

# Planning Submittal

# Residential Remodel & Addition

3513 Oxford Court, Santa Clara | APN: 293.05.035

## PROJECT SUMMARY

Lot Size: 0.24 Acres (10,454 sq. ft.)

Zoning: R1-4L Single Family

Year Built: 1960

Existing Configuration: 3 Bed / 2 Bath  
Proposed Configuration: 5 Bed / 4 Bath

No. of Stories: One (1)

Fire Sprinklers: No

Construction Type: VB (Non-Rated)

Setbacks:

Front Setback: 20'  
Side Setback: 5'  
Rear Setback: 20'

Maximum Height:

Allowable: 35' / 2 Stories  
Proposed: 16.5' / 1 Story

Site Coverage:

Allowable: 40%  
Existing: 3,033 / 10,454 = .29 or 29%  
Proposed: 3,170 / 10,454 = .30 or 30%

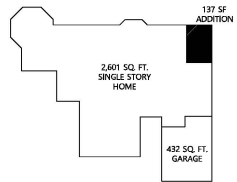
## AREA CALCULATIONS

### BUILDING SQUARE FOOTAGE

Existing Living Square Footage	2,401 sq. ft.
Proposed New Living Square Footage	137 sq. ft.
<b>TOTAL PROPOSED LIVING SF:</b>	<b>2,538 sq. ft.</b>
Existing Attached Garage:	432 sq. ft.
<b>TOTAL EXISTING SQUARE FOOTAGE:</b>	<b>3,170 sq. ft.</b>

### AREA OF WORK

PROPOSED AREA OF WORK	2,280 sq. ft.
-----------------------	---------------



## GENERAL NOTES

- Any errors or omissions found in the drawings shall be immediately brought to the attention of the Architect.
- Existing construction indicated is for information only. It is the Contractor's responsibility to verify the actual conditions, locations, and dimensions and to notify the Architect of any discrepancies or omissions in these conditions before commencing any new work or areas affected by these existing conditions.
- Contractor shall be responsible for providing all materials and workmanship in accordance with all applicable federal, state, and local laws, codes, ordinances, and regulations.
- Do not scale plans. If dimensions are found to be missing or inaccurate, immediately contact the Architect for clarification.
- These plans are the sole property of the Stowers Associates. The unauthorized reproduction or use of these plans is illegal and the Architect disclaims any responsibility for their unauthorized use.
- Protect the trees and all new and existing materials and finishes from damage which may occur during construction.
- Remove rubbish and waste materials regularly during construction and leave the area clear and ready for use when finished.
- Changes in the design or materials will not be accepted without authorization from the Architect and Owner.
- Where appropriate, Subcontractors shall submit on-built drawings to the Contractor upon completion of work.
- All construction shall comply with City and State of California building codes.
- Contractor shall protect existing trees and root systems during construction. All excavation around existing trees shall done by hand.
- Smoke detectors in the smoke ceiling shall be installed and field verified in each bedroom, in each hallway leading to the bedrooms and on each floor per CRC R314.2. Carbon Monoxide alarms shall be installed and field verified on each floor per CRC R315.2.

## PROJECT DIRECTORY

### OWNER

**PREMIER HOMES**  
**FASTRACK INVESTMENTS INC**  
20006 ALMADEN ROAD  
SAN JOSE, CA 95120  
CONTACT: CLARK NUNES  
EMAIL: CLARK@PREMIERHOMES.COM

### ARCHITECT

**GREG STOWERS**  
**STOWERS ASSOCIATES**  
155 E. CAMPBELL AVENUE, SUITE 114  
CAMPBELL, CA 95008  
PHONE: 408.358.5488  
CELL: 408.406.6048  
EMAIL: GREG@STOWERSASSOCIATES.COM

## BUILDING CODES

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA RESIDENTIAL BUILDING CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA ENERGY CODE

## DEFERRED SUBMITTAL

NONE

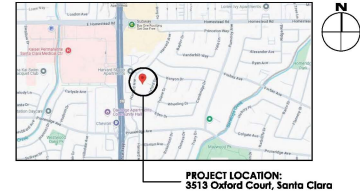
## HERS VERIFICATION

HERS VERIFICATION IS REQUIRED AT HVAC SYSTEM, NEW KITCHEN RANGE HOOD AND BATHROOM EXHAUST FANS.

