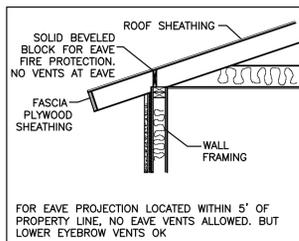


A	=	28'-3" X 27'-7"	=	783 SF
B	=	28'-7" X 5'-10"	=	168 SF
C	=	42' X 26'-2"	=	1100 SF
D	=	14'-1/2" X 4'-10"	=	69 SF
E	=	13'-9" X 4'-10"	=	67 SF
TOTAL AREA		= 2,187 SF		
LOT AREA		= 5,880 SF		
LOT COVERAGE		= 2187/5880 X100 = 37.2%		

9 AREA DIAGRAM SCALE: 1/8"



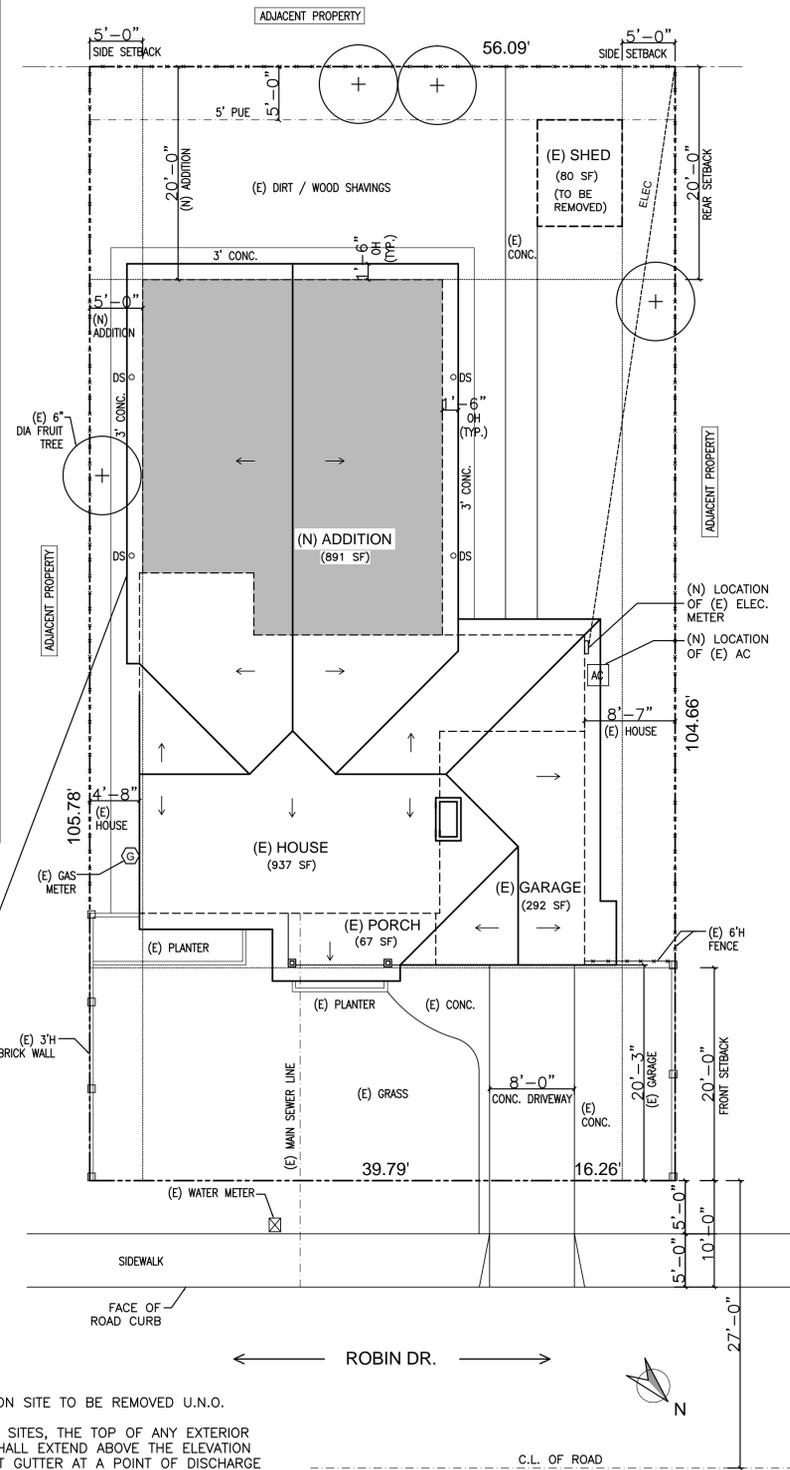
FOR EAVE PROJECTION LOCATED WITHIN 5' OF PROPERTY LINE, NO EAVE VENTS ALLOWED, BUT LOWER EYEBROW VENTS OK

**LEGEND:**

-----	(E) AREA TO REMAIN
=====	PROPOSED ADDITION AREA
-----	PROPOSED REMODEL AREA
-----	BUILDING LINE
-----	SETBACK LINE
-----	PROPERTY LINE
-----	FENCE LINE
-----	P.U.E. LINE
-----	MAIN ELEC. SERVICE DROP
o DS	DOWN SPOUT
□	38 SQIN ROOF VENT
□	56 SQIN EAVE VENT
—	252 SQIN GABLE VENT

