

# ADDITION & REMODEL OF EXISTING HOUSE

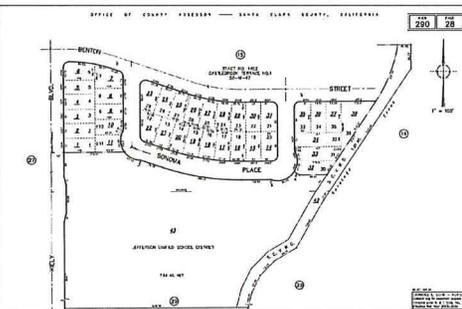
2683, SONOMA PLACE, SANTA CLARA CA - 95050  
APN - 290-28-016

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

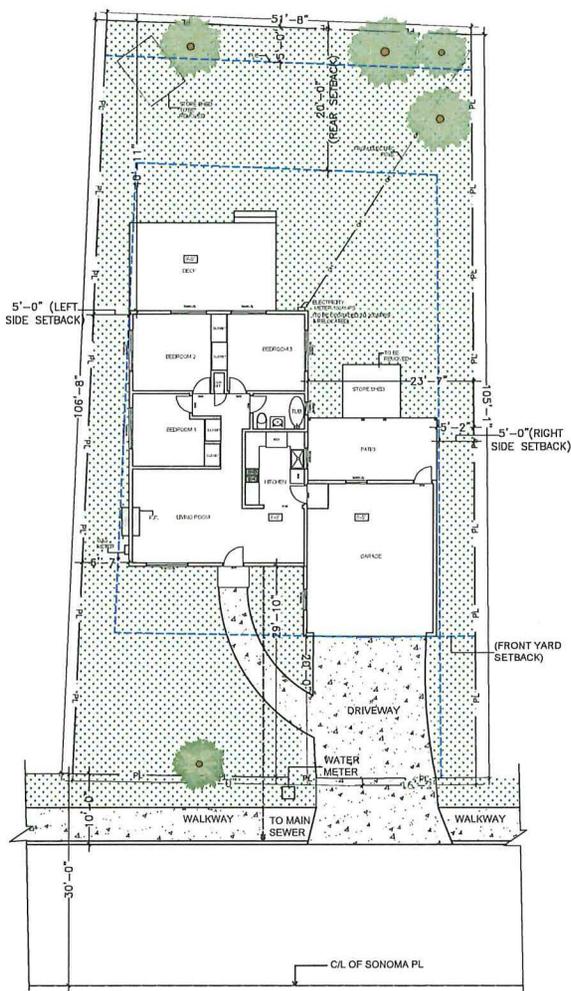
SCOPE OF WORK	PROJECT INFORMATION	VICINITY MAP																																								
1. ADDITION OF 902SQFT TO THE EXISTING HOUSE. 2. REMODELING OF EXISTING HOUSE WITH: (a) RELOCATION OF WALLS. (b) RAISING THE HEIGHT OF EXTERIOR WALLS & CEILING HEIGHT FROM 8'-0" TO 10'-0". (c) RELOCATION & REMODELING OF KITCHEN. (d) RELOCATION & REMODELING OF BATHROOMS. (e) ADDITION OF A PORCH OVER MAIN ENTRY OF THE HOUSE.	APN : 290-28-016 ZONING : R1-6L BEDROOMS : EXISTING - 3; PROPOSED - 4 BATH : EXISTING - 1; PROPOSED - 3 STORIES : 1 CONSTRUCTION TYPE : V-B (NON-SPRINKLERED) PARKING : 2 CAR PORT OCCUPANCY : SINGLE FAMILY RESIDENTIAL WITH ATTACHED GARAGE FLOOD ZONE : X PV SYSTEM(SOLAR) : 3.12 KWdc																																									
DRAWING INDEX	APPLICABLE CODES	APN MAP																																								
A0 - COVER SHEET A1 - EXISTING AND PROPOSED SITE PLAN A2 - EXISTING/DEMOLITION FIRST FLOOR PLANS A3 - PROPOSED FIRST FLOOR PLANS A3.1 - EXISTING/PROPOSED AREA STATEMENT A4 - EXISTING ROOFING PLAN A5 - PROPOSED ROOFING PLAN A6 - EXISTING ELEVATIONS A7 - PROPOSED ELEVATIONS A8 - MATERIAL SHEET A9 - IAQ VENTILATION FAN DETAILS A10.1 - RESIDENTIAL CAL GREEN MEASURES A10.2 - RESIDENTIAL CAL GREEN MEASURES CB - CLEAN BAY BLUE PRINT CBMP - CONSTRUCTION BEST MANAGEMENT PRACTICES E1 - PROPOSED FIRST FLOOR ELECTRICAL & LIGHTING PLAN S1 - STRUCTURAL NOTES & DETAILS S1.1 - TYPICAL STRUCTURAL DETAILS S2 - STRUCTURAL NOTES AND DETAILS S3 - PROPOSED FOUNDATION PLAN & DETAILS S4 - PROPOSED ROOFING/CEILING FRAMING PLAN C1 - CONSTRUCTION MANAGEMENT & EROSION CONTROL PLAN C2 - EROSION CONTROL PLAN T24-1 - ENERGY CALCULATIONS - 1 T24-2 - ENERGY CALCULATIONS - 2	2022 California Building Code 2022 California Residential Code 2022 California Electrical Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Green Building Standards Code 2022 California Fire Code 2022 California Energy Code All applicable local, county & Federal codes, Laws and regulations																																									
PROJECT DATA	GENERAL NOTES	APPROVAL STAMP																																								
LOT AREA = 5663SQFT MAX FLOOR AREA ALLOWED = 40% OF 5663 = 2265SQFT  <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>EXISTING</th> <th>PROPOSED</th> <th>ADDITION/ REDUCTION</th> </tr> </thead> <tbody> <tr> <td>LIVING AREA</td> <td>924SQFT</td> <td>1826SQFT</td> <td>+902SQFT</td> </tr> <tr> <td>GARAGE</td> <td>402SQFT</td> <td>402SQFT</td> <td>-</td> </tr> <tr> <td>TOTAL FLOOR AREA</td> <td>1326SQFT</td> <td>2228SQFT</td> <td>+902SQFT</td> </tr> <tr> <td>STORE SHED</td> <td>62SQFT</td> <td>-</td> <td>(-)62SQFT</td> </tr> <tr> <td>PORCH</td> <td>-</td> <td>33SQFT</td> <td>+37SQFT</td> </tr> <tr> <td>DECK</td> <td>258SQFT</td> <td>231SQFT</td> <td>(-)27SQFT</td> </tr> <tr> <td>TOTAL COVERED