



# City of Santa Clara

## Meeting Agenda

### Development Review Hearing

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**Wednesday, May 14, 2025**

**4:00 PM**

**Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050**

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The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

- o Via Zoom:
- o <https://santaclaraca.zoom.us/j/92950218717> or
- o Phone: 1 (669) 900-6833

Meeting ID: 929 5021 8717

How to Submit Written Public Comment Before Development Review Hearing Meeting:  
By email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) by 12 p.m. the day of the meeting.  
Please identify the Agenda Item Number in the subject line of your email.  
Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record.

Please note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Development Review Hearing items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>  
All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

## PUBLIC PARTICIPATION IN ZOOM

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- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

## CALL TO ORDER AND ROLL CALL

1.      25-549      [Declaration of Procedures](#)

## REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

2.      25-565      [Withdrawal of a Minor Use Permit \(MUP\) \(PLN24-00645\) to Allow the Short-Term Rental of up to 121 Units of the Lafayette Located at 2333 Calle del Mundo for a Period of Two Years](#)

**Recommendation:** Accept the Applicant's withdrawal of the Minor Use Permit.

## PUBLIC PRESENTATIONS

*[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]*

## CONSENT CALENDAR

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.



**3.A 25-550** [Development Review Hearing Meeting Minutes of April 9, 2025](#)

**Recommendation:** Approve the Development Review Hearing Meeting Minutes of the April 9, 2025 Meeting.

**GENERAL BUSINESS**

*The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.*

**4. 25-432** [PUBLIC HEARING: Action on the Architectural Review \(File # PLN24-001600\) to Allow the Development of 1,792 Residential Units and Associated On- and Off-Site Improvements for the Property Located at 2518 Mission College Boulevard](#)

**Recommendation:** **Determine** the project to be consistent with the prepared California Environmental Quality Act addendum and **Approve** the Architectural Review to allow the development of 1,792 residential units and associated on-and off-site improvements for the property located at 2518 Mission College Blvd, subject to the findings and conditions of approval.

**5. 25-360** [PUBLIC HEARING: Consideration of an Addendum to the Initial Study/Mitigated Negative Declaration \(IS/MND\) \(2021\) and Action on the Architectural Review \(PLN24-00568\) for the Demolition of Two Existing Single-Family Residences and the Construction of 11 Townhouses Located at 1530 and 1540 Pomeroy.](#)

**Recommendation:** **Consider** the Addendum to the 1530/1540 Pomeroy Avenue Residential project Initial Study/Mitigated Negative Declaration (IS/MND) and **Approve** the Architectural Review for the for demolition of two existing one-story single-family residences and the construction of 11 three-story townhomes with 22 surface parking spaces located at 1530/1540 Pomeroy, subject to the findings and conditions of approval.

6.      25-452      [PUBLIC HEARING: Action on the Architectural Review \(PLN25-00106\) for the demolition of an existing single-story residence and the construction of a 2,173 Square Foot First Floor and 1,573 Square Foot Second Floor, Resulting in a 3,746 Square Foot Two-Story Residence Located at 3705 Daniel Way.](#)

**Recommendation:**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction or Conversion of Small Structures") and **Approve** the Architectural Review for the demolition of an existing single-story residence and the construction a 3,746 Square Foot Two-Story Residence, located at 3705 Daniel Way, subject to the findings and conditions of approval.

7.      25-458      [PUBLIC HEARING: Action on the Architectural Review \(PLN25-00065\) for the Demolition of an Existing Uninhabitable Commercial Structure and the Construction of a New 2,598 Square-Foot Two-Story Residence with Four Bedrooms and Three and a Half Bathrooms Located at 1175 Lafayette Street within 200 Feet of Historic Resource Inventory Properties.](#)

**Recommendation:**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for the demolition of an existing structure and the construction of a new 2,598 square-foot four bedroom, three and one half-bathroom two-story residence with a two-car garage and a detached accessory dwelling unit (ADU) at 1175 Lafayette Street, subject to the findings and conditions of approval.

8.      **25-520**      [PUBLIC HEARING: Action on the Architectural Review \(PLN25-00082\) for the Construction of a 137 Square-Foot First Floor Addition and Internal Reconfiguration of an Existing Single-Family Residence, Resulting in a 3,170 Square-Foot Five-Bedroom and Four-Bathroom Single-Family Residence with Two-Bedrooms with Exterior Access on a 10,454 Square-Foot Lot at 3513 Oxford Court.](#)

**Recommendation:** Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects), and **Approve** the Architectural for the construction of a 137 square-foot first floor addition to an existing single-family residence, resulting in a 3,170 square-foot five-bedroom and four-bathroom single family residence with two-bedrooms with exterior access at 3513 Oxford Court, subject to findings and conditions of approval.

#### **ADJOURNMENT**

*The next regular scheduled meeting is on Wednesday, June 18, 2025 at 4 p.m.*

#### **MEETING DISCLOSURES**

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



# City of Santa Clara

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## Agenda Report

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**25-549**

**Agenda Date: 5/14/2025**

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### **REPORT TO DEVELOPMENT REVIEW HEARING**

#### **SUBJECT**

Declaration of Procedures



The Hearing Officer for this agenda will be Sheldon Ah Sing on behalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

**If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.**

**The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.**



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## Agenda Report

25-565

Agenda Date: 5/14/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Withdrawal of a Minor Use Permit (MUP) (PLN24-00645) to Allow the Short-Term Rental of up to 121 Units of the Lafayette Located at 2333 Calle del Mundo for a Period of Two Years

**File No.:** PLN24-00645  
**Location:** 2333 Calle del Mundo, APN: 097-05-110  
**Applicant:** Placemakr  
**Owner(s):** Summerhill Apartment Communities  
**Request:** Withdrawal of a Minor Use Permit (MUP) to allow the short-term rental of up to 121 units of the Lafayette located at 2333 Calle del Mundo for a period of two years

#### STATUS UPDATE

On April 11, Summerhill Apartment Communities, the owner of the Lafayette, withdrew Placemakr's application for a Minor Use Permit for short-term rentals at the Lafayette. The withdrawal letter is included as Attachment 1.

#### ENVIRONMENTAL REVIEW

The withdrawal is not a Project, as no action is being taken.

#### PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on March 28, 2025. The project was subsequently continued to the May 14 meeting.

#### RECOMMENDATION

**Accept** the Applicant's withdrawal of the Minor Use Permit.

Prepared by: John Davidson, Principal Planner  
Approved by: Sheldon Ah Sing, Development Review Officer

#### ATTACHMENTS

1. Withdrawal letter

**From:** [Breeze, Elaine](#)  
**To:** [John Davidson](#)  
**Cc:** [Michael Goodwin](#); [Hamilton Henderson](#); [Leiva, Alvaro](#)  
**Subject:** Minor Use Permit Application - 2333 Calle Del Mundo - PLN24-00645  
**Date:** Friday, April 11, 2025 4:05:48 PM  
**Attachments:** [image001.png](#)

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Good afternoon John,

On behalf of Placemakr and SummerHill Apartment Communities, we are rescinding the above-referenced application for a Minor Use Permit. Thank you for all your effort during the process.

Please let us know if you have any questions.

Best Regards,  
Elaine

**Elaine Breeze**

Senior Vice President of Development

**SummerHill Apartment Communities**

777 S. California Avenue, Palo Alto, CA 94304

Tel (650) 842-2404 • Mobile (415) 971-0660

[ebreeze@shapartments.com](mailto:ebreeze@shapartments.com)



All subject matter contained in this email is confidential and proprietary to SummerHill Homes/SummerHill Apartment Communities and should not be disclosed to any person not listed as an original recipient. SummerHill Homes/SummerHill Apartment Communities. All rights reserved.

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## Agenda Report

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**25-550**

**Agenda Date: 5/14/2025**

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### **REPORT TO DEVELOPMENT REVIEW HEARING**

#### **SUBJECT**

Development Review Hearing Meeting Minutes of April 9, 2025

#### **RECOMMENDATION**

Approve the Development Review Hearing Meeting Minutes of the April 9, 2025 Meeting.



# City of Santa Clara

## Meeting Minutes

### Development Review Hearing

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04/09/2025

4:00 PM

Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050

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**REVISED AGENDA Additional Public Correspondence has been added to Item 1 -  
RTC 25-289**

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o Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717> or

o Phone: 1 (669) 900-6833

Meeting ID: 929 5021 8717

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- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

## CALL TO ORDER AND ROLL CALL

**Development Review Officer Sheldon Ah Sing** called the meeting to order at 4:00 p.m.

[25-423](#)

Declaration of Procedures

**Development Review Officer Sheldon Ah Sing** read the Declaration of Procedures.

## REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

**Principal Planner John Davidson** announced that **Applicant Placemakr** requested Item 1 on General Business to be continued date certain to the May 14, 2025 Development Review Hearing Meeting.

## PUBLIC PRESENTATIONS

None.

## CONSENT CALENDAR

[25-421](#)

Development Review Hearing Meeting Minutes of March 12, 2025

**Recommendation:** Approve the Development Review Hearing Meeting Minutes of the March 12, 2025 Meeting.

**Action:** Development Review Officer Sheldon Ah Sing approved staff recommendation.

**GENERAL BUSINESS**

1. [25-289](#) PUBLIC HEARING: Action on a Minor Use Permit (MUP) to allow the short-term rental of up to 121 units of the Lafayette located at 2333 Calle del Mundo for a period of two years

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Minor Use Permit, subject to the required findings and conditions of approval.

**Action: Development Review Officer Sheldon Ah Sing approved the request for this item to be continued date certain to the May 14, 2025 Development Review Hearing Meeting.**

2. [25-226](#) PUBLIC HEARING: Action on the Architectural Review (PLN25-00028) for the Modification of Previously Approved plans (PLN22-00168) for the Addition of 82 Square Feet to the Second Floor of a Previously Approved Two-Story Residence Resulting in a 3,411 Square Foot Residence with Five Bedrooms and Five Bathrooms Located at 3674 Macintosh Street

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and **Approve** the Architectural Review for the addition of 82 Square Foot to a previously approved Second Floor Addition located at 3674 Macintosh Street, subject to the findings and conditions of approval.

**Associate Planner Daniel Sobczak** provided the staff presentation.

**Applicant Arbel Toumeh** spoke about the changes to the previously approved plans.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

3. [25-331](#) PUBLIC HEARING: Action on the Architectural Review (PLN25-00066) for the demolition of an existing single-family residence and the construction of a one-story 2,219 square foot single-family residence with four bedrooms and three bathrooms at 1964 Los Padres Boulevard

**Recommendation:**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and **Approve** the Architectural Review for the removal of an existing single-family residence and the construction of a new 2,219 square foot single-story residence located at 1967 Los Padres Boulevard, subject to the findings and conditions of approval.

**Associate Planner Daniel Sobczak** presented the site plans and spoke about the materials proposed for the construction.

**Applicant's representative Studio Architects Inc.** was available for comments.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

4. [25-343](#) PUBLIC HEARING: Action on the Architectural Review (PLN24-00581) for the Demolition of an Existing Residence to Construct a 4,726 Square-Foot Two Story Six Bedroom and Five Bathroom Single-Family Residence on a 9,301 square-foot lot at 3342 Allen Court.

**Recommendation:** **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill) and **Approve** the Architectural Review for the demolition of an existing residence to construct a 4,726 square-foot two story six bedroom and five-bathroom single family residence at 3342 Allen Court, subject to findings and conditions of approval.

**Assistant Planner Alex Tellez** provided the staff presentation.

**Applicant Bay Area Construction** spoke about the proposed materials.

**Public Speaker:**  
Stephen Uriarte

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

5. [25-344](#) PUBLIC HEARING: Action on the Architectural Review (PLN24-00519) for the Construction of an 809 Square-Foot First Floor Addition and a 942 Square-Foot Second Floor Addition, Resulting in a 3,381 Square-Foot Three Bedroom and Three and a Half Bathroom Two-Story Single-Family Residence on a 7,558 Square-Foot Lot at 1962 Graham Lane.

**Recommendation:** **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301 (Class I - Existing Facilities), and **Approve** the Architectural Review for the construction of a 809 square-foot first floor addition and a 942 square-foot second floor addition to an existing 1,794 square-foot single story residence, resulting in a 3,381 square-foot three bedroom, three and a half bathroom two story residence at 1962 Graham Lane, subject to findings and conditions of approval.

**Assistant Planner Alex Tellez** provided the staff presentation.

**Applicant Fernando Gutierrez** was available for comments.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

6. [25-352](#) PUBLIC HEARING: Action on the Architectural Review (PLN24-00352) for the Demolition of Three Existing Industrial Structures to Construct a One & a Half Story 20,284 Square-Foot Industrial Building with Associated Site Improvements in a 38,845 Square-Foot Lot Located at 840, 868, & 870 Parker Street.

**Recommendation:** **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill), and **Approve** the Architectural Review for the demolition of three existing industrial buildings to construct an one & half story 20,284 square-foot industrial building with associated site improvements in a 38,845 square-foot lot located at 840, 868, & 870 Parker Street, subject to findings and conditions of approval.

**Assistant Planner Alex Tellez** provided the staff presentation.

**Applicant Sylvester Ramirez, Devcon Construction** spoke about the proposed architectural features of the building, and the site improvements.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

7. [25-382](#) PUBLIC HEARING Action on the Architectural Review (PLN24-00597) for a 395 Square-Foot First Floor Addition and 1,852 Square-Foot Second Floor Addition to an Existing One-Story Duplex Residence Resulting in two 2,331 Square-Foot Two-Story Duplex Units Located at 3245 McKinley Drive.

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a for a 395 square-foot first floor addition and 1,852 square-foot second floor addition to an existing one-story duplex residence resulting in two 2,331 square-foot two-story duplex units, located at 3245 McKinley Drive, subject to the findings and conditions of approval.

**Assistant Planner Meha Patel** provided the staff presentation.

**Applicant Devendra Deshwal** spoke about the project.

**Public Speaker:**

Anna Vernayana

**Action:** Development Review Officer Sheldon Ah Sing approved staff recommendation and stated it was exempt from CEQA using a Class 32 infill exemption.

**ADJOURNMENT**

The meeting adjourned at 4:58 p.m.

The next regular scheduled meeting is on Wednesday, May 14, 2025.

The meeting is recording is available on the City's website:  
<https://santaclara.legistar.com/calendar.aspx>

**MEETING DISCLOSURES**

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## Agenda Report

25-432

Agenda Date: 5/14/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Action on the Architectural Review (File # PLN24-001600) to Allow the Development of 1,792 Residential Units and Associated On- and Off-Site Improvements for the Property Located at 2518 Mission College Boulevard

**File No.:** PLN24-00160

**Location:** 2518 Mission College Blvd; one parcel with a total area of 25.74 acres, located south of Mission College Blvd and encircled by Freedom Circle; APN: 104-40-019; Zoned: High-Intensity Office/R&D (HO-RD)

**Applicant:** Irvine Company

**Owner(s):** Freedom Circle LLC

**Request:** Architectural Review to allow the development of 1,792 residential units and associated on-and off-site improvements for the property located at 2518 Mission College Blvd.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The owner/applicant/developer (Irvine Company) proposes to subdivide the parcel into six lots, construct a wrap style (residential building around a multi-level parking structure), five-story building on each of the five lots. The sixth lot will be developed as a 3.48-acre public park, with additional parkland provided as a north-south connection, resulting in a total parkland dedication of 4.225 acres. The proposal includes approximately 3,500 square feet of resident and public-serving retail space, and approximately 13,000 square feet of amenity space.
- Per Santa Clara Code Section 18.112.020, implementation of this request requires review by the Planning Commission and approval by the City Council for General Plan, Rezone and Subdivision requests. On February 19, 2025, the Planning Commission recommended approval to the City Council and on March 25, 2025, City Council approved the following:
  - General Plan text amendment to add a new policy to the Freedom Circle Future Focus Area to clarify that a Planned Development rezone satisfies the requirement of a comprehensive plan for the project.
  - Rezone of the property from HO-RD to Planned Development (PD).
  - Vesting Tentative Subdivision Map to subdivide the property into six lots.
- Per the Santa Clara City Code Section 18.120.020(D)(3), the request also requires Architectural Review approval through a Development Review Hearing.
- The proposal conforms to the City's Community Design Guidelines in that it improves the aesthetics of the site, creates a mix of uses by providing residential in proximity to the existing commercial uses, enhances bike and pedestrian connections, and is designed to be

compatible with the existing surrounding development.

- The applicant worked with the staff to address concerns about the architectural style for the project by providing further details, material boards and a guided on-site visit to Santa Clara Square, one of Irvine Company's projects within the City.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- Consistent with the City's Public Outreach Policy for Planning Applications, public outreach meetings were conducted by the Property Owner/Applicant on May 13, 2024 (hybrid) and on October 16, 2024 (in-person), to engage the neighborhood community in the planning process. These meetings provided the community opportunities to review and comment on the proposal. Key topics at these meetings included land use and density, affordability, Transportation and Parking, preserving onsite trees, bike and pedestrian connectivity and environmentally sustainable features.
- A neighborhood notice was distributed within a 1,000-foot radius of the subject site for this project review.
- The site is located within the Freedom Circle Focus Area Plan and has office, and retail uses to the north, south and west. The site is bounded by Freedom Circle and Mission College Boulevard. East of the site is a vacant parcel that was approved by Council for construction of 1,075 residential units (Greystar project). See Attachment 1 for a Vicinity Map.
- The site is currently a business park containing 12 two-story commercial buildings with surface parking and landscaping. The business park was built around 1978 and is currently partially occupied.

### ***Site layout and Design***

- The project features five five-story residential wrap style buildings including 1,792 apartment units with an array of residential amenities and 3,500 square feet of project serving retail located in Building 5. The project would provide a private central street through the project site to connect the east and west sides of Freedom Circle, with Buildings 1, 2, and 3 north of the road, and Buildings 4 and 5 south of the road. See Attachment 3 for a weblink to the development plans.
- The project would divide the existing 25.74-acre parcel to create six parcels of varying sizes, which would include one parcel for each of the five proposed residential buildings and one parcel for the public park to be dedicated to the city.
- Each of the buildings will have studio, one-bedroom and two-bedroom apartment units, and multi-level parking located in the center of each residential building. All parcels and buildings are of varying sizes: Building 1 (362 units); Building 2 (341 units); Building 3 (536 units); Building 4 (292 units); and Building 5 (261 units).
- Dividing the property between north and south is an east-to-west street connection that would accommodate vehicles as well as bicycles and pedestrians. At the center of this connection, a north-to-south pedestrian connection intersects the property between eastern and western portions leading to the future public park. Both connections are consistent with the Future Focus Area Plan. This intersection and approximate center of the project site is envisioned to serve as the focal point and social hub for the development, with the retail, leasing office and amenities located here.
- The southern portion of the site will be developed as a 3.48-acre public park. The north-south green pedestrian path connects Mission College Boulevard to the park. The proposed public

park is strategically located across from the approved two-acre park on the Greystar project site, leading to San Tomas Aquino Creek Boulevard.

### **Building Architecture**

- The overall architecture style for the project is Mediterranean inspired. However, the project includes four different variants of Mediterranean architectural styles to create a smaller pedestrian scale experience. The three building to the north of the site have a combination of Modern Palazzo and Italian Architecture. The two buildings to the south are a combination of Formal Spanish and Palladian architectural style. Transitional elements, such as garage entries or recess in the building façade are used to transition from one architectural style to other. Transition does not occur at the building corners.
- Building facades at the pedestrian level or base of the building are treated differently for each architectural style to break any monotony and to create a vibrant pedestrian experience as described below:
  - The Italian style provides grooves on the façade to create horizontal bands
  - Palladian style incorporates stone blocks finish
  - Formal Spanish utilizes brick
  - Palazzo uses a lighter base color with smooth finish to provide contrast
- Building entries are highlighted with large storefront details.
- Each Architectural style highlights the variations and textures through color palate and building materials as shown in Attachment 6. The four architectural styles are further differentiated by providing variation in window trim colors and styles, trellis and trims details, window shapes, alignments and grouping, and railing details.
- Each of the four architectural styles provide different roof forms, materials, overhang details, and variation in the eave profile and trim bands for further distinction in the styles.

### ***Circulation and Parking***

- Primary access to the project site is from Freedom Circle via Mission College Boulevard, and from Bowers and Great America exit on US Route 101 via Hichborn Drive. The project would construct a seven-foot-wide sidewalk along the project site perimeter, and a Class IV separated bikeway along Freedom Circle and Mission College Boulevard.
- The curb cuts along Freedom Circle would be consolidated to open onto the new east/west private street to minimize the bike/pedestrian and vehicle conflicts.
- East-west and north-south connections consistent with the Freedom Circle Future Focus Area Plan include:
  - A new 28-foot-wide two-way east/west private street roughly dividing the project site into a northern half and a southern half would be added. It would include bike lanes, six-foot pedestrian sidewalks on both sides, and a landscape parkway in-between the street and sidewalk.
  - A north/south pedestrian path connects Mission College Boulevard to the proposed 3.48-acre public park at the southern edge of the project site across the street from the approved two-acre public park on the Greystar project site, leading to the San Tomas Aquino Creek trail.
- A crosswalk is proposed on Freedom Circle on the southeast corner to connect the proposed park to the approved park on the Grey Star site across the street.
- The project provides a total of 2,459 parking spaces, whereas the code requires 2,126 parking

spaces. The proposed parking exceeds the parking requirement per Zoning Code Section 18.22.050 to provide one parking space for each of the studio and one-bedroom units and 1.5 parking spaces for each of the two-bedroom units. Loading zones would be provided for each building.

- The proposed public park will also include a parking lot with approximately 15 parking spaces to be used by park visitors.
- Consistent with the City Code, the project would provide one secure private bicycle parking space per unit located in the five parking garages with electrical outlets (1,792 total bicycle parking spaces), 120 short-term, public Class II bike racks within public park space, do-it-yourself bicycle repair facilities (e.g., air pump and basic tools) so cyclists can conduct repairs as needed, and e-bike charging stations.

### ***Landscaping and Open Space***

- The project includes a landscape plan for the site that incorporates a mixture of plant species and trees for planting within courtyards, interconnected green common areas and along the project perimeter.
- Of the total 417 existing onsite trees, 94 trees will be preserved, 36 trees will be transplanted, and 287 trees shall be removed. As a condition of project approval, the project will replace the removed trees at a minimum of 2:1 with 24-inch box species or equivalent. The proposed project would include the planting of approximately 932 trees, at least 24-inch box trees throughout the site, exceeding the requirement to plant 574 trees.

### **FINDINGS SUPPORTING STAFF'S RECOMMEDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The development provides a total of 2,459 on-site parking spaces, including guest parking spaces. This exceeds the Zoning code requirement for 2,126 parking spaces per Section 18.38, Table 3-3, requiring one parking space for studio or one-bedroom units and 1.5 parking spaces for two- and three-bedroom units.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The proposed project would not generate an increase in trips that were previously anticipated with the Freedom Circle Future Focus Area Plan Environmental Impact Report (EIR) and the project would comply with, the applicable programmatic mitigation measure from the certified 2022 EIR that reduce vehicle trips and traffic-related noise levels.
  - The project includes bike and pedestrian improvements by constructing a new seven-foot sidewalk and adding a class IV bike lane along Freedom Circle.
  - Consistent with the Freedom Circle Future Focus Area Plan, the project also breaks the larger parcel by introducing an east and west vehicular, bike and pedestrian connection

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- The development includes five-story residential structures that are separated from the existing commercial uses in the area via Freedom Circle.
- The project introduces a new residential land use in the neighborhood that enhancing all modes of transportation and making it a more vibrant neighborhood.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
- The use, scale, and design of the development, as conditioned, are consistent with the General Plan density contemplated for this area and is therefore compatible with the existing and future land uses in the surrounding area.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed design and form of the building is consistent with the City's General Plan policies and Community Design Guidelines.
- The project provides for an attractive and functional site arrangement of the buildings and other improvements on a commercial site providing a high-quality architectural and landscape design.

### **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

### **ENVIRONMENTAL REVIEW**

The action being considered is an Addendum to the Freedom Circle Future Focus Area Plan Environmental Impact Report (EIR) (2022) was prepared for the project by the environmental consultant firm MIG, Inc, in accordance with the California Environmental Quality Act (CEQA) and was posted on the City's website (weblink provided in Attachment 1). The Addendum concluded that the proposed project would not cause substantial changes to the previously approved EIR. This Addendum includes four refinements to 2022 EIR mitigation measures which provide clarification and detailed protocols for project-specific implementation of the 2022 EIR mitigation measures: one in Air Quality, two in Biological Resources, and one in Cultural Resources. No further evaluation is required, and no Subsequent or Supplemental EIR is needed pursuant to State CEQA Guidelines Section 15162, and an EIR Addendum has therefore appropriately been prepared, pursuant to Section 15164. Pursuant to CEQA Guidelines Section 15164(c), this Addendum will not be circulated for public review but will be included in the public record file for the project approval.

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 1,000-foot radius of the project site on May 1, 2025. Public comments received on the project before the Planning Commission Hearing are provided as Attachment 5. Staff has not received any further comments.

Consistent with the City's Public Outreach Policy for Planning Applications, public outreach meetings were conducted by the Property Owner/Applicant on May 13, 2024 (hybrid) and on October 16, 2024 (in-person), to engage the neighborhood community in the planning process. These meetings provided the community opportunities to review and comment on the proposal. Key topics at these meetings included land use and density, affordability, Transportation and Parking, preserving onsite trees, bike and pedestrian connectivity and environmentally sustainable features.

## **RECOMMENDATION**

**Determine** the project to be consistent with the prepared California Environmental Quality Act addendum and **Approve** the Architectural Review to allow the development of 1,792 residential units and associated on-and off-site improvements for the property located at 2518 Mission College Blvd, subject to the findings and conditions of approval.

Prepared by: Nimisha Agrawal, Senior Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

## **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Web Links- Project Website and City Council Staff Report of March 25, 2025
4. Conditions of General Plan Amendment and Rezoning Approval
5. Public Comments
6. Weblink- Development Plans
7. Architectural Concept Drawings





**City of  
Santa Clara**  
The Center of What's Possible

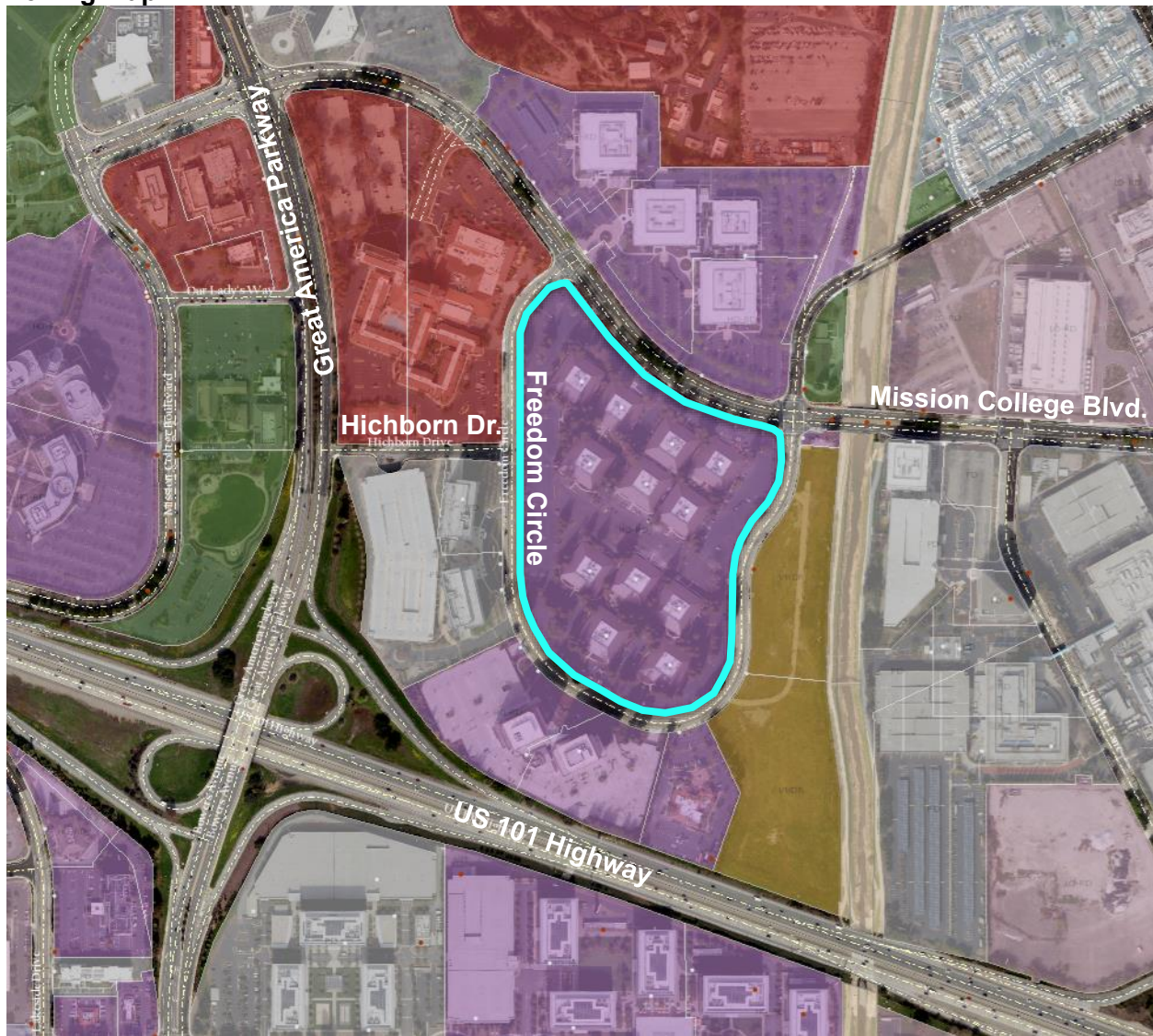


## Vicinity Map

**PLN24-00160 and PLN24-00213 /2518 Mission College Blvd APN:104-40-019**

**Project Description:** Adoption of an Addendum to the to the Freedom Circle Future Focus Area Plan Environmental Impact Report and Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 2518 Mission College Boulevard to Allow the Development of 1,792 Residential Units and Associated On- and Off-Site Improvements.

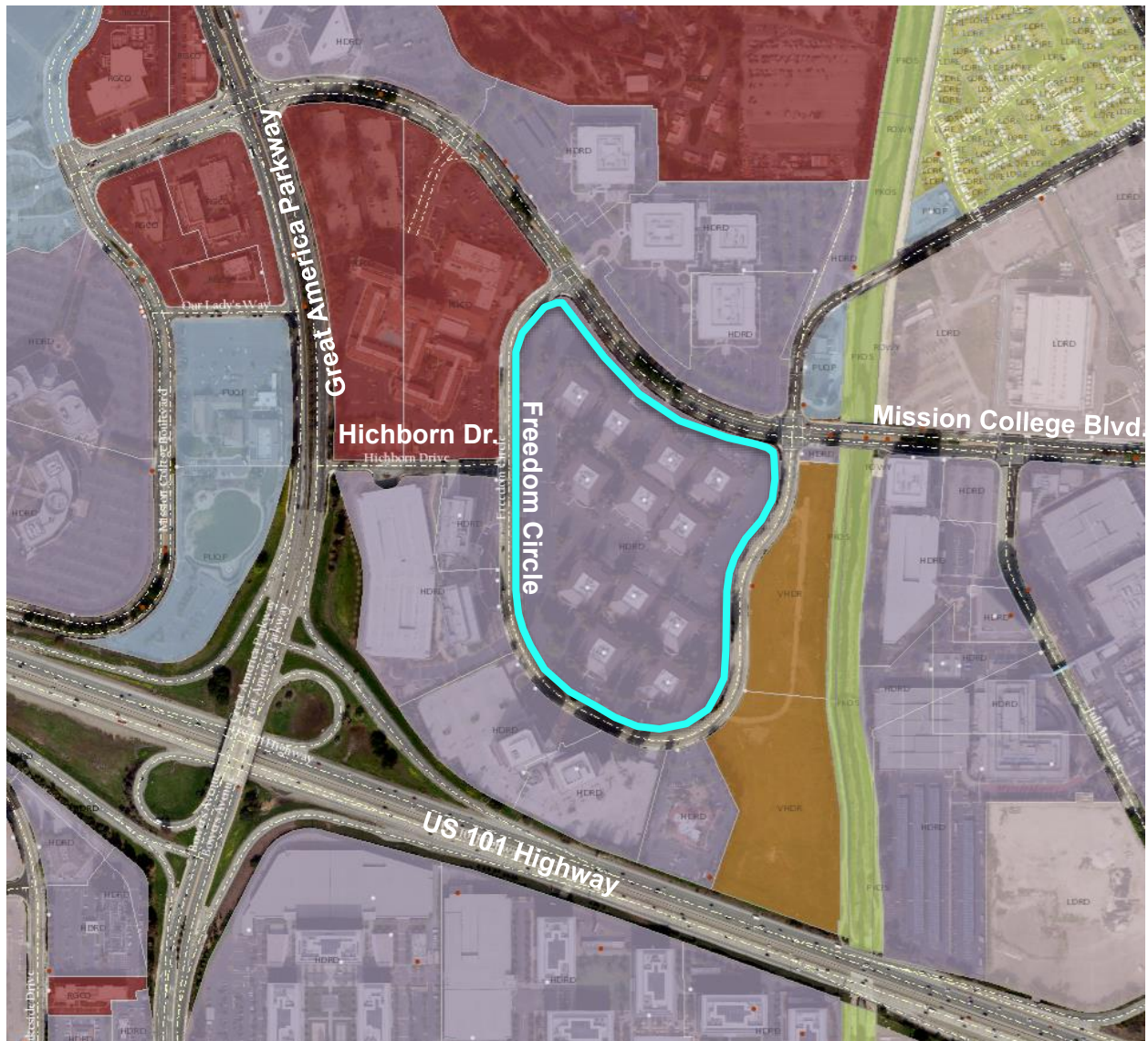
## Zoning Map



Existing Zoning: High Intensity Office and R&D



## General Plan Map



Existing General Plan designation: High Intensity Office and R&D



**Attachment 9: Project Data Table****Project Address: 2518 Mission College Blvd.****Project Number: PLN24-00160 and PLN24-00213****Proposed Zoning: Planned Development (PD)**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area (SF) (min):</b>	25.74 acres	25.74 acres divided into 6 lots. <ul style="list-style-type: none"><li>• Lot1: 3.71 acres</li><li>• Lot 2: 4.38 acres</li><li>• Lot 3: 5.88 acres</li><li>• Lot4: 5.11 acres</li><li>• Lot 5: 3.94 acres</li><li>• Lot 6: 2.73 acres</li></ul>
<b>Building Area/units</b>	12 two-story office buildings	Building 1: 516, 840 sq. ft/ 362 units Building 2: 504, 130 sq. ft/ 341 units Building 3: 763,530 sq. ft/ 536 units Building 4: 527,730 sq. ft/ 292 units Building 5: 471,690 sq. ft/ 261 units
<b>Total:</b>	427,380 sq. ft.	1,766,170 GSF Building Area 1,017,750 GSF Garage
<b>Building Coverage (All):</b>	-	50.64%
<b>Retail Area</b>	-	3,500
<b>Parking:</b>	-	Building 1: 500 Building 2: 474 Building 3: 728 Building 4: 398 Building 5: 359 Total: 2,459
<b>Guest:</b>	-	20
<b>Class 1 Bicycle:</b>	-	1,792
<b>Class 2 Bicycle:</b>	-	120
<b>Trees</b>	417	287 trees removed
<b>Private recreation space:</b>	-	3.08 acres
<b>Public recreation space:</b>	-	3.35 acres Public Park

## **Web Links- Project Website and City Council Staff Report of March 25, 2025**

### **Project Website:**

Here you will find a summary of the project and information regarding past community meetings and prior plan submittals.

[2518 Mission College Blvd. - Santa Clara Park Residential Project | Projects Listing | City of Santa Clara](#)

### **Council Meeting March 25, 2025:**

Here you will find documents related to the Planning Commission meeting such as the staff report and attachments.

<https://santaclara.legistar.com/View.ashx?M=A&ID=1234202&GUID=E1C1D345-16B8-47A2-A446-91805055AA43>

### **Council Meeting March 25, 2025 Video:**

<https://santaclara.legistar.com/Calendar.aspx#>

### **Council Meeting March 25, 2025 Minutes:**

<https://santaclara.legistar.com/View.ashx?M=M&ID=1234202&GUID=E1C1D345-16B8-47A2-A446-91805055AA43>

**These documents are available for viewing in the Community Development Department**



## **CONDITIONS OF GENERAL PLAN AMENDMENT AND REZONING APPROVAL**

**PLN24-00160 and PLN24-00213 /2518 Mission College Blvd APN:104-40-019**

**Project Description:** Adoption of an Addendum to the to the Freedom Circle Future Focus Area Plan Environmental Impact Report and Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 2518 Mission College Boulevard to Allow the Development of 1,792 Residential Units and Associated On- and Off-Site Improvements.

### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is **March 25, 2027**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
  - a. During construction retaining a single company to install all fire related penetrations is highly recommended.
  - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
  - c. All stair shafts shall be minimum 1-hour rated.
  - d. All elevator shafts shall be minimum 1-hour rated.
  - e. All trash chute shafts shall be minimum 1-hour rated.
  - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - g. Any trash rooms shall be minimum 1-hour rated all sides and above.

- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
  - a. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

## **COMMUNITY DEVELOPMENT – PLANNING DIVISION**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1. (SCC 12.35.090)
- P3. **Tree Replacement (Alternative Means).** If the applicant is unable to meet the 2:1 ratio requirement, trees permitted by the City for removal shall be replaced at a ratio pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)
- P4. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.
- P5. Applicant shall install proposed crosswalk adjacent to the park located at the southern edge of the project site with enhanced pedestrian safety features, such as a raised crosswalk with flashing beacon, different surface materials for the crosswalk.

### **DURING CONSTRUCTION -- PRIOR TO OCCUPANCY**

- P6. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P7. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P8. **Construction Parking.** Off street parking is required to be available from the time of issuance of building permits until the issuance of certificate of occupancy. 448 parking spaces shall be made available. Off-street construction parking lots are required to be maintained mud-free and dustless. If the off-street construction parking lot is located on an unpaved surface, daily street sweeping of surrounding streets is required. (SCC 18.38.030)
- P9. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

- P10. The City encourages the Owner and any contractors or subcontractors working on the project to evaluate hiring local labor, hiring from or contributing to approved, accredited apprenticeship programs, increasing resources for labor compliance, and providing living wages during the development of this Project.

#### **OPERATIONAL CONDITIONS**

- P11. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P12. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P13. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape of 2,500 square feet or more shall conform to the California Department of Water Efficient Landscape Ordinance.
- P14. **Transportation Demand Management (TDM) Program (Residential Project).** The owner or designee shall implement the project TDM program that includes elements to reduce vehicle miles traveled (VMT) by 20 percent with 10% through active TDM measures per the City's 2022 Climate Action Plan. A final TDM plan shall be submitted to the Director of Community Development or designee prior to Building Permit Final by the Planning Division. The property owner or designee shall monitor the project TDM program and submit an annual report to the Director of Community Development or designee. Monitoring and reporting requirements may be revised in the future if the minimum reduction is not achieved through the measures and programs initially implemented.

#### **MITIGATION MEASURES**

- P15. **Mitigation Monitoring and Reporting Program.** The Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

#### **COMMUNITY DEVELOPMENT - BUILDING DIVISION**

##### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- BD1. **Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.

BD3. **Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:

- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.

BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

#### **COMMUNITY DEVELOPMENT - HOUSING DIVISION** **DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE**

H1. In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 1,792 units rental residential development.

The Applicant is required to provided at least fifteen percent (15%) of the units (268.8 units) as affordable housing for households at the following affordability levels: five percent (5%) or 75 units at fifty percent (50%) of Area Median Income (AMI) to qualify for a twenty percent (20%) density bonus, with the remaining 193.8 units offered at an average of one hundred percent (100%) of AMI. The fractional unit of 0.8, the applicant has elected to provide 194 affordable units at average of 100%AMI. Affordable units shall be reasonably dispersed throughout the project, contain the same number of bedrooms as market rate units. They shall be comparable to the design, appearance, material and finished quality of the market rate units in the project. Affordable units will also have the same access to the project amenities and recreational facilities as market-rate units.

Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City, which will establish the affordable rents and apply all terms and covenants ensuring the prescribed affordability, subject to the satisfaction of the Director of Community Development. Compliance with the affordable housing obligation will be memorialized in the AHA and may be subject to City Council approval. A fee of \$5,868 will be required for the preparation of the AHA, due prior to its execution. Additionally, there will be an annual monitoring fee of \$127 per affordable unit.

## **FIRE DEPARTMENT**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- F1. **Hazmat Clearance.** Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F2. **Hazmat Clearance.** Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at [fchun@santaclaraca.gov](mailto:fchun@santaclaraca.gov) for more information.

- F3. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F4. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F5. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F6. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
- Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the "entire" face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may

have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.

- For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.

or

- For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet and an outside turning radius of 50 feet.
- The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. Traffic calming devices are shown currently on this plan and are not allowed. The project has the option to remove them or provide pneumatic bollards to isolate the portion of the road they want for pedestrian access. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F7. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F8. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F9. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to



allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8' - 10') above grade.

F10. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted. This project will require an AMMR for the following items:

- a. Redwood trees remaining in place along aerial access roads. The project has been told to remove the trees, but are choosing to defer their decision to the building permit stage.
- b. Hose pulls are not within 150 feet of all exterior portions of the building
- c. Aerial access setbacks are not 15 to 30 feet on at least two sides of each building (1 short side and 1 long side). Even with the removal of the trees, aerial access setbacks will still be code deficient

F11. The Fire Department reserves the right to add or edit comments based on environmental impact reports, the CEQA process, or a Fire Department Needs Assessment.

F12. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.

F13. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

F14. **Shared Fire Protection Features that Cross Property Lines.** Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.

F15. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

F16. If traffic preemption is not currently installed at Agnew and Mission College for Station 8, the project will be responsible for installing. This will be listed as a Condition of approval.

#### **PARKS & RECREATION DEPARTMENT**

##### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

PR1. **Park Impact Fees.** This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 3441 residents (1.92 persons/household x 1792 units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 10.323 acres. The equivalent fee due in lieu of parkland dedication is \$69,986,560 (1792 units X \$39,055).

PR2. The balance of fees due in-lieu of parkland dedication is \$34,135,899, provided the developer dedicates in fee title to the City a 4.225-acre public park free of any encumbrances or easements, the value of which is approximately \$25,150,430 and 4.222-acres of private active recreational amenity space valued at approximately \$10,700,231 (50% of the value of the land). The value of the park improvements is unknown at this time. If any of the proposed acreage changes, calculations will be updated accordingly.

PR3. **Final Determination of Park Impact Fees.** The City recently updated the amount of fees to be paid in lieu of parkland dedication pursuant to City Code Section 17.35.040(c), based upon updated determinations of average density (persons per household) for single family and multi-family

residential units, the fair market value of dedicated parkland, and the cost of parkland improvements. The Project shall be subject to the in-lieu fees adopted by City Council Resolution on October 29, 2024, whether such fee adoption is completed prior or subsequent to the Project application being deemed complete. Developer had the right to participate in the City Council proceedings regarding the amount of fees to be paid. However, Developer waives its right to request an appraisal pursuant to SCCC 17.35.040(b)(2) with respect to the adoption of the in-lieu fees by the City Council on October 29, 2024.

- PR4. **Application for Credit.** Calculations for credit includes 183,938 sq. ft. of active recreational amenity space. A credit of 50% of the value of the land devoted to the private recreational amenity space is eligible for credit against the requirement of land dedication or fees in-lieu thereof. That value of the credit is \$10,700,231. City Code Section 17.35.070(b) states that the private amenity areas shall be devoted to active recreational uses, and Section 17.35.070(b) states that the space shall be reasonably adapted for use for recreational purposes. Many of the areas proposed in the project plans are dedicated to passive uses. The developer shall find ways to activate more of these areas.
- PR5. Developer shall supply a covenant to maintain the private recreational amenity spaces to the City Attorney prior to approval of the final subdivision map for review and approval. Once approved by the City Attorney, such document shall be recorded simultaneously with the final subdivision map.
- PR6. The Covenants, Conditions, and Restrictions (CC&R's) or other equivalent instrument for this project should expressly provide for the perpetual maintenance of private recreational spaces for the life of the Project.
- PR7. **Building Permit - Payment of In-Lieu Fees.** In-lieu fees imposed under City Code 17.35 shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City. Calculations may change if the number of units change, if any areas do not conform to City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.
- PR8. Per City Code Section 17.35.080, the Director of Parks and Recreation shall determine the conditions necessary to comply with the requirements for parkland dedication.
- PR9. **Dedicated Parkland.** Public park plans are considered to be a conceptual design. The developer will work with this department to follow the public outreach, design review, and approval process, and it shall meet the Department's "Park Amenity & Design Standards" as well as City standards for the approximately 4.225-acre neighborhood park.
- PR10. The City accepts the location of the proposed neighborhood park, provided it is dedicated to the City in fee title, is free of all encumbrances and easements (i.e. UGEEs, EVAs, water, sewer, etc.), and that there are no entrances to the building from and through the park parcel. The plan sheets show private stormwater treatment management areas (i.e. bioretention basins and Silva cells) for the private buildings within the proposed public park parcel and shall be relocated. Private stormwater management treatment cannot be located in the public park, and nor shall treatment measures use the public park to address private stormwater requirements.
- PR11. Egress/emergency exits from the building into the park would be an acceptable exception and should be outside of the park parcel. There shall not be any ingress access from the public park parcels into the buildings. Show all building doors on the plan sheets where they exit towards the public park.
- PR12. There are size discrepancies for the neighborhood park on the plan set and the Vesting Tentative Map. The Vesting Tentative Map shows a 2.73-acre parcel proposed for the public neighborhood park and the latest landscaping sheets show a 3.35-acre parcel proposed for the public neighborhood park. All plans shall be updated to reflect the correct acreage and the correct parcel lines. The park shall be a single cohesive parcel and there shall not be any private utilities crossing public park and private parcel property lines.
- PR13. Provide soil reports for the public park parcel.
- PR14. The public park parcel boundary line shall be a minimum of 10-feet away from the face of any building and/or any private amenities. No-build easements shall be outside of the public park parcel.

The park property lines should be a “straight line” from any building, and not follow the lines of the building. There shall be a distinct separation between private and public property.

- PR15. The proposed parallel parking stalls along the park on Freedom Circle have been eliminated by the developer and an onsite parking area added. All plan sheets shall be updated accordingly. There will not be additional credit for this parking lot or the parking spaces.
- PR16. The park requires its own building permit, separate from the residential development, through the City’s Permitting Online Portal, Accela.
- PR17. The park name will follow the City’s Naming Policy.
- PR18. Developer shall construct the park and maintain the park for the life of the park at the sole cost to the Developer.
- PR19. Developer will provide City with GIS/Enterprise Asset Management System (EAMS) data (CAD file) for the public park facilities. The base map and design elements/assets should meet the City data dictionary definitions for each asset.
- PR20. Developer shall enter into a Park Improvement Agreement and a Park Maintenance Agreement with the City which will be submitted to City Council for approval and then recorded with the County before park construction begins.
- PR21. The public park shall be dedicated to the City in fee title, not a public access easement or easement of any kind, at the sole cost of the developer, and the public park parcel reflected on the vesting tentative subdivision map.
- PR22. **Building Permit – Dwelling Unit Tax.** A dwelling unit tax (DUT) is also due based on the number of units and additional bedroom per City Code Chapter 3.15. The Project mix includes 525 studios, 595 one-bedroom units, and 672 two-bedroom units [\$15 x 1792 bedrooms) + (\$5 x 672 additional bedrooms)] for a total DUT of \$30,240.

See below for details:

**Table 1. Computation of Parkland Dedication**

<b>Project Unit Type:</b> Multi Fam Dwelling	<b>Quimby Act</b>
Persons/Dwelling Type	1.92
Multi Family Project Units	1792
Total New Residents	3441
Parkland Dedication Required (acres): R/1,000 x 3.0	10.323
Equivalent In Lieu Fee	\$69,986,560

**Table 2. Public Parkland Dedications Proposed, Service Level**

<b>Parkland Proposed</b>	<b>Square Feet</b>	<b>Acres</b>	<b>Type of Dedication</b>
Neighborhood Park	184,051	4.225	Fee Title free of any encumbrances or easements
<b>Total to be dedicated:</b>	<b>184,051</b>	<b>4.225</b>	
Total Proposed Dedicated Public Parkland Value:			<b>\$25,150,430</b>

**Table 3. Credit for Proposed Private Onsite Park & Recreation “Active Rec Uses”**

	<b>Square Feet</b>	<b>Acres</b>
Bldg 1: courtyard 1 - landscaped & furnished, park-like quiet area	8,042	0.1846
Bldg 1: courtyard 12 - game, fitness or sport court area	21,348	0.4901
Bldg 2: courtyard 2 - family picnic area	15,099	0.3466

Bldg 2: courtyard 3 - family picnic area	4,016	0.0922
Bldg 2: pool area 1 - accessible swimming pool (min dimensions of 42-ft by 75-ft) w adjacent deck & lawn areas	33,976	0.7800
Bldg 3: courtyard 4 - game, fitness or sport court area	2,246	0.0516
Bldg 3: courtyard 5 - family picnic area	5,845	0.1342
Bldg 3: courtyard 6 - landscaped & furnished, park-like quiet area	3,783	0.0868
Bldg 3: courtyard 7 - landscaped & furnished, park-like quiet area	2,233	0.0513
Bldg 3: courtyard 8 - family picnic area	2,651	0.0609
Bldg 3: courtyard 13 - family picnic area	33,936	0.7791
Bldg 3: fitness room - recreation center buildings & grounds	7,200	0.1653
Bldg 4: courtyard 9 - family picnic area	7,372	0.1692
Bldg 4: courtyard 10 - landscaped & furnished, park-like quiet area	1,107	0.0254
Bldg 4: pool area 2 - accessible swimming pool (min dimensions of 42-ft by 75-ft) w adjacent deck & lawn areas	24,469	0.5617
Bldg 5: courtyard 11 - family picnic area	4,075	0.0935
Bldg 5: courtyard tbd	6,540	0.1501
Total	183,938	4.2226
<b><i>Credit at 50% for private Active Recreation &amp; Equivalent Value:</i></b>		<b><i>2.111 / \$10,700,231</i></b>

## **POLICE DEPARTMENT**

### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

- PD1. A Coded Entry System is required for police access to enclosed parking lots and gated communities. This can be accomplished with a coded key pad system or the Police Department Knox Box key system. We understand security is a prime concern for the tenants of the project, which necessitates some sort of secure building and admittance process. By having either of these secure access systems for law enforcement, it will allow us to better respond to emergency situations should they arise in the development. Contact Sergeant John Terry at 408-615-4870 or email [jterry@santaclaraca.gov](mailto:jterry@santaclaraca.gov) to obtain information on Police Knox box program.
- PD2. Applicant shall contact the Santa Clara Police Department ‘Intelligence’ unit (408-615-4849) for Alcohol Beverage Control (ABC) licensing review.
- PD3. The developer shall meet the City of Santa Clara’s guidelines established for radio signal penetration, detailed in the Communications Department’s Public Safety Radio System Building Penetration Guidelines. The intended use of telecommunications sites shall be clearly and accurately stated in the use permit. The signal, of whatever nature, of any communications facility or system, shall in no way whatsoever interfere with or affect any police communication or police communication system.

## **PUBLIC WORKS DEPARTMENT - ENGINEERING**

### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. **Easement.** Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.
- E3. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E4. **Design.** The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was added to the City's Sanitary Sewer Hydraulic Model (SSHM) to determine if there is enough SS conveyance capacity in the SS trunk system to accommodate the proposed development. The SSHM output shows that there is slight surcharging in some downstream SS trunk lines. The SSHM output may change based on pending development applications and future projects. The SSHM output does not guarantee or in any way reserves or holds SS conveyance capacity until developer has Final Approval for the project. For purposes of this condition, "Final Approval" shall mean the final vote of the City Council necessary for all entitlements to be approved, unless a legal challenge is brought to the Council decisions, in which case the Final Approval shall mean the final disposition of the legal challenge.

#### **DURING CONSTRUCTION**

- E5. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E6. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E7. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E8. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E9. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E10. **Encroachment Permit.** Construct new sanitary sewer main to connect existing sanitary sewer mains along Freedom Circle.
- E11. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E12. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.

- E13. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E14. **Encroachment Permit.** Mission College Boulevard along the project frontage has been paved (type II slurry seal). No pavement cuts are permitted per the City pavement moratorium (Ordinance No. 1998) until after December 31, 2025. Refer to <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/maintenance-operations/street-maintenance/pavement-preservation-ordinance> for more information.
- E15. **Encroachment Permit.** Pavement treatment shall be 2" overlay with digouts for the full street width of Freedom Circle.
- E16. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E17. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E18. **Easement.** Record release of interest for "Agreement for installation and maintenance of landscape improvements" (C484 P109, SC14365), "Landscape improvement and maintenance easement" (C992 P12, SC14388), and "Agreement for installation and maintenance of landscape improvements" (C631 P680, SC14388-A).
- E19. **Easement.** Dedicate private storm water overland release easements for overland flow crossing proposed property lines.
- E20. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.
- E21. **Building Permit.** File letter of map amendment/revision with FEMA for portions of proposed structure within flood zone AH.

## **PUBLIC WORKS DEPARTMENT - STORMWATER**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3<sup>rd</sup> Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:

- a. Direction of roof runoff into cisterns or rain barrels
- b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
- c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces

Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.

- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

#### **DURING CONSTRUCTION OR OPERATION**

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3<sup>rd</sup> party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST17. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- ST18. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST19. **3<sup>rd</sup> Party Concurrence Letter.** 3<sup>rd</sup> Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3<sup>rd</sup> party inspection report on the C.3 stormwater facility installation.
- ST20. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST21. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or [Street@SantaClaraCA.gov](mailto:Street@SantaClaraCA.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's



stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

## **PUBLIC WORKS DEPARTMENT - TRANSPORTATION**

### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- TR1. **Design.** A transportation impact analysis is not required as the project is covered under the Freedom Circle Focus Area Plan TIA.
- TR2. **Design.** A VMT analysis is not required as the project meets the criteria for a transit priority project. However, should the provided number of parking stalls for the project exceed the amount required by City code, a VMT analysis will be required.

### **DURING CONSTRUCTION**

- TR3. **Encroachment Permit.** Project shall be responsible for implementing the improvements, if any, identified from the traffic operations analysis.
- TR4. **Encroachment Permit.** Applicant shall install proposed crosswalk adjacent to the park located at the southern edge of the project site such that it is not located along a horizontal bend along Freedom Circle roadway and shall include safety features such as a raised crosswalk with flashing beacon.
- TR5. **Encroachment Permit.** This project triggers improvements at the intersection of Freedom Circle (west)/Mission College based on findings per the Freedom Circle Focus Area Plan TIA. Based on the results of the requested traffic operations analysis, the applicant shall design and construct the following: Freedom Circle (west)/Mission College – Add an eastbound right-turn lane; Remove west leg crosswalk; Relocate bus stops to the east side of the intersection; Restripe south leg (NB approach) with 1 left-turn, 1 left-turn/through, 1 right-turn lane; Make north leg and south leg split phase; Convert Hichborn Dr. to 2-way flow and add a signal at Great America Parkway. The signal at Great America/Hichborn must allow for left and right turns in and out. Provide connection to the existing fiber trunk along Great America Parkway and retime signals along Great America Parkway, i.e., synchronize signals, from Mission College to US 101 SB Ramps.  
Such improvement may be subject to a reimbursement agreement for the portion of the cost of the improvements in excess of the construction costs required for the subdivision. The reimbursement agreement shall be subject to approval by the City Council at the time of considering any Final Map.”
- TR6. **Encroachment Permit.** Design and construct a 8' Class IV Bike lane (6' bike lane (including gutter pan) and 2' buffer with delineators) along both sides of Freedom Circle. Provide a 50' wide Freedom Circle roadway which includes a 8' Class IV bike lane, 11' travel lane, 12' center turn lane, 11' travel lane, and 8' Class IV bike lane. Coordination with the Greystar applicant is advised for the required 8' Class IV bike lane along their project frontage.
- TR7. **Encroachment Permit.** Project shall abide by all standards and elements contained in the Freedom Circle Focus Area Plan.
- TR8. **Encroachment Permit.** At Mission College/Agnew Rd intersection, modify traffic signal by replacing all four existing Type 1 pole with Type 15TS pole. Remove all existing signals, head, buttons, wiring, and foundations and furnish and install new.
- TR9. **Encroachment Permit.** At Mission College/Freedom Circle (west) intersection, modify traffic signal by replacing two existing Type 1 pole with Type 15TS pole. Remove all existing signals, head, buttons, wiring, and foundations and furnish and install new.
- TR10. **Encroachment Permit.** Reconstruct project frontage corners of Mission College/Freedom Circle (west) and Mission College/Freedom Circle (east) to be 25-foot curb radius to be in compliance with Pedestrian Master Plan Policy 2.A.5. This would require traffic signal modifications to accommodate new corner radius and curb ramps.
- TR11. **Encroachment Permit.** Design and construct minimum 5-foot sidewalk along Mission College Boulevard and Freedom Circle project frontages.
- TR12. **Encroachment Permit.** All proposed driveways shall be City standard ST-8.

- TR13. **Encroachment Permit.** Improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- TR14. **Encroachment Permit.** Maintain street signage along Mission College Boulevard and Freedom Circle.
- TR15. **Encroachment Permit.** Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.
- TR16. **Encroachment Permit.** Intersection safety lighting at the intersections of Mission College/Freedom Circle (east) and Mission College/Freedom Circle (west) shall be upgraded from HPS to LED on all four corners (if not currently LED).
- TR17. **Building Permit.** Provide trash pickup location on-site.
- TR18. **Building Permit.** Provide loading/unloading zone on-site.
- TR19. **Building Permit.** Residential and Non-residential Class I bicycle parking spaces and Class II bicycle parking spaces shall be provided per the requirements in the adopted Santa Clara Zoning Code Update. Bicycle parking, as defined in Santa Clara Municipal Code 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible area.
- TR20. **Fees.** Prior to building permit occupancy, project shall pay fair share traffic fees in the amount of \$410,660 for intersection improvements identified in the Freedom Circle Focus Area Plan TIA including at:
- Lawrence Expressway/Tasman Drive
  - Lawrence Expressway/Lakehaven Drive
  - Lawrence Expressway/US 101 SB Ramps
  - Lawrence Expressway/Arques Avenue
  - Great America Parkway/Patrick Henry Drive
  - Patrick Henry Drive/Tasman Drive
  - Old Ironsides Drive/Tasman Drive
  - Great America Parkway/Great America Way
  - Freedom Circle (east)/Mission College Boulevard
  - Mission College Boulevard/Montague Expressway
  - San Tomas Expressway/El Camino Real
  - San Tomas Expressway/Scott Boulevard
  - Lick Mill Boulevard/Tasman Drive
  - Lafayette Street/Agnew Road
  - Bowers Avenue/Central Expressway
  - Scott Boulevard/Central Expressway
  - Lafayette Street/Central Expressway
  - De La Cruz Boulevard/Central Expressway
  - Agnew Road/Montague Expressway
  - Zanker Road/Montague Expressway
  - North 1<sup>st</sup> Street/Montague Expressway
  - Lawrence Expressway/Monroe Street
  - Lawrence Expressway/Pruneridge Avenue
  - Kiely Boulevard/Benton Street
  - Kiely Boulevard/Homestead Road

## **STREETS DIVISION**

### Right of Way Landscape

## **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- L1. **Tree Preservations Specifications.** Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. **Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. **Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

## **DURING CONSTRUCTION OR OPERATION**

- L4. **No Public Root Cutting.** No cutting of any part of **public**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- L5. **In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

#### Solid Waste

#### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- SW1. **Post-Construction Solid Waste Generation Estimation and Collection Form.** The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at [Environment@SantaClaraCA.gov](mailto:Environment@SantaClaraCA.gov) or (408) 615-3080 for more information.
- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, compactor access, and trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and a trench drain shall be installed within the trash enclosure and connected to the on-site sewer system. Ceiling height for compactor room shall be no less than 23 feet high. Roll up door to compactor room shall be no less than 21 feet. Vehicle shall have the ability to back straight in to compactor location.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition, or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

#### **DURING CONSTRUCTION OR OPERATION**

- SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction

activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

## **SILICON VALLEY POWER**

### **GENERAL**

SVP1. **Applicant Design Process** available to Developer to expedite distribution electric substructure design.

SVP2. **SVP Equipment Clearances:**

- a. **Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
- b. **Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
- c. **Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
- d. **Barrier pipes:** (on sides accessible to vehicles)
  - i. Thirty (30) inches from equipment sides.
  - ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

SVP3. **SVP Conduit Clearances:**

- a. **Longitudinal:** Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical:** Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
- c. **Poles/Posts:** Three (3) foot six (6) inches clearance required from poles (electroliner, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

SVP4. **SVP Vault/Manhole Clearances:**

- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
- b. Three (3) foot minimum from face of curb. (bollards required for vaults).

SVP5. **SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

SVP6. **Tree Clearances:**

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U. E's.

SVP7. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.

SVP8. **SVP Standards.** Reference the listed SVP standards. All requirements of any applicable standard will apply:

- a. UG1000 - Installation of Underground Substructures by Developers
- b. UG1250 – Encroachment Permit Clearances from Electric Facilities

- c. UG0339 – Remote Switch Pad
- d. OH1230 – Tree Clearances from Overhead Electric Lines
- e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- f. UG1225 – Pad mounted Equipment Clearances and Protection
- g. UG0250 – High Density Residential Metering Requirements
- h. FO-1901 – Fiber Optic Splicing and Testing Methods
- i. SVP Rules and Regulations – Latest Edition

**SVP9. SVP Standards. Miscellaneous:**

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.
- b. No splice boxes are allowed between the SVP utility connection point and the customer’s main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

**SVP10. Meter Locations:**

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

**SVP11. Underground Service Entrance**

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the customer owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

**SVP12. Code Sections:**

- a. The Developer shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or for any series of such improvements made within a three-year period (**Santa Clara City Code Title 17 Appendix A (Table III)**).
- d. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of

service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (**Santa Clara City Code chapter 17.15.210 (2)**).

**SVP13. Existing Facilities:**

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developers should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.
- b. Any relocation of existing electric facilities shall be at Developer's expense.

**SVP14. Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

## **DESIGN / PERFORMANCE – PRIOR TO ISSUANCE OF BUILDING PERMIT**

- SVP15. Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.
- SVP16. SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA's must be met, or variance approvals must be granted by SVP. The developers' work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point(s) to tie-in with existing infrastructure as deemed necessary by SVP.
- SVP17. Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications
- SVP18. Customer Switchgear:** All customers' main switchgear with SVP meters must meet EUSERC standards and be approved by SVP's meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.
- SVP19. AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250. Project may be required to take service at 277/480V to reduce the number of SVP transformers for each building.
- SVP20. Cable Pulling Calculations:** The project will be responsible for providing cable pulling calculations using SVP standard cable for each run of cable for the site. Conduit bends that exceed 270 degrees

worth of bends or can not be pulled based on the cable pulling calculations will need to be straightened out to reduce the total bend angle of the segment.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

- SVP21. **Easements:** Prior to the City's issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5' minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP22. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.
- SVP23. **Customer Switchgear:** All customer switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP24. **Electric Facilities:** Prior to the City's issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.
- SVP25. **Municipal Fee's:** Prior to electric service energization, all applicable fees per the City of Santa Clara's Municipal Fee Schedule shall be paid.
- SVP26. **Special Fee's:** Any developments which can't adhere to SVP standards, resulting in non-standard installations or equipment requirements will be responsible for any costs incurred by SVP.
- SVP27. **System Impact Study –** The project is subjected to the restrictions and fees within the system impact study issued on Oct. 22, 2024.

#### **OPERATIONAL CONDITIONS – AFTER OCCUPANCY**

- SVP28. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment, manholes, transformers, vaults, meters, etc.

#### **WATER & SEWER DEPARTMENT**

##### **DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT**

- W1. **Recycled Water Use.** Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City's existing Recycled Water System.
- W2. **On-site Recycled Water Construction.** Construction and installation of all on-site recycled water system equipment shall not begin until the Compliance Division of Water and Sewer Utilities has approved the on-site recycled water design. Please note on-site designs are generally not the same as the Building Permit plans. On-site recycled water plans require SBWR and California State Water Resources Control Board, Division of Drinking Water signatures for final approval.
- W3. **On-site Recycled Water Inspection.** Inspections are required at all on-site recycled water systems being installed prior to backfilling trenches or cover in walls and ceilings. Request a recycled water inspection by email [watercompliance@santaclaraca.gov](mailto:watercompliance@santaclaraca.gov) or call (408) 615-2002. Please provide the site location, SBWR project ID, and date and time preferences. These inspections are in addition to the Building Permit inspections.
- a. Need to verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.



- W4. **Potable Water Main.** The applicant shall replace the existing water main on the Mission College Boulevard frontage. This requirement may be exempt if no more than 3 services taps or cut-ins are proposed on the existing AC water main. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, the entire length of the property's frontage.
- W5. **Recycled Water Main.** The project shall install a new 8" DIP recycled water main on Freedom Circle Blvd. extending from the south eastern intersection of Mission College Blvd. and Freedom Circle and from the north western intersection of Mission College Blvd and Freedom Circle to the furthest RW services from both intersections respectively.
- W6. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W7. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W8. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W9. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W10. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W11. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W12. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.

- W13. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W14. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W15. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W16. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W17. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

#### **DURING CONSTRUCTION**

- W18. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.
- W19. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W20. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services, new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- W21. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W22. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

### **OPERATIONAL CONDITIONS**

- W23. **Onsite Recycled Water Compliance.** An active onsite recycled water system is a regulated system that must continuously be in compliance with all State, SBWR and City code requirements and regulations. The applicant shall always maintain a certified Site Supervisor and prevent any cross-connections from occurring between the onsite regulated RW system and the other plumbing systems, especially the domestic water system. The Site Supervisor for this site shall work with to the Compliance Division of Water and Sewer Utilities to remain in compliance and report any changes to the regulated system.

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#### **KEY:**

G = General  
P = Planning Division  
BD = Building Division  
H = Housing & Community Services Division  
F = Fire Department  
PR = Parks & Recreation Department  
PD = Police Department  
E = Engineering Division  
Streets Division (Landscape, Solid Waste, and Stormwater)  
L = Landscape  
SW = Solid Waste  
ST = Stormwater  
SVP = Silicon Valley Power  
W = Water & Sewer Department

### **ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date:

---

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

Correspondence  
3/25/25 City Council Meeting  
2518 Mission College Blvd.  
RTC 25-166

**From:** [REDACTED]  
**To:** [Nimisha Agrawal](#)  
**Subject:** Building Houses with no solution for water is nonsense!  
**Date:** Monday, April 29, 2024 4:33:42 PM

---

You don't often get email from [REDACTED]

I find it disturbing that Santa Clara is gleefully authorizing housing when we live in a desert. You expect those of us here to use less and less water while authorizing the building of more and more housing.

Where is plain common sense?

What will 1792 apartments require in the way of additional water? Let's assume 2 or 3 people, toilets, baths, laundry, dishes? And you want me to not water my 10sq feet of yard that feeds hummingbirds, bees and helps provide oxygen to the environment . Ridiculous!

What is the city's solution? It is like sticking your head in the sand. One day you turn on the faucet and there will not be one drip! How many jobs will there be when this happens.

Brenda

VenetianBeadShop.com

**From:** [REDACTED]  
**To:** [REDACTED]  
**Cc:** [REDACTED]; [Mayor and Council](#); [Lisa Gillmor](#); [Kathy Watanabe](#); [Karen Hardy](#); [Sudhanshu Jain](#); [Raj Chahal](#); [Kevin Park](#); [Anthony Becker](#); [Clerk](#); [Nimisha Agrawal](#); [Lesley Xavier](#); [Reena Brilliot](#); [PlanningCommission](#); [Planning](#); [REDACTED]  
**Subject:** Catalyze SV Members Score Irvine Company's Santa Clara Park  
**Date:** Friday, September 20, 2024 11:05:30 AM

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You don't often get email from [REDACTED]

Hello Carlene and Jim,

Thank you for presenting Irvine Company's Santa Clara Park to our members at last month's Project Advocacy Committee meeting.

Your project scored **3.43 out of 5** among our members. Overall, our members particularly liked these aspects of the project:

- bicycle infrastructure enhancements
- commitment to the preservation of existing redwood trees
- ongoing monthly meetings with the community

Although some aspects were well received, the project did not meet our 3.5 out of 5 threshold for advocacy. Our goal is for projects to score as high as possible, and we are confident that with our members' feedback, Santa Clara Park can achieve a higher score. The following documents contain our members' recommendations and suggestions:

1. [Letter](#): Positive elements and recommendations
2. [Scorecard](#): Our members' scores for each of our categories

In the meantime, we're happy to set up a call to answer any questions you may have about our members' feedback.

In the coming days, we will post the project on [our website](#). The page will include the letter and scorecard shared above.

Thanks again for sharing Santa Clara Park with us. We look forward to continuing to work with you on this project.

Best,

Jake Wilde  
Manager of Development Projects | Catalyze SV  
[www.CatalyzeSiliconValley.org](http://www.CatalyzeSiliconValley.org)

September 20, 2024

Carlene Matchniff  
Irvine Company  
5451 Great America Pkwy, #201  
Santa Clara, CA 95054

Jim Cunneen  
California Strategies

## **RE: Irvine Company Proposal for Santa Clara Park**

Dear Carlene & Jim,

Thank you for sharing Irvine Company's Santa Clara Park with our members at our August 28 Project Advocacy Meeting. As we understand it, Santa Clara Park is a five-building, 1,792-unit mixed-income development located on a 25.74-acre site at 2518 Mission College Boulevard. The proposal will replace the existing 12 office buildings with 6.43 acres of public open space and over 1,740,000 square feet of residential space. The residential units are split between all five-story buildings that are a mix of studios, 1-bedrooms, and 2-bedrooms. Each bedroom contributes one parking space for a total of 2445 parking spaces plus an additional 90 spaces for visitors and guests. Plans also call for a small 4,000-square-foot centrally located cafe, as well as amenities for residents only, like a fitness center, co-working space, and two swimming pools. With the project well underway, our members would like to offer the following feedback and suggestions:

### **Standout Elements:**



#### **Community**

As advocates of inclusive engagement, our members are pleased with Irvine Company's efforts to engage the community, especially its future plans for monthly meetings where community members can get involved in the development process. Our members recommend these meetings be advertised to the community through sufficient channels so as to reach as many folks as possible. Additionally, since Santa Clara Park is geared toward young, working professionals, some of our members want to see Irvine Company directly reach out to Mission College students, located just a few blocks down the street. The student community could be the focus of one of the monthly meetings.



#### **Sustainability**

Our members appreciate and recognize Santa Clara Park as a standout project in our sustainability category. The project is aiming for GreenPoint Gold certification, will



have rooftop photovoltaics, and makes use of reclaimed water. These features put Santa Clara Park a head above the rest. For Santa Clara Park to improve even further in this category, some of our members would like to see the project better interface with the plants and wildlife of the San Tomas Aquino Creek. They suggest incorporating more riparian vegetation as well as pollinator-friendly trees into the project's plentiful open green space. Members also want to see the project's windows made bird-safe, as San Tomas Aquino Creek is a habitat for a plethora of diverse bird species.



## **Legacy**

Members of Catalyze SV do not typically score projects in our Legacy category but felt it was important and relevant to Santa Clara Park in one regard—the preservation of the redwood trees. Our members are ecstatic to hear that Irvine Company is making the effort to preserve as many of the existing redwood trees as possible. As the site is currently a parking lot and private office campus, our members hope the community will one day be able to enjoy the redwood trees as part of a public park. We will be tracking this aspect of the project to make sure Irvine follows through on preserving the redwoods.

## **Elements to Improve:**



## **Vibrancy**

Finding and keeping commercial tenants isn't always easy. Our members understand this. Yet the more people in an area, the more it can support vibrant activity like retail and restaurants. We are impressed by Irvine Company's partial solution to this issue—operate its own in-house cafe and market. While we have never heard of this model, Irvine Company has tested a similar approach at its Redwood Place project in Sunnyvale. As described to us, this type of establishment will sell a range of goods to residents and the public, potentially filling a role similar to a convenience store. The cafe is a positive step. Our members stand by a bigger approach to vibrancy that entails more ground-floor activations near residents. We want Irvine Company to activate more space in the development for neighbors. River View Apartment Homes, a 1,308-unit Irvine Company community in San Jose, hosts a diverse collection of businesses, including restaurants, healthcare providers, and financial services. Our members note that Santa Clara Park's neighboring Irvine property, Santa Clara Square, has some noteworthy retail but lacks a substantial connection to Santa Clara Park as they are on opposite sides of Highway 101. The trail beneath the highway is not the same as a walkable neighborhood street. It is especially problematic at night or for those more vulnerable who would fear for their safety going under an overpass. Santa Clara Park should attempt to foster its own activity hub that does not rely on Santa Clara Square's existing amenities, especially considering it proposes so many homes as part of this project. It should consider complementing its solar rooftops with activation on top of them for residents. Housing is

wonderful and our region's highest need, yet we need complete neighborhoods if we're truly providing livable communities. Santa Clara Park needs to be a next-generation development.



## **Transportation**

The San Tomas Aquino Creek Trail is the existing active transportation connection between Santa Clara Park and Santa Clara Square. The distance between the two properties is roughly one mile, and it would take a bicyclist at an average speed of roughly six and a half minutes on a mixed-use path. Our members appreciate that Santa Clara Park will improve cycling access from the site to the trail by installing new bike lanes along Freedom Circle. However, they are concerned regarding the reliability of the trail as the main connection to Santa Clara Square, which, in addition to a grocer and a few other businesses, primarily hosts restaurants and bars. During the day, commuting between the two locations is not an issue, but the trail closes at sunset. This means that during the busiest hours, traveling by car is the most viable option. Even if the trail were open, it would need significant lighting improvements to make it safe. It is an unfortunate situation, especially since our members are very impressed by the other cycling accommodations, like the 1,792 private bicycle stalls for residents. This is a huge effort by Irvine and represents the best of current development projects. We encourage Irvine Company, Valley Water, and Santa Clara to work together to enhance the north-south connection between these sites. As is, the only option for anyone outside of a car past sunset is to ride or walk along a six-lane highway service interchange.



## **Intensity/Zoning**

Santa Clara Park proposes a total of 1,792 units split between five, five-story buildings. Our members understand this is a typical footprint for an Irvine Company project, but as advocates for dense urban housing, we want Santa Clara Park to match not just higher possible densities allowed by the construction type Irvine proposes here but also match the existing character of the neighborhood. Directly to the project's south are two 11-story buildings. To the project's west are another two 12-story buildings, and north of those is the 14-story Santa Clara Marriott. East of the project is Mission City Center, a 13-story high-rise accompanied by a separate seven-story parking garage. At only five stories, Santa Clara Park is rather short in the surrounding context. In the midst of our housing crisis, where supply is nowhere near meeting demands, our members want to see projects that maximize the use of our scarce land and deliver as many homes as possible. We urge the developer to increase the height by two to three stories. Again, an urban development in Silicon Valley in 2024 cannot leave this many homes on the table when they are feasible. We will fight hard to support Irvine Company in making this change.



## **Affordability**

Santa Clara Park proposes a total of 1,792 units split between five, five-story buildings. Our members understand this is a typical footprint for an Irvine Company project, but

# CATALYZE SV

[www.CatalyzeSiliconValley.org](http://www.CatalyzeSiliconValley.org)

as advocates for dense urban housing, we want Santa Clara Park to match not just higher possible densities allowed by the construction type Irvine proposes here but also match the existing character of the neighborhood. Directly to the project's south are two 11-story buildings. To the project's west are another two 12-story buildings, and north of those is the 14-story Santa Clara Marriott. East of the project is Mission City Center, a 13-story high-rise accompanied by a separate seven-story parking garage. At only five stories, Santa Clara Park is rather short in the surrounding context. In the midst of our housing crisis, where supply is nowhere near meeting demands, our members want to see projects that maximize the use of our scarce land and deliver as many homes as possible. We urge the developer to increase the height by two to three stories. Again, an urban development in Silicon Valley in 2024 cannot leave this many homes on the table when they are feasible. We will fight hard to support Irvine Company in making this change.

Santa Clara Park has the potential to provide a home to thousands of people, and we will fight hard to turn that potential into reality. After decades of declining housing construction and underbuilding, it is crucial to maximize density whenever the opportunity arises. We hope Santa Clara and Irvine Company will work together to find a path that makes the most out of this site.

Sincerely,

Catalyze SV's staff and Project Advocacy Committee members

CC: [mayorandcouncil@santaclaraca.gov](mailto:mayorandcouncil@santaclaraca.gov)  
Mayor Lisa Gillmor ([lgillmor@santaclaraca.gov](mailto:lgillmor@santaclaraca.gov))  
Kathy Watanabe ([kwatanabe@santaclaraca.gov](mailto:kwatanabe@santaclaraca.gov))  
Karen Hardy ([khardy@santaclaraca.gov](mailto:khardy@santaclaraca.gov))  
Suds Jain ([sjain@santaclaraca.gov](mailto:sjain@santaclaraca.gov))  
Raj Chahal ([rchahal@santaclaraca.gov](mailto:rchahal@santaclaraca.gov))  
Kevin Park ([kpark@santaclaraca.gov](mailto:kpark@santaclaraca.gov))  
Anthony Becker ([abecker@santaclaraca.gov](mailto:abecker@santaclaraca.gov))  
City Clerk ([Clerk@santaclaraca.gov](mailto:Clerk@santaclaraca.gov))  
Nimisha Agrawal ([nagrawal@santaclaraca.gov](mailto:nagrawal@santaclaraca.gov))  
Lesley Xavier ([lxavier@santaclaraca.gov](mailto:lxavier@santaclaraca.gov))  
Reena Brilliot ([rbrilliot@santaclaraca.gov](mailto:rbrilliot@santaclaraca.gov))  
Planning Commission ([PlanningCommission@santaclaraca.gov](mailto:PlanningCommission@santaclaraca.gov))  
Planning Division ([planning@santaclaraca.gov](mailto:planning@santaclaraca.gov))  
Benjamin Demers [REDACTED]  
Cade Story-Yetto [REDACTED]  
Rachael Gibson [REDACTED]  
Roseryn Bhudsabourg [REDACTED]  
Genevieve Yip [REDACTED]  
Carlene Matchniff [REDACTED]  
Jim Cunneen [REDACTED]  
Jimmy Ly [REDACTED]

# CATALYZE SV

[www.CatalyzeSiliconValley.org](http://www.CatalyzeSiliconValley.org)

## About Catalyze SV

*Catalyze SV's Project Advocacy Committee is comprised of community members who identify, evaluate, & lead advocacy efforts around specific development projects.*

## Project Review Scorecard

**Project Under Review:** Santa Clara Park

**Project Applicant:** Irvine Company

**Review Date:** August 28, 2024

Page 4 of this scorecard explains the criteria below, as does: [catalyzesiliconvalley.org/project-list](https://catalyzesiliconvalley.org/project-list)



### Community

**Score: 4/5**

As advocates of inclusive engagement, our members are pleased with Irvine Company's efforts to engage the community, especially its future plans for monthly meetings where community members can get involved in the development process. Our members recommend these meetings be advertised to the community through sufficient channels so as to reach as many folks as possible. Additionally, since Santa Clara Park is geared toward young, working professionals, some of our members want to see Irvine Company directly reach out to Mission College students, located just a few blocks down the street. The student community could be the focus of one of the monthly meetings.



