

### NOTES TO CONTRACTOR

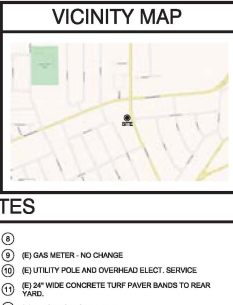
- UPGRADE EXISTING ELECTRICAL SERVICE. NEW PANEL TO BE LOCATED ON NEW GARAGE WALL. PROVIDE SUB-PANEL LOCATED ON NEW MASTER BEDRM. ADDITION OVERHEAD SERVICE FEEDS FROM POWER POLE LOCATED IN REAR YARD.
- REMOVE EXISTING GRANTY FURNACE. PROVIDE AND INSTALL NEW GAS FURNACE AND LOCATE IN ATTACHED GARAGE (SEE PLAN).
- REMOVE EXISTING WOOD WINDOWS. PROVIDE AND INSTALL NEW WHITE VINYL LOW-E DUAL GLAZED WINDOWS AT ALL EXISTING WINDOW LOCATION.
- REMOVE EXISTING ROOFING. REPAIR AND REPLACE DRY ROT AND WATER DAMAGED WOOD AS NEEDED. PROVIDE AND INSTALL NEW COMPOSITION ROOF OVER EXISTING AND NEW ROOF AREAS.
- CONTRACTOR TO VERIFY WASTE LINE INVERT AND DETERMINE IF EITHER THE STRUCTURE SHOULD MOVE CLOSER TO THE EXISTING HOME OR REQUIRE AN WASTE LINE SUMP PUMP.
- GRADING WORK WILL BE REQUIRED AT THE REAR YARD TO CREATE A LEVEL PAD. POSITIVE DRAINAGE RUN OFF, AND LEVELING OF THE SOIL WHERE PREVIOUS TREES HAD BEEN REMOVED.
- CONTRACTOR TO PROVIDE CONCRETE BAND DRIVEWAY.
- CONTRACTOR TO FACILITATE REMOVAL OF TERMITE DAMAGED WOOD PER TERMITE REPORTS RECOMMENDATIONS.

### CODES

All work shall be in accordance with the following codes:  
 2022 CBC, 2022 CGC, 2022 CMC, 2022 CPC, 2022 CEC AND 2022 CGCB ARE APPLICABLE TO THIS PROJECT.

### SCOPE OF WORK

560 SF ADDITION TO 1ST FLOOR AND 2ND FLOOR ABOVE ADDITION AREA FOR JR. ADU (403 SF), NEW ENTRY WINDY IN PRIMARY SUITE. NEW LUGGAGE ROOM UNDER STAIR.



### PROJECT DATA

Single family home:	762 Scott Blvd.	ALLOWABLE FLOOR AREA:	40% MAX = 3,793.60 SF
(E) Detached living unit and attached 2 car garage:	764 Scott Blvd.	EXISTING FLOOR AREA:	
Year Built:	1947	762 (E) 1st Floor Area:	1,637 SF
Zone:	R1-L	764 (E) Detached ADU Floor Area:	549 SF
Lot Size:	9,384 SF	764 (E) Detached Garage Floor Area:	555 SF
APN:	294-17-056	Existing Total Area:	2,741 SF
LOT COVERAGE:		PROPOSED FLOOR AREA:	
Allowable:	40% MAX = 3,793.60 SF	762 & 764 Existing Total Area:	2,741 SF
(E) Total Area:	2,792 SF	762 (E) 1st Floor Addition Area:	560 SF
(N) Total Area:	2,792 SF	762 (N) 2nd Floor Area:	403 SF
(E) Coverage:	2,192 / 9,384 = 23%	Total Combined Area:	3,704 SF
(N) Lot Coverage:	2,792 / 9,384 = 29%	Total Floor Area Added:	963 SF
(E) & (N) Common Living Area:	0%		
2nd Flr. (403SF) 1st Flr. (2,137SF) %:	19%		

EXISTING: 3 BEDROOMS / 2 BATHROOMS  
 PROPOSED: 4 BEDROOMS / 2 BATHROOMS / 1 BEDROOM JR. ADU

### GENERAL NOTES

- THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED CALIFORNIA BUILDING CODE AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES.
- THE PLANS INDICATE THE GENERAL EXTENT OF CONSTRUCTION NECESSARY FOR THE WORK, BUT NOT INTENDED TO BE ALL INCLUSIVE. ALL WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS, DESIGN, ORDINANCES OR CONFLICTS WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES, THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR CONFLICTS IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSION AND SITE CONDITIONS. EACH SUB-CONTRACTOR SHALL INSPECT AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY SEEN BY INSPECTION.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR CATEGORY OF ANY PORTION OF THE BUILDING AFFECTED BY THE WORK.
- PROTECT ALL FINISHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN NOT WHEN THEY ARE ANTICIPATED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS IN OR OUTSIDE THE JOB.