**NOTES:**

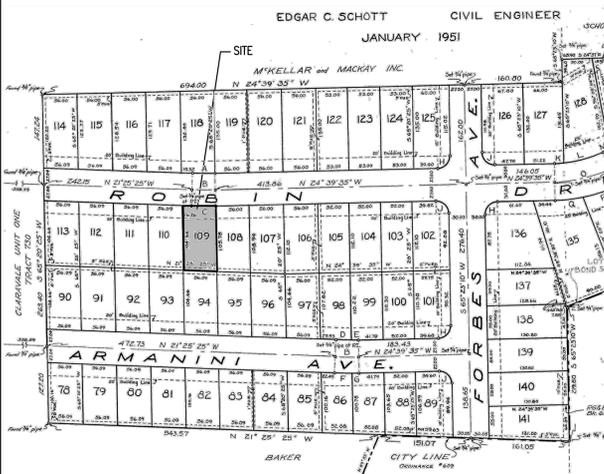
- NO TREES ON SITE TO BE REMOVED U.N.O.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MIN. OF 12" PLUS 2%
- ROOF DRAINAGE DISCHARGE TO BE 5' MIN. FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM



8 SITE PLAN & ROOF PLAN SCALE: 1/8"=1'-0"

- (N) ADDITION TOWARDS THE REAR OF A FAMILY ROOM, TWO BEDROOMS, A BATHROOM & A LAUNDRY ROOM.
- (E) ELEC. METER TO BE RELOCATED TO THE SIDE
- (E) AC TO BE MOVED TO THE SIDE.
- (E) SHED IN THE BACKYARD TO BE REMOVED.

7 SCOPE OF WORK



6 VICINITY MAP

- MIN. 36" LANDING OUTSIDE EXTERIOR DOORS REQUIRED, NOT MORE THAN 7 3/4" LOWER THAN THE THRESHOLD. LANDINGS MUST SLOPE 2% AWAY FROM THE BUILDING.
- SITE GRADING MUST SLOPE 5% AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL, AND SLOPE ON SITE MUST BE 1% TO A PUBLIC WAY.
- SHOWER & TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD & NON-ABSORBANT SURFACE (E.G. CEMENT OR FIBER GLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. BACKING BOARD SHALL MEET THE ASTM REQUIREMENTS AS/2016 CRC.
- PROVIDE A NET CLEAR OPENING OF 5.7 SF IN BEDROOM WINDOWS, WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24", A MIN. NET CLEAR OPENING WIDTH OF 20", A SILL HEIGHT NO MORE THAN 44" ABOVE THE FINISH FLOOR (PER CRC R310.1, R310.1.1, R310.1.2, R310.1.3).
- PER CRC R303.1, ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF <8% OF FLOOR AREA OF SUCH ROOM. THE MIN. OPENABLE AREA SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED  
PER CRC R303.1, FOR PURPOSES OF DETERMINING LIGHT & VENTILATION REQUIREMENTS, ANY ROOM SHALL BE CONSIDERED AS A PORTION OF AN ADJOINING ROOM WHEN AT LEAST ONE-HALF OF THE AREA OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF NOT LESS THAN ONE-TENTH OF THE FLOOR AREA OF THE INTERIOR ROOM BUT NOT LESS THAN 25 SF)
- EXTERIOR STUCCO IS A 3-COAT SYSTEM, 7/8" MIN. THICK, HAS TWO LAYERS OF GRADE "D" PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING), PER CRC R703.6.2, R703.6.2.1, AND R703.6.3

5 ARCHITECTURAL NOTES

PROJECT ADDRESS: 648 ROBIN DR., SANTA CLARA, CA 95050

OCCUPANCY CLASSIFICATION: R3 (SINGLE FAMILY), U (GARAGE)

ZONING: R1-6L

CONSTRUCTION TYPE: TYPE V-B

STORIES: 1 STORY

SPRINKLERS REQUIRED: NO

YEAR BUILT: 1951

APN #: 294-08-011

(E) FLOOR AREA: = 937 SF

(N) FLOOR AREA ADDITION: = 891 SF

TOTAL NET FLOOR AREA: = 937 + 891 = 1,828 SF

(E) GARAGE AREA = 292 SF

(E) FRONT PORCH = 67 SF

(E) SHED TO BE REMOVED = 80 SF

(E) REAR PORCH TO BE REMOVED = 188 SF

(E) LOT AREA = 5,880 SF

LOT COVERAGE: = (1828+292+67 / 5880) X100 = (2187 / 5880) X 100 = 37.2 %

4 PROJECT DATA & AREA CALCULATIONS

1. ALL WORK TO COMPLY WITH THE 2016 CBC, CMC, CPC & CEC, 2016 CRC, 2016 CA ENERGY CODE, 2016 CAL GREEN BUILDING STANDARDS CODE.

3 CODES & REGULATIONS

OWNER: SEAN & JESSICA RANDOLPH  
PHONE #: (510) 378-3949  
EMAIL: seanrandolph@gmail.com

DESIGNER: SANCHALI SRIVASTAVA, KCD, CID  
(CONTACT PERSON) SAN INTERIOR DESIGN  
PHONE #: (408) 705-0448  
EMAIL: sanchali@saninteriordesign.com

STRUCTURAL ENGINEER: EFE SOZKESEN, MS, P.E.  
4X ENGINEERING, INC.  
PHONE #: (408) 642-5464  
EMAIL: efe@4xengineering.com