### Vibrancy

**Score: 3/5**

Finding and keeping commercial tenants isn't always easy. Our members understand this. Yet the more people in an area, the more it can support vibrant activity like retail and restaurants. We are impressed by Irvine Company's partial solution to this issue—operate its own in-house cafe. While we have never heard of this model, Irvine Company has tested a similar approach at its Redwood Place project in Sunnyvale. As described to us, this type of establishment will sell a range of goods to residents and the public, potentially filling a role similar to a convenience store. The cafe is a positive step. Our members stand by a bigger approach to vibrancy that entails more ground-floor activations near residents. We want Irvine Company to activate more space in the development for neighbors. River View Apartment Homes, a 1,308-unit Irvine Company community in San Jose, hosts a diverse collection of businesses, including restaurants, healthcare providers, and financial services. Our members note that Santa Clara Park's neighboring Irvine property, Santa Clara Square, has some noteworthy retail but lacks a substantial connection to Santa Clara Park as they are on opposite sides of Highway 101. The trail beneath the highway is not the same as a walkable neighborhood street. It is especially problematic at night or for those more vulnerable who would fear for their safety going under an overpass. Santa Clara Park should attempt to foster its own activity hub that does not rely on Santa Clara Square's existing amenities, especially considering it proposes so many homes as part of this project. It should consider complementing its solar rooftops with activation on top of them for residents. Housing is wonderful and our region's highest need, yet we need complete neighborhoods if we're truly providing livable communities. Santa Clara Park needs to be a next-generation development.



## Transportation

Score: 3/5

The San Tomas Aquino Creek Trail is the existing active transportation connection between Santa Clara Park and Santa Clara Square. The distance between the two properties is roughly one mile, and it would take a bicyclist at an average speed of roughly six and a half minutes on a mixed-use path. Our members appreciate that Santa Clara Park will improve cycling access from the site to the trail by installing new bike lanes along Freedom Circle. However, they are concerned regarding the reliability of the trail as the main connection to Santa Clara Square, which, in addition to a grocer and a few other businesses, primarily hosts restaurants and bars. During the day, commuting between the two locations is not an issue, but the trail closes at sunset. This means that during the busiest hours, traveling by car is the most viable option. Even if the trail were open, it would need significant lighting improvements to make it safe. It is an unfortunate situation, especially since our members are very impressed by the other cycling accommodations, like the 1,792 private bicycle stalls for residents. This is a huge effort by Irvine and represents the best of current development projects. We encourage Irvine Company, Valley Water, and Santa Clara to work together to enhance the north-south connection between these sites. As is, the only option for anyone outside of a car past sunset is to ride or walk along a six-lane highway service interchange.



## Sustainability

Score: 4/5

Our members appreciate and recognize Santa Clara Park as a standout project in our sustainability category. The project is aiming for GreenPoint Gold certification, will have rooftop photovoltaics, and makes use of reclaimed water. These features put Santa Clara Park a head above the rest. For Santa Clara Park to improve even further in this category, some of our members would like to see the project better interface with the plants and wildlife of the San Tomas Aquino Creek. They suggest incorporating more riparian vegetation as well as pollinator-friendly trees into the project's plentiful open green space. Members also want to see the project's windows made bird-safe, as San Tomas Aquino Creek is a habitat for a plethora of diverse bird species.



## Intensity/Zoning

Score: 3/5

Santa Clara Park proposes a total of 1,792 units split between five, five-story buildings. Our members understand this is a typical footprint for an Irvine Company project, but as advocates for dense urban housing, we want Santa Clara Park to match not just higher possible densities allowed by the construction type Irvine proposes here but also match the existing character of the neighborhood. Directly to the project's south are two 11-story buildings. To the project's west are another two 12-story buildings, and north of those is the 14-story Santa Clara Marriott. East of the project is Mission City Center, a 13-story high-rise accompanied by a separate seven-story parking garage. At only five stories, Santa Clara Park is rather short in the surrounding context. In the midst of our housing crisis, where supply is nowhere near meeting demands, our members want to see projects that maximize the use of our scarce land and deliver as many homes as possible. We urge the developer to increase the height by two to three stories. Again, an urban development in Silicon Valley in 2024 cannot leave this many homes on the table when they are feasible. We will fight hard to support Irvine Company in making this change.

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## Affordability

**Score: 3/5**

Santa Clara Park complies with the city's Affordable Housing Ordinance by providing 15% of units as deed-restricted affordable housing. Our members are glad to see these units will be on-site and integrated with the market-rate units. As presented to our members, the project aims to provide 5% of the affordable units to very low-income households, which for a two-person household is \$73,750, and the remaining 10% of units will be provided to households earning the area median income, \$147,450 for a household of two. Our members value deeply affordable housing and also recognize the potential for "affordable by design" units to deliver lower housing costs, but ultimately it is deed-restricted affordable housing that provides the greatest impact. While \$147k meets the legal definition of affordable housing, this is well above a middle-class income, even in Silicon Valley. As such, our members encourage the developer to offer all the affordable units to households in very low or lower income levels to serve our neediest neighbors.



## Legacy

**Score: 4/5**

Members of Catalyze SV do not typically score projects in our Legacy category but felt it was important and relevant to Santa Clara Park in one regard—the preservation of the redwood trees. Our members are ecstatic to hear that Irvine Company is making the effort to preserve as many of the existing redwood trees as possible. As the site is currently a parking lot and private office campus, our members hope the community will one day be able to enjoy the redwood trees as part of a public park. We will be tracking this aspect of the project to make sure Irvine follows through on preserving the redwoods.

**Cumulative Score: 3.43 out of 5**



## OVERVIEW

This project review scorecard provides guidelines for consistently evaluating how a proposed development aligns with Catalyze SV's values. Catalyze SV's values are:

- Inclusive, Diverse Communities
- Healthy, Sustainable Development
- Convenient Transportation Choices
- Housing Solutions for All
- Vibrant Places for People
- Equitable Community Engagement

## Grading Criteria - Merits



**Community:** The applicant is making significant efforts to reach out to the community, including underrepresented\*\* voices, and has addressed recommendations collected through community engagement.



**Vibrancy:** The proposal seizes locational opportunities and includes features to enhance the human experience of the site and neighborhood. Public and private space is designed to promote physical, mental, and/or social well-being while connecting with parks, fresh food, and/or other community amenities.



**Transportation:** The project recognizes the growing importance of a variety of mobility solutions, incentivizes reduced automobile usage, and measures mobility after the project is built and occupied. Transportation Demand Management plans are encouraged.



**Sustainability:** The project incorporates measurable green building features. CalGreen Tier 1/2 measures and/or third-party certifications (LEED, WELL, Living Building Challenge, etc) are encouraged. Some features can be found here:

<https://www.catalyzesiliconvalley.org/sustainable-features>.



**Intensity/Zoning:** The project utilizes nearly the full density allowed under its zoning and general plan designations.



**Affordability:** The proposal considers protections or relocation benefits for existing residential and/or commercial tenants that may be displaced. It goes beyond current government requirements for onsite, below-market-rate homes, stabilized commercial leases, or appropriate substitutes.



**Legacy (when applicable):** The project undertakes efforts to incorporate, protect, or preserve any objects of significant cultural or historic merit identified by the community on or near the site.

\*\* = Research has shown that renters, new residents, people of color, younger people, and females tend to be underrepresented voices on local development issues. (1 2 3)

## Grading Scale - Merits

*An average score of 3.5 is required for Catalyze SV to consider advocating full support for a project.*

1 = Fails to meet project review criteria

N/A = Category does not apply

2 = Meets some project review criteria

3 = Meets basic project review criteria

4 = Exceeds project review criteria

5 = Goes far beyond project review criteria



# IRVINE COMPANY

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## APARTMENT DEVELOPMENT

Catalyze SV

[www.CatalyzeSiliconValley.org](http://www.CatalyzeSiliconValley.org)

Dear Catalyze SV Staff & Project Advocacy Committee members:

Thank you for taking the time to review Irvine Company's proposed Santa Clara Park Project located at 2518 Mission College Blvd, Santa Clara. We are writing to add additional information that was in process or still under review by the City of Santa Clara at the time we presented our proposed project to your group on August 28, 2024. Your support is important to us and we hope that we will be able to provide you with additional information and clarify points to gain Catalyze's support for the project.

### Community

We appreciate and share CatalyzeSV's commitment to engaging with the community. We will continue our outreach throughout the entitlement process via community meetings, our project website and ongoing engagement with local residents and organizations. Upcoming community meetings will be posted on the city's website.

### Sustainability

Sustainability has always been a central tenet of Irvine Company developments, an example of which are the nearby Santa Clara Square and Redwood Place developments. In response to your comments, we would like to clarify the following points from your letter:

- Reduced Runoff: The project will significantly decrease impervious area resulting in less runoff when compared to current conditions.
- Improved Water Quality: Bioretention treatment is designed to filter out pollutants prior to stormwater entering natural systems.
- Green Infrastructure Amenity: The treatment areas provide an additional landscaping amenity for pedestrian use around the site.
- Heat Reduction: Treatment areas and vegetation around the site help lower site surface temperatures when compared to current conditions.
- Installation of all electric appliances.
- The project includes 50% EV stall capacity.
- The Landscape Plant palette will be climate appropriate to the region with a focus on Mediterranean and drought tolerant species that meet or exceed local and regional water use regulations.
- Windows will be bird friendly.
- Carbon Capture and Sequestration through preserving, relocating, or reusing existing Redwood trees and planting 997 new trees.



# IRVINE COMPANY

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## APARTMENT DEVELOPMENT

- Photovoltaic Systems installed on garage and residential roof tops to benefit common area energy usage.
- Reducing vehicle miles traveled by 20% over existing conditions, including 10% from TDM measures, and 10% from physical design features.
- Extending reclaimed water line to complete Freedom Circle Loop.
- The sustainable features of the project would achieve LEED Gold equivalent.

### Legacy

Tree preservation. Of the 417 existing trees on-site, we plan on preserving approximately 130.. This will include protecting-in-place 81 Coast Redwoods, 14 Japanese Zelkovas (large, existing street trees along Mission College), and 1 Stone Pine. We will also box and relocate another 34 existing Redwoods elsewhere on the project site. Existing trees requiring removal due to health or other reasons will be replaced at a 2:1 ratio at a size of 24" Box or larger per the City of Santa Clara guidelines. We intend to add approximately 997 new trees (quantity subject to change during the design process) which is well over the 578 required by the city's tree replacement standards. For those redwood trees unsuitable for preservation, an effort will be made (where feasible) to repurpose the salvaged wood into furniture or other site elements within the landscape.

Throughout the project will be a series of miniparks which will take inspiration from "The Life Cycle of Redwoods". Each mini-park will include themed, educational or interactive spaces focused on each phase of a redwoods growth starting from Seed, growing into Sapling, Fully Mature Tree/ Forest, and Fallen Logs. A continuous trail system throughout the community will interlink all of these spaces together and connect them to our large, neighborhood park at the southern end of the site which features several active and passive spaces tucked into several mature Redwoods Groves.

Beyond this plan, our scale and commitment to community forestry has allowed us to plant more than 550,000 trees that sequester 7 million pounds of carbon. I invite you to learn more about our community forestry program here: [irvinecompany.com/communityforestry/](http://irvinecompany.com/communityforestry/)

### Vibrancy

Consistent with the City of Santa Clara's Freedom Circle Focus Area Plan, the site is designated as a high-density residential community with commercial uses adjacent. However, in addition to housing, we are offering an on-site centrally located market/cafe managed by Irvine Company to provide residents, neighboring office tenants and park users, daily food and beverages from the opening of the project. This will cut down auto trips and allow residents daily conveniences without getting into their cars.



# IRVINE COMPANY

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## APARTMENT DEVELOPMENT

In addition, we have evaluated proximity to the food and services located within a 1-mile radius of our project. Our project design ensures the right balance of retail, and residential in both Santa Clara Park and our adjacent Santa Clara Square community, and believe this will create a cohesive, right-sized approach to mixed-use experiences. In addition, within this 1 mile radius are other retail options, including the Mercado shopping center.

### Transportation

This project is designed to accommodate secure bicycle parking for each unit, located within bicycle rooms in each building garage. The project will also offer bicycle repair stations and electric bicycle charging in the bicycle rooms. Overall, the project is designed for connectivity adding 1 mile of dedicated bike lane improvements that will benefit not only this project but the region.

The San Tomas Aquino trail, is a multi-jurisdictional, and multi-functional facility (containing both trail and environmentally sensitive areas) under the jurisdiction of public entities and, thus, not an element of our proposal (nor are there any conditions that would have to be universally applicable to other development in the region for undefined improvements). As such, we respectfully suggest that the scoring for our development should not be discounted in this area.

In terms of food and services, both the Mercado shopping center and Santa Clara Square are located nearby and the development will be located conveniently to use electric bikes, scooters, bicycles, and by foot within a 10 minute walk or ride.

### Intensity/Zoning

As a long-term owner committed to preserving the quality and the identity of the communities we plan, we appreciate the City's planning efforts with respect to the Freedom Circle Focus Area Plan. The Plan allows for a range of housing opportunities including developments assumed to be at a density range between 51-100 du/ac. The proposed development is about 69 du/ac. In addition to density, however, it is important to balance the character of our developments, the current pressing need for housing not only in context with adjacent land uses but in terms of the ability to deliver that housing given economic, infrastructure and overall mandated community elements such as parks, affordable housing, and other site-specific improvements. In that regard we have proposed the five-story wrap-type configuration. This product type strikes a balance between density and livability, providing both a high-quality living experience and compatible land use relative to the surrounding area and will result in housing designed to address needs of the nearby employment sectors.



# IRVINE COMPANY

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## APARTMENT DEVELOPMENT

### Affordability

Affordable housing is an integral part of the Santa Clara Park plan. Unlike other developments that provide affordable housing off-site or pay fees (which are indeed essential elements as a part of an overall affordable housing strategy meeting other income level thresholds) we have proposed, including deed restrictions ensuring retention of affordability levels in perpetuity, that 15% of the total units (with 5%, at 50% AMI and 10% at 100% AMI) be provided in perpetuity within the Santa Clara Park community providing those employed in nearby job centers the ability to live close to where they work.

In addition to the 15% of units designated for deed restricted affordable housing, we are also providing a wide range of unit square footage options that are intended to provide affordable by design units. These units will provide additional moderate income units to the overall market.

We are hopeful the additional information provided here will assist Catalyze SV with the re-evaluation of our original scorecard. The City of Santa Clara identified the need to focus more growth in North Santa Clara through the vision created in the Freedom Circle Future Focus Area. An important part of this vision was identifying the need for more housing. Irvine Company looks forward to addressing a significant portion of this need with the plan we have created for the Santa Clara Park Redevelopment, central to Freedom Circle. Our plan is designed to address a range of housing types, including affordable housing, resident-serving amenities, a public park system, private open space, and connectivity to the surrounding community. Thank you for your consideration of our proposed development at Freedom Circle.

Sincerely,

*Carlene Matchniff*

Carlene Matchniff, Vice President Entitlements  
Northern California

CC: [mayorandcouncil@santaclaraca.gov](mailto:mayorandcouncil@santaclaraca.gov)  
Mayor Lisa Gillmor ([lgillmor@santaclaraca.gov](mailto:lgillmor@santaclaraca.gov))  
Kathy Watanabe ([kwatanabe@santaclaraca.gov](mailto:kwatanabe@santaclaraca.gov))  
Karen Hardy ([khardy@santaclaraca.gov](mailto:khardy@santaclaraca.gov))  
Suds Jain ([sjain@santaclaraca.gov](mailto:sjain@santaclaraca.gov))  
Raj Chahal ([rchahal@santaclaraca.gov](mailto:rchahal@santaclaraca.gov))  
Kevin Park ([kpark@santaclaraca.gov](mailto:kpark@santaclaraca.gov))  
Anthony Becker ([abecker@santaclaraca.gov](mailto:abecker@santaclaraca.gov))



# IRVINE COMPANY

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## APARTMENT DEVELOPMENT

City Clerk ([Clerk@santaclaraca.gov](mailto:Clerk@santaclaraca.gov))

Nimisha Agrawal ([nagrawal@santaclaraca.gov](mailto:nagrawal@santaclaraca.gov))

Lesley Xavier ([lxavier@santaclaraca.gov](mailto:lxavier@santaclaraca.gov))

Reena Brilliot ([rbrilliot@santaclaraca.gov](mailto:rbrilliot@santaclaraca.gov))

Planning Commission ([PlanningCommission@santaclaraca.gov](mailto:PlanningCommission@santaclaraca.gov))

Planning Division ([planning@santaclaraca.gov](mailto:planning@santaclaraca.gov))

Benjamin Demers

Cade Story-Yetto

Rachael Gibson

Roseryn Bhudsabourg

Genevieve Yip

January 15, 2025

Santa Clara City Planning Commission  
1500 Warburton Ave, Santa Clara, CA 95050

Dear Mayor Gilmor, City Councilmembers, and Planning Commissioners,

The Housing Action Coalition is pleased to endorse the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. After a detailed review, the committee is excited to support this project, which demonstrates a thoughtful and effective approach to addressing housing needs, affordability, and sustainability while fostering a vibrant and inclusive community.

The committee was particularly impressed by the scale and ambition of the project, which proposes 1,792 residential units, including 298 density bonus units, spread across five distinctive residential buildings. Of these, 1,206 units (70%) will be compact, averaging 667 square feet, while the remaining 586 units (30%) will average 839 square feet. The mix of studios, studios with dens, and one- and two-bedroom apartments will accommodate diverse demographic and economic needs, especially within the local workforce.

We commend the project's strong commitment to affordability, meeting the City of Santa Clara's 15% affordable housing requirement by designating 5% of the non-density bonus units for very low-income households and 10% for moderate-income households, with an average affordability of 100% AMI. This balance ensures that the development contributes significantly to Santa Clara's affordable housing stock while fostering an economically diverse community.

The State has allocated 11,632 units to Santa Clara as their Regional Housing Needs Assessment or "RHNA". Out of the 11,632 units, the City is required to build 1,981 moderate income units, and 2,872 very low income units. We commend the City's progress towards their housing goals. The Irvine Company's Santa Clara Park Apartment greatly contributes to the State mandated RHNA requirements. The committee also praises the project's exceptional design and integration of public and private open spaces. With over 6.4 acres of public parkland and 3 acres of private recreation areas, the development includes a wide variety of amenities: a flexible lawn, sports courts, playgrounds for different age groups, a dog park, and a ¾-mile walking and biking loop trail. These features create opportunities for both active and passive recreation, fostering social interaction and enhancing quality of life for residents and visitors alike.

The committee was further impressed by the project's innovative sustainability features. The integration of photovoltaic systems, high-efficiency windows, Energy Star appliances, electric heat pumps, reclaimed water systems, and tree preservation initiatives highlight a strong commitment to environmental stewardship. With plans to preserve or relocate 148 mature trees, including iconic redwoods, the development will maintain a harmonious balance between urban growth and natural beauty.

In addition, the project's focus on connectivity and accessibility is highly commendable. The site's connection with the San Tomas Aquino Creek Trail and proximity to nearby employment hubs, retail centers, and public transportation options will reduce car dependency and enhance multimodal access for residents.



The Housing Action Coalition is pleased to support the Irvine Company's Santa Clara Park Apartment Community. By delivering much-needed housing—including affordable units—alongside thoughtful design, sustainability, and community-focused amenities, this project sets a high standard for future development in Santa Clara.

Sincerely,

A handwritten signature in black ink, appearing to read "Corey Smith", written over a light gray rectangular background.

**Corey Smith**, *Executive Director*

**Nimisha Agrawal**

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**Subject:** RE: Letter of Support for Proposed Irvine Company Apartment Development

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**From:** Emmy Moore Minister [REDACTED]  
**Sent:** Tuesday, January 14, 2025 2:54 PM  
**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>  
**Subject:** Letter of Support for Proposed Irvine Company Apartment Development

You don't often get email from [REDACTED] [Learn why this is important](#)

Santa Clara Mayor Lisa Gillmor and

Santa Clara City Council

Santa Clara Planning Commission

City of Santa Clara

1500 Warburton Ave.

Santa Clara, CA, 95050

January 14, 2025

**Re: Letter of Support for the Proposed Apartment Development by the Irvine Company**

Dear Honorable Santa Clara Mayor Gillmor, Santa Clara City Council Members and Santa Clara Planning Commissioners,

This letter is to express my support for Irvine Company's proposed apartment development (which includes 1792 units) located at 2518-2650 Mission College Blvd. and 3900-3990 Freedom Circle in Santa Clara. This well-planned project will bring multiple benefits to the City of Santa Clara and the overall community starting with the city's need for additional housing, including affordable housing.

The Irvine Company has a proven track record of developing sustainable, thoughtfully planned communities. They make it a habit to always incorporate green building practices, energy-efficient technologies, and green open space which translates into a vibrant development that is environmentally responsible.

I became familiar with this well-thought-out project by attending community meetings where the developer has shared detailed plans for all components of this project while listening closely to the concerns and suggestions of meeting attendees.

In concert with its previous projects in Santa Clara, the Irvine Company remains committed to providing efficiently designed apartment units that will help meet the market demand.

Additionally, the project will create numerous construction jobs and employment opportunities for local workers, many of whom reside within the City of Santa Clara.

Tenants attracted to this highly sustainable apartment community will contribute to our local economy through their support of nearby businesses and services.

The proposed development is strategically located which will allow many of its residents to walk, bike or utilize nearby public transit. The attractively designed buildings surrounded by drought resistant landscaping and plenty of parklike open space (including a walking trail) coupled with a recreational area for youth and a dog park, will create a welcoming environment for residents and families. The plans also include a retail component on site which is yet another added benefit for residents and those who work in the area.

It is for all the reasons above, and more, I strongly encourage the Santa Clara City Council and its Planning Commission to approve this proposed project.

Respectfully submitted,

M.E. Emmy Moo  
Minister

## Nimisha Agrawal

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**Subject:** RE: Letter of Support for the Proposed Santa Clara Park Apartment Development by the Irvine Company

---

**From:** Mary Grizzle [REDACTED]

**Sent:** Saturday, January 11, 2025 1:19 PM

**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>; PlanningCommission <[PLANNINGCOMMISSION@santaclaraca.gov](mailto:PLANNINGCOMMISSION@santaclaraca.gov)>

**Subject:** Letter of Support for the Proposed Santa Clara Park Apartment Development by the Irvine Company

Mayor Gillmor, Santa Clara City Council and Santa Clara Planning Commissioners:

I am writing to strongly support Irvine Company's Santa Clara Park apartment development which includes 1792 units located on Mission College Blvd in the Freedom Circle planning area of our city. Irvine is well known for building beautiful communities including Santa Clara Square and Monticello. This new project will continue their commitment to the City of Santa Clara by building needed new housing near jobs, including affordable housing, a new public park and improved bike lanes and trails. The Irvine Company has been a wonderful community member supporting many non-profits and providing beautiful public parks. Their new proposal includes sustainable green building practices, solar rooftop energy and a commitment to preserving redwoods by designing the project around the natural environment. I attended two of their community meetings where the company shared the project details and responded to questions from the public. The proposed development is strategically located which will allow many of its residents to walk, bike or utilize nearby public transit. The public park will include equipment for youth and a dog park.

In short it will be a welcoming place for residents and the public. It is for all the reasons above, and more, that I strongly encourage the Santa Clara City Council and its Planning Commission to approve this proposed project. Thank you for your consideration in approving this project.

Mary O. Grizzle  
[REDACTED]

**Nimisha Agrawal**

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**Subject:** RE: Irvines Santa Clara Park Development

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**From:** Steve Kelly [REDACTED]  
**Sent:** Friday, January 10, 2025 8:34 PM  
**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>  
**Subject:** RE: Irvines Santa Clara Park Development

Dear Mayor Gillmor & City Council Members,

I had the opportunity to attend the Irvines Santa Clark Park presentation.

I like the fact that it is a mixed-use development close to transit and Mission College. I also like that it is pedestrian and bike friendly with a large park on the site. I like the mixture of retail, restaurants, jobs, and other amenities on the site.

I am in support of the project at this location.

Sincerely,

Steve Kelly  
3093 Forbes Ave  
Santa Clara, CA 95051  
Irvines Santa Clark Park presentation

**Nimisha Agrawal**

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**Subject:** RE: Letter of Support for the Irvine: Santa Clara Project with Park Redevelopment

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**From:** ana Vargas-Smith [REDACTED]

**Sent:** Tuesday, January 14, 2025 1:16 PM

**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>; ana Vargas-Smith [REDACTED]

**Subject:** Letter of Support for the Irvine: Santa Clara Project with Park Redevelopment

Dear Mayor and Council

Happy New Year!

Excited to see that Irvine has a new project near Mission College and Tech jobs that would provide much needed workforce housing to the area--more welcoming and livable spaces with retail is always the ideal.

As a long-time local Resident of Santa Clara, it's great to see a quality development project that includes green places that protect and preserve 130 heritage Redwood trees, but also creates active neighborhood-like spaces for recreation, gathering and retail--something for everyone. Not only does this project provide much needed placemaking with affordable housing strategically close to Mission College and a variety of Tech campuses, but it provides a 3 acre public park for recreation with bike and pedestrian paths that connect to light rail, nearby businesses and other retail like Santa Clara Square, grassy picnic and sports areas, a kids playground, a dog park for our furry family members and access to nearby Trails. Very Important given the density of 1700 units, that folks have access to amenities on the property and within biking and walking distance.

Irvine has a history of working with our local community to build quality and successful mixed use retail projects like Santa Clara Square, Monticello etc-- but also giving back to the community with meaningful benefits like the SC City Library Bookmobile--a favorite of mine, and a win for generations of Santa Clarans to come.

I have not seen many other developers who have delivered, not only on quality construction, public amenities and community benefits, but successfully recruited desirable quality merchants to their mixed use projects-- like Irvine has been able to do. So often the complaint by other developers is that doing retail is hard. Well not for Irvine apparently. I hope you are moved to support after reviewing the entire planned development--like I was.

Many thanks for all you do for our community

Warm Regards

Ana Vargas-Smith

**Nimisha Agrawal**

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**Subject:** RE: Project Support

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**From:** Charmein's Comcast [REDACTED]  
**Sent:** Monday, January 20, 2025 6:00 PM  
**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>  
**Subject:** Project Support

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Mayor Gillmor, City Council, and Planning Commissioners,

I am writing to you in support of the proposed apartment development at 2518-2650 Mission College Blvd. and 3900-3990 Freedom Circle in Santa Clara.

As a long-time property owner in Santa Clara (and one who cares deeply about the future of the city), a few months ago I attended a community meeting hosted by the Irvine Company where I learned a lot about the proposed project.

It is well planned and accompanied by appropriate amenities for the tenants including parklike open space, a dog park, walking trails, some retail offerings, and more.

This project will also help meet the cities housing shortage. I hope you will vote in favor of this project.

Sincerely,

Charmein LoCascio

Warm regards,  
Charmein



**Nimisha Agrawal**

---

**Subject:** RE: Support for Irvine Company's new and amazing project

-----Original Message-----

From: constance costa [REDACTED]

Sent: Saturday, January 11, 2025 6:15 PM

To: Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>; PlanningCommission <PLANNINGCOMMISSION@santaclaraca.gov>

Subject: Support for Irvine Company's new and amazing project

[You don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

Mayor Gillmor, City Council & all our Planning Commissioners:

It is with great pride that I am endorsing the Irvine Company's new development project in Freedom Circle. I am so impressed with their meticulous work that goes over and beyond the many projects that have been built locally such as recessed windows. You only have to make an appointment to see the difference for yourself all the special amenities that they provide. I might also add their responsive Service teams keep the projects lively, well kept and all their tenants happy with the many amenities Irvine Company provides, a safe environment, recreation geared for all parks and even a dog park.

For these reasons, I am giving a huge thumbs up for this development and hope that the Council and Planning Commissioners do the same.

Thank you for your consideration

Constance M. Costa  
[REDACTED]

## Nimisha Agrawal

---

**To:** Mayor and Council  
**Cc:** PlanningCommission; Afshan Hamid  
**Subject:** RE: Irvine Project

---

**From:** Ruben Camacho [REDACTED]  
**Sent:** Tuesday, January 21, 2025 1:44 PM  
**To:** Mayor and Council <[MAYORANDCOUNCIL@SantaClaraCA.gov](mailto:MAYORANDCOUNCIL@SantaClaraCA.gov)>  
**Subject:** Irvine Project

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Mayor, Council & Planning Commission,

First off thank you for your service to Santa Clara.

It is great to hear that Irvine has a new project, North of the Bayshore, near Mission College and High Tech jobs, that would provide much needed quality housing to Santa Clara.

As a long-time local Resident of Santa Clara, my parents moved here in 1934, it's nice to see a development project, that includes park places and beautifully designed buildings.

Irvine has a strong history of working with our local community to build quality projects, like Santa Clara Square. Looking forward to visiting this new wonderful development.

Asking for your support.

Best Regards

Ruben Camacho  
55 plus year resident  
of Santa Clara  
[REDACTED]

Anne J. Kepner  
2128 Forbes Avenue  
Santa Clara, CA 95050  
[REDACTED]

January 22, 2025

Mayor Lisa Gillmor  
Santa Clara City Councilmembers  
1500 Warburton Avenue  
Santa Clara, CA 95050

Sent Via Email Only: [mayorandcouncil@santaclaraca.gov](mailto:mayorandcouncil@santaclaraca.gov)

Re: Irvine Santa Clara Park Redevelopment Project

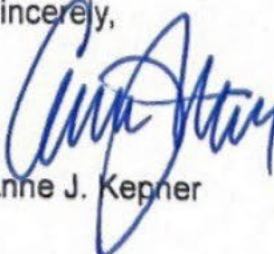
Dear Mayor Gillmor and Councilmembers,

I have been a resident of Santa Clara for more than 30 years and for the past 10 years have had the honor of serving as a Trustee for West Valley-Mission Community College District. While I live in District 6, serving as a trustee has provided me an opportunity to become familiar with the area surrounding Mission College. Our city is in need of more housing and the area near Mission College is an optimal location for new housing developments.

I have been provided an overview of the proposed Irvine Santa Clara Park Redevelopment project and, as an individual resident of Santa Clara, I support it for a number of reasons. First, the project contemplates close to 1,800 units, and 15% will be affordable housing units. As the cost of living continues to rise, it is important to add more housing units that are below market rate. Second, the proposed development is designed to encourage and promote walkability and bicycle use. These design features will likely increase the use of the nearby bike trails and public transportation, namely the light rail along Tasman. Third, this project would further support the existing retail properties near Mission College and at Santa Clara Square as well as the retail components of anticipated developments to be built north of Mission College. The vision for the area to the north and east of Mission College will result in a more vibrant and better integrated neighborhood for those who live and/or work in this part of Santa Clara.

I urge you to support the Irvine Santa Clara Park Development and look forward to the continued growth and investment in the area of Santa Clara surrounding Mission College.

Sincerely,

  
Anne J. Kepner

**Hello Mayor Gillmor, Council, and Planning Commission,**

**I am writing in support of the Irvine Company's project at Freedom Circle and would like to share a couple reasons why:**

**Since housing is one of the city's greatest needs, I like the 1,700+ high-density units this adds - in close proximity to a major work/office area. The high number of units that meet the affordable housing requirement further my support for this project.**

**I also like the creativity used to create a 3-acre park that will provide space for picnics, sports courts, a kids playground, a dog park, and other recreation. The apartment community itself will be friendly to bicyclists and people who want to walk to nearby Santa Clara Square, as well as their work & other dining destinations.**

**The short walk to the San Tomas Aquino Trail opens up many access and recreation opportunities.**

**Overall, I see that the project delivers on promoting community, offers accessibility, increases connectivity for residents, and is sustainable, with minimal demands on utilities.**

**The Irvine Company has been a good partner with Santa Clara for many years and has consistently demonstrated their willingness to listen to what the community wants and incorporate feedback into their designs. I have seen this first-hand through the recent community meetings I have attended for this project.**

**I hope you can support this exciting project and help provide more housing in Santa Clara.**

**Thank you for your service to The City.**

**Sincerely,**

**Brian Goldenberg**

**50+year life-long Santa Clara Resident**

**From:**

**Daniel Meyberg**

**Director of Corporate Development**

**O2 Micro International**

**3118 Patrick Henry Drive**

**Santa Clara, CA. 95054**

**To:**

**Santa Clara Mayor**

**Santa Clara City Council Members**

**Santa Clara Planning Commission**

**Subj: Support of the Irvine Santa Clara Park Redevelopment located near Mission College.**

**Dear Mayor Gillmor and members of the Santa Clara City Council and Planning Commission.**

**I am writing in support of the Irvine Santa Clara Park Redevelopment located encircling Freedom Circle Drive, This project would greatly benefit the community by providing 1,792 apartment homes that include 15% affordable housing requirement. Also, 70% of the units (1,239) will be designed to be affordable for the surrounding workforce, many of whom work and support the 1.7 million sq feet of high-tech employment space, much of which is within walking distance**

**The Santa Clara Park community supports a walkable, active, and social living experience including a large public park (3+ Acres) featuring flexible lawn for various sports configurations, family picnic areas, courts and kids' playground. Walk and Bike trails are**

throughout the development providing a  $\frac{3}{4}$  mile loop trail that will link to San Tomas Aquino Creek trailhead that connects to the many high value destinations including Santa Clara Square, Levi Stadium, the Santa Clara Convention Center, Light Rail, and the extensive Bay Trail network. Mission College, Santa Clara Square, and other nearby retail properties including large neighborhood retail centers anchored by Whole Foods Grocery, are just a short walk or ride away.

For these reasons, I urge your support of the Irvine Santa Clara Park Redevelopment. I feel this development will greatly benefit Santa Clara now and in the extended future.

Sincerely,

Daniel Meyberg

**January 23, 2025**

**Dear Santa Clara Mayor, City Council and Planning Commission,**

**The Irvine Company's proposed Santa Clara apartment project will benefit the community and local businesses. Below are some positive points to consider:**

- 1. Increased Housing Supply:** The project can help address housing shortages in the area, and with units making it more affordable to live in Santa Clara.
- 2. Economic Growth:** New residents often lead to increased demand for local businesses, potentially boosting sales for shops, restaurants, and services in the area.
- 3. Job Creation:** The construction of the apartments will create jobs, both in the short term during the building phase and in the long term as new businesses emerge to help serve the growing population.
- 4. Improved Infrastructure:** Development often comes with upgrades to existing infrastructure, including roads, public transport, and utilities, which can enhance the quality of life for all residents.
- 5. Community Amenities:** This project has designated open space, a dog park, plus walking trails which will encourage recreation and promote social interaction.
- 6. Sustainability Initiatives:** This project includes eco-friendly design and technology, which add to sustainability efforts and can lower the overall carbon footprint of the area.
- 7. Diversity and Inclusion:** By providing various housing options, the project can foster a more diverse community, promoting inclusivity and access for different demographics.
- 8. Tax Revenue:** Increased housing and business activity like this proposed project can lead to increased tax revenues, which can be directed towards public services and improvements like schools, public safety, and community programs.

**I advocate for the proposed Irvine Company apartment housing project, and I encourage you to vote in favor of it, as it presents many positive benefits for the community.**

**Sincerely,**

**Michael B. Villalpando, Principle**

**National Compassion Holiday, Founder**



**Hello, my name is Mike Walke (Santa Clara Resident) and I would like to offer my support of the Irvine Company's proposed apartment development located south of Mission College Boulevard. As you know 1,792 apartment homes are planned to be built on this site. The plan includes 269 (15 %) affordable housing units and an additional 1,239 housing units to be built in the city of Santa Clara.**

**The project includes park, bicycle, and pedestrian friendly amenities. It offer's a walkable, active, diverse experience while promoting social interaction. Integral to the site design is a 3-acre public park. The public park will feature a flexible lawn for active recreation, picnic areas, sports courts, kids' playground (with 2 separate areas serving ages 2-5 and ages 6-12), as well as a dog park. In addition, an interconnected set of trails throughout the perimeter will serve as an important public link to the San Tomas Aquino Creek trailhead.**

**During community meetings the Irvine Company has committed to safeguarding heritage trees in their existing locations and strategically relocates trees deemed suitable for transplanting. The landscape plan envisions preserving approximately 130 existing trees, including Redwoods and other species.**

**The Irvine Company has held three significant community meetings reaching out to hundreds of residents like me. In addition, Irvine supports many nonprofits in our community as well.**

**I thank you in advance for your support of the Irvine Apartment Community project!**

**Sincerely**

**Mike Walke**

**cc: Mayor and Council**

**From:** [REDACTED]  
**To:** [Nimisha Agrawal](#)  
**Cc:** [REDACTED]  
**Subject:** Public comments on 2518 Mission College  
**Date:** Wednesday, February 12, 2025 3:32:53 PM

---

Hello Nimisha (City Traffic Engineer and developer team cc'ed),

Thank you for meeting with me last week. Can you please forward my comments along to the Planning Commission and include in their packet?

The Silicon Valley Bicycle Coalition is pleased to support the project at 2518 Mission College, with recommendations. The developer and owner, Irvine Group, proactively engaged the coalition with a presentation on the project. We support the project as it offers a mix of affordable as well as "affordable by design" units that will help address the affordable housing crisis. The developer commits to adding Class IV lanes on Freedom Circle and secure bike lockers with one space per unit. SVBC also reviewed the project's proposed TDM measures and we have the following recommendations of the Planning Commission:

- While we are pleased to see commitment to secure bike parking facilities, we are skeptical of real mode shifts occurring without supporting programs and incentives. We offer the following recommendations to strengthen the mode-shift opportunities:
- Built-in timelines/coordination between the City, subject property owner and adjacent to ensure the roads and trail improvements are completed in a timely manner.
- More robust funding for transit passes. SVBC staff managed the TDM work on an affordable housing project that provided 1 year of free Caltrain passes to residents. A Clipper card that provided access to VTA, Bikeshare, Caltrain and Amtrak would help shift people out of their cars.
- Work with the developer to bring Bikeshare to their site and the trail entry/exit. Provide reduced or free bikeshare for residents.
- Provide e-bike charging stations for residents similar to the e-car requirements that many cities now have. Add these to the bike locker areas.
- Ensure that the developer-owned connecting parks/facilities to the trail promote well-designed active uses and amenities such as tot lots, water bottle refill stations, etc.
- SVBC would like to work with the developer and city to provide resources to residents about our programs, such as our [valet bike parking for Levi's stadium](#), which is a short bike ride away along a Class I trail from the project site.

Thank you for the opportunity to comment on this project. Please feel free to reach out to me with any questions.

Best,

--

**Matt Jones** | he/him/his  
Director of Advocacy  
Silicon Valley Bicycle Coalition

[Take Action](#) | [Bike Resources](#)  
[Volunteer](#) | [Donate](#)

Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

I am excited about the project's open spaces, which include over 6 acres of public parks and 3 acres of private recreation areas. Features like sports courts, playgrounds, a dog park, and walking trails will benefit both residents and the community.

The development's sustainability features are also impressive. These include solar panels, energy-efficient appliances, and systems for conserving water. Preserving 148 mature trees, including redwoods, shows the project's commitment to the environment.

The location of the project is ideal, with access to trails, jobs, shopping, and public transit. Its connection to the San Tomas Aquino Creek Trail and proximity to major employment hubs will enhance accessibility and reduce car dependency, making it easier for residents to get around while supporting sustainable transportation options.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Elizabeth Barcelos

[REDACTED]

95113

Dear Commissioners,

My name is Noah, and I have lived in Santa Clara my entire life. I now attend USC, where I study Urban Sustainable Planning. I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

I am excited about the project's open spaces, which include over 6 acres of public parks and 3 acres of private recreation areas. Features like sports courts, playgrounds, a dog park, and walking trails will benefit both residents and the community.

The development's sustainability features are also impressive. These include solar panels, energy-efficient appliances, and systems for conserving water. Preserving 148 mature trees, including redwoods, shows the project's commitment to the environment.

The location of the project is ideal, with access to trails, jobs, shopping, and public transit. Its connection to the San Tomas Aquino Creek Trail and proximity to major employment hubs will enhance accessibility and reduce car dependency, making it easier for residents to get around while supporting sustainable transportation options.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community. If more projects like these are not developed at a much higher rate, rents will remain high, and all my friends and I will have to leave the South Bay.

Sincerely,  
Noah Schneider

A solid black rectangular box used to redact the signature of Noah Schneider.

95050

Dear Commissioners,

I support the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing shortage while creating a sustainable and welcoming community.

I am a renter living in Santa Clara County who has struggled to find and afford housing. Our community desperately needs more homes at all income levels. I am excited that this project includes 1,792 apartments, with 15% of the homes dedicated to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

Furthermore, the location of the project is ideal, with access to trails, jobs, shopping, and public transit.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it without delay.

