



# CIVIC CENTER FAMILY HOUSING

1601 CIVIC CENTER DR.  
SANTA CLARA, CA 95050

GPA RESUBMISSION 2  
05/25/2022

PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR.  
 SANTA CLARA, CA  
 95050**

PREPARED FOR  
  
**CHARITIES HOUSING**



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DATE	DESCRIPTION
10.18.2022	PLANNING SUBMITTAL
02.14.2021	10% SCHEMATIC DESIGN
11.10.2021	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.18.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
1	04.08.2022	GPA RESUBMISSION 1

DESIGNED BY  
 AT  
 PROJECT MANAGER  
 KB / SA  
 PROJECT ARCHITECT  
 SA / AK  
 ARCHITECT  
 AP  
 PROJECT TEAM MANAGER  
 CHECK



TITLE  
**SHEET INDEX**  
 PROJECT NO.  
**1927400**  
 DATE  
**05/25/2022**

SCALE  
**G0.01B**  
 GPA RESUBMISSION 2  
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MITHUN & COMPANY  
 1927 400  
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PROJECT TEAM

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RJACO@GB-ENG.COM

PROJECT SUMMARY

108 UNITS OF AFFORDABLE FAMILY HOUSING AND ASSOCIATED COMMON SPACES, OPEN SPACE AND WITH ON-GRADE PARKING.

ZONING INFORMATION

PROJECT ADDRESS: 1601 CIVIC CENTER DR, SANTA CLARA, CA 95050
SANTA CLARA COUNTY
PARCEL INFORMATION: APN: 224-49-006 (61,409 SF), 1.4098 ACRES
VACANT SINCE LATE 2016 / EARLY 2017. REFER TO C1.01 FOR EXISTING SITE DIMENSIONS

EXISTING USE: OFFICE BUILDING
BUILDING SQUARE FOOTAGE: 28,950 sf
LOT COVERAGE: 15,181 sf / 61,409 sf = 24%

ZONING CLASSIFICATION: EXISTING: O6 GENERAL OFFICE
PROPOSED: PD PLANNED DEVELOPMENT

GENERAL PLAN: EXISTING: COMMUNITY COMMERCIAL
PROPOSED: HIGH DENSITY RESIDENTIAL

LAND USE: RESIDENTIAL

LEGAL DESCRIPTION: SEE SURVEY DRAWING FOR DETAILS

ZONING DATA:

Table with 3 columns: CATEGORY, PROPOSED, COMMENTS / STATUS. Rows include HEIGHT, LOT COVERAGE, SETBACKS & FRONTAGES, PARKING, BIKE PARKING, DENSITY, and DEDICATED PARKLAND.

BUILDING DEPARTMENT INFORMATION

JURISDICTION: SANTA CLARA COUNTY
ZONING: SANTA CLARA CITY MUNICIPAL CODE, ZONING CODE, & BUILDING ORDINANCES
BUILDING: 2019 CALIFORNIA BUILDING CODE
FIRE: 2019 CALIFORNIA FIRE CODE
MECHANICAL: 2019 CALIFORNIA MECHANICAL CODE
ELECTRICAL: 2019 CALIFORNIA ELECTRICAL CODE
PLUMBING: 2019 CALIFORNIA PLUMBING CODE
ENERGY: 2019 CALIFORNIA ENERGY CODE

CODE AS AMENDED AND ADOPTED BY THE STATE BUILDING CODE COUNCIL AND THE CITY OF SANTA CLARA

OCCUPANCY GROUPS: PREDOMINANTLY RESIDENTIAL (R-2), WI SOME (A-3), (B), (S-2) SPACES

OCCUPANCY SEPARATIONS: (PER CBC 508.4) R-2 | A-3: 1-HR | B | A-3: 1-HR | R-2 | B: 1-HR
A-3 | S-2: 1-HR | R-2 | S-2: 1-HR

TYPE OF CONSTRUCTION: TYPE IIIA & IA

FIRE PROTECTION: SPRINKLERED PER NFPA 13

ALLOWABLE AREA:

TYPE IIIA PORTION: PER 506.2.3, SINGLE-OCCUPANCY, MULTISTORY BUILDINGS (WITH ACCESSORY USES)

AA+TOTAL ALLOWABLE BUILDING AREA: 170,400 SF
ALLOWABLE AREA PER FLOOR: 85,200 SF

AA+ (AT + (NS X F)) X SA
AA+ 72,000 = (24,000 X 0.55) X 2 + 170,400

IF= F\*IP - 0.25/W30
IF= (994.6741.85 - 0.25) X 30/30 = 0.55

AT= 72,000 (WITHOUT HEIGHT INCREASE)
NS= 24,000
F= 594.6
Ph= 741.85
W= 30
SA= 2

TYPE I PORTION: UNLIMITED FOR S-2, A-3, B, AND R-2 ACCESSORY

GSF TABLE SEE G2.00A FOR BREAKDOWN AND FLOOR PLANS

Table with 3 columns: Name, Construction Type, Area. Rows include AREA 'A', AREA 'B', AREA 'C', and AREA 'D'.

ALLOWABLE HEIGHT
5 STORES PER TABLE 504.4, TYPE IIIA R-2
87 PER TABLE 504.3, TYPE IIIA R-2 WITH AREA INCREASE (MAXIMUM STORES AND HEIGHT TO BE MEASURED OVER TYPE I PODIUM)

SPECIAL PROVISIONS:
CBC 510.4 PARKING BENEATH GROUP R: NUMBER OF TYPE IIIA STORIES TO START ABOVE THE TYPE I GARAGE.
CBC 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE: TYPE I PORTION CONSIDERED A SEPARATE BUILDING FOR THE PURPOSES OF AREA CALCULATIONS.

CBC 1009.2 HORIZONTAL EXITS: IN BUILDING PROVIDED WITH SPRINKLER SYSTEM, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH HORIZONTAL EXITS.

CBC 31.04 A PEDESTRIAN WALKWAY: BUILDINGS CONNECTED BY PEDESTRIAN WALKWAYS SHALL BE CONSIDERED TO BE SEPARATE STRUCTURES, AND SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE CONSTRUCTION.

CBC 31.04.5.2 ALTERNATIVE SEPARATION: DISTANCE BETWEEN CONNECTED BUILDINGS ARE OVER 10', AND BOTH THE BUILDINGS AND WALKWAY ARE PROVIDED WITH SPRINKLER.

REQUIRED RATING:
SHAFTS: 2 HOURS
EXIT STAIR ENCLOSURES: 2 HOURS
HORIZONTAL EXITS: 2 HOURS

SQUARE FOOTAGE: SEE G2.00A.

EGRESS: SEE CODE SUMMARY SHEET, G2.01 THROUGH G2.05

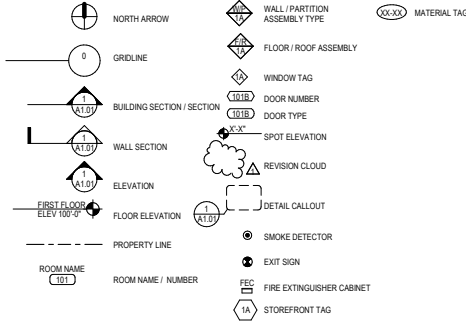
EMERGENCY ESCAPE AND RESCUE WINDOWS: CBC 1030.1 EXCEPTION 1, RESCUE WINDOWS ARE NOT REQUIRED FOR TYPE IIIA CONSTRUCTION EQUIPPED THROUGHOUT WITH AN APPROVED SPRINKLER SYSTEM.

ACCESSIBILITY: 100% OF THE UNITS ARE ADAPTABLE AND COMPLY WITH 2019 CBC SECTION 11A. 15% (17) OF THE UNITS HAVE ADDED MOBILITY FEATURES PER 2010 ADA & FHA GUIDELINES. 5% (6) OF THE UNITS WILL HAVE ADDED COMMUNICATION FEATURES PER 2010 ADA & FHA GUIDELINES.

UNIT WITH MOBILITY FEATURES: TO BE DETERMINED

UNITS WITH COMMUNICATION FEATURES: TO BE DETERMINED.

SYMBOLS



VICINITY MAP



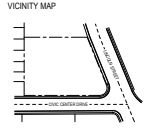
FEMA MAP



Seattle, WA 206 465 1031
San Francisco, CA 415 774 2344
Los Angeles, CA 213 689 1000
New York, NY 212 692 9200

PROJECT
CIVIC CENTER FAMILY HOUSING
LOCATION
1601 CIVIC CENTER DR, SANTA CLARA, CA 95050

PREPARED FOR
CHARITIES HOUSING



Revision table with columns: DATE, REVISION, DESCRIPTION. Rows include 02.19.2022 PLANNING SUBMITTAL, 02.24.2022 50% SCHEMATIC DESIGN, 03.13.2022 GFA SUBMITTAL, 03.18.2022 50% DESIGN DEVELOPMENT, 04.08.2022 GFA RESUBMISSION 1, 04.28.2022 100% DESIGN DEVELOPMENT, 05.15.2022 GFA RESUBMISSION 2.

DATE: 04.08.2022
PROJECT NUMBER: GFA RESUBMISSION 1

PROJECT NUMBER: KB / SA
PROJECT ARCHITECT: SA / AK
PROJECT ENGINEER: AP
PROJECT TITLE: CIVIC CENTER

PROJECT INFO
PROJECT NUMBER: 1927400
DATE: 05/25/2022

G0.02
GFA RESUBMISSION 2
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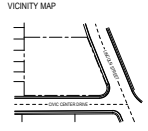


Table with 2 columns: Date and Milestone. Includes dates from 02.28.2021 to 05.15.2022 and milestones like Planning Summary, Schematic Design, etc.

AT  
KB / SA  
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AP  
GPR

GREEN POINT RATED CHECKLIST

1927400  
05/25/2022

G0.03  
GPR RESUBMISSION 2  
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Civic Center Family Housing - Table with 10 columns: Item, Description, Status, and various metrics. Includes sections for LEED, WELL, and other sustainability goals.

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**CIVIC CENTER FAMILY HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR. SANTA CLARA, CA 95050**

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**CHARITIES HOUSING**



City of Santa Clara Building Division 1500 Wilburton Ave. Santa Clara, CA 95050 www.santacruznet.net		Building Division 408-415-2440 Email: BuildingDivision@cityofsc.gov Permit Center 408-415-2459 Email: PermitCenter@cityofsc.gov Automated Inspection Scheduling System: 408-415-2450
<b>2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST</b>		
New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.		
BUILDING PERMIT NO. BLD000 ADDRESS: 1601 Civic Center Dr	BLD000	MANDATORY MEASURES REQUIRED (Check each)
<b>GREEN BUILDING MEASURES</b>		
<b>Site Development (CGC 4.106)</b>		
Storm water drainage and retention during construction. It shall be designed and installed to manage storm water drainage during construction per CGC 4.106.2. <input type="checkbox"/>		<input checked="" type="checkbox"/>
Grading and paving. Construction plans shall indicate how site grading or a drainage system will enhance or surface water flow to reuse water from existing buildings per CGC 4.106.3. <input type="checkbox"/>		<input checked="" type="checkbox"/>
Electric vehicle EV charging for new construction. Provisions regarding electric vehicle charging to new and existing buildings and in lot/warehouse with attached private garages. 10% of the parking spaces, as specified for residential buildings, and in lot/warehouse and mixed-use per CGC 4.106.4. EV spaces for multi-family shall comply with accessibility provisions for EV charging stations in the California Building Code, Chapter 116. <input type="checkbox"/>		<input checked="" type="checkbox"/>
<b>Energy Efficiency (CGC 4.311)</b>		
California Energy Code. The building construction shall meet or exceed the requirements of the 2019 California Building Energy Efficiency Standards per CGC 4.311.1. <input type="checkbox"/>		<input checked="" type="checkbox"/>
<b>Water Efficiency and Conservation</b>		
<b>INDOOR WATER USE (CGC 4.303)</b>		
Water conserving plumbing fixtures and fittings. Plumbing fixtures, shower closets and urinals and fittings (shower and showerheads) shall comply with the performance requirements of Section 4.303.1.1 through 4.303.1.4. <input type="checkbox"/>		<input checked="" type="checkbox"/>
Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1). <input type="checkbox"/>		<input checked="" type="checkbox"/>
Urinals. The effective flush volume of wall-hung urinals shall not exceed 1.25 gallons per flush, and all other urinals shall not exceed 0.8 gallons per flush (CGC 4.303.1.2). <input type="checkbox"/>		<input checked="" type="checkbox"/>
Showersheads. The flow rate for showerheads shall not exceed 2.0 gallons per minute, and shall not exceed 1.8 gallons per minute at 80 psi, and shall be certified to the performance criteria of the U.S. EPA WaterSense Specification (CGC 4.303.1.3). <input type="checkbox"/>		<input checked="" type="checkbox"/>
Residential laundry faucets. The flow rate shall not be more than 1.2 gallons per minute at 80 psi, and shall not exceed 1.0 gallons per minute at 20 psi (CGC 4.303.1.4.2). <input type="checkbox"/>		<input checked="" type="checkbox"/>
Laundry faucets in common and public use areas. The flow rate shall not exceed 0.8 gallons per minute at 80 psi (CGC 4.303.1.4.3). <input type="checkbox"/>		<input checked="" type="checkbox"/>
<b>Watering Facilities.</b> The flow rate shall not exceed 1.8 gallons per minute at 80 psi (CGC 4.303.1.4.4). <input type="checkbox"/>		<input checked="" type="checkbox"/>
<b>Standards for plumbing fixtures and fittings.</b> Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1.1 of the California Plumbing Code per CGC 4.303.2. <input type="checkbox"/>		<input checked="" type="checkbox"/>

BLD Permit No. _____	
<b>INDOOR WATER USE (CGC 4.304)</b>	
Outdoor potable water use in landscape areas. Recirculation requirements shall comply with the City Water Conservation and Use Policy and Regulations, Item No. 24, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>ENHANCED DURABLE PY AND PREVENTED MAINTENANCE (CGC 4.486)</b>	
Roofing. New roofs shall be installed in accordance with the California Building Code, Chapter 15, and shall be designed to prevent leaks, water damage, mold, mildew, and other problems. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>CONSTRUCTION WASTE REDUCTION, RECYCLING AND RECYCLING (CGC 4.486)</b>	
Construction waste management. Projects shall manage 60 percent of construction waste, demolition waste, and other materials in accordance with Section 4.402.3, 4.402.3.1, or 4.402.4, or have a waste management plan in accordance with the California Building Code, Chapter 15. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>BUILDING MAINTENANCE AND OPERATION (CGC 4.416)</b>	
An operation and maintenance manual that is provided to the building occupant or owner per CGC 4.416.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>PREPARED BY OCCUPANTS.</b> Where 20 or more residential dwelling units are constructed on a building site, green building measures shall be provided to the occupants per CGC 4.416.2. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>ENVIRONMENTAL QUALITY (CGC 4.503)</b>	
Gas fireplace. Any installed gas fireplace shall be a direct vent sealed-combustion type per CGC 4.503.1. <input type="checkbox"/>	N/A
Woodstoves. Any installed woodstove or pellet stove shall comply with U.S. EPA new Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limit per CGC 4.503.2. <input type="checkbox"/>	N/A
<b>POLLUTANT CONTROL (CGC 4.504)</b>	
Covering of duct openings and protection of mechanical equipment during construction. At the time of high insulation, during storage on the construction site and until final sealing of the heating, cooling and ventilating equipment, all duct and other sealed or distribution components openings shall be covered with heavy plastic, which shall meet or exceed the requirements of the City to reduce the amount of water, dust or debris which may enter the system per CGC 4.504.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Paints, stains and other coatings shall comply with VOC limits per CGC 4.504.2.2. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the product required MSDS limits for VOC per other requirements per CGC 4.504.2.3. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Ventilation. Mechanical ventilation shall be provided, at the request of the Building Division, to verify compliance with VOC standards per CGC 4.504.2.4. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Carpet systems. All carpet installed in the building shall meet the testing and product registration requirements of CGC 4.504.3. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Composite wood products. Hardwood products, engineered wood products and medium density fiberboard (MDF) products shall meet the VOC or other toxic compound limits per CGC 4.504.4. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>INDOOR MOISTURE CONTROL (CGC 4.504)</b>	
Concrete slab foundations. Vapor retarder and capillary break shall be installed in a slab on grade foundation system in used. The use of a 4" thick base of 1/2" or larger coarse aggregate under a 6" non-reinforced concrete is required per Section 19.04.01 of the California Building Code, Chapter 19. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Moisture content of building materials. Building materials with moisture signs of water damage shall not be installed, until and until drying shall not be completed when the drying methods exceed 80% moisture content. Moisture content shall be checked prior to final building inspection per CGC 4.504.5. <input type="checkbox"/>	<input checked="" type="checkbox"/>

BLD Permit No. _____	
<b>ENVIRONMENTAL COMFORT (CGC 4.507)</b>	
Heating and air-conditioning systems shall be sized, designed and hung their equipment respecting the following methods per CGC 4.507.2. <input type="checkbox"/>	<input checked="" type="checkbox"/>
1. Heat Loss/Heat Gain values in accordance with ANSI/ASHRAE 2 Manual 2-2016 or equivalent; 2. Load systems set point according to ANSI/ASHRAE 1 Manual 2015 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ASHRAE 2 Manual 2-2016 or equivalent.	
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)</b>	
Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
Special inspection. Special inspections requested by the City must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>VERIFICATION (CGC 703)</b>	
Upon receipt, verification of compliance with this code may include construction documents, plans, specifications, further or similar verification, inspection reports, or other methods acceptable to the building department which will show substantial compliance per CGC 703.1. <input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Responsible Designer's Declaration Statement.</b> I hereby certify that this project has been designed to meet the requirements of the 2019 California Green Building Standards Code.	
<b>Contractor Declaration Statement.</b> I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.	
Name: Kristin Bell	Name: _____
Signature: [Signature]	Signature: [Signature]
Date: 12/27/2020	Date: _____
Company: Mithun	Company: _____
Address: 660 Market St.	Address: _____
City: San Francisco State CA Zip: 94102	City: _____ State: _____ Zip: _____

MITHUN | 1601 CIVIC CENTER DR. SANTA CLARA, CA 95050 | TEL: 408-415-2440 | WWW.MITHUN.COM

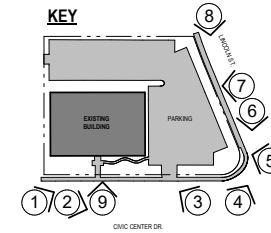
**PROJECT**  
**CIVIC CENTER FAMILY HOUSING**

**LOCATION**  
**1601 CIVIC CENTER DR.**  
**SANTA CLARA, CA**  
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PREPARED FOR  
**CHARITIES HOUSING**



WOOD RAILING AND WINDOW TRIM STUCCO EXTERIOR



02.18.2022	PLANNING SUBMITTAL
02.22.2022	100% SCHEMATIC DESIGN
03.03.2022	GPA SUBMITTAL
03.13.2022	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE:	
BY:	
CHECKED:	
DATE:	

DATE:	
BY:	
CHECKED:	
DATE:	



**SITE & SURROUNDING AREA PHOTOS**

PROJECT NO:  
1927400  
DATE:  
05/25/2022

**G1.01**  
GPA RESUBMISSION 2  
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MITHUN, INC. 1927400 - CIVIC CENTER FAMILY HOUSING - SITE & SURROUNDING AREA PHOTOS - 05/25/2022  
 05/25/2022 1:57:43 PM



DATE	DESCRIPTION
02.08.2022	PLANNING SUBMITTAL
02.24.2021	100% SCHEMATIC DESIGN
11.13.2021	GPA SUBMITTAL
11.13.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
02.08.2022	100% DESIGN DEVELOPMENT
02.15.2022	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
1	04.08.2022	GPA RESUBMISSION 1

REVISIONS	
AT	
KB / SA	
SA / AK	
AP	
PROJECT TEAM	
DATE	



**RENDERINGS, COLORS & MATERIALS**

PROJECT NO.  
**1927400**  
DATE  
**05/25/2022**

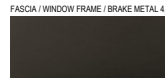
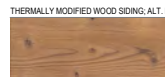
REVISION NO.  
**G1.02**  
GPA RESUBMISSION 2  
© 2016 MITHUN, INC.

**LINCOLN ST. (EAST) PERSPECTIVE**



STREET TREES ARE REMOVED FROM RENDERING FOR CLARITY

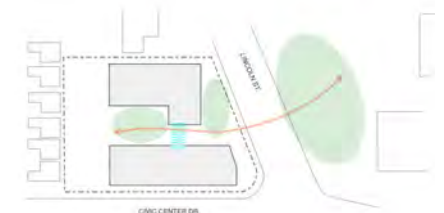
**COLORS AND MATERIALS**



**NARRATIVE**

THE DESIGN FOR CIVIC CENTER FAMILY HOUSING CREATES A GATEWAY CONDITION MOVING FROM EL CAMINO REAL TO THE CIVIC CENTER CAMPUS. THE SOUTHERN LEG OF THE BUILDING EXTENDS TOWARDS THE CIVIC CENTER CAMPUS, MAKING IT CLEARLY VISIBLE AS YOU MAKE YOUR WAY FROM EL CAMINO REAL DOWN LINCOLN. IT SERVES AS A WELCOMING POINT OF ORIENTATION, WITH A COMMUNITY ROOM OCCUPYING THE CORNER OF THE GROUND FLOOR. MOVING DOWN LINCOLN, THE REMAINDER OF THE BUILDING PULLS BACK FROM THE STREET, CREATING A LANDSCAPED FORECOURT THAT MIMICS THE CIVIC CENTER CAMPUS OPEN SPACE ACROSS THE STREET.

THE BUILDING IS BROKEN INTO 2 DISTINCT VOLUMES, REDUCING THE APPARENT SCALE OF THE BUILDING. THE VOLUMES ARE CONNECTED BY A BRIDGE THAT PROVIDES A VISUAL CONNECTION BETWEEN THE PRIVATE COURTYARD AND THE PUBLIC REALM.



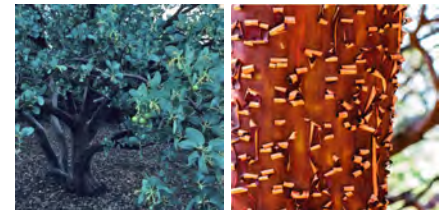
**RENEWAL AND RESILIENCE**

LAYERS OF BARK OF THE BIG BERRY/ BLUE MANZANITA PEEL ANNUALLY AS AN ADAPTATION FOR PROTECTION AGAINST INSECTS AND PARASITIC ORGANISMS. TANNINS AND OTHER COMPOUNDS PRODUCED IN THE CELLS OF THE OUTER BARK SERVE TO DETER THESE ORGANISMS AND ARE ALSO RESPONSIBLE FOR THE VARIED COLORS AND LAYERED QUALITY OF THE TRUNK AND BRANCHES. THE PHYSICAL EXPRESSION OF THIS SPECIES IS ONE OF CONSTANT RENEWAL AND RESILIENCE, AND APT METAPHOR FOR A NEW COMMUNITY.

THE FORMAL LANGUAGE AND MATERIAL EXPRESSION OF THIS BUILDING TAKES ITS INSPIRATION FROM THE BLUE MANZANITA, A SPECIES ENDEMIC TO THE SANTA CLARA VALLEY.

THE SIMPLE STUCCO EXTERIOR IS PUNCTUATED BY BALCONIES, WHICH MIMIC THE PEELING BARK AND REVEAL A RICH ACCENT COLOR BENEATH, AS THE LIVING SPACES OF THE INTERIOR TRANSITION TO THE OUTSIDE.

THE BASE OF THE BUILDING IS WRAPPED IN A WARM GRAY STUCCO WITH NATURAL WOOD ACCENT PANELS EMPHASIZING THE PUBLIC PROGRAM ELEMENTS AND MAIN ENTRY, DRAWING PEOPLE AND THE OUTSIDE IN.

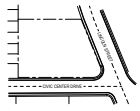


MITHUN ARCHITECTURE, INC. 1011 MARKET STREET, 4TH FLOOR, SEATTLE, WA 98107  
 PROJECT NO. 1927400  
 DATE: 05/25/2022  
 DRAWING NO. 101  
 SCALE: AS SHOWN  
 THIS DOCUMENT IS THE PROPERTY OF MITHUN ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MITHUN ARCHITECTURE, INC.  
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 MITHUN ARCHITECTURE, INC. IS NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF MITHUN ARCHITECTURE, INC.

PREPARED FOR



VICINITY MAP



DATE	DESCRIPTION
02.08.2022	PLANNING SUBMITTAL
02.15.2022	10% SCHEMATIC DESIGN
03.10.2022	GPA SUBMITTAL
03.15.2022	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

REVISION	DATE	DESCRIPTION
AT		PROJECT NUMBER
KB / SA		PROJECT ARCHITECT
SA / AK		PROJECT ENGINEER
AP		PROJECT TRADE SPECIALIST

**RENDERINGS**

RENDERING NO.  
**1927400**  
DATE  
**05/25/2022**

RENDERING NO.  
**G1.03**  
GPA RESUBMISSION 2  
© 2016 MITHUN, INC.

**CIVIC CENTER PERSPECTIVE**



STREET TREES ARE REMOVED FROM RENDERING FOR CLARITY

**NARRATIVE**

THE DESIGN INCLUDES GROUND LEVEL UNITS ALONG CIVIC CENTER DRIVE WITH A LANDSCAPED SETBACK AND PRIVATE PATIOS TO HELP CREATE AN ACTIVE, RESIDENTIAL FEEL ON THIS STREET THAT TRANSITIONS INTO A SINGLE FAMILY NEIGHBORHOOD.

THE BUILDING IS SET BACK FROM THE EXISTING RESIDENTIAL NEIGHBORS ON THE WEST SIDE OF THE PROPERTY BY 65' AND TREES ARE USED TO PROVIDE A NATURAL SCREENING BETWEEN THE NEW BUILDING AND EXISTING HOMES. WINDOWS ON THE WEST FACING ELEVATION ARE LIMITED IN ORDER TO PROTECT THE PRIVACY OF THE EXISTING HOMES.

**LOBBY ENTRY PERSPECTIVE**



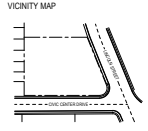
STREET TREES ARE REMOVED FROM RENDERING FOR CLARITY

**CIVIC CENTER STREET LEVEL PERSPECTIVE**



MITHUN, INC. 1927400 05/25/2022  
 1927400 05/25/2022  
 CIVIC CENTER FAMILY HOUSING  
 1601 CIVIC CENTER DR. SANTA CLARA, CA 95050  
 ARCHITECT: MITHUN, INC. 1927400 05/25/2022  
 PROJECT NUMBER: 1927400  
 PROJECT ARCHITECT: KB / SA  
 PROJECT ENGINEER: SA / AK  
 PROJECT TRADE SPECIALIST: AP  
 DATE: 05/25/2022  
 REVISION: G1.03  
 GPA RESUBMISSION 2  
 © 2016 MITHUN, INC.