2 OWNER & PROJECT TEAM CONTACT INFO

**ARCHITECTURAL DRAWINGS**

A1.0 COVER SHEET, SITE PLAN & ROOF PLAN

A2.0 EXISTING/DEMO FLOOR PLAN & EXISTING ELEVATIONS

A2.1 PROPOSED FLOOR PLAN / ELECTRICAL PLAN

A3.0 PROPOSED ELEVATIONS, SECTIONS & DOOR/WINDOW SCHEDULE

**STRUCTURAL DRAWINGS:**

S-1 FOUNDATION PLAN

S-2 2ND FL. FRAMING PLAN & 1ST FLOOR SHEAR WALL PLAN

S-3 ROOF FRAMING PLAN & 2ND FLOOR SHEAR WALL PLAN

SD-0 GENERAL NOTES

SD-1 TYPICAL FOUNDATION DETAILS

SD-2 TYPICAL SHEAR WALL DETAILS

SD-3 TYPICAL ROOF FRAMING DETAILS

SD-4 TYPICAL FOUNDATION DETAILS

SD-5 TYPICAL DETAILS

SD-6 TYPICAL DETAILS

HXF-1 HARDY FRAME DETAILS - 1

HXF-2 HARDY FRAME DETAILS - 2

HXF-3 HARDY FRAME DETAILS - 3

**TITLE 24 & GREEN BUILDING DRAWINGS:**

1/2 T24 ENERGY CALCULATIONS - PART 1

2/2 T24 MANDATORY MEASURES - PART 2

GRN-1 GREEN BUILDING RESIDENTIAL CHECKLIST

1 TABLE OF CONTENTS

**San Interior Design**  
408-705-0448  
sanchali@saninteriordesign.com  
6937 Azalea Dr.  
San Jose, CA 95120

CALIFORNIA COUNCIL FOR INTERIOR DESIGN CERTIFICATION  
**CCIDIC**  
SANCHALI SRIVASTAVA  
CERTIFIED INTERIOR DESIGNER  
EXPIRES 2-19 CID# 6360

**RANDOLPH RESIDENCE  
ADDITION / REMODEL**  
648 ROBIN DR.  
SANTA CLARA, CA 95050

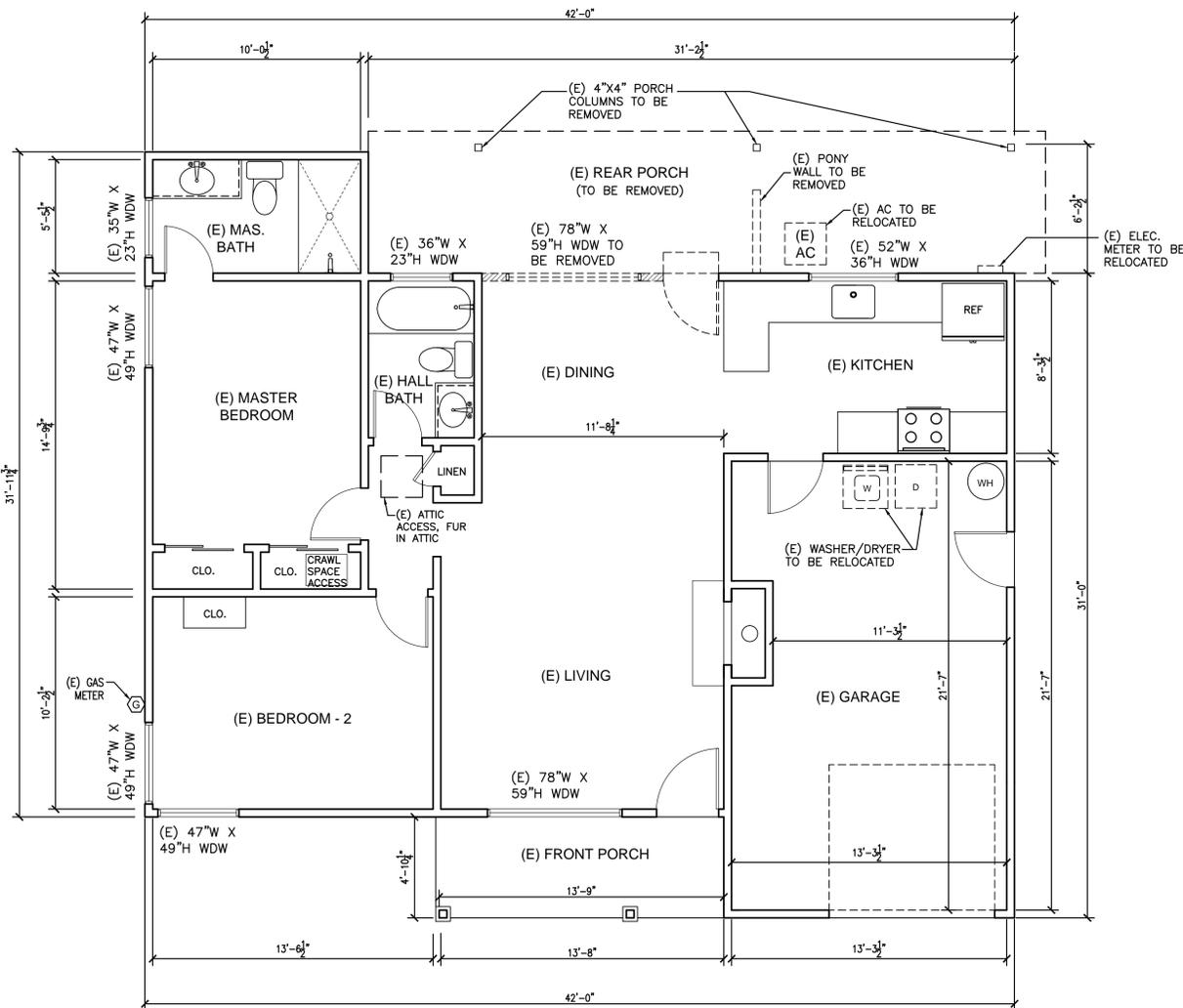
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DATE:	12/04/18
DRAWN BY:	SANCHALI SRIVASTAVA
SCALE:	AS NOTED