Sincerely,  
Elizabeth Conlan

A solid black rectangular box used to redact the signature of Elizabeth Conlan.

95118

Dear Commissioners,

Affordable housing is the foremost crisis facing our region, and we should welcome new homes into our community. I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

I am excited about the project's open spaces, which include over 6 acres of public parks and 3 acres of private recreation areas. Features like sports courts, playgrounds, a dog park, and walking trails will benefit both residents and the community.

The development's sustainability features are also impressive. These include solar panels, energy-efficient appliances, and systems for conserving water. Preserving 148 mature trees, including redwoods, shows the project's commitment to the environment.

The location of the project is ideal, with access to trails, jobs, shopping, and public transit. Its connection to the San Tomas Aquino Creek Trail and proximity to major employment hubs will enhance accessibility and reduce car dependency, making it easier for residents to get around while supporting sustainable transportation options.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Kate Conley

A solid black rectangular box used to redact the signature of Kate Conley.

94041

Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

I am excited about the project's open spaces, which include over 6 acres of public parks and 3 acres of private recreation areas. Features like sports courts, playgrounds, a dog park, and walking trails will benefit both residents and the community.

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This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Calum Brydon

A solid black rectangular box used to redact the signature of Calum Brydon.

94040



Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

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The location of the project is ideal, with access to trails, jobs, shopping, and public transit. Its connection to the San Tomas Aquino Creek Trail and proximity to major employment hubs will enhance accessibility and reduce car dependency, making it easier for residents to get around while supporting sustainable transportation options.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Michael Tessaro

A solid black rectangular box used to redact the signature of Michael Tessaro.

95127

Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

I am excited about the project's open spaces, which include over 6 acres of public parks and 3 acres of private recreation areas. Features like sports courts, playgrounds, a dog park, and walking trails will benefit both residents and the community.

The development's sustainability features are also impressive. These include solar panels, energy-efficient appliances, and systems for conserving water. Preserving 148 mature trees, including redwoods, shows the project's commitment to the environment.

The location of the project is ideal, with access to trails, jobs, shopping, and public transit. Its connection to the San Tomas Aquino Creek Trail and proximity to major employment hubs will enhance accessibility and reduce car dependency, making it easier for residents to get around while supporting sustainable transportation options.

This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Janet Holt



94024

Dear Commissioners,

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The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

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This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Eugene Toh

A black rectangular redaction box covering the signature area.

95050

Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

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Sincerely,  
Dan Kletter

A solid black rectangular box used to redact the signature of Dan Kletter.

94043

Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

The project includes 1,792 apartments, with a variety of unit sizes to serve different needs. It also dedicates 15% of the units to affordable housing—5% for very low-income households and 10% for moderate-income households—helping meet the city's housing goals.

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This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Savita Nataraj

[REDACTED]  
Dear Commissioners,

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

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This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

Sincerely,  
Jose Medeiros

[REDACTED]

I am writing to express strong support for the Irvine Company's Santa Clara Park Apartment Community at 2518 Mission College Boulevard. This project will help address Santa Clara's housing needs while creating a sustainable and welcoming community.

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This project is a great step toward meeting Santa Clara's housing needs and creating a more sustainable and inclusive city. I encourage you to approve it and help bring these benefits to our community.

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**From:** [REDACTED]  
**Sent:** Saturday, February 15, 2025 11:33 AM  
**To:** Elizabeth Elliott <EElliott@santaclaraca.gov>  
**Subject:** New eComment for Planning Commission on 2025-02-19 6:00 PM

You don't often get email from [REDACTED] [Learn why this is important](#)

[City of Santa Clara](#)

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## New eComment for Planning Commission on 2025-02-19 6:00 PM

Susan Hinton submitted a new eComment.

Meeting: Planning Commission on 2025-02-19 6:00 PM

Item: 2. 24-1188 PUBLIC HEARING: Action on an Addendum to the Freedom Circle Future Focus Area Plan Environmental Impact Report and Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 2518 Mission College Boulevard to Allow the Development of 1,792 Residential Units and Associated On- and Off-Site Improvements

eComment: "Flex" turf is the 'new' word for plastic turf, which likely includes another petroleum-based tire crumb or plastic or synthetic rubber layer beneath. It's a fact that mixed chemicals & plastics cannot be sustainably recycled at end-of-life (8-10 yrs) & add to the worldwide plastics burden, <http://tiny.cc/PlasticClimatePlanet> & to plastic in our brains, <https://wapo.st/3EMnK7H>. Plus plastic heats in sunlight, so those picnic spots may not be comfy or safe. Fix this, e.g., Lippia: Phyla nodiflora

[View and Analyze eComments](#)

This email was sent from [REDACTED]



[Unsubscribe](#) from future mailings

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**From:** Planning Public Comment

**Sent:** Wednesday, February 19, 2025 2:54 PM

**To:** 'Betsy Megas' [REDACTED] Planning Public Comment  
<PlanningPublicComment@santaclaraca.gov>

**Cc:** Sheldon Ah Sing <sahsing@Santaclaraca.gov>; Lesley Xavier <LXavier@santaclaraca.gov>;  
Alexander Abbe <aabbe@SantaClaraCA.gov>

**Subject:** RE: Public comment on Irvine's proposed Santa Clara Park

Good Afternoon.

This is to confirm that your email has been received in the Planning Division and that your comments will be part of the public record on this item.

Thank you,

**Elizabeth Elliott** | Staff Aide II

Community Development Department | Planning Division

1500 Warburton Avenue | Santa Clara, CA 95050

O: 408.615.2450 | D: 408.615.2474

[www.SantaClaraCA.gov](http://www.SantaClaraCA.gov)

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**From:** Betsy Megas [REDACTED]

**Sent:** Wednesday, February 19, 2025 12:07 PM

**To:** Planning Public Comment <[PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov)>

**Subject:** Public comment on Irvine's proposed Santa Clara Park

|

To the Planning Commission:

The upcoming Santa Clara Park, the Freedom Circle development by Irvine, is basically Santa Clara Square II, bland but reasonable. I wish we'd come up with more distinctive, memorable names for these developments.

It will have the minimum amount of affordable housing, plus some "affordable-by-design" 300sqft studios, which would probably still fetch in the neighborhood of \$2500–\$3000/month in terms of today's prices. (For a point of reference, mail carriers around here earn \$22.13/hour and could not afford such a studio on their own.)

I'd like to see more specifics behind the promises of VMT reduction. If parking will be unbundled, is the same is true at Santa Clara Square, and if so, what are they charging and how are they enforcing it? Do we have performance metrics on how efforts are working, and for how many people access the area by different modes?

Trail access looks reasonable, pending Greystar doing their part, although if it were really working at Santa Clara Square, I wouldn't always be the only one at Whole Foods to arrive on a bike to a parking lot full of cars. I think it's optimistic to expect that many will make the trip from Santa Clara Park to Santa Clara Square on foot or by bike, even with the trail access complete. Please help make sure sidewalk and trail improvements and access get built and marked, with good lighting, so it's easy to find and inviting to use.

This area has the old, boxy sodium vapor street lights, with the sickly yellow light. I hope to see an upgrade to current LED standards for anything the project is touching.

It's also going to be another case of a pocket of walk- and bike ability hemmed in by big, busy streets. As soon as someone's kid has to cross Bowers, Tasman, Lafayette, or Mission College Blvd., etc., to get to school, that trip is happening in a car. In the absence of a City North plan, at best we can make sure that sidewalks and trails are connected and coordinated with adjacent projects.

Irvine plans to add a coffee shop and operate it as an amenity for residents. Now I'm wondering if there's any such opportunity for filling some of the other chronically vacant storefronts around. It might help with the chicken-and-egg situation, where nobody wants to try some of the new retail spaces because nobody's going there to shop, because there's nowhere to shop. I wonder if "seeding" some of the ground floor retail

spaces like that could be a way to attract additional tenants.

Because this project is not directly against the creek, nobody seems to be thinking in terms of creek-adjacent things like bird-safe glass or native plantings. I've watched birds fly that far, and I've seen egrets and herons further from creeks than this site. There's certainly nothing stopping those birds from crashing into windows they can't see or carrying seeds from invasive or non-native landscape plants into wilder spaces.

I'm glad to see recycled water connections being made for landscape irrigation. It looks like the city got them most of the way there already. It would be foolish and wasteful not to connect the rest of the way.

Thank you for your consideration,

Betsy Megas

## **Web Links- Development Plans**

### **Project Website:**

Here you will find a summary of the project and information regarding past community meetings and prior plan submittals.

[2518 Mission College Blvd. - Santa Clara Park Residential Project | Projects Listing | City of Santa Clara](#)

### **Development Plans:**

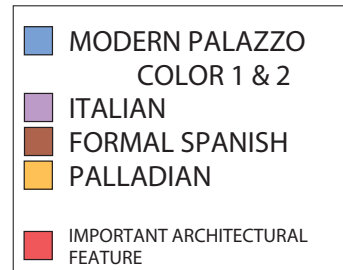
Here you will find the detailed Architectural Drawings.

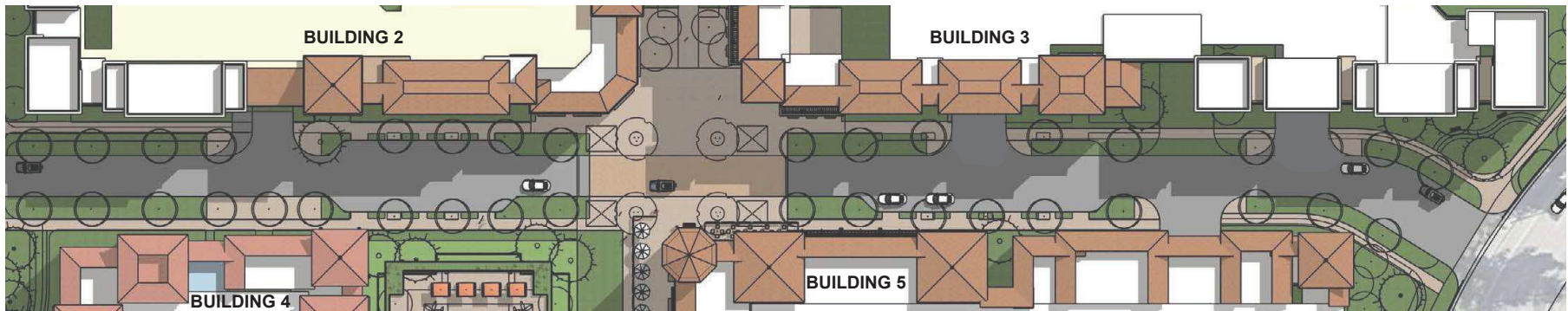
<https://www.santaclaraca.gov/home/showpublisheddocument/86203/638749546591370000>

**These documents are available for viewing in the Community Development Department**



Placemaking for Santa Clara Park Main Street gives a front door to a new vibrant residential village. It provides a convenient vehicular route to apartment buildings and organizes loading, rideshare and fire truck access, reducing the number of occurrences along Freedom Circle. The street also offers pedestrian and bike connectivity to San Tomas trail. The street section provides aesthetically-balanced while functional design. The project features a range of 4 distinct architectural styles, each contributing unique characteristics to the overall village concept. The Mediterranean inspired architectural styles are strategically deployed to five buildings. Each building on north of Main Street is artfully broken into two architectural styles giving an impression of a smaller, pedestrian-scaled village. To complement the architectural styles, the project incorporates 5 different color schemes. These colors are carefully selected to enhance the visual impact and to ensure that different styles harmonize well with one another.





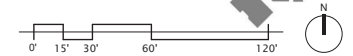




PRIVATE STREET A ELEVATION SOUTH



PRIVATE STREET A ELEVATION NORTH







## Agenda Report

25-360

Agenda Date: 5/14/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Consideration of an Addendum to the Initial Study/Mitigated Negative Declaration (IS/MND) (2021) and Action on the Architectural Review (PLN24-00568) for the Demolition of Two Existing Single-Family Residences and the Construction of 11 Townhouses Located at 1530 and 1540 Pomeroy.

**File No.:** PLN24-00568

**Location:** **1530 and 1540 Pomeroy Ave;** two parcels with a total lot area of 0.48 acres, located on the west side of Pomeroy Avenue between El Camino Real and Granada Ave; APN's: 290-02-096, 290-02-097; Property at 1530 Pomeroy is zoned Medium Density Residential (R3) and 1540 Pomeroy Avenue zoned Mixed Use Community Commercial (MU-CC)

**Applicant:** The Ridgecrest Group Inc./Omid Shakeri

**Owner(s):** Masud Maesumi Trustee & Et. All

**Request:** Consider the **Addendum** to the 1530/1540 Pomeroy Residential Project Initial Study/Mitigated Negative Declaration (IS/MND) and **Architectural Review** for demolition of two existing one-story single-family residences and construction of 11 three-story for-sale townhomes on two contiguous residential lots with a total lot area of 0.48 acres with 22 surface parking spaces at 1530 and 1540 Pomeroy Avenue.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The project site is surrounded by single-family residences to the south, commercial uses to the north, single family homes and commercial uses to the west, and by Pomeroy Avenue and multi-family dwellings to the east. See Vicinity Map in Attachment 1.
- The subject site comprises of two parcels, each developed with a one-story single-family residence. The parcel at 1530 Pomeroy is zoned Medium Density Residential (R3) and the General Plan land use designation is Medium Density Residential. The parcel at 1540 Pomeroy is zoned Mixed Use Community Commercial (MU-CC) and the General plan land use designation is Mixed Use Community Commercial.
- The applicant proposes to redevelop the two contiguous parcels as follows:
  - 1530 Pomeroy Ave (0.23 acres, Zoned: R3): Construct a three-story building with five attached townhomes in conformance to the density range of 20-36 units per acre for R3 zoning district.
  - 1540 Pomeroy Ave (0.25 acres; Zoned: MU-CC): Construct a three-story building with

six attached townhomes.

- The development on each parcel conforms to the corresponding zoning regulations for the parcel. A condo map to allow for the subdivision of the property will be submitted at a later time.
- Per the Santa Clara City Code Section 18.120.020(D)(3), the request requires Architectural Review approval through a Development Review Hearing.
- A previous proposal to construct six attached townhomes and two single-family residences on the subject site was approved at the Development Review Hearing on August 18, 2021. However, the Planning entitlement expired as it was not exercised within two years per Santa Clara City Code Section 18.128.060 and no time extensions were granted. The condo map approved by the Council on May 10, 2022, expired as well. Since that approval, the City rezoned the parcel at 1530 Pomeroy from R3-18D (Low-Density Multiple Dwelling) to R3 (Medium-Density Residential) and rezoned the parcel at 1540 Pomeroy from A (Agriculture) to MU-CC (Mixed Use Community Commercial) as a part of the City's comprehensive zoning update. The new zoning requires the project site to be developed at a higher density than what was previously proposed.
- The proposal conforms to the City's Community Design Guidelines in that it improves the aesthetics of the currently dilapidated site, enhances pedestrian connections, and is designed to be compatible with the existing surrounding development.
- The applicant has worked with staff to refine the elevations by simplifying the roof form, creating articulation, aligning the windows, and the entrance for the front units for both buildings to face Pomeroy Avenue.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- On March 13, 2024, the Applicant conducted a hybrid Community meeting. Six members of the public attended in-person, and four members of the public attended virtually. The topics discussed included architecture, allowable density, parking, applicable zoning regulations, and impact to the adjacent single-family residences.
- A neighborhood notice was distributed within a 1,000-foot radius of the subject site for this project review.

### **Building Design**

- The project would construct a three-story building with five attached townhomes on the southern parcel (1530 Pomeroy) that borders single-family residences to the west and to the south. Each unit would be 1,970 square feet with three bedrooms and three and a half bathrooms and a one car garage.
- The parcel on the north (1540 Pomeroy) that borders commercial uses to the north and the west, would be occupied with a three-story building with six attached townhomes. Each townhome would be 2,370 square feet with three bedrooms and three and a half bathrooms and a two-car garage.
- Both residential structures adhere to the lot coverage and all other zoning regulations of the corresponding zoning district and exceed the setback requirements.
- The townhomes on 1530 Pomeroy Avenue are designed with modern architecture featuring a combination of board and batten siding, and lap siding to clearly define the units on the north and south facades. This is further emphasized by providing articulation on the facades. Fenestration would include a mix of divided-light vertical and square windows. The townhomes

would be a single building with hipped roof and a long central ridge, punctuated with smaller hipped forms.

- The architecture of the townhomes on 1540 Pomeroy Avenue remains largely the same as the previous proposal and is like the building on 1530 Pomeroy Avenue in featuring a combination of board and batten siding, and lap siding, and fenestration. The townhomes are also a single building with hipped roof and a long central ridge but punctuated with small gables on both the north and south facades. A color scheme will be used to create a clear distinction of the units from outside.
- The private garages would be accessed through a shared 20 foot wide driveway and a pedestrian path on each parcel leading to the entrance of the townhomes.

### **Open Space**

The project provides an open private community space to the rear and south of the project site. The project would remove nine existing trees and other smaller trees and shrubs and would plant 16 24" box trees and two 36" box trees to meet city's requirement for a replacement ratio of 2:1. A landscape plan has been developed and the site would be developed with drought tolerant and water efficient landscaping. The property frontage would be planted with new street trees in accordance with the City requirements.

### **Parking**

A 400 square foot two car attached garage is incorporated on the ground floor of each residential unit on 1540 Pomeroy Avenue and a 220 square foot one-car attached garage is incorporated on 1530 Pomeroy Avenue. Additionally, five unbundled surface parking are provided. This exceeds the city's requirement of 1.5 parking space for each three-bedroom unit.

### **FINDINGS SUPPORTING STAFF'S RECOMMEDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The development provides a total of 22 on-site parking spaces, including five unbundled surface parking spaces. This exceeds the Zoning code requirement for 17 parking spaces per Section 18.38, Table 3-3, requiring 1.5 parking spaces for two-three-bedroom units.
  - The project provides adequate circulation for vehicular and pedestrian access.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The proposed project would not generate an increase trips previously anticipated with the analysis undertaken as part of the land use study in the 2010-2035 General Plan, and further analyzed and determined to be less than significant in the previously prepared Mitigated Negative Declaration prepared for this project. The analysis of transportation and traffic impacts presented in the Initial Study remains valid for the modified project.
  - The project includes pedestrian improvements such as constructing a sidewalk along the

project frontage to improve pedestrian connections and safety in the area.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- The development is a three-story medium density residential structures that are compatible with the existing residential uses in the area.
- The five attached townhomes at 1530 Pomeroy adhere to the setback, lot coverage and all other zoning regulations of the Medium Density Multiple Dwelling (R3) Zoning District, except the day light plane, for which they are utilizing a waiver. The structure is setback more than 42 feet from the rear, where the setback required is 15 feet. There are no balconies proposed and window sill heights are five feet on the south elevation to minimize the impact on the single-family residences in the vicinity.
- The six attached Townhomes at 1540 Pomeroy adhere to the lot coverage and all other zoning regulations, and exceed the front, side and rear setback requirements of the MU-CC Zoning District.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
- The use, scale, and design of the development, as conditioned, are consistent with the General Plan density contemplated for this area and is therefore compatible with the existing and future land uses in the surrounding area.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed design and form of the building is consistent with the City's General Plan policies and Community Design Guidelines.
- The project provides for an attractive and functional site arrangement of the buildings and other improvements on a commercial site providing a high-quality architectural and landscape design.

## **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

## **ENVIRONMENTAL REVIEW**

The action being considered reflects the determination contained within the Addendum to the 1530/1540 Pomeroy Avenue Residential Project IS/MND, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15164. The addendum concluded that pursuant to CEQA Guidelines Section 15162 that no subsequent Negative Declaration is necessary.

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 1,000-foot radius of the project site on May 1, 2025. As of the writing of this report, planning staff has not received public comments for this application.

On March 13, 2024, the Applicant conducted a hybrid Community meeting. Six members of the public attended in-person, and four members of the public attended virtually. The topics discussed included architecture, allowable density, parking, applicable zoning regulations, and impact to the adjacent single family homes.

## **RECOMMENDATION**

**Consider** the Addendum to the 1530/1540 Pomeroy Avenue Residential project Initial Study/Mitigated Negative Declaration (IS/MND) and **Approve** the Architectural Review for the for demolition of two existing one-story single-family residences and the construction of 11 three-story townhomes with 22 surface parking spaces located at 1530/1540 Pomeroy, subject to the findings and conditions of approval.

Prepared by: Nimisha Agrawal, Senior Planner, Community Development Department

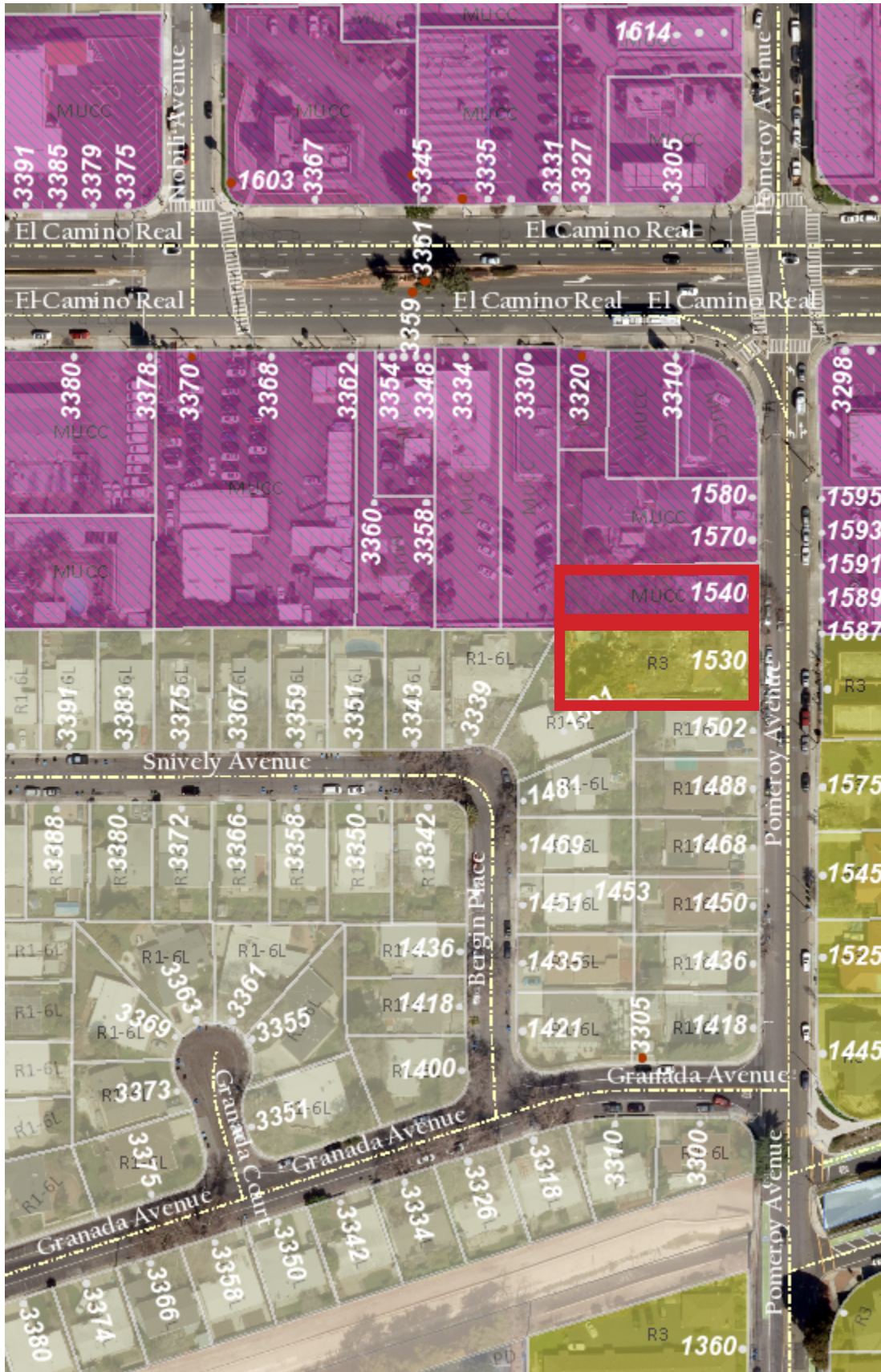
Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

## **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Web Links- Project Website and Addendum to 2021 IS-MND
4. Conditions of Approval
5. Development Plans



## Vicinity Map (Zoning) - 1530-1540 Pomeroy Ave



### Legend

#### Residential

- R1-6L - Single Family
- R1-8L - Single Family
- R2 - Low Density Residential
- R3 - Medium Density Residential
- R4 - High Density Residential
- R5 - Very High Density Residential
- TN - Transit Neighborhood
- UC - Urban Center
- UV - Urban Village
- VR - Village Residential
- PH-R5 - Patrick Henry - Very High Density Residential
- HDF - High Density Flex
- LSAP - Lawrence Station Area Plan

#### Mixed Use

- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use Neighborhood Commercial
- MURC - Mixed Use Regional Commercial
- SCS - Santa Clara Station Focus Area

#### Public / Open Space

- OS - Parks/Open Space
- PQP - Public / Quasi Public

#### Commercial

- CC - Community Commercial
- CN - Neighborhood Commercial
- CR - Commercial Regional

#### Industrial

- HI - Industrial Heavy
- LI - Industrial Light

#### Office - R&D

- HO-RD - Office/R&D-High Intensity
- LO-RD - Low-Intensity Office/R&D

#### Form Based

- DNTW - Downtown

#### Planned Development

- PD - Planned Development
- PD-MC - Planned Development Master Community

0 200 400  
ft



NAD\_1983\_2011\_StatePlane\_California\_III\_FIPS\_0403\_Ft\_US  
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Attachment 2: Project Data/Compliance

Project Address: 1530/1540 Pomeroy Avenue  
Zoning: 1530 Pomeroy: R3, 1540 Pomeroy: MU-CC

Project Number: PLN2025-00568

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	0.48 acres	No Change		
1530 Pomeroy Ave	10,080 sq. ft (0.23 acres)	No Change	8,500 sq. ft.	Y
1540 Pomeroy Ave	10,920 sq. ft. (0.25 acres)	No Change	-	-
Lot Area per Dwelling Unit (SF):	1,100	1,909		
<b>Building Square Footage (SF)</b>				
1530 Pomeroy Ave	840	8,750	--	--
1540 Pomeroy Ave	870	11,700	--	--
Accessory Building Area 1530 Pomeroy	Attached One car garage	1,100	-	
Accessory Building Area 1540 Pomeroy	Attached One car garage	2,400		
Total:	2,200	23,950	--	--
<b>Building Coverage (%)</b>				
Building Coverage	11%	38.5%		
<b>1530 Pomeroy Setbacks (FT)</b>				
Front:	20	15	10	Y
Side (left):	5	6	5	Y
(right):	5	10	5	
Rear:	20	37	15	Y
<b>1540 Pomeroy Setbacks (FT)</b>				
Front:	20	13	5-10	Y
Side (left):	5	10'	None	Y
(right):	5	8'-13'-9"		
Rear:	20	20	10	Y
<b>Height (FT)</b>				
1530 Pomeroy	One-story	36', 32' within 20' of R1 property to south and west	40', 32' within 20' of R1 zoned property	Y
1540 Pomeroy	One-story	37'	40', 32' within 20' of R1 zoned property	y
<b>Parking:</b>				

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				
<b>Off-Street:</b>	4	22	17	Yes
<b>Guest:</b>	-	5	-	
<b>Class 1 Bicycle:</b>	-	2		
<b>Class 2 Bicycle:</b>	-	11		
<b>Landscaping</b>				
<b>Open Landscaped Area:</b>				
<b>Private recreation space:</b>	-	9 units have a private patio	60 sq. ft. for 50% of the units (1530 Pomeroy)	Y
<b>Common recreation space (per unit):</b>	-	1,100	200 sq. ft. (1530 Pomeroy)	Y



## **Web Links- Project Website and Addendum to 2021 IS/MND**

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### **Project Website:**

Here you will find a summary of the project and information regarding past community meetings and prior plan submittals.

[1530-1540 Pomeroy Avenue - Residential Project | Projects Listing | City of Santa Clara](#)

### **Environmental Website:**

Here you will find documents related to the 2021 environmental assessment of the project and any information regarding meetings related to the environmental assessment of the project.

[1530-1540 Pomeroy Avenue - Residential Project \(CEQA\) | CEQA Pending Approvals Directory | City of Santa Clara](#)

Link to the Addendum to the 2021 IS/MND prepared for the current proposal.

<https://www.santaclaraca.gov/home/showpublisheddocument/86853/638809166002874116>

**These documents are available for viewing in the Community Development Department**



## **Conditions of Architectural Review Approval PLN25-00568/1530/1540 Pomeroy Avenue**

*Project Description:* Consideration of an Addendum to the Initial Study/Mitigated Negative Declaration (IS/MND) (2021) and Action on the Architectural Review (File # PLN24-00568) for the Demolition of Two Existing Single Family Homes and the Construction of 11 For-Sale Townhouses Located at 1530 and 1540 Pomeroy.

### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is May 14, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
  - a. During construction retaining a single company to install all fire related penetrations is highly recommended.
  - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
  - c. All stair shafts shall be minimum 1-hour rated.
  - d. All elevator shafts shall be minimum 1-hour rated.
  - e. All trash chute shafts shall be minimum 1-hour rated.
  - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.

- g. Any trash rooms shall be minimum 1-hour rated all sides and above.
- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
- a. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

## **COMMUNITY DEVELOPMENT – PLANNING DIVISION**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of \_\_2:1\_\_\_. (SCC 12.35.090)
- P3. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.

### **DURING CONSTRUCTION -- PRIOR TO OCCUPANCY**

- P4. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P5. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P6. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

### **OPERATIONAL CONDITIONS**

- P7. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P8. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P9. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape of 2,500 square feet or more shall conform to the California Department of Water Efficient Landscape Ordinance.

## MITIGATION MEASURES

- P10. **Mitigation Monitoring and Reporting Program.** The Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

## COMMUNITY DEVELOPMENT - BUILDING DIVISION

### DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

- BD1. **Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. **Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

### DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling

reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

## **COMMUNITY DEVELOPMENT - HOUSING DIVISION**

### **DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE**

- H1.** In accordance with the Santa Clara City Code Chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 11 units for-sale residential development. The Applicant must provide at least fifteen percent (15%) of the units (or 1.65 units) as affordable housing available at affordable sales prices to extremely low, very low, low and/or moderate-income households, ensuring the distribution of affordable units averages to a maximum of one-hundred percent (100%) of Area Median Income. All prices shall be set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). The Applicant is responsible for all costs associated with complying with the California Building Standards (California Code of Regulations, Title 24) for the each affordable for- sale residential unit. Affordable units must be reasonably dispersed throughout the project, have an average number of bedrooms comparable the market-rate units, and match the market-rate units in appearance, material, and finished quality. Affordable units must have equal access to project amenities and recreational facilities as market-rate units. Additionally, the Developer will cover the cost of the BMP Program to process each BMP homebuyer, at a rate of 2.5% of the Affordable Sales Price per unit.

Additionally, the calculation of affordable housing requirements results in a fractional unit, the Applicant must either pay an in-lieu fee or provide an additional unit to satisfy the requirement. Any in-lieu fee payment due to the City by the Applicant shall be payable prior to the issuance of the certificate of occupancy.

- H2. Affordable Housing Agreement.** Prior to issuance of Building Permits, the Developer must enter into an Affordable Housing Agreement (AHA) with the City. This agreement will determine the Affordable Sales Price, identify the specific unit to be sold as the Affordable Unit, and outline all terms and covenants ensuring the prescribed affordability levels are met. The affordable housing obligation will be documented in the AHA. A fee of \$4,205 for AHA preparation is due prior to execution of the agreement. Please note all fees are based on the current Municipal Fee Schedule effective at the time the Project is approved.

## **FIRE DEPARTMENT**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- F1. Hazmat Clearance.** Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F1. Hazmat Clearance.** Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one

of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at [fchun@santaclaraca.gov](mailto:fchun@santaclaraca.gov) for more information.

- F2. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F3. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F4. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
- Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the “entire” face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.
  - For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.

or

- For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.
- The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F6. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F7. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F8. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8’ - 10’) above grade.
- F9. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during

the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.

- F10. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.
- F11. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

- F12. **Shared Fire Protection Features that Cross Property Lines.** Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F13. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

#### **PARKS & RECREATION DEPARTMENT**

##### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- PR1. **Park Impact Fees.** This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 17 net new residents (1.92 persons/household x 9 net new units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.0518 acres. The equivalent fee due in lieu of parkland dedication is \$372,375 (\$41,375 x 9 net new units).
- PR2. The City will accept a fee (\$372,375) for this 11-unit (9 net new units) development.
- PR3. **Building Permit - Payment of In-Lieu Fees.** In-lieu fees imposed under City Code shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City. Calculations may change if the number of units change, if any areas do not conform to City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.
- PR4. **Building Permit - Dwelling Unit Tax.** A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 11 three-bedroom units [\$15 x 11 bedrooms) + (\$5 x 22 additional bedrooms)] for a total DUT of \$275.

#### **PUBLIC WORKS DEPARTMENT - ENGINEERING**

##### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to



the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.

#### **DURING CONSTRUCTION**

- E3. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E4. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E5. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E6. **Encroachment Permit.** All work within State right-of-way shall require a Caltrans encroachment permit.
- E7. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E8. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E9. **Encroachment Permit.** Construct the storm drain main along Pomeroy Avenue (from El Camino Real) to serve the proposed development with stub beyond proposed manhole for future construction extending to the southern property line. The main size shall be sufficient to convey the 10-year event for the entire tributary area as approved by the City. Storm drain main shall be 18" per approved tributary area analysis.
- E10. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E11. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E12. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E13. **Encroachment Permit.** Pomeroy Avenue along the project frontage is planned to be paved for the 2025 pavement maintenance project. All work shall be completed prior to April 1, 2025. No pavement cuts shall be permitted per the City pavement moratorium (Ordinance No. 1998). Refer to

<https://www.santaclaraca.gov/our-city/departments-g-z/public-works/maintenance-operations/street-maintenance/pavement-preservation-ordinance> for more information.

- E14. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E15. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E16. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.

## **PUBLIC WORKS DEPARTMENT - STORMWATER**

### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3<sup>rd</sup> Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
  - a. Direction of roof runoff into cisterns or rain barrels
  - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
  - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces

Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.

- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.

- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

#### **DURING CONSTRUCTION OR OPERATION**

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants, and a 3<sup>rd</sup> party concurrence letter on the C.3 facilities installation shall be submitted to the Public Works Department. The City reserves the right to review the 3<sup>rd</sup> party inspection reports on the C.3 stormwater facilities installation. The 3<sup>rd</sup> party review letter shall include the associated C.3 Data Form and the approved stormwater management plan that the consultant reviewed to make their determination.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3<sup>rd</sup> party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Amendments to Design.** Any stormwater treatment design changes must be reviewed and approved by the Public Works Department. Changes must be accompanied by a revised C.3 Data Form, 3<sup>rd</sup> party review letter and updated plan set.
- ST17. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST18. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- ST19. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST20. **3<sup>rd</sup> Party Concurrence Letter.** 3<sup>rd</sup> Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3<sup>rd</sup> party inspection report on the C.3 stormwater facility installation.
- ST21. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST22. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or [Street@SantaClaraCA.gov](mailto:Street@SantaClaraCA.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's

stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

## **PUBLIC WORKS DEPARTMENT - TRANSPORTATION**

### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

**TR1. Site Clearance.** A local transportation analysis or VMT analysis is not required for this project as it meets City criteria for exemption of analysis.

### **DURING CONSTRUCTION**

**TR2. Encroachment Permit.** Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.

**TR3. Encroachment Permit.** Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.

**TR4. Encroachment Permit.** Design and construct minimum 5-foot wide sidewalk.

**TR5. Encroachment Permit.** Landscape improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.

**TR6. Encroachment Permit.** Design and construct driveway in accordance with City Standard Detail ST-8.

**TR7. Encroachment Permit.** Project shall comply with the El Camino Real Specific Plan upon adoption of the Plan.

**TR8. Building Permit.** Bicycle parking requirements shall be per the City of Santa Clara Zoning Code Update. Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.

**TR9. Building Permit.** Trash pick-up must occur on-site.

**TR10. Building Permit.** Loading/unloading zones shall be located on-site.

**TR11. Building Permit.** On-street parking shall not be counted towards on-site parking requirements.

### **STREETS DIVISION**

#### **Right of Way Landscape**

### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

**L1. Tree Preservations Specifications.** Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.

**L2. Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.

**L3. Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

### **DURING CONSTRUCTION OR OPERATION**

**L4. No Public Root Cutting.** No cutting of any part of **public**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

### **PRIOR TO FINAL OF BUILDING PERMIT**

**L5. In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

#### **Solid Waste**

### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

**SW1. Post-Construction Solid Waste Generation Estimation and Collection Form.** The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form,

which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at [Environment@SantaClaraCA.gov](mailto:Environment@SantaClaraCA.gov) or (408) 615-3080 for more information. Form to include notation that HOA or equivalent will be responsible for staging solid waste containers in the street for collection.

- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and an interior drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

#### **DURING CONSTRUCTION OR OPERATION**

- SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

#### **SILICON VALLEY POWER**

##### **GENERAL**

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP2. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.
- SVP3. **SVP Equipment Clearances:**
- Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
  - Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
  - Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
  - Barrier pipes:** (on sides accessible to vehicles)
    - Thirty (30) inches from equipment sides.

- ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

**SVP4. SVP Conduit Clearances:**

- a. **Longitudinal:** Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical:** Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
- c. **Poles/Posts:** Three (3) foot six (6) inches clearance required from poles (electrolier, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

**SVP5. SVP Vault/Manhole Clearances:**

- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
- b. Three (3) foot minimum from face of curb. (bollards required for vaults).

**SVP6. SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

**SVP7. Tree Clearances:**

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
- e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.

**SVP8. SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).

- a. UG1000 - Installation of Underground Substructures by Developers
- b. UG1250 – Encroachment Permit Clearances from Electric Facilities
- c. UG0339 – Remote Switch Pad
- d. OH1230 – Tree Clearances from Overhead Electric Lines
- e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- f. UG1225 – Pad mounted Equipment Clearances and Protection
- g. UG0250 – High Density Residential Metering Requirements
- h. FO-1901 – Fiber Optic Splicing and Testing Methods
- i. SVP Rules and Regulations – Latest Edition

**SVP9. SVP Standards, Miscellaneous:**

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.

- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

**SVP10. Meter Locations:**

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

**SVP11. Underground Service Entrance**

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

**SVP12. Code Sections:**

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City’s acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system per Santa Clara City Code chapter **17.15.210 (2)**.

**SVP13. Existing Facilities:**

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.



b. Any relocation of existing electric facilities shall be at Applicants expense.

SVP14. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be “Open-Transition-Mode”, unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

#### **DESIGN / PERFORMANCE – PRIOR TO ISSUANCE OF BUILDING PERMIT**

SVP15. **Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.

SVP16. **SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA's must be met, or variance approvals must be granted by SVP. The developers' work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.

SVP17. **Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications.

SVP18. **Applicants Switchgear:** All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP's meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.

SVP19. **AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

SVP20. **Easements:** Prior to the City's issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5' minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).

SVP21. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.

SVP22. **Applicants Switchgear:** Applicants' switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.

SVP23. **Electric Facilities:** Prior to the City's issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.

SVP24. **Municipal Fees:** Prior to electric service energization, all applicable fees per the City of Santa Clara's Municipal Fee Schedule shall be paid by the applicant.



SVP25. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

#### **OPERATIONAL CONDITIONS – AFTER OCCUPANCY**

SVP26. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

#### **WATER & SEWER DEPARTMENT**

##### **DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT**

- W1. **Domestic Metering Plan.** The metering plan shown on this entitlement is schematic. The final metering configuration shall be determined during the plan check phase of the project.
- W2. **City Standard Meters and Backflows.** All meters and backflows for all water services (new and existing) shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. The applicant may be required to install backflow preventers on domestic water services pending a hazard assessment consistent with the Cross Connection Control Policy Handbook. The final requirements shall be determined during the plan check phase of the project.
- W3. **Potable Water Main.** The applicant shall replace the existing 8" AC water main on Pomeroy Avenue. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, the entire length needed to install services and any additional length required by the Development Impact Analysis.
- W4. **Fire Service.** Fire service requirements shall be subject to Building Permit review.
- W5. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W6. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W7. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W8. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation,

fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.

