



# **Development Review Hearing**

**Item 5 : PLN24-00519  
1962 Graham Lane**

**April 9, 2025**

**Alex Tellez , Assistant Planner**



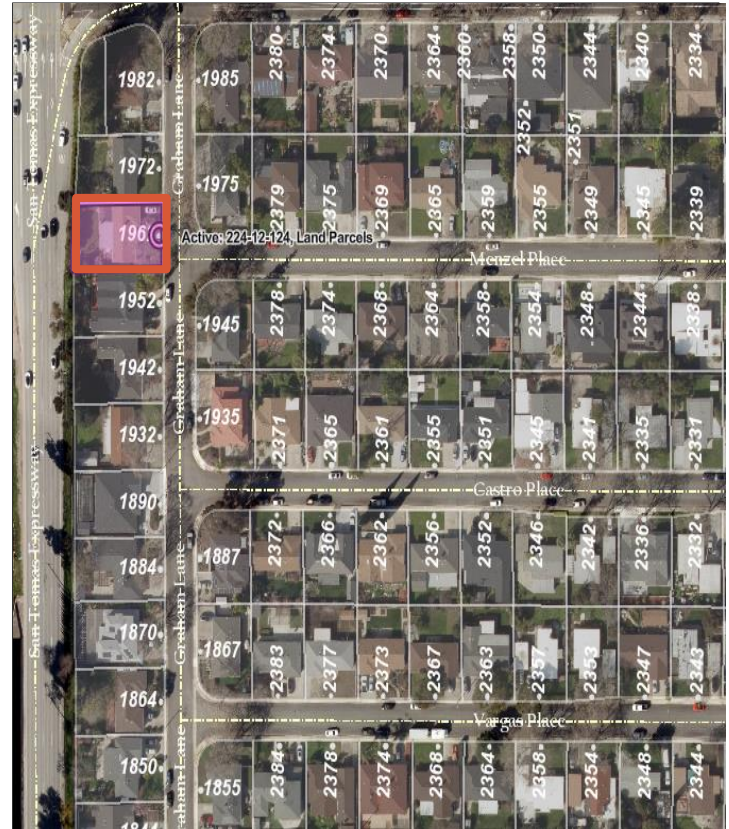
# Request

- **Architectural Review** for the construction of an 809 square-foot first floor addition and a 942 square-foot second floor addition to an existing 1,794 square-foot single story residence, resulting in a 3,381square-foot three bedroom, three and a half bathroom two story residence.
- Architectural Review approval through a Development Review Hearing is required under Santa Clara City Code 18.120.020(D)(1).