AREA</td> <td>1326SQFT</td> <td>2261SQFT</td> <td>+935SQFT</td> </tr> <tr> <td>BUILDING COVERAGE FAR</td> <td>23.4%</td> <td>39.9%</td> <td>&lt;40%</td> </tr> <tr> <td>FAR</td> <td>23.4%</td> <td>39.9%</td> <td>&lt;40%</td> </tr> </tbody> </table>		EXISTING	PROPOSED	ADDITION/ REDUCTION	LIVING AREA	924SQFT	1826SQFT	+902SQFT	GARAGE	402SQFT	402SQFT	-	TOTAL FLOOR AREA	1326SQFT	2228SQFT	+902SQFT	STORE SHED	62SQFT	-	(-)62SQFT	PORCH	-	33SQFT	+37SQFT	DECK	258SQFT	231SQFT	(-)27SQFT	TOTAL COVERED AREA	1326SQFT	2261SQFT	+935SQFT	BUILDING COVERAGE FAR	23.4%	39.9%	<40%	FAR	23.4%	39.9%	<40%	<p><small>- ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIVES OF THE FOLLOWING 2022 CALIFORNIA RESIDENTIAL AND BUILDING CODE (CBC, CBC), CALIFORNIA ELECTRICAL CODE 2022, CALIFORNIA ENERGY CODE 2022, AND 2022 CALIFORNIA GREEN BUILDING CODE.</small></p> <p><small>- THE CONTRACTOR SHALL ERRECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESSSES OF THE WORK, ALL THE REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.</small></p> <p><small>- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.</small></p> <p><small>- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.</small></p> <p><small>CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:</small></p> <ol style="list-style-type: none"> <li>CABINET CHANGES UNLESS NOT SUPPORTED ENTIRELY BY ROOF STRUCTURE.</li> <li>INTERIOR DOOR AND ZERO CLEARANCE FIREPLACE RELOCATION(S) SHOWN ON THE APPROVE PLANS</li> <li>A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM AND</li> <li>INTERIOR NON-STRUCTURAL WALL FINISHES.</li> </ol> <p><small>SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.</small></p> <p><small>CAL GREEN NOTES:</small></p> <ol style="list-style-type: none"> <li>PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6gpm WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.2gpm. SHOWER HEADS WITH A FLOW GREATER THAN 2.5gpm WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 gpm @80 psi SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 gpm WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 gpm @80 psi OR 1.8 gpm @80 psi FOR KITCHEN FAUCETS.</li> <li>THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (SPACE RESERVED FOR EV CHARGING PURPOSES IN ACCORDANCE WITH THE NEC (NFPA 70E)).</li> </ol>	
	EXISTING	PROPOSED	ADDITION/ REDUCTION																																							
LIVING AREA	924SQFT	1826SQFT	+902SQFT																																							
GARAGE	402SQFT	402SQFT	-																																							
TOTAL FLOOR AREA	1326SQFT	2228SQFT	+902SQFT																																							
STORE SHED	62SQFT	-	(-)62SQFT																																							
PORCH	-	33SQFT	+37SQFT																																							
DECK	258SQFT	231SQFT	(-)27SQFT																																							
TOTAL COVERED AREA	1326SQFT	2261SQFT	+935SQFT																																							
BUILDING COVERAGE FAR	23.4%	39.9%	<40%																																							
FAR	23.4%	39.9%	<40%																																							