- W9. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W10. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W11. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W12. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W13. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W14. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W15. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W16. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

## **DURING CONSTRUCTION**

- W17. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.

- W18. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W19. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services, new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- W20. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W21. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

---

#### **KEY:**

G = General  
P = Planning Division  
BD = Building Division  
H = Housing & Community Services Division  
F = Fire Department  
PR = Parks & Recreation Department  
PD = Police Department  
E = Engineering Division  
Streets Division (Landscape, Solid Waste, and Stormwater)  
L = Landscape  
SW = Solid Waste  
SVP = Silicon Valley Power  
W = Water & Sewer Department

## ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

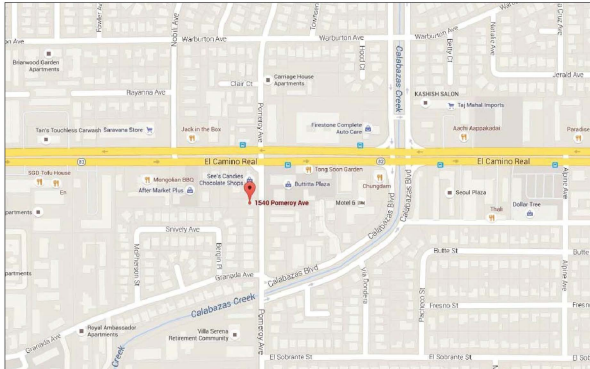
Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# PROPOSED RESIDENTIAL PROJECT AT: 1530 / 1540 POMEROY AVE. SANTA CLARA, CA



RIGDECREST GROUP , INC  
OMID SHAKERI (408) 666-6556

## PROJECT:

1530 / 1540 POMEROY AVE.  
SANTA CLARA, CA

APN: 290-02-097 & 096

OCCUPANCY TYPE: R-3/U

CONSTRUCTION TYPE: V-B

LOT SIZE: 21,000 S.F.

## PROJECT SCOPE:

6 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH  
EACH UNIT: 1,970 SQ FT. LIVING SPACE / 400 SQ .FT. GARAGE

5 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH  
EACH UNIT: 1,750 SQ FT. LIVING SPACE:

TOTAL GUEST PARKING PROVIDED: 5 STALLS

TOTAL COMMON RECREATION AREA PROVIDED: 1,100 S.F.

Zoning	General Plan	
1530 R3	ECR Specific	
1540 MixedUse	Med Density Plan	
Flood Zoned	X	
Floor Area	Existing	Proposed
Floor Area	4,212 S.F.	23,950 S.F.
Building Coverage	4,212 S.F.	8,050 S.F.
Building Coverage%	20%	38.5%
Height	18 ft.	36 ft
		32 ft Within 20 ft of R1
Use	Single Family	Town Homes
No. of Buildings	4	2
Parking	4	22

AUTOMATIC RESIDENTIAL FIRE SPRINKLERS  
TO BE INSTALLED (UNDER SEPARATE PERMIT)

- A1.1 PROJECT DATA
- A1.2 SITE PLAN
- A1.3 SITE PLAN / FIRE EXHIBIT
- A1.4 STREET ELEVATIONS

## 1530 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 7
- A2.2 FLOOR PLANS UNITS 8 + 10
- A2.3 FLOOR PLANS UNIT 9
- A2.4 FLOOR PLANS UNIT 11
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.5 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

## 1540 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 1
- A2.2 FLOOR PLANS UNITS 2 + 4
- A2.3 FLOOR PLANS UNITS 3 + 5
- A2.4 FLOOR PLANS UNIT 6
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.6 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

- C1 CIVIL COVER SHEET
- C2 GRADING & DRAINAGE
- C3 DRIVEWAY PROFILE
- C4 ERROSION CONTROL
- C5 STORM WATER DRAIN PLAN
- C6 TOPOGRAPHY
- C7 CONSTRUCTION BEST MANAGEMENT PRACTICE
- L1 LANDSCAPE PLAN
- L2 IRRIGATION PLAN
- L3 EXISTING TREES
- L4 LANDSCAPE NOTES
- L5 DETAILS
- L6 DETAILS

VICINITY MAP

PROJECT SUMMARY

SHEET INDEX

REVISIONS	BY
1	△

**CB**  
**BASSAM**  
**Architecture**  
916.435.0609  
408.674.9077

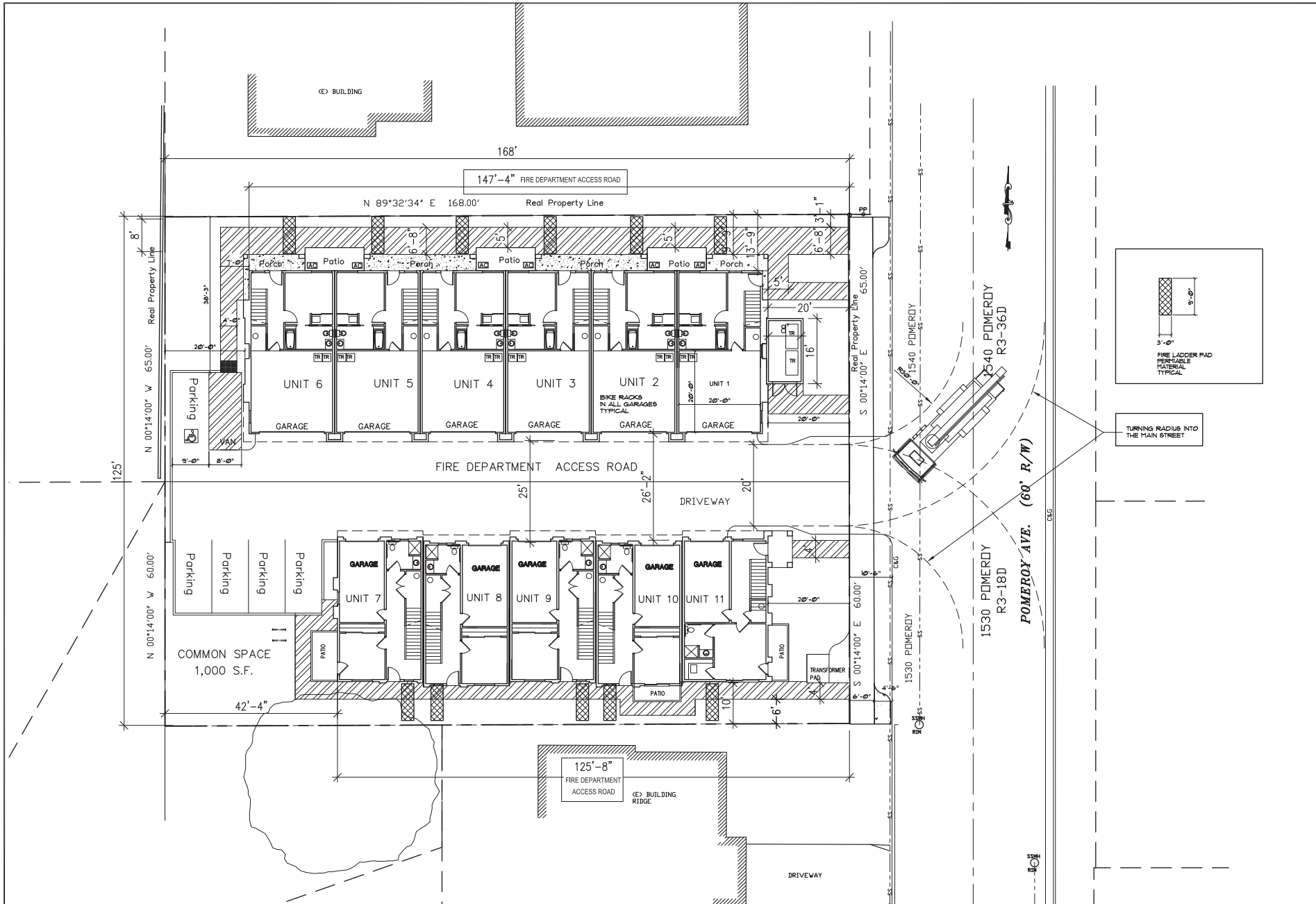
SITE PLAN

RESIDENTIAL PROJECT AT:  
1530 / 1540 POMEROY AVE.  
SANTA CLARA, CA

DATE: 1-3-2024  
SCALE: -  
DRAWN: CB  
JOB NO: 14-345  
SHEET NO:  
**A1.1**

OF SHEETS





SITE PLAN - FIRE DEPARTMENT ACCESS 1" = 10'-0"

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

**SITE PLAN**  
**FIRE PREVENTION EXHIBIT**

**RESIDENTIAL PROJECT AT:**  
**1530 / 1540 POMEROY AVE.**  
**SANTA CLARA, CA**

DATE:	3-24-2025
SCALE:	1" = 10'-0"
DRAWN:	CB
JOB NO.	
SHEET NO.	<b>A13</b>

OF SHEETS



REVISIONS	BY



**BASSAL**  
**Architecture**  
916.433.0605  
408.674.9077



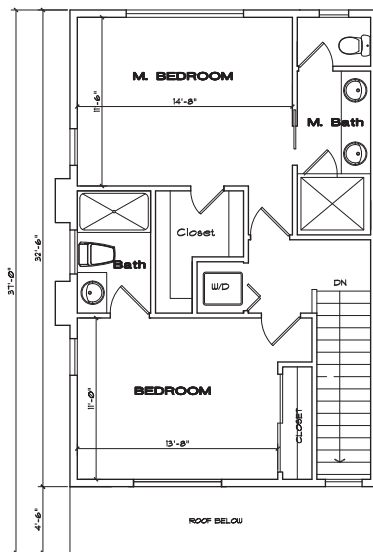
ELEVATIONS  
VIEW FROM POMEROY

RESIDENTIAL PROJECT AT:  
1530 POMEROY AVE.  
SANTA CLARA, CA

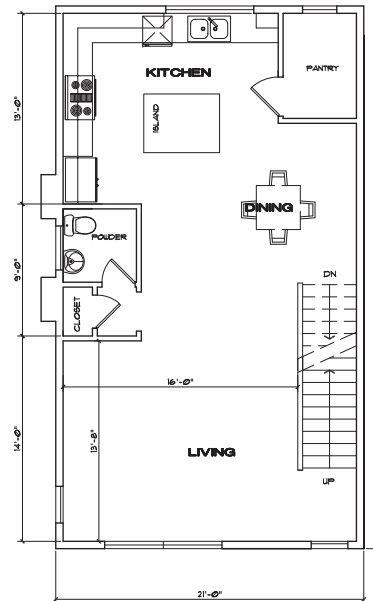
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3-24-2025  
SCALE:  
3/16" = 1'-0"  
DRAWN:  
CB  
JOB NO:  
1

SHEET NO.  
**A1.4**  
of SHEETS

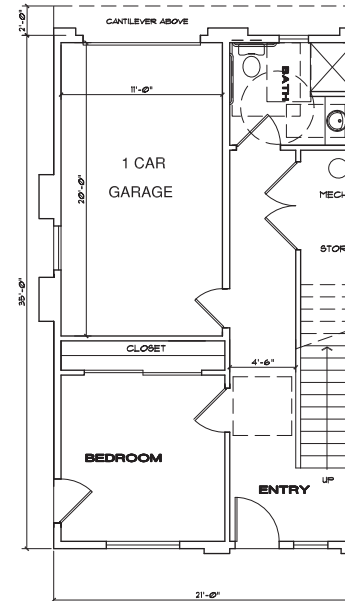




THIRD FLOOR: 675 S.F.  
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.  
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.  
(WITHOUT STAIRS)  
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 7

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

FLOOR PLANS  
UNIT 7

RESIDENTIAL PROJECT AT:  
1530 POMEROY AVE.  
SANTA CLARA, CA

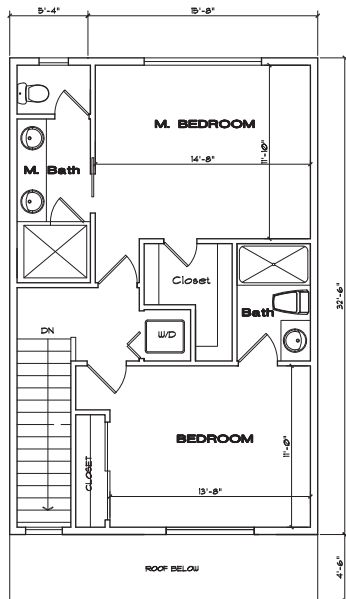
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JOB NO.	1

SHEET NO.  
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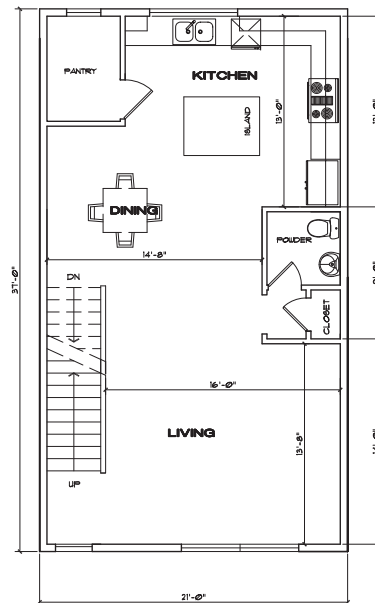
OF SHEETS

FLOOR PLANS

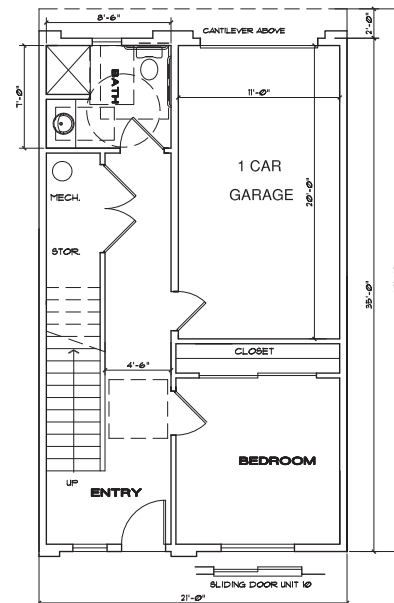
1/4" = 1'-0"



**THIRD FLOOR: 675 S.F.  
(WITHOUT STAIRS)**



**SECOND FLOOR: 645 S.F.  
(WITHOUT STAIRS)**



**FIRST FLOOR: 430 S.F.  
(WITHOUT STAIRS)  
GARAGE: 220 S.F.**

**1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.**

**UNITS 8 & 10**

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

**FLOOR PLANS  
UNITS 8 & 10**

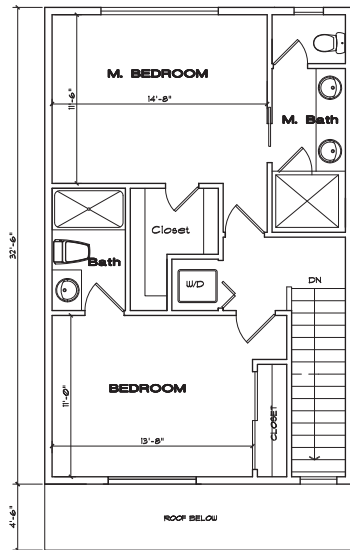
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1530 POMEROY AVE  
SANTA CLARA, CA**

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SCALE:	1/4" = 1'-0"
DRAWN:	CB
JOB NO.	1

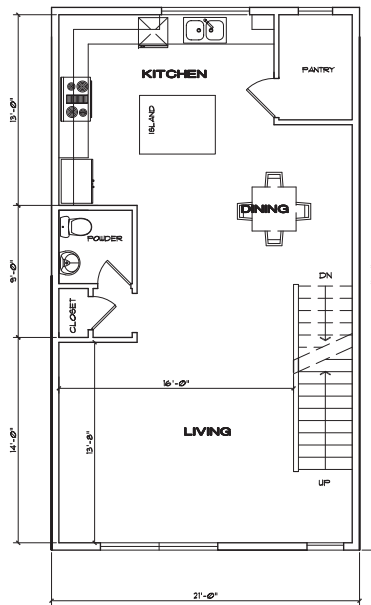
SHEET NO.  
**A2.2**  
OF SHEETS

FLOOR PLANS

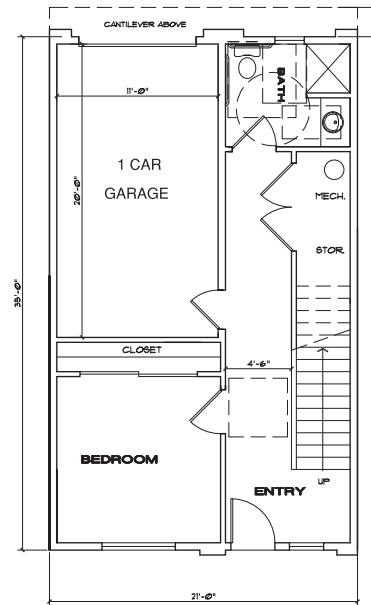
1/4" = 1'-0"



THIRD FLOOR: 675 S.F.  
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.  
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.  
(WITHOUT STAIRS)  
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 9

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077



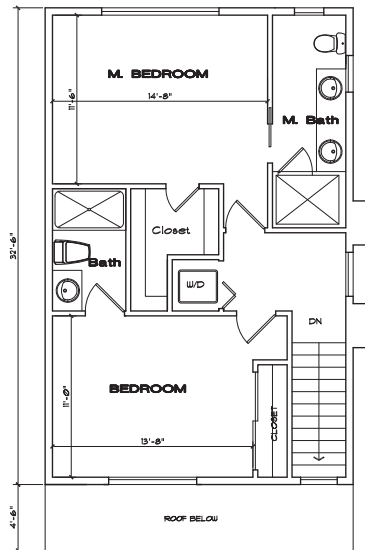
**FLOOR PLANS**  
**UNIT 9**

**RESIDENTIAL PROJECT AT:**  
**1530 POMEROY AVE**  
**SANTA CLARA, CA**

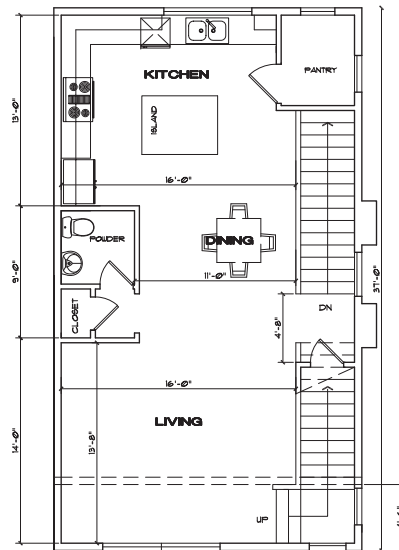
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SCALE:	1/4" = 1'-0"
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JOB NO.	1

SHEET NO.  
**A2.3**

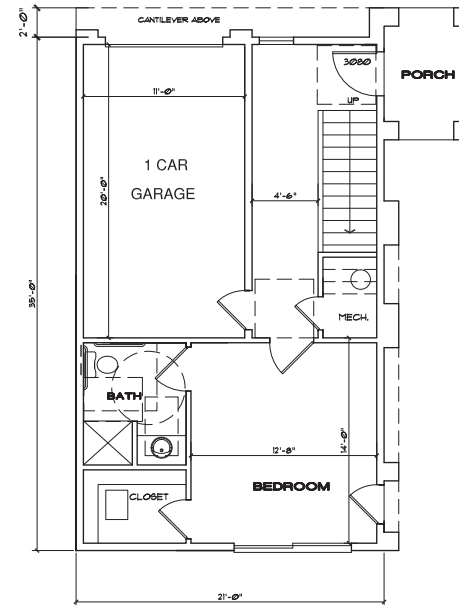
OF SHEETS



**THIRD FLOOR: 675 S.F.**  
(WITHOUT STAIRS)



**SECOND FLOOR: 645 S.F.**  
(WITHOUT STAIRS)



**FIRST FLOOR: 430 S.F.**  
(WITHOUT STAIRS)  
**GARAGE: 220 S.F.**

**1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.**

**UNIT 11**

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

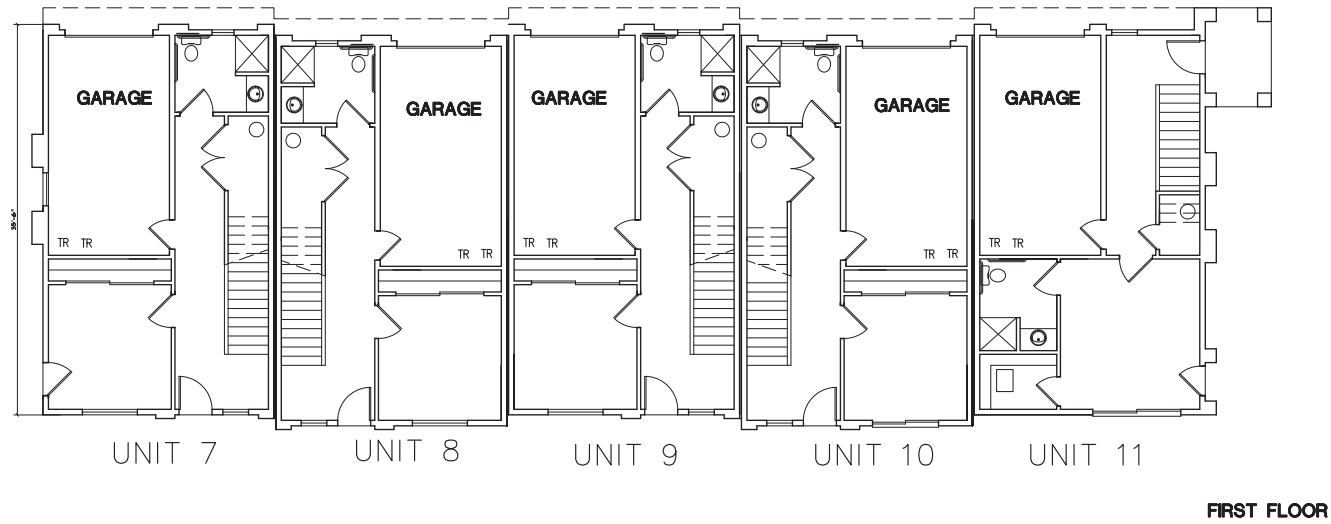
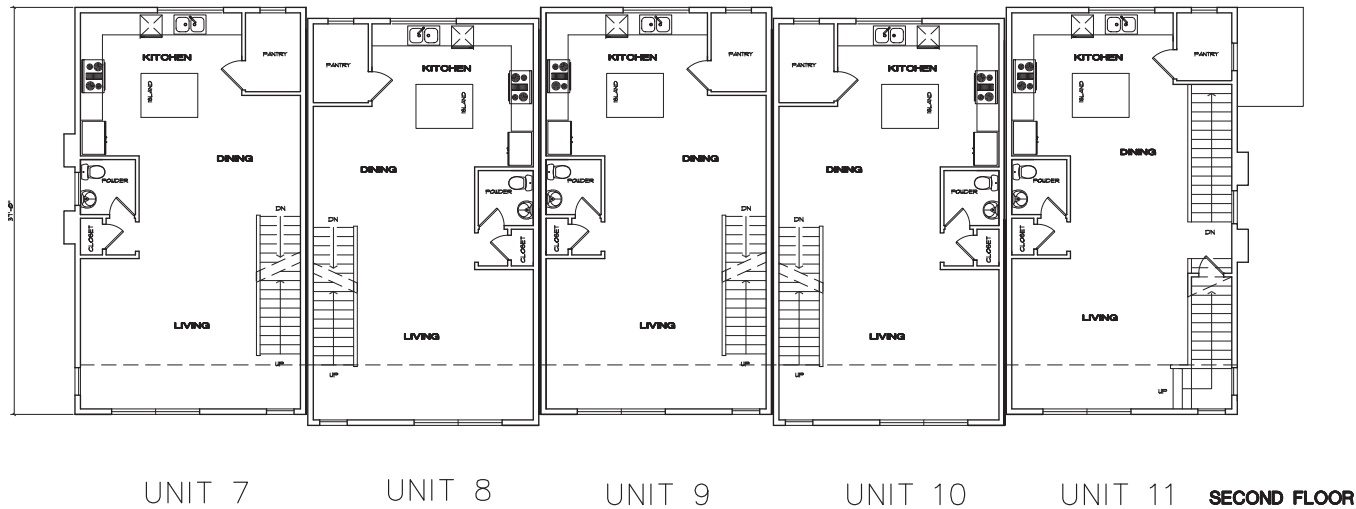
**FLOOR PLANS**  
**UNIT 11**

**RESIDENTIAL PROJECT AT:**  
**1530 POMEROY AVE**  
**SANTA CLARA, CA**

DATE:	1-2-2025
SCALE:	1/4" = 1'-0"
DRAWN:	CB
JOB NO:	1

**SHEET NO.**  
**A2.4**

OF SHEETS



FLOOR PLANS

1/8" = 1'-0"

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

FLOOR PLANS

RESIDENTIAL PROJECT AT:  
1530 POMEROY AVE  
SANTA CLARA, CA

DATE: 3-24-2025

SCALE: 1/8" = 1'-0"

DRAWN: CB

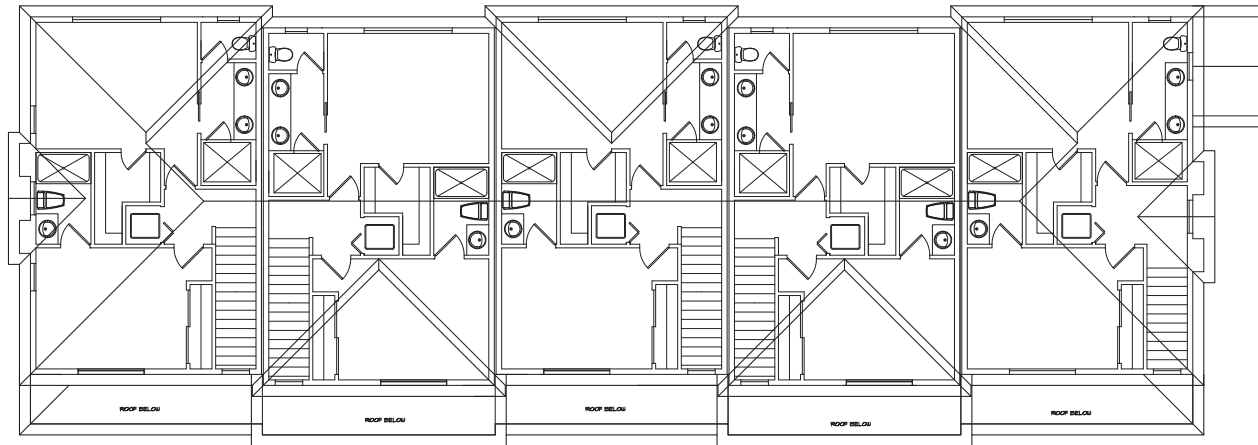
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SHEET NO.

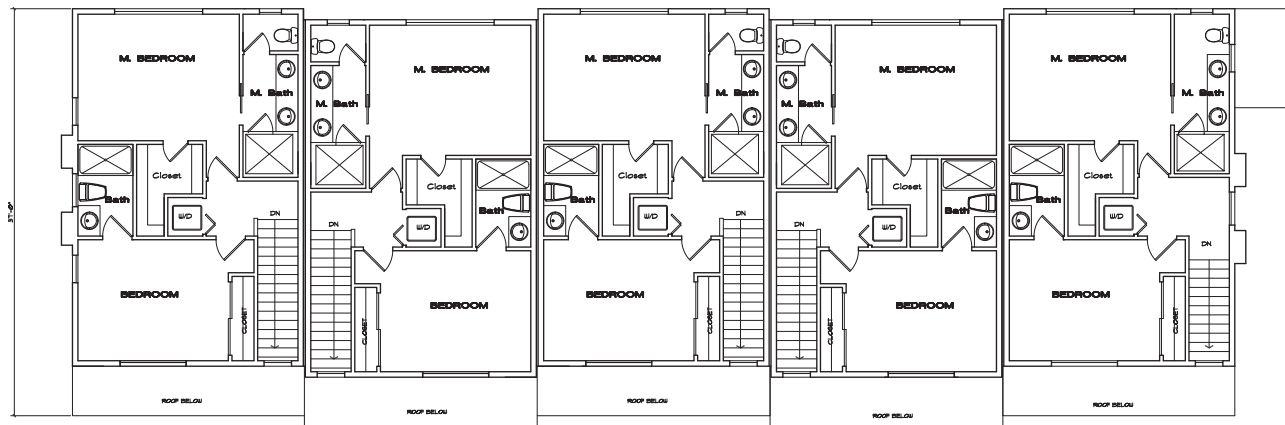
**A2.5**

OF SHEETS

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ROOF PLAN



UNIT 7

UNIT 8

UNIT 9

UNIT 10

UNIT 11

THIRD FLOOR

FLOOR PLANS / ROOF PLAN

1/8" = 1'-0"

REVISIONS	BY

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916.435.0605  
408.674.9077

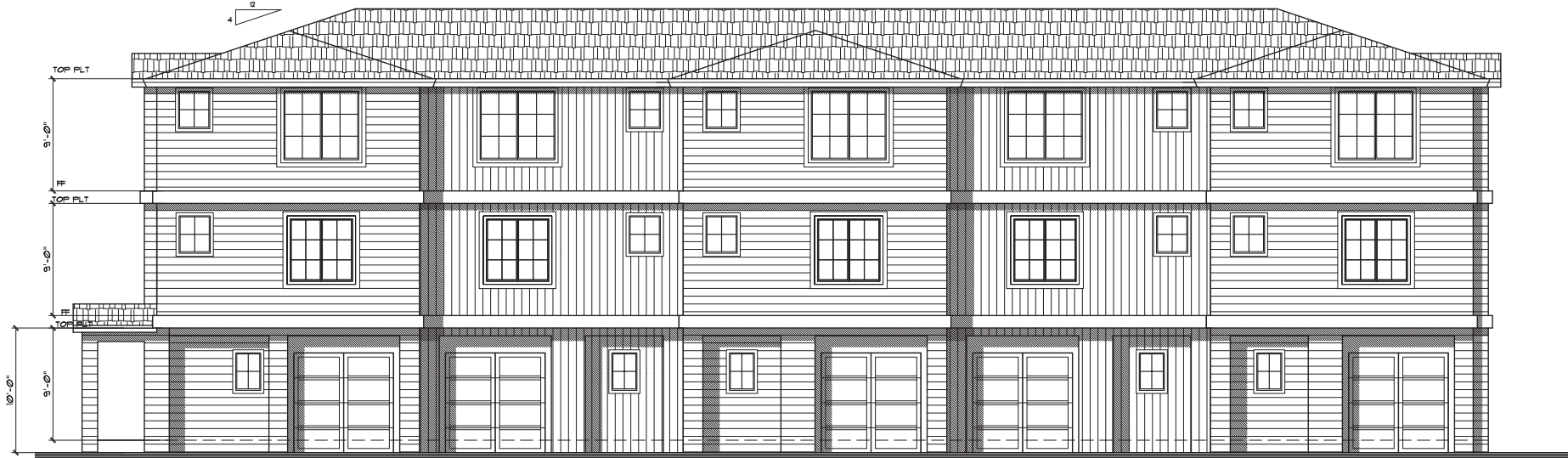
FLOOR PLANS  
ROOF PLAN

RESIDENTIAL PROJECT AT:  
1530 POMEROY AVE.  
SANTA CLARA, CA

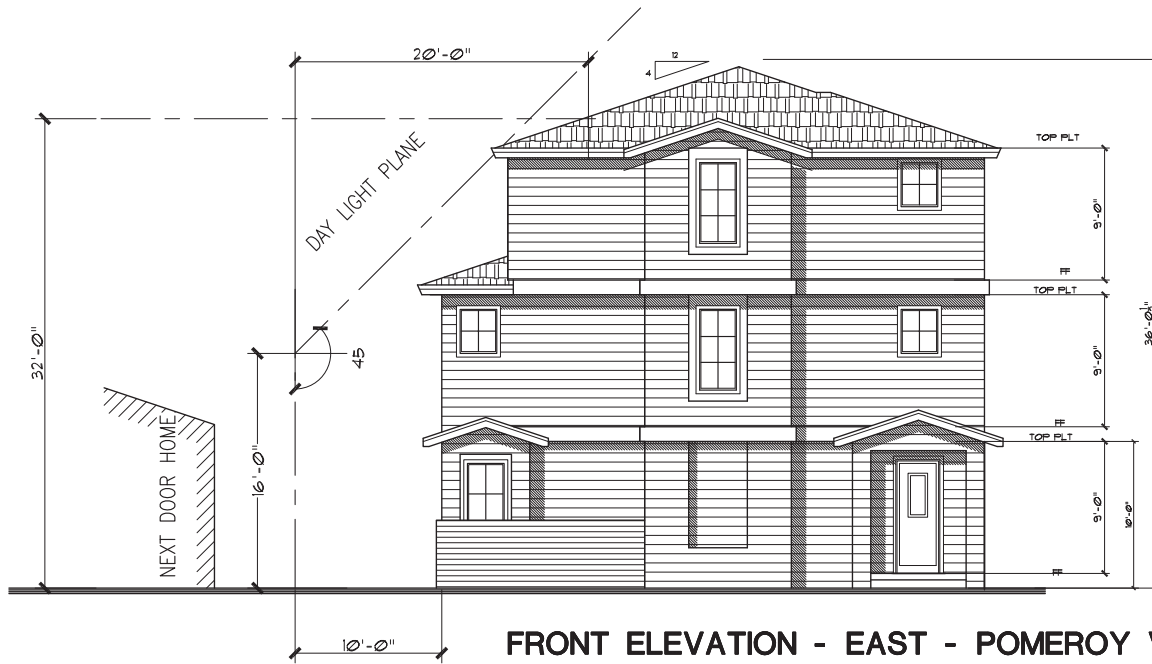
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SCALE: 1/8" = 1'-0"  
DRAWN: CB  
JOB NO: 1

SHEET NO.  
**A2.6**

OF SHEETS



DRIVEWAY ELEVATION - NORTH



FRONT ELEVATION - EAST - POMEROY VIEW

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R301.1.

REVISIONS

NO.	DESCRIPTION	DATE	BY

**CB**

**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

EXTERIOR ELEVATIONS

RESIDENTIAL PROJECT AT:  
1530 POMEROY AVE  
SANTA CLARA, CA

DATE: 3-24-2009

SCALE: 1/4" = 1'-0"

DRAWN: CB

JOB NO: 1

SHEET NO.

**A3.1**

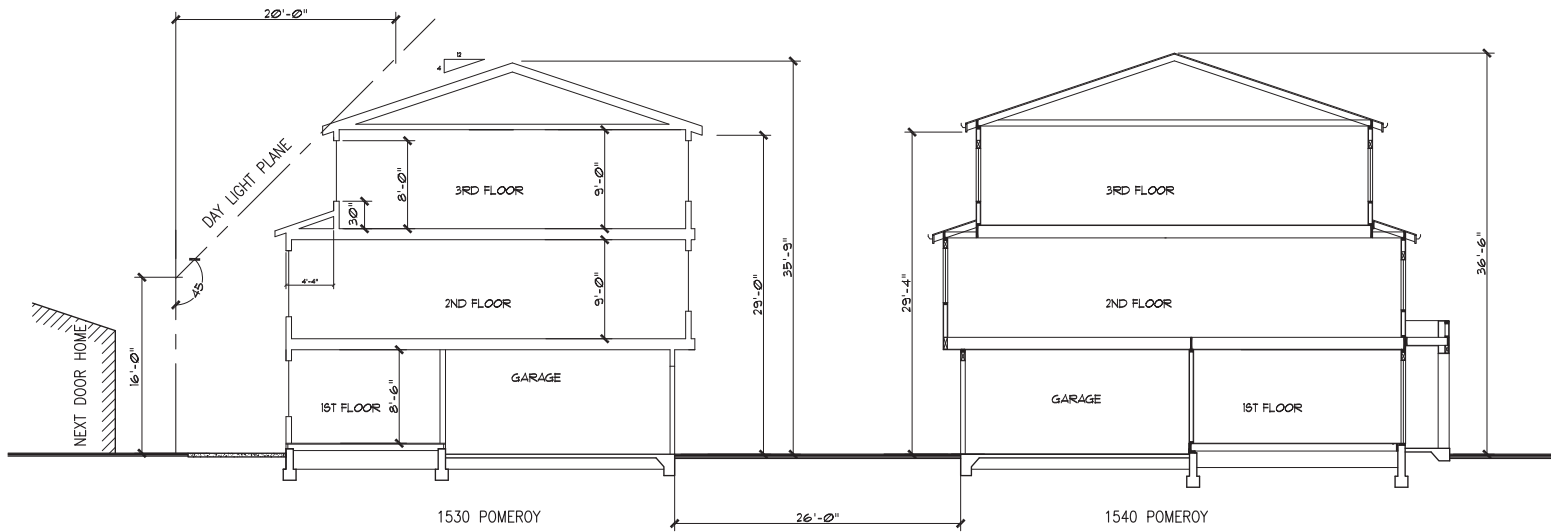
OF SHEETS

EXTERIOR ELEVATIONS

1/4" = 1'-0"

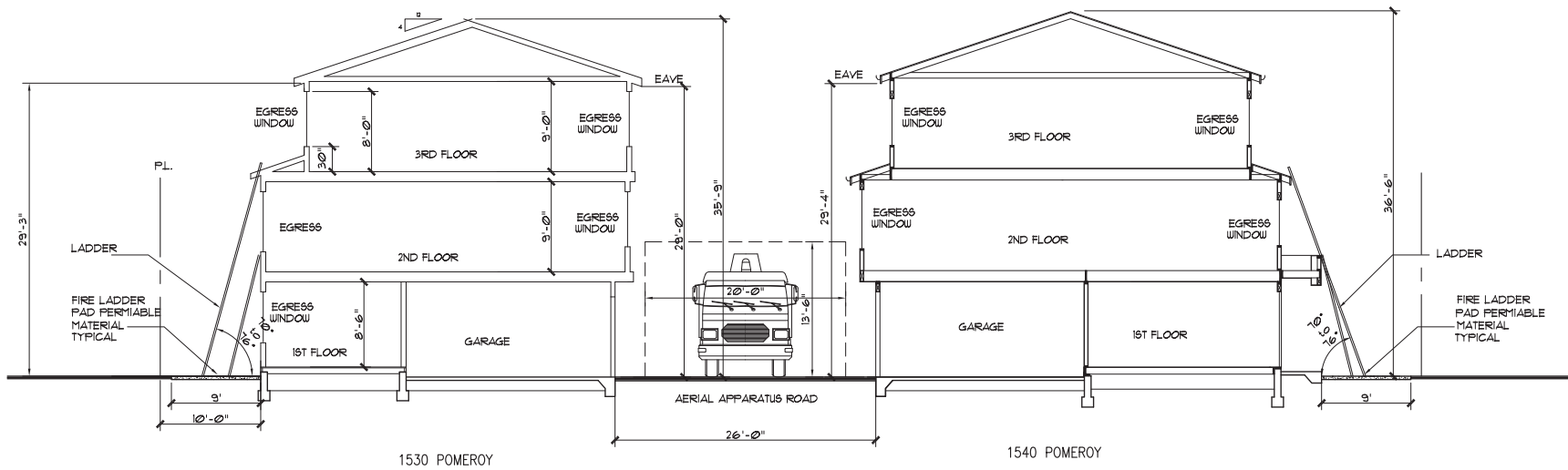






DAY LIGHT PLANE

3/16" = 1'-0"



FIRE APPARATUS AND LADDER ACCESS

3/16" = 1'-0"

REVISIONS	BY

**CB**  
**BASSAI**  
**Architecture**  
 916.435.0605  
 408.674.9077

SECTIONS

RESIDENTIAL PROJECT AT:  
 1530 POMEROY AVE  
 SANTA CLARA, CA

DATE: 1-2-2025  
 SCALE: 3/16" = 1'-0"  
 DRAWN: CB  
 JOB NO: 1

SHEET NO.  
**A4**

OF SHEETS

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**1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.**

## UNIT 1

- ① DOUBLE SINK W/ GARBAGE DISPOSAL
- ② RANGE OVEN W/ VENT ABOVE
- ③ REFRIGERATOR SPACE - PLUMB FOR ICE MAKER
- ④ DISH WASHER
- ⑤ MIN. 1 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS.
- ⑥ PER 3025 CRC: GARAGE WALL ADJOINING THE HOME SHALL BE 1/2"

- 1 HANDRAILS TO HAVE "1 1/2" GRIPPIABLE CROSS SECTION NO SHARP CORNERS  
A) AT HEIGHT OF 34" MIN AND 38" MAX.  
B) NO GRIPPING EXTENDING MORE THAN 1' FROM TOP TO BOTTOM RISER AND  
TERMINATE AT NEELI, POSTS OR  
OR RETURN WALLS
- 2 DRYER-VENT TO OUTSIDE W/ MAX.  
LENGTH OF 14' EQUIPPED W/ BACKDRAFT  
DAMPEN INCLUDING TWO 90° ELBOWS AND  
A 1" DRAIN PIPER WITH 1" DISCHARGE  
SHALL BE A MIN. 3' AWAY FROM ANY OPENING  
INTO THE BUILDING - CFC 504.3.1
- 3 TEMPERED GLASS ENCLOSURE AT  
SHOWERS PROVIDE 18" MIN WIDE DOOR AT  
SHOWER ENCLOSURE - CFC 416
- 4 TUB-SHOWER WALLS SHALL BE FINISHED  
WITH A NON-SLIP NON-ABRASIVE  
SURFACE (E.G. CERAMIC TILE OR  
FIBERGLASS) OVER A MOISTURE  
RESISTANT UNDERLAYMENT MATERIAL  
(E.G. CEMENT, FIBER CEMENT OR GLASS  
FIBER BACKER) TO A HEIGHT OF  
"10" ABOVE THE DRAIN LINE.  
PER 2018 CFC R502.2 AND R102.3.8
- 5 SHOWER 4 TUB-SHOWER COMBINATIONS  
SHALL BE PROVIDED WITH A MEANS OF  
CONTROL VALVE OF THE PRESSURE  
BALANCE OR THERMOSTATIC  
MIXING VALVE TYPE. CFC 416.0
- 6 MIN. 36" DEEP EXTERIOR CORING  
SHALL BE PROVIDED WITH PER 2018  
MIN. EXTERIOR DOORS TO OUTDOOR  
MUST BE WITHIN 1' OF THE LANDING
- 7 MIN. 22" X 36" ATTIC ACCESS  
W/ 1" MIN. HEADROOM AND NO  
NO SHELVEING BELOW ATTIC ACCESS.
- 8 18" X 24" UNDER FLOOR ACCESS
- 9 WATER HEATER NOTES:  
80 GALLON HEAT PUMP  
WATER HEATER - SEE REVISED  
ENERGY CALCULATIONS

(A) FIRE PROTECTION  
ALL PLUMBING PENETRATIONS, INCLUDING CENTRAL VACUUM, THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN. OF 12" FROM WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.