## WRITTEN SCOPE

- 137 SQUARE FOOT ADDITION.
- FULL KITCHEN RENOVATION - CASEWORK, APPLIANCES AND FIXTURES.
- FULL PRIMARY BATHROOM RENOVATION.
- FULL HALL BATHROOM RENOVATION.
- RECONFIGURE TO ADD 2 NEW BEDROOMS AND 2 NEW BATHROOMS. (EXISTING: 3/2 CONFIG. PROPOSED: 5/4 FINAL CONFIG)
- MODIFY INTERIOR WALLS TO CREATE GREAT ROOM.
- REPLACE WINDOWS WITH NEW.
- REPLACE GAS HVAC WITH NEW - MODIFY DUCTING FOR NEW ROOM LAYOUT.
- REPLACE EXISTING GAS WATER HEATER WITH NEW.
- UPGRADE ELECTRICAL PANEL FROM 100 AMP TO 200 AMP SERVICE.
- NEW LIGHTING THROUGHOUT ENTIRE HOME.

## VICINITY MAP



## DRAWING INDEX

### ARCHITECTURAL

- |      |                              |
|------|------------------------------|
| A0.1 | COVER SHEET                  |
| A1.1 | SITE PLAN                    |
| A2.1 | EXISTING/DEMOLITION PLAN     |
| A3.1 | PROPOSED FLOOR PLAN          |
| A4.1 | ROOF PLAN                    |
| A5.1 | EXISTING EXTERIOR ELEVATIONS |
| A5.2 | PROPOSED EXTERIOR ELEVATIONS |



**STOWERS ASSOCIATES**  
Offices in Campbell and Carmel by the Sea

155 E. Campbell Avenue #114  
Campbell, CA 95008

Greg Stowers  
greg@stowersassociates.com  
PHONE: 408.358.5488  
CELL: 408.406.6048

WWW.STOWERSASSOCIATES.COM

PROJECT

RESIDENTIAL REMODEL

PREMIER HOMES

3513 OXFORD COURT, SANTA CLARA

ISSUE DATE

Planning Submittal 02.24.2025

STAMP



OWNERSHIP AND USE OF DOCUMENT  
All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They shall not be used for any other project without the written consent of Stowers Associates. This consent shall not be given for the reproduction or use of these drawings for any other project without the written consent of Stowers Associates.