DATE	DESCRIPTION
02.18.2021	PLANNING SUBMITTAL
02.24.2021	19% SCHEMATIC DESIGN
03.19.2021	GPA SUBMITTAL
04.13.2021	50% DESIGN DEVELOPMENT
04.28.2021	GPA RESUBMISSION 1
05.18.2021	100% DESIGN DEVELOPMENT
05.18.2021	GPA RESUBMISSION 2

DATE: 04.08.2022  
 PROJECT: CIVIC CENTER FAMILY HOUSING  
 SHEET: 10 FIRE HYDRANT DIAGRAM

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

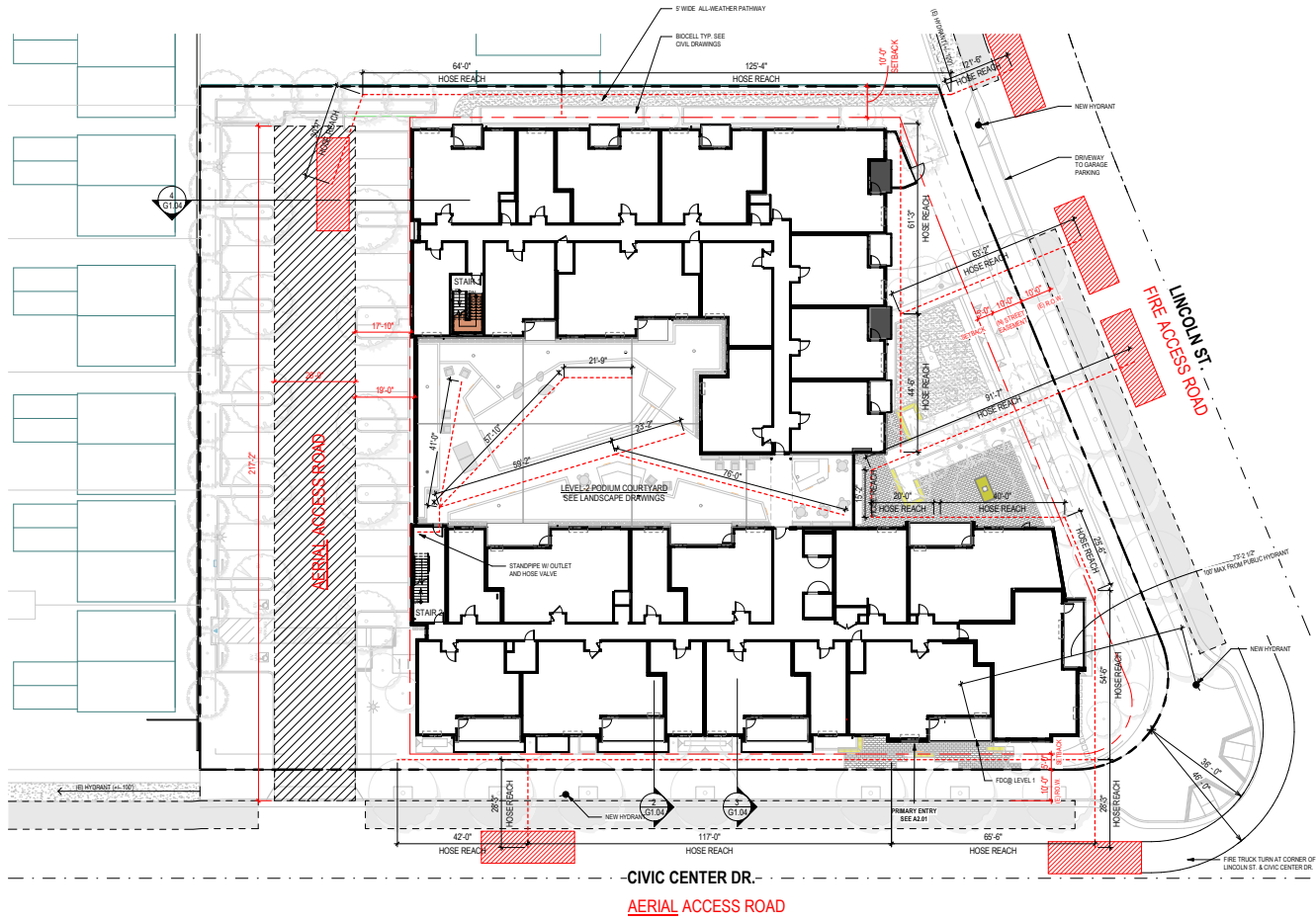
DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

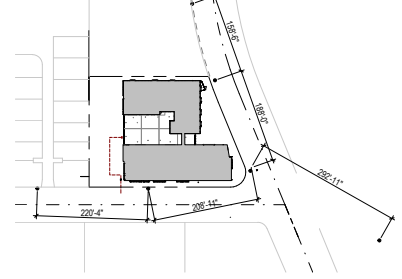
DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1



**1 FIRE ACCESS-LEVEL 2 FLOOR PLAN**  
 1/16" = 1'-0"



**10 FIRE HYDRANT DIAGRAM**  
 1" = 100'-0"

**Fire Flow Requirements with Mixed Construction**

Total Area (SF)	Building
Level 1 (Type IA)	31,635 SF
Level 2-5 (Type IIA)	101,066 SF
Number of Stories	5
Height	Varies from SF-9' to 66'-6"
Construction Type	4 levels Type IIA over 1 level Type IA
Occupancy Group	R-2, S-2, A, B

Calculations:  
 Total Building area: 31,635 square feet (Type IA - Garage) + 101,066 square feet (Type IIA - Residential) = 132,701 SF  
 Percentage of Building: IA = 31,635/132,701 x 100 = 23.8%  
 IIA = 101,066/132,701 x 100 = 76.2%

Fire Flow Duration, Hydrant Locations and Distribution are to be based on the full Fire Flow required per CFC Table B105.1(2)  
 Full Fire Flow: 0.238 (2,000 gpm) + 0.762 (4,500 gpm) + 3,905 gpm = 4,000 gpm (round up)

A 75% reduction in fire-flow is allowed with the installation of an automatic fire sprinkler system designed in accordance with California Fire Code § B105.2.  
 A max 50% reduction in fire-flow is allowed per Conditions of Approval from Santa Clara Fire Department for this project.  
 Reduced Fire Flow: 0.52 x 4,000 gpm = 2,080 gpm

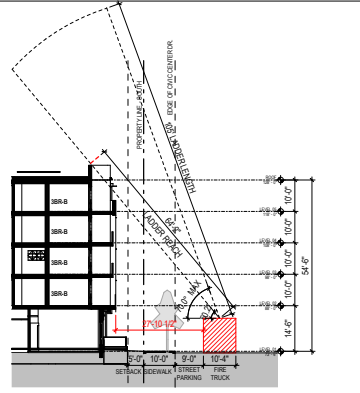
Based upon 4,000 gpm Full Fire Flow, there needs to be a minimum of 4 hydrants with an average spacing of 350 feet (from Appendix C of the Fire Code) for the duration of 4 hours. The frontage distance based on the 4,000 gpm Full fire requirement is 210 feet.

- NOTES**
- SEE A3.11 & A3.12 FOR FULL BUILDING SECTIONS INCLUDING FACD LOCATION
  - SEE A2.01 FOR GROUND LEVEL CONDITIONS
  - ALL FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE RECORDED AS PERMANENT EAVE PER TO COMMENTS. AMBR WILL BE SUBMITTED FOR EAVE AT WESTERN DRIVEWAY.
  - EAVE TO HAVE ALL WEATHER SURFACE DESIGNED TO SUPPORT GROSS VEHICLE WEIGHT OF 75,000 LBS.

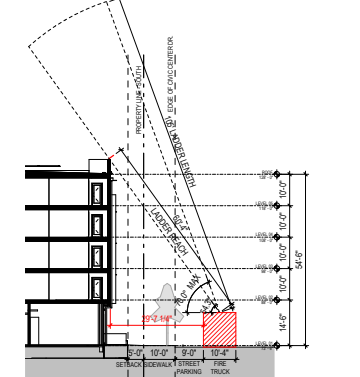
**CONSTRUCTION TYPE**  
 TYPE IIIA & IA

**LEGEND**

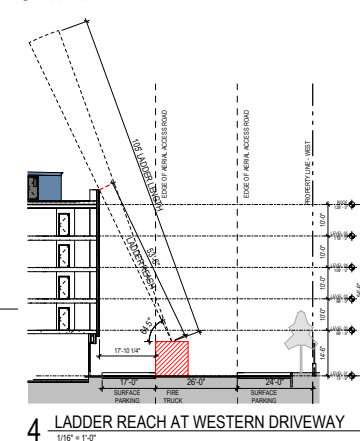
PROPERTY LINE	PROPOSED SETBACK	HOSE LENGTH	FIRE ENGINE	EVALUATE	PARALLEL PARKING ZONE	IN FIRE HYDRANT	OUT FIRE HYDRANT TO BE REMOVED	FIRE DEPARTMENT CONNECTION	FIRE ALARM/CONTROL PANEL	SEE A2.01 FOR LOCATION
---	---	---	▨	▨	▨	⊙	⊙	⊙	⊙	⊙



**2 LADDER REACH AT CIVIC BALCONY 02**  
 1/16" = 1'-0"



**3 LADDER REACH AT CIVIC MAIN FACADE**  
 1/16" = 1'-0"



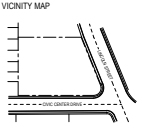
**4 LADDER REACH AT WESTERN DRIVEWAY**  
 1/16" = 1'-0"



**FIRE ACCESS DIAGRAM**

**PROJECT**  
 CIVIC CENTER FAMILY HOUSING  
**LOCATION**  
 1601 CIVIC CENTER DR.  
 SANTA CLARA, CA  
 95050

**PREPARED FOR**  
 CHARITIES HOUSING



**REVISIONS**

NO.	DATE	DESCRIPTION
1	05/25/2022	PLANNING SUBMITTAL
2	06/23/2022	10% SCHEMATIC DESIGN
3	07/13/2022	GPA SUBMITTAL
4	08/15/2022	50% DESIGN DEVELOPMENT
5	04/28/2022	GPA RESUBMISSION 1
6	05/18/2022	100% DESIGN DEVELOPMENT
7	05/15/2022	GPA RESUBMISSION 2

**DATE**  
 05/25/2022

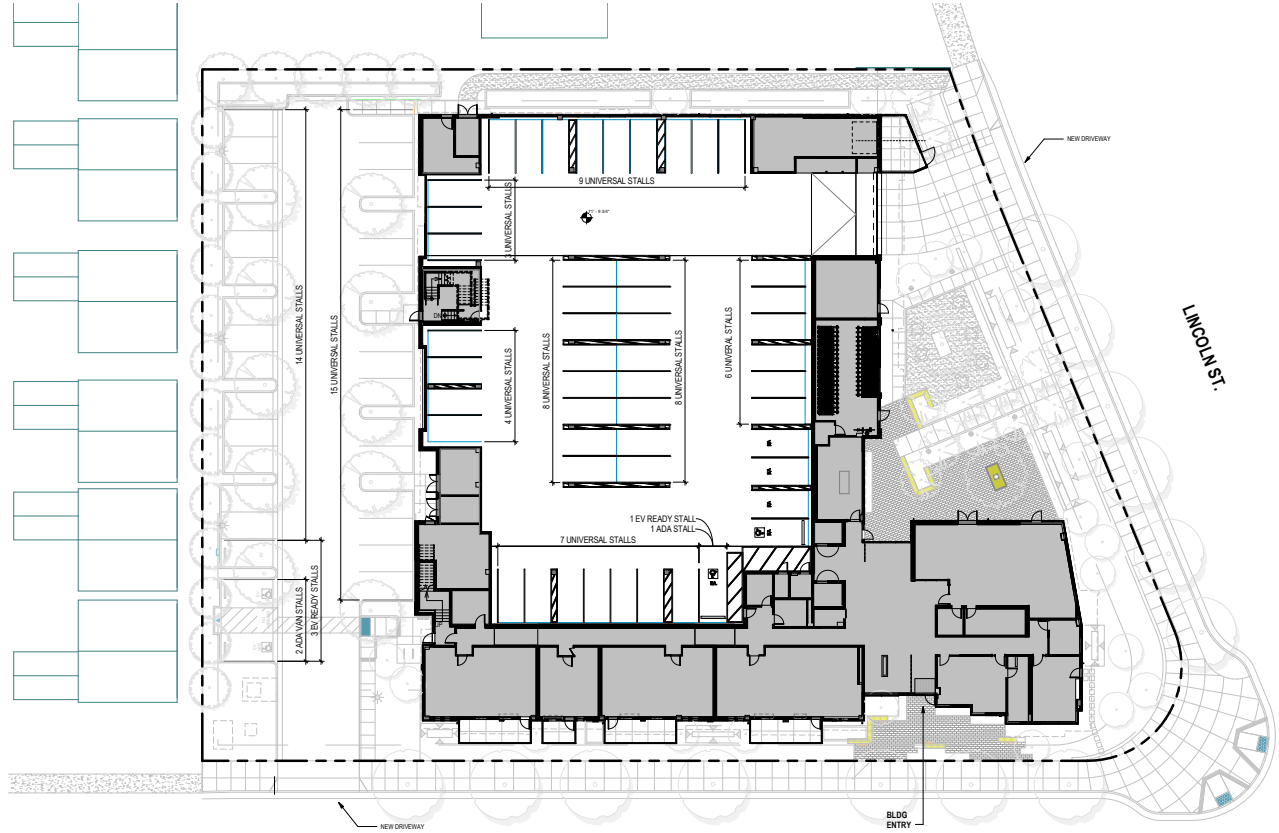
**PROJECT NUMBER**  
 AT  
**PROJECT ARCHITECT**  
 KB / SA  
**PROJECT ENGINEER**  
 SA / AK  
**PROJECT DESIGNER**  
 AP



**TITLE**  
 PARKING PLAN

**PROJECT NO.**  
 1927400  
**DATE**  
 05/25/2022

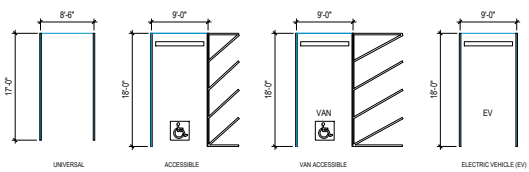
**SCALE**  
 G1.05  
 GPA RESUBMISSION 2  
 © 2016 MITHUN, INC.



**1 LEVEL 1 FLOOR PLAN - PARKING**  
 1/8" = 1'-0"

**CIVIC CENTER DR.**

**PARKING LEGEND**



**PARKING COUNT - EXTERIOR**

CATEGORY	PROPOSED	SIZE	COMMENTS
UNIVERSAL STALLS PROVIDED	52	8'-6" X 17'-0"	
VAN ACCESSIBLE	2	9'-0" (-8'-0" ACCESS AISLE) X 18'-0"	CBC 11B-208.2.4 (1% of ADA stalls)
ADA STALLS	0*	9'-0" (-5'-0" ACCESS AISLE) X 18'-0"	CBC 11B-208.3.1
EV PARKING*	3	9'-0" X 18'-0"	CalGreen 4.106.4.2 (10% of total parking) CBC 11B-208.3.2.1 Includes (1) Van Stall
<b>SUBTOTAL PARKING</b>	<b>57</b>		

**PARKING COUNT - INTERIOR**

CATEGORY	PROPOSED	SIZE	COMMENTS
UNIVERSAL STALLS PROVIDED	45	8'-6" X 17'-0"	
VAN ACCESSIBLE REQ'D	1	9'-0" (-8'-0" ACCESS AISLE) X 18'-0"	CBC 11B-208.2.4 (1% of ADA stalls)
ADA STALLS REQ'D	1	9'-0" (-5'-0" ACCESS AISLE) X 18'-0"	CBC 11B-208.3.1
EV PARKING*	5	9'-0" X 18'-0"	CalGreen 4.106.4.2 (10% of total parking) CBC 11B-208.3.2.1 Includes (1) Van & (1) ADA Stall
<b>SUBTOTAL PARKING</b>	<b>52</b>		

**TOTAL PARKING**

<b>TOTAL PARKING</b>	<b>82</b>		
----------------------	-----------	--	--

\* Included as part of ADA stall  
 \*\* Included as part of Van accessible stall

MITHUN & ASSOCIATES, INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050  
 TEL: 408.298.1000 FAX: 408.298.1001 WWW.MITHUN.COM  
 PROJECT NO. 1927400 DATE: 05/25/2022  
 SHEET NO. G1.05 OF 12  
 DESIGN DEVELOPMENT  
 1/8" = 1'-0"



DATE: 04.25.2022

04.25.2022 PLANNING SUBMITTAL  
 05.13.2021 3RD SCHEMATIC DESIGN  
 11.19.2020 2ND SCHEMATIC DESIGN  
 04.08.2020 GFA RESUBMISSION 1  
 03.05.2020 1ST SCHEMATIC DESIGN  
 03.15.2020 GFA RESUBMISSION 1

DATE: 04.25.2022

04.25.2022 GFA RESUBMISSION 1

PROJECT NUMBER: AP  
 PROJECT TITLE: CIVIC CENTER FAMILY HOUSING

DATE: 05/25/2022

**UNIT COUNTS**

PROJECT NUMBER: AP  
 PROJECT TITLE: CIVIC CENTER FAMILY HOUSING

DATE: 05/25/2022

**UNIT COUNT - STUDIO**

Level	Name	Count
LEVEL 02	SSR-A	6
LEVEL 03	SSR-A	6
LEVEL 04	SSR-A	6
LEVEL 05	SSR-A	6
SSR-D		
LEVEL 01	SSR-D	1
25		

**UNIT COUNT - 3BR**

Level	Name	Count
LEVEL 02	3BR-A	1
LEVEL 03	3BR-A	1
LEVEL 04	3BR-A	1
LEVEL 05	3BR-A	1
3BR-B		
LEVEL 02	3BR-B	3
LEVEL 03	3BR-B	3
LEVEL 04	3BR-B	3
LEVEL 05	3BR-B	3
3BR-B, 2		
LEVEL 02	3BR-B, 2	1
LEVEL 03	3BR-B, 2	1
LEVEL 04	3BR-B, 2	1
LEVEL 05	3BR-B, 2	1
3BR-B, 3		
LEVEL 02	3BR-B, 3	1
LEVEL 03	3BR-B, 3	1
LEVEL 04	3BR-B, 3	1
LEVEL 05	3BR-B, 3	1
3BR-C		
LEVEL 02	3BR-C	1
LEVEL 03	3BR-C	1
LEVEL 04	3BR-C	1
LEVEL 05	3BR-C	1
3BR-D		
LEVEL 01	3BR-D	1
26		

**UNIT COUNT - 1BR**

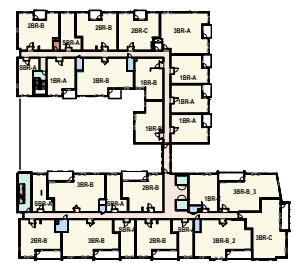
Level	Name	Count
LEVEL 02	1BR-A	4
LEVEL 03	1BR-A	4
LEVEL 04	1BR-A	4
LEVEL 05	1BR-A	4
1BR-B		
LEVEL 02	1BR-B	2
LEVEL 03	1BR-B	2
LEVEL 04	1BR-B	2
LEVEL 05	1BR-B	2
1BR-C		
LEVEL 02	1BR-C	1
LEVEL 03	1BR-C	1
LEVEL 04	1BR-C	1
LEVEL 05	1BR-C	1
28		

**UNIT COUNT - TOTAL**

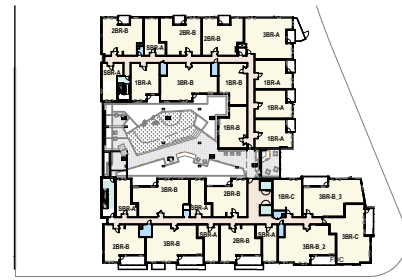
UNIT TYPE	COUNT	AVERAGE SQ FT
SSR-A	24	379 SF
SSR-D	1	365 SF
1BR-A	16	395 SF
1BR-B	8	341 SF
1BR-C	4	305 SF
2BR-A	2	766 SF
2BR-B	23	789 SF
2BR-C	1	828 SF
3BR-A	4	1139 SF
3BR-B	12	1091 SF
3BR-B, 2	4	1107 SF
3BR-B, 3	4	1100 SF
3BR-C	4	1131 SF
3BR-D	1	997 SF
Grand total:	108	

**NOTES:**

- ALL AREAS IN THE SCHEDULE ARE DESIGN DEVELOPMENT LEVEL AND APPROXIMATE IN NATURE.
- NSF FOR RESIDENTIAL UNIT INCLUDES SHAFT SPACE WITHIN THE UNIT.



**3 LEVEL-3 FLOOR PLAN - UNIT COUNT (26 UNITS)**  
 1" = 40'-0"



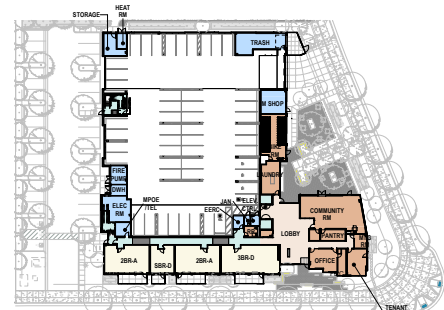
**2 LEVEL-2 PODIUM - UNIT COUNT (26 UNITS)**  
 1" = 40'-0"



**5 LEVEL-5 FLOOR PLAN - UNIT COUNT (26 UNITS)**  
 1" = 40'-0"



**4 LEVEL-4 FLOOR PLAN - UNIT COUNT (26 UNITS)**  
 1" = 40'-0"



**1 GROUND FLOOR - FLOOR PLAN - UNIT COUNT (4 UNITS)**  
 1" = 40'-0"

MITHUN ARCHITECTURE INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050  
 PROJECT NUMBER: AP  
 PROJECT TITLE: CIVIC CENTER FAMILY HOUSING  
 DATE: 05/25/2022  
 SHEET: G1.07  
 GFA RESUBMISSION 2  
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**GSF - TYPE I-A**

Name	Construction Type	Area
LEVEL 01		
AREA A'	TYPE I-A	18408 SF
AREA B'	TYPE I-A	11880 SF
AREA C'	TYPE I-A	959 SF
AREA D'	TYPE I-A	370 SF
AREA E'	TYPE I-A	328 SF
		31635 SF

**GSF - TYPE III-A**

Name	Construction Type	Area
LEVEL 02		
AREA C''	TYPE III-A	11882 SF
AREA D''	TYPE III-A	13302 SF
LEVEL 03		
AREA C''	TYPE III-A	11882 SF
AREA D''	TYPE III-A	13466 SF
LEVEL 04		
AREA C''	TYPE III-A	11884 SF
AREA D''	TYPE III-A	13466 SF
LEVEL 05		
AREA C''	TYPE III-A	11882 SF
AREA D''	TYPE III-A	13374 SF
		101102 SF

**GSF - TOTAL**

Name	Construction Type	Area
AREA A'	TYPE I-A	18408 SF
AREA B'	TYPE I-A	12227 SF
AREA C'	TYPE III-A	47494 SF
AREA D'	TYPE III-A	53608 SF
		132737 SF

**GSF - SUMMARY**

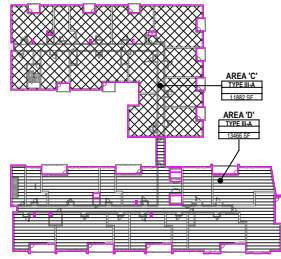
PROGRAM	GSF
BOH	4664 SF
CIRCULATION - HORIZONTAL	13314 SF
CIRCULATION - VERTICAL	3146 SF
COMMONS	5802 SF
PARKING	18338 SF
RESIDENTIAL	87460 SF
	132723 SF

**GSF - PER PROGRAM**

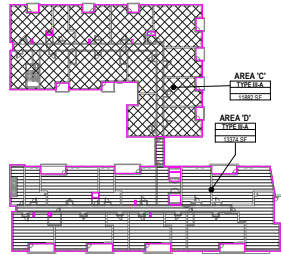
LEVEL	PROGRAM	GSF
LEVEL 01	BOH	2371 SF
LEVEL 01	CIRCULATION - HORIZONTAL	1174 SF
LEVEL 01	CIRCULATION - VERTICAL	726 SF
LEVEL 01	COMMONS	5802 SF
LEVEL 01	PARKING	18338 SF
LEVEL 01	RESIDENTIAL	3229 SF
LEVEL 02		
LEVEL 02	BOH	573 SF
LEVEL 02	CIRCULATION - HORIZONTAL	2907 SF
LEVEL 02	CIRCULATION - VERTICAL	606 SF
LEVEL 02	RESIDENTIAL	21083 SF
LEVEL 03		
LEVEL 03	BOH	572 SF
LEVEL 03	CIRCULATION - HORIZONTAL	3079 SF
LEVEL 03	CIRCULATION - VERTICAL	606 SF
LEVEL 03	RESIDENTIAL	21073 SF
LEVEL 04		
LEVEL 04	BOH	574 SF
LEVEL 04	CIRCULATION - HORIZONTAL	3079 SF
LEVEL 04	CIRCULATION - VERTICAL	606 SF
LEVEL 04	RESIDENTIAL	21071 SF
LEVEL 05		
LEVEL 05	BOH	574 SF
LEVEL 05	CIRCULATION - HORIZONTAL	3075 SF
LEVEL 05	CIRCULATION - VERTICAL	603 SF
LEVEL 05	RESIDENTIAL	21004 SF

**NOTES:**

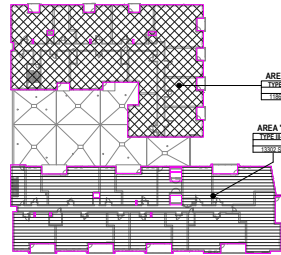
- GSF IS MEASURED TO OUTSIDE FACE OF EXTERIOR WALLS, CENTERLINE OF CORRIDOR WALLS, AND CENTERLINE OF PARTITION WALLS.
- ALL AREAS IN THE SCHEDULE ARE DESIGN DEVELOPMENT LEVEL AND APPROXIMATE IN NATURE.
- GSF DOES NOT INCLUDE COVERED EXTERIOR AREAS.