REVISIONS	DESCRIPTION
	DATE
NUMBER	DATE

**PROJECT :**  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA - 95051

**SHEET TITLE:-**  
COVER SHEET

DATE 10/05/2023
SCALE AS SHOWN ON PLANS
SHEET A0



**EXISTING SITE PLAN**  
SCALE 1/8" = 1'

**NOTES:-**  
PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP

**SITE DRAINAGE & GRADING NOTES**

1. SPLASH BLOCK TO BE PLACED BELOW EACH DOWN SPOUT.
2. THE SITE SHOULD BE FINE GRADED TO PROVIDE MIN. 5% SLOPE AWAY FROM BUILDING PERIMETER & ADJACENT PROPERTY LINES, IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
3. DRAINED WATER TO BE DIRECTED TO THE LANDSCAPED AREA AT A SLOPE OF 2%.

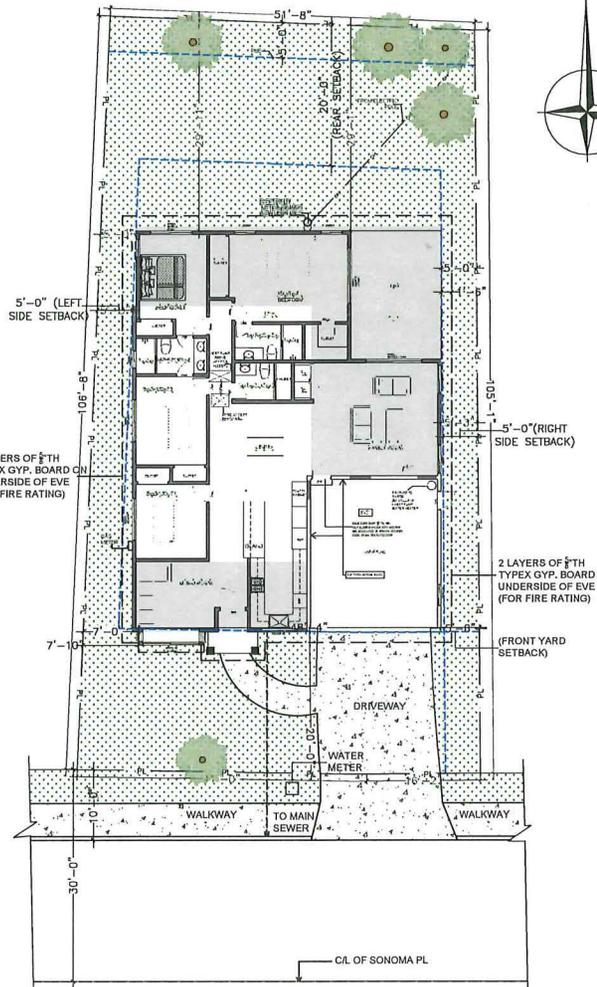
**RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6**

**R311.3 FLOORS AND LANDING AT EXTERIOR DOORS:**  
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY EACH WIDTH OF LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/2 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2PERCENT)

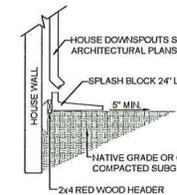
**R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS:**  
LANDING OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

**LEGEND**

- PROPERTY LINE
- SET BACK
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADDITION
- CONCRETE (IMPERVIOUS)
- GRASS
- WOODCHIPS
- PERMEABLE PAVER BLOCKS
- PEBBLE STONE (PERVIOUS)



**PROPOSED SITE PLAN**  
SCALE 1/8" = 1'



**SPLASH BLOCK DETAIL**  
ITS

**NOTE:** SPLASH BLOCKS TO BE INSTALLED AT ALL DOWNSPOUTS, TO ENSURE ROOF WATER IS DIRECTED AWAY FROM THE FOUNDATION. ANY EXISTING DOWNSPOUTS THAT CONNECT DIRECTLY TO THE STORM DRAIN SYSTEM SHALL BE DISCONNECTED AND DIRECTED TOWARDS LANDSCAPED AREAS.