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SITE & ROOF  
PLAN**

SHEET #:

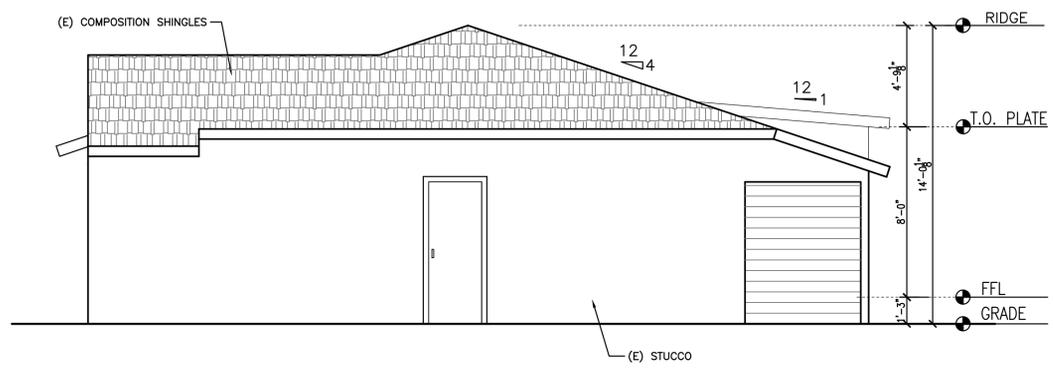
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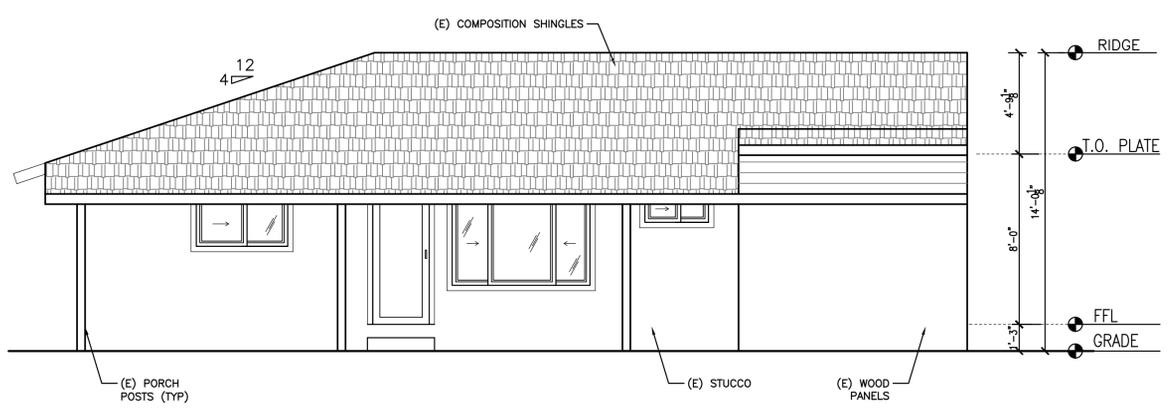
- LEGEND:**
- (E) WALLS TO REMAIN
  - (E) WALLS TO BE DEMOLISHED
  - (E) DOOR/WINDOW/ITEMS TO REMAIN
  - (E) DOOR/WINDOW/ITEMS TO BE REMOVED



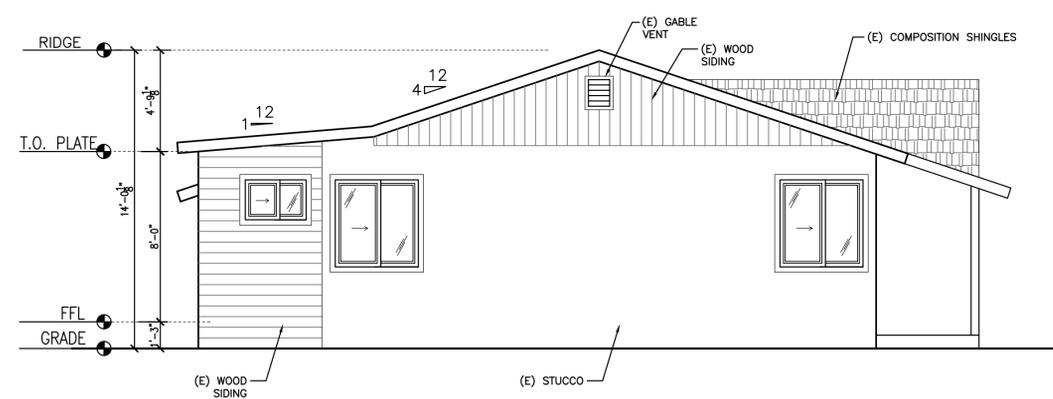
4 EXISTING FLOOR PLAN / DEMOLITION PLAN SCALE: 1/4"=1'-0"



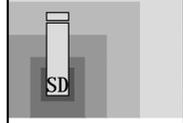
3 EXISTING RIGHT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"



2 EXISTING REAR ELEVATION SCALE: 1/4"=1'-0"



1 EXISTING LEFT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"



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sanchali@saninteriordesign.com  
6937 Azalea Dr.  
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SANTA CLARA, CA 95050