JOB NO. 2025.05

DRAWN BY GTS

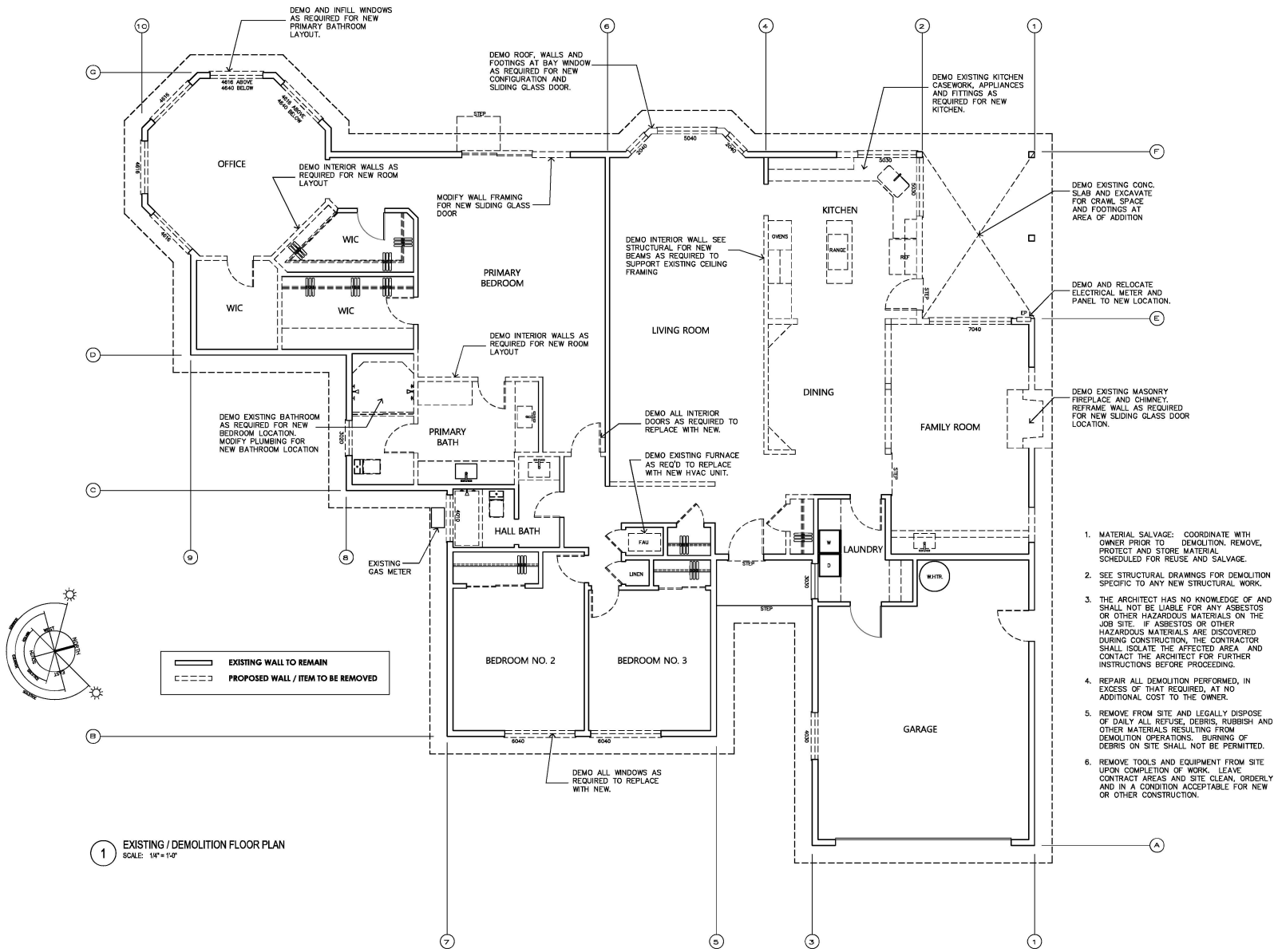
SCALE AS NOTED

TITLE SHEET  
PROJECT INFO



A0.1





1 EXISTING / DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**RESIDENTIAL REMODEL**  
**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

ISSUE	DATE
Preliminary_Scheme 1	02.11.2025

STAMP



**OWNERSHIP AND USE OF DOCUMENT**  
 All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They are to be used only for the project and site for which they were prepared. They are not to be reproduced, copied, or otherwise used for any other project or site without the written consent of Stowers Associates.