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS	DESCRIPTION	
	NUMBER	DATE

**PROJECT :**  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

**SHEET TITLE:-**  
EXISTING  
& PROPOSED  
SITE PLANS

**DATE**  
10/05/2023

**SCALE**  
AS SHOWN ON PLANS

**SHEET**  
A1

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

**REVISIONS**

NUMBER	DATE	DESCRIPTION

**PROJECT :**

ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

**SHEET  
TITLE:-**

EXISTING/  
DEMOLITION  
FIRST FLOOR  
PLAN

**DATE**

10/05/2023

**SCALE**

AS SHOWN ON PLANS

**SHEET**

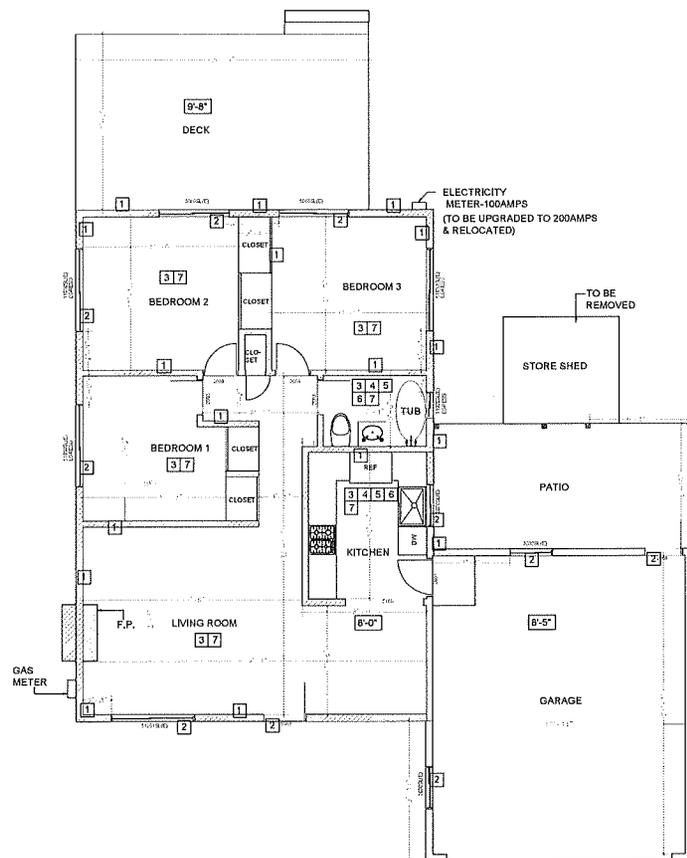
A2

**SYMBOLS**

- EXISTING WALL
- - - EXISTING WALL TO BE REMOVED
- ▬ NEW WALL

**LEGEND**

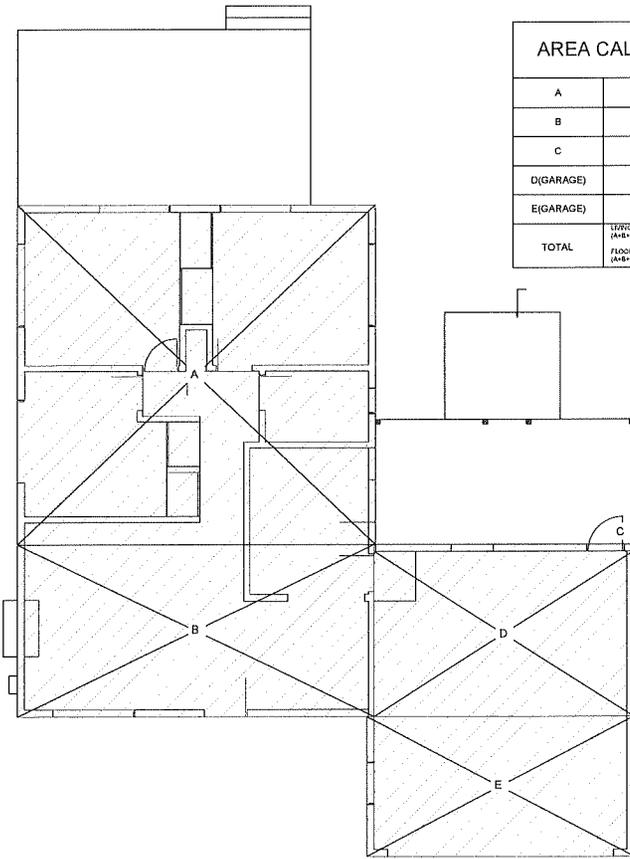
- 1 EXISTING WALL TO BE REMOVED
- 2 EXISTING DOOR/WINDOW TO BE REMOVED
- 3 EXISTING LIGHT FIXTURES TO BE REMOVED
- 4 EXISTING PLUMBING FIXTURES TO BE REMOVED
- 5 EXISTING APPLIANCES TO BE REMOVED
- 6 EXISTING CABINERY TO BE REMOVED
- 7 EXISTING FLOORING TO BE REMOVED
- 1 NEW LIGHT FIXTURES
- 2 NEW PLUMBING FIXTURES
- 3 TILE ON WALLS TO EXTEND TO THE CEILING AT SHOWER
- 4 NEW TILE FLOORING
- 5 NEW VANITY
- 6 SHOWER
- 7 NEW FAUCET, AERATOR, SOAP DISPENSER
- 8 NEW DOUBLE BOWL SINK W/ GARBAGE DISPOSAL
- 9 NEW REFRIGERATOR, PLUMB FOR ICE-MAKER
- 10 NEW GAS RANGE WITH HOOD
- 11 NEW DISHWASHER
- 12 NEW CABINERY AND COUNTERTOP
- 13 BACKSPLASH FROM COUNTERTOP TO CABINET (IN HOOD AREA UP TO CEILING)
- 14 NEW RECEPTACLES
- 15 NEW BATH TUB
- 16 NEW WOOD FLOORING
- 17 PLUMB FOR WASHER



