

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
 THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS FOR THE PURPOSE OF ESTIMATING. THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
 NO GUARANTEE OF QUALITY OF CONSTRUCTION IS MADE OR IMPLIED BY THE ARCHITECTURAL DOCUMENTS AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
 THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.
 ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC) AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
 THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSENIQUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
 ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
 ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORAGE OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

PROJECT SCOPE:

CREATE REAR YARD ATTACHED 388 SF ADU.
 REAR YARD MAIN RES 125 SF ADDITION TO RELOCATE THE BATHROOM AND CREATE THE STUDY HALL.

PROJECT INFORMATION

PROPERTY: 2327 Glendenning Ave, Santa Clara, CA 95050
 APN: 303-05-053
 OWNER: Le An
 LOT SIZE: 5,700 SF

ZONING: R1
 TYPE OF CONSTRUCTION TYPE V-B, NON-SPRINKLERED OCCUPANCY: R-3U

EXISTING SINGLE-FAMILY DWELLING LIVING AREA: 1,624 SF
 EXISTING GARAGE AREA: 400 SF
 EXISTING GROSS FLOOR AREA: 2,024 SF
 EXISTING FAR: 35.5%

PROPOSED MAIN RES ADDITION: 125 SF
 PROPOSED LIVING AREA: 1,749 SF
 (3 BEDROOMS, 2 BATHROOMS)
 PROPOSED COVERAGE: 2,149/5700=37.7%
 PROPOSED ATTACHED ADU: 388 SF

FIRE NOTE:
 EXISTING BUILDING STRUCTURE IS NON-SPRINKLERED.

VICINITY MAP



APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE

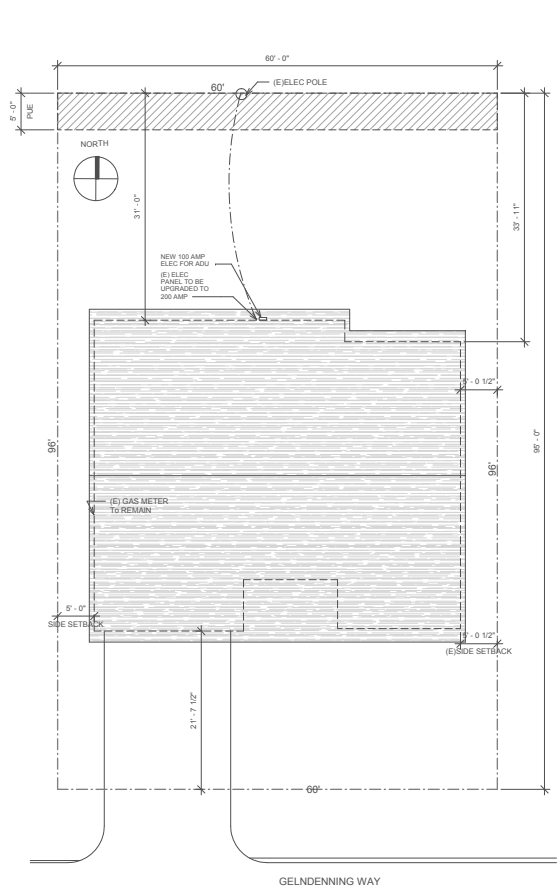
SYMBOLS

- (A) 1: GRID LINE NUMBER OR LETTER: GRID LINE
- 1: DETAIL NUMBER: DETAIL
- 1/A-501: SHEET WHERE DETAIL IS DRAWN, SAME DISCIPLINE
- 1/A-501: SECTION NUMBER: SECTION
- 1/A-501: SHEET WHERE SECTION IS DRAWN, SAME DISCIPLINE
- Δ: DRAWING REVISION
- SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION
- ①: KEYNOTE
- KEYED NOTES SEE DESCRIPTION LIST ON SAME SHEET
- ⊕: NORTH ARROW
- FILLED LINE INDICATES PLAN NORTH
- DASHED ARROW INDICATES TRUE NORTH