JOB NO.	2025.05
DRAWN BY	GTS
SCALE	AS NOTED

EXISTING  
 DEMOLITION PLAN

# RESIDENTIAL REMODEL

PREMIERE HOMES  
 3513 OXFORD COURT, SANTA CLARA

ISSUE DATE  
 Preliminary\_Scheme 1 02.11.2025

STAMP



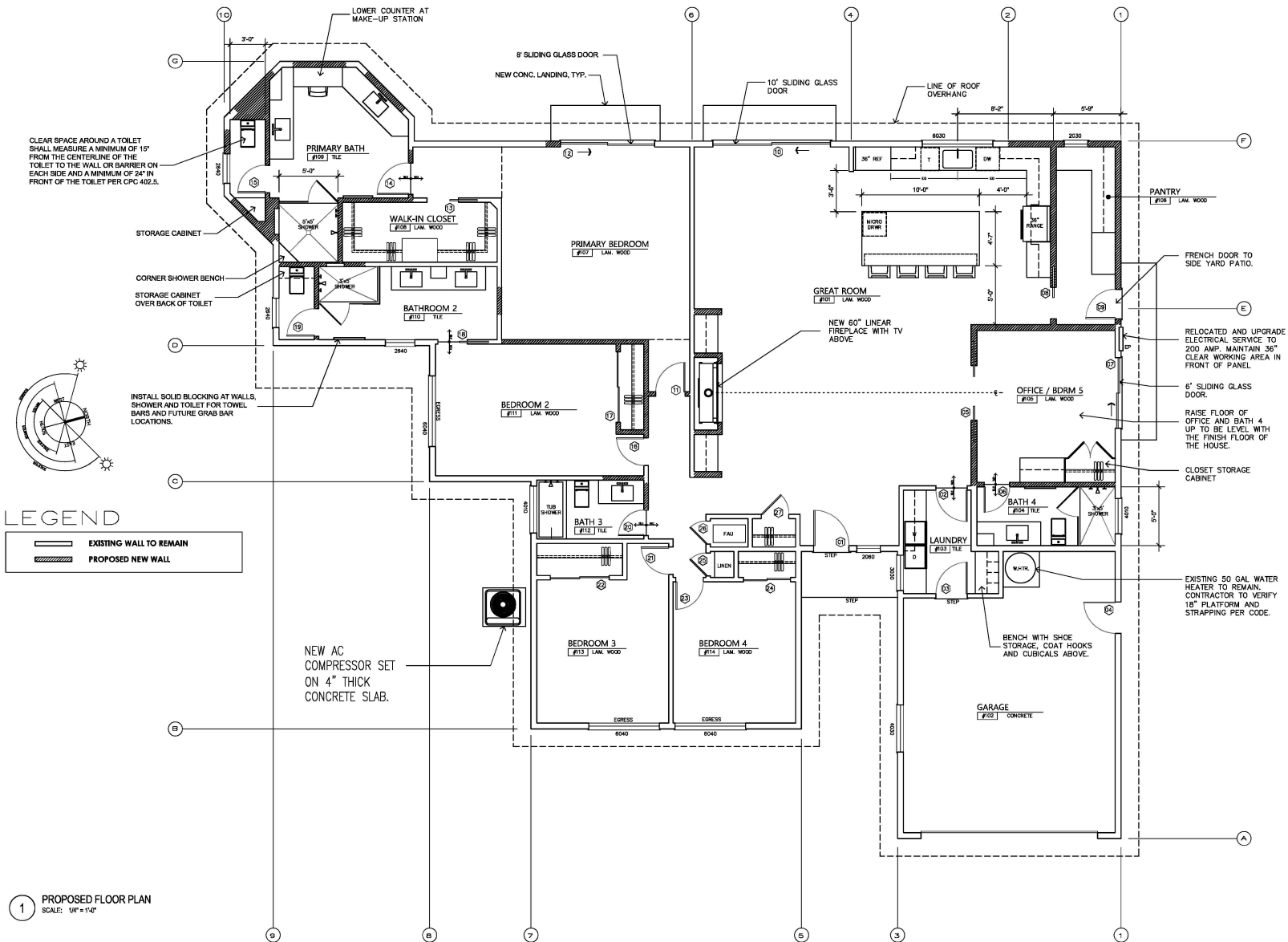
**OWNERSHIP AND USE OF DOCUMENT**  
 All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They are to be used only for the project and site for which they are prepared. No part of these documents may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without the prior written permission of Stowers Associates.