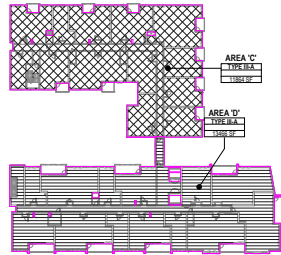
**3 LEVEL 03 - GSF AREAS**  
 1" = 40'-0"



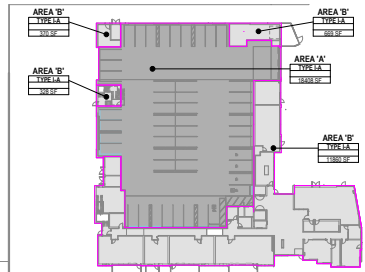
**5 LEVEL 05 - GSF AREAS**  
 1" = 40'-0"



**2 LEVEL 02 - GSF AREAS**  
 1" = 40'-0"



**4 LEVEL 04 - GSF AREAS**  
 1" = 40'-0"



**1 LEVEL 01 - GSF AREAS**  
 1" = 40'-0"

DATE: 05/25/2022  
 DRAWING: PLANNING SUBMITTAL  
 02.10.2021 1963 SCHEMATIC DESIGN  
 11.19.2021 GFA SUBMITTAL  
 11.19.2021 SOL DESIGN DEVELOPMENT  
 04.08.2022 GFA RESUBMISSION 1  
 05.05.2022 1963 SCHEMATIC DEVELOPMENT  
 05.15.2022 GFA RESUBMISSION 2

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

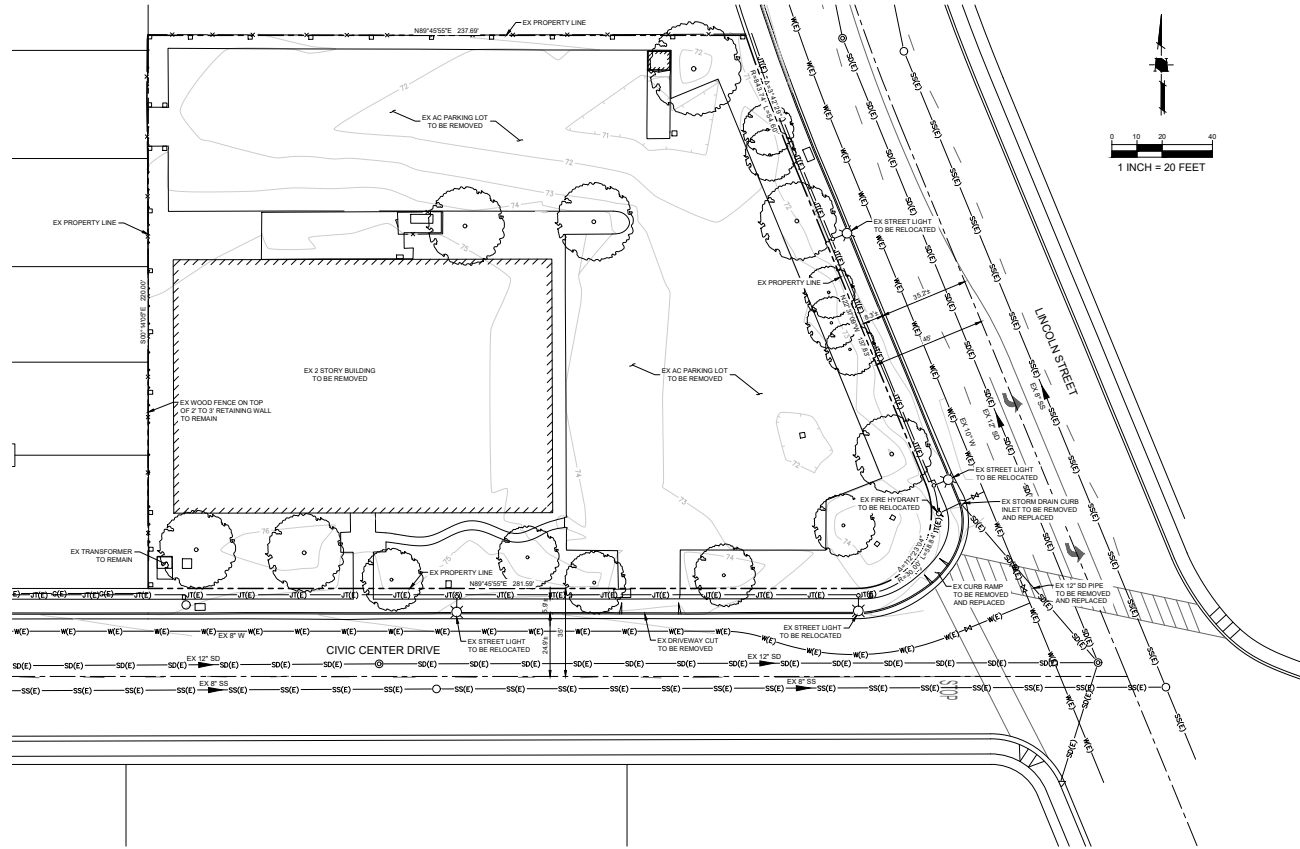
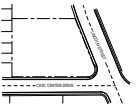
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 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1

DATE: 05/25/2022  
 DRAWING: GFA RESUBMISSION 1



**LEGEND**

PROJECT BOUNDARY	---
PROPERTY LINE	---
CENTERLINE	---
CURB AND GUTTER	---
SIDEWALK	---
DRIVEWAY	---
WHEELCHAIR RAMP	---
TREE	○
SANITARY SEWER	SS(E)
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEAN OUT	○
STORM DRAIN LINE	SD(E)
STORM DRAIN MANHOLE	⊙
STORM DRAIN CURB INLET	△
STORM DRAIN INLET	□
WATER MAIN	WE(E)
WATER VALVE	⊕
WATER METER	⊕
FIRE HYDRANT	⊕
ELECTRICIAN	⊕
PULL BOX	⊕
JOINT TRENCH	⊕
GAS	GE(E)

**NOTES**

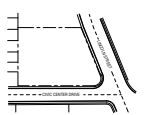
1. ALL EXISTING TREES WITHIN THE PROPERTY TO BE REMOVED.
2. EXISTING CURB, GUTTER AND ATTACHED SIDEWALK TO BE REMOVED AND REPLACED ALONG THE PROJECT FRONTAGE ON CIVIC CENTER DRIVE.
3. EXISTING CURB AND GUTTER ALONG THE PROJECT FRONTAGE ON LINCOLN STREET TO BE REMOVED AND REPLACED.
4. EXISTING ATTACHED SIDEWALK ALONG THE PROJECT FRONTAGE ON LINCOLN STREET TO BE REMOVED AND REPLACED WITH A DETACHED SIDEWALK.

DATE	DESCRIPTION
11.28.2018	PLANNING SUBMITTAL
12.13.2018	SCHEMATIC DESIGN
11.13.2019	GPA SUBMISSION 1
04.28.2020	GPA RESUBMISSION 1
05.21.2020	SCHEMATIC DESIGN
05.21.2020	GPA RESUBMISSION 2

BY	DATE	DESCRIPTION
JAM/SSD	05/25/2022	GPA RESUBMISSION 2

PROJECT NUMBER	1927400
DATE	05/25/2022
PROJECT NUMBER	C1.01
DATE	05/25/2022

PROJECT NUMBER	1927400
DATE	05/25/2022



DATE

11.18.2022	PLANNING SUBMITTAL
12.14.2021	SCHEMATIC DESIGN
11.13.2021	GPA SUBMISSION
04.28.2022	GPA RESUBMISSION 1
02.23.2022	10% DESIGN DEVELOPMENT
05.23.2021	GPA RESUBMISSION 2

NO. DATE

1408	03/23/2022	GPA RESUBMISSION 1
------	------------	--------------------

BY DATE

AP	
KB / SA	
SA / AK	

PROJECT TRANSMISSION

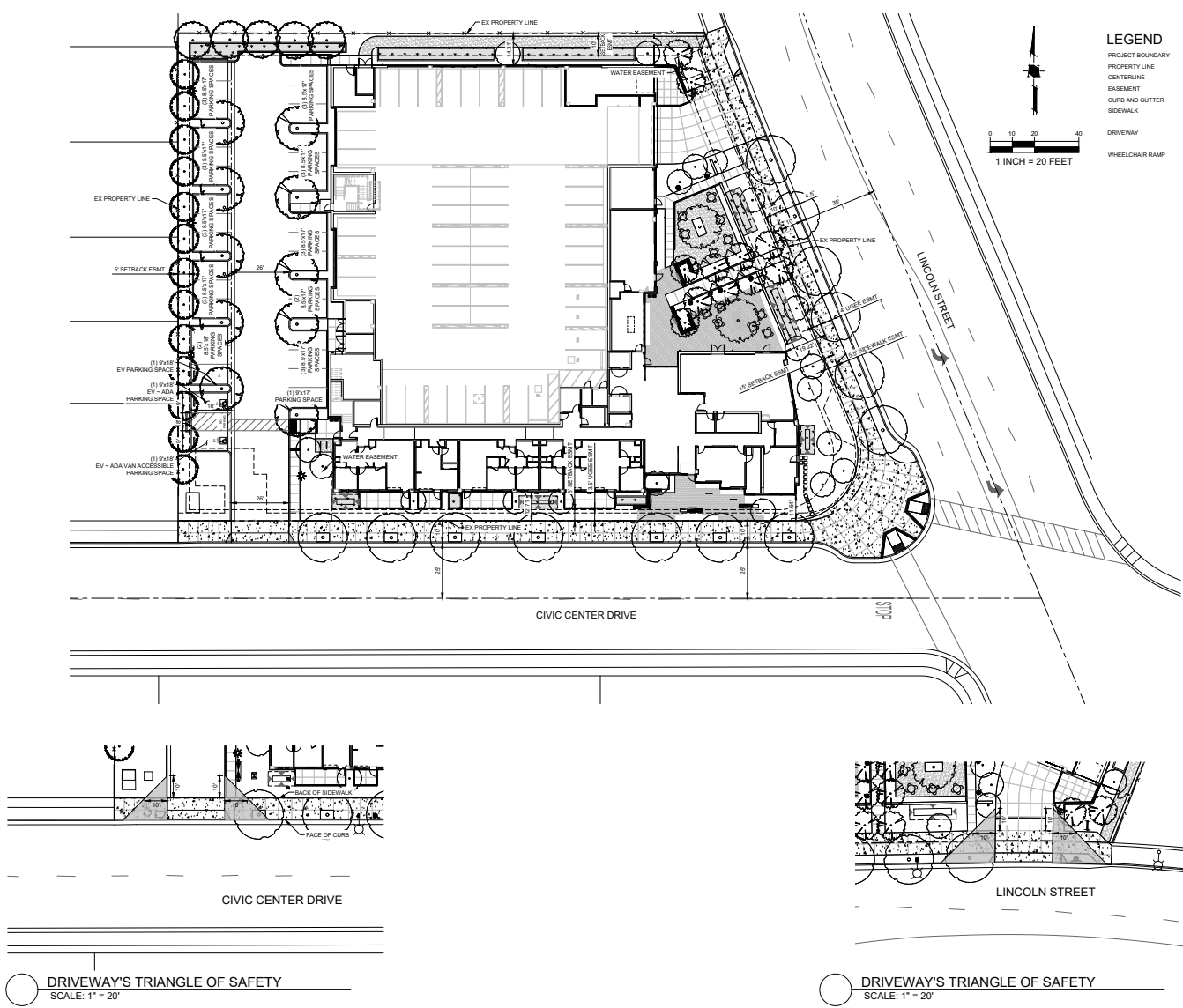
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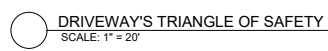
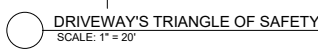
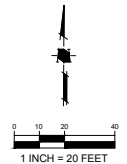
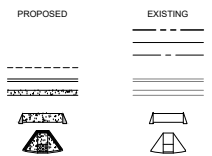
**SITE PLAN**

PROJECT NO.  
1927400  
DATE  
05/29/2022

**C1.02**  
GPA RESUBMISSION 2  
© 2019 MITHUN, INC.



**LEGEND**  
PROJECT BOUNDARY  
PROPERTY LINE  
CENTERLINE  
EASEMENT  
CURB AND GUTTER  
SIDEWALK  
DRIVEWAY  
WHEELCHAIR RAMP



DATE	DESCRIPTION
11.28.2018	FINAL SUBMITTAL
11.28.2018	FINAL SCHEMATIC DESIGN
11.28.2018	GPA SUBMITTAL
11.28.2018	PRELIMINARY DESIGN
04.28.2019	GPA RESUBMISSION 1
05.23.2019	PRELIMINARY DESIGN
05.23.2019	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
01	04.28.2019	GPA RESUBMISSION 1

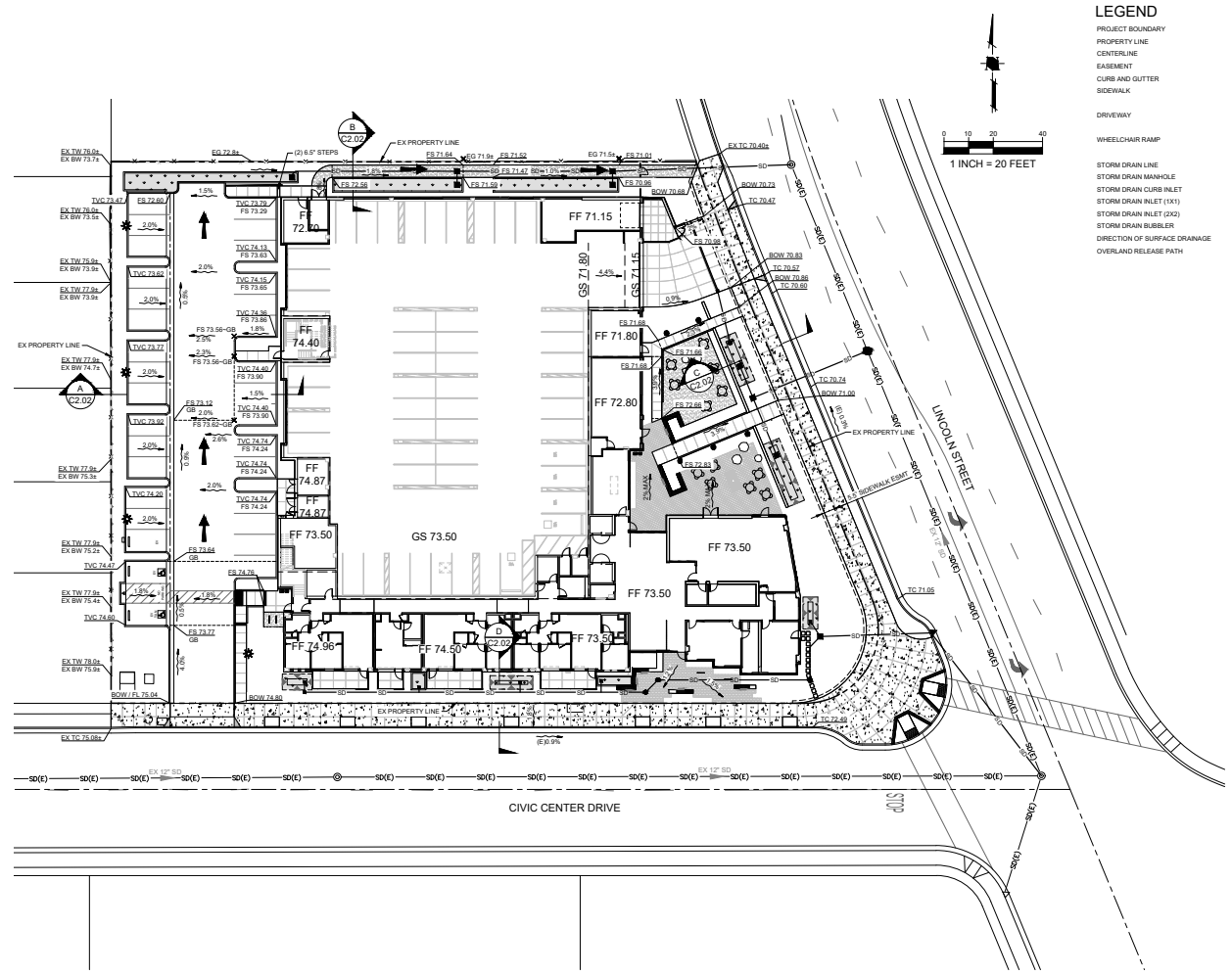
NO.	DATE	DESCRIPTION
01	04.28.2019	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.28.2019	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.28.2019	GPA RESUBMISSION 1

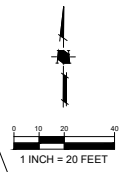
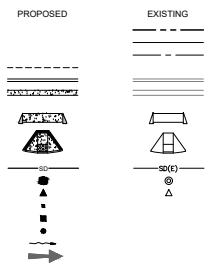
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01	04.28.2019	GPA RESUBMISSION 1

THIS  
**GRADING PLAN**  
PROJECT NO.  
1927400  
DATE  
05/29/2022



**LEGEND**

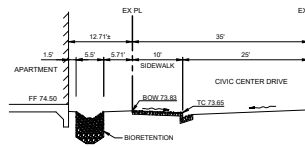
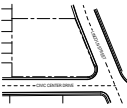
- PROJECT BOUNDARY
- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- DRIVEWAY
- WHEELCHAIR RAMP
- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (EX)
- STORM DRAIN INLET (GX)
- STORM DRAIN BUBBLER
- DIRECTION OF SURFACE DRAINAGE
- OVERLAND RELEASE PATH



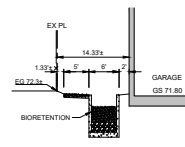
PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
LOCATION  
**1601 CIVIC CENTER DR.  
SANTA CLARA, CA  
95050**

PREPARED FOR

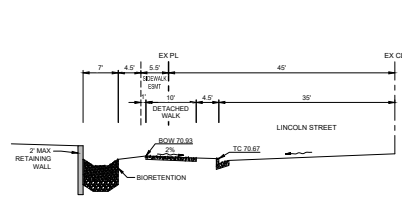
VICINITY MAP



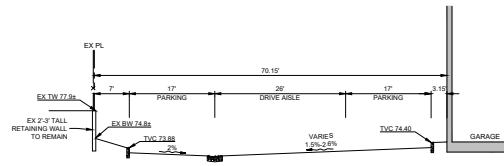
**D** SECTION NTS



**B** SECTION NTS



**C** SECTION NTS



**A** SECTION NTS

NO.	DATE	DESCRIPTION
1118-1008	11/18/2018	PLANNING SUBMITTAL
22-2021	11/22/2021	100% SCHEMATIC DEVELOPMENT
11-2021	11/23/2021	GPA SUBMISSION 1
11-2021	11/23/2021	100% DESIGN DEVELOPMENT
14-2022	04/28/2022	GPA RESUBMISSION 1
15-2022	05/19/2022	100% DESIGN DEVELOPMENT
15-2022	05/25/2022	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
14-2022	04/28/2022	GPA RESUBMISSION 1

DESIGNER:  
AP  
PROJECT TEAM:  
KB / SA  
PROJECT ARCHITECT:  
SA / AK  
PROJECT CONTRACTOR:  
DATE:



THIS  
GRADING  
SECTIONS  
PROJECT NO:  
1927400  
DATE:  
05/25/2022

**C2.02**  
GPA RESUBMISSION 2  
© 2016 MITHUN, INC.



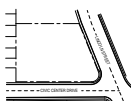


Table with 2 columns: Date and Description

LEGEND

PROJECT BOUNDARY

- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK

DRIVEWAY

WHEELCHAIR RAMP

STORM DRAIN LINE

STORM DRAIN TRENCH DRAIN

STORM DRAIN MANHOLE

STORM DRAIN CLEAN OUT

STORM DRAIN CURB INLET

STORM DRAIN INLET (1x1)

STORM DRAIN INLET (2x2)

STORM DRAIN BUBBLER BOX

SANITARY SEWER

SANITARY SEWER MANHOLE

SANITARY SEWER CLEAN OUT

WATER MAIN

FIRE WATER

WATER VALVE

FIRE HYDRANT

DOMESTIC WATER SERVICE WITH BACKFLOW PREVENTER

FIRE SERVICE WITH BACKFLOW PREVENTER

IRRIGATION SERVICE WITH BACKFLOW PREVENTER

ELECTROLIER

PULL BOX

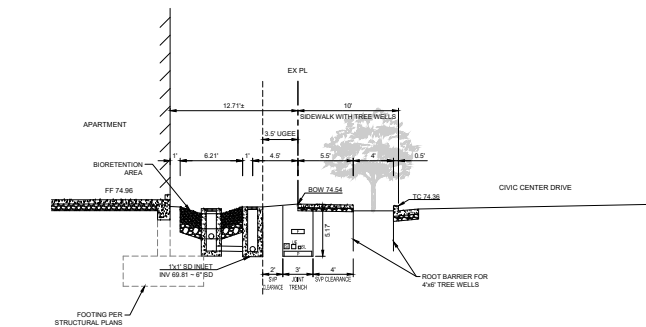
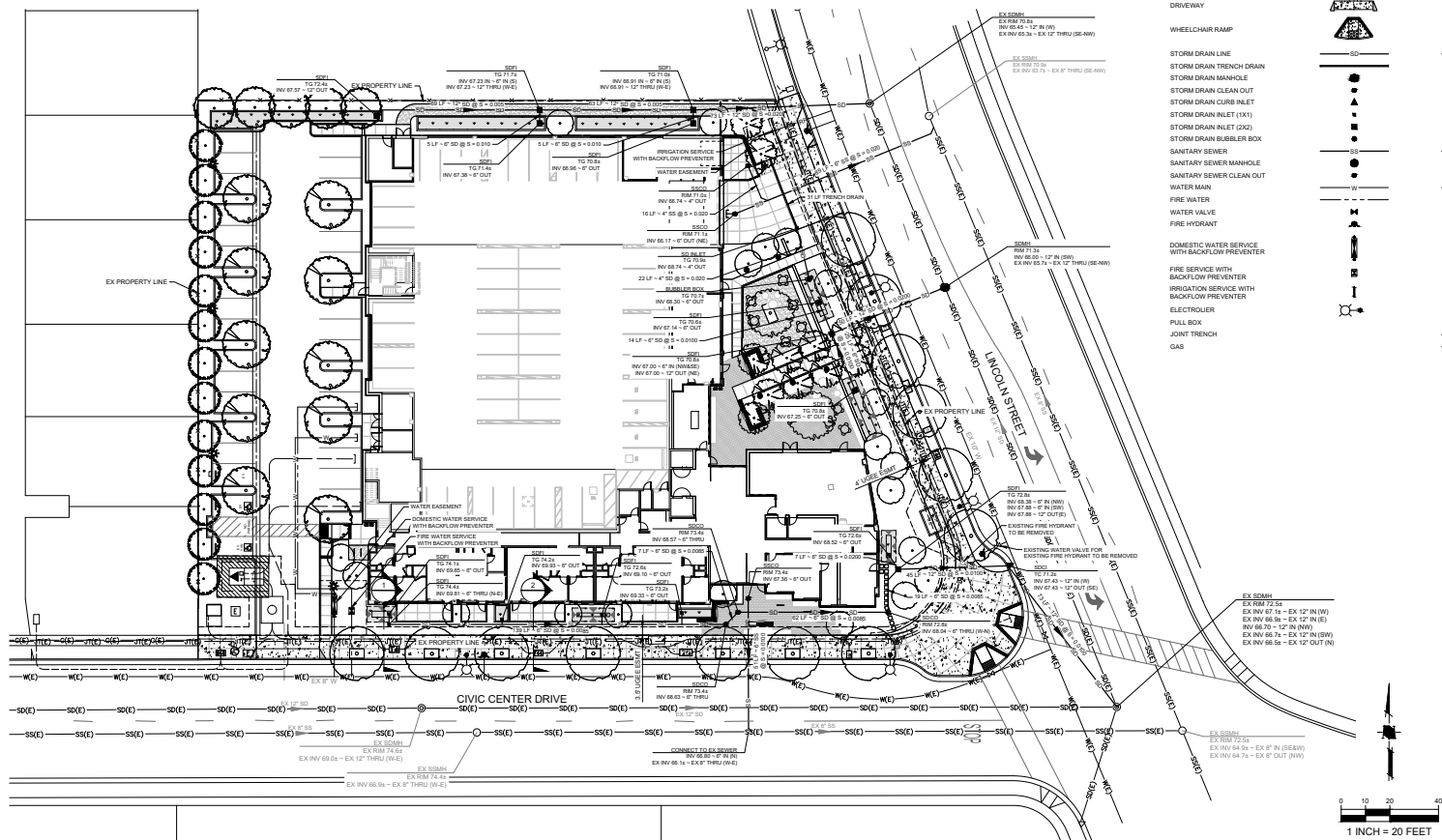
JOINT TRENCH

GAS

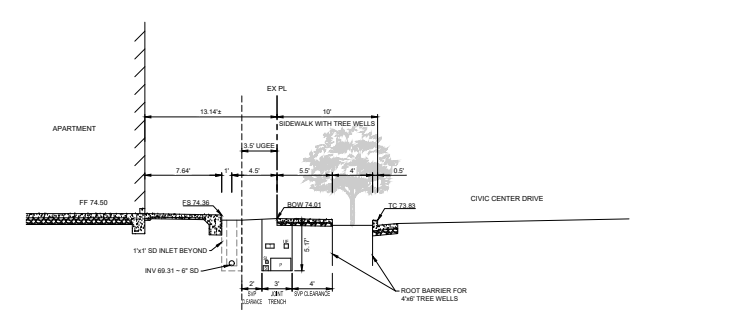
PROPOSED

EXISTING

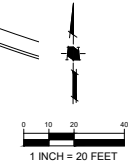
Legend symbols for proposed and existing features including lines for boundaries, easements, curbs, sidewalks, driveways, wheelchair ramps, storm drains, manholes, cleanouts, inlets, sewer, water, and fire lines, valves, hydrants, and backflow preventers.