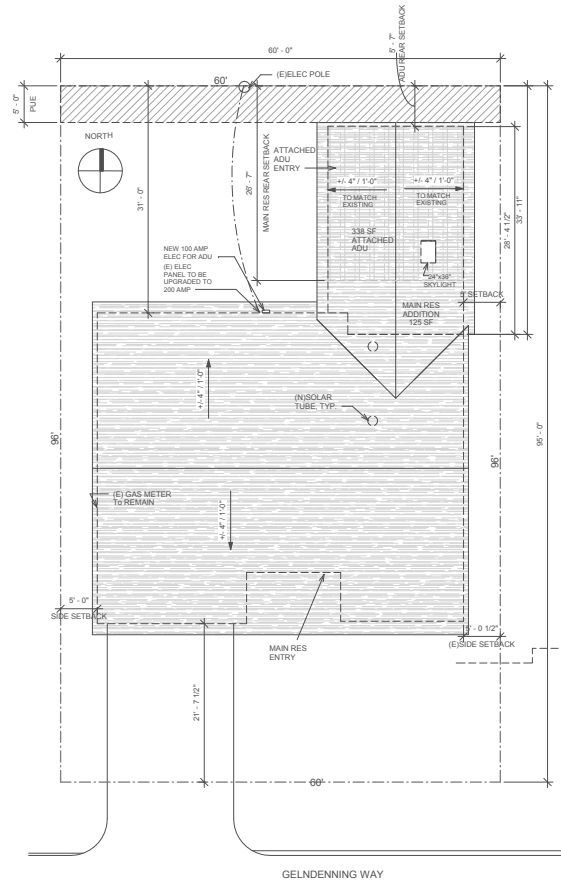
DRAWING INDEX

A0.0	SITE PLAN
A0.1d	EXISTING/DEMOLITION PLAN
A0.2	PROPOSED FLOOR/CEILING PLAN
A0.3	BUILDING ELEVATIONS
A0.4	BUILDING ELEVATIONS

- NOTE:
1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
 2. D.S. 0— INDICATES 2"x3" 26 GA. G.I. DOWNSPOUTS LOCATED AS SHOWN.
 3. PROVIDES 5" x 26 GA. G.I. OSEE GUTTER OVER 2x6 SPRUCE FASCIA BOARD - TYP.
 4. ROOF PITCH TO MATCH EXISTING ROOF TYP. - U.N.O.
 5. ROOF MATERIAL TO MATCH EXISTING ROOF OVER 3/4" FELT - TYP.
 6. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
 7. PROVIDE 3/4" THICK TAG PLANKS @ ROOF OVERHANG AREA.



① EXISTING SITE PLAN / ROOF PLAN
 1/8" = 1'-0"



② PROPOSED SITE / ROOF PLAN
 1/8" = 1'-0"

Le An
 (OWNER)