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DATE: 12/04/18  
DRAWN BY: SANCHALI SRIVASTAVA  
SCALE: AS NOTED

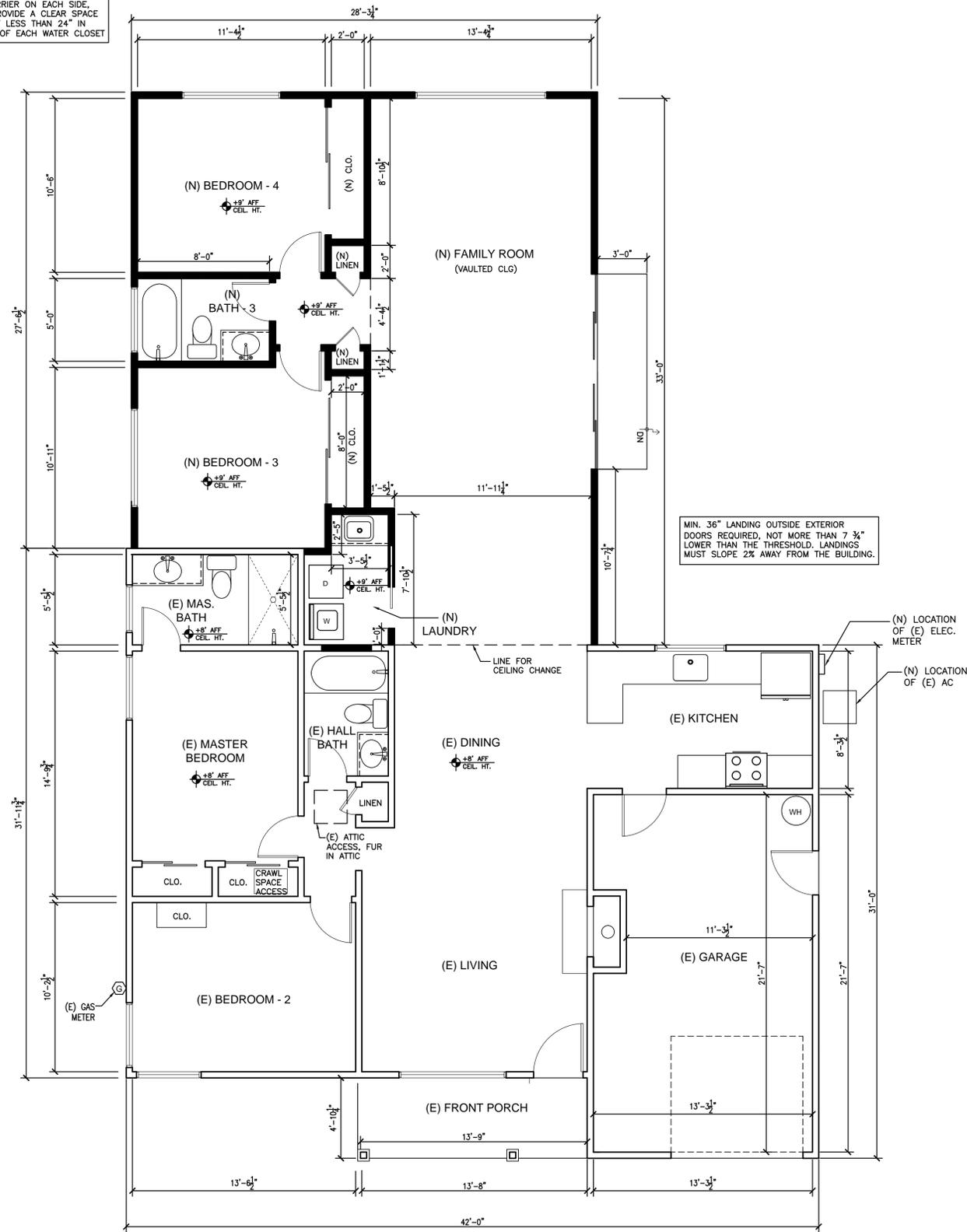
SHEET TITLE:  
**EXISTING /  
DEMO PLAN &  
EXST.ELEVS**

SHEET #:

**A2.0**

- ALL RECEPTACLES ON KITCHEN COUNTERTOP AND ON ISLAND TO BE GFCI PROTECTED.
- ALL BATHROOM EXHAUST FANS TO BE SEPARATELY SWITCHED FROM THE LIGHTING FIXTURE PER ENERGY CODE 150(k)(6)
- ALL BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHEN AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER(S).
- ALL BATHROOM RECEPTACLES SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. RECEPTACLE TO BE ON THE WALL WITHIN 3' OF SINK AND GFCI PROTECTED, AS/2013 CEC 2150.52 (D).
- TWO SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. THE CIRCUIT CAN NOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHER OR MICROWAVE, ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210.11(C)(1) AND 210.52(B).
- OUTLETS REQUIRED EVERY 12' O.C. MAX. AND WITHIN 6' OF THE END OF WALLS, IN LIVING, BEDROOMS & DINING AREAS. CEC 210.52(A)(1) & 210.52(A)(2) AND (3)
- SMOKE ALARMS ARE REQUIRED AT THE FOLLOWING LOCATIONS: (1) ALL BEDROOMS; (2) HALLWAYS LEADING TO BEDROOMS; (3) ABOVE TOP OF STAIRS; (4) AT LEAST ONE AT EVERY LEVEL. SMOKE ALARMS NEED TO BE HARDWIRED, WITH BATTERY BACKUP AND INTERCONNECTED. CRC R314.3.
- CARBON MONOXIDE ALARMS ARE REQUIRED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND AT EVERY FLOOR LEVEL INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL2034 AND UL2075, PER CRC R315.3. CARBON MONOXIDE ALARMS NEED TO BE HARDWIRED, AND INTERCONNECTED.
- IN ALL AREAS SPECIFIED IN 210.52, ALL 125V, 15- & 20- AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

MIN. 15" FROM CENTERLINE OF WATER CLOSETS TO THE WALL OR BARRIER ON EACH SIDE, AND PROVIDE A CLEAR SPACE OF NOT LESS THAN 24" IN FRONT OF EACH WATER CLOSET