- A** WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE "U" AND "SHGC" VALUES OF EACH WINDOW OR DOOR. SEE THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATION LOG ON SHEET T-4 FOR THE REQUIRED VALUES.
- B** PROVIDE 60 CFM BATHROOM VENTILATION. FRESH AIR FROM OUTSIDE INTAKE AND EXHAUST MEASURED TO BE 1/20 AREA OR BY MECHANICAL VENTILATION PROVIDING 5 AIR CHANGES PER HOUR. MEASUREMENT OF DISCHARGE EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENINGS INTO THE BUILDING.
- C** PROVIDE 24" CLEAR SPACE IN FRONT OF SINKS AND SHOWER STALLS. PROVIDE 36" CLEAR SPACE FOR TOILET SPACE - 209 CFS 480.5
- D** - SINGLE SHOWERSHEAD - 18 GPM AT 80 PSI  
SHOWERSHEAD SECTION 43B31.3
- E** ALL MULTIPLE SHOWERSHEADS ON ONE SHOWERSTUBBED FLOOR RATE OF ALL SHOWERSHEADS AND/OR OTHER SHOWER HEADS CONTROLLABLE VALVE EXCEEDS 18 GALLON / MIN. LAVATORY FAUCETS SHALL BE CONTROLLED BY A CONTROLLABLE VALVE - 18 GPM AT 80 PSI  
TOILET SECTION 43C3.3
- F** ALL SINK FAUCETS, TOILETS AND URINALS SHALL BE EQUIPPED WITH CALIFORNIA CITY CODE SECTION 18.01 THROUGH 18.09. SINKS SHALL BE DISCHARGED TO EXCEED 18 GALLON / MIN. LAVATORY FAUCETS SHALL DISCHARGE 1.5 GALLONS / MIN. TOILETS SHALL NOT EXCEED 128 GPM. URINALS SHALL NOT EXCEED 7.5 GPM
- G** NO DOMESTIC DRAINWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL UNIT THAT IS NOT AN APPROVED DRAINWASHER AIR GAP. THE DRAINWASHER SHALL BE INSTALLED WITH THE DISHwashing MACHINE LISTED AIRGAPS SHALL BE DISCHARGED TO THE FLOOD LEVEL (FIN) HATCHES AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DISHWASHER. UNCHECKER 9-1648-01 CFC SEC. 807.13
- H** PER 209 CFS KITCHEN AND LAUNDRY SINKS SHALL BE PROVIDED WITH AFI AND GCPI PROTECTED. ALL BRANCH CIRCUITS THAT SUPPLY SINKS SHALL BE INSTALLED IN BOTH KITCHENS AND LAUNDRY AREAS. SHALL BE PROTECTED BY EITHER AFI OR GCPI INTERRUPTER AND GCPI RECEPTACLE. SEC 740.9
- I** APPEARANCE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL IS 9,000 AMP
- J** UNDERFLOOR PORT, SHALL CONCRETE AND EXTERIOR DECK @ 0.1AIN SUPERSTRUCTURE SHALL BE COATINGS FOR FASTENER PORT BASES, HANDRAILS, ELEVATORS AND STAIRS SHALL BE SHALL BE GALV. HALVANIZED. 2 MAX. COATLSS SHALL BE APPLIED. IF IN CONTACT, THE END NAILS OF THE SHEAR WALL TO THE PLATE NEED TO BE GALVANIZED.

WALL NOTES:  
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNCL.  
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNCL.

② UNDERFLOOR POST, BILLS ON CONCRETE AND EXTERIOR DECK, 1" STRAIN SUPERSTRUCTURE SHALL BE OF PRESURE TREATED LUMBER COATINGS FOR FASTENERS, POST BASES, HANGARS AND CONNECTORS IN CONTACT WITH PIT SHALL BE HD. GALVANIZED. 1" PLATE OR STAINLESS STEEL, OR RATED FOR PIT CONTACT, THE END NAILS OF THE SHEAR WALL INTO THE PIT PLATE NEED TO BE HD. GALVANIZED.

④ PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALIFORNIA 4385. A 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPEED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.

① PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USEABLE SPACE UNDER INTERIOR STAIR, PER CBC 202.7 & CBC 1011.3, EXCEPTION

FLOOR PLAN - UNIT 1

---

1/4" = 1'-0"

REVISIONS	BY



**BASSAL**  
**Architecture**  
916.435.0605  
408.674.8077

UNIT 1  
1540 POMEROY AVE.

RESIDENTIAL PROJECT AT:  
36540 POMEROY AVE.  
SANTA CLARA, CA

DATE: 10-25-2000

SCALE:  $\frac{1}{4}'' = 1'-0''$

DESIGNED BY	DATE
DRAWN	

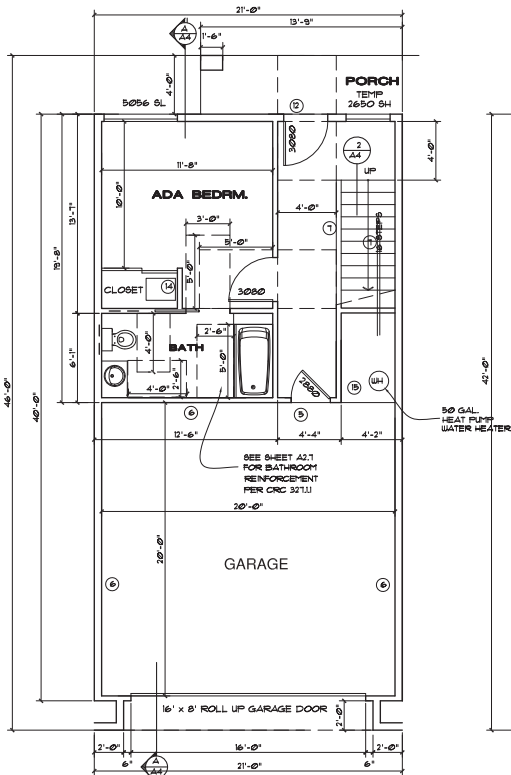
CB
JOB NO

SHEET NO.

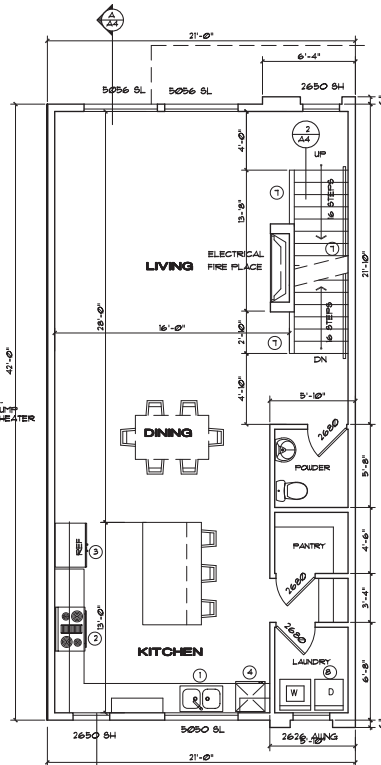
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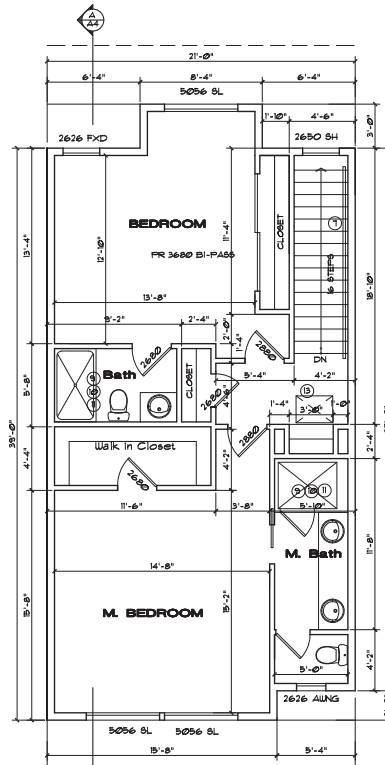
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FIRST FLOOR: 400 S.F.  
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNITS 3 AND 5

# FLOOR PLANS NOTES:

- DOUBLE SINK W/ GARBAGE DISPOSAL
- RANGE OVEN W/ VENT ABOVE
- REFRIGERATOR SPACE - PLUMB FOR ICE MAKER
- DISH WASHER
- MIN 1 3/8" SOLID CORE SELF CLOSING GARAGE DOORS
- PER 302.5 CRC GARAGE WALL ADJOINING THE HOSE SHALL BE 12" TAPED SHEETROCK CONCRETE TO RAFTERS METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA BOXES ON OPPOSITE WALLS SHALL HAVE 24" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK.
- HANDRAILS TO HAVE 1 1/4" - 2" GRIPPEABLE CROSS SECTION NO SHARP CORNERS 4" AT HEIGHT OF 34" MIN. AND 38" MAX. ABOVE NOSE EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEWEL POSTS OR RETURN WALLS
- DIRECT VENT TO OUTSIDE W/ MAX LENGTH OF 14' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN 3' AWAY FROM ANY OPENING INTO THE BUILDING - CFC 504.3.1
- TEMPERED GLASS ENCLOSURE AT SHOWERS, PROVIDE 22" MIN WIDE DOOR AT SHOWER ENCLOSURE - CFC 416
- TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS CODE SECTION 1911. THROUGH 1916. KITCHEN FAUCETS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI CGBC SECTION 4.303.1.2
- SHOWER TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CFC 416.0
- MIN 3/4" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CFC 206 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING
- MIN 22" X 30" ATTIC ACCESS W/ MIN 30" HEADROOM ABOVE NO SHELVS BELOW ATTIC ACCESS
- 18" X 24" UNDER FLOOR ACCESS
- WATER HEATER NOTES: 80 GALLON HEAT PUMP WATER HEATER - SEE REWISED ENERGY CALCULATIONS

## WALL NOTES:

ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.  
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

## GENERAL NOTES:

- FIRE PROTECTION  
ALL FLUING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN OF 12" TROUGH WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE "U" AND "SHGC" FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- PROVIDE 50 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62-2-2007, AND ENERGY REQUIRE OF 10 CFM FLOOR AREA OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN WIDTH FOR TOILET SPACE - 2019 CFC 402.5
- SINKS SHOWERHEAD - 18 GPM AT 80 PSI CGBC SECTION 4.303.1.3  
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI CGBC SECTION 4.303.1.2
- ALL SINK FAUCETS, TOILETS AND URNALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1911. THROUGH 1916. KITCHEN FAUCETS AND/OR OTHER SHOWER OUTLETS SHALL NOT EXCEED 1.8 GPM/LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM/LAVATORY TOILETS SHALL NOT EXCEED 1.2 GPM/FLUSH AND URNALS SHALL NOT EXCEED 1.2 GPM/FLUSH
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. CFC SEC. 807.3
- PER 2019 CFC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.  
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN KITCHEN AND LAUNDRY AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CFC 210.2
- APPROPRIATE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL: 15 200 AMP
- UNDERFLOOR POST SILLS ON CONCRETE, AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENERS, POST BARS, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD. GALVANIZED, Z-MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT, THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD. GALVANIZED.
- PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CFC 506.2.3 AND CALGREEN 4.309. A 6" MIN. POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACE BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- PROVIDE 1/2" GYPSTUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER INTERIOR STAIR PER CFC 302.1.4 CBC 101.13, EXCEPTION.

FLOOR PLANS - UNITS 3 AND 5

1/4" = 1'-0"

REVISIONS	BY

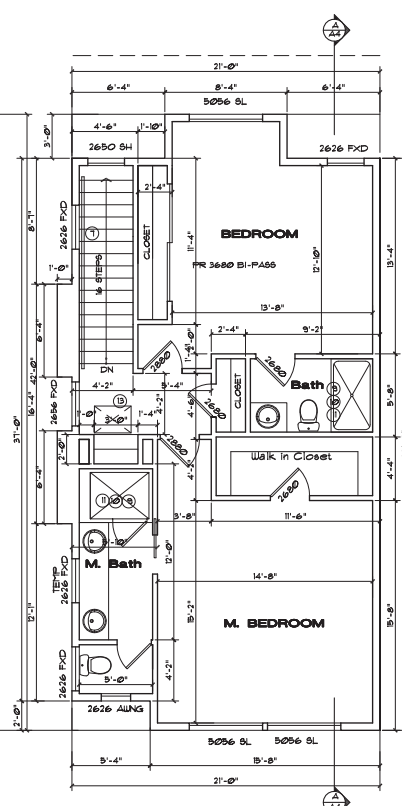
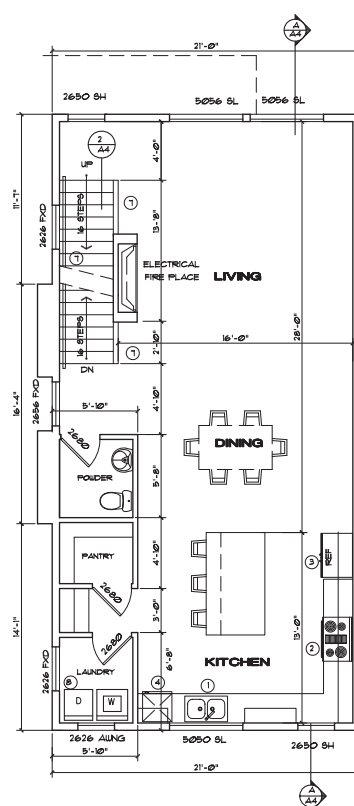
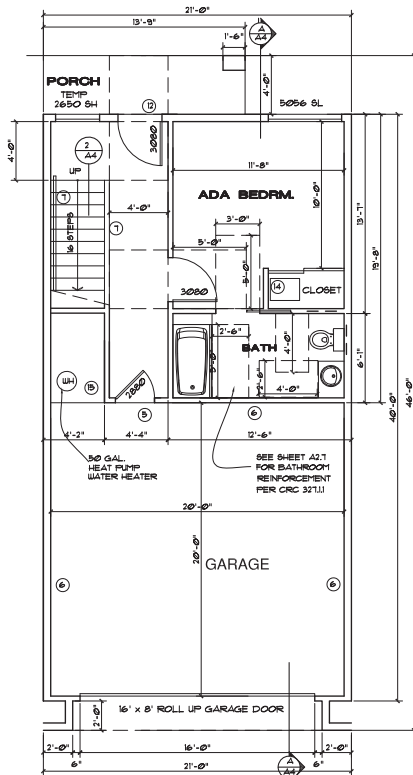


BASSAI  
Architecture  
916.435.0605  
408.674.9077

1540 POMEROY AVE  
UNITS 3 & 5

RESIDENTIAL PROJECT AT:  
1540 POMEROY AVE  
SANTA CLARA, CA

DATE:	12-18-2022
SCALE:	1/4" = 1'-0"
DRAWN:	CB
JOB NO:	
SHEET NO.:	A2.3
OF SHEETS	



# FLOOR PLANS NOTES:

- DOUBLE SINK W/ GARBAGE DISPOSAL
- RANGE OVEN W/ VENT ABOVE
- REFRIGERATOR SPACE - PLUMBS FOR ICE MAKER
- DISH WASHER
- MIN. 1 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS
- PER 302.5 CRC, GARAGE WALL, ADDING THE HOPE SHALL BE 1/2" TAPED SHEETROCK. CONCRETE TO-WALLS, METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 24" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK.
- HANDRAILS TO HAVE 1 1/2" - 2" GRIPPEABLE CROSS SECTION, NO SHARP CORNERS 4" AT HEIGHT OR 34" MIN AND 38" MAX, ABOVE NOSES EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEEL POSTS OR OR RETURN WALLS
- DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 14' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN. DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN. 3' AWAY FROM ANY OPENING INTO THE BUILDING - CFC 504.3.1
- TEMPERED GLASS ENCLOSURE AT SHOWERS, PROVIDE 22" MIN. WIDE DOOR AT SHOWER ENCLOSURE - CFC 416
- TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A HOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. PER 2015 CRC R507.2 AND R1023.8
- SHOWER 4 TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CFC 416.0
- MIN. 36" DEEP EXTERIOR CONC. LANDINGS TO COMPLY W/ CRC 206. ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDINGS
- MIN. 22" X 30" ATTIC ACCESS W/ MIN. 30" HEADROOM ABOVE NO SHELVS BELOW ATTIC ACCESS.
- 18" X 24" UNDER FLOOR ACCESS
- WATER HEATER NOTES:  
80 GALLON HEAT PUMP WATER HEATER - SEE REVISED ENERGY CALCULATIONS

## WALL NOTES:

ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.  
 ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

# GENERAL NOTES:

- FIRE PROTECTION:**  
ALL PLUMBING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALLIC EXTENDING 4 MIN. OF 1" FROM WALL, INCLUDING TRAP (WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET 124 FOR THE REQUIRED VALUES.
- PROVIDE 80 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2007. AND ENERGY MEASURE OF 1/2 IN. NATURAL VENTILATION TO BE 1/2 OF FLOOR AREA, OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN. WIDTH FOR TOILET SPACE - 2015 CRC 402.5
- SINGLE SHOWERHEAD - 18 GPM AT 80 PSI CGESC SECTION 4.309.1.3.1  
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI CGESC SECTION 4.309.1.3.2
- ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH 1901.8 CIVIL CODE SECTION 1901.8 THROUGH 1901.8. KITCHEN FAUCETS SHALL NOT EXCEED 18 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 12 GALS/MIN. TOILETS SHALL NOT EXCEED 128 GALS/FLUSH AND URINALS SHALL NOT EXCEED 5 GALS/FLUSH.
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DRAINAGE SYSTEM. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (PLUMBING) AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINAGE, WHICHEVER IS HIGHER. CFC SEC. 807.3
- PER 2015 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.  
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DUELING UNIT KITCHENS AND LAUNDRY AREAS, SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CEC 210.0
- APPROXIMATE 8/32 OF THE MAIN ELECTRICAL SERVICE PANEL IS 300 AMP
- UNDERFLOOR POST, BILLS ON CONCRETE, AND EXTERIOR DECK 4 STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BASES, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD GALVANIZED, 2" MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END WALLS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD GALVANIZED.
- PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALIFORNIA 4309.4.6.1.5 POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER EXTERIOR STAIR PER CRC 302.1.4 CEC 1001.3. EXCEPTION.

REVISIONS	BY



**BASSAI**  
**Architecture**  
 916.435.0605  
 408.674.9077

**1640 POMEROY AVE**  
**UNIT 6**

**RESIDENTIAL PROJECT AT:**  
**1640 POMEROY AVE**  
**SANTA CLARA, CA**

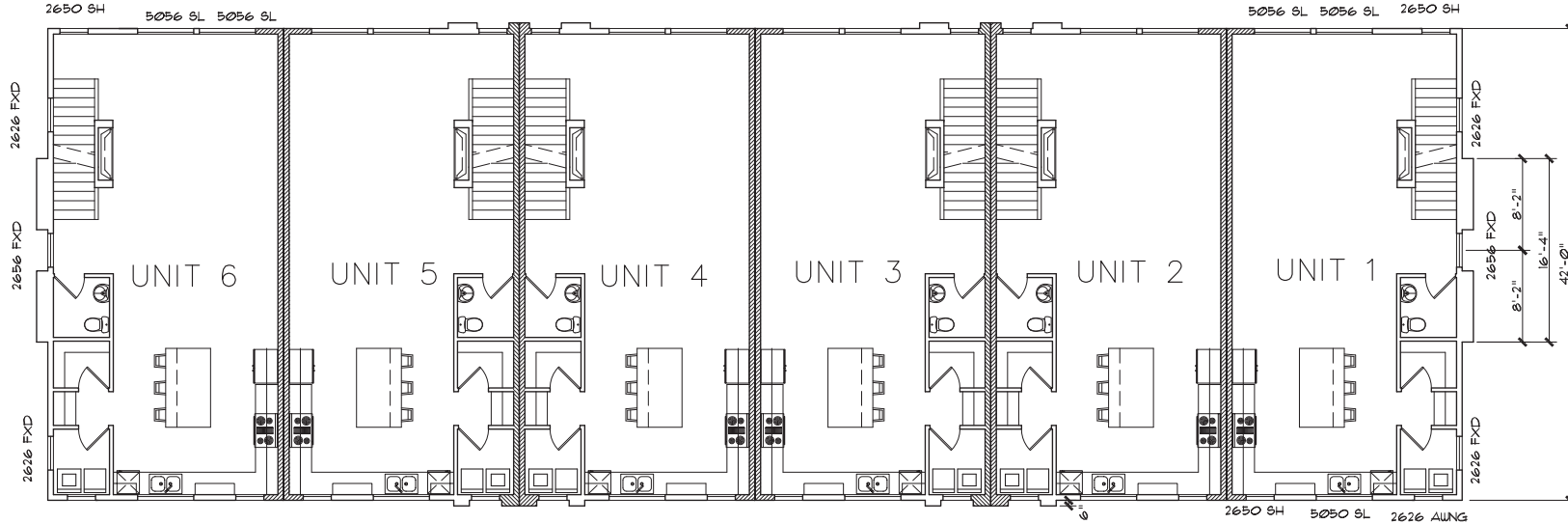
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 JOB NO:  

SHEET NO.  
**A2.4**

OF SHEETS

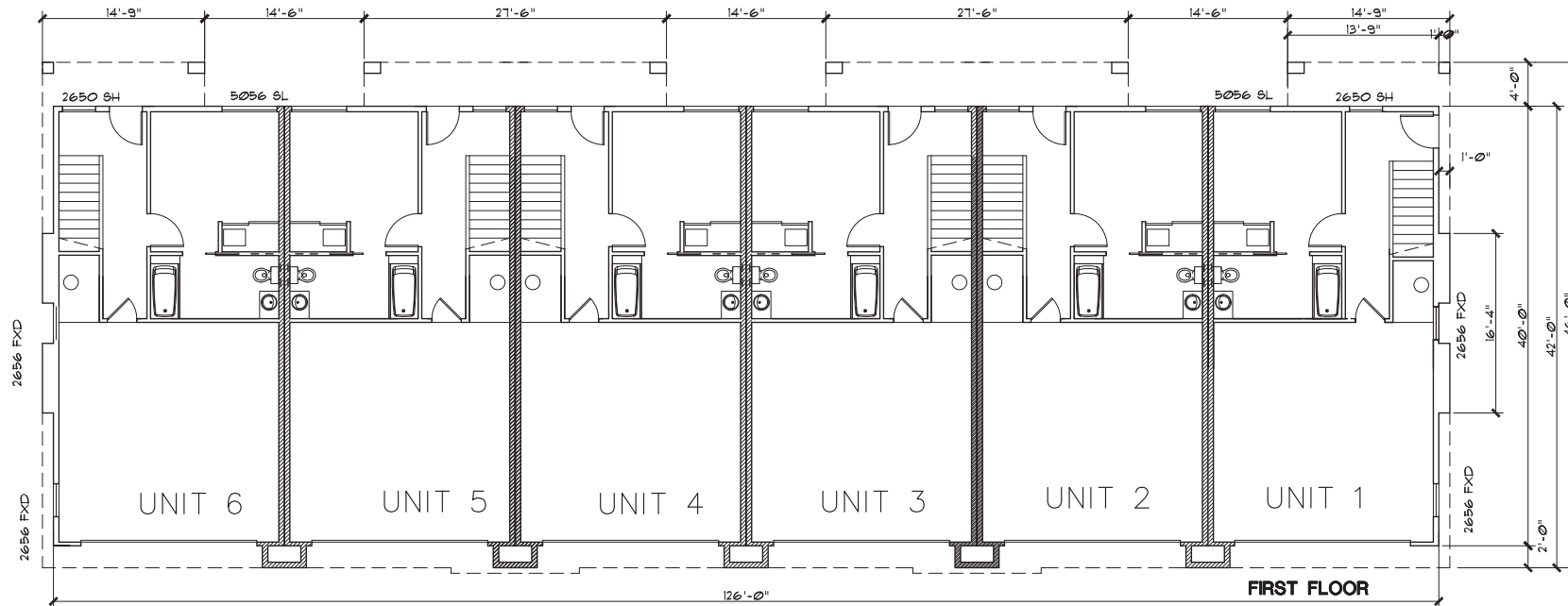
FLOOR PLANS - UNIT 6

1/4" = 1'-0"



INDICATES 1 HOUR FIRE WALL AND EXTERIOR TERMINATION - SEE A4 & A5 FOR DETAILS

SECOND FLOOR



FIRST FLOOR

FLOOR PLANS

3/16" = 1'-0"

REVISIONS	BY



**BASSAI**  
**Architecture**  
916.435.0605  
408.674.9077

1540 POMEROY AVE.  
FLOOR PLANS

RESIDENTIAL PROJECT AT:  
1540 POMEROY AVE.  
SANTA CLARA, CA

DATE: 12-18-2022  
SCALE: 3/16" = 1'-0"  
DRAWN: CB  
JOB NO: 1

SHEET NO.

**A2.5**

OF SHEETS

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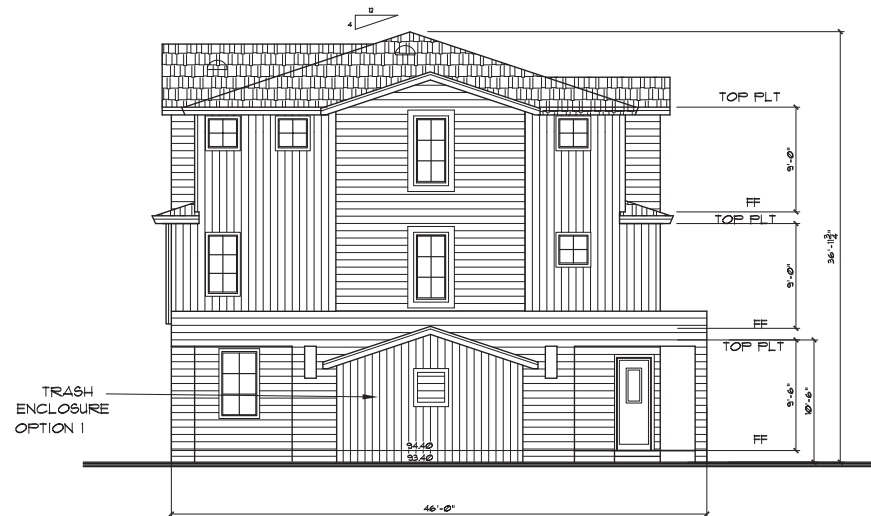






ENTRANCE SIDE ELEVATIONS - NORTH

BUILDING SHALL HAVE ADDRESS NUMBERS  
PLACED IN A POSITION THAT IS PLAINLY  
LEGIBLE AND VISIBLE FROM THE STREET  
OR ROAD FRONTING THE PROPERTY.  
NUMBERS SHALL CONTRAST WITH  
BACKGROUND, BE ARABIC OR  
ALPHABETICAL LETTERS AND BE A  
MINIMUM OF 4" HIGH WITH MINIMUM STROKE  
OF 1/2", PER CRC R319.1.



FRONT ELEVATIONS - EAST - POMEROY VIEW

ELEVATIONS

3/16" = 1'-0"

REVISIONS	BY

**CB**

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916.435.0605  
408.674.9077

1540 POMEROY AVE.  
ELEVATIONS

RESIDENTIAL PROJECT AT:  
1540 POMEROY AVE.  
SANTA CLARA, CA

DATE: 12-18-2022

SCALE: 3/16" = 1'-0"

DRAWN: CB

JOB NO: 1

SHEET NO.

**A3.1**

OF SHEETS

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1540 POMEROY AVE.  
DRIVEWAY ELEVATIONS - SOUTH

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R319.1.



REAR ELEVATIONS - WEST

ELEVATIONS

3/16" = 1'-0"

REVISIONS	BY

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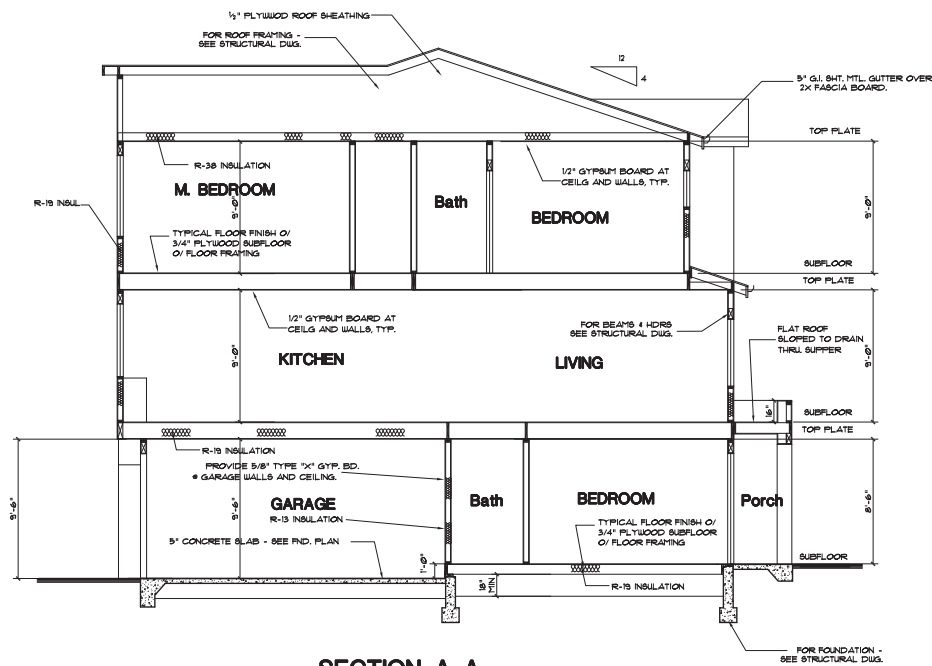
1540 POMEROY AVE  
ELEVATIONS

RESIDENTIAL PROJECT AT:  
1540 POMEROY AVE  
SANTA CLARA, CA

DATE: 12-19-2022  
SCALE: 3/16" = 1'-0"  
DRAWN: CB  
JOB NO: 1

SHEET NO.  
**A3.2**

OF SHEETS



SECTION A-A

REVISIONS	BY



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Architecture  
916.435.0605  
408.674.9077

ROOF PLAN  
SECTION / DETAILS

RESIDENTIAL PROJECT AT:  
1540 POMEROY AVE.  
SANTA CLARA, CA

DATE: 12-19-2022  
SCALE: NOTED  
DRAWN: 1/4"=1'-0"  
JOB NO: -

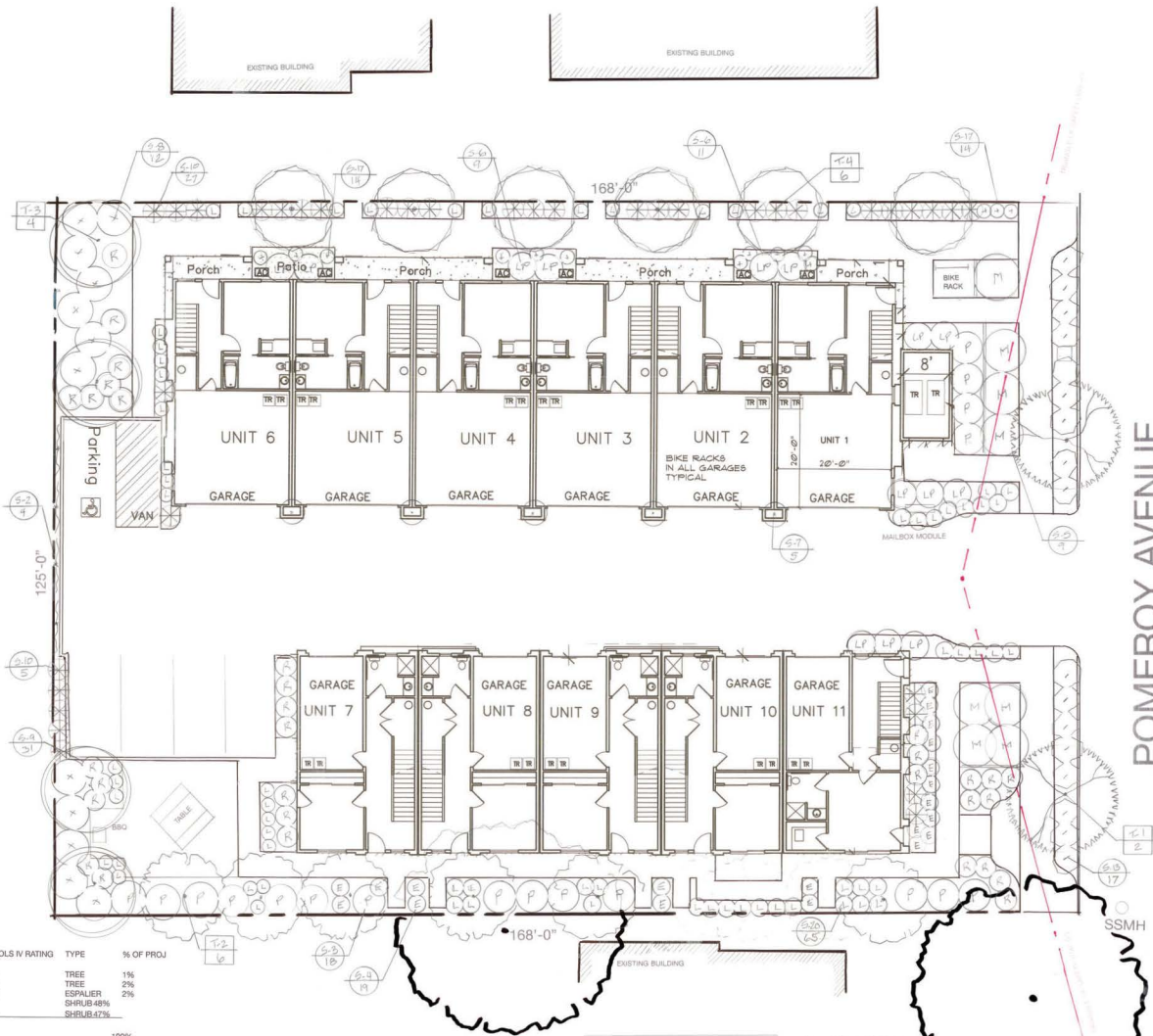
SHEET NO.  
**A4**

OF SHEETS

SECTION

1/4"=1'-0"

1



**PLANT MIX:**

QUAN	SIZE	WUCOLS IV RATING	TYPE	% OF PROJ
2	36" BOX	LOW	TREE	1%
6	24" BOX	LOW	TREE	2%
4	5 GAL	LOW	ESPAULIER	2%
123	5 GAL	LOW	SHRUB-48%	
111	1 GAL	LOW	SHRUB-47%	

256 PLANTS 100%

#### LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.88.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

DESIGNED BY  
JON NELSON

FEBRUARY 21, 2025

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



CANDIDATE ID NUMBER **CALWEP-4087**



**PLAN VIEW**  
Scale: 1" = 10'-0"



#### SHEET INDEX:

- L-1 LANDSCAPE PLAN
- L-2 IRRIGATION PLAN
- L-3 EXISTING TREE CONDITION/ STATUS
- L-4 HARDSCAPE PLAN
- L-5 HARDSCAPE NOTES
- L-6 LANDSCAPE NOTES

#### PLANT PALETTE

KEY	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME	WUCOLS IV RATING	PLANTING NOTES
T-1	2	36" BOX	CHAPPE MYRTLE	LAURUSTROBILIA	LOW	CITY OF SANTA CLARA ST TREE
T-2	BRANCHES TO BE PRUNED UP TO		A MAXIMUM OF 8" OF NEW GROWTH			STANDARD
T-3	4	24" BOX	BOTTLE TREE	BRACHYDONTION	LOW	STANDARD
T-4	6	24" BOX	FLOWERING CHERRY	PRUNUS	LOW	STANDARD
S-1	5	5 GALLON	JUNIPER	JUNIPER	LOW	
S-2	4	5 GALLON	BOUGAINVILLEA	BOUGAINVILLEA	LOW	ESPAULIER
S-3	18	5 GALLON	CAROLINA CHERRY	PRUNUS CAROLINA	LOW	"WHITE & TIGHT"
S-4	19	1 GALLON	MYRTLE	MYRTLE	LOW	FLEABANE
S-5	10	1 GALLON	MYRTLE	MYRTLE	LOW	"WHITE & TIGHT"
S-6	11	5 GALLON	LOREUM	LOREUM	LOW	"MINI JAZZ HANDS"
S-7	12	5 GALLON	XYLOXIA	XYLOXIA	LOW	"COBALT"
S-8	21	5 GALLON	INDIAN HAWTHORNE	RAVENSOLIA	LOW	"GEORGIA PETITE"
S-9	22	5 GALLON	HEAVENLY BARBERS	"NADIA"	LOW	"COBALT"
S-10	17	1 GALLON	MANDARINA	ARCTOSTAPHYLOS	LOW	"EMERALD CARPET"
S-11	14	5 GALLON	RYTHOSPORUM	RYTHOSPORUM	LOW	"ELFIN"
S-12	85	1 GALLON	NOV	LOMANORA	LOW	"ARTIC FROST"

#### PLANTING NOTES:

THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THIS INCLUDES NOTIFICATION OF GUESTS UTILITIES BY USA NORTH 811. ALL WORK TO BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

ALL LANDSCAPED AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL WATER 100% OF PLANTED AREAS WITH A MINIMUM OF RUNOFF TO STREETS AND SIDEWALKS. IRRIGATION WILL BE ADJUSTED TO ELIMINATE OVER AND UNDER COVERAGE ON ALL BUILDINGS, FENCES AND CURBS. THE SYSTEM SHALL BE SET TO WATER LANDSCAPED AREAS DURING THE NIGHT TIME OR AS EARLY IN THE MORNING AS POSSIBLE TO REDUCE WATER LOST TO EVAPORATION (10:00 PM UNTIL 6:00 AM ONLY). IRRIGATION CONTROLLER SHALL ALSO HAVE A RAIN SENSOR INSTALLED TO OVERRIDE THE IRRIGATION SYSTEM.