**EXISTING/DEMOLITION  
FIRST FLOOR PLAN**

SCALE 1/4" = 1'

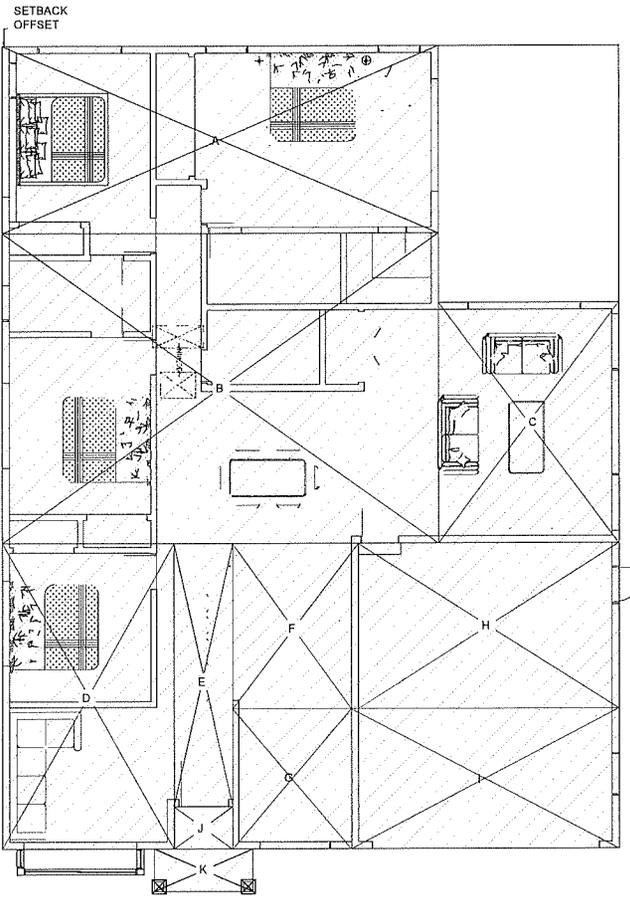




AREA CALCULATIONS	
A	25'-4"X24'-60"= 608SQFT
B	12'-2"X25'-3"= 307SQFT
C	6"X18'-5"= 99SQFT
D(GARAGE)	18'-5"X12'-2"= 215SQFT
E(GARAGE)	18'-11"X9'-11"= 187SQFT
TOTAL	<small>UPPER AREA (FIRST FLOOR)</small> <small>FLOOR AREA (A+B+C)= 624SQFT</small> <small>FLOOR AREA (A+B+C+D+E)=1122SQFT</small>

**EXISTING FIRST FLOOR PLAN  
AREA STATEMENT PLAN**

SCALE = 1/4"=1'



AREA CALCULATIONS	
A	30'-11"X13'-3"= 410SQFT
<small>UPPER AREA (FIRST FLOOR)</small>	<small>FLOOR AREA (A+B+C)= 405SQFT</small>
B	30'-11"X21'-11"= 677SQFT
C	12'-9"X17'-0"= 217SQFT
D	21'-7"X12'-2"= 263SQFT
E	4'-2"X18'-7"= 77SQFT
F	8'-11"X11'-8"= 104SQFT
G	8'-5"X9'-11"= 83SQFT
H(GARAGE)	18'-5"X11'-8"= 215SQFT
I(GARAGE)	18'-11"X9'-11"= 187SQFT
J(PORCH)	4'-2"X3'-0"= 12SQFT
K(PORCH)	3'-0"X5'-0"= 21SQFT
TOTAL	<small>UPPER AREA (FIRST FLOOR)</small> <small>FLOOR AREA (A+B+C+D+E+G+H+I)= 1850SQFT</small> <small>FLOOR AREA (A+B+C+D+E+G+H+I+J+K)=2280SQFT</small>