- ALL HIGH EFFICACY LUMINARIES SHALL MEET SECTION 150.0 (K) AND JOINT APPENDIX JAB REQUIREMENTS. THEY MUST BE CERTIFIED OR MARKED AS JAB-2016 OR JAB-2016-E. THE PRODUCT SHOULD BE LISTED IN THE ENERGY COMMISSION DATA BASE. THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF INSTALLED LAMPS & LUMINARIES.
- RECESSED LIGHTING: ALL CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHENEVER INSULATION IS REQUIRED. THE HOUSING OF LUMINARIES SHALL BE AIRTIGHT PER T24 150(k) 5, 2013 CEC 410-66
- BATHROOM: ALL LIGHTING MUST BE HIGH EFFICIENCY
- ALL LIGHTS IN THE KITCHEN TO BE HIGH EFFICACY LUMINARIES. LIGHTING IN AREAS ADJACENT TO THE KITCHEN, INCLUDING BUT NOT LIMITED TO DINING & NOOK AREAS ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN LIGHTING)
- ALL OUTDOOR LIGHTING MUST BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS: (A) PHOTOCELL & MOTION SENSOR, (B) PHOTOCELL & TIME SWITCH, (C) ASTRONOMICAL TIME CLOCK, (D) EMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK, DOES NOT ALLOW THE LUMINARIES TO BE ON DURING THE DAY & MAY BE PROGRAMMED TO BE AUTOMATICALLY TURN LIGHTING OFF AT NIGHT.
- BEDROOMS/CLOSETS: ALL LIGHTS IN THESE ROOMS TO BE HIGH EFFICIENCY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
  - PROVIDE DIMMER SWITCH
  - CLOSETS LESS THAN 70 SF ARE EXEMPT FROM LIGHTING REQUIREMENTS.
- AT LEAST ONE LUMINAIRE IN THE BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM MUST BE CONTROLLED BY A VACANCY SENSOR.

5 ELECTRICAL NOTES SCALE: NS

ELECTRICAL/POWER LEGEND		LIGHTING LEGEND	
⊕	DUPLEX RECEPTACLE OUTLET	⊙	INCANDESCENT RECESSED CEILING DOWN LIGHT, 6"
⊕GFCI	GFCI DUPLEX RECEPTACLE OUTLET	⊙FL	FLUORESCENT OR LED RECESSED CEILING DOWN LIGHT, 6"
⊕HOR	HORIZONTAL DUPLEX RECEPTACLE OUTLET	⊙ADJ.	ADJUSTABLE RECESSED CEILING LOW VOLTAGE DOWN LIGHT, 4"
⊕	FOURPLEX RECEPTACLE OUTLET	⊙WP	WATER PROOF RECESSED CEILING DOWN LIGHT, 4", FLUORESCENT
⊕	220V RECEPTACLE OUTLET	⊕	HANGING LIGHT FIXTURE
⊕	HALF SWITCHED RECEPTACLE OUTLET	⊕	FLUORESCENT SURFACE MOUNTED LIGHT FIXTURE
■	FLOOR OUTLET	—	LED ROPE LIGHT
⊕WP	DUPLEX RECEPTACLE OUTLET WITH WATERPROOF COVER	—	FLUORESCENT TUBE LIGHT (ABOVE CABS/RECESSED CLGS)
⊕	SINGLE POLE SWITCH	⊙	HALOGEN OR LED PUC LIGHT
⊕	STACKED SWITCH	⊙	SQUARE FOOTLIGHT IN RISERS
⊕	SWITCH ON A DIMMER	⊙	INSIDE CLOSET LIGHT
⊕	3-WAY OR 4-WAY SWITCH	⊙	WALL SCONCE
⊕	SWITCH ON VACANCY SENSOR	⊙	WALL MOUNTED VANITY LIGHT
⊕	OUTDOOR SWITCH	⊙	LIGHT/FAN FIXTURE
⊕	THERMOSTAT	⊙	BATHROOM EXHAUST FAN
⊕	DOORBELL	⊙	CEILING FAN
⊕	LOW VOLTAGE TRANSFORMER BOX/ DRIVER BOX FOR LED'S	⊙	CEILING FAN WITH LIGHT
⊕	CABLE LINE	⊙	SUNTUNNEL WITH LIGHT
⊕	PHONE LINE	⊙	TRACK LIGHT
⊕	SMOKE DETECTOR / ALARM	⊙	LANDSCAPE UPLIGHT
⊕	GAS SUPPLY	⊙	WALL MNT EXTERIOR LIGHT (ON MOTION SENSOR & PHOTO CONTROL)
⊕	GAS METER	⊙	GARBAGE DISPOSAL
⊕	PANEL BOX	⊙	HEATING DIFFUSER
⊕	HOSE BIB	⊙	CEILING MOUNT LIGHT FIXTURE
⊕	AIR SWITCH	⊙	CHANDELIER
⊕	CARBON MONOXIDE ALARM	⊙	BATTERY OPERATED SMOKE ALARM
⊕	DEDICATED OUTLET	⊙	6" LED RECESSED CEIL. DOWNLIGHT