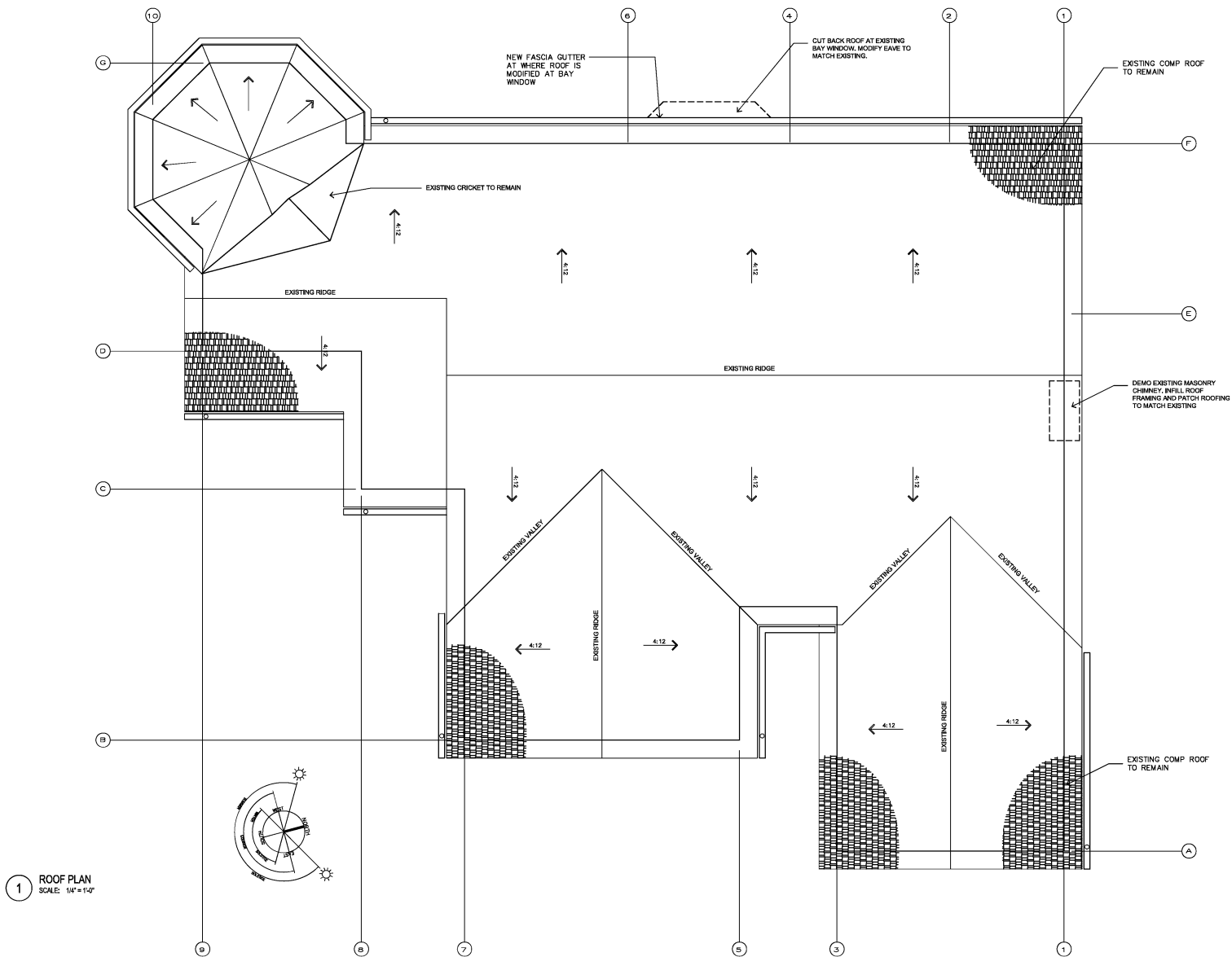
JOB NO. 2025.05

DRAWN BY GTS

SCALE AS NOTED

PROPOSED FLOOR PLAN





1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



155 E. Campbell Avenue #114  
 Campbell, CA 95008

Greg Stowers  
 greg@stowersassociates.com  
 PHONE: 408.398.5488  
 CELL: 408.406.8048

WWW.STOWERSASSOCIATES.COM

PROJECT

**RESIDENTIAL REMODEL**  
**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

ISSUE DATE

STAMP



**OWNERSHIP AND USE OF DOCUMENT**  
 All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They are to be used only for the project and site for which they were prepared. No part of these documents may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stowers Associates.