**PROPOSED FIRST FLOOR PLAN  
AREA STATEMENT PLAN**

SCALE = 1/4"=1'

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS  
NUMBER

DATE

DESCRIPTION

PROJECT :  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE

2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

SHEET TITLE:-

AREA  
STATEMENT  
SHEET

DATE

10/05/2023

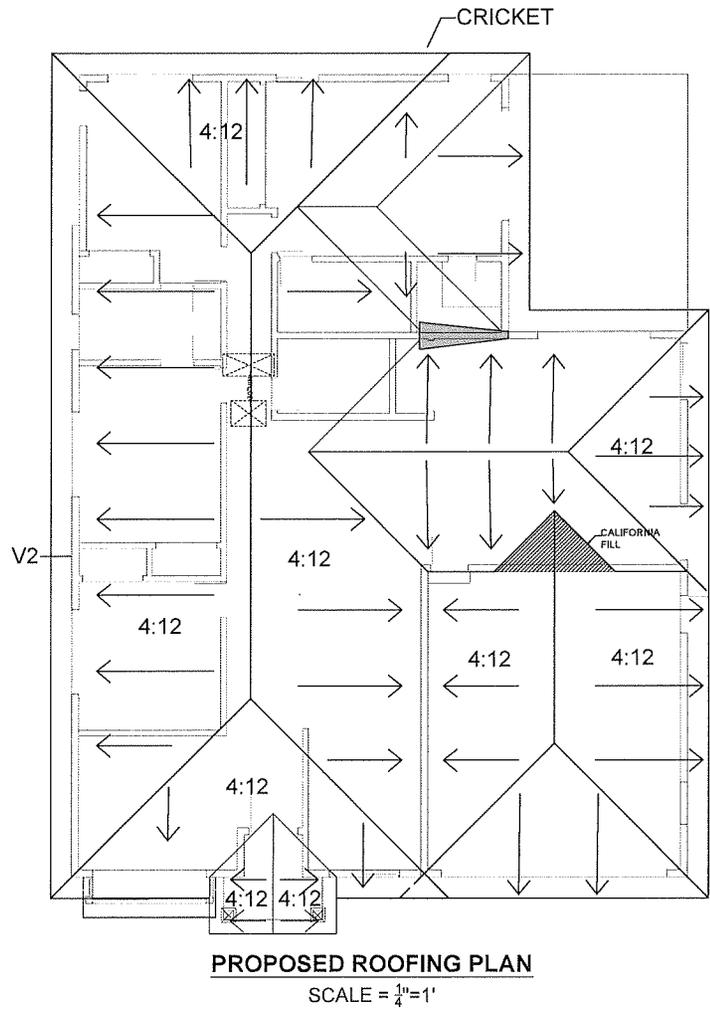
SCALE

AS SHOWN ON PLANS

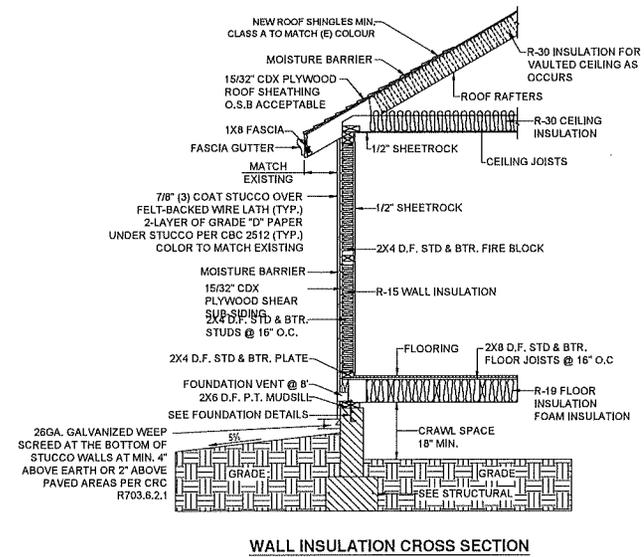
SHEET

A3.1





## ENERGY ANALYSIS REPORT



**NOTE:**  
**FENESTRATION/ GLAZING**  
U-FACTOR  $\leq 0.30$   
SHGC  $\leq 0.23$

- REQUIRED SPECIAL FEATURES**  
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
- Indoor air quality, balanced fan
  - IAQ Ventilation System: as low as 0.627273 W/CFM
  - IAQ Ventilation System Heat Recovery: minimum 58 SRE and 62 ASRE
  - IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
  - Insulation below roof deck
  - Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