Address:
 2327 Glendenning Ave,
 Santa Clara, CA 95050
 Email:
 lanzju@gmail.com

KEY PLAN

_____	PERMIT SUBMITTAL	03.29.2022
NO. DESCRIPTION	DATE	

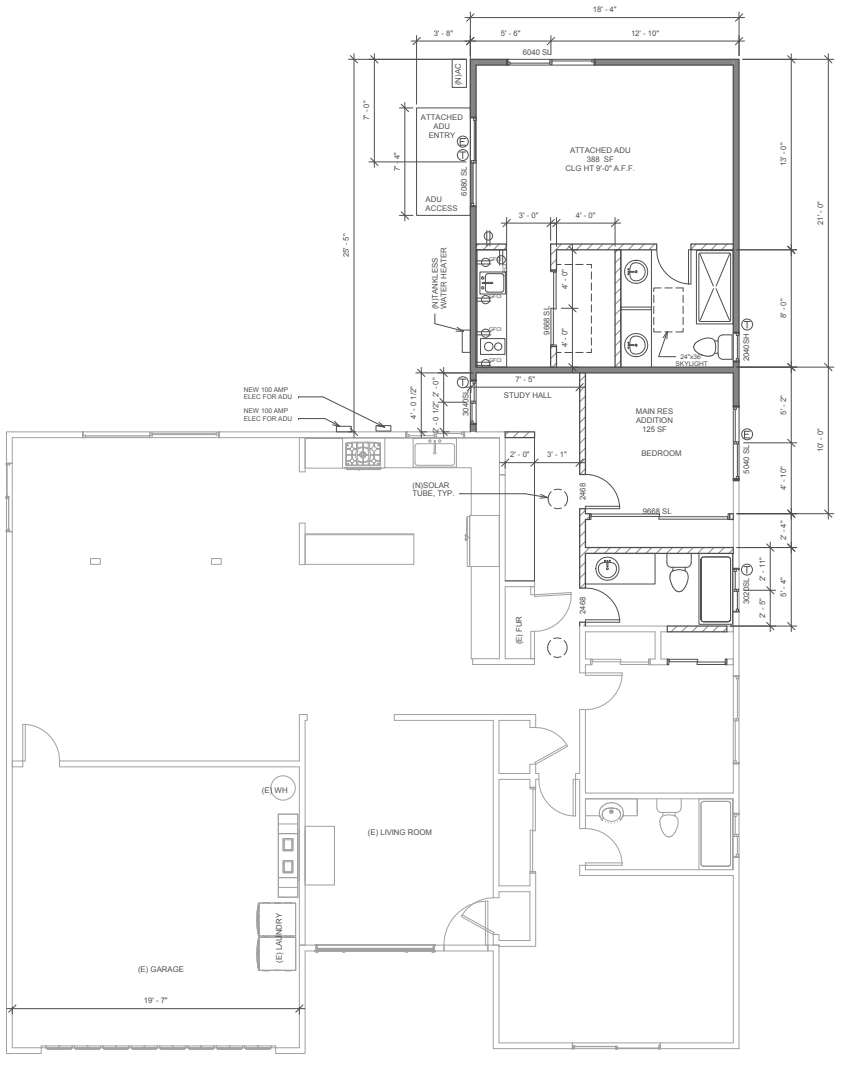
PROJECT NO.

SCALE 1/8" = 1'-0"

TITLE

SITE PLAN

A0.0



2 PROPOSED FLOOR PLAN
1/4" = 1'-0"

Note:
Lighting fixtures located within 3 feet horizontally and 4 feet vertically of the bathtub rim or shower stall threshold shall be listed for a damp location or listed for wet locations where subject to shower spray. (CEC 410.10)

FLOOR PLAN NOTES:

- GLAZING NOTES
 3050 FX - OPERATION
 - HEIGHT (FT-IN") i.e. 5'-0"
 - WIDTH (FT-IN") i.e. 3'-0"
- OPERATION ABBREVIATIONS
 FX = FIXED CS = CASEMENT
 SH = SINGLE HUNG AW = AWNING
 SL = SLIDER HP = HOPPER
 DH = DOUBLE HUNG XDX = XDX SLIDER
 1. ALL GLAZING IS DUAL PANE INSULATING GLASS.
 2. WINDOW MARKED WITH A E SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER
 3. GLAZING MARKED WITH A T SHALL BE 3/16" THICK TEMPERED SAFETY GLASS
 4. HEADER HEIGHT:
 1st FLOOR = 8'-0" U.O.N.
 2nd FLOOR = 8'-0" U.O.N.
- DOOR NOTES
 3090 SC - OPERATION OR TYPE
 - HEIGHT (FT-IN") i.e. 5'-0"
 - WIDTH (FT-IN") i.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
 SC = SOLID CORE HM = HOLLOW METAL
 FR = FRENCH PR = PAIR
 PKT = POGKET SGD = SLIDING GLASS DOOR
1. ALL DOORS ARE HOLLOW CORE, U.O.N.
 2. DOOR SIZE INDICATED IS THE ROUGH OPENING-VERIFY ROUGH OPENING-REQUIREMENTS W/ DOOR MFR.
 3. DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 4. MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 5. WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 6. ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.
 7. DOORS MARKED WITH A T SHALL HAVE 3/16" THICK TEMPERED SAFETY GLASS.