### KEY NOTES

- CLASS 8 MIN. ROOFING MATERIAL. NEW COMPOSITION ASPHALT SHINGLE MATERIAL AND UNDERLAYMENT WEIGHT NOT TO EXCEED 5 LB/FT<sup>2</sup> WEIGHT EXCESS IS BARS. CONTRACTOR TO MEET COOL ROOF REQUIREMENTS FOR LOW RISE RESIDENTIAL BUILDINGS (2008 I.E.S. SECTION 1510.12.2.A)
- NEW GUTTER AND DOWNSPOUTS, DIRECT ALL WATER AWAY FROM BUILDING.
- 5% LOT DRAINAGE AWAY FROM BUILDING FOR A MIN. OF 10'. IF PHYSICAL OBSTRUCTIONS ON LOT LINES PROHIBIT 10' DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATE METHOD. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MIN. OF 2%.
- (E) 200 AMP ELECTRICAL MAIN PANEL ON DETACHED GARAGE.
- ROOF VENTS PER VENTILATION CALCULATION. REFER TO SHEET A-1, DISTRIBUTE EQUALLY.
- (E) GAS METER - NO CHANGE
- (E) UTILITY POLE AND OVERHEAD ELECT. SERVICE
- (E) 2" WIDE CONCRETE TURF PAVER BANDS TO REAR YARD.
- (E) ELECTRICAL SUB-PANEL.
- CONTRACTOR TO ENSURE THAT NO EAVES OR RAKE PROJECTIONS ARE IN THE 8 FOOT SETBACK AREA.
- ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH NEW VINYL WINDOWS.
- (E) CONCRETE TURF PAVERS AT PARKING SPACE
- EXISTING ROOF AREA TO BE REFERRED TO FLOOR PLAN FOR WALL LOCATION.
- EXISTING WATER METER.
- (E) CURB CUT W/ CITY STD. CURB, GUTTER, & SIDEWALK.

### IRRIGATION CONTROLLERS:

AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

- CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT'S NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

### SHEET INDEX

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A401	PROPOSED ELEVATIONS



### CONTACT LIST

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OWNER: SEAN MCCLAIN BROWN, 762 SCOTT BLVD., SANTA CLARA, CA, 95050, seansmclainbrown@gmail.com, 415-577-1510

ENERGY CONSULTANT: MICHAEL KUNZ, TITLE-24 EXPRESS, P.O. Box 587, Blue Lake, CA, 95555, service@title24express.com, 888-828-9488

WORKING HOURS (8-6 M-F, 9-4 SAT, NO WORK ON SUNDAYS OR HOLIDAYS).

### CITY NOTES

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE, PER CRC R105.3.2.
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO 18 MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF 1 YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE, PER CRC R105.5.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND 2022 CALIFORNIA ENERGY CODE.

### STORMWATER DRAINAGE PLAN

EROSION CONTROL (KEEPING THE DIRT IN PLACE) MINIMIZING THE IMPACT OF CONSTRUCTION.

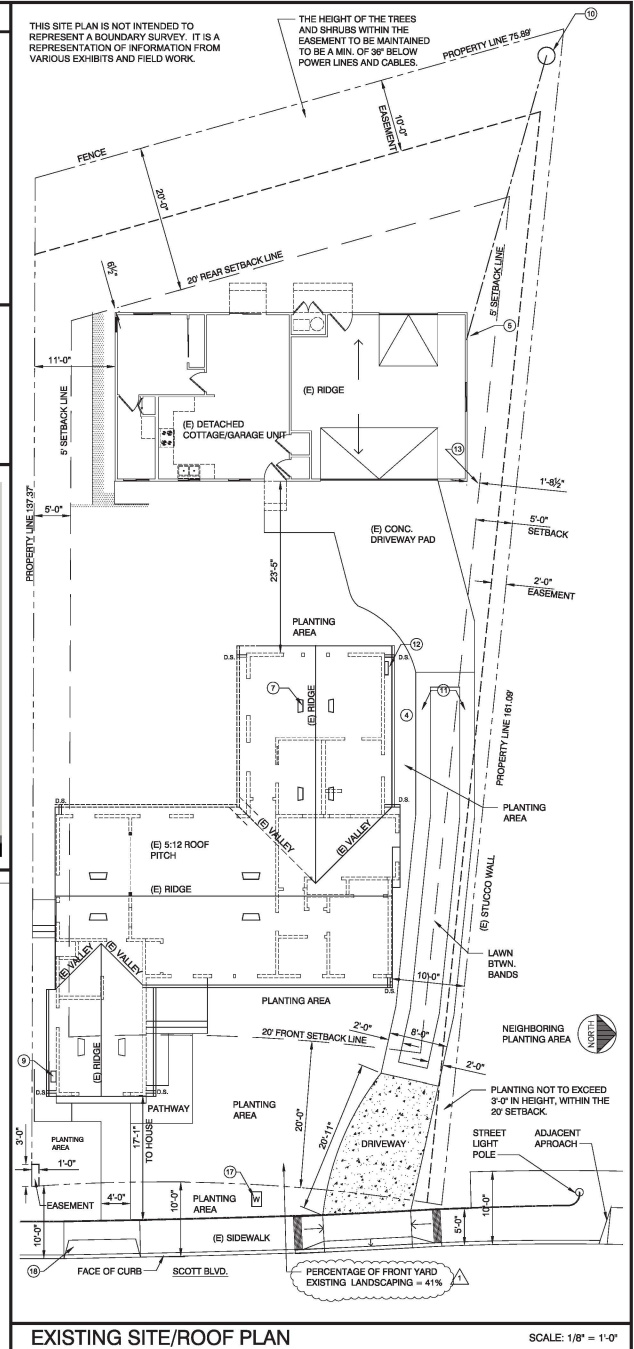
- MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL.
- PHASE CONSTRUCTION ACTIVITY.
- CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT.
- STABILIZE SOILS PROMPTLY.

SEDIMENT CONTROLS (THE 2ND LINE OF DEFENSE)

- PROTECT STORM DRAIN INLETS.
- ESTABLISH PERIMETER CONTROLS.
- RETAIN SEDIMENT ON-SITE AND CONTROL DOWNSLOPING PRACTICES.
- ESTABLISH STABILIZED CONSTRUCTION EDITS.
- INSPECT AND MAINTAIN CONTROLS.

Figure 11. Illustration of a silt trap inlet with rock filter bag trapping sediment.