3 LIGHTING NOTES SCALE: NS

- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE MIN. OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). CMC 504.5
- SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 418.0
- MECHANICAL VENTILATION TO BE PROVIDED AT BATHROOMS WITH A MINIMUM 50 cu.ft./min. (FOR INTERMITTENT VENTILATION) OR 25 cu.ft./min FOR CONTINUOUS VENTILATION. (PER CRC R303.3). FANS SHALL BE ENERGY STAR & VENTED DIRECTLY TO THE OUTSIDE.
- MECHANICAL VENTILATION IN ALL BATHROOMS, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL
  - HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF < OR = 50%, TO A MAX. OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
  - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN & IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT-IN)
- GARAGE INSTALLED WATER HEATER AND FURNACE (I.E. THAT GENERATE A GLOW, SPARK OR ARE CAPABLE OF IGNITING FLAMMABLE VAPORS - INCLUDING DRYER IF GAS FUELED) MUST BE INSTALLED AT LEAST 18" ABOVE THE FLOOR AND BE PROTECTED FROM VEHICLE IMPACT (E.G. BOLLARD), PER CMC 308
- SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS (PER CPC 507.2)
- WATER HEATER SHALL HAVE A PRESSURE RELIEF VALVE WITH DRAIN TO THE EXTERIOR (OR FLOOR DRAIN ETC.), PER CPC 608.5

2 MECH./PLUMB.NOTES SCALE: NS

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

LEGEND:

- (E) WALLS TO REMAIN
- (E) DOOR/WINDOW/ITEMS TO REMAIN
- (N) 2X4 WALL, 16" O.C. STUDS
- (N) GAS LINE

4 ELECTRICAL LEGEND

1 PROPOSED FLOOR PLAN / ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

SD

**San Interior Design**

408-705-0448  
sanchali@saninteriordesign.com  
6937 Azalea Dr.  
San Jose, CA 95120

**CCIDIC**  
SANCHALI SRIVASTAVA  
CERTIFIED INTERIOR DESIGNER  
EXPRES-2-18 CID# 6360

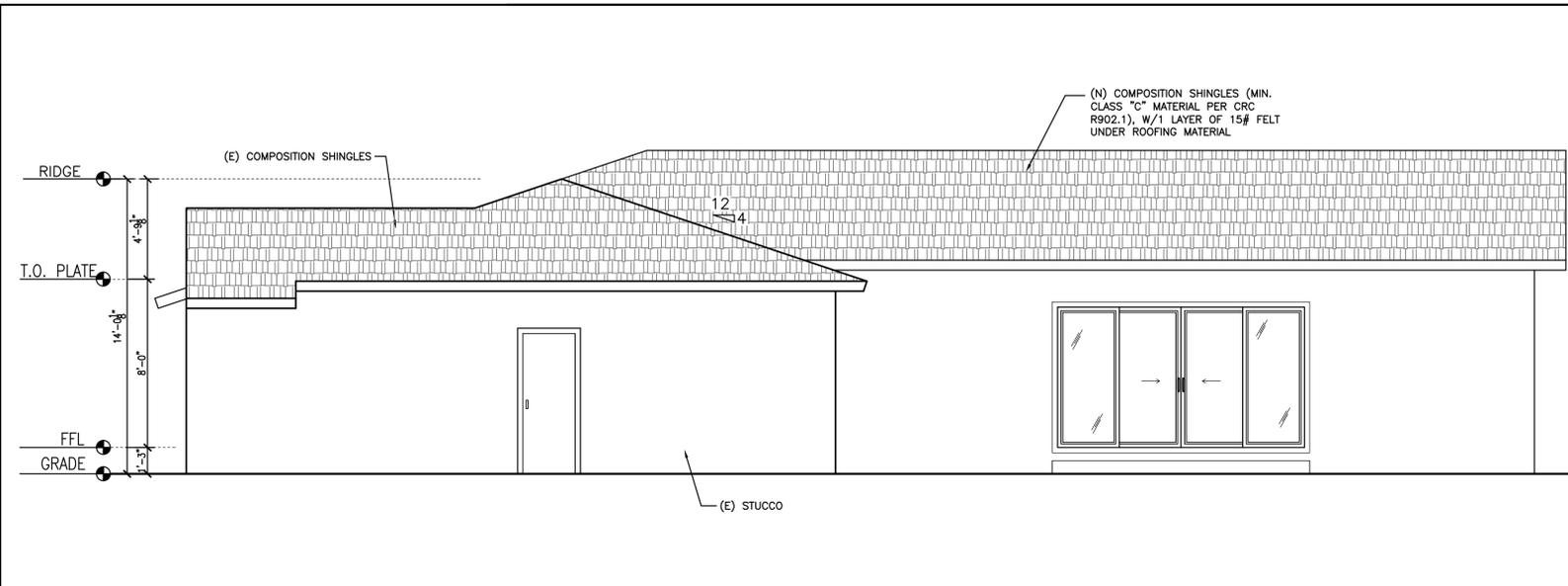
**RANDOLPH RESIDENCE  
ADDITION / REMODEL**