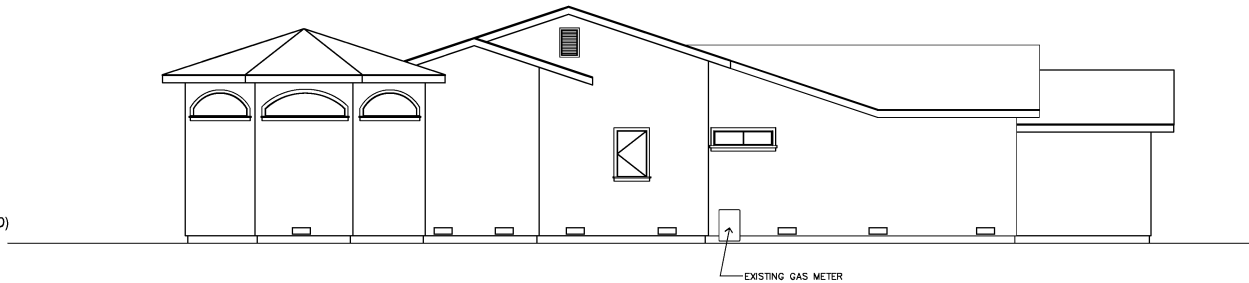
JOB NO. 2025.05

DRAWN BY GTS

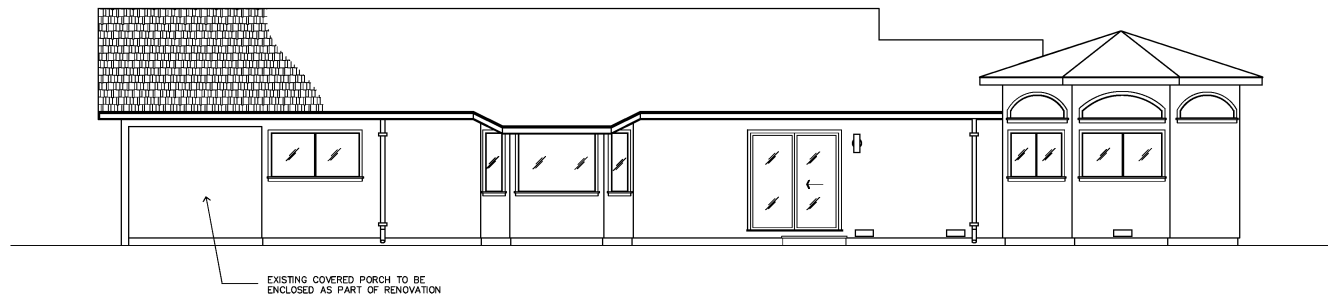
SCALE AS NOTED

ROOF PLAN

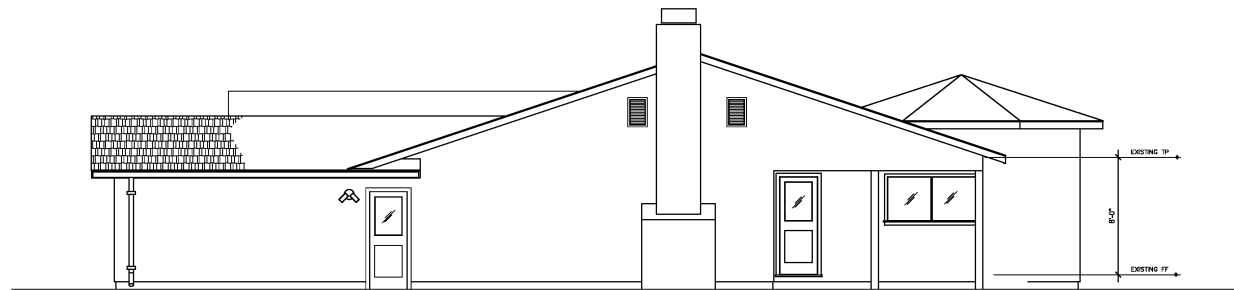
4 EXISTING SOUTH ELEVATION (SIDE YARD)  
SCALE: 1/4" = 1'-0"



