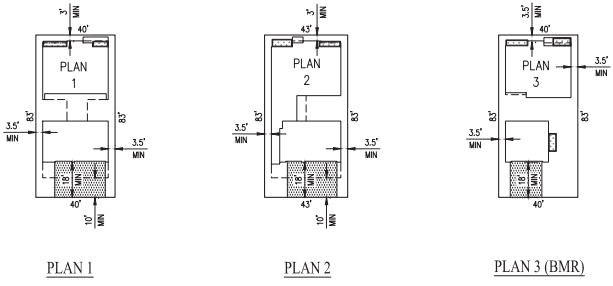
| PARCEL NAME | USE                      | PARCEL AREA (SF) |
|-------------|--------------------------|------------------|
| PARCEL A    | ROW, EVAE, PRAE, PRUE    | 16,626±          |
| PARCEL B    | BIORETENTION, PRAE, PRUE | 3,512±           |
| PARCEL C    | OPEN SPACE, PRUE, WUE    | 521±             |
| PARCEL D    | OPEN SPACE, PRAE, PRUE   | 7,840±           |



- ABBREVIATIONS**
- BD BOUNDARY
  - CL CENTER LINE
  - OW DRIVEWAY
  - EX EXISTING
  - FC FACE OF CURB
  - LS LANDSCAPE
  - MIN MINIMUM
  - PL PROPERTY LINE
  - PRAE PRIVATE ACCESS EASEMENT
  - PRUE PRIVATE UTILITY EASEMENT
  - PUE PUBLIC UTILITY EASEMENT
  - PW PATHWAY
  - R/W RIGHT-OF-WAY
  - SW SIDEWALK
  - TYP TYPICAL
  - WUE WATER UTILITY EASEMENT

**LOT COVERAGE SUMMARY**

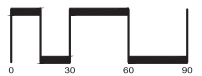
| LOT NO. | PLAN | LOT SIZE (SQ FT±) | GROSS BUILDING FLOOR AREA (SQ FT±) | LOT COVERAGE (SQ FT±) | LOT COVERAGE (%) |
|---------|------|-------------------|------------------------------------|-----------------------|------------------|
| 1       | 2    | 3,762             | 2,925                              | 1,805                 | 48%              |
| 2       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 3       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 4       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 5       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 6       | 2    | 3,528             | 2,925                              | 1,805                 | 51%              |
| 7       | 2    | 3,528             | 2,925                              | 1,805                 | 51%              |
| 8       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 9       | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 10      | 1    | 3,362             | 2,616                              | 1,778                 | 53%              |
| 11      | 1    | 3,363             | 2,616                              | 1,778                 | 53%              |
| 12      | 2    | 4,356             | 2,925                              | 1,805                 | 41%              |
| 13      | 2    | 3,840             | 2,925                              | 1,805                 | 47%              |
| 14      | 3    | 3,577             | 1,750                              | 1,337                 | 37%              |
| 15      | 3    | 3,577             | 1,750                              | 1,337                 | 37%              |
| 16      | 1    | 3,647             | 2,616                              | 1,778                 | 49%              |
| 17      | 2    | 3,827             | 2,925                              | 1,805                 | 47%              |
| 18      | 2    | 3,827             | 2,925                              | 1,805                 | 47%              |
| 19      | 1    | 3,647             | 2,616                              | 1,778                 | 49%              |
| 20      | 1    | 3,647             | 2,616                              | 1,778                 | 49%              |
| 21      | 2    | 3,627             | 2,925                              | 1,805                 | 50%              |
| 22      | 3    | 3,523             | 1,750                              | 1,337                 | 38%              |



**TYPICAL SETBACK DETAILS**  
SCALE: 1" = 20'

# VESTING TENTATIVE MAP DEVELOPMENT PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA  
SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.  
**TM3**  
OF 3 SHEETS

JOB NO: 3656

H:\9586\A02\TM3.DWG & TEMPLATES