1 SECTION SCALE: 1" = 5'



2 SECTION SCALE: 1" = 5'



UTILITY PLAN

PROJECT NUMBER: 1927400  
DATE: 05/29/2022

C3.01  
GPA RESUBMISSION 2

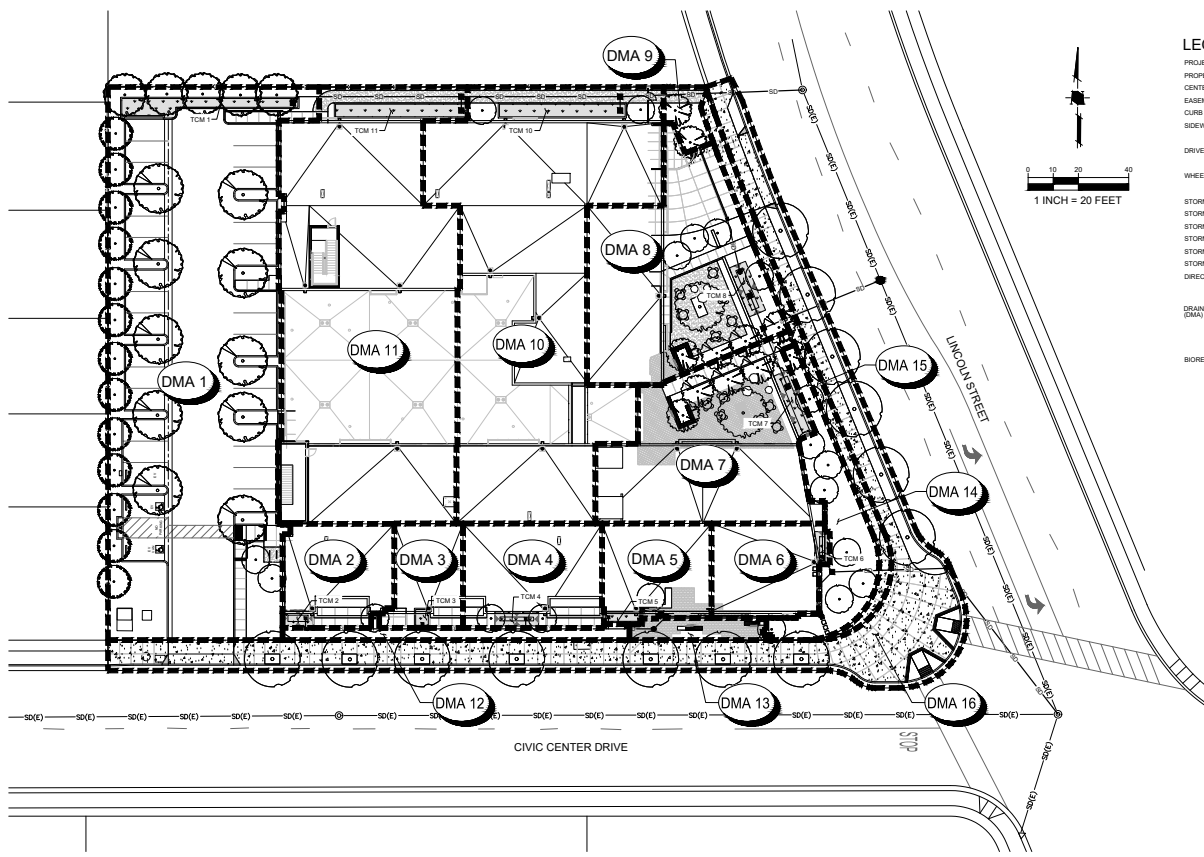
© 2018 MITHUN, INC.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	JUL 20 2021	PER ANNOUS SUBMITTAL
2	JUL 23 2021	PER SCHEMATIC DEVELOPMENT
3	AUG 13 2021	PER PERMITS DEVELOPMENT
4	AUG 20 2022	PER PERMITS DEVELOPMENT
5	AUG 23 2022	PER PERMITS DEVELOPMENT
6	AUG 23 2022	PER PERMITS DEVELOPMENT
7	AUG 23 2022	PER PERMITS DEVELOPMENT
8	AUG 23 2022	PER PERMITS DEVELOPMENT
9	AUG 23 2022	PER PERMITS DEVELOPMENT
10	AUG 23 2022	PER PERMITS DEVELOPMENT
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12	AUG 23 2022	PER PERMITS DEVELOPMENT
13	AUG 23 2022	PER PERMITS DEVELOPMENT
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15	AUG 23 2022	PER PERMITS DEVELOPMENT
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42	AUG 23 2022	PER PERMITS DEVELOPMENT
43	AUG 23 2022	PER PERMITS DEVELOPMENT
44	AUG 23 2022	PER PERMITS DEVELOPMENT
45	AUG 23 2022	PER PERMITS DEVELOPMENT
46	AUG 23 2022	PER PERMITS DEVELOPMENT
47	AUG 23 2022	PER PERMITS DEVELOPMENT
48	AUG 23 2022	PER PERMITS DEVELOPMENT
49	AUG 23 2022	PER PERMITS DEVELOPMENT
50	AUG 23 2022	PER PERMITS DEVELOPMENT

**DESIGNATION**

AP	PROJECT ARCHITECT
KB / SA	PROJECT ARCHITECT
SA / AK	PROJECT ARCHITECT
PROJECT TEAM MEMBER	
DATE	



**LEGEND**

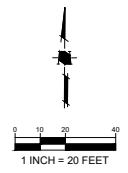
- PROJECT BOUNDARY
- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- DRIVEWAY
- WHEELCHAIR RAMP
- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (X1)
- STORM DRAIN INLET (X2)
- STORM DRAIN BUBBLER
- DIRECTION OF SURFACE DRAINAGE
- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION BASIN

**PROPOSED**

- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (X1)
- STORM DRAIN INLET (X2)
- STORM DRAIN BUBBLER
- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION BASIN

**EXISTING**

- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- DRIVEWAY
- WHEELCHAIR RAMP
- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (X1)
- STORM DRAIN INLET (X2)
- STORM DRAIN BUBBLER
- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION BASIN



**STORMWATER CONTROL PLAN**

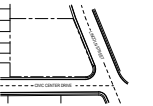
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50	05/25/2022	PERMITS DEVELOPMENT	KB	SA	SA	05/25/2022	

PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR.  
 SANTA CLARA, CA  
 95050**

PREPARED FOR



VICINITY MAP



DATE	DESCRIPTION
JULY 2011	PERMITS SUBMITTAL
JULY 2011	100% SCHEMATIC DEVELOPMENT
AUG 2011	GPA RESUBMISSION 1
JULY 2011	75% DESIGN DEVELOPMENT
AUG 2011	GPA RESUBMISSION 1
AUG 2011	100% DESIGN DEVELOPMENT
SEP 2011	GPA RESUBMISSION 1
SEP 2011	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	JULY 2011	GPA RESUBMISSION 1

REVISION NUMBER	DATE	DESCRIPTION
AP		
KJ / SA		
SA / AK		

DATE PLOTTED: 05/25/2022  
 11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

11:54 AM

PROJECT NUMBER: 1927400

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DATE: 05/25/2022

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11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

11:54 AM

PROJECT NUMBER: 1927400

DATE: 05/25/2022

Site Conditions	
Soil Type	Silt Loam (S)
Depth to Groundwater	0 - 10 ft
100 Year Flood Elevation	Zone X (Less than 1')
Receiving Water Body	San Gabriel River
Pollutants	Sediment, Grease, Oil, Heavy Metals, Hydrocarbons, Trash, Nutrients, Pesticides
Pollutant Source Areas	Roofs, Paved Parking Surfaces, Driveways, Trash Enclosures, Landscaping
Source Control Measures	Showered Intake, Covered Trash Enclosures, Covered Parking, Customer Buildings

\* Soil type and depth to groundwater information per C.S. Driscoll/Geotech/Soils, Santa Clara Valley Urban Runoff Pollution Prevention Program, April 2012. Flood elevation information per FEMA Flood Insurance Rate Maps, May 18, 2010.

### Bioretention Cell Maintenance

The following maintenance activities and schedule are based on the recommendations provided in the California Stormwater BMP Handbook - New and Redevelopment.

#### Maintenance

The primary maintenance requirement for bioretention area is that of inspection and repair or replacement of the treatment area's components. Generally, this involves nothing more than the routine periodic maintenance that is required of any landscaped area. Plants that are appropriate for the site, climatic, and watering conditions should be selected for use in the bioretention cell. Appropriately selected plants will aid in reducing fertilizer, pesticide, water, and overall maintenance requirements. Bioretention system components should be inspected over time through plant and root growth, organic decomposition, and the development of a natural soil horizon. These biological and physical processes over time will lengthen the facility's life span and reduce the need for extensive maintenance.

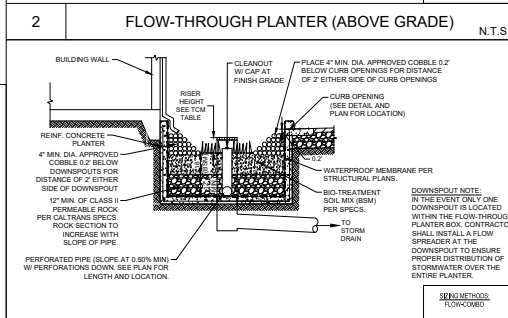
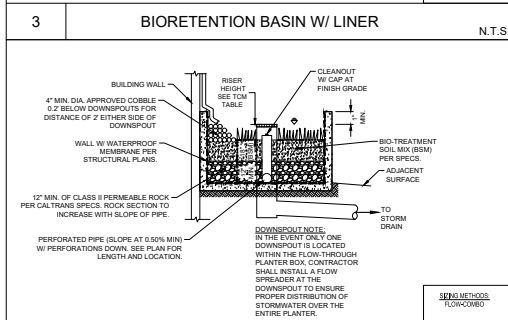
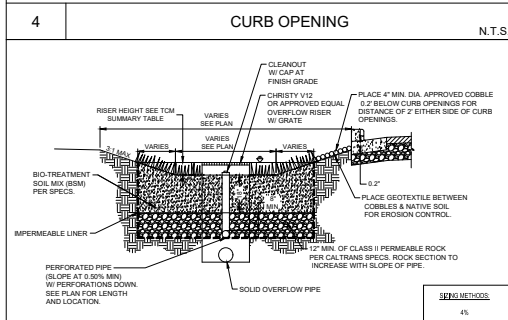
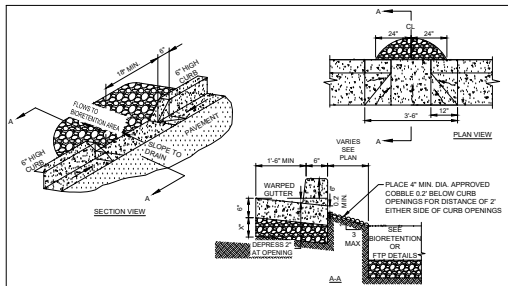
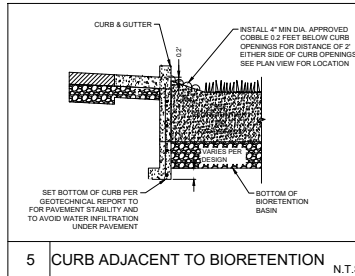
Routine maintenance should include a biannual health evaluation of the trees and shrubs and subsequent removal of any dead or diseased vegetation (EPA, 1999). Diseased vegetation should be treated as needed using preventative and low-toxic measures to the extent possible. BMPs have the potential to create very attractive habitats for mosquitoes and other vectors because of highly organic, often heavily vegetated areas mixed with shallow water. Routine inspections for areas of standing water within the BMP and corrective measures to restore proper infiltration rates are necessary to prevent creating mosquito and other vector habitat. In addition, bioretention BMPs are susceptible to invasion by aggressive plant species such as cattails, which increase the chances of water standing and subsequent vector production if not routinely maintained.

In order to maintain the treatment area's appearance it may be necessary to prune and weed. If surface mulch is specified, mulch replacement is suggested when erosion is evident or when the site begins to look unattractive. Specifically, the entire area may require mulch replacement every two to three years, although spot mulching may be sufficient when there are random void areas. Mulch replacement should be done prior to the start of the wet season.

Accumulated sediment and debris removal (especially at the inflow point) will normally be the primary maintenance function. Other potential tasks include replacement of dead vegetation, soil pH regulation, erosion repair at inflow points, mulch replenishment, unclogging the under drain, and repairing overflow structures. There is also the possibility that the cation exchange capacity of the soils in the cell will be significantly reduced over time. Depending on pollutant loads, soils may need to be replaced within 5-10 years of construction (U.S., 2000).

The following schedule provides a summary of the recommended maintenance activities:

ACTIVITY	FREQUENCY
Inspect and remove sediment and debris	Annually
Inspect and repair or replace treatment area components	Annually
Inspect and remove dead or diseased vegetation	Annually
Inspect and replace mulch	Every 2-3 years
Inspect and regulate soil pH	Annually
Inspect and unclog under drains	Annually
Inspect and repair overflow structures	Annually
Inspect and replace soils	Every 5-10 years

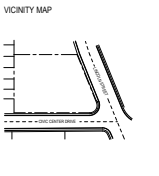


**STORMWATER CONTROL NOTES & DETAILS**  
 1927400  
 05/25/2022

**C4.02**  
 GPA RESUBMISSION 2  
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PROJECT  
 CIVIC CENTER FAMILY  
 HOUSING  
 LOCATION  
 1601 CIVIC CENTER DR.  
 SANTA CLARA, CA  
 95050

PREPARED FOR



SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # <b>10</b> Impervious Area = 11544 sq ft % Imperviousness = 72.1%
Step 2: Calculate Correction Factor	MF/age = 14.6 Correction Factor = 0.862 SD/age = 0.02 City (C) <input type="checkbox"/> Sandy Clay (Cl) <input type="checkbox"/> Clay Loam (Cl) <input type="checkbox"/> SR Loam (Lo) <input checked="" type="checkbox"/> Not Applicable (100% Impervious) <input type="checkbox"/>
Step 3: Identify the impervious surface type for the BMP	Yes, and the soil will be compacted during site preparation and grading, the soil infiltration will be decreased. Modify your estimate to a soil with a lower infiltration rate (eg. SR Loam to Clay) Modified Soil Type: <b>Clay Loam</b>
Step 4: Average slope of the site	S = 1.0%
Step 5: Determine the site storm volume	LRB Volume for 1% Slope (LRB(1%)) = 2.647E17 (Inches (See Figure B-2)) LRB Volume for 10% Slope (LRB(10%)) = 2.650E17 (Inches (See Figure B-2)) URS Volume for 1% Slope (URS(1%)) = 2.647E17 (Inches (Corrected Slope for the site)) Adjusted URS = Correction Factor (Step 2) x URS(1%) (Step 2) Adjusted URS = 2.285E17 inches
Step 6: Determine the BMP Design Volume	Design Volume = Adjusted URS (Step 5) x Coverage Area (Step 1) x 1812 inch Design Volume = 402.72 cu yd
COMBO FLOW & VOLUME BIORETENTION CALCULATION	
Step 8: Determine the Equivalent Impervious Area	Total Coverage Area = 11,305 sq ft Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Surface Infiltration = 0.32 in/hr Duration = Adjusted URS (Step 5) / Rainfall Intensity Duration = 2.367E4 hr
Step 10: Determine the Required Surface Area	Estimate the Surface Area = 250 sq ft (Typically start with Total Impervious x 0.25) Volume of Treated Surface = 250 (1812) cu ft Volume of Paving Area = 250 (1812) cu ft Depth of Paving = 1.2 inches Depth of Paving = 1.2 inches

SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # <b>10</b> Impervious Area = 11544 sq ft % Imperviousness = 72.1%
Step 2: Calculate Correction Factor	MF/age = 14.6 Correction Factor = 0.862 SD/age = 0.02 City (C) <input type="checkbox"/> Sandy Clay (Cl) <input type="checkbox"/> Clay Loam (Cl) <input type="checkbox"/> SR Loam (Lo) <input checked="" type="checkbox"/> Not Applicable (100% Impervious) <input type="checkbox"/>
Step 3: Identify the impervious surface type for the BMP	Yes, and the soil will be compacted during site preparation and grading, the soil infiltration will be decreased. Modify your estimate to a soil with a lower infiltration rate (eg. SR Loam to Clay) Modified Soil Type: <b>Clay Loam</b>
Step 4: Average slope of the site	S = 1.0%
Step 5: Determine the site storm volume	LRB Volume for 1% Slope (LRB(1%)) = 2.647E17 (Inches (See Figure B-2)) LRB Volume for 10% Slope (LRB(10%)) = 2.650E17 (Inches (See Figure B-2)) URS Volume for 1% Slope (URS(1%)) = 2.647E17 (Inches (Corrected Slope for the site)) Adjusted URS = Correction Factor (Step 2) x URS(1%) (Step 2) Adjusted URS = 2.285E17 inches
Step 6: Determine the BMP Design Volume	Design Volume = Adjusted URS (Step 5) x Coverage Area (Step 1) x 1812 inch Design Volume = 402.72 cu yd
COMBO FLOW & VOLUME BIORETENTION CALCULATION	
Step 8: Determine the Equivalent Impervious Area	Total Coverage Area = 11,305 sq ft Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Equivalent Impervious Area = 11,305 sq ft Surface Infiltration = 0.32 in/hr Duration = Adjusted URS (Step 5) / Rainfall Intensity Duration = 2.367E4 hr
Step 10: Determine the Required Surface Area	Estimate the Surface Area = 250 sq ft (Typically start with Total Impervious x 0.25) Volume of Treated Surface = 250 (1812) cu ft Volume of Paving Area = 250 (1812) cu ft Depth of Paving = 1.2 inches Depth of Paving = 1.2 inches

SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # <b>11</b> Impervious Area = 11706 sq ft % Imperviousness = 81.2%
Step 2: Calculate Correction Factor	MF/age = 14.6 Correction Factor = 0.862 SD/age = 0.02 City (C) <input type="checkbox"/> Sandy Clay (Cl) <input type="checkbox"/> Clay Loam (Cl) <input type="checkbox"/> SR Loam (Lo) <input checked="" type="checkbox"/> Not Applicable (100% Impervious) <input type="checkbox"/>
Step 3: Identify the impervious surface type for the BMP	Yes, and the soil will be compacted during site preparation and grading, the soil infiltration will be decreased. Modify your estimate to a soil with a lower infiltration rate (eg. SR Loam to Clay) Modified Soil Type: <b>Clay Loam</b>
Step 4: Average slope of the site	S = 1.0%
Step 5: Determine the site storm volume	LRB Volume for 1% Slope (LRB(1%)) = 2.647E17 (Inches (See Figure B-2)) LRB Volume for 10% Slope (LRB(10%)) = 2.650E17 (Inches (See Figure B-2)) URS Volume for 1% Slope (URS(1%)) = 2.647E17 (Inches (Corrected Slope for the site)) Adjusted URS = Correction Factor (Step 2) x URS(1%) (Step 2) Adjusted URS = 2.285E17 inches
Step 6: Determine the BMP Design Volume	Design Volume = Adjusted URS (Step 5) x Coverage Area (Step 1) x 1812 inch Design Volume = 402.72 cu yd
COMBO FLOW & VOLUME BIORETENTION CALCULATION	
Step 8: Determine the Equivalent Impervious Area	Total Coverage Area = 11,305 sq ft Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Surface Infiltration = 0.32 in/hr Duration = Adjusted URS (Step 5) / Rainfall Intensity Duration = 2.367E4 hr
Step 10: Determine the Required Surface Area	Estimate the Surface Area = 250 sq ft (Typically start with Total Impervious x 0.25) Volume of Treated Surface = 250 (1812) cu ft Volume of Paving Area = 250 (1812) cu ft Depth of Paving = 1.2 inches Depth of Paving = 1.2 inches

SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # <b>11</b> Impervious Area = 11706 sq ft % Imperviousness = 81.2%
Step 2: Calculate Correction Factor	MF/age = 14.6 Correction Factor = 0.862 SD/age = 0.02 City (C) <input type="checkbox"/> Sandy Clay (Cl) <input type="checkbox"/> Clay Loam (Cl) <input type="checkbox"/> SR Loam (Lo) <input checked="" type="checkbox"/> Not Applicable (100% Impervious) <input type="checkbox"/>
Step 3: Identify the impervious surface type for the BMP	Yes, and the soil will be compacted during site preparation and grading, the soil infiltration will be decreased. Modify your estimate to a soil with a lower infiltration rate (eg. SR Loam to Clay) Modified Soil Type: <b>Clay Loam</b>
Step 4: Average slope of the site	S = 1.0%
Step 5: Determine the site storm volume	LRB Volume for 1% Slope (LRB(1%)) = 2.647E17 (Inches (See Figure B-2)) LRB Volume for 10% Slope (LRB(10%)) = 2.650E17 (Inches (See Figure B-2)) URS Volume for 1% Slope (URS(1%)) = 2.647E17 (Inches (Corrected Slope for the site)) Adjusted URS = Correction Factor (Step 2) x URS(1%) (Step 2) Adjusted URS = 2.285E17 inches
Step 6: Determine the BMP Design Volume	Design Volume = Adjusted URS (Step 5) x Coverage Area (Step 1) x 1812 inch Design Volume = 402.72 cu yd
COMBO FLOW & VOLUME BIORETENTION CALCULATION	
Step 8: Determine the Equivalent Impervious Area	Total Coverage Area = 11,305 sq ft Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Equivalent Impervious Area = 11,706 sq ft Surface Infiltration = 0.32 in/hr Duration = Adjusted URS (Step 5) / Rainfall Intensity Duration = 2.367E4 hr
Step 10: Determine the Required Surface Area	Estimate the Surface Area = 250 sq ft (Typically start with Total Impervious x 0.25) Volume of Treated Surface = 250 (1812) cu ft Volume of Paving Area = 250 (1812) cu ft Depth of Paving = 1.2 inches Depth of Paving = 1.2 inches

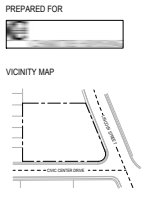
SIZING FOR VOLUME BASED TREATMENT	
Step 1: Drainage Area and % Impervious	DMA # <b>9</b> Impervious Area = 10524 sq ft % Imperviousness = 87.8%
Step 2: Calculate Correction Factor	MF/age = 14.6 Correction Factor = 0.862 SD/age = 0.02 City (C) <input type="checkbox"/> Sandy Clay (Cl) <input type="checkbox"/> Clay Loam (Cl) <input type="checkbox"/> SR Loam (Lo) <input checked="" type="checkbox"/> Not Applicable (100% Impervious) <input type="checkbox"/>
Step 3: Identify the impervious surface type for the BMP	Yes, and the soil will be compacted during site preparation and grading, the soil infiltration will be decreased. Modify your estimate to a soil with a lower infiltration rate (eg. SR Loam to Clay) Modified Soil Type: <b>Clay Loam</b>
Step 4: Average slope of the site	S = 1.0%
Step 5: Determine the site storm volume	LRB Volume for 1% Slope (LRB(1%)) = 2.647E17 (Inches (See Figure B-2)) LRB Volume for 10% Slope (LRB(10%)) = 2.650E17 (Inches (See Figure B-2)) URS Volume for 1% Slope (URS(1%)) = 2.647E17 (Inches (Corrected Slope for the site)) Adjusted URS = Correction Factor (Step 2) x URS(1%) (Step 2) Adjusted URS = 2.285E17 inches
Step 6: Determine the BMP Design Volume	Design Volume = Adjusted URS (Step 5) x Coverage Area (Step 1) x 1812 inch Design Volume = 402.72 cu yd
COMBO FLOW & VOLUME BIORETENTION CALCULATION	
Step 8: Determine the Equivalent Impervious Area	Total Coverage Area = 11,305 sq ft Impervious Area = 10,524 sq ft Equivalent Impervious Area = 10,524 sq ft Equivalent Impervious Area = 10,524 sq ft Equivalent Impervious Area = 10,524 sq ft Surface Infiltration = 0.32 in/hr Duration = Adjusted URS (Step 5) / Rainfall Intensity Duration = 2.367E4 hr
Step 10: Determine the Required Surface Area	Estimate the Surface Area = 250 sq ft (Typically start with Total Impervious x 0.25) Volume of Treated Surface = 250 (1812) cu ft Volume of Paving Area = 250 (1812) cu ft Depth of Paving = 1.2 inches Depth of Paving = 1.2 inches

DATE	REVISION	BY	APP. BY
03.18.2021	PRELIMINARY SUBMITTAL	SA	AP
04.16.2021	FINAL SUBMITTAL	SA	AP
05.20.2021	FOR DESIGN DEVELOPMENT	SA	AP
06.09.2021	GPA RESUBMISSION 1	SA	AP
08.26.2021	PER COMMENTS DEVELOPMENT	SA	AP
08.26.2021	GPA RESUBMISSION 2	SA	AP
09.10.2021	GPA RESUBMISSION 3	SA	AP
10.22.2021	GPA RESUBMISSION 4	SA	AP
11.02.2021	GPA RESUBMISSION 5	SA	AP
12.01.2021	GPA RESUBMISSION 6	SA	AP
01.14.2022	GPA RESUBMISSION 7	SA	AP
01.14.2022	GPA RESUBMISSION 8	SA	AP



1924400  
 09/25/2022

C4.03  
 GPA RESUBMISSION 2  
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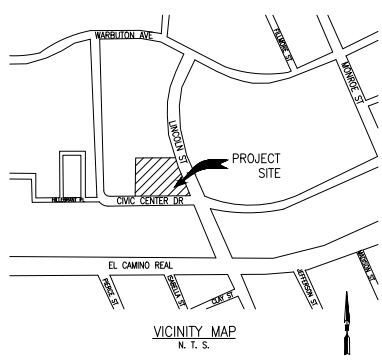


Revision table with columns for date, description, and author. Includes entries for planning submittal, 100% schematic design, 90% design development, 90% design development, and 100% design development.

Approval table with columns for date, description, and author. Includes entries for OPA REVISIONS 1 and OPA REVISIONS 2.

Approval table with columns for date, description, and author. Includes entries for AP, HB/SA, and HAI/AK.

Approval table with columns for date, description, and author. Includes entries for CIVIL REVIEW, PERK, METAL, DRN, COMPRISE, and PRE-GM.



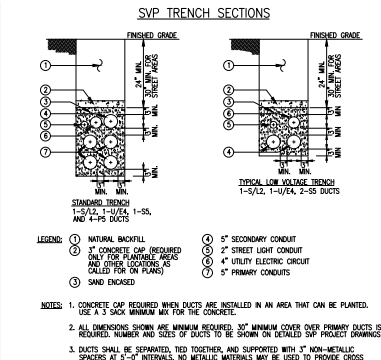
WORK RESPONSIBILITY JOINT TRENCH

Legend for Work Responsibility Joint Trench. Lists items like Trenching, Gas Material, Electric Cable, Electric Conduit, Electric Boxes, Electric Transformer Pads, Electric Switchgear & Transformer, Telephone Conduit, Telephone Cable, Telephone Splice Boxes, C.A.T.V. Conduit, C.A.T.V. Splice Boxes, C.I.E.C. Fiber Conduit, and C.I.E.C. Fiber Splice Boxes. Includes a note about S&S designating work to be performed by the respective contractor or utility companies.

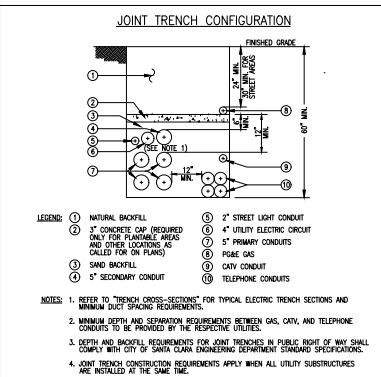
THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

Table listing related plans and their dates. Includes CIVIL IMPROVEMENT PLANS/GRADING PLANS (10-20-2022), ARCHITECTURAL/ELECTRICAL FILE (05-23-2022), S&S DESIGN (ELECTRICAL) (05-23-2022), and LANDSCAPE LIGHT LOCATIONS (05-26-2022).

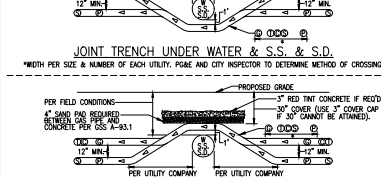
VISION UTILITY PARTNERS is not responsible for any unanticipated changes or performance of other utilities shown are approximate and based on field survey and available utility information. It is the contractor's responsibility to verify the actual location and extent of utilities prior to trenching. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CALIFORNIA CONSTRUCTION SAFETY ORDERS.



JOINT TRENCH CONFIGURATION



JOINT TRENCH UNDER WATER & S.S. & S.D.



JOINT TRENCH OVER WATER & S.S. & S.D.

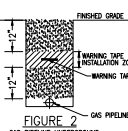
NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY P&GE INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY P&GE SENIOR GAS ENGINEER.