6X6 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS



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MODIFICATIONS TO THE HOME OF:  
**SEAN MCCLAIN BROWN**  
 762 SCOTT BLVD., SANTA CLARA, CA

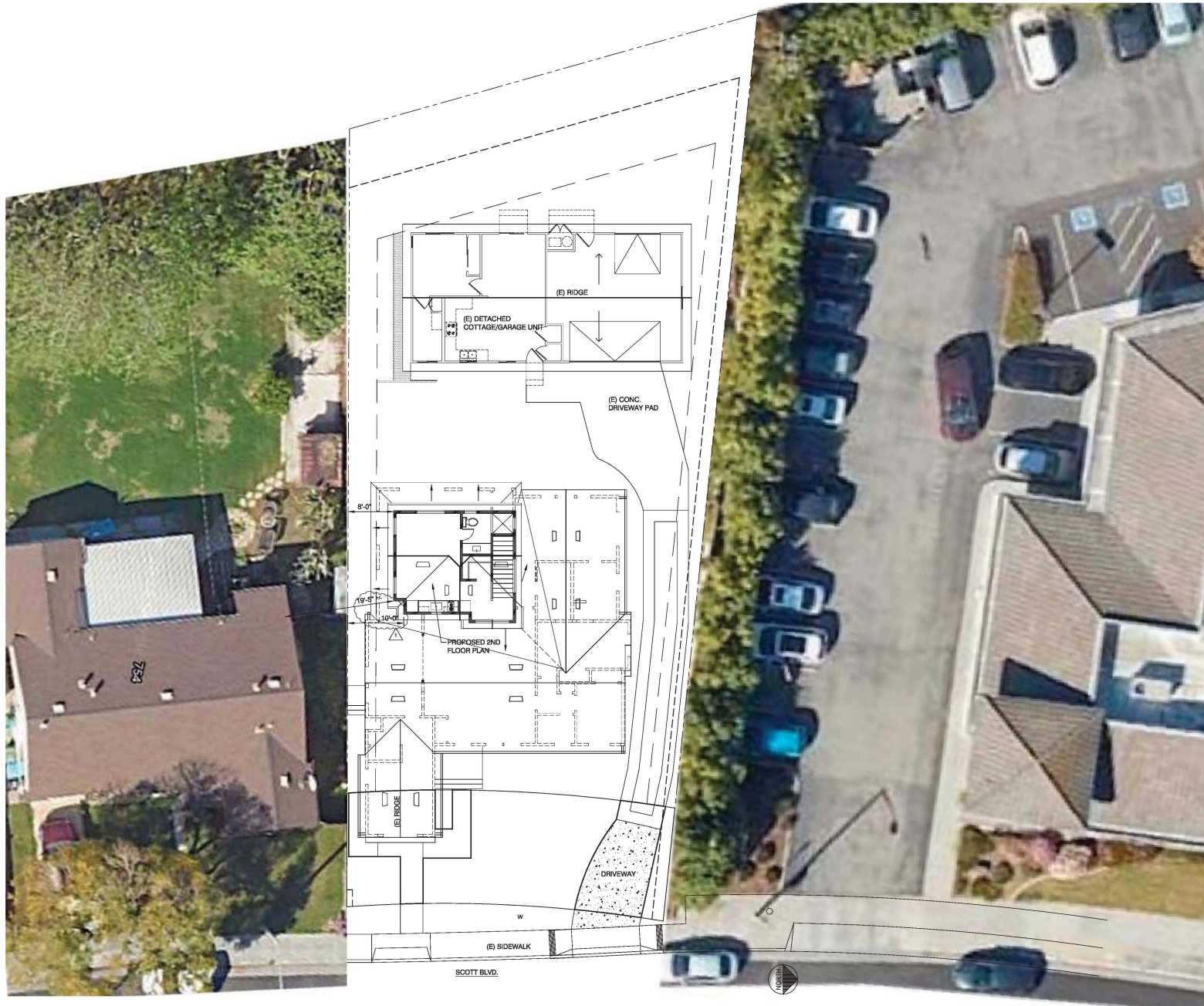
SITE / ROOF PLAN  
 NOTES TO CONTRACTOR  
 EXISTING DEMO. FLOOR PLAN  
 PROJECT DATA  
 VICINITY MAP

JOB NO. 762 - 24  
 DRAWN BY LEOPOLD  
 DATE: SEPT. 10, 2024

REVISIONS  
 PLANNING DEPT. 101424

SHEET NO. **A0.00**

THIS SITE PLAN IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY. IT IS A REPRESENTATION OF INFORMATION FROM VARIOUS EXHIBITS AND FIELD WORK.



NEIGHBORHOOD PLAN

SCALE: 1/8" = 1'-0"