UNDER-FLOOR SPACE VENTILATION:

1. UNDER-FLOOR VENTILATION PER CRC SECTION RA08.1
 2. GROUND SURFACE TO BE COVERED BY GLASS 1/2" VAPOR BARRIER MATERIAL.
 3. FREE AREA REQUIRED IS 1 SF PER 1.50 SF OF UNDER-FLOOR AREA.
 4. SEE ELEVATIONS FOR LOCATION OF VENTS.
- ADDED UNDER-FLOOR SPACE AREA: 816 SF
 NET VENTILATION AREA REQUIRED: 816/1.50=544 S.F. (783 S.F.)
 VENTILATION PROVIDED:
 (14) SCREENED VENTS @ 60 S.I. NET AREA EACH = 840S.F.

- BUILDING GREEN NOTES:
1. WATER CLOSET SHALL NOT EXCEED 1.28 GALLONS PER FLUSH
 2. SINGLE SHOWERHEAD SHALL HAVE MAXIMUM FLOW OF 2.0 GPM (gal/min) AT 80 PSI.
 3. LAVATORY FAUCET SHALL NOT EXCEED 1.5 GPM AT 80 PSI
 4. AUTOMATIC IRRIGATION CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED.
 5. ROOF DRAINAGE: JOINTS AND OPENINGS FILLED
 6. OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO OWNER
 7. DUCT OPENING COVERED AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.
 8. VOC COMPLIANCE: CAULKS, SEALANTS, ADHESIVES COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS (TABLE 4.504.1)
 9. PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.504.3)
 10. AEROSOLS AND COATINGS COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS
 11. VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS
 12. VOC COMPLIANCE - CARPET & CARPET SYSTEM
 13. 80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHPS
 14. PARTIALLY PAINTED MDF, HARDWOOD PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
 15. MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE.
 16. BATHROOM EXHAUST FANS TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL
 17. DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:
 ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J
 DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA MANUAL D-2009
 SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA MANUAL S-2004
 18. HVAC INSTALLERS TRAINED AND CERTIFIED.

Bathroom Remodel Notes:

- a) Water closet required clearances are 24" in front and 15" from centerline to wall or cabinet. (IPC 407.3)
- b) New or altered shower compartments shall have a minimum finished dam, curb, or threshold not less than 2 inches or exceeding 9/16 inches in depth, with an interior of 1,024 square inches and shall also be capable of encompassing a 30-inch diameter circle measured to the center of the threshold. (IPC Sec. 408.6)
- c) Shower entrance shall be provided with a minimum of 22" clear opening and, if featured with a door shall be sliding or outward swing
- d) Any glazing within 60" radius of tub/shower enclosures shall be tempered safety glass (bathrooms enclosure of showers shall have all glazing tempered safety glass)
- e) Showers and tub/shower combinations shall be equipped with a pressure balance thermostatic mixing valve. Max flow of any shower heads or handheld outlets controlled by diverter valves shall be 2.00 G.P.M., combined.
- f) All outlets and switches within 6" shall be GFCI protected. (C.E.C. section 210.8(A)(9). No outlets or switches allowed in tub/shower boundaries.