GENERAL NOTES:

- 1. THE PREPARED TRENCH LOCATION IS IN A PUBLIC UTILITY DEDICATION (P.U.D.).
2. ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
3. COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE, AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL NOTES 12B AND 12C. ALL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE TRENCHING AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO THE TRENCHING AND BACKFILLING.
4. TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON UTILITY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES PROPER SEPARATION BETWEEN UTILITIES AND COMPANY DRY FACILITIES.
5. NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., SEPARATION CONTROL LINES, BULKING PER ALARM SYSTEMS, PRIVATE TELEPHONE, OUTDOOR ELECTRICAL, CABLE, ETC.
6. WHEN COMMUNICATION DUCTS ARE INSTALLED, A MINIMUM OF 12" RADIAL SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES. EXCEPT WITH THE MATERIAL, WHEN A 4" DIA. OR SMALLER GAS PIPE IS INSTALLED, THE TRENCH SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" INCHES.
7. PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
8. MAINTAIN PROPER SEPARATION BETWEEN P&GE FACILITIES AND "NET" UTILITY LINES AS DESCRIBED IN US STANDARD SPECIFICATIONS FOR THE MINIMUM ALLOWED SEPARATION BETWEEN COMPANY FACILITIES AND "NET" FACILITIES 6" WITH A MINIMUM 1" OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. IF A 1" SEPARATION SEPARATION CANNOT BE ATTAINED, SEPARATIONS OF 1/2" OR LESS ARE NOT PERMISSIBLE AND WILL BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3" SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
- BE MADE IN WRITING AND SUBMITTED TO THE COMPANY ADE DURING THE PLANNING AND DESIGN PHASE OF THE PROJECT.
- CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
- INCLUDE A PROPOSED DESIGN AND INCLUDE A DESIGN FOR A BARRIER BETWEEN "NET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1" OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NET DRAIN LINES CONNECTED TO COMPACTION OR REINFORCEMENT SHALL BE MAINTAINED AT THE STANDARD OF THIS STANDARD.
9. SEPARATIONS SHALL BE MAINTAINED AT ADEQUATE TOLERANCE POINTS.
10. PROCEDURES FOR APPROXIMATING NATIVE BACKFILL FOR SHADING OF P&GE GAS FACILITIES:
- RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH 1/2" SIEVE AND 70% MUST PASS THROUGH #4 SIEVE. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE P&GE.
- SEPARATIONS SHALL BE MAINTAINED AT ADEQUATE TOLERANCE POINTS.
- THE SOILS MUST NOT CONTAIN CLAYS LARGER THAN 1/2" TO BE USED AS SHADING, BEDDING, OR LEVELING MATERIALS.
- COMPACTOR REQUIREMENTS MUST MEET ANY APPLICABLE P&GE, FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS. THE SIZES AND SCREENS SHALL BE:
 - #4 SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
 - #10 SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
11. FOR SVP ELECTRIC SUBSTRUCTURE BACKFILL REQUIREMENTS, SEE SVP STANDARD DOCUMENT US-034S.
12. COMPACT NATIVE SOILS ARE PREPARED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH. EXCEPT WHERE SHOWN OTHERWISE, SANDS ARE TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF GAS FACILITIES.
- IF A LIVING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS SOILS ARE NOT AVAILABLE, APPROXIMATELY 1/2" MINUS SOILS SHALL BE USED.
- IF A LIVING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS SOILS ARE NOT AVAILABLE, APPROXIMATELY 1/2" MINUS SOILS SHALL BE USED.
- THE MINIMUM GAS APPROXIMATE BEING MATERIAL MAY BE INCREASED AT THE DISCRETION OF THE P&GE WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G. ROCKY SOILS, HARD PAN, ETC.).
- THE USE OF ANY MATERIALS OTHER THAN NATIVE SOILS SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
13. THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPILL AND ASSOCIATED COSTS.
14. SERVICE SHIELDS ARE THE PREFERRED SERVICE SETTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PROJECTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SHIELDS. HOWEVER, SERVICE TEES MAY BE USED IF ALL COMPACTION, SEPARATION, AND COVER REQUIREMENTS ARE MAINTAINED.
15. CONTRACTOR TO INCREASE GAS METER SPACING AS NECESSARY WHEN SERVICE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. SERVICE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF THE STANDARD UTILITY SPACING REQUIREMENTS. THIS INFORMATION CAN BE FOUND ON ELECTRICAL MECHANICAL ENGINEER'S PLANS. P&GE STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES.

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- 1. A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION AFTER GAS PIPING IS BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THE INCLUDED TRENCHES, BELL HOLES, EXHAUSTION FOR REPAIR PURPOSES AND REPAIR REPLACEMENTS. THE WARNING TAPE IS PROVIDED FOR EDUCATION AND TO STRENGTHEN THE WARNING TAPE PRIOR TO THE PRELAYS. WHEN THE WARNING TAPE IS PROVIDED FOR EDUCATION AND TO STRENGTHEN THE WARNING TAPE PRIOR TO THE PRELAYS. WHEN THE WARNING TAPE IS PROVIDED FOR EDUCATION AND TO STRENGTHEN THE WARNING TAPE PRIOR TO THE PRELAYS.
2. INSTALL 4" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" FROM THE GAS PIPELINE AND 12" FROM THE TRENCH WALLS. THE WARNING TAPE SHOULD PROVIDE THE GREATEST DISTANCE BETWEEN THE PIPELINE AND THE TRENCH WALLS. THE WARNING TAPE SHOULD BE INSTALLED IN A MANNER THAT ENSURES PROPER SEPARATION BETWEEN UTILITIES AND COMPANY DRY FACILITIES.
3. WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION GAS PIPELINE UNDERGROUND" OR MARKED WITH A SIMILAR NOTIFICATION.
4. WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.



TYPICAL GAS METER REQUIREMENTS\*

Table with columns: METER TYPE, LOAD (GPM), DELIVERY PRESSURE (PSIG), PAD SIZE (INCHES), MIN. WIDTH (INCHES), MIN. REQUIRED DISTANCE FROM REZER (INCHES), MIN. HOUSING CLEAR (INCHES). Rows include Residential, Commercial, Industrial, and Utility meters with various specifications.

P&GE PM'S/GAS:

TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO P&GE AND SVP. YOU ARE REQUIRED TO CONTACT THE LOCAL P&GE AND SVP ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVER LESS THAN 10' UNLESS APPROVED BY P&GE SENIOR GAS ENGINEER. TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO P&GE AND SVP. YOU ARE REQUIRED TO CONTACT THE LOCAL P&GE AND SVP ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVER LESS THAN 10' UNLESS APPROVED BY P&GE SENIOR GAS ENGINEER.

DESIGN CHANGE COMPONENT

ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY P&GE GAS ADE PHONE NUMBER

CONSTRUCTION NOTES:

- 1. ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH P&GE US STANDARD SPECIFICATIONS (EFFECTIVE DATE 7-5-2006) AND SUCION VALLEY POWER STANDARD DOCUMENT US-1000.
2. ALL WORK MUST COMPLY WITH P&GE SVP TELEPHONE CITY STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESIDENTIAL INSPECTORS. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A #4 SIEVE AND 70% MUST PASS THROUGH A #10 SIEVE. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE TAKEN AT THE DISCRETION OF THE P&GE/SVP REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY COMPRESS OR ABRADE THE SOILS. SOILS MUST NOT CONTAIN CLAYS LARGER THAN 1/2" TO BE USED AS SHADING, BEDDING OR LEVELING MATERIALS. COMPACTOR REQUIREMENTS MUST MEET ANY APPLICABLE P&GE, FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY WAIVER SOLE OF WORKING MATERIALS USED MUST NOT EXCEED THOSE DETAILS.
3. BACKFILL SHALL BE APPROVED BY THE TRENCHING CONTRACTOR AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
4. IF SOIL IS NOT FREE FLOW, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
5. VERIFY SPURCE BOX DIMENSIONS SIZES WITH SUPPLIERS.
6. THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
7. CONTRACTOR SHALL MAKE SURE FACILITY WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
8. IF IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES, NO EXTRA PAYMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
9. VISION UTILITY PARTNERS ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY P&GE SVP TELEPHONE, CITY, IMPROVEMENT PLANS AND THE CITY'S "WIDOWS" 745 BUILT INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
10. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH OSHA, INDUSTRIAL SAFETY ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SPAN THE APPROPRIATE MAIN POWER PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
11. CONTRACTOR SHALL PROTECT CONSTRUCTION STAGING. HE SHALL COORDINATE STAGING WITH THE PROJECT'S CIVIL ENGINEER.
12. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK.
13. CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
14. THE PLAN IS TO BE USED FOR SOLE PURPOSE OF DESIGNING THE JOINT TRENCH. SEE P&GE SVP TELEPHONE, AND CITY PLANS FOR SOIL SIZE AND NUMBER OF CONDUITS INSTALLED IN THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CORRECT NUMBER, SIZE AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
15. NOTE PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS. IF PLAN PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
16. WATER, SEWER, RAINFALL, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, SPRINKLER, IRRIGATION, STEAM AND OTHER "NET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST EXTERIOR SURFACE OF GAS AND SVP FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL BARRIER) BETWEEN THE ADJACENT SIDES OF THE INDIVIDUAL TRENCHES.
17. IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "NET" UTILITIES AND COMPANY DRY FACILITIES, A WAIVER MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
18. THE JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHIC SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. DEPTH UTILITY PROPERTY RECORDS REQUIREMENTS THAT ALL UTILITIES BE PROBABLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.
19. THE JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHIC SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. DEPTH UTILITY PROPERTY RECORDS REQUIREMENTS THAT ALL UTILITIES BE PROBABLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.

Substructure Verification Stamp form. Includes fields for Developer, Please Note and Sign, and a table for Utility Approvals.

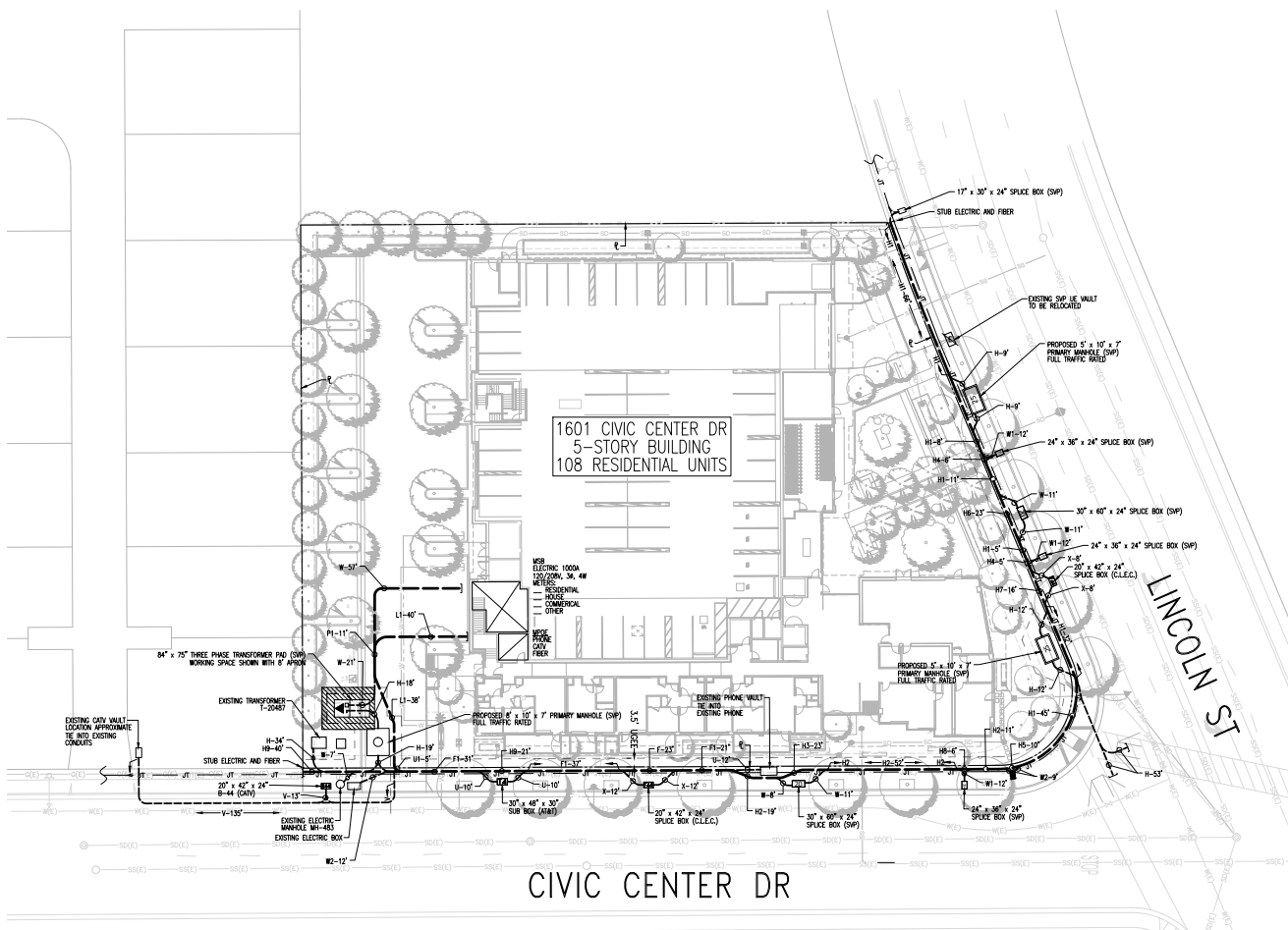
Table for Utility Approvals. Columns: Utility, Approved By, Date. Includes rows for SVP Electric, P&GE Gas, AT&T (Phone), Comcast (Cable), and City Engineer.

DEVELOPER: CHARITIES HOUSING 1400 PARKMOOR AVE SAN JOSE, CA 95126 HAI NGUYEN T: 408-550-8314 E: HNGUYEN@CHARITIESHOUSING.ORG

SHEET INDEX

- JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH COMPOSITE
JT-3 JOINT TRENCH SECTIONS

-PRELIMINARY-  
NOT FOR CONSTRUCTION



**NOTE TO CONTRACTOR:**  
FOR CONTRACTOR'S WORK RESPONSIBILITY,  
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

**LEGEND**

- 84' x 75' THREE PHASE TRANSFORMER PAD (SVP)  
WORKING SPACE SHOWN WITH 8' APRON
- PROPOSED 8' x 10' x 7' PRIMARY MANHOLE (SVP)  
FULL TRAFFIC RATED
- PROPOSED 5' x 10' x 7' PRIMARY MANHOLE (SVP)  
FULL TRAFFIC RATED
- PROPOSED 30' x 60' x 24' SPLICE BOX (SVP)
- PROPOSED 24' x 36' x 24' SPLICE BOX (SVP)
- PROPOSED 17' x 30' x 24' SPLICE BOX (SVP)
- PROPOSED 30' x 48' x 30' SUB BOX (AT&T)
- PROPOSED 20' x 42' x 24' B-44 (CATV)
- PROPOSED 20' x 42' x 24' SPLICE BOX (C.L.E.C.)
- JT — EXISTING JOINT TRENCH
- G — EXISTING GAS LINE
- EM — EXISTING ELECTRIC MANHOLE
- V — EXISTING SVP VAULT TO BE RELOCATED

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A  
LICENSED SURVEYOR PRIOR TO CONSTRUCTION.  
SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE  
SHEET (JT-1) REGARDING EXISTING CONDITIONS.

PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
LOCATION  
**1601 CIVIC CENTER DR.  
SANTA CLARA, CA  
95050**

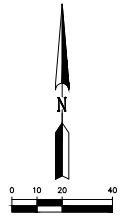
PREPARED FOR



DATE	DESCRIPTION
12.08.2020	PLANNING SUBMITTAL
03.23.2021	100% SCHEMATIC DESIGN
03.23.2021	OPA REVISIONS
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	OPA REVISIONS
05.09.2022	100% DESIGN DEVELOPMENT
05.25.2022	OPA REVISIONS

NO.	DATE	REVISION
1.	04.08.2022	OPA REVISIONS



**SHEET INDEX**

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH COMPOSITE
JT-3	JOINT TRENCH SECTIONS

JOINT TRENCH COMPOSITE

PROJECT NUMBER  
21-086

DATE  
05/25/2022

**JT-2**  
DESIGN DEVELOPMENT

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DATE

12.08.2020	PLANNING SUBMITTAL
03.23.2021	100% SCHEMATIC DESIGN
07.20.2021	OPA SUBMITTAL
11.19.2021	90% DESIGN DEVELOPMENT
04.08.2022	OPA REVISION NUMBER 1
05.09.2022	100% DESIGN DEVELOPMENT
05.25.2022	OPA REVISION NUMBER 2

DATE

1	04.08.2022	OPA REVISION NUMBER 1
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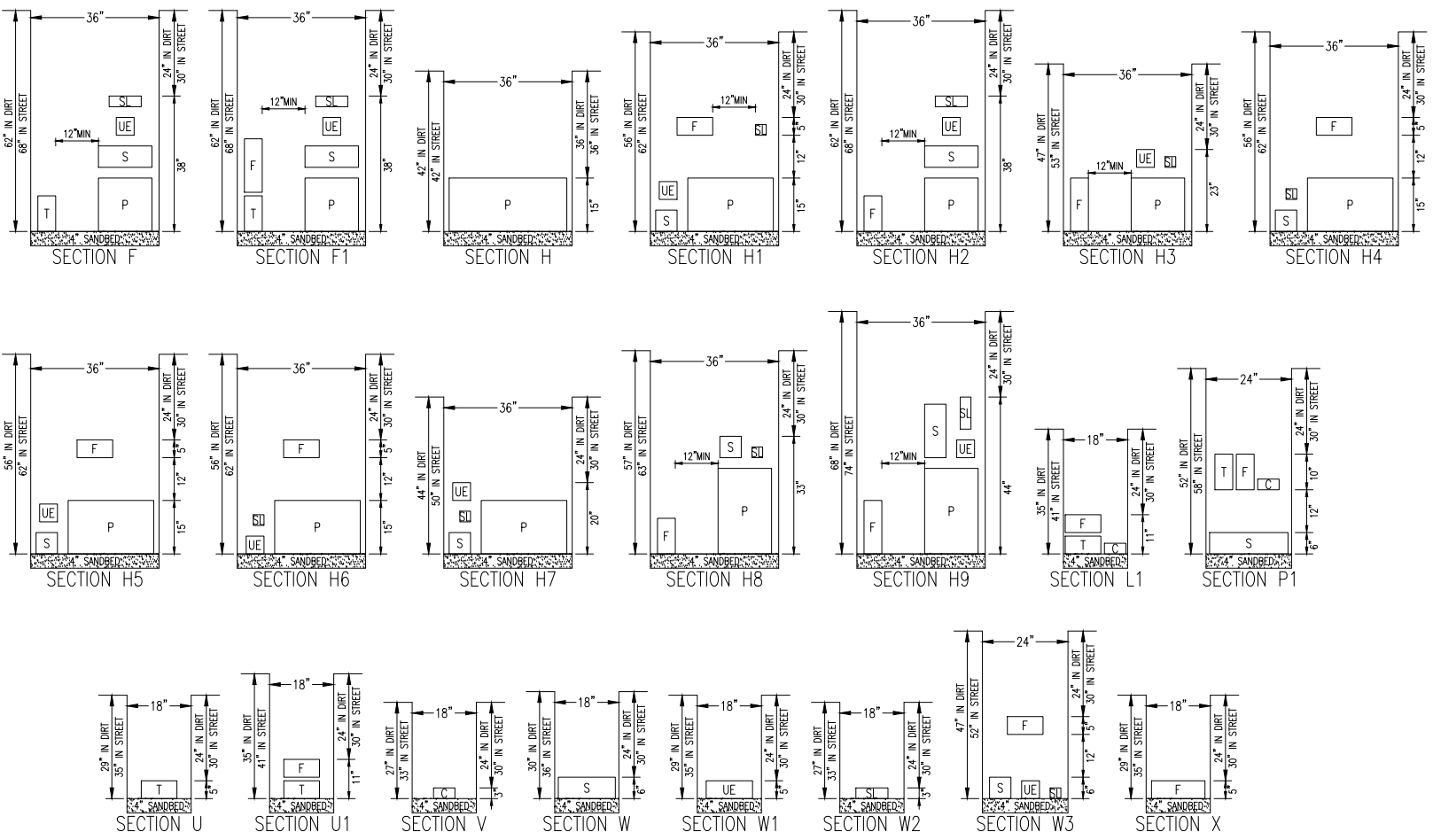
DATE

1	05/25/2022
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DATE

1	05/25/2022
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**-PRELIMINARY-  
NOT FOR CONSTRUCTION**



**TRENCH OCCUPANCY GUIDE**

SECTION	G	C	S	P	OTHER
A	X	X	X	X	X
B	X	X	X	X	X
C	X	X	X	X	X
D	X	X	X	X	X
E	X	X	X	X	X
F	X	X	X	X	X
G	X	X	X	X	X
H	X	X	X	X	X
I	X	X	X	X	X
J	X	X	X	X	X
K	X	X	X	X	X
L	X	X	X	X	X
M	X	X	X	X	X
N	X	X	X	X	X
O	X	X	X	X	X
P	X	X	X	X	X
Q	X	X	X	X	X
R	X	X	X	X	X
S	X	X	X	X	X
T	X	X	X	X	X
U	X	X	X	X	X
V	X	X	X	X	X
W	X	X	X	X	X
X	X	X	X	X	X
Y	X	X	X	X	X
Z	X	X	X	X	X

\*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

**CONTRACTOR NOTES:**

1. THE SYMBOLS [P] [S] [UE] [T] [C] [F] [C] [E] [G] [E] [O] [E] INDICATE OCCUPANCY ONLY. SEE ELECTRIC, GAS, CATV, TELEPHONE, AND FIBER OPTIC PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS.
2. THIS PLAN IS TO BE USED AS A GUIDE FOR TRENCHING WIDTH AND DEPTH AND NOT CONDUIT INSTALLATION.
3. CONTRACTOR TO INCLUDE INCIDENTAL TRENCHING IN SPICE BOX, VAULT, OR TRANSFORMER EXCAVATION IN AREAS WHERE NO ENTRANCE OR EXIT OF TRENCH IS SHOWN.
4. UTILITY COMPANIES RESERVE THE RIGHT TO MAKE FIELD ADJUSTMENTS AS NECESSARY.

**SOILS NOTES:**

1. VIZION UTILITY PARTNERS IS NOT RESPONSIBLE FOR ANY SOILS ENGINEERING TO DETERMINE THE ABILITY TO CONSTRUCT OR THE PROJECT CONDITIONS.
2. VIZION UTILITY PARTNERS ASSUMES NO RESPONSIBILITY FOR ADDITIONAL WORK DUE TO ADVERSE JOB SITE CONDITIONS.

**MINIMUM SEPARATION AND CLEARANCE REQUIREMENTS FOR JOINT TRENCHES**

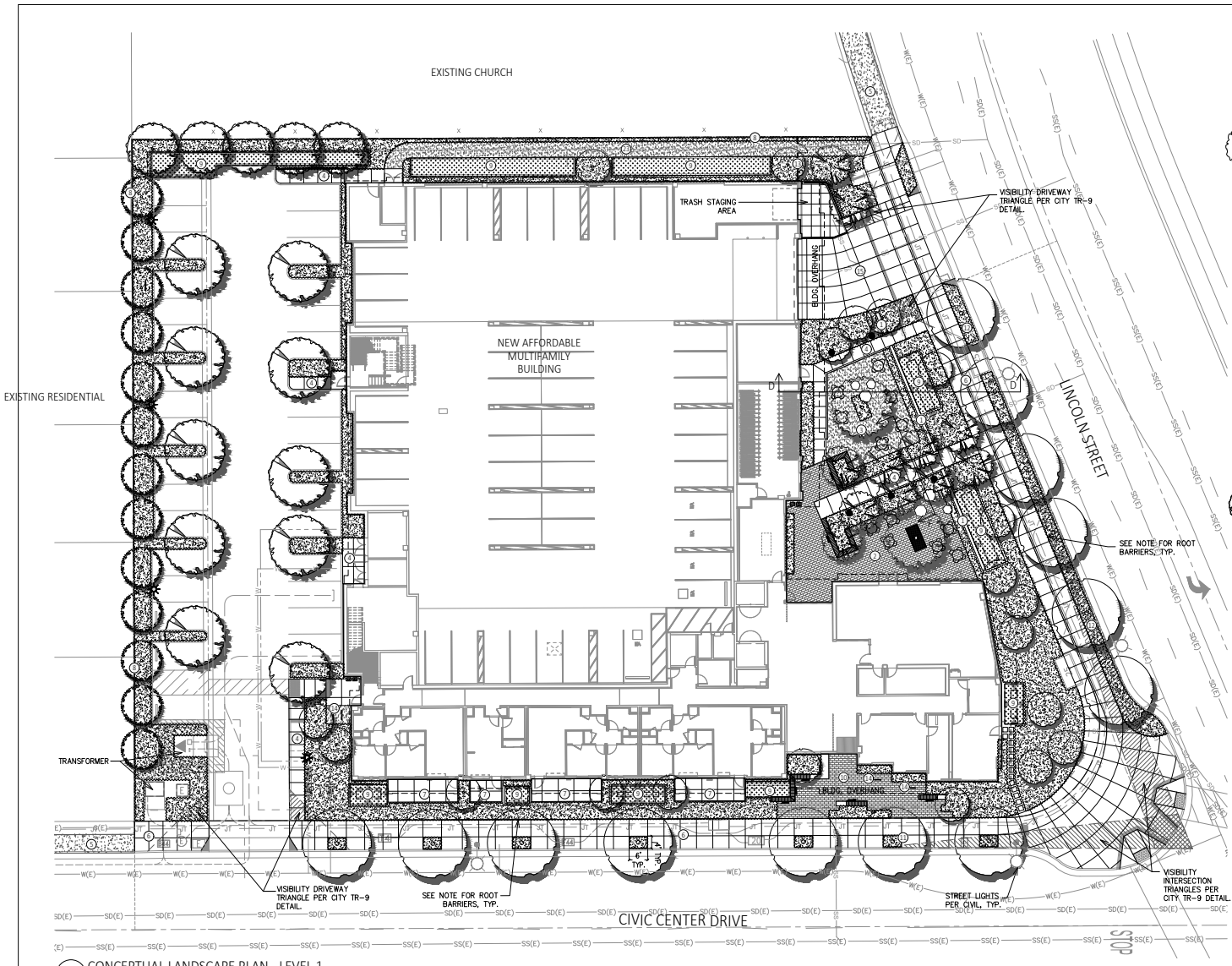
UTILITY	TOP	SIDE	BOTTOM	MIN. COVER
1. TELEPHONE (AT&T)	12"	12"	12"	24"
2. TELEPHONE (SBC)	12"	12"	12"	24"
3. CATV	12"	12"	12"	24"
4. STREET LIGHT	12"	12"	12"	24"
5. UTILITY LIGHT	12"	12"	12"	24"
6. FIBER OPTIC (C.L.E.C.)	12"	12"	12"	24"
7. TRENCH PRIMARY	12"	12"	12"	24"
8. OTHER (C.L.E.C.)	12"	12"	12"	24"

**ABBREVIATIONS:**

- [P] PRIMARY (SVP)
- [S] SECONDARY (SVP)
- [SL] STREET LIGHT (SVP)
- [C] CATV (COMCAST)
- [T] PHONE (AT&T)
- [G] GAS (PG&E)
- [F] FIBER OPTIC (C.L.E.C.)