ALL PLANTING AREAS, TREE/ SHRUB PLANTING HOLES SHALL BE FREE FROM ROCKS AND CONSTRUCTION DEBRIS LARGER THAN 2" IN DIAMETER.

ALL LANDSCAPED AREAS SHALL HAVE NITROFIED REDWOOD SAWDUST ROTOTILLED INTO THE TOP 6" OF SOIL. THE APPLICATION RATE WILL BE 6 CUBIC YARDS OF NITROFIED SAWDUST PER 1,000 SQUARE FEET OF AREA. THIS AMOUNTS TO A 2" LAYER OF TREATED SAWDUST INCORPORATED AS SOIL AMENDMENT INTO THE EXISTING SOIL.

IN ADDITION 40 POUNDS OF GYPSUM SULPHATE SHALL BE APPLIED TO 1,000 SQUARE FEET OF LANDSCAPED AREA, THEN ROTOTILLED INTO THE TOP 6" OF SOIL.

FINISH SOIL GRADE SHALL BE 2" BELOW TOP OF PAVING, SIDEWALKS, AND CURBS. LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDING FOUNDATION AND HARDSCAPE CONTROL SURFACES.

THE PLANT MATERIAL LOCATIONS ARE DIAGRAMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE PLANNER. LAYOUT PLANTS ACCORDING TO THE PLAN SO THAT PLANTS ARE PROPERLY SPACED FOR FUTURE GROWTH MINOR ADJUSTMENTS MAY BE NECESSARY DUE TO VARIATIONS IN SITE CONDITIONS (EXAMPLE: MAILBOXES, UTILITIES, LIGHT FIXTURES, DRAINAGE STRUCTURES).

ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS OF NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.

ALL TREES AND SHRUBS SHALL HAVE AGRIFORM 21 GRAM FERTILIZER TABLETS INSTALLED IN THE BACKFILL AND ROOT ZONE OF PLANTS. TABLET APPLICATION RATE SHALL BE 36" BOX CONTAINER STOCK - 8 TABLETS. ALL 24" BOX CONTAINER STOCK SHALL HAVE 6 TABLETS. 15 GALLON SHALL HAVE 4 TABLETS. 5 GALLON CONTAINER SHALL HAVE 2 TABLETS, AND ALL 1 GALLON STOCK SHALL GET 1 TABLET.

THE PLANT COUNT IS FOR THE CONTRACTORS CONVENIENCE, IN CASE OF DISCREPANCY THE PLAN SHALL GOVERN.

ALL GROUND COVER AND LANDSCAPED BEDS SHALL RECEIVE A 3" DEPTH OF SMALL SIZE RECYCLE BROWN WOOD MULCH. ALL MATERIAL SHALL BE CERTIFIED FROM THE SUPPLIER TO CONTAIN NO CHEMICAL, PAINT, LEAD OR OTHER HAZARDOUS MATERIAL PRIOR TO SHIPPING TO SITE.

ALL TREES TO BE STAKED AS NOTED. ALL TREES SHALL HAVE TOURNEISOL ROOT SOLUTIONS RS-24 PANELS INSTALLED. THIS SHALL CONSIST OF A 10'-0" LONG JOINED SET OF PANELS PARALLEL TO EACH OTHER ON BOTH SIDES OF PLANTED TREE. AVAILABLE FROM TOURNEISOL.COM PHONE (800) 542-2282.

CONTRACTOR SHALL APPLY ONE APPLICATION OF LESCO 8270 PRE-EMERGENT WEED CONTROL TO ALL CONTAINER PLANTED AREAS. THE PRE-EMERGENT WEED CONTROL SHALL BE APPLIED USING THE MANUFACTURERS RECOMMENDED RATE OF APPLICATION. DO NOT APPLY ON WINDY DAYS. BE SURE TO WATER INTO AREA PRIOR TO WOOD MULCH APPLICATION.

CONTRACTOR SHALL PERFORM A 30 DAY DRAINAGE MAINTENANCE PERIOD BEGINNING FROM THE DATE OF FINAL PLANT INSTALLATION, APPLICATION OF WEED CONTROL, AND FINAL PROJECT CLEANUP.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANTING FOR A PERIOD OF 6 MONTHS FROM THE DATE OF FINAL PLANT INSTALLATION, MAINTENANCE AND OWNERS ACCEPTANCE.

**REVISIONS**

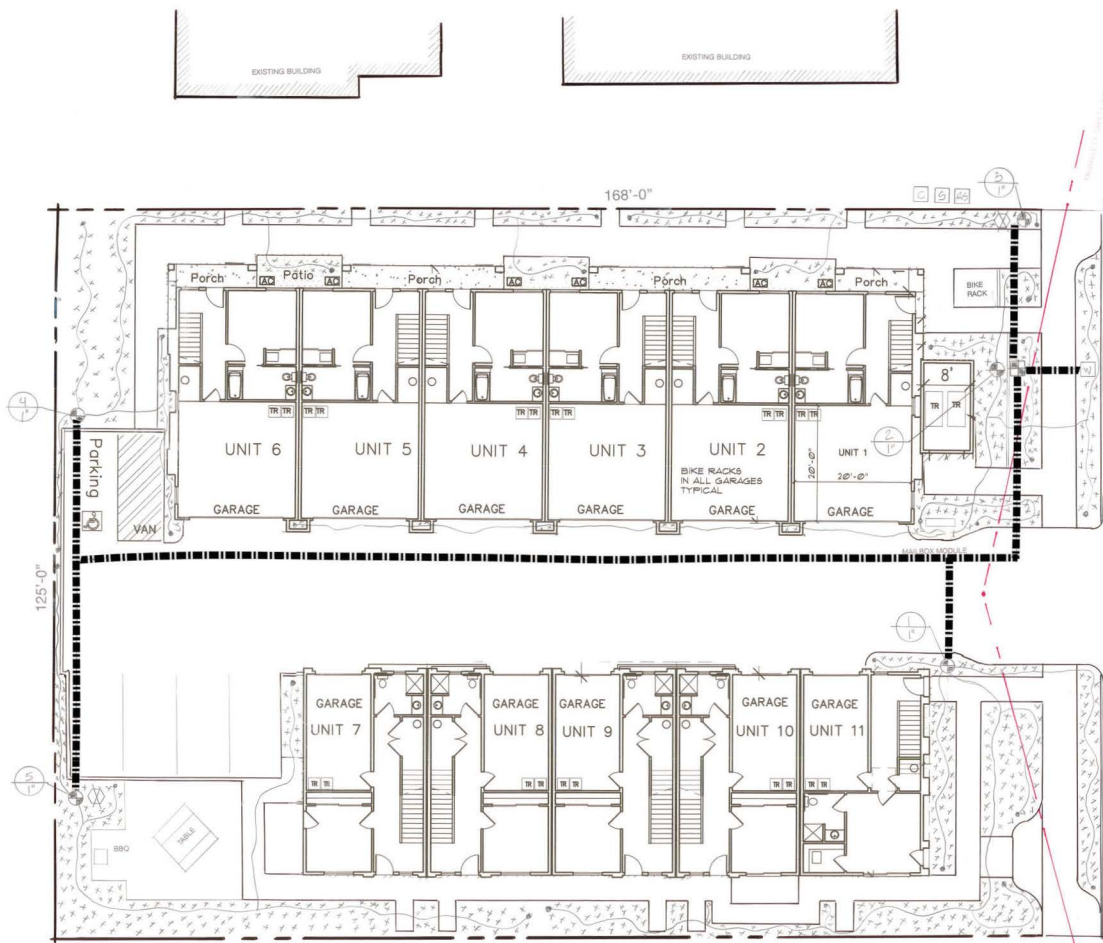

**LANDSCAPE DEVELOPMENT FOR:**

**J.R. NELSON & ASSOCIATES, INC.**  
23585 SUMMIT ROAD  
LOS GATOS, CALIFORNIA 95033  
PHONE (408) 591-0873 EMAIL: CNDELV@AOL.COM

**LANDSCAPE PLAN**

**DRAWN**  
JRN  
**CHECKED**  
JRN  
**DATE**  
2/21/2025  
**SCALE**  
1" = 10'-0"  
**JOB NO.**  
2025-0456  
**SHEET**  
**L-1**  
OF 6 SHEETS





#### VALVE DEMAND:

VALVE #1	1"	5.1 GPM	SUNNY
VALVE #2	1"	5.4 GPM	SUNNY
VALVE #3	1"	5.0 GPM	SUNNY
VALVE #4	1"	5.3 GPM	SUNNY
VALVE #5	1"	4.9 GPM	SUNNY

MIN WATER SUPPLY OF 12 GPM @ 60 PSI/ CFSFC WATER METER

#### LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.08.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

JOHN NELSON

FEBRUARY 21, 2025

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



CANDIDATE ID NUMBER CALWEP-4097



#### PLAN VIEW

Scale: 1" = 10'-0"



POMEROY AVENUE

#### IRRIGATION LIST:

KEY	SIZE	NAME	MODEL	NOTES
	1"	RP BACKFLOW	FEBCO #825Y	INSTALL PER LOCAL CODES
	1"	RAINBIRD VALVE	#XCZ-100-PRB-COM	INSTALL WITH BALL VALVE NOTE: WITH DC LATCHING VALVE ACTIVATOR
	3/4"	RAINBIRD QCV	#3-RC	INSTALL IN A CARSON R-10 VALVE BOX
	1 1/4"	MAIN LINE SCH #40 PVC		BURY TO 24" BELOW FIN GR
	3/4"	DRIP IRRIGATION LINE	FLEX LINE	PLACE ON FG WITH STL STAPLE
	C	AUTOMATIC CLOCK	HUNTER #XCH-600-SSP	PLACE ON FENCE 6 STATION SS SOLAR POWER CABINET CONTROLLER
	S	HUNTER SOLAR KIT	#SPXCH	MOUNT ON FENCE
	RS	HUNTER RAIN SENSOR	RAIN CLK	MOUNT ON FENCE
		HUNTER FLUSH CAP	#SWG0505	PLACE IN ROUND BOX WITH HUNTER #800 FLUSH CAP
		RAINBIRD EMITTER	#SW-30PS "RED" 2.0 GPH	PRESSURE COMPENSATING DRIP EMITTER WITH 1/4" BUG PLUGS 2 EMITTERS ON ALL 1 GALLON 3 EMITTERS ON ALL 5 GALLON 4 EMITTERS ON 24" BOX 6 EMITTERS ON 36" BOX

#### WATER AND LANDSCAPE EFFICIENCY CHECKLIST

##### IRRIGATION POINTS:

- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF THE POINT OF CONNECTION. EXISTING POC IS A 1" SIZE. SYSTEM IS DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM.
- ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
- IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
- SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
- DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
- AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, WITH NON VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUTOFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION. THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL DRIP VALVES HAVE ACCU-SYNC #40 PRESSURE REDUCING VALVES ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
- SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT. THIS PROMOTES HEALTHY PLANT GROWTH, REDUCES OVERALL WATER USE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN UPON COMPLETION TO ASSURE COMPLIANCE.

WHEEL O'Clock - Residential  
1530-1540 POMEROY AVE  
Santa Clara

#### Hydrozones

Zone number 1 Plant factor Low.3 Irrigation type Drip Area in square feet (number only) 4183

Plant	Zone	Factor	Irr. Eff.	ETAF (PF/E)	Area	ETAF x Area	ETWU	Delete
1	3	Drip	0.81	0.37	4183 sq ft	1,548	43,512	
TOTALS					4,183 sq ft		43,512 gal/yr	

MAWA: 64,816 gal/yr  
ETWU: 43,512 gal/yr  
Santa Clara Annual ETo = 43.3 in

#### Project Name and City

Project name 1530-1540 POMEROY AVE

Choose city (for ETo data) Santa Clara

Continue

REVISIONS	BY

L.R. NELSON & ASSOCIATES, INC.  
23585 SUMMIT ROAD  
LOS GATOS, CALIFORNIA 95033  
PHONE (408) 591-0873 EMAIL: CNDEL@AOL.COM



LANDSCAPE DEVELOPMENT FOR:  
1530/ 1540 POMEROY AVE  
SANTA CLARA, CALIFORNIA

DRAWN	JEN
CHECKED	
DATE	2/21/2025
SCALE	1" = 10'-0"
JOB NO.	SANTA CLARA
SHEET	
L-2	
OF	SHEETS

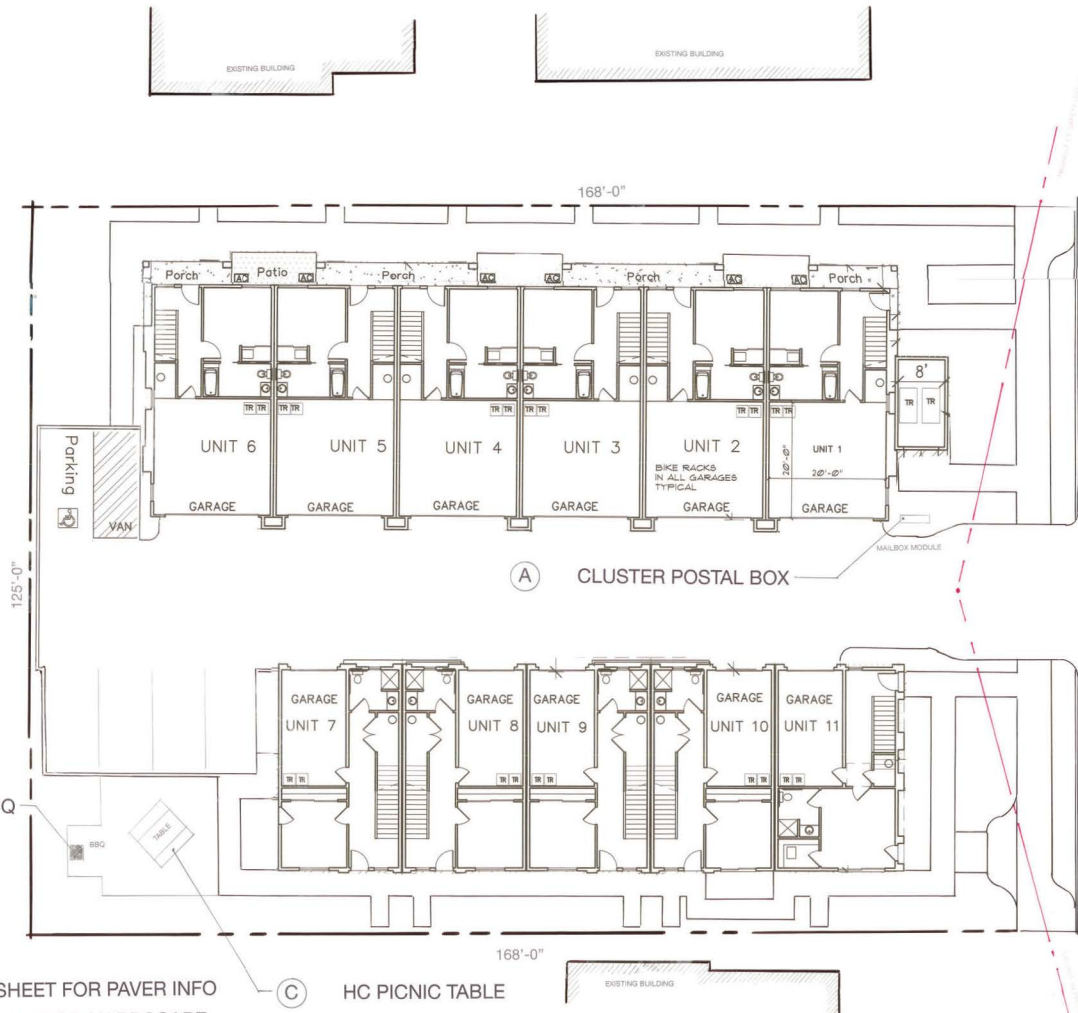
BASED ON SITE PLAN PREPARED BY BASAL ARCHITECTURE DATED 12/2024

THIS DRAWING IS THE PROPERTY OF L.R. NELSON & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF L.R. NELSON & ASSOCIATES, INC.

IRRIGATION PLAN







POMEROY AVENUE



**TABLE 298**  
HOME >> PRODUCTS >> TABLE 298



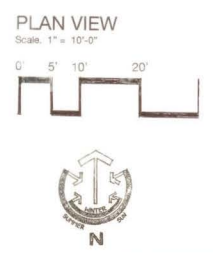
★ SEE CIVIL SHEET FOR PAVER INFO  
SEE SHEET L-5 FOR HARDSCAPE NOTES

LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.88.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



REVISIONS BY

LANDSCAPE DEVELOPMENT FOR:

J.R. NELSON & ASSOCIATES, INC.  
23585 SUMMIT ROAD  
LOS GATOS, CALIFORNIA 95033  
PHONE (408) 591-0873 EMAIL: CNDEVEY@AOL.COM

1530/ 1540 POMEROY AVE  
SANTA CLARA, CALIFORNIA

DRAWN JRN  
CHECKED  
DATE 2/21/2025  
SCALE 1" = 10'-0"  
JOB NO. SANTA CLARA  
SHEET  
**L-4**  
OF SHEETS

TABLE 298



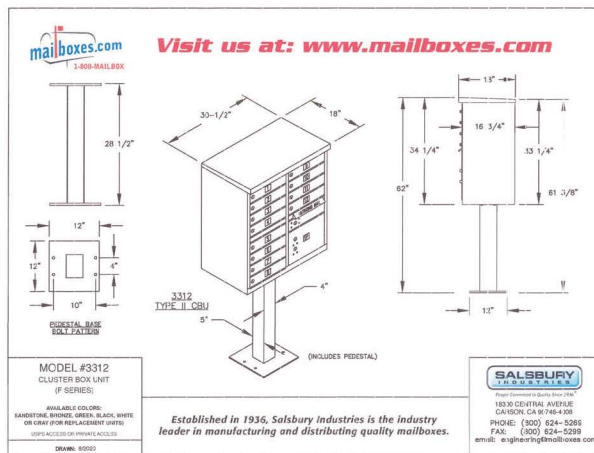
Number	Description	Weight
298-60-1	6' long Picnic Table	489 lbs.
298-60-2	ADA Assembly Picnic Table	493 lbs.
298-60T	6' long Plastic Table	446 lbs.
298-60T-1	ADA Assembly Plastic Table	446 lbs.
298-60TX	6' long Plastic Table	446 lbs.
298-60TX-1	ADA Assembly Plastic Table	446 lbs.
298-60S	6' long Plastic Table	472 lbs.
298-60S-1	ADA Assembly Plastic Table	472 lbs.

\*Available version must still meet other assembly standards



DuMor Inc.  
Millersville, PA 17059-0142  
Phone: 800-591-4018  
DU-MOR.COM

A HC PICNIC TABLE

MODEL #3312  
CLUSTER BOX UNIT  
(F-SERIES)

AVAILABLE COLORS:  
SANDSTONE, BRONZE, GREEN, BLACK, WHITE  
OR GRAY (FOR REPLACEMENT COVERS)  
UPON ACCESS OR PRIVATE ACCESS

DRAWN: 80003

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FAX: (300) 624-5289  
email: [engineering@mailboxes.com](mailto:engineering@mailboxes.com)

B CLUSTER POSTAL BOX



ROSS RECREATION EQUIPMENT CO.

Toll Free: 855-892-3240

Fax: 707-538-3826

Northern California, Western Nevada

VISIT WEBSITE

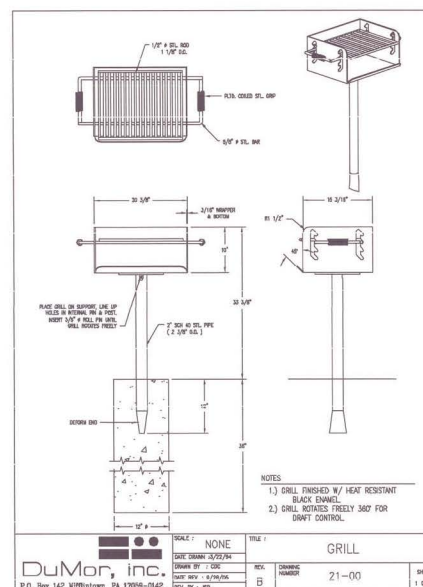
100 Brush Creek Road

Suite 206

Santa Rosa, CA 95404

[info@rossrec.com](mailto:info@rossrec.com)

C BBQ

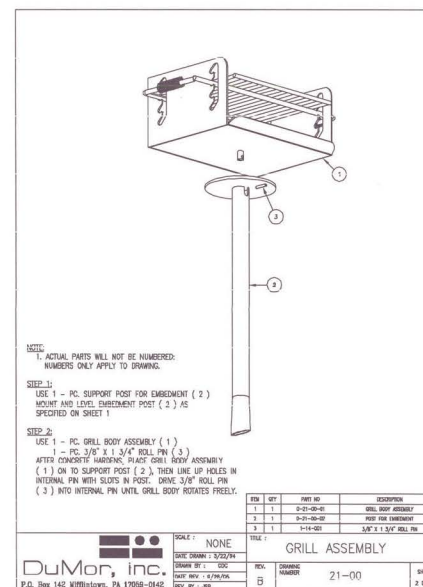


DuMor, Inc.

P.O. Box 142 Millersville, PA 17058-0142

DATE DRAWN: 2/25/24  
DRAWN BY: JMS  
DATE REV: 1/24/24  
REV BY: JMS

REV: A  
DRAWING NUMBER: 21-00  
SHEET: 1 OF 2



DuMor, Inc.

P.O. Box 142 Millersville, PA 17058-0142

DATE DRAWN: 2/25/24  
DRAWN BY: JMS  
DATE REV: 1/24/24  
REV BY: JMS

REV: B  
DRAWING NUMBER: 21-00  
SHEET: 2 OF 2

HARDSCAPE NOTES

LANDSCAPE DEVELOPMENT FOR:  
1530/ 1540 POMEROY AVE  
SANTA CLARA, CA

DRAWN  
JRN  
CHECKED  
DATE  
SCALE  
JOB NO.  
SANTA CLARA  
SHEET

L-5  
OF SHEETS

J.R. NELSON & ASSOCIATES, INC.  
23585 SUMMIT ROAD  
LOS GATOS, CALIFORNIA 95033  
PHONE (408) 591-0873 EMAIL: [CNDEV@AOL.COM](mailto:CNDEV@AOL.COM)



THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.



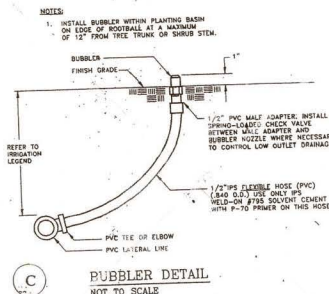
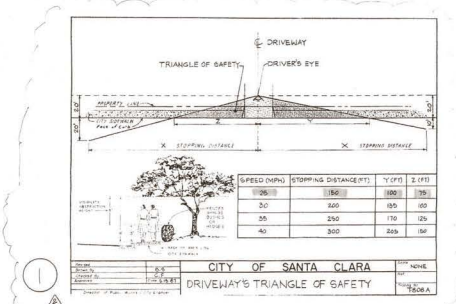
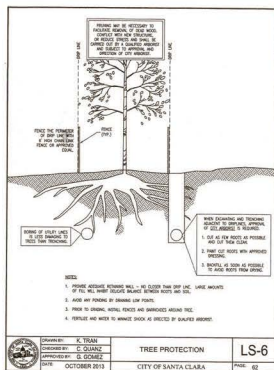
# WATER AND LANDSCAPE EFFICIENCY CHECKLIST

## IRRIGATION POINTS:

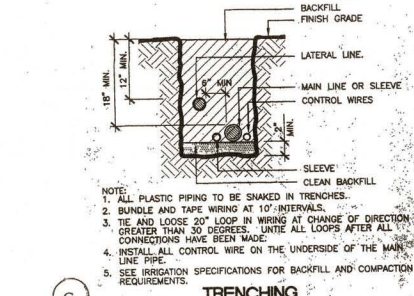
- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF POINT OF CONNECTION. EXISTING POC IS 3/4" AND 1" SIZE, SYSTEM DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM AT WATER METER.
- ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
- IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
- SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
- DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
- AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, DESIGNED WITH NON-VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUT-OFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION, THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL DRIP VALVES HAVE ACCU-SYNC 40 PRESSURE REDUCING VALVES ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS. AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
- SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT. THIS PROMOTES HEALTHY PLANT GROWTH, AND REDUCES OVERALL WATER USE.
- A MASTER VALVE IS INSTALLED BETWEEN THE BACKFLOW PREVENTION VALVE AND THE FIRST AUTOMATIC VALVE (6-4) TO REDUCE WATER LOSS DUE TO MAINLINE PIPE DAMAGE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN TO ASSURE COMPLIANCE.

## PLANTING ITEMS

- PROJECT IS NOT DESIGNED WITH ANY FORM OF NOXIOUS OR INVASIVE TREES, SHRUBS OR GROUNDCOVERS.
- HEAVY AMOUNTS OF WOOD MULCH CHIPS IN LANDSCAPE AREAS, 3" DEPTH IN GENERAL PLANTING BEDS. THIS DEPTH OF MULCH WILL REDUCE WEED GROWTH AND IRRIGATION WATER EVAPORATION AT EMITTER SITE.
- HEAVY USE OF SOIL ADJUDMENTS IN PLANTING AREAS ALLOWS FOR BETTER PLANT GROWTH AND REDUCED AMOUNTS OF IRRIGATION WATER. THE MIX SHOWN ON PLAN IS DOUBLE THE AMOUNT OF ORGANIC MATERIAL REQUIRED BY THE CURRENT STATE STANDARD.
- SOIL ADJUDMENT WILL BE: 6 CUBIC YARDS OF NITROFIED REDWOOD COMPOST PER 1,000 SQUARE FEET OF LANDSCAPED AREA. THIS WILL BE ROTOTILLED INTO THE TOP 6" OF TOPSOIL.
- ALL PLANTING IS DERIVED FROM THE MOST CURRENT WULCOS IV SOFTWARE AND FROM THE LATEST EAST BAY MUNICIPAL UTILITY DISTRICT PLANTING RECOMMENDATIONS TITLED "LOW WATER USE PLANTINGS".
- LANDSCAPE PLANTINGS FEATURE NO LAWN SOD OR ANNUAL FLOWER COLOR, DECORATIVE WATER FEATURES OR VEGETABLE GARDENS.
- ALL FERTILIZER REQUIRED WILL BE ORGANIC, SLOW RELEASE VARIETY. THIS WILL REDUCE THE NITROGEN SPIKE AND SUBSEQUENT INCREASED IRRIGATION TO WATER RAPIDLY GROWING PLANTINGS.
- ALL PLANTINGS USED ARE RELATIVELY LOW WATER USE MATERIAL. PLANT PALETTE WATER RATIO IS 100% LOW WATER USE PLANTINGS NO HIGH USE NURSERY MATERIAL INCLUDED SUCH AS FLOWER/ GARDEN OR WATER FEATURE USE INCORPORATED IN DESIGN OF THIS PROJECT.



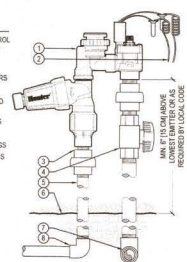
IRRITROL #533 ADJ BUBBLER



TO BE USED IN PRIVATE/ COMMON SPACE LANDSCAPE AREAS ONLY

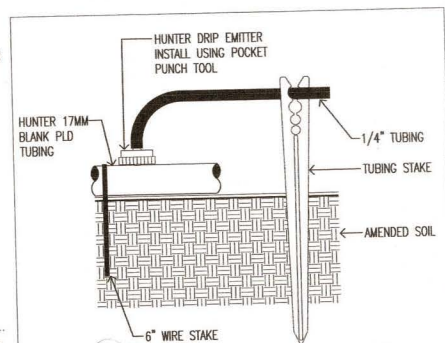
## LEGEND

- HUNTER DRIP ZONE CONTROL KIT (ACV-101) WITH FILTER AND PRESSURE REGULATOR
- 1/8\"/>

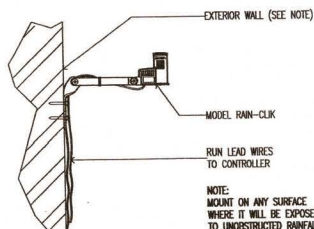


DRIP ZONE CONTROL KIT (ACV-101) WITH UNIONS AND ISOLATION VALVE

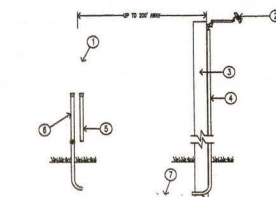
SCALE: 1\"/>



SCALE: N.T.S.



SCALE: 3\"/>



SCALE: 1\"/>

- HUNTER XC HYBRID CONTROLLER
- MODEL: SPK10
- INSTALLABLE POST, POLE OR OUTTER MOUNT, MOUNT IN LOCATION THAT MAXIMIZES DIRECT SUNLIGHT TO A POINT 12\"/>

## LANDSCAPE NOTES

REVISIONS	BY
1/11/24 ADD TRIANGLE OF SAFETY NOTE	
1/11/24 CHANGE SHEET NUMBERING	
ADD TREE PLANTING DETAIL	

L.R. NELSON & ASSOCIATES, INC.  
23585 SUMMIT ROAD  
LOS GATOS, CALIFORNIA  
PHONE (408) 591-0873 EMAIL: CNDEL@AOL.COM



NEW RESIDENTIAL PROJECT AT:  
RESIDENTIAL PROJECT AT:  
1530 / 1540 POMEROY AVE.  
SANTA CLARA, CA

DRAWN JRN
CHECKED
DATE 5/9/2023
SCALE AS NOTED
PROJECT NO. SANTA CLARA
SHEET

L-6





## Agenda Report

**25-452**

**Agenda Date: 5/14/2025**

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

**PUBLIC HEARING:** Action on the Architectural Review (PLN25-00106) for the demolition of an existing single-story residence and the construction of a 2,173 Square Foot First Floor and 1,573 Square Foot Second Floor, Resulting in a 3,746 Square Foot Two-Story Residence Located at 3705 Daniel Way.

**File No.:** PLN25-00106

**Location:** **3705 Daniel Way**, an 8,186 square-foot lot located on the northwestern corner of Hillsdale Avenue and Daniel Way, APN: 316-15-033, R1-6L Single Family

**Applicant:** Robin McCarthy

**Owner(s):** Prakash Mukre and Dweepika Desai Trustee

**Request:** **Architectural Review** for the demolition of an existing single-story residence and the construction a 3,746 square foot two-story residence located at 3705 Daniel Way.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site includes an existing single-family residence, which would be removed to construct the new two-story single-family residence.
- Per the Santa Clara City Code (SCCC) 18.120.020.(D)(7) the request to demolish and construct a requires Architectural Review approval through a Development Review Hearing.
- Architectural Review for the demolition of an existing single-story residence and the construction a five bedroom, four- and one-half bathroom, 3,746 square foot two-story residence with an attached two-car garage.
- The project is consistent with the Santa Clara Single-Family Design Guidelines (2014):
  - The second-floor size is proposed to be 60% of the first-floor size, which is consistent with the guideline that second floor areas should not exceed approximately 66% of the first-floor area.
  - The proposed second floor meets the step back guidelines in that the second-floor areas are set back at least five feet from the front wall of the three to five feet from the side and rear walls of the first floor.
  - The project proposes a prominent front porch bordered by painted columns that enhance the area.
  - The architectural style and design of the proposed addition are true to the architectural form of the existing residence and for the neighborhood.
- The proposed project meets the required findings set forth in SCCC 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

**FINDINGS SUPPORTING STAFF'S RECOMMENDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*

- The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
- The required parking spaces are not located in the required front yard or side yard landscaped areas.
- The proposed project provides areas surfaced with all-weather materials of parking vehicles.

2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*

- The proposed residence would not create traffic congestion or hazards.
- Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes clad in stucco, have horizontal wood-like siding, or are sheathed in board and batten siding. The applicant has proposed a contrasting board and batten siding, some areas a dark iron color, other areas a light white color. The applicant has proposed carriage style garage doors, and a prominent front porch bordered by columns.
- The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
  - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.

**CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

**ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small Structures), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.

**PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on May 01, 2025. As of the writing of this report, planning staff has not received public comments for this application.

**RECOMMENDATION**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction or Conversion of Small Structures") and **Approve** the Architectural Review for the demolition of an existing single-story residence and the construction a 3,746 Square Foot Two-Story Residence, located at 3705 Daniel Way, subject to the findings and conditions of approval.

Prepared by: Daniel Sobczak, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

**ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

## Vicinity Map (Zoning) - 3705 Daniel Way



### Legend

#### Base Layers

##### Site Addresses

Single

##### Streets

-----

##### Air Parcels

Land Parcels

##### Land Parcels

Land Parcels



### Notes:

PLN25-00106

created on 04/09/2025 10:38:01

0 200 400  
ft

NAD\_1983\_2011\_StatePlane\_California\_III\_FIPS\_0403\_Ft\_US  
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



## General Plan Map for 3705 Daniel Way



### Legend

#### Base Layers

##### Site Addresses

Single

##### Streets

Streets

##### Air Parcels

Air Parcels

##### Land Parcels

Land Parcels



### Notes

PLN25-00106

created on 04/09/2025 10:42:52

0 200 400  
ft

NAD\_1983\_2011\_StatePlane\_California\_III\_FIPS\_0403\_Ft\_US

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

**Attachment 2: Project Data/Compliance**

**Project Address: 3705 Daniel Way**  
**Zoning: R1-6L Single Family**

**Project Number: PLN25-00106**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	8,186	8,186	6,000	Y
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	1,760	2,631	--	--
<b>2<sup>nd</sup> Floor:</b>	--	1,573	--	--
<b>Porch/Patio:</b>	363	483	--	--
<b>Total:</b>	2,123	4,687	--	--
<b>Floor Area Ratio:</b>	--	--	--	--
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor:</b>	--	60%	66% max	Y
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	26	38	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	--	20	20	Y
<b>(2<sup>nd</sup> floor):</b>	--	25	25	
<b>Left Side (1<sup>st</sup> floor):</b>	--	5'-1"	5	Y
<b>(2<sup>nd</sup> floor):</b>	--	10'-1"	10	
<b>Right Side, Corner (1<sup>st</sup> floor):</b>	--	21'-6"	10	Y
<b>(2<sup>nd</sup> floor):</b>	--	25'-1"	15	
<b>Rear (1<sup>st</sup> floor):</b>	--	20	20	Y
<b>(2<sup>nd</sup> floor):</b>	--	31'-10"	20	
<b>Height (FT)</b>				
<b>Main building:</b>	--	25	25	Y
<b>Accessory building:</b>	--	--	--	--
<b># of Bedrooms/Bathrooms:</b>	4/2	4/4.5	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street Parking</b>	2 Spaces	2 Spaces	2 Spaces	Y
<b>Common Living Area (SFR)</b>	--	>25%	Min 25%	Y
<b>Open Landscaped Area (Front):</b>	--	>35%	Min 35%	Y

## Conditions of Architectural Review Approval

### PLN25-00106 / 3705 Daniel Way

**Architectural Review for the demolition of an existing single-story residence and the construction a 3,746 square foot two-story residence located at 3705 Daniel Way.**

#### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 14, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

#### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Planting (On-site).** All new development front yard landscaping shall include, at a minimum, one 15-gallon size tree and a permanent irrigation system to be installed by the developer prior to occupancy

#### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.



- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### OPERATIONAL CONDITIONS

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

**KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

#### ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

## SHEET INDEX

ARCHITECTURAL

CS-1 COVER SHEET  
A1-1 DEMOLITION SITE PLAN  
A1-2 PROPOSED SITE PLAN  
A2-1 DEMOLITION FLOOR PLAN  
A2-2 DEMOLITION ROOF PLAN  
A2-3 DEMOLITION ELEVATIONS  
A2-4 BUILDING STORAGE ELEVATIONS  
A3-1 PROPOSED MAIN FLOOR PLAN  
A3-2 PROPOSED UPPER FLOOR PLAN  
A4-1 PROPOSED ROOF PLAN  
A5-1 PROPOSED EXTERIOR ELEVATIONS  
A5-2 PROPOSED EXTERIOR ELEVATIONS  
A6-1 BUILDING SECTIONS  
A6-2 BUILDING SECTIONS

A MINIMUM OF THIRTY-FIVE PERCENT (35%) OF THE STREET SIDE YARD SHALL BE PERMANENTLY MAINTAINED AS LANDSCAPED AREA. (ORD 1680 § 3.11-14.95; ZONING ORD. § 6-8).

## GENERAL NOTES

## ARCHITECTURAL REVIEW

1. ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL, FRAMING AND SUB-CONTRACTORS SHALL SET IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS.
2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
  - CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)
  - CALIFORNIA PLUMBING CODE, 2022 EDITION
  - CALIFORNIA MECHANICAL CODE, 2022 EDITION
  - CALIFORNIA ELECTRICAL CODE, 2022 EDITION
  - CALIFORNIA EXISTING BUILDING CODE, 2022 EDITION
  - CALIFORNIA FIRE CODE, 2022 EDITION
  - INTERNATIONAL EXISTING BUILDING CODE, 2022 EDITION
  - CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
  - CALIFORNIA GREEN BUILDING STANDARDS, [CALGREEN] 2022 EDITION
  - 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24
3. STRUCTURAL ENGINEER SHALL FIELD INSPECT FOUNDATION FOOTINGS AND WALLS PRIOR TO CONCRETE POUR AND ALL SHORING AND DOWNS FOR CONCRETE.
4. ALL TELEPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY REQUIREMENTS.
5. ANY CONFLICT, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. THE WORK SHALL BE LISTED BY THE APPROVED LISTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS

### VICINITY MAP



3705 DANIEL WAY,  
SANTA CLARA, CA 95051

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVAL



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #21  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:  
**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

SUBMITTALS:	
Date	Description
3-07-25	ARCHITECTURAL REVIEW S
4-07-25	 PC RESPONSE

COVER SHEET,  
PROJECT  
INFORMATION

<b>DATE:</b> 3-07-25	<b>SCALE:</b> SEE DRAWINGS
-------------------------	-------------------------------

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF ROBIN MCCARTHEY ARCH STUDIO, INC.  
AND MAY NOT BE DUPLICATED WITHOUT THE  
WRITTEN CONSENT OF ROBIN MCCARTHEY

CS-1

TRACT NO.1631  
LOT 4  
APN: 316-15-031

STRUCTURES TO BE DEMOLISHED	
	SQ. FT.
RESIDENCE	1,380
GARAGE	465
TRELLIS	363

**LEGEND**

TO BE DEMOLISHED

TO REMAIN

ALL DIMENSIONS MUST BE VERIFIED IN FIELD.

**NOTE:**

1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.

2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.