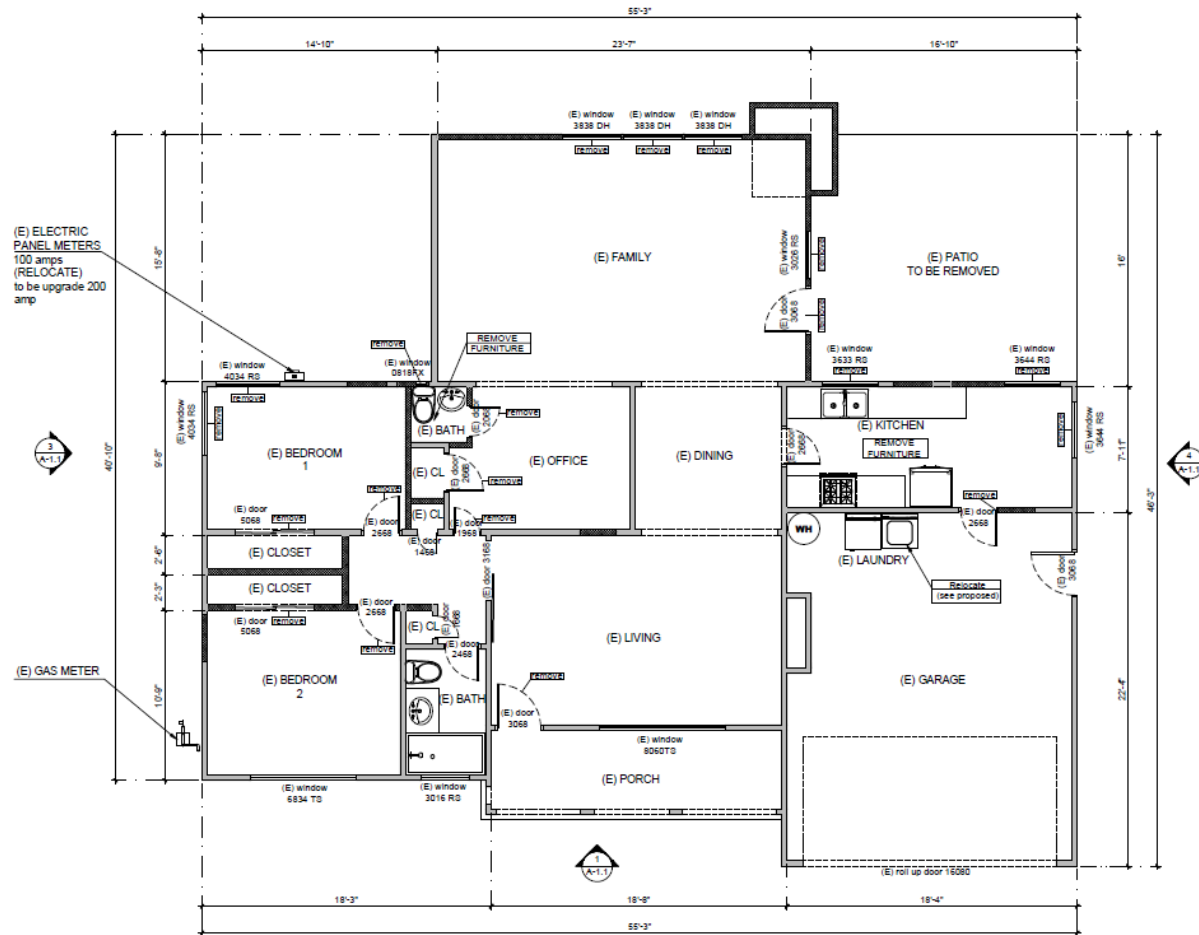
# Existing Site

- **Acreage:** 0.17 Acres
- **Surrounding Uses:**
  - N: R1-6L (Single Family)
  - S: R1-6L (Single Family)
  - E: R1-6L (Single Family)
  - W: PQP (Public or Quasi Public)
- **Zoning:** R1-6L (Single Family)
- **General Plan Designation:** Very Low Density Residential









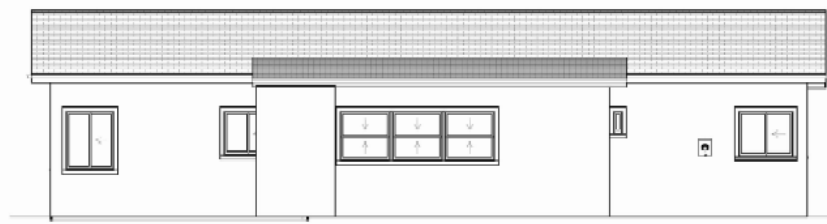
**1** **EXISTING FLOOR PLAN**  
SCALE: 1: 1/4"