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NEIGHBOR PLAN

JOB NO. 762 - 24 DRAWN BY LEOPOLD

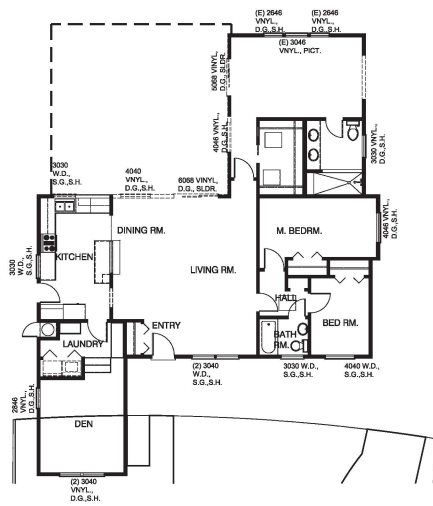
DATE: SEPT. 10, 2024

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 △ PLANNING DEPT. 101424

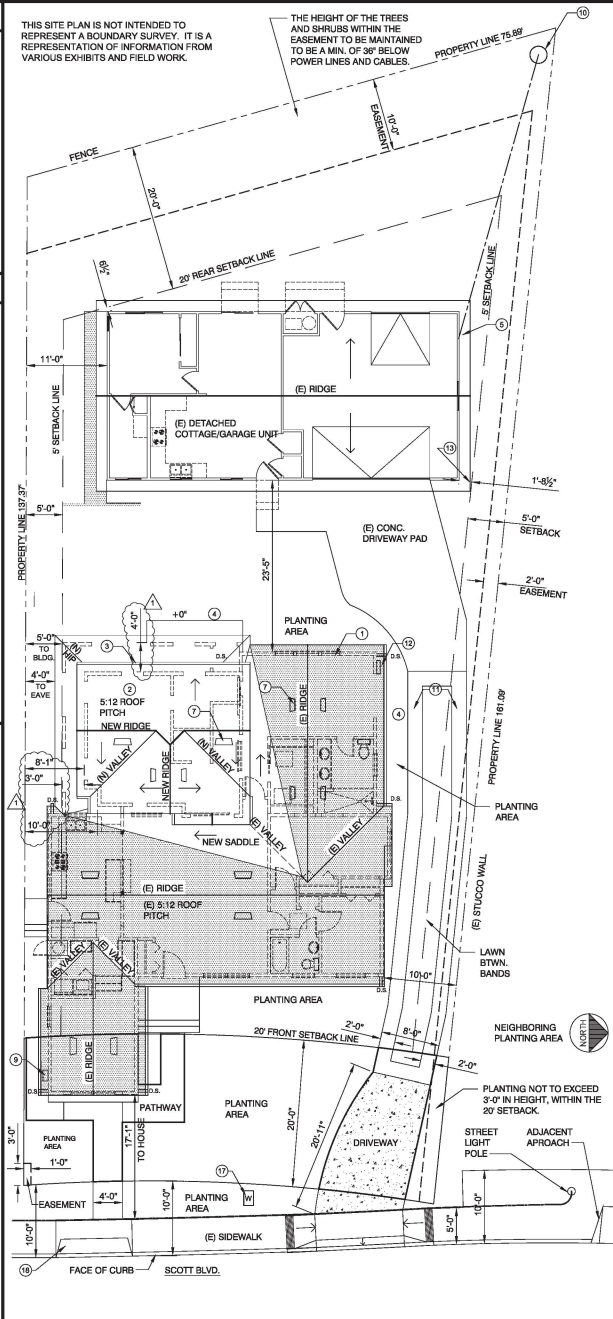
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### KEY NOTES

- |   |   |
|---|---|
| 1 HATCHED AREA INDICATES EXISTING ROOF STRUCTURE.<br>(E) COMPOSITION SHINGLE ROOFING OVER ENTIRE ROOF.  | 8 (E) GAS METER - NO CHANGE   |
| 2 CLASS B MIN. ROOFING MATERIAL, NEW COMPOSITION ASPHALT SHINGLE MATERIAL AND UNDERLAYMENT WEIGHT NOT TO EXCEED 5 PSF IF WEIGHT EXCEEDS 5 PSF CONTRACTOR TO MEET COOL ROOF REQUIREMENTS FOR LOW RISE RESIDENTIAL BUILDINGS (2008 I.E.S. SECTION 1510.12.4.) | 9 (E) UTILITY POLE AND OVERHEAD ELECT. SERVICE  |
| 3 NEW GUTTER AND DOWNSPOUTS, DIRECT ALL WATER AWAY FROM BUILDING.   | 10 (E) 24" WIDE CONCRETE TURF PAVES BANDS TO REAR YARD.                                   |
| 4 5% LOT DRAINAGE AWAY FROM BUILDING FOR A MIN. OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' DISTANCE, A 1% SLORE SHALL BE PROVIDED TO AN APPROVED ALTERNATE METHOD. SWALES USED FOR THIS PURPOSE SHALL BE SLORED A MIN. OF 2%.               | 11 (E) ELECTRICAL, SUB-PANEL  |
| 5 (E) 200 AMP ELECTRICAL MAIN PANEL ON DETACHED GARAGE.   | 12 CONTRACTOR TO ENSURE THAT NO EAVES OR RAKE PROJECTIONS ARE IN THE 5 FOOT SETBACK AREA. |
| 6   | 13 ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH NEW VINYL WINDOWS.                |
| 7 ROOF VENTS PER VENTILATION CALCULATION, REFER TO SHEET A-1, DISTRIBUTE EQUALLY.   | 14 (E) CONCRETE TURF PAVES AT PARKING SPACE   |
|   | 15 EXISTING ROOF AREA TO BE REMOVED, REFER TO FLOOR PLAN FOR WALL LOCATION.               |
|   | 16 EXISTING WATER METER   |
|   | 17 (E) CURB CUT W/ CITY STD. CURB, GUTTER, & SIDEWALK                                     |
|   | 18  |



EXISTING / DEMO. FLOOR PLAN SCALE: 1/8" = 1'-0"



PROPOSED SITE/ROOF PLAN SCALE: 1/8" = 1'-0"

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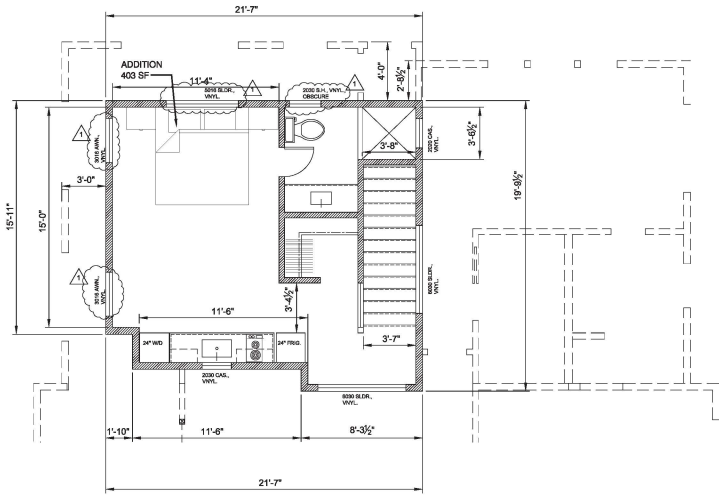
SITE / ROOF PLAN  
 NOTES  
 EXISTING DEMO. FLOOR PLAN