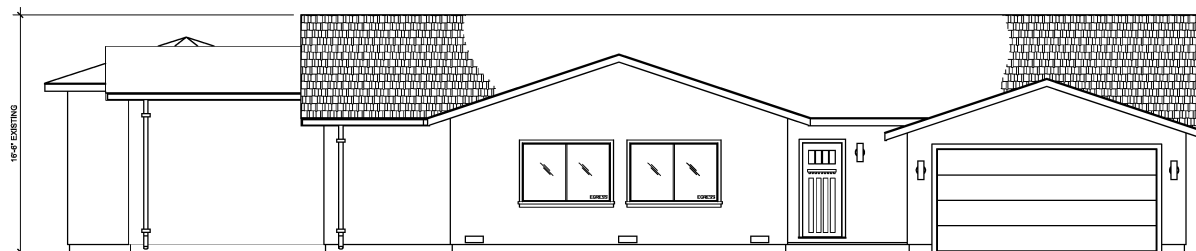
3 EXISTING WEST ELEVATION (REAR YARD)  
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION (SIDE YARD)  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION (FRONT / STREET)  
SCALE: 1/4" = 1'-0"



**STOWERS  
ASSOCIATES**  
Offices in Campbell and  
Carmel by the Sea

155 E. Campbell Avenue #114  
Campbell, CA 95008

Greg Stowers  
greg@stowersassociates.com  
PHONE: 408.368.5488  
CELL: 408.406.8046

WWW.STOWERSASSOCIATES.COM

PROJECT

**RESIDENTIAL REMODEL**  
**PREMIERE HOMES**  
**3513 OXFORD COURT, SANTA CLARA**

ISSUE DATE

STAMP



**OWNERSHIP AND USE OF DOCUMENT**  
All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They shall remain the property of Stowers Associates and shall not be used for any other project without the written consent of Stowers Associates. This document is not to be used for any other project without the written consent of Stowers Associates.

JOB NO. 2025.05

DRAWN BY GTS

SCALE AS NOTED

EXISTING ELEVATIONS

**S A5.1**

**RESIDENTIAL REMODEL**

**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

ISSUE DATE

STAMP



**OWNERSHIP AND USE OF DOCUMENT**  
 All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They are to be used only for the project and site for which they were prepared. No part of these documents may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Stowers Associates.