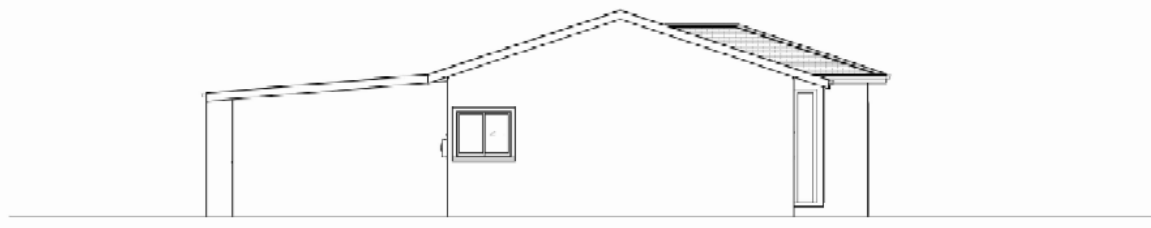




**1** **EXISTING ELEVATIONS FRONT**  
SCALE: 1: 1/4"



**2** **EXISTING ELEVATIONS REAR**  
SCALE: 1: 1/4"



**3** **EXISTING ELEVATIONS LEFT**  
SCALE: 1: 1/4"

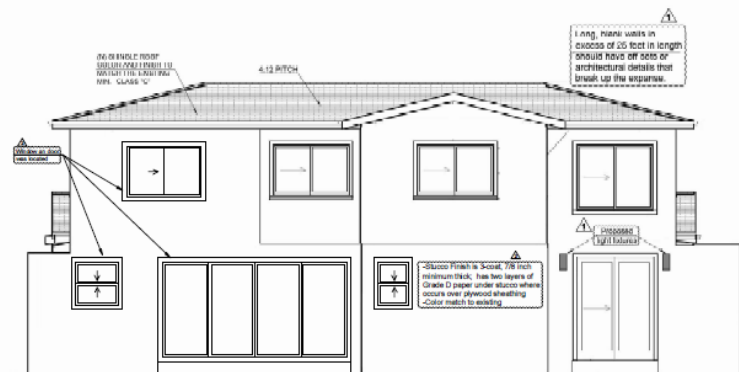


**4** **EXISTING ELEVATIONS RIGHT**  
SCALE: 1: 1/4"

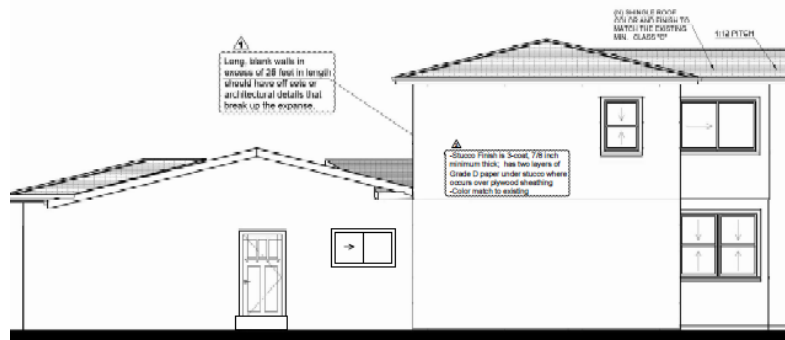




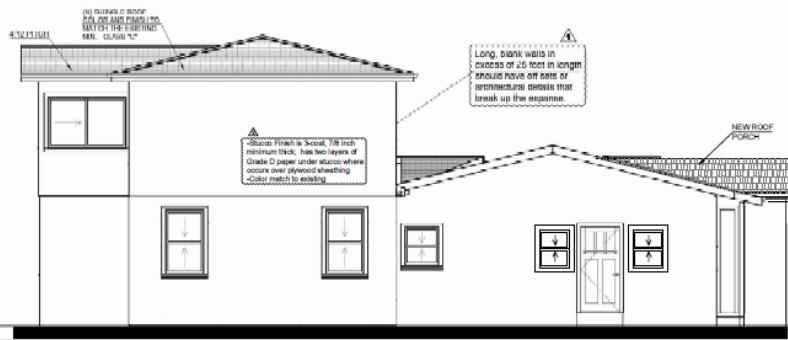
1 **PROPOSED ELEVATIONS FRONT**  
SCALE: 1/4"



2 **PROPOSED ELEVATIONS REAR**  
SCALE: 1/4"



3 **PROPOSED ELEVATIONS RIGHT**  
SCALE: 1/4"



4 **PROPOSED ELEVATIONS LEFT**  
SCALE: 1/4"



# Consistency with Design Guidelines / Objective Standards

The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:

- The request will be built in the rear of the existing structures with the second-floor walls having substantial offsets from the first-floor walls therefore reducing the mass and bulk of the structure.
- The roof and building materials work in conjunction with each other and maintain the existing architectural style of the building.
- A prominent entry feature is being proposed that will be proportional to the existing facade.



# CEQA Evaluation

- The project is found to be Categorical Exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15301 (Class 1 – Existing Facilities), in that the request is an addition to an existing structure that won't result in an increase of more than 2,500 square feet.



# Recommendation

- **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301 (Class I - Existing Facilities), and **Approve** the Architectural Review for the construction of a 809 square-foot first floor addition and a 942 square-foot second floor addition to an existing 1,794 square-foot single story residence, resulting in a 3,381 square-foot three bedroom, three and a half bathroom two story residence at 1962 Graham Lane, subject to findings and conditions of approval.



# City of Santa Clara

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