TRACT NO.1752  
LOT 7  
APN: 316-15-034

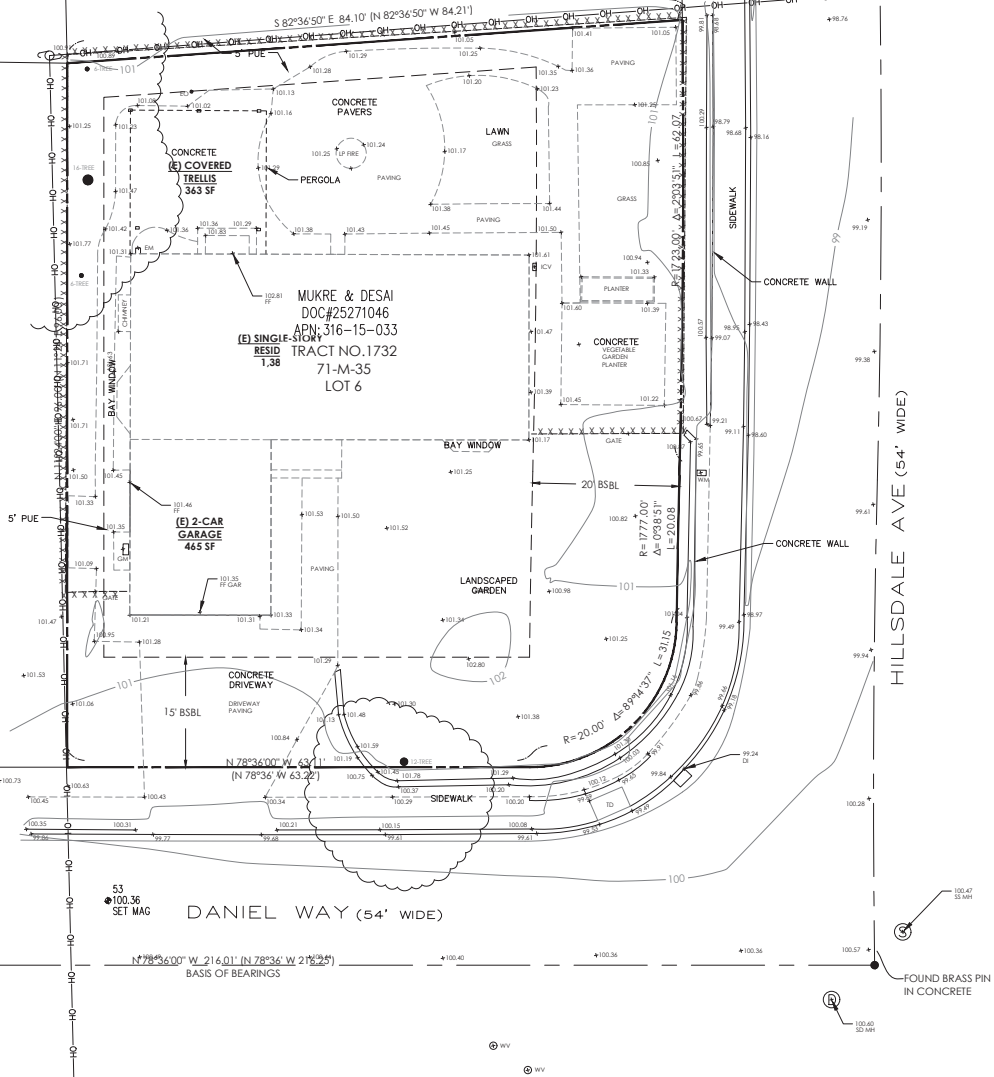
**NOTE:**

1. ALL EXISTING STRUCTURES, PAVING & LANDSCAPE WITHIN THE PROPERTY

2. LINES SHALL BE DEMOLISHED AND REPLACED.

3. ALL WORK IN THE PUBLIC WAY SHALL REQUIRE AN ENCROACHMENT PERMIT.

TRACT NO.1631  
LOT 5  
APN: 316-15-032



# SITE DEMOLITION PLAN

## SITE DEMOLITION GENERAL NOTES:

1. FULL DEMOLITION OF EXISTING HOME AND SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO CONCRETE WALKWAYS, PATIOS, DECKS, SHEDS, AND PLANTERS) SHALL BE COMPLETELY DEMOLISHED AND REMOVED FROM SITE. SEE PLAN FOR EXTENTS.
2. CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF AND SECURE EXISTING GAS LINES TO PROPERTY.
3. CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF EXISTING ELECTRICAL SERVICE TO BUILDING. SET UP NEW TEMPORARY POWER POLE AS REQUIRED TO PROVIDE POWER DURING CONSTRUCTION.
4. CONTRACTOR TO SAFE OFF EXISTING WATER SERVICE AS REQUIRED TO UPGRADE WATER SERVICE TO NEW HOME. PROVIDE TEMPORARY WATER ACCESS AT SITE AS REQUIRED FOR USE DURING CONSTRUCTION.
5. STOCKPILING OF MATERIALS IS NOT ALLOWED ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE PROMPTLY.
6. PER THE MOST CURRENT CALGREEN BUILDING CODE, THE GENERAL CONTRACTOR SHALL SUBMIT A WASTE HANDLING PLAN AND RECYCLING DEBRIS FOR THE FOLLOWING:
  - 1.1. RECYCLE 100% OF ASPHALT AND CONCRETE;
  - 1.2. RECYCLE UNIVERSAL WASTE PROPERLY;
  - 1.3. RECYCLE 65% OF THE REMAINING MATERIALS GENERATED BY THE PROJECT;
  - 1.4. SEPARATE PLANT/TREE DEBRIS FROM OTHER MATERIAL AND COMPOST 100% OF PLANT DEBRIS.
7. ALL MATERIALS SHALL GO IN A CITY APPROVED DEBRIS BOX.
8. IF CONTRACTOR USES SELF-HAUL USING THEIR OWN EQUIPMENT AND VEHICLES, THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL MATERIALS TO AN APPROVED RECYCLING FACILITY.
9. CONTRACTOR SHALL SAVE ALL RECEIPTS FOR SUBMITTAL WITH A FINAL DIVERSION REPORT. FAILURE TO PROVIDE PROPER DOCUMENTATION MAY RESULT IN A \$1000/TON PENALTY FOR EACH TON NOT RECYCLED.
10. CONTRACTOR TO HIRE A CIVIL ENGINEER OR SPECIAL INSPECTION AGENCY AS REQUIRED TO SUPERVISE THE COMPACTION OF THE SITE AREA LOCATED WITHIN THE BUILDABLE AREA OF THE NEW HOME. PROVIDE A COMPACTION REPORT AS REQUIRED.

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:  
**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

## SITE DEMOLITION PLAN

DATE: 3-07-25	SCALE: 1" = 1'-0"
------------------	----------------------

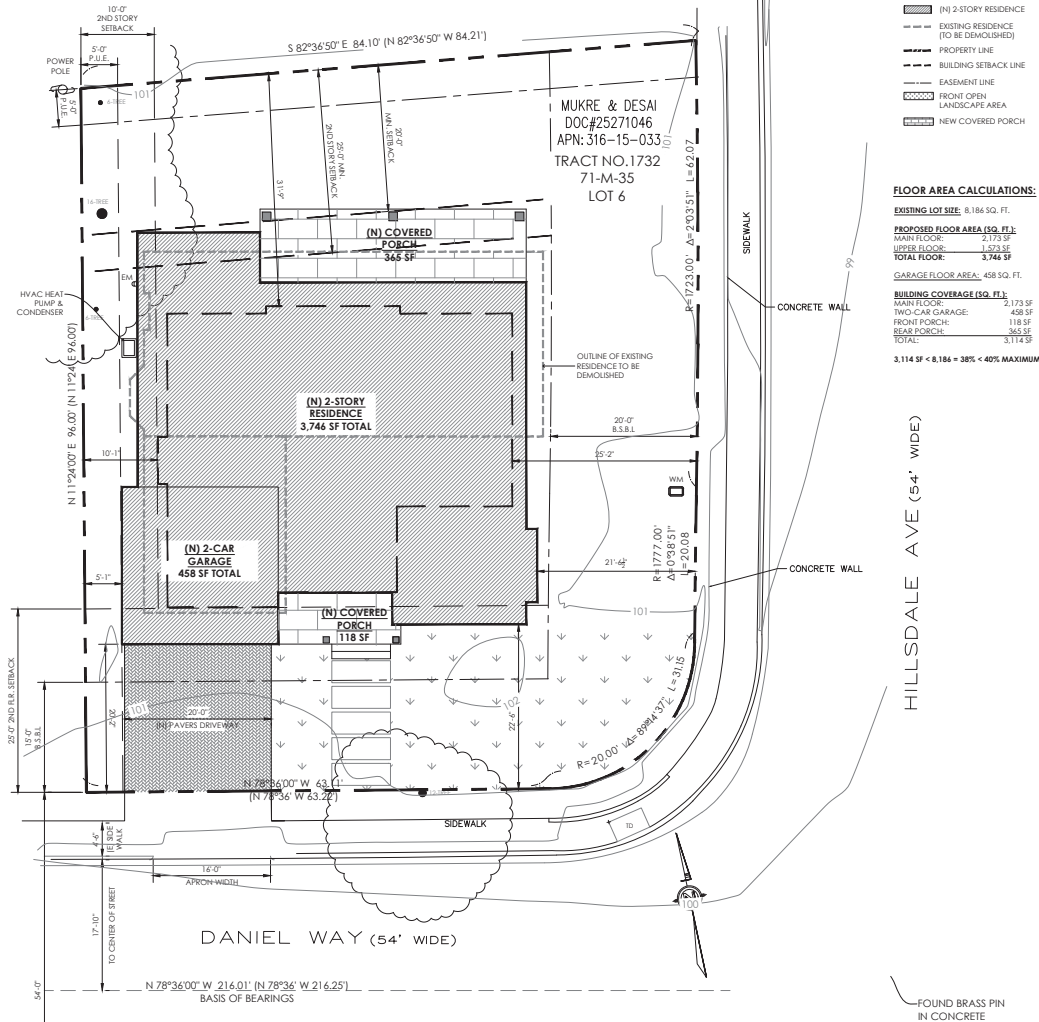
ALL DIMENSIONS AND WRITTEN MATERIAL APPROVED  
BY ROBIN MCCARTHY, AIA, ARCHITECT  
AND ROBIN MCCARTHY, AIA, ENGINEER  
AND ROBIN MCCARTHY, AIA, ENGINEER  
WRITTEN CONSENT OF ROBIN MCCARTHY

A1-1

TRACT NO.1631  
LOT 4  
APN: 316-15-031

TRACT NO.1631  
LOT 5  
APN: 316-15-032

TRACT NO.1752  
LOT 7  
APN: 316-15-034



**LEGEND**

- (N) 2-STORY RESIDENCE
- EXISTING RESIDENCE (TO BE DEMOLISHED)
- PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- FRONT OPEN LANDSCAPE AREA
- NEW COVERED PORCH

**FLOOR AREA CALCULATIONS:**

**EXISTING LOT SIZE:** 8,186 SQ. FT.

**PROPOSED FLOOR AREA (SQ. FT.):**

MAIN FLOOR	2,173 SF
UPPER FLOOR	1,623 SF
TOTAL FLOOR	3,746 SF

**GARAGE FLOOR AREA:** 458 SQ. FT.

**BUILDING COVERAGE (SQ. FT.):**

MAIN FLOOR	2,173 SF
TWO-CAR GARAGE	458 SF
FRONT PORCH	118 SF
REAR PORCH	365 SF
TOTAL	3,114 SF

**3,114 SF ÷ 8,186 = 38% < 40% MAXIMUM**

HILLSDALE AVE (54' WIDE)

## PROPOSED SITE PLAN

### SITE PLAN GENERAL NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-222-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
3. EXCAVATION, FILL, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CBC 1804.4).
6. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
7. LOT GRADING SHALL CONFORM TO A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CBC 1804.4).
8. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPE AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
11. TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
12. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.
13. INTERIM CONTROL MEASURES, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING SHALL BE INCLUDED. INTERIM CONTROL METHOD SHALL INCLUDE, BUT ARE NOT LIMITED TO, SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS.
14. THE BUILDING SHALL HAVE THE ADDRESS AND BUILDING NUMBER IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS REQUIRED. SEE SHEET AS-1 ELEVATION NOTES FOR ADDITIONAL INFORMATION.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY.
16. ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED ONLY DURING THE HOURS OR BEGIN TO 5:00PM MONDAY THROUGH FRIDAY, AND 10:00AM TO 5:00PM ON SATURDAY. NO CONSTRUCTION ACTIVITY OR RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE OF THE FOREMENTIONED HOURS OR ON SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, 4TH OF JULY, LABOR DAY, THANKSGIVING AND CHRISTMAS DAY.

### LANDSCAPE IRRIGATION NOTES:

ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A PERMANENT IRRIGATION SYSTEM FOR ALL USES. IRRIGATION SYSTEMS SHALL BE DESIGNED AND MAINTAINED TO PREVENT WATER WASTE (E.G. RUNOFF OR OVERSPRAY). IRRIGATION CONTROLLERS SHALL BE CAPABLE OF MULTIPLE PROGRAMMING AND INCORPORATE SENSORS TO OVERRIDE THE CALL FOR WATER DURING RAIN OR IF THE SOIL IS STILL MOIST. IRRIGATION CONTROLLERS AND BACKFLOW DEVICES SHALL BE SCREENED FROM PUBLIC VIEW. IRRIGATION SHALL ONLY OCCUR BETWEEN 8 P.M. AND 10 A.M. SEE WATER-EFFICIENT LANDSCAPING CHECKLIST FOR DETAILED REQUIREMENTS.

#### PLANTING, SOIL MANAGEMENT AND WATER FEATURES

1. PLANT SELECTION AND INSTALLATION MUST BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURAL INDUSTRY PRACTICES. SEE LANDSCAPING RESOURCES HANDOUT. PROJECTS MAY BE REQUIRED TO PLANT A MINIMUM NUMBER AND SIZE OF TREES, SHRUBS, ETC.
2. PLANTS WITH SIMILAR WATER NEEDS MUST BE GROUPED IN THE SAME AREA ("HYDROZONE").
3. TALL FESCUE OR SIMILAR TURF REQUIRING LESS WATER MUST BE USED FOR TURF TURF MUST NOT BE PLANTED ON SLOPES GREATER THAN 10%.
4. A MINIMUM 2-IN. LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL.
5. SOIL AMENDMENTS (I.E. USE OF COMPOST) AND STRUCTURED SOIL SHALL BE INCORPORATED BASED ON WHAT IS APPROPRIATE FOR SELECTED PLANTS.
6. WATER FEATURES (I.E. FOUNTAINS) MUST HAVE A RECIRCULATING WATER SYSTEM AND USE RECYCLED WATER IF AVAILABLE. COVERS ARE STRONGLY RECOMMENDED FOR POOLS AND SPAS.

#### SITE DRAINAGE

1. SITE DRAINAGE SHALL NOT BE DIRECTED ACROSS ANY PROPERTY LINES.

#### PLANT MATERIAL:

1. PLANT MATERIAL SHALL HAVE A VARIETY OF SHRUBS, VINES, GROUND COVERS AND SHALL BE SIZED AND SPACED TO ACHIEVE IMMEDIATE EFFECT.
2. TURF SHALL BE TALL FESCUE OR SIMILAR TURF REQUIRED, LESS WATER.

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ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERRIDIAN AVE., #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

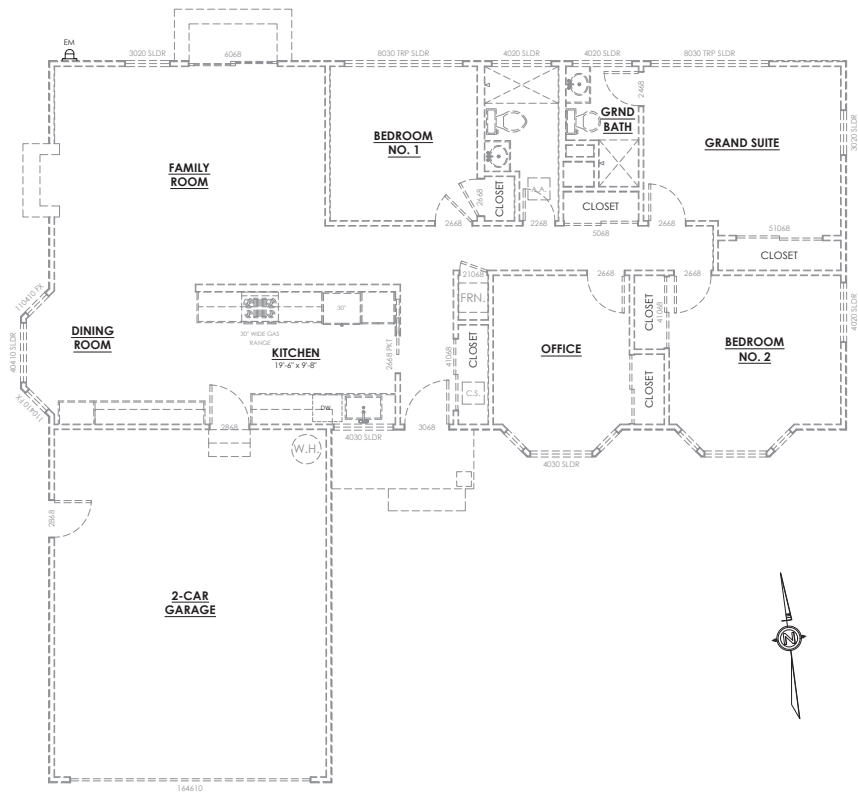
MUKRE-DESAI  
RESIDENCE  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

### SITE PLAN

DATE: 3/07/25 SCALE: 1" = 10'

3/07-25 ARCHITECTURAL REVIEW SET  
4/07-25 PC RESPONSE

A1-2



**LEGEND**

TO BE DEMOLISHED

TO REMAIN

ALL DIMENSIONS MUST BE VERIFIED IN FIELD.

ARCHITECTURAL REVIEW SET

GENERAL DEMOLITION NOTES:

1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER, ALLIED WASTE SERVICES.
2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND RECYCLING FROM THE PREMISES, USING THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
3. SEE CALGREEN RESIDENTIAL CHECKLIST AND NOTES, SHEET GN, FOR ADDITIONAL INFORMATION IN THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
4. PROVIDE PROPER SHORING & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
5. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES, AND TREE PROTECTION MEASURES AND PLAN.
6. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
7. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY.

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ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

DEMOLITION  
FLOOR PLAN

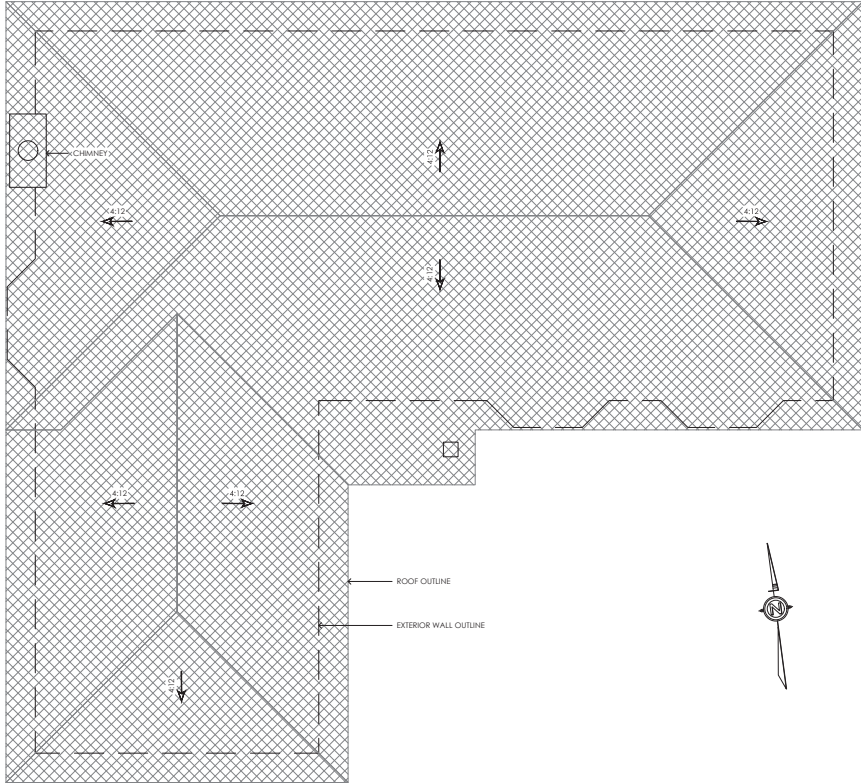
DATE: 3-07-25 SCALE: 1/4" = 1'-0"

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A2-1

DEMOLITION FLOOR PLAN





**LEGEND**

EXISTING ROOF PLANE  
REMOVED OR MODIFIED ROOF PLANE

**NOTE:**  
1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.  
2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.

# ARCHITECTURAL REVIEW SET

## DEMOLITION ROOF PLAN

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ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 WEDDMAN AVE., #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:  
**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

### DEMOLITION ROOF PLAN

DATE: 3-07-25 SCALE: 1/8" = 1'-0"

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A2-2

**NOTE:**  
1. ALL DIMENSIONS SHOWN ARE EXISTING, AND SHOULD BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO STARTING CONSTRUCTION.  
2. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER IMMEDIATELY.



## DEMOLITION ELEVATIONS

ARCHITECTURAL REVIEW SET

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ARCHITECT #C29767  
1155 MERIDIAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

SUBMITTALS	
Date	Description
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	 PC RESPONSE

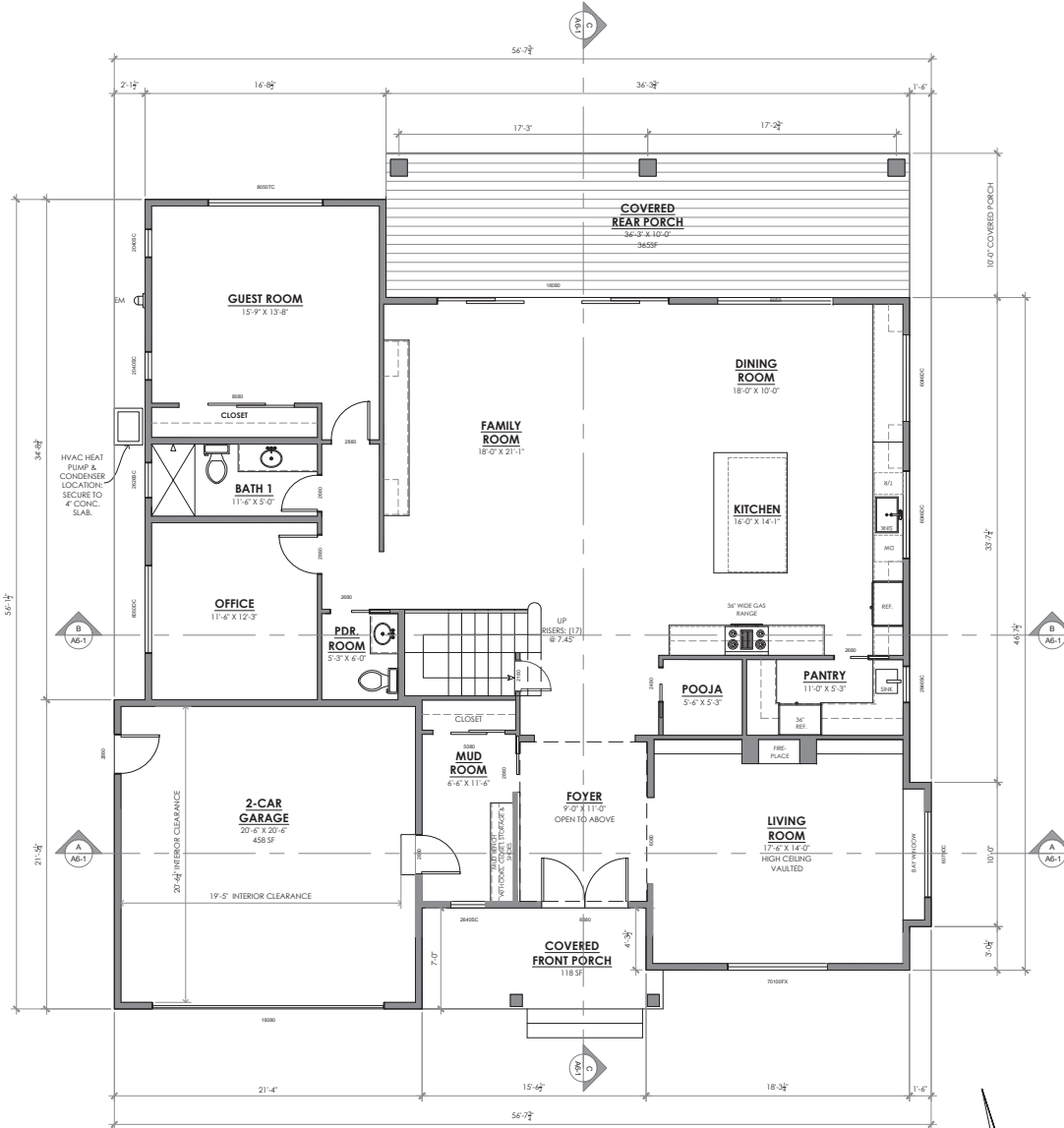
**DEMOLITION  
ELEVATIONS**

DATE: 3-07-25

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**A2-3**





PROPOSED MAIN FLOOR PLAN

ARCHITECTURAL REVIEW SET

FLOOR PLAN NOTES:

1. SEE GENERAL NOTES ON SHEET GN-1 FOR SPECIFIC CODE INFORMATION RELATED TO THE FLOOR PLAN PROJECT CONSTRUCTION.
2. SEE GB-1 & GB-2 FOR GREEN BUILDING STANDARDS TO BE IMPLEMENTED INTO THE PROJECT CONSTRUCTION.
3. SEE SHEET A3-4 FOR WINDOW & DOOR SCHEDULES, NOTES AND INFORMATION TO BE IMPLEMENTED INTO THE PROJECT CONSTRUCTION.
4. SEE STRUCTURAL DRAWINGS FOR FOUNDATION & FRAMING PLANS, NOTES, DETAILS, AND INFORMATION TO BE IMPLEMENTED INTO THE PROJECT CONSTRUCTION.
5. SEE 124-1 & 124-2 & COVER SHEET FOR ENERGY COMPLIANCE INFORMATION TO BE IMPLEMENTED INTO THE PROJECT CONSTRUCTION.
6. FIREBLOCKING NOTES:
  - FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:
    - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
      1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
      2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
    - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RAIL, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
    - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
  - FIREBLOCKING MATERIALS SHALL COMPLY WITH R302.11.1.

AGING IN PLACE DESIGN AND FALL PROTECTION (2022 CRC R327):

1. INTERIOR DOORS:
  - AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 30 INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION; OR, IN THE CASE OF A TWO-OR THREE-STORY SINGLE FAMILY DWELLING, ON THE SECOND OR THIRD FLOOR OF THE DWELLING IF A BATHROOM OR BEDROOM IS NOT LOCATED ON THE ENTRY LEVEL, PER 2022 CRC R327.1.1.
2. DOORBELL BUTTONS:
  - DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY, WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL, PER 2022 CRC R327.1.4.
3. ELECTRICAL RECEPTACLE OUTLET, SWITCH, AND CONTROL HEIGHTS:
  - ALL ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS TO BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES ABOVE THE FINISH FLOOR, PER 2022 CRC R327.1.2.
4. REINFORCEMENT FOR GRAB BARS:
  - AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION, WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.
    - A. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
    - B. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 1/4 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
    - C. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE REINFORCE OR ONE SIDE WALL AND THE BACK WALL.
    - D. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
    - E. BATHUB AND COMBINATION BATHUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHUB RIM.



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE, #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

MUKRE-DESAI  
RESIDENCE  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

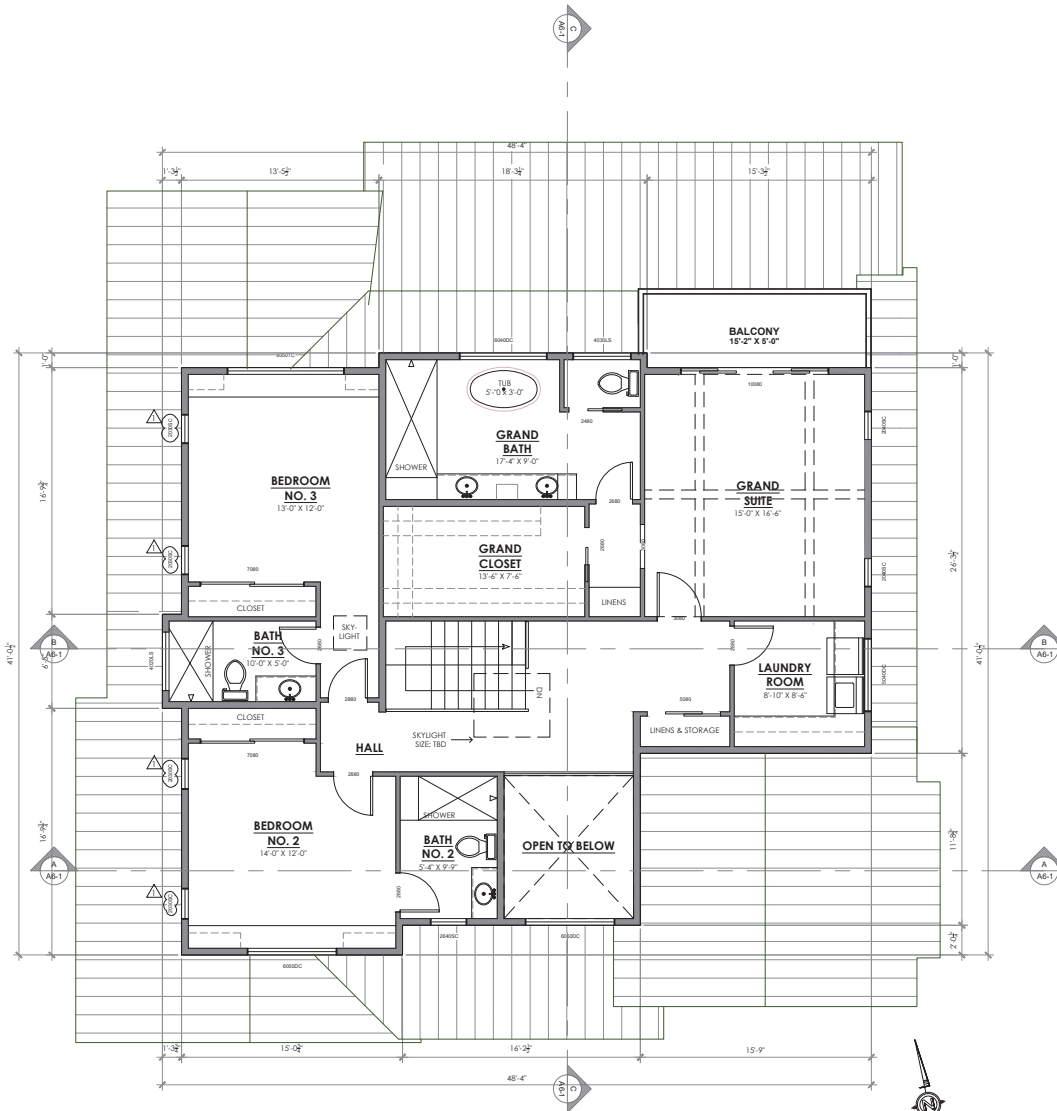
DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

PROPOSED MAIN FLOOR PLAN

DATE: 3-07-25 SCALE: 1/8" = 1'-0"

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A3-1



PROPOSED UPPER FLOOR PLAN

ARCHITECTURAL REVIEW SET

FLOOR PLAN NOTES:

1. SEE GENERAL NOTES ON SHEET **GN-1** FOR SPECIFIC CODE INFORMATION RELATED TO THIS FLOOR PLAN.

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STUDIO

ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERRIMAN AVE. #210  
SAN JOSE, CA 95125

NO. C29767  
9-30-25

NEW 2-STORY CONSTRUCTION FOR:  
**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

PROPOSED  
UPPER FLOOR  
PLAN

DATE:  
3-07-25

SCALE:  
1/8" = 1'-0"

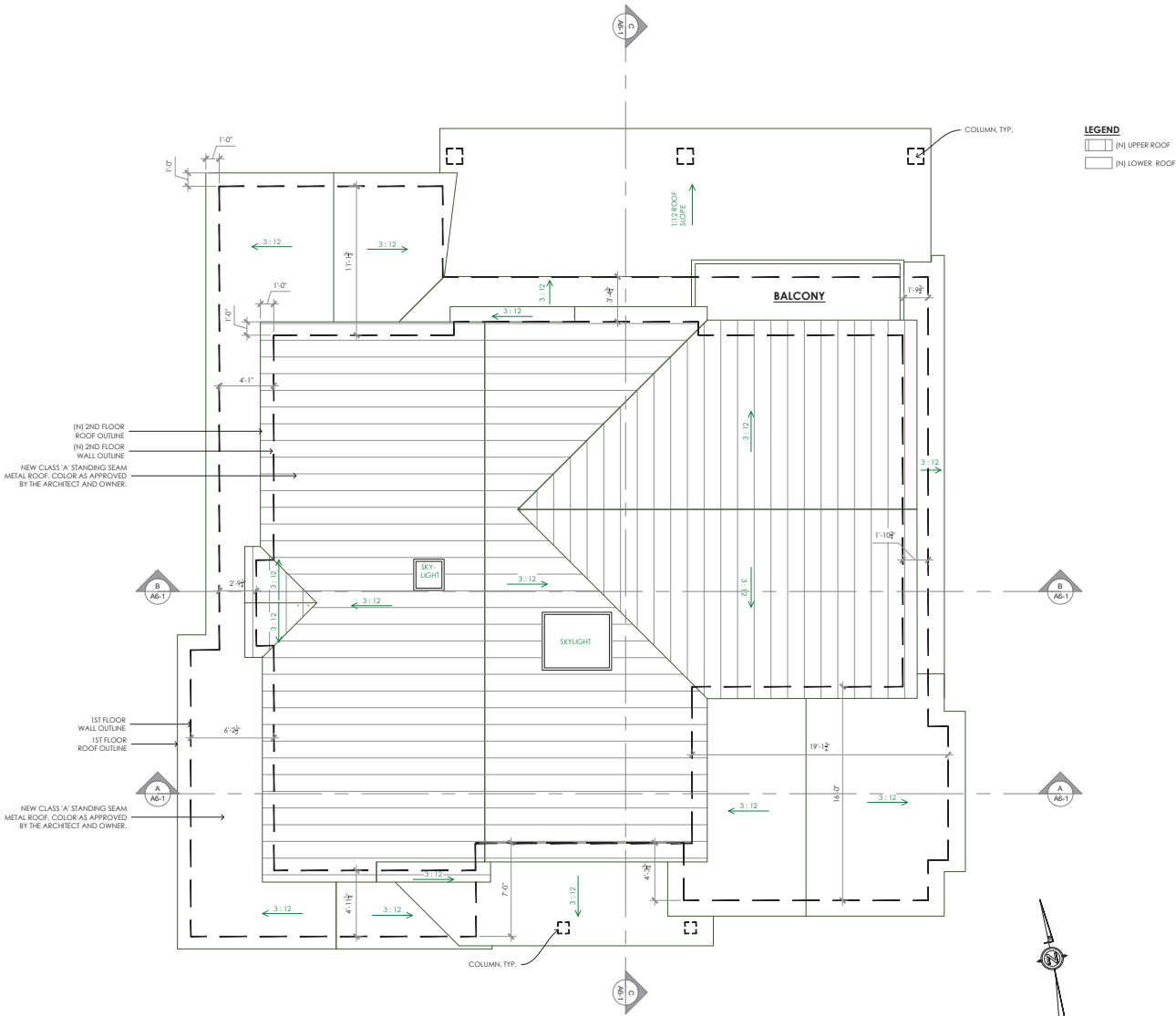
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A3-2

ARCHITECTURAL REVIEW SET

ROOF PLAN GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD. **SEE ROOF DETAILS ON SHEET A4-2 FOR ADDITIONAL INFORMATION.**
3. ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION **CRC 905.1 ROOF COVERING APPLICATION** AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. PROVIDE NEW COMPOSITION SHINGLE 'CLASS A' ROOF COVERING. **SHEFFIELD METALS OR SIMILAR, STANDING SEAM METAL ROOF, COLOR IS MATTE BLACK.**
5. INSTALL 2 LAYERS OF WATERPROOF UNDERLAYMENT [**CRC 905.1.1**] AND IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS. UNDERLAYMENT MATERIALS AFTER REQUIRED TO COMPLY WITH ASTM D226, D1970, D6867 AND D6757 AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1(1). UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH **TABLE R905.1.1(2)**. UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH **TABLE R905.1.1(3)**.
6. CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
7. PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS, RWL) SHALL MATCH BODY COLOR.
8. PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF TRUSSING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
9. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150 SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.
- VENTILATION REQUIREMENTS FOR ROOF:**
- A. SEE ROOF VENTILATION CALCULATIONS ON ROOF PLAN.
- B. PROVIDE LOW EAVE AND RIDGE LINE VENTILATION.
1. PROVIDE 22X 30" MINIMUM OPENING FOR ATTIC ACCESS OR AS LARGE AS THE LARGEST COMPONENT OF APPLIANCE LOCATED IN ATTIC.
2. PROVIDE DIMENSIONS FOR ALL ROOF OVERHANGS AS INDICATED ON THE PLANS AND DETAILS.
3. SEE STRUCTURAL DRAWINGS AND ARCHITECTURAL DETAILS FOR ADDITIONAL LAYOUT INFORMATION. COORDINATE STRUCTURAL SYSTEM WITH ARCHITECTURAL DRAWINGS. IF THERE ANY DISCREPANCIES, PLEASE REPORT TO THE ARCHITECT AS NECESSARY.



PROPOSED ROOF PLAN

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ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:  
**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

PROPOSED  
ROOF PLAN

DATE: 3-07-25	SCALE: 1" = 1'-0"
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PROFESSIONAL ARCHITECT, AND HIS FIRM, THE  
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A4-1



## SOUTH ELEVATION

VIEW FROM DANIEL WAY

1/4" = 1'-0"

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	COMMENTS
1	BOARD AND BATTEN SIDING	JAMES HARDIE OR SIMILAR	PAINTE-GRADE	COLOR: BENJAMIN MOORE, WHITE DOVE
2	BOARD AND BATTEN SIDING	JAMES HARDIE OR SIMILAR	PAINTE-GRADE	COLOR: SHERWIN WILLIAMS, IRON ORE
3	STANDING SEAM METAL ROOF	SHEFFIELD MATERIALS INTERNATIONAL		COLOR: MATTE BLACK
4	EXTERIOR FASCIA	JAMES HARDIE OR SIMILAR	PAINTE-GRADE	SIZE: 1X8, COLOR: BM WHITE DOVE
5	SHADOW TRIM	JAMES HARDIE OR SIMILAR	PAINTE-GRADE	COLOR: SHERWIN WILLIAMS, IRON ORE
6	WINDOWS	ANDERSEN WINDOWS	FARMHOUSE STYLE GRIDS	SASH COLOR: BLACK
7	WINDOW & DOOR TRIM	JAMES HARDIE OR SIMILAR	PAINTE-GRADE	COORDINATE COLOR WITH BODY COLOR
8	FRONT DOOR	SIMPSON DOOR CO.	PAINTE-GRADE FINISH	COLOR: SHERWIN WILLIAMS IRON ORE
9	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	PAINTE-GRADE, COLOR: SHERWIN WILLIAMS, IRON ORE
10	EXT. LIGHT FIXTURE	TBD	CONTEMPORARY STYLE SCOWCE	FINISH: BLACK

NOTE:  
1. ALL MATERIALS LISTED ABOVE SHALL BE AS SPECIFIED OR SIMILAR AND APPROVED BY ARCHITECT



## WEST ELEVATION

VIEW FROM INTERIOR SIDE

1/4" = 1'-0"

# PROPOSED EXTERIOR ELEVATIONS

### EXTERIOR ELEVATION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.

**3. EXTERIOR WALL COVERING:** (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).

#### GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT OF THE FOLLOWING:

- A. VERTICAL BOARD AND BATTEN SIDING, FOR PAINT COLOR LOCATIONS, SEE EXTERIOR MATERIAL SCHEDULE AND COLORED ELEVATIONS.

#### 4. TRIMS, EXTERIOR DOORS, SHUTTERS, CORBELS AND OTHER MISC. ACCENTS:

ALL MATERIALS TO THE EXTENT POSSIBLE SHALL BE CEMENT BD. OR SIMILAR WITH PAINTED COLOR FINISH. SHALL BE SELECTED BY OWNER AND ARCHITECT.

**5. EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:** PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; SHALL BE SEALED WITH A SATIN TRANSPARENT FINISH; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT. GARAGE DOOR BY "OVERHEAD DOOR CO." OR SIMILAR.

**6. PATIO DOORS & WINDOWS:