**SHEET INDEX**

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH COMPOSITE
JT-3	JOINT TRENCH SECTIONS



CANDIDATE PLANT LEGEND

SYMBOL	BOTANICAL NAME (COMMON NAME)	MIN. SIZE	WUCOLS	HEIGHT (FT)
<b>PROJECT STREET TREES:</b>				
	LINCOLN STREET: OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	CIVIC CENTER DRIVE: CERIS CANADENSIS (EASTERN REDBUD)	36" BOX	MOD	30
<b>ENTRY COURT TREE (SUCH AS):</b>				
	ZELKOVA S. "CITY SPRITE" (DWARF ZELKOVA)	24" BOX	MOD	25
	OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	CERIS OCCIDENTALIS (WESTERN REDBUD)	24" BOX	V. LOW	15-20
	PYRUS C. "CAPITAL" (CAPITAL FLOWERING PEAR)	24" BOX	MOD	25-35
<b>LEVEL 2 COURTYARD TREES (SUCH AS):</b>				
	OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	AGONIS F. "AFTER DARK" (AFTER DARK PEPPERMINT TREE)	24" BOX	LOW	15-20
	CHITALPA TASHKENTENSIS (CHITALPA)	24" BOX	MOD	20-30
	PITTIOSPORUM TENUIFOLIUM (KOHUHU)	15-GAL	MOD	15-25
	ROBINIA P. "PURPLE ROBE" (PURPLE ROBE LOCUST)	24" BOX	LOW	30-34
	PRUNUS CAROLINIANA (CAROLINA CHERRY)	24" BOX	LOW	15-20
<b>SECONDARY ACCENT TREES (SUCH AS):</b>				
	ACER PALMATUM "RHODE ISLAND RED" (JAPANESE MAPLE)	15-GAL	MOD	6
	ARBUTUS "MARINA" (MARINA MADRONE)	15-GAL	LOW	20-30
	LOPHOSTEMUM CONFERTUS (BRISSANE BOX)	15-GAL	MOD	35-45
	ACACIA STENOPHYLLA (SHOE-STRING ACACIA)	15-GAL	LOW	20-40
	COTINUS COGKYGRIA (SMOKETREE)	15-GAL	LOW	12-15
<b>PARKING AREA TREES (SUCH AS):</b>				
	RHUS LANCEA (AFRICAN SUMAC)	24" BOX	LOW	20-30
	GERERA PARVIFLORA (AUSTRALIAN WILLOW)	24" BOX	MOD	20-35
	PITTIOSPORUM TENUIFOLIUM (KOHUHU)	15-GAL	MOD	15-25
<b>STORMWATER TREATMENT PLANTINGS (SUCH AS):</b>				
	CAREX SPP. (SEDGE)	1 GAL	MOD	
	MUHLENBERGIA SPP. (MUHLY)	1 GAL	LOW	
	JUNCUS SPP. (RUSH)	1 GAL	LOW	
	CAREX SUBFUSCA (RUSTY SEDGE)	1 GAL	LOW	
<b>SHRUBS/SUCCULENTS/GROUNDCOVERS/VINES (SUCH AS):</b>				
	LEPTOSPERMUM S. CYS (DW. TEA TREE)	5 GAL	MOD	
	WESTRINGIA FRUTICOSA (COAST ROSEMARY)	5 GAL	LOW	
	RHAMNUS C. "EVE CASE" (DW. COFFEEBERRY)	5 GAL	LOW	
	LOMANDRA LONGIFOLIA "TANIKA" (TANIKA LOMANDRA)	5 GAL	LOW	
	GREVILLEA NOELLII (NOEL'S GREVILLEA)	5 GAL	LOW	
	ACACIA "COUSIN ITT" (DW. RIVER WATTLE)	5 GAL	LOW	
	ARISTOTAPHYLOS SPP. (MANZANITA)	5 GAL	LOW	
	ASPARAGUS D. "MYERS" (MYER'S FERN)	1 GAL	MOD	
	DIETES BICOLOR (FORTNIGHT LILY)	1 GAL	LOW	
	CHONDROPETALUM TECTORUM (CAPE RUSH)	1 GAL	LOW	
	POLYSTICHUM MUNIUM (WESTERN SWORD FERN)	1 GAL	MOD	
	MYOPORUM SPP. (CREEPING MYOPORUM)	1 GAL	LOW	
	LANTANA SELLOWIANA (TRAILING LANTANA)	1 GAL	LOW	
	ERIGERON KARWINSKIANUS (SANTA BARBARA DAISY)	1 GAL	LOW	
	ROSEMARINUS SPP. (ROSEMARY)	1 GAL	LOW	

**A** CONCEPTUAL LANDSCAPE PLAN - LEVEL 1  
1/16"=1'-0"



**UTILITY & TREE PROTECTION NOTES:**  
MIN 5' OF SEPARATION IS PROVIDED BETWEEN TREES AND UTILITIES. WHEN LOCATED WITHIN 5' A ROOT BARRIER WILL BE PROVIDED.  
ROOT BARRIERS FOR SIDEWALK PROTECTION WILL BE 16" LONG OR EXTEND TO DRIP LINE OF THE MATURE TREE, AND WILL BE 1.5" DEEP, AND CENTERED ON TREES.  
**STREET TREES:**  
STREET TREES FRONTING THE PROJECT SITE ALONG THE PUBLIC R.O.W. WILL BE COORDINATED WITH STREET DEPARTMENT AND CITY ARBORIST FOR THE TYPE, LOCATION, INSTALLATION AND MAINTENANCE.

**CONCEPTUAL SITE LIGHTING KEY**  
 12' POLE LIGHT  
 BOLLARD LIGHT  
 RECESSED STEP LIGHT

**LANDSCAPE ELEMENTS KEY**

- ① LOW DECORATIVE GARDEN WALL (36" MAX).
- ② ACTIVE FORECOURT WITH ENHANCED PAVING, SEATING, LANDSCAPE BOULDERS & TREE GRATE.
- ③ PASSIVE FORECOURT WITH TREE GRATE, SEATING, LANDSCAPE BOULDERS & SOFTER PAVING MATERIALS (D.G./DECORATIVE PEA-GRAVEL PAVING).
- ④ CONCRETE WALKWAY.
- ⑤ EXISTING PUBLIC SIDEWALK TO REMAIN.
- ⑥ NEW PUBLIC SIDEWALK.
- ⑦ PRIVATE RESIDENT PATIOS.
- ⑧ EXISTING FENCE TO REMAIN.
- ⑨ STORMWATER TREATMENT BASIN: SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⑩ PRIMARY ENTRY COURT WITH ENHANCED PAVING AND CONCRETE SEATWALLS WITH WOOD SLATS.
- ⑪ TREE WELLS IN SIDEWALK @ CIVIC CENTER DRIVE.
- ⑫ CONTIGUOUS LANDSCAPED PARKWAY @ LINCOLN STREET.
- ⑬ NEW 6-FT PERFORATED METAL PANEL FENCE (WITH MAINTENANCE ACCESS) TO MATCH TRASH ENCLOSURE AND OTHER BUILDING GUARDRAILS. SEE ARCH. DRAWINGS FOR MORE INFO.
- ⑭ SHORT-TERM BIKE PARKING (QTY: 8 BIKES).
- ⑮ DRIVEWAY.
- ⑯ STEPPED CONCRETE PERIMETER.
- ⑰ RAISED RECREATIONAL AREA WITH SYNTHETIC TURF.
- ⑱ RAISED PLANTERS.
- ⑲ LANDSCAPE BOULDERS OR SMOOTH CONCRETE FAUX BOULDERS.
- ⑳ DINING COURT WITH BBQ COUNTER.
- ㉑ RECREATION AREA WITH OUTDOOR PING PONG TABLE & SEATING.
- ㉒ BREAK-OUT SPACE WITH SEATING.
- ㉓ D.G. PATHWAY (EMERGENCY ACCESS).

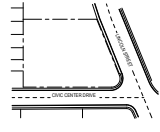


PROJECT  
**CIVIC CENTER  
FAMILY HOUSING**  
LOCATION  
**1601 CIVIC CENTER DR.  
SANTA CLARA, CA 95050**

PREPARED FOR



**VICINITY MAP**



DATE	DESCRIPTION
12.08.2020	PLANNING SUBMITTAL
09.24.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
04.08.2022		GPA RESUBMISSION 1

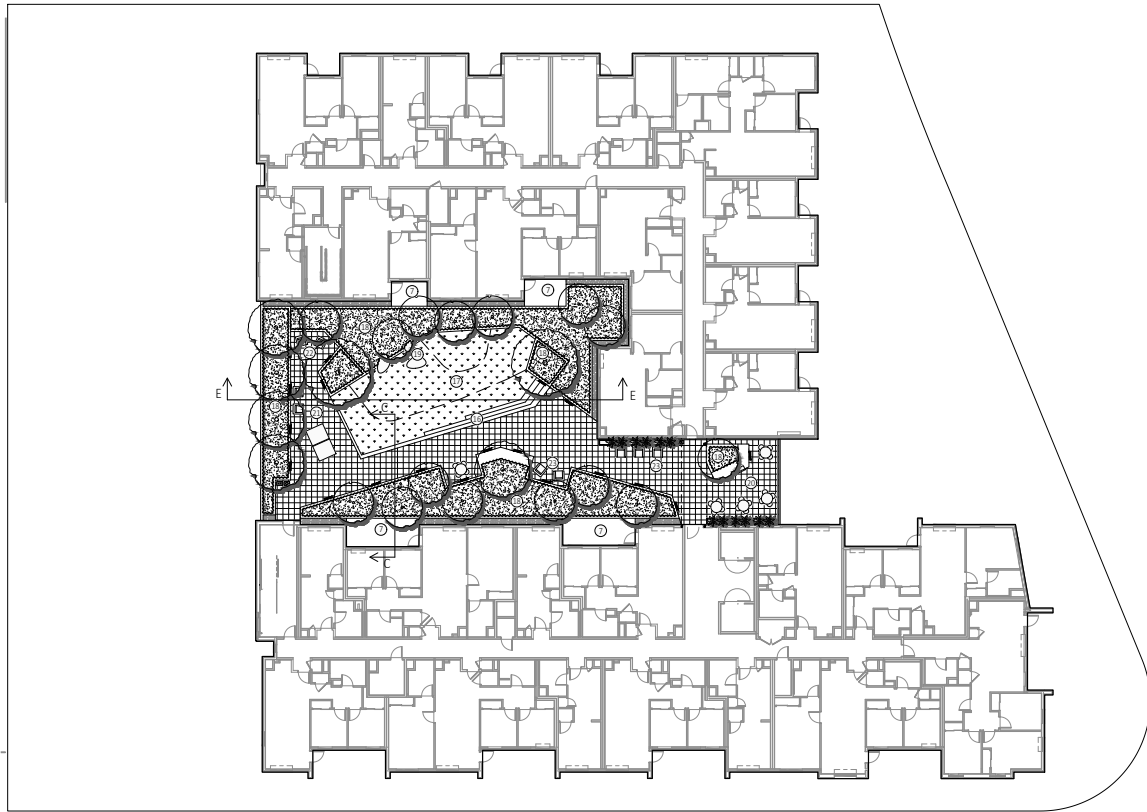
PROJECT NUMBER	PROJECT ADDRESS	PROJECT NUMBER	PROJECT ADDRESS

**CONCEPTUAL LANDSCAPE PLAN - LEVEL 1**

PROJECT NO.  
**1927400**  
DATE  
**05/25/2022**

PROJECT NUMBER  
**L1.0**  
GPA RESUBMISSION 2





LANDSCAPE WATER EFFICIENCY CHECKLIST

**IRRIGATION FIGURES**  
**TOTAL AREA: 13829 SF**  
**STORMWATER AREA: 1689 SF**  
**ALL OTHER LANDSCAPE AREAS: 12140 SF**

**MAWA**  
 $(48.4 \times 0.62) \times (0.58 \times 13829 \text{ SF}) = 245,662 \text{ GAL/YR}$

**ETWU**  
 $(48.4 \times 0.62) \times (0.3 \times 12140 \text{ SF}) \div 0.9 = 123,941 \text{ GAL/YR}$   
 $(48.4 \times 0.62) \times (0.5 \times 1689 \text{ SF}) \div 0.9 = 28,739 \text{ GAL/YR}$

**TOTAL = 152,680 GAL/YR**

**IRRIGATION DESIGN STATEMENT**  
 THE IRRIGATION SYSTEM WILL BE DESIGNED TO REDUCE THE OVERALL WATER REQUIRED FOR SUPPLEMENTAL IRRIGATION, ALONG WITH THE RESPONSIBLE SELECTION OF PLANT MATERIALS. CURRENT IRRIGATION TECHNOLOGIES WILL BE UTILIZED IN ORDER TO COMPLY BOTH WITH THE STATE AND CITY WATER CONSERVATION ORDINANCES. THESE INCLUDE ET-BASED "SMART" CONTROLLERS, FLOW AND RAIN SENSORS, AND LOW-VOLUME SUB-SURFACE DRIP IRRIGATION AND DEEP-ROOT TREE BUBBLERS.

**IRRIGATION EQUIPMENT STANDARDS**

- PRESSURIZED MAINLINE PIPING WILL BE CL. 315 PVC & BURIED MINIMUM 18".
- NON-PRESSURIZED LATERALS WILL BE SCH. 40 PVC OR CL. 315 PVC & BURIED MINIMUM 12".
- AN "RP" TYPE BACKFLOW PREVENTER WILL BE INSTALLED NEAR THE PROJECT POINT-OF-CONNECTION.
- SUBSURFACE IN-LINE DRIP IRRIGATION SHALL BE TORO DL2000, NETAFIM, OR APPROVED EQUIVALENT.
- NO OVERHEAD OR SPRAY IRRIGATION WILL BE UTILIZED.

**TURF AREA**

- NO IRRIGATED LAWN AREAS ARE PLANNED FOR THIS PROJECT.

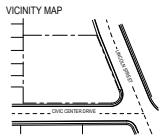
**IRRIGATION DESIGN FOR RECYCLED WATER:**  
 ALL ON-SITE IRRIGATION WILL BE DESIGNED FOR RECYCLED WATER USE AND WILL COMPLY WITH ALL RECYCLED WATER REGULATIONS BY CITY OF SANTA CLARA, SBRM AND DEPARTMENT OF DRINKING WATER.

SEE L1.0 FOR PLANT LEGEND



PROJECT  
**CIVIC CENTER  
 FAMILY HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR.  
 SANTA CLARA, CA 95050**

PREPARED FOR



DATE	REVISION
12.08.2020	PLANNING SUBMITTAL
09.22.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

REV.	DATE	REVISION
01	04.08.2022	GPA RESUBMISSION 1

DESIGN PARTNER	PROJECT MANAGER	PROJECT ARCHITECT	PROJECT ENGINEER	PROJECT TEAM MEMBERS	CHECK

**A** CONCEPTUAL LANDSCAPE PLAN - LEVEL 2  
 1/16"=1'-0" NORTH

CONCEPTUAL SITE LIGHTING KEY

- ☀ 12' POLE LIGHT
- ⊕ BOLLARD LIGHT
- RECESSED STEP LIGHT

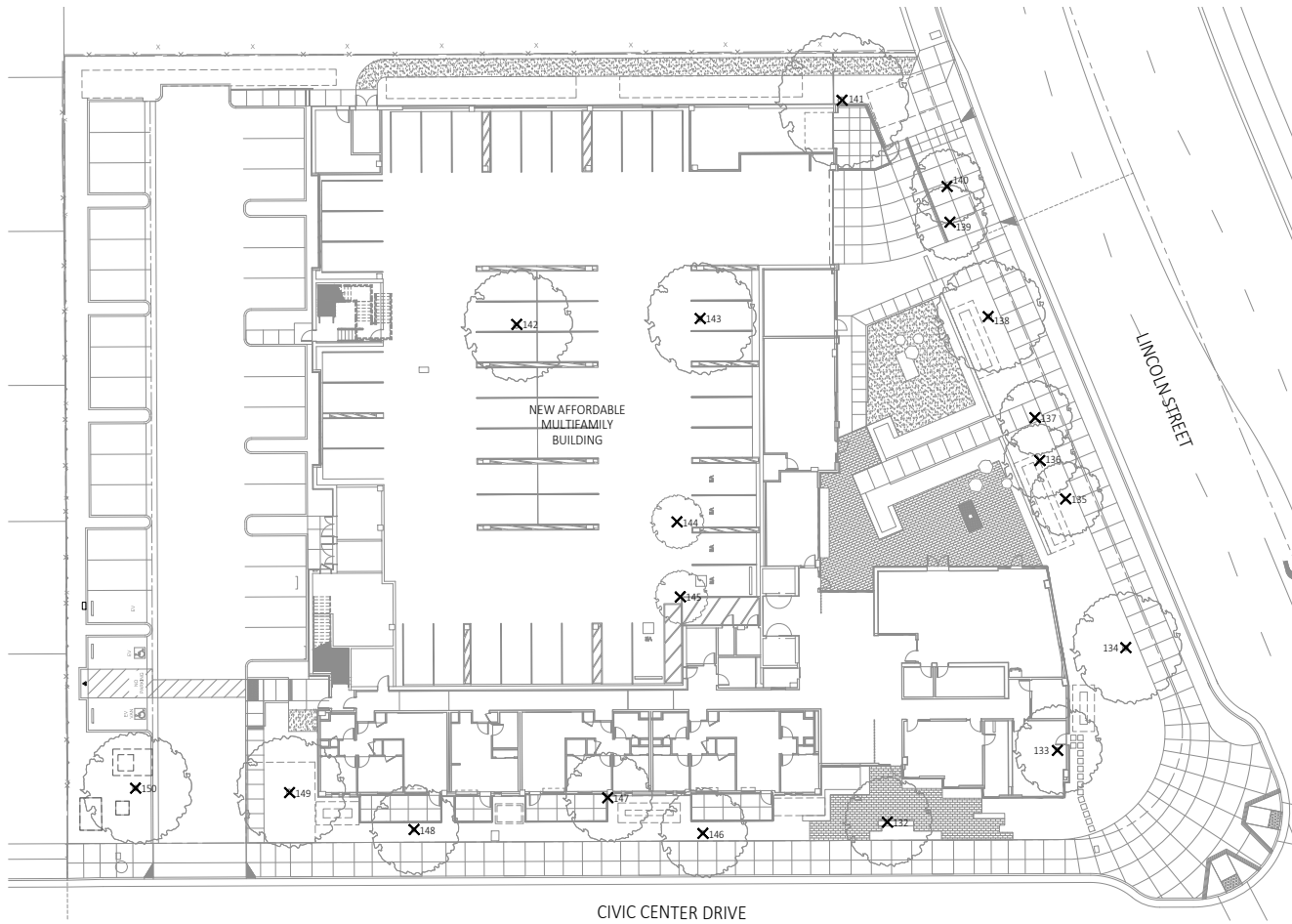
LANDSCAPE ELEMENTS KEY

- ① LOW DECORATIVE GARDEN WALL (36" MAX).
- ② ACTIVE FORECOURT WITH ENHANCED PAVING, SEATING, LANDSCAPE BOULDERS & TREE GRATE.
- ③ PASSIVE FORECOURT WITH TREE GRATE, SEATING, LANDSCAPE BOULDERS & SOFTER PAVING MATERIALS (D.G./DECORATIVE PEA-GRAVEL PAVING).
- ④ CONCRETE WALKWAY.
- ⑤ EXISTING PUBLIC SIDEWALK TO REMAIN.
- ⑥ NEW PUBLIC SIDEWALK.
- ⑦ PRIVATE RESIDENT PATIOS.
- ⑧ EXISTING FENCE TO REMAIN.
- ⑨ STORMWATER TREATMENT BASIN: SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⑩ PRIMARY ENTRY COURT WITH ENHANCED PAVING AND CONCRETE SEATWALLS WITH WOOD SLATS.
- ⑪ TREE WELLS IN SIDEWALK @ CIVIC CENTER DRIVE.
- ⑫ CONTIGUOUS LANDSCAPED PARKWAY @ LINCOLN STREET.
- ⑬ NEW 6-FT PERFORATED METAL PANEL FENCE (WITH MAINTENANCE ACCESS) TO MATCH TRASH ENCLOSURE AND OTHER BUILDING GUARDRAILS. SEE ARCH. DRAWINGS FOR MORE INFO.
- ⑭ SHORT-TERM BIKE PARKING (QTY: 8 BIKES).
- ⑮ DRIVEWAY.
- ⑯ STEPPED CONCRETE PERIMETER.
- ⑰ RAISED RECREATIONAL AREA WITH SYNTHETIC TURF.
- ⑱ RAISED PLANTERS.
- ⑲ LANDSCAPE BOULDERS OR SMOOTH CONCRETE FAUX BOULDERS.
- ⑳ DINING COURT WITH BBQ COUNTER.
- ㉑ RECREATION AREA WITH OUTDOOR PING PONG TABLE & SEATING.
- ㉒ BREAK-OUT SPACE WITH SEATING.
- ㉓ D.G. PATHWAY (EMERGENCY ACCESS).

TITLE  
 CONCEPTUAL LANDSCAPE  
 PLAN - LEVEL 2

PROJECT NO.  
**1927400**  
 DATE:  
**05/25/2022**

HEET NUMBER  
**L2.0**  
 GPA RESUBMISSION 2



EXISTING TREE LEGEND

#	TREE TYPE	DIA.(N)	PROTECTED?	CONDITION	ACTION
				1-POOR 5-EXCELLENT	
132	OLIVE	15	YES	2	REMOVE
133	OLIVE	11, 7, 7	NO	2	REMOVE
134	OLIVE	16, 9	YES	3	REMOVE
135	SWEETGUM	8	NO	2	REMOVE
136	SWEETGUM	8	NO	2	REMOVE
137	SWEETGUM	8	NO	2	REMOVE
138	OLIVE	16, 9, 5	YES	3	REMOVE
139	SWEETGUM	7	NO	2	REMOVE
140	SWEETGUM	8	NO	3	REMOVE
141	OLIVE	16, 15	YES	3	REMOVE
142	PURPLE LEAF PLUM	11, 7, 7, 4	NO	3	REMOVE
143	OLIVE	13, 10	YES	3	REMOVE
144	AFRICAN FERNPINE	4, 3, 3, 2	NO	3	REMOVE
145	AFRICAN FERNPINE	5, 4	NO	3	REMOVE
146	OLIVE	16	YES	3	REMOVE
147	OLIVE	16, 15	YES	3	REMOVE
148	OLIVE	10, 10, 9	NO	3	REMOVE
149	OLIVE	17, 14	YES	3	REMOVE
150	OLIVE	12, 10, 10, 9	YES	3	REMOVE

EXISTING TREE NOTES

1. INFORMATION CONTAINED HERE IS TAKEN FROM ARBORIST'S REPORT PREPARED BY HORT SCIENCE/BARILETTI CONSULTING (325 RAY ST., PLEASANTON, CA 94566) DATED 03-06-2020.
2. TREE NUMBERING CONVENTION USED SO AS TO ALIGN WITH NUMBERING USED IN ARBORIST'S REPORT.
3. WHERE TREES HAD MORE THAN TRUNK, THE DIAMETERS OF INDIVIDUAL TRUNKS WERE ADDED TOGETHER TO ESTABLISH THE DIAMETER CLASS FOR MITIGATION PURPOSES.
4. TREES IN LEGEND MARKED WITH ASTERISK (\*): NOT INCLUDED IN PRELIMINARY ARBORIST'S REPORT.

SUMMARY:

TOTAL TREES REMOVED:-	19
MIN 24" BOX TREES PROVIDED:-	38

\*TREES PERMITTED BY THE CITY FOR REMOVAL WILL BE REPLACED AT A MINIMUM 2:1 RATIO WITH 24-INCH BOX SPECIMEN TREES.