JOB NO. 762 - 24 DRAWN BY LEOPOLD  
 DATE: SEPT. 10, 2024

REVISIONS  
 PLANNING DEPT. 10/14/24

SHEET NO. **A1.00**

3x3 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS



PROPOSED 2ND FLOOR PLAN

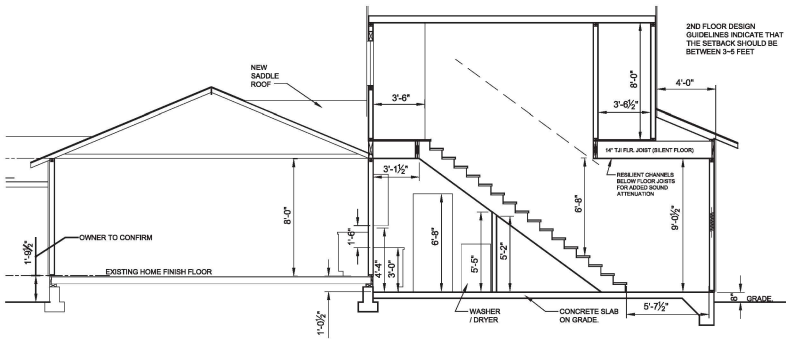
SCALE: 1/4" = 1'-0"

**KEY NOTES**

- ① WATER CLOSETS TO HAVE A MIN. CLEAR STALL SPACES OF 30" AND A MINIMUM CLEAR SPACE OF 54" IN FRONT AND 1.28 BALLONS PER FLUSH MAX.
- ② NO MELANINE SHELF IN CLEATS & MTL. POLE
- ③ MIN. RESEY PRESSURE ADSORBING DEVICES WILL BE LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURE RESULTING FROM THE QUICK CLOSING OF QUICK ACTING VALVES.
- ④ TEMPERED GLASS SHOWER DOOR, DOOR SHALL NOT OPEN INTO THE SHOWER AND BE A MIN. 22" WIDE, GLASS COLOR AND FASTENERS TO BE DECIDED BY OWNER.
- ⑤ SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- ⑥ CLOSET APPROVED LIGHT FIXTURE
- ⑦ 2" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 20" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA
- ⑧ SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1008 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE.
- ⑨ PROVIDE EXHAUST FANS IN ALL BATHROOMS CONTAINING BATHTUBS & SHOWERS.
- ⑩ 4x10 DF. NO. 2 BEAM WITH NEW POSTS AT EACH END.
- ⑪ ALL NEW HARDWIRED LIGHTING IN THE REMODELED PORTION MUST BE HIGH EFFICACY WITH THE FOLLOWING EXCEPTIONS:  
1. ALTERNATE OPTION IN ALL BATHROOMS: MANUAL-ON OCCUPANCY SENSOR.
- ⑫ IN BATHROOMS ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 3' OF EACH SINK.
- ⑬ LIGHTS OVER TUB AND SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION.  
PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER RESISTANT GYP. BACKING BD. SHALL NOT BE USED OVER A WAPOR RETARDER IN SHOWER OR BATH TUB COMPARTMENTS. CRC R307.2
- ⑭ 2x6 STUD FRAMED PLUMBING WALL.
- ⑮ 28"24" MIN. UNDER-FLR. ACCESS. DBL. FRMG. AT FLR. OPENING
- ⑯ CONTRACTOR TO COORDINATE PLACEMENT OF TV CABLE AND DATA WIRING WITH OWNER PRIOR TO INSULATION AND GYPSUM BOARD INSTALL.
- ⑰ (R) HIGH EFFICIENCY FORCED AIR UNIT TO BE LOCATED IN ATTIC. PROVIDE REED. 30"x40" CLEARANCES PER MECH. CODE.