- HERS FEATURE SUMMARY**  
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry
- Indoor air quality ventilation
  - Kitchen range hood
  - Minimum Airflow
  - Fan Efficacy Watts/CFM
  - Verified heat pump rated heating capacity
  - Duct leakage testing

**OWNER :-**  
NIRMAL AND  
BALJINDER  
SANDHU

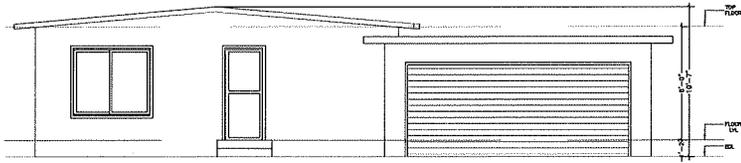
**DESIGNER :-**  
**UNICORN STRUCTURES**  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS NUMBER	DATE	DESCRIPTION

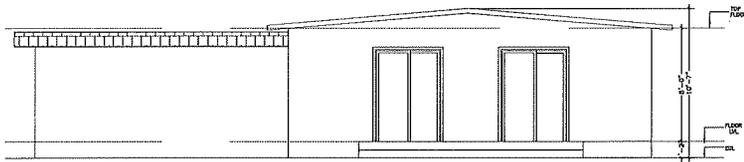
**PROJECT :**  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

**SHEET TITLE:-**  
PROPOSED  
ROOFING  
PLAN

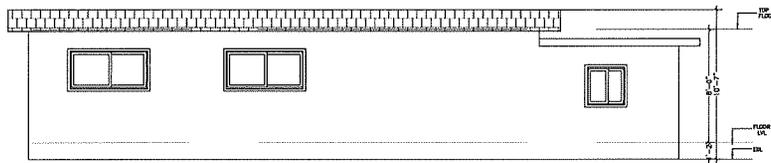
<b>DATE</b> 10/05/2023
<b>SCALE</b> AS SHOWN ON PLANS
<b>SHEET</b> A5



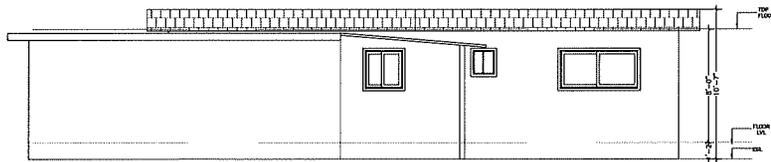
**EXISTING FRONT ELEVATION**  
SCALE = 1/4"-1'



**EXISTING REAR ELEVATION**  
SCALE = 1/4"-1'



**EXISTING LEFT ELEVATION**  
SCALE = 1/4"-1'



**EXISTING RIGHT ELEVATION**  
SCALE = 1/4"-1'

**ELEVATIONS NOTES:**

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS NUMBER	DESCRIPTION
	DATE

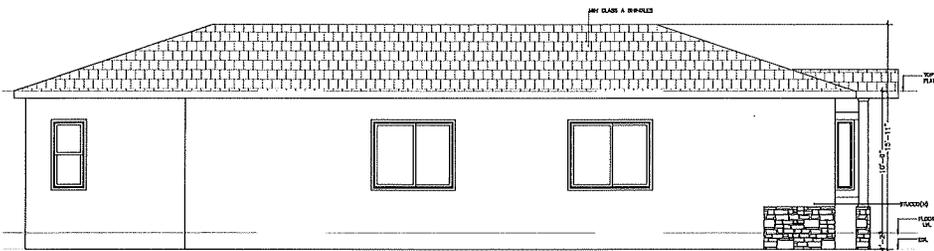
**PROJECT :**  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

**SHEET TITLE:-**  
EXISTING  
ELEVATIONS

**DATE**  
10/05/2023

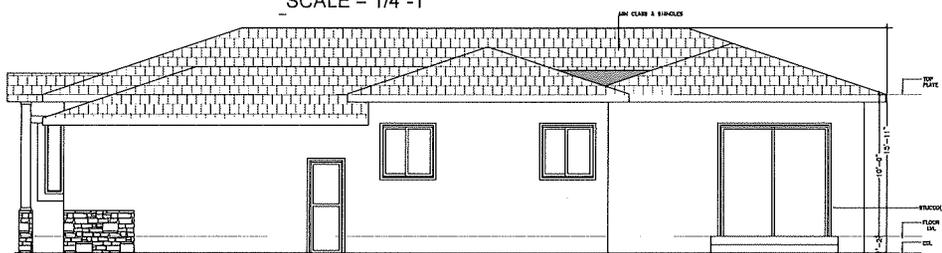
**SCALE**  
AS SHOWN ON PLANS

**SHEET**  
A6



**PROPOSED LEFT ELEVATION**

SCALE = 1/4"=1'