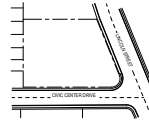


PROJECT  
**CIVIC CENTER  
FAMILY HOUSING**  
LOCATION  
**1601 CIVIC CENTER DR.  
SANTA CLARA, CA 95050**

PREPARED FOR



VICINITY MAP



DATE	DESCRIPTION
12.08.2020	PLANNING SUBMITTAL
09.22.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

REV.	DATE	DESCRIPTION
04.08.2022		GPA RESUBMISSION 1

DESIGN PARTNER	
PROJECT MANAGER	
PROJECT ARCHITECT	
PROJECT DESIGNER	
PROJECT TEAM MEMBERS	
CHECK	

**A** EXISTING TREE PLAN  
1/16"=1'-0"



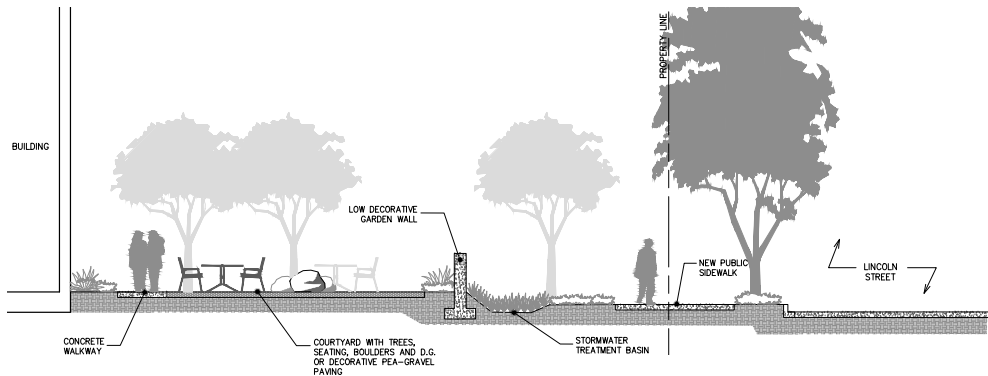
EXISTING TREE KEY

○	=PROTECT IN PLACE
✕	=TO BE REMOVED

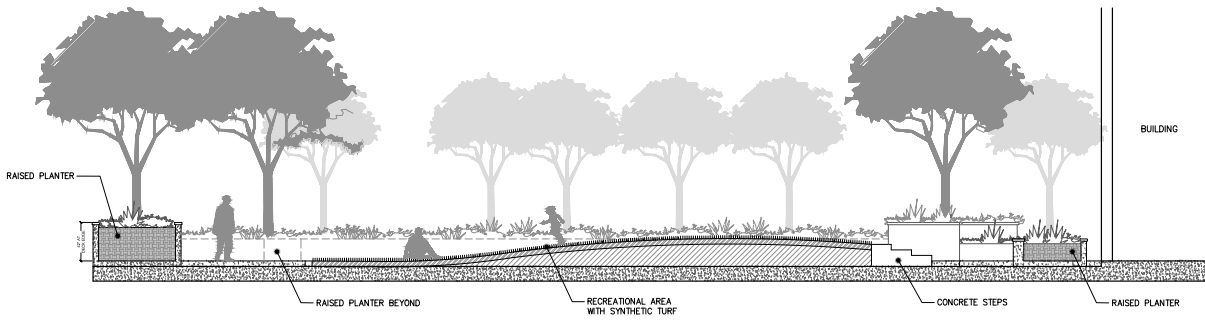
TITLE  
EXISTING TREE PLAN

PROJECT NO.  
1927400  
DATE  
05/25/2022

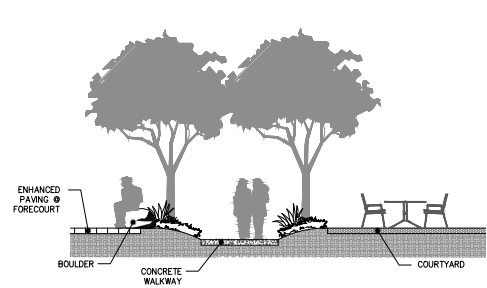
SHEET NUMBER  
**L3.0**  
GPA RESUBMISSION 2



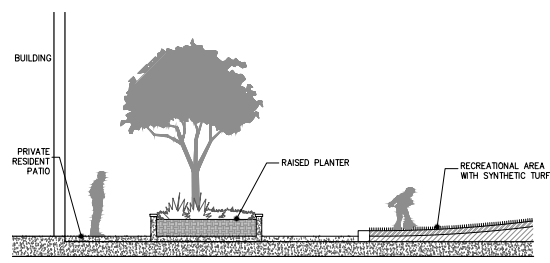
**D** CROSS-SECTION THROUGH LEVEL 1 COURTYARD  
3/16"=1'-0"



**E** CROSS-SECTION THROUGH LEVEL 2 COURTYARD  
3/16"=1'-0"



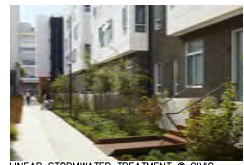
**F** CROSS-SECTION @ FORECOURT & COURTYARD  
3/16"=1'-0"



**C** CROSS-SECTION THROUGH LEVEL 2 COURTYARD  
3/16"=1'-0"



**A** CONCEPTUAL LIGHTING IMAGERY



LINEAR STORMWATER TREATMENT @ CIVIC CENTER DRIVE FRONTAGE



SEAT WALLS @ ENTRY



LOW DECORATIVE GARDEN WALL SURROUNDED BY PLANTING; IMPLIED BARRIER BUT NOT RESTRICTIVE



DECORATIVE LINEAR UNIT PAVERS



PASSIVE FORECOURT AREA: CASUAL, QUIET, SOFT PAVING MATERIALS



REAL OR FAUX BOULDERS @ LEVEL 2



PERFORATED METAL PANEL FENCE



RAISED RECREATIONAL TURF AREA @ LEVEL 2



BIKE RACK

**B** LANDSCAPE ELEMENT IMAGERY



DATE	ISSUE
12.08.2020	PLANNING SUBMITTAL
08.22.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

NO.	DATE	REVISION
04.08.2022		GPA RESUBMISSION 1

DESIGN PARTNER	
PROJECT MANAGER	
PROJECT ARCHITECT	
PROJECT DESIGNER	
PROJECT TEAM MEMBERS	
CHECK	



DATE: 05/25/2022

DATE	DESCRIPTION
02.18.2021	PLANNING SUBMITTAL
02.19.2021	10% SCHEMATIC DESIGN
03.10.2021	GPA SUBMITTAL
03.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

NO: 1527400

NO.	DATE	DESCRIPTION
1	04/08/2022	GPA RESUBMISSION 1

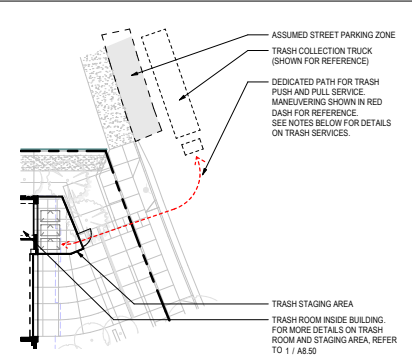
DESIGNED BY:

AT	PROJECT MANAGER
KB / SA	ARCHITECT
SA / AK	ARCHITECT
AP	PROJECT TRADE SPECIALIST

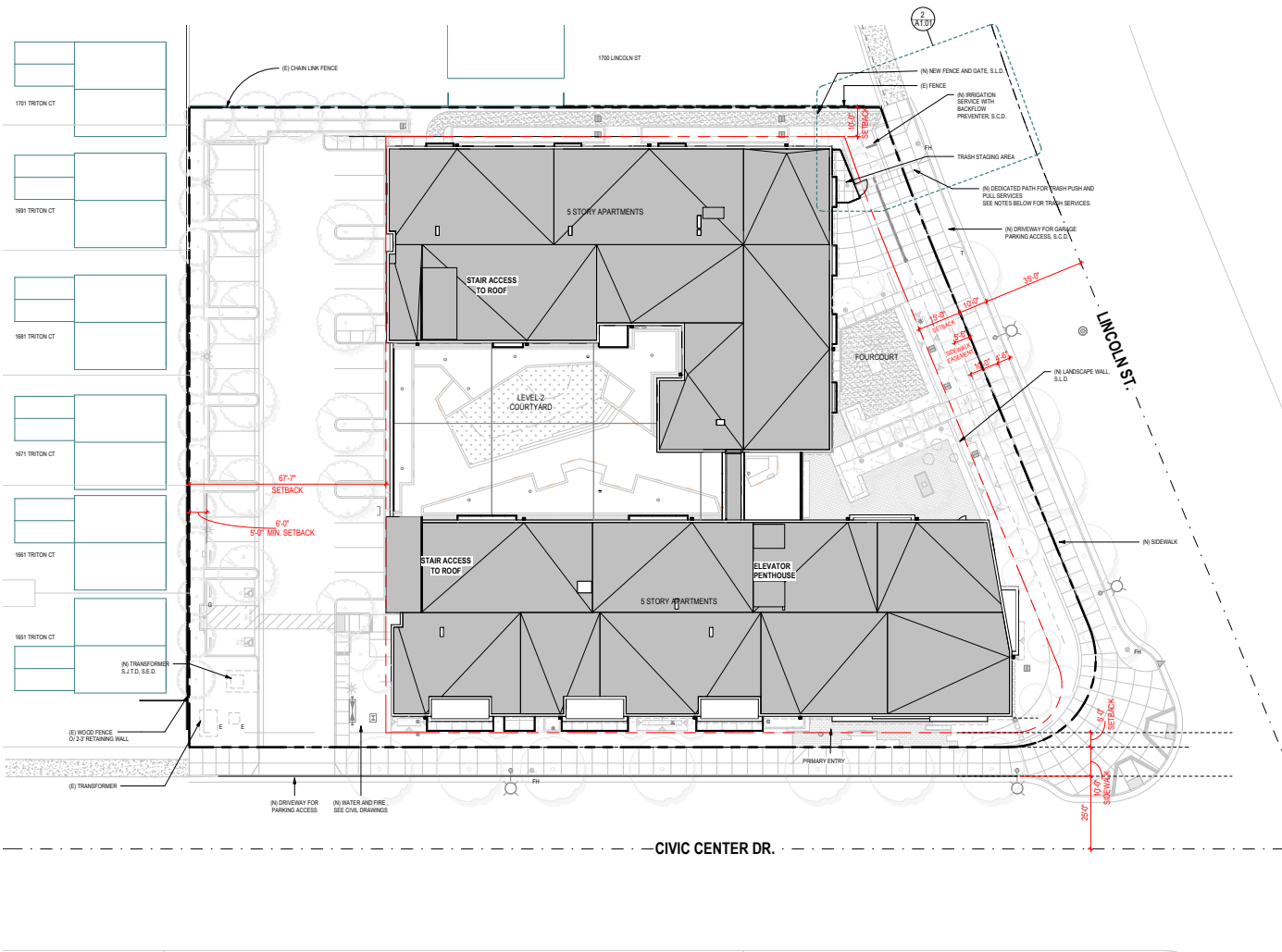
ARCHITECTURAL SITE PLAN

PROJECT NO: 1527400  
DATE: 05/25/2022

A1.01  
GPA RESUBMISSION 2  
© 2016 MITHUN, INC.



2 SITE PLAN - TRASH COLLECTION  
1/16" = 1'-0"



1 SITE PLAN  
1/16" = 1'-0"

NOTES:

- 1. FOR TRASH PICK UP, PLEASE NOTE THE FOLLOWING:  
A. A DEDICATED PATH ADJACENT TO THE GARAGE DRIVEWAY IS PROVIDED FOR PUSH AND PULL SERVICES.  
B. COLLECTION TRUCK WILL PARK ON THE STREET AND WORKER WILL ACCESS THE STAGING AREA VIA THE DEDICATED PATH. WILL ROLL THE BINS OUT TO THE STREET TO BE SERVICED BY THE TRUCK, THEN RETURN TO THE STAGING AREA. BINS WILL NOT REMAIN ON THE STREET.  
C. COLLECTION FOR RECYCLING AND GARBAGE WILL OCCUR ON SEPARATE DAYS.  
D. BINS WILL BE MAXIMUM 3 CUBIC YARD.

LEGEND

- PROPERTY LINE
- SETBACK LINE
- FIRE HYDRANT
- STREET LIGHT
- PROPOSED TREE. SEE LANDSCAPE DRAWINGS



GENERAL NOTE: SEE CITY OF AT

MITHUN, INC. 1527400-01-ARCHITECTURAL SITE PLAN - TRASH COLLECTION - 05/25/2022 (1/16" = 1'-0")

PROJECT  
**CIVIC CENTER FAMILY  
 HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR.  
 SANTA CLARA, CA  
 95050**

PREPARED FOR  
**CHARITIES HOUSING**



DATE

03.08.2021	PLANNING SUBMITTAL
02.10.2021	100% SCHEMATIC DESIGN
11.19.2020	GPA SUBMITTAL
11.19.2020	50% DESIGN DEVELOPMENT
04.08.2020	GPA RESUBMISSION 1
02.05.2020	100% DESIGN DEVELOPMENT
01.15.2020	GPA RESUBMISSION 2

1 04.08.2021 GPA RESUBMISSION 1

DATE

1 04.08.2021

GPA RESUBMISSION 1

PROJECT NUMBER

AT

PROJECT OWNER

KB / SA

ARCHITECT

SA / AK

MECHANICAL ENGINEER

AP

PROJECT TEAM MEMBER

DATE

02.08.2021



PROJECT NUMBER

1927400

DATE

05/25/2022

PROJECT NORTH

**A2.01**

GPA RESUBMISSION 2

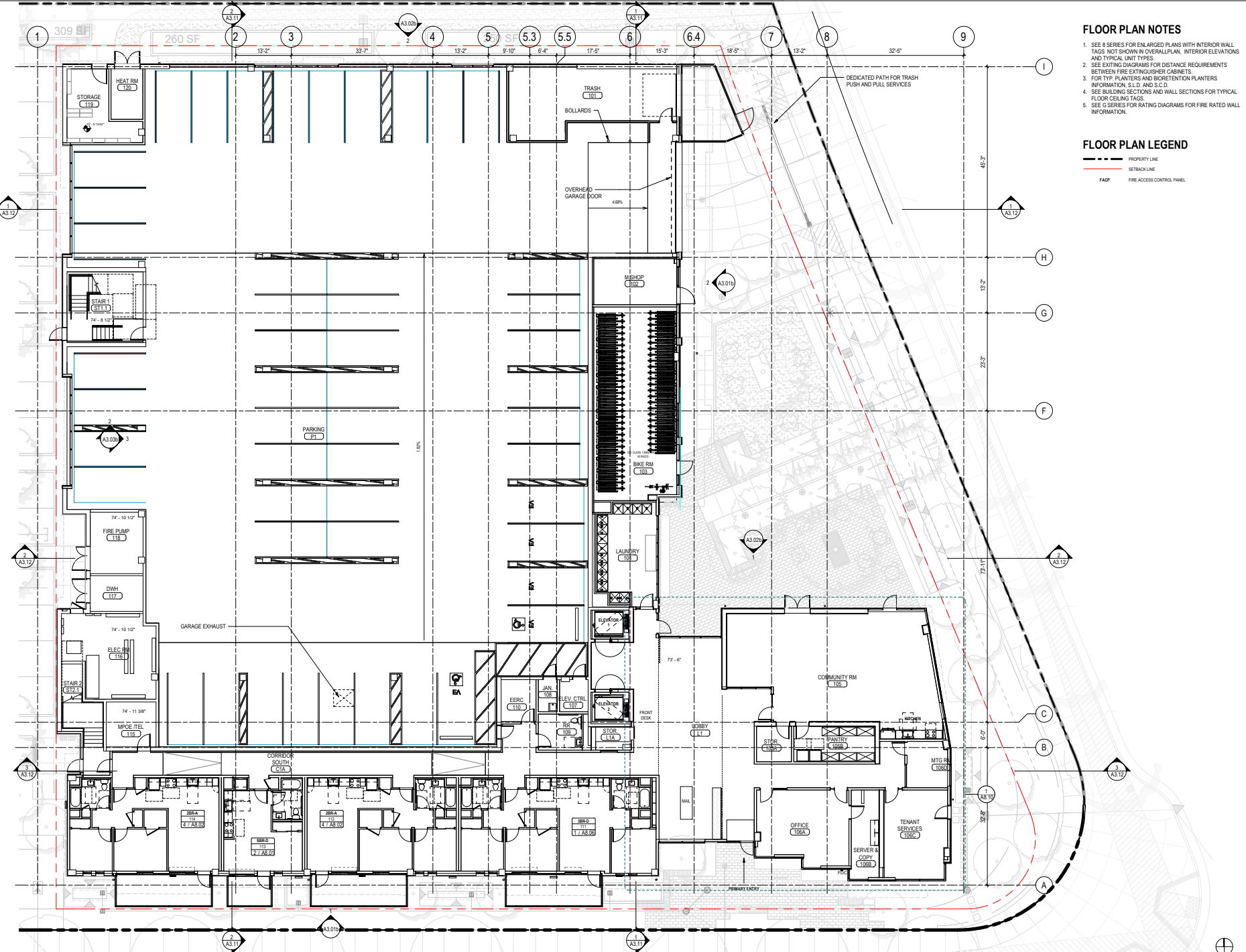
© 2016 MITHUN, INC.

**FLOOR PLAN NOTES**

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIKE RENTON PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

**FLOOR PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- FIRE ACCESS CONTROL PANEL



**1 LEVEL 1 FLOOR PLAN - GROUND**  
 1/8" = 1'-0"

02/27/2022 2:23:04 PM

DATE

02/27/2022

TIME

2:23:04 PM

PROJECT NUMBER

1927400

DATE

05/25/2022

PROJECT NORTH

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**FLOOR PLAN NOTES**

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODEGRADABLE PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

**FLOOR PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



**1 LEVEL 2 FLOOR PLAN - PODIUM**  
 1/8" = 1'-0"



MITHUN, INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050  
 TEL: 408.292.2200 FAX: 408.292.2201  
 WWW.MITHUN.COM  
 PROJECT NO: 1927400  
 DATE: 05/25/2022  
 SCALE: A2.02  
 GPR SUBMISSION 2  
 © 2016 MITHUN, INC.



DATE	DESCRIPTION
03.08.2021	PLANNING SUBMITTAL
03.23.2021	10% SCHEMATIC DESIGN
03.31.2021	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
05.25.2022	GPA RESUBMISSION 2



PROJECT NUMBER  
**1927400**  
 DATE  
**05/25/2022**

PROJECT NORTH  
**A2.03**  
 GPA RESUBMISSION 2  
 © 2016 MITHUN, INC.

**FLOOR PLAN NOTES**

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODECKTOP PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

**FLOOR PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



**1 LEVEL 3-4 FLOOR PLAN**  
 1/8" = 1'-0"

MITHUN ARCHITECTS, INC. 1000 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94109  
 PROJECT NUMBER: 1927400  
 DATE: 05/25/2022  
 DRAWING TITLE: LEVEL 3-4 FLOOR PLAN  
 SHEET NUMBER: A2.03  
 PROJECT: CIVIC CENTER FAMILY HOUSING  
 LOCATION: 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050  
 PREPARED FOR: CHARITIES HOUSING  
 DESIGNER: MITHUN ARCHITECTS, INC.  
 CHECKED: [NAME]  
 APPROVED: [NAME]  
 SCALE: 1/8" = 1'-0"  
 PLOT DATE: 05/25/2022  
 PLOT TIME: 10:00 AM  
 PLOT BY: [NAME]



02.08.2022	PLANNING SUBMITTAL
02.19.2022	10% SCHEMATIC DESIGN
03.13.2022	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.26.2022	GPA RESUBMISSION 1
02.03.2022	100% DESIGN DEVELOPMENT
02.15.2022	GPA RESUBMISSION 2

DATE: 05/29/2022  
 PROJECT: CIVIC CENTER FAMILY HOUSING  
 SHEET: 1 - 5A.05.2022 - GPA RESUBMISSION 2

ARCHITECT	AT
PROJECT MANAGER	KB / SA
MECHANICAL ENGINEER	SA / AK
ELECTRICAL ENGINEER	AP
STRUCTURAL ENGINEER	
DATE:	

LEVEL-5

PROJECT NO: 1927400  
 DATE: 05/29/2022

**A2.05**  
 GPA RESUBMISSION 2  
 © 2016 MITHUN, INC.

**FLOOR PLAN NOTES**

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODECKTOP PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

**FLOOR PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



**1 LEVEL-5 FLOOR PLAN**  
 1/8" = 1'-0"



MITHUN ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. MITHUN ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. MITHUN ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. MITHUN ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. MITHUN ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER.

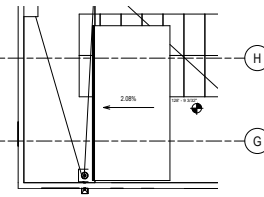


**FLOOR PLAN NOTES**

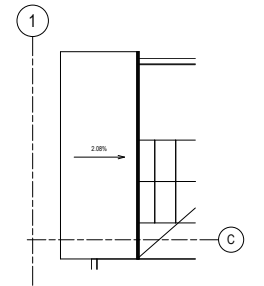
- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES.
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS.
- FOR TYP. PLANTERS AND BIODEGRADABLE PLANTERS INFORMATION, SEE S.I.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS.
- SEE G SERIES FOR RATING DIAGRAMMS FOR FIRE RATED WALL INFORMATION.

**FLOOR PLAN LEGEND**

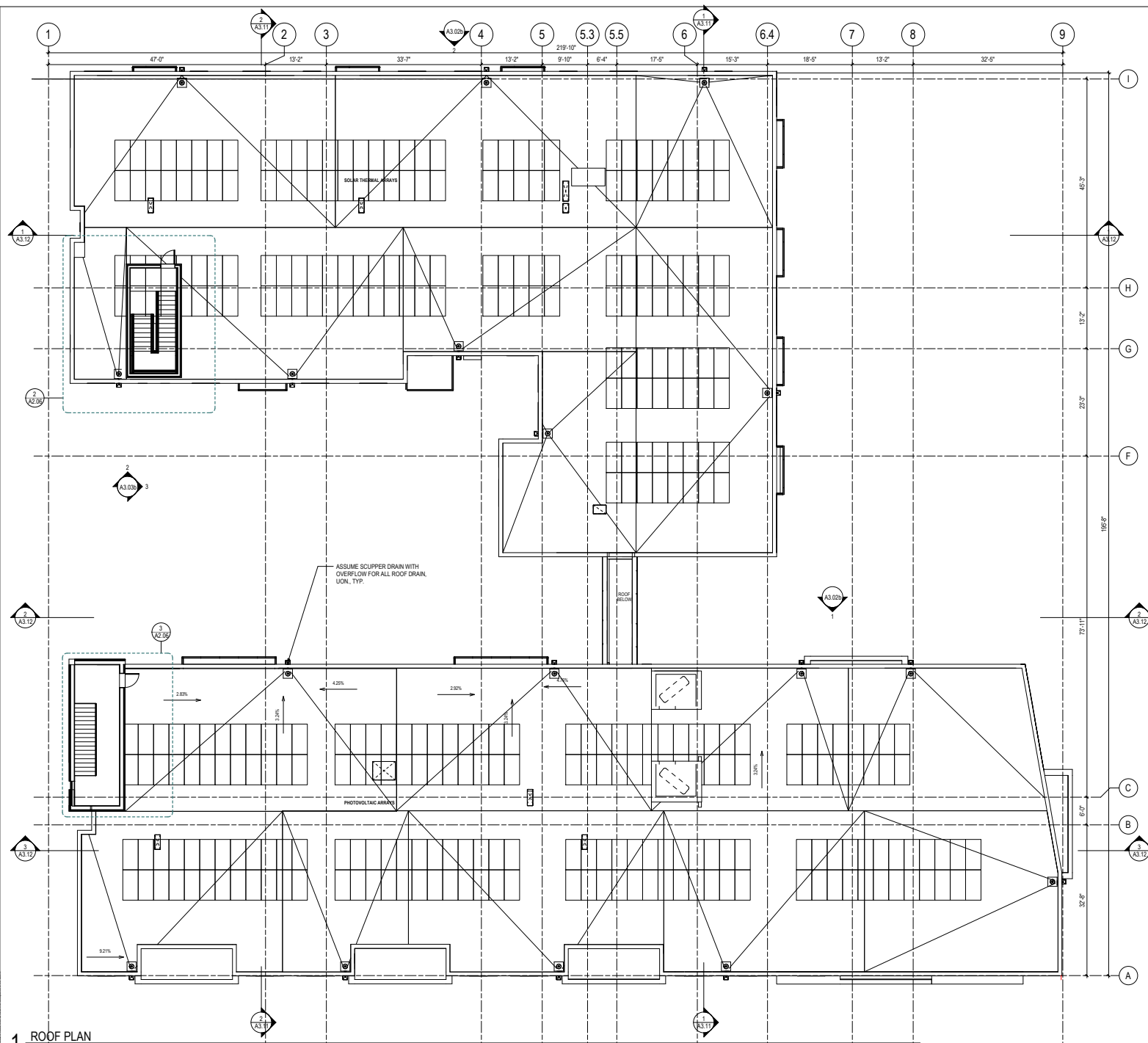
- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



**2 ROOF PLAN - PENTHOUSE N**  
 1/8" = 1'-0"



**3 ROOF PLAN - PENTHOUSE S**  
 1/8" = 1'-0"



**1 ROOF PLAN**  
 1/8" = 1'-0"

MITHUN ARCHITECTS, INC. 1927 400 MARKET STREET, SUITE 200, SAN FRANCISCO, CA 94102  
 415.398.0885 | WWW.MITHUN.COM  
 PROJECT NO. 1927400 | DATE 05/25/2022  
 SCALE A2.06 | GFA RESUBMISSION 2  
 © 2016 MITHUN, INC.

PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
LOCATION  
**1601 CIVIC CENTER DR.  
SANTA CLARA, CA  
95050**

PREPARED FOR  
**CHARITIES HOUSING**



**1 SOUTH ELEVATION - CIVIC CENTER DR**  
1/8" = 1'-0"

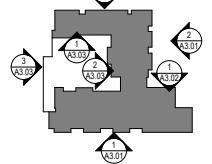


**2 EAST ELEVATION - LINCOLN ST.**  
1/8" = 1'-0"

**MATERIAL LEGEND**

- 1A STUCCO - WHITE
- 1B STUCCO - BLUE
- 1C STUCCO - LIGHT GREY
- 2 FIBER CEMENT PLANK - DARK GREY
- 3 THERMALLY MODIFIED WOOD SIDING, ALT. FIBER CEMENT PLANK
- 4 NOT USED
- 5 BRAKE METAL PANEL - DARK BRONZE
- 6 DARK BRONZE ALUM. WINDOW W/ SUNSHADE WHERE NOTED
- 7 DARK BRONZE ANODIZED ALUM. STOREFRONT
- 8 METAL ROLL UP DOOR
- 9 PERFORATED METAL PANEL, FENCE / GUARDRAIL
- 10 (NOT USED)
- 11 LOUVERS - PAINTED TO MATCH WINDOW

**KEY**



DATE: 03.28.2024

03.28.2024 PLANNING SUBMITTAL  
03.28.2024 10% SCHEMATIC DESIGN  
03.28.2024 GFA SUBMITTAL  
03.28.2024 50% DESIGN DEVELOPMENT  
04.08.2024 GFA RESUBMISSION 1  
04.08.2024 100% DESIGN DEVELOPMENT  
05.15.2024 GFA RESUBMISSION 2

DESIGNER: MITHUN  
PROJECT MANAGER: KB / SA  
ARCHITECT: SA / AK  
PROJECT ARCHITECT: AP

**BUILDING ELEVATIONS**

PROJECT NO: 1927400  
DATE: 05/25/2022

**A3.01b**  
GFA RESUBMISSION 2  
© 2016 MITHUN, INC.

MITHUN ARCHITECTURE INC. 1011 MARKET STREET, 10TH FLOOR, SEATTLE, WA 98107  
 1927400-05/25/2022  
 05/25/2022 (11:49 AM)





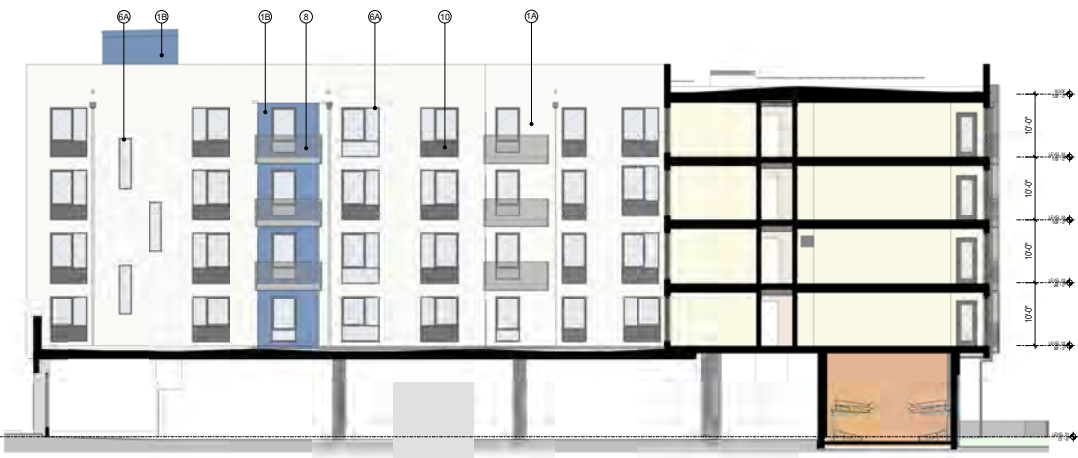
02.18.2022	PLANNING SUBMITTAL
02.24.2022	10% SCHEMATIC DESIGN
03.02.2022	GPA SUBMITTAL
03.13.2022	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.03.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