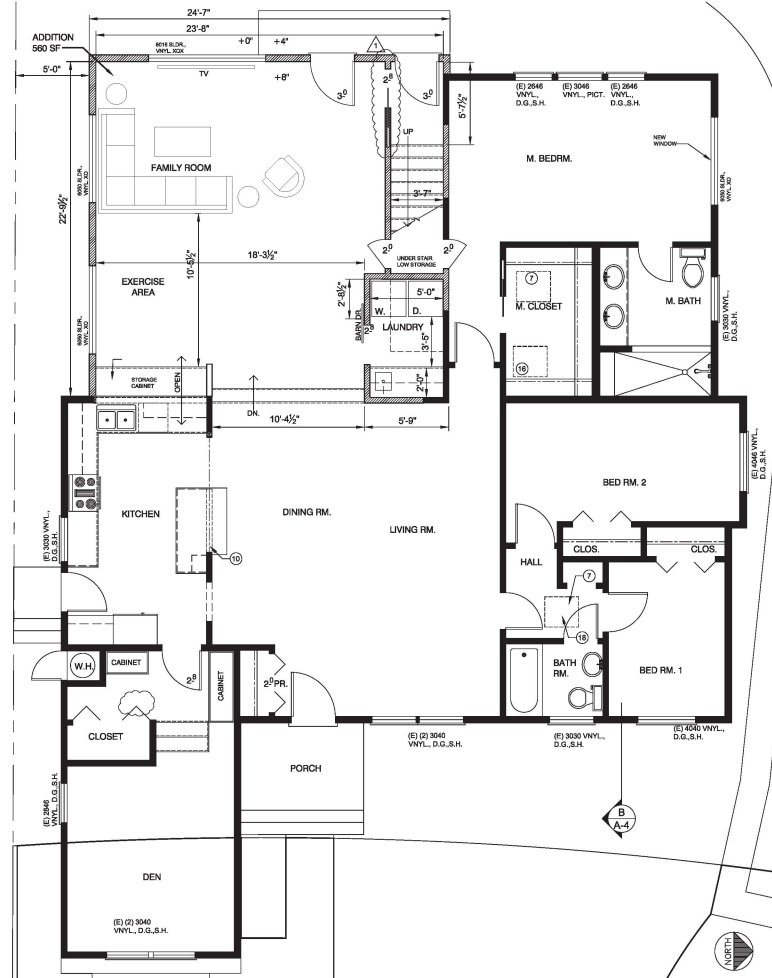
**WALL LEGEND**

- WALLS TO BE REMOVED
- ▭ EXISTING 2x WOOD FRAMED WALLS
- ▭ NEW 2x4 STUD WALLS AT 16" O.C.
- ▭ NEW 2x6 STUD WALLS AT 16" O.C.



PROPOSED SECTION - A

SCALE: 1/4" = 1'-0"



PROPOSED CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"



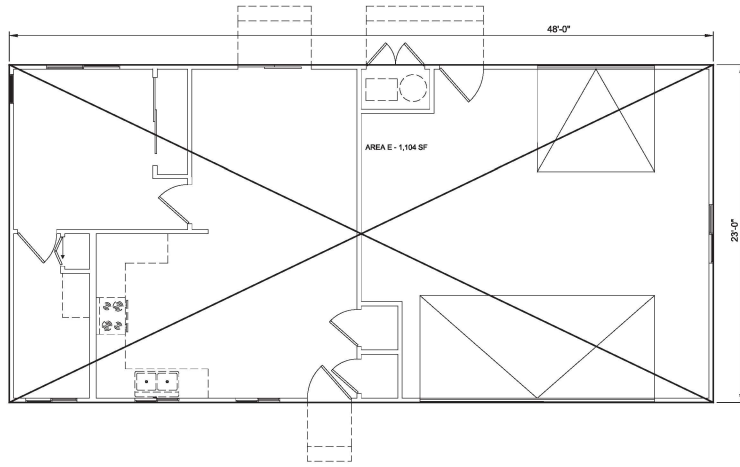
MODIFICATIONS TO THE HOME OF:  
**SEAN MCCLAIN BROWN**  
 762 SCOTT BLVD., SANTA CLARA, CA

CONSTRUCTION PLAN  
 SYMBOL LEGEND  
 KEY NOTES

JOB NO. 762 - 24 DRAWN BY LEOPOLD  
 DATE: SEPT. 10, 2024

REVISIONS  
 PLANNING DEPT. 10/14/24

SHEET NO. **A2.00**  
 3x3 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS



EXISTING GARAGE AND ADU AREA LINE DIAGRAM

Existing Areas (Garage & House)

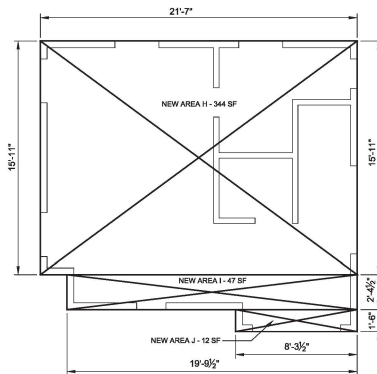
A	196
B	1,019
C	9
D	413
E	1,104
<b>TOTAL</b>	<b>2,741</b>

Addition Areas

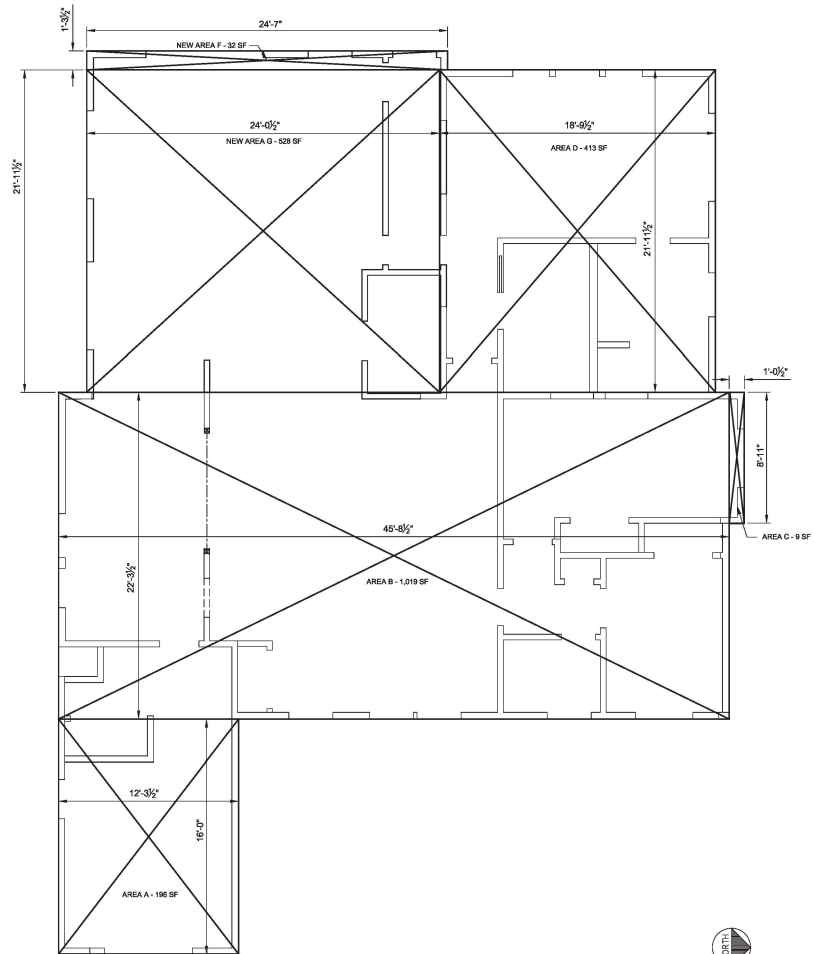
F	32
G	528
H	344
I	47
J	12
<b>TOTAL</b>	<b>963</b>