Mechanical Requirements:

- a) Mechanical ventilation (bath fan) shall be provided.
- b) GFCI protected is required if located within tub/shower enclosure. (CMC 402.5) h. Specify 20-amp dedicated circuit for bathroom receptacle outlets OR provide a dedicated 20-amp circuit for each individual bathroom being altered or added. Note: bath lighting shall not be on outlet circuit. (CEC Art. 210.11(C)(1)).
- b) At least one receptacle outlet within 3 ft of the outside edge of each basin. The receptacle outlet shall be located on a wall that is adjacent to the basin, or on the side or face of the basin cabinet not more than 12 inches below the countertop. (CEC Art. 210.52(D)).
- c) Specify GFCI protected outlets for all bathroom receptacles. (CEC Art. 210.8(A)).
- d) All added/replaced 125-volt, 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles.
- e) All new bathroom light fixtures shall be high efficacy (i.e., fluorescent, LED, etc.) if screw based luminaires will be installed, specify that the lamps shall be marked "AAS-2016" or "AAS-2016-E". All screw based luminaires shall be controlled by manual on/vacancy sensors. Low efficacy lighting (i.e., halogen, incandescent, etc.) is not allowed. (Energy 150.0(A)(1) G & 150.0(A)(2) 1c)

- Water-Conserving Plumbing Fixture (maximum flow rates):
 Water Closet (Toilet) 1.28 gpf
 Showerhead 1.80 gpm
 Lavatory Faucets 1.20 gpm
 Kitchen Faucets 1.80 gpm

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KEY PLAN

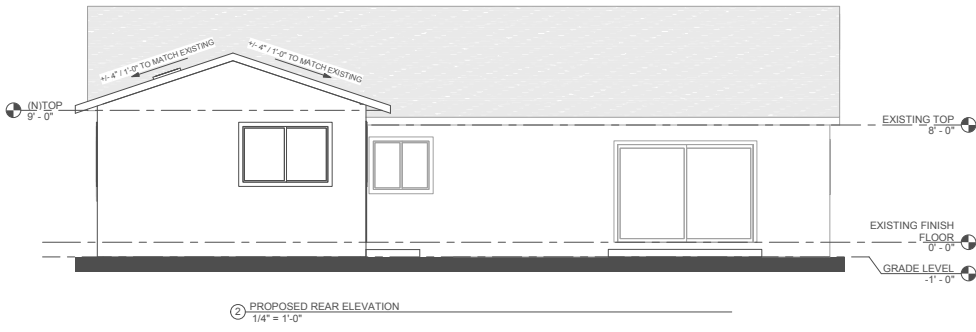
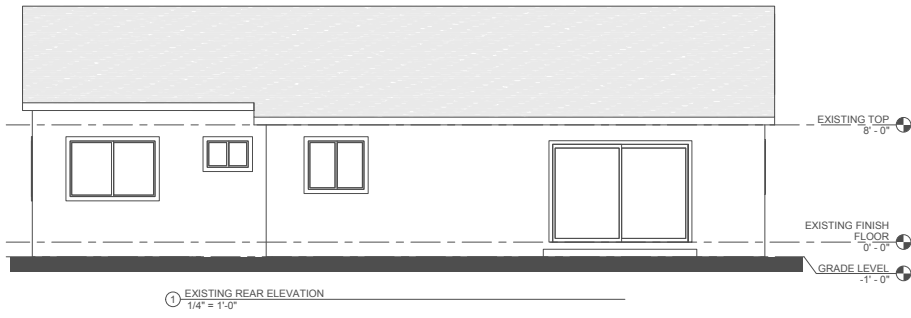
NO.	DESCRIPTION	DATE
PERMIT SUBMITTAL		03.29.2022

PROJECT NO.

SCALE As indicated

TITLE
PROPOSED FLOOR/CEILING PLAN

A0.2



Le An

(OWNER)

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2327 Glendenning Ave,
Santa Clara, CA 95050
Email:
lanzju@gmail.com

KEY PLAN

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NO.	DESCRIPTION	DATE
1	PERMIT SUBMITTAL	03.29.2022

PROJECT NO.
SCALE 1/4" = 1'-0"
TITLE

BUILDING ELEVATIONS

A0.4