ARCHITECT	AT
PROJECT MANAGER	KB / SA
ARCHITECT	SA / AK
PROJECT MANAGER	AP
DATE	

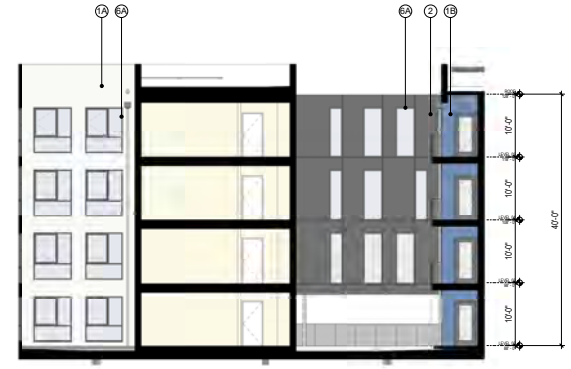
**BUILDING ELEVATIONS**

PROJECT NO.  
**1927400**  
DATE  
**05/25/2022**

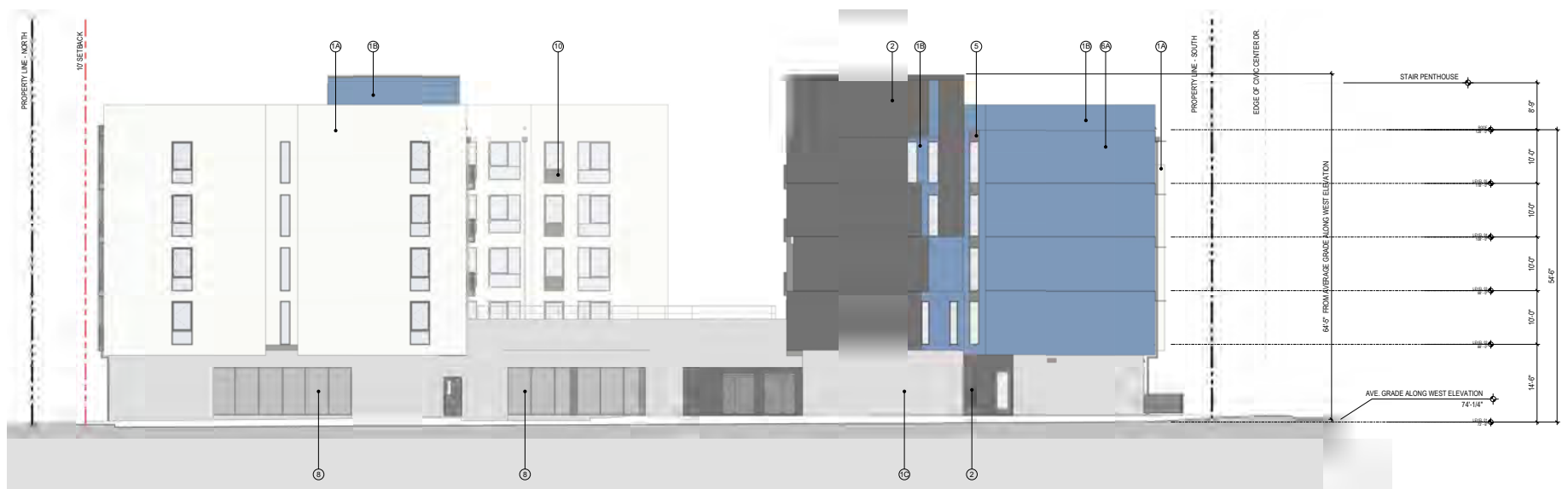
REVISION NO.  
**A3.03b**  
GPA RESUBMISSION 2  
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**2 COURTYARD SOUTH ELEVATION**  
1/8" = 1'-0"



**3 COURTYARD WEST ELEVATION**  
1/8" = 1'-0"

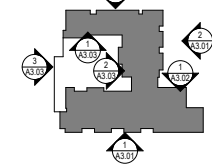


**1 WEST ELEVATION**  
1/8" = 1'-0"

**MATERIAL LEGEND**

- |    |   |    |  |
|----|---|----|--|
| 1A | STUCCO - WHITE  | 1  | BRAKE METAL PANEL - DARK BRONZE                      |
| 1B | STUCCO - BLUE   | 2A | DARK BRONZE ALUM. WINDOW W/ SUNSHADE WHERE NOTED     |
| 1C | STUCCO - LIGHT GREY                                     | 2B | DARK BRONZE ANODIZED ALUM. STOREFRONT                |
| 2  | CEMENT BOARD - DARK GREY                                | 3  | METAL ROLL UP DOOR                                   |
| 3  | THERMALLY MODIFIED WOOD SIDING, ALT. CEMENTITIOUS PANEL | 4  | PERFORATED METAL PANEL; FENCE / GUARDRAIL (NOT USED) |
| 4  | NOT USED  | 5  | LOUVERS - PAINTED TO MATCH WINDOW                    |

**KEY**



MITHUN ARCHITECTURE  
 1011 MARKET STREET, 4TH FLOOR, SEATTLE, WA 98107  
 TEL: 206.433.3344 FAX: 206.433.3345  
 WWW.MITHUN.COM  
 PROJECT NO. 1927400  
 DATE 05/25/2022  
 SHEET NO. A3.03b  
 SCALE 1/8" = 1'-0"  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]  
 COPYRIGHT © 2022 MITHUN ARCHITECTURE

MITHUN  
 1827400  
 05/25/2022  
 A3.11  
 GPR RESUBMISSION 2  
 © 2016 MITHUN, INC.  
 5205/2022/2/12/28 (PH)  
 SHEET NO. 12 OF 12  
 PROJECT NO. 1827400  
 DRAWING NO. 05/25/2022  
 TITLE: BUILDING SECTIONS  
 PROJECT: CIVIC CENTER FAMILY HOUSING  
 LOCATION: 1601 CIVIC CENTER DR, SANTA CLARA, CA 95050  
 PREPARED FOR: CHARITIES HOUSING  
 DATE: 05/25/2022  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 12 OF 12

PROJECT  
**CIVIC CENTER FAMILY HOUSING**  
 LOCATION  
**1601 CIVIC CENTER DR, SANTA CLARA, CA 95050**

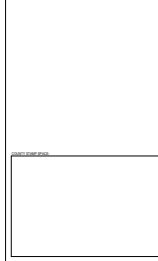
PREPARED FOR  
**CHARITIES HOUSING**



DATE	DESCRIPTION
05/18/2022	PLANNING SUBMITTAL
05/24/2022	19% SCHEMATIC DESIGN
11/15/2021	GPA SUBMITTAL
05/28/2021	50% DESIGN DEVELOPMENT
04/08/2021	GPA RESUBMISSION 1
05/18/2022	100% DESIGN DEVELOPMENT
05/15/2022	GPA RESUBMISSION 2

NO.	DATE	REVISION

ARCHITECT  
 AT  
 PROJECT NUMBER  
 KB / SA  
 ARCHITECT  
 SA / AK  
 ARCHITECT  
 AP  
 PROJECT NUMBER

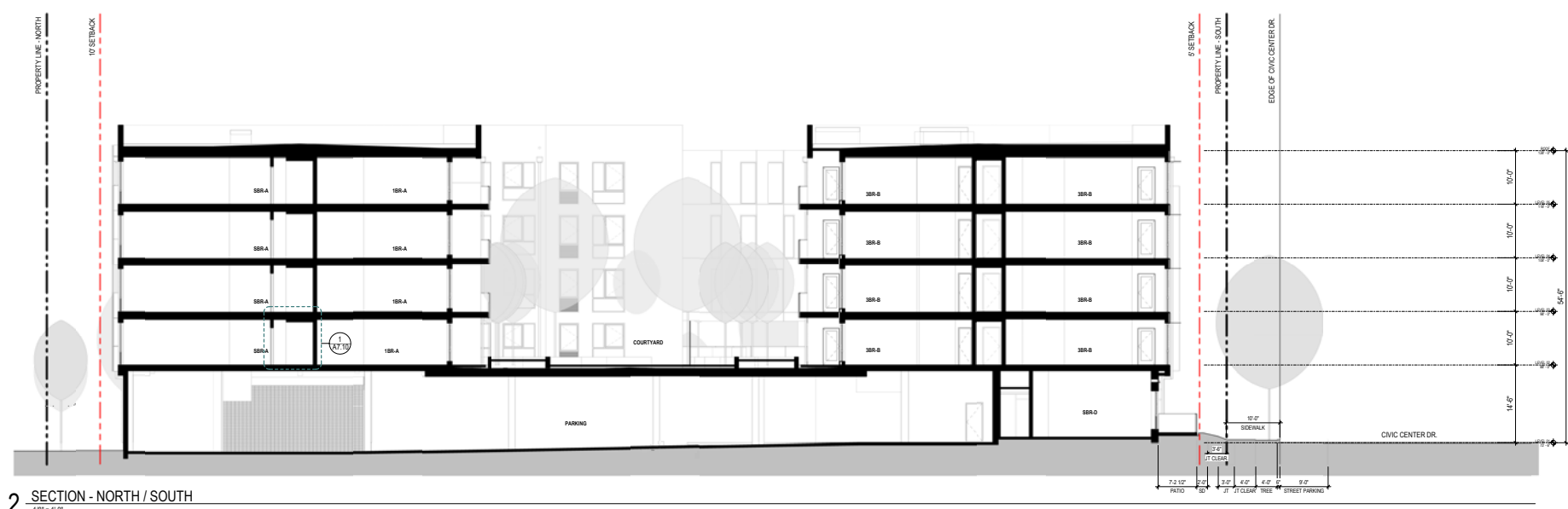


TITLE  
**BUILDING SECTIONS**  
 PROJECT NO.  
 1827400  
 DATE  
 05/25/2022

SCALE  
**A3.11**  
 GPR RESUBMISSION 2  
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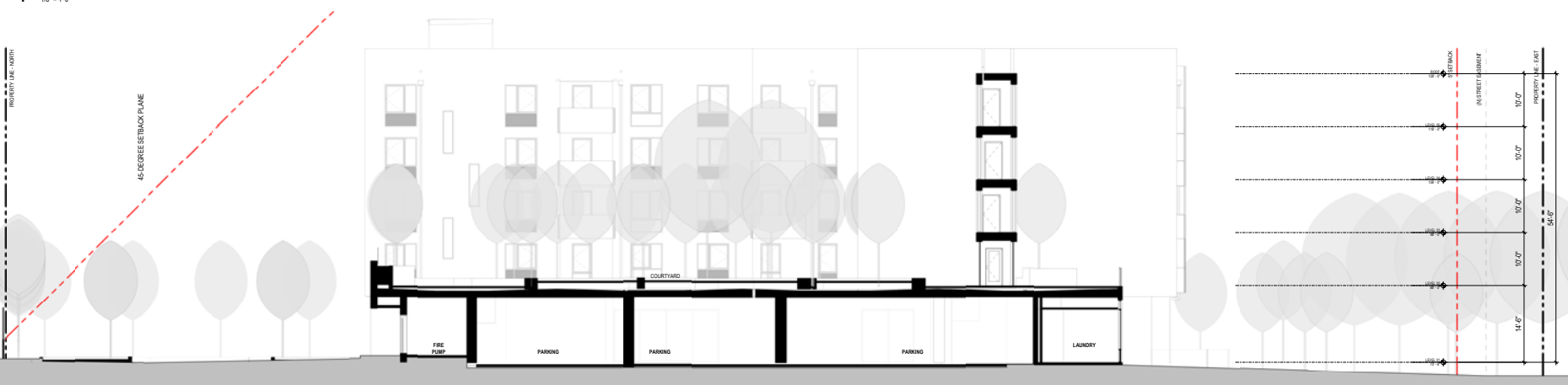
**1 SECTION - NORTH / SOUTH AT LOBBY**  
 1/8" = 1'-0"



**2 SECTION - NORTH / SOUTH**  
 1/8" = 1'-0"



**1 SECTION - THROUGH GARAGE ENTRY**  
 1/8" = 1'-0"

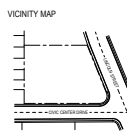


**2 SECTION - COURTYARD & CONNECTING WALKWAY**  
 1/8" = 1'-0"



**3 SECTION - THROUGH CORRIDOR AT LEVEL 1**  
 1/8" = 1'-0"





Revision table with columns for Date, Description, and Author. Includes entries for Planning Submittal, GPR Submittal, and GPR Resubmission 1 & 2.

Legend table with columns for Abbreviation and Description. Lists various electrical symbols and their meanings, such as JB for Junction Box and AC for Ampere Interrupting Capacity.

PROJECT NUMBER:
PROJECT NAME:
PROJECT ADDRESS:
PROJECT CITY:

LEGEND, SYMBOLS, GENERAL NOTES & DRAWING LIST

DATE: 10/27/2009
DATE: 05/25/2012

ABBREVIATIONS

Table of abbreviations and their meanings. Includes terms like JB (Junction Box), AC (Ampere Interrupting Capacity), and various electrical symbols like AC, ANN, AM, etc.

POWER AND SIGNAL DEVICE LEGEND

Table of power and signal device symbols. Includes symbols for electrical equipment, control panels, busbars, transformers, and various types of switches and breakers.

LIGHTING LEGEND

Table of lighting fixture symbols. Includes symbols for ceiling mounted, wall mounted, and recessed lighting fixtures, as well as emergency lighting and daylighting devices.

DATA AND AV DEVICE LEGEND

Table of data and AV device symbols. Includes symbols for data outlets, telephones, and various types of sensors and controllers.

POWER LEGEND

Table of power receptacle symbols. Includes symbols for duplex, combination, and special purpose receptacles, as well as power teletouch and control switches.

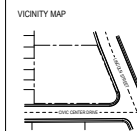
RECEPTACLE SUBSCRIPT LEGEND

Table of receptacle subscript symbols. Includes symbols for mounting height, dedicated circuits, ground fault interrupters, and weatherproofing.

Vertical text on the left margin containing project details and contact information.







DATE

02.08.2022	PLANNING SUBMITTAL
02.15.2022	10% SCHEMATIC DESIGN
03.15.2022	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

REVISIONS

NO.	DATE	DESCRIPTION
1	04.08.2022	GPA RESUBMISSION 1

PROJECT NUMBER  
AP

PROJECT NUMBER  
KB / SA

PROJECT NUMBER  
SA / AK

PROJECT NUMBER

DATE

**PODIUM LEVEL FLOOR PLAN - LIGHTING**

PROJECT NUMBER  
1927400

DATE  
05/25/2022

**E1.02**  
GPA RESUBMISSION 2

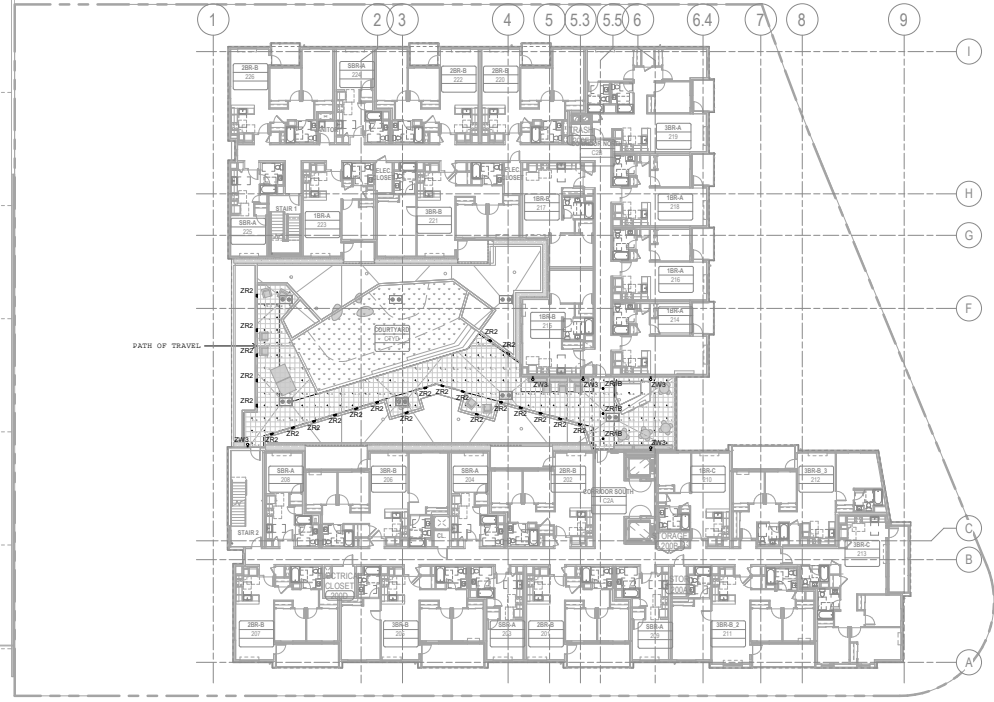
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**Calculation Summary**

Code	Position	Area	Power	Watt	Watt	Watt	Watt	Watt
Podium Walkway	1100	1500	1500	1500	1500	1500	1500	1500
Podium Stair	1100	1500	1500	1500	1500	1500	1500	1500

**Component Schedule**

Code	Position	Area	Power	Watt	Watt	Watt	Watt	Watt
Podium Walkway	1100	1500	1500	1500	1500	1500	1500	1500
Podium Stair	1100	1500	1500	1500	1500	1500	1500	1500



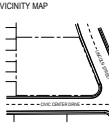
**1** PODIUM LEVEL FLOOR PLAN - LIGHTING  
1/8" = 1'-0"

**SHEET NOTES:**  
①

**GENERAL NOTES:**  
1. \*\*\*\*



MITHUN, INC. 1927400 05/25/2022 E1.02  
 CIVIC CENTER FAMILY HOUSING - LIGHTING  
 1601 CIVIC CENTER DR. SANTA CLARA, CA 95050  
 PREPARED FOR CHARITABLE FOUNDATION  
 PROJECT NUMBER AP  
 PROJECT NUMBER KB / SA  
 PROJECT NUMBER SA / AK  
 PROJECT NUMBER  
 DATE  
 SHEET NO. 1 OF 1  
 DATE PLOTTED 05/25/2022 10:52:11 AM  
 PLOTTER HP DesignJet T1100e



DATE	DESCRIPTION
02.18.2012	PLANNING SUBMITTAL
02.18.2012	10% SCHEMATIC DESIGN
03.13.2012	GPA SUBMITTAL
04.13.2012	50% DESIGN DEVELOPMENT
04.28.2012	GPA RESUBMISSION 1
05.15.2012	100% DESIGN DEVELOPMENT
05.15.2012	GPA RESUBMISSION 2

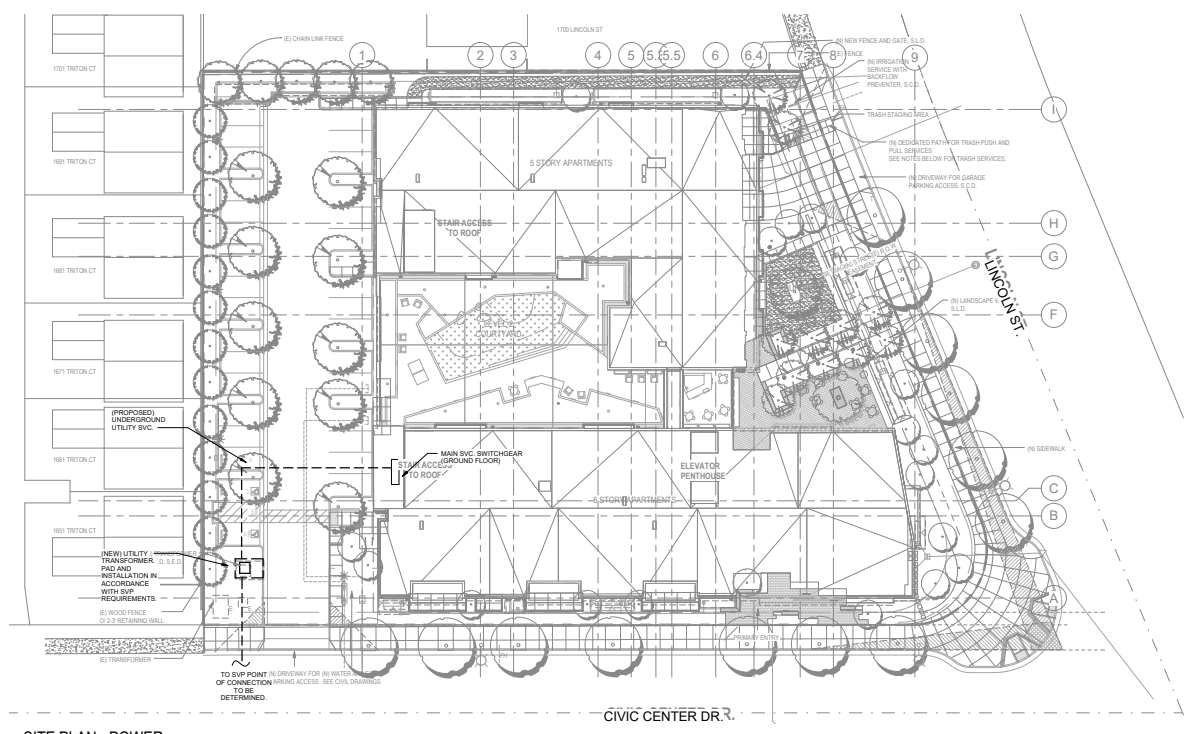
NO.	DATE	DESCRIPTION
1	04.08.2012	GPA RESUBMISSION 1

PROJECT NUMBER:  
AP  
PROJECT NUMBER:  
KB / SA  
PROJECT NUMBER:  
SA / AK  
PROJECT NUMBER:  
PROJECT TITLE:  
DATE:

TITLE  
SITE PLAN - POWER

PROJECT NUMBER:  
1927400  
DATE:  
05/25/2012

PROJECT NUMBER:  
E1.03  
GPA RESUBMISSION 2  
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1 SITE PLAN - POWER  
1" = 20'-0"

05/25/2012 13:57 PM

05/29/2022 13:53 PM

SEATTLE | PHOENIX | LOS ANGELES | SAN FRANCISCO  
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San Francisco, CA 94133-1449  
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CONSULTING ENGINEERS

2351 Powell Street  
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E gpa@mithun.com

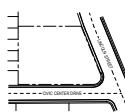
**PROJECT**  
CIVIC CENTER FAMILY  
HOUSING

**LOCATION**  
1601 CIVIC CENTER DR.  
SANTA CLARA, CA  
95050

**PREPARED FOR**



**VICINITY MAP**



DATE	DESCRIPTION
JUL 28 2021	PLANNING SUBMITTAL
03 19 2021	90% SCHEMATIC DESIGN
03 12 2021	GPA SUBMITTAL
11 19 2020	SCH DESIGN DEVELOPMENT
04 26 2020	GPA RESUBMISSION 1
02 16 2020	100% DESIGN DEVELOPMENT
01 16 2020	GPA RESUBMISSION 2

NO DATE

PROJECT MANAGER  
ARCHITECT  
KB / SA  
MECHANICAL  
SA / AK

PROJECT TITLE

DRAWN

**LEVEL 1 FLOOR PLAN - GROUND - POWER**

PROJECT NUMBER  
1927400  
05/29/2022

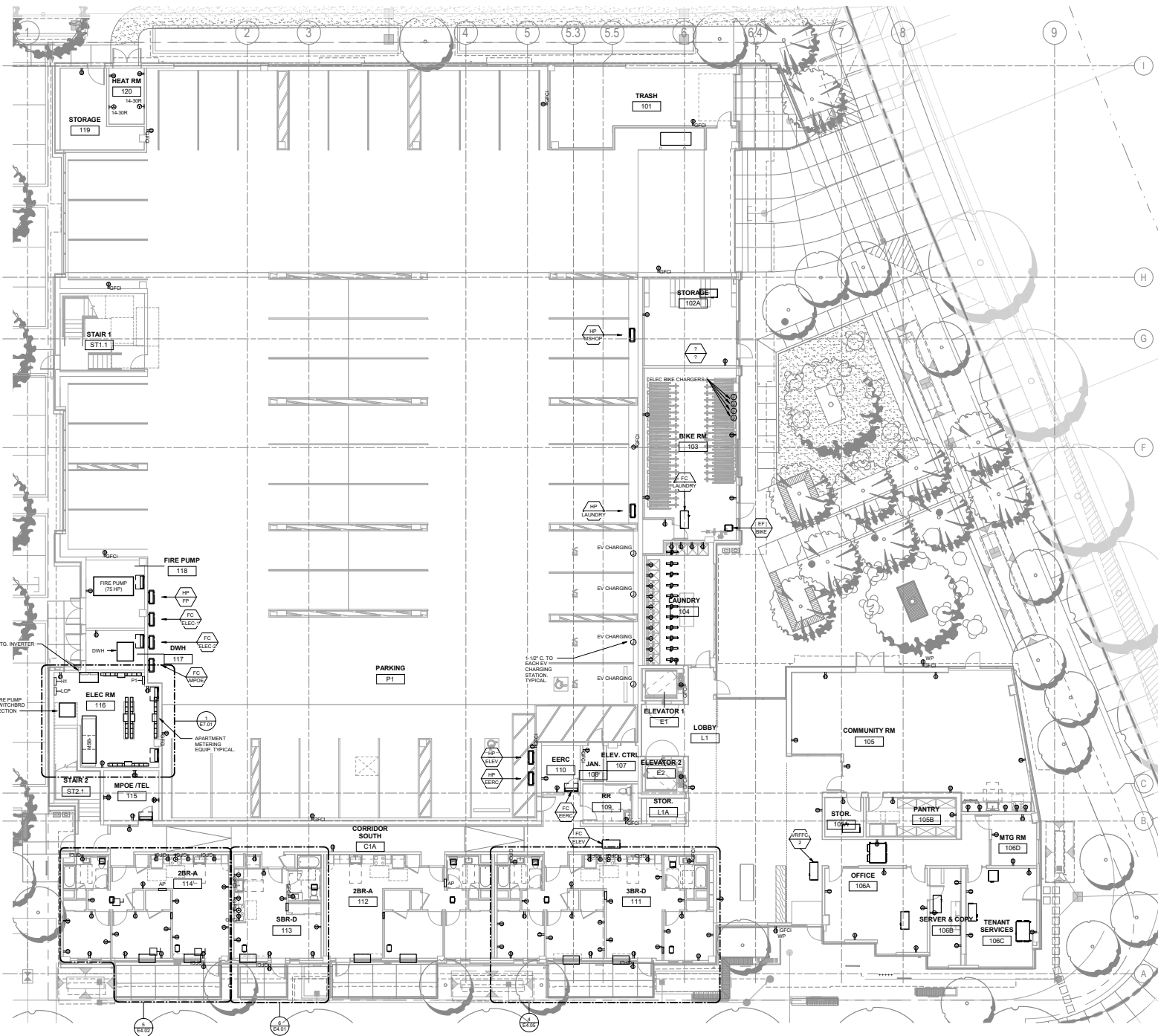
**E3.01**  
GPA RESUBMISSION 2  
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**GENERAL NOTES:**

1. \*\*\*\*\*

**SHEET NOTES:**

○



**1 LEVEL 1 FLOOR PLAN - GROUND - POWER**  
1/8" = 1'-0"



PROJECT NORTH