Combined Areas

Existing	2,741
Addition	963
<b>TOTAL</b>	<b>3,704</b>



PROPOSED 2ND FLOOR JR. ADU LINE DIAGRAM



PROPOSED 1ST FLOOR AREA LINE DIAGRAM

SCALE: 1/4" = 1'-0"



MODIFICATIONS TO THE HOME OF:  
**SEAN MCCLAIN BROWN**  
 762 SCOTT BLVD., SANTA CLARA, CA

AREA LINE DIAGRAMS

JOB NO. 762 - 24 DRAWN BY LEOPOLD  
 DATE: SEPT. 10, 2024

REVISIONS

SHEET NO. **A3.00**

343 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS





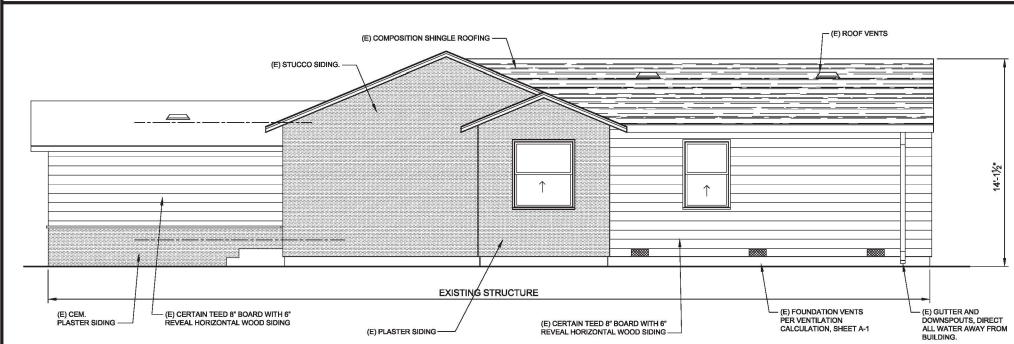
MODIFICATIONS TO THE HOME OF:  
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 762 SCOTT BLVD., SANTA CLARA, CA

EXISTING ELEVATIONS

JOB NO. 762 - 24  
 DRAWN BY LEOPOLD  
 DATE: SEPT. 10, 2024

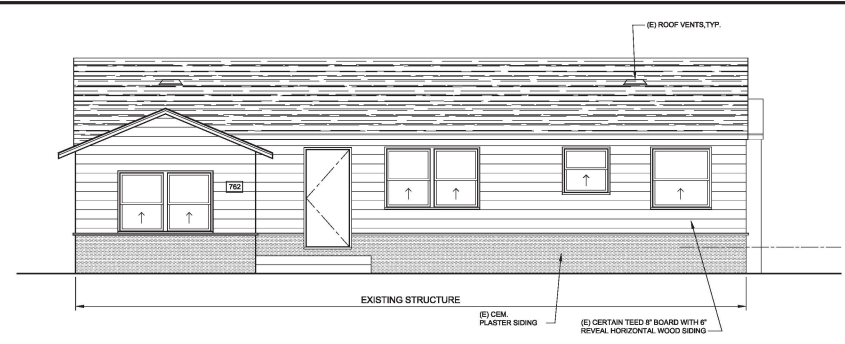
REVISIONS

SHEET NO.  
**A4.00**  
 3/3 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS



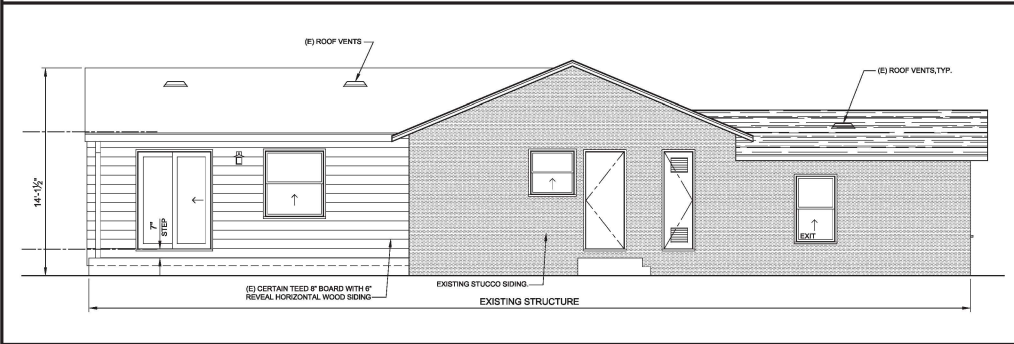
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



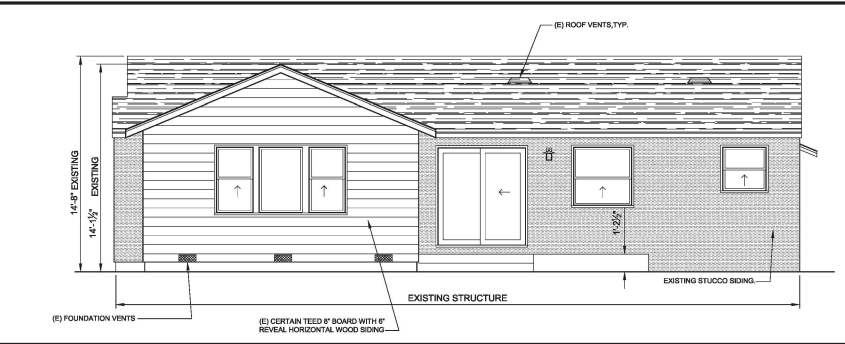
EXISTING EAST (STREET) ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

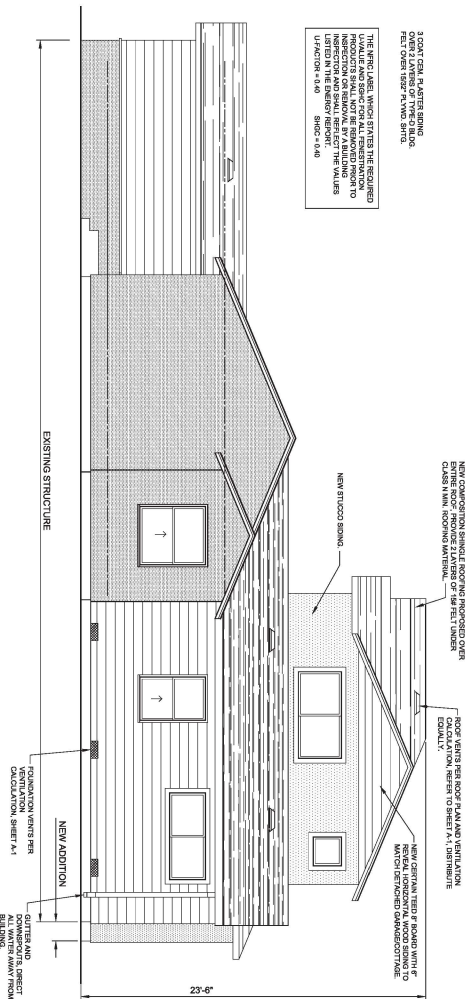
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EXISTING WEST ELEVATION

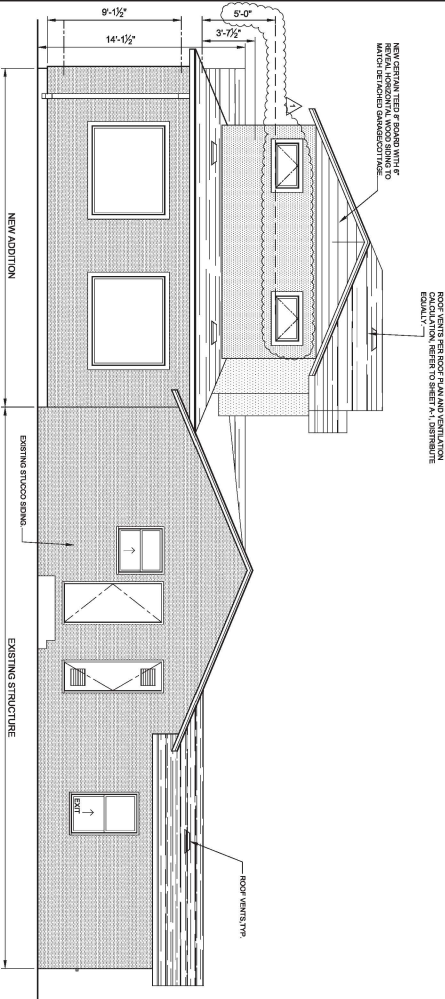
SCALE: 1/4" = 1'-0"

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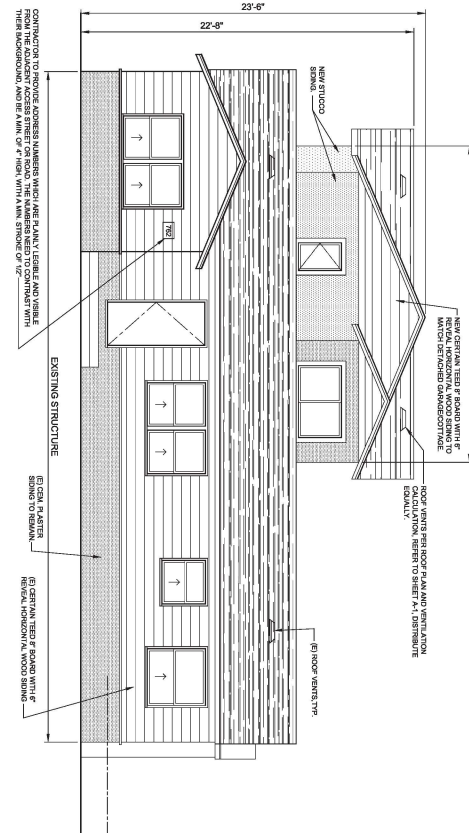
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



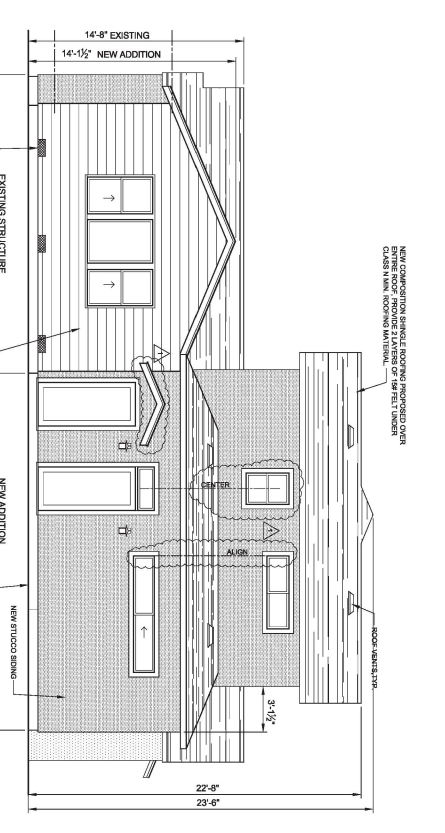
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