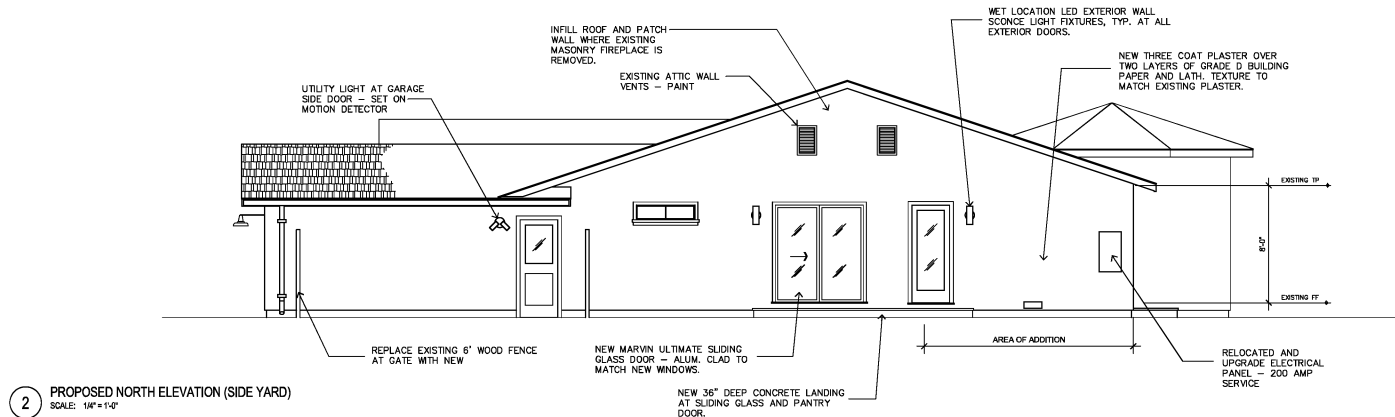
JOB NO. 2025.05

DRAWN BY GTS

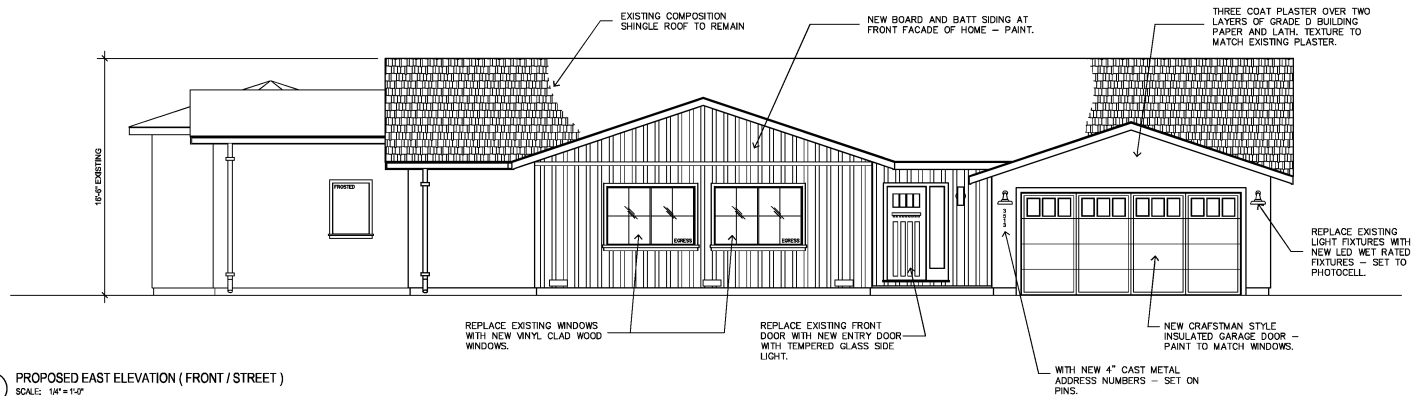
SCALE AS NOTED

**PROPOSED ELEVATIONS**

**A6.2**



**2 PROPOSED NORTH ELEVATION (SIDE YARD)**  
 SCALE: 1/4" = 1'-0"



**1 PROPOSED EAST ELEVATION (FRONT / STREET)**  
 SCALE: 1/4" = 1'-0"

**RESIDENTIAL REMODEL**

**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

ISSUE DATE

STAMP



**OWNERSHIP AND USE OF DOCUMENT**  
 All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They are not to be used for any other project without the written consent of Stowers Associates.

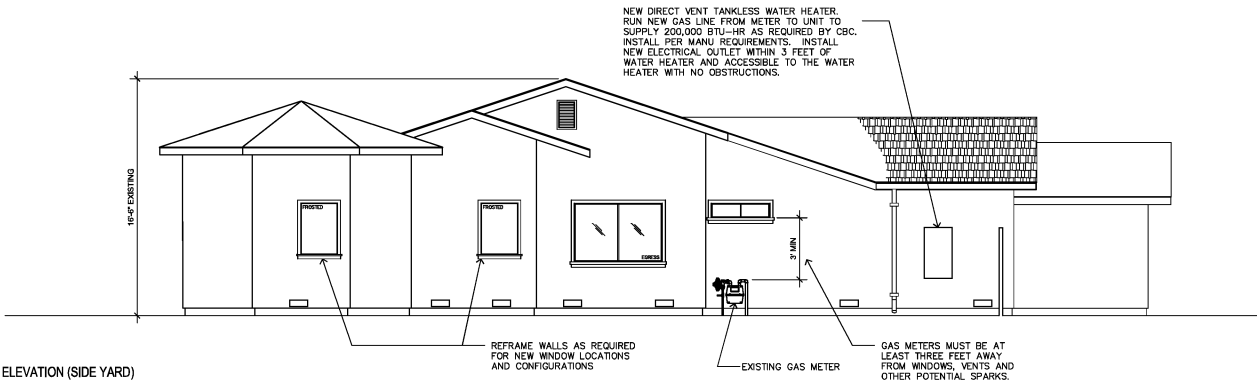
JOB NO. 2025.05

DRAWN BY GTS

SCALE AS NOTED

**PROPOSED ELEVATIONS**

**2** PROPOSED SOUTH ELEVATION (SIDE YARD)  
 SCALE: 1/4" = 1'-0"



**1** PROPOSED WEST ELEVATION (REAR YARD)  
 SCALE: 1/4" = 1'-0"