648 ROBIN DR.  
SANTA CLARA, CA 95050

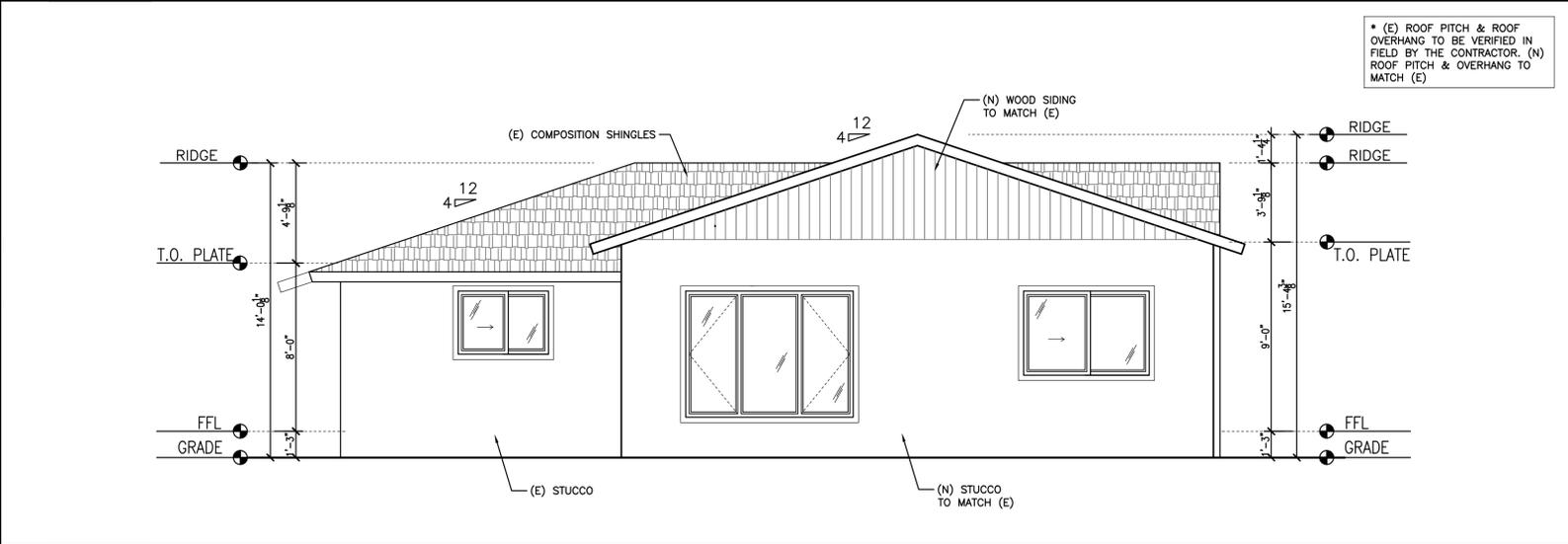
REVISIONS	DATE	BY

DATE: 12/04/18  
DRAWN BY: SANCHALI SRIVASTAVA  
SCALE: AS NOTED  
SHEET TITLE:  
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SHEET #:

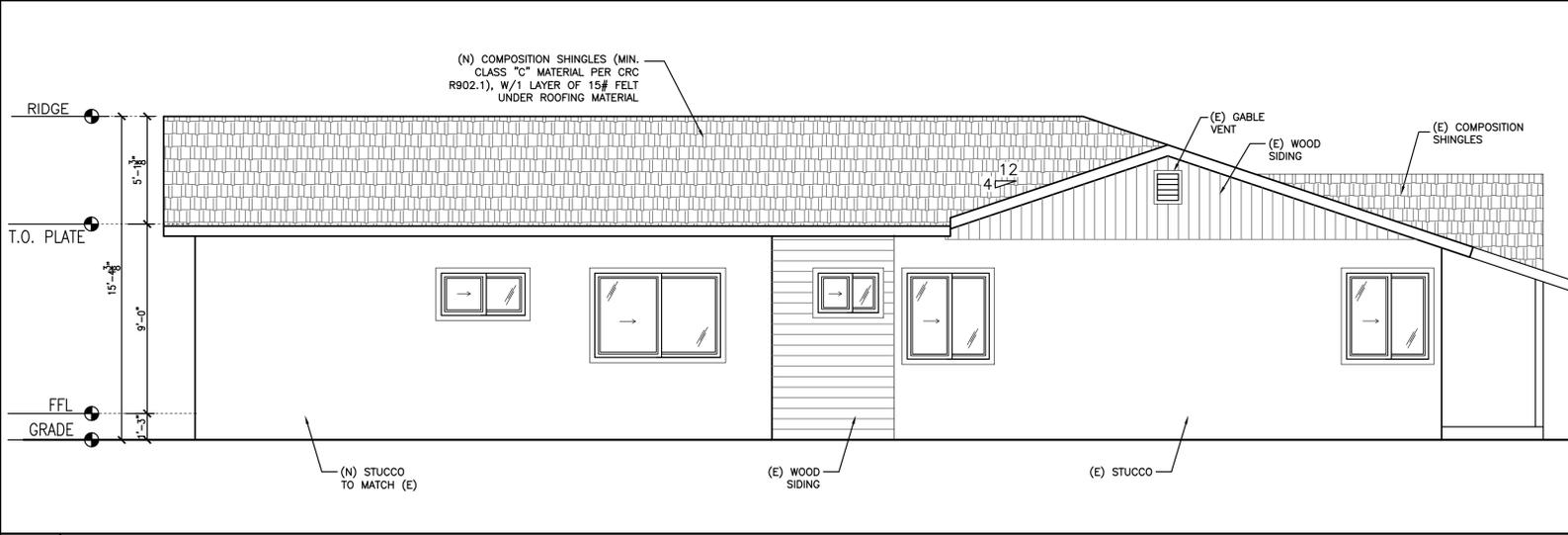
**A2.1**



3 PROPOSED RIGHT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"



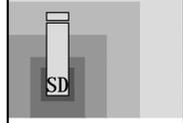
2 PROPOSED REAR ELEVATION SCALE: 1/4"=1'-0"



1 PROPOSED LEFT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"

5

4



San Interior Design  
408-705-0448  
sanchali@saninteriordesign.com  
6937 Azalea Dr.  
San Jose, CA 95120



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ADDITION / REMODEL

648 ROBIN DR.  
SANTA CLARA, CA 95050

REVISIONS	DATE	BY

DATE: 12/04/18  
DRAWN BY: SANCHALI SRIVASTAVA  
SCALE: AS NOTED

SHEET TITLE:  
PROPOSED ELEVATIONS

SHEET #:

A3.0