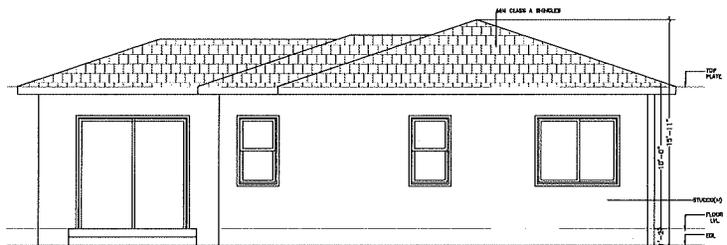
**PROPOSED RIGHT ELEVATION**

SCALE = 1/4"=1'



**PROPOSED FRONT ELEVATION**

SCALE = 1/4"=1'



**PROPOSED REAR ELEVATION**

SCALE = 1/4"=1'

**ELEVATIONS NOTES:**

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT RUN INDEPENDENTLY AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3. WITH WINDOW/DOOR FLASHING DIRECTED BETWEEN LAYERS.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
7. FOR STUCCO NEED TWOLAYER OF TYPE D PAPER RAN INDEPENDENTLY WITH WINDOW/DOOR FLASHING DIRECTED IN BETWEEN LAYERS.

**CRAWLSPACE VENTING CALCULATIONS FOR NEW ADDITION:**

Required = 1861 sq.ft. \* 1/150 = 12.4 Sq.Ft \* 144 = 1785.6 Sq.In = Required  
 (1) 14" x 6" = 84 Sq.In for each \* 22 = 1848Sq.In > 1785.6 Sq. In (Okay)

- One ventilation opening shall be within 3 feet of each corner of the building but not in shear wall areas unless reinforced and detailed.
- Contractor to make up for any existing blocked crawl space vents.

**ATTIC SPACE VENTING CALCULATIONS**

REQUIRED = 1861 x1/150 = 12.4 SQ.FT x144 = 1785.6 SQ.IN.  
 PROVIDE:

1. 24 NOS. EYEBRO VENTS 19"X4" (NFA=43SIN)= 24X43 = 1032 SQIN(V1)
2. 9EVE VENT 14"X6" =84X9 = 756 (V2)
3. TOTAL = 1050 + 840 = 1788 > 1785.6 SQIN

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS NUMBER	DATE	DESCRIPTION

**PROJECT :**  
 ADDITION &  
 REMODEL OF  
 EXISTING  
 HOUSE  
 2683 SONOMA  
 PL, SANTA CLARA,  
 CA -95051

**SHEET TITLE:-**  
 PROPOSED  
 ELEVATIONS

DATE

10/05/2023

SCALE

AS SHOWN ON PLANS

SHEET

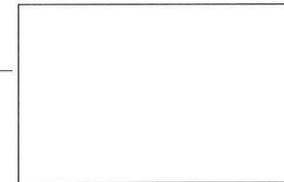
A7



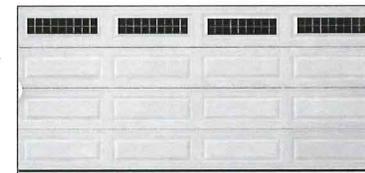
(ASPHALT SHINGLES  
MIN. A CLASS)



MIN CLASS A SHINGLES

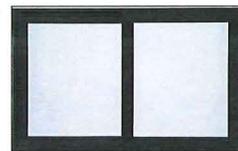


(23 SWISS COFFEE)



(PEARLY  
WHITE)

SILVERMINE STONE  
(DOVER CLIFF)



(MILGARD  
TUSCANY SERIES V400  
INTERIOR -WHITE  
EXTERIOR-BLACK)

**OWNER :-**

NIRMAL AND  
BALJINDER  
SANDHU

**DESIGNER :-**

UNICORN STRUCTURES  
PRINCIPAL  
DEVENDRA DESHWAL  
5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
EMAIL: dsdeshwal@gmail.com

REVISIONS NUMBER	DESCRIPTION
	DATE

**PROJECT :**  
ADDITION &  
REMODEL OF  
EXISTING  
HOUSE  
2683 SONOMA  
PL, SANTA CLARA,  
CA -95051

**SHEET  
TITLE:-  
MATERIAL  
SHEET**

**DATE**  
10/05/2023

**SCALE**  
AS SHOWN ON PLANS

**SHEET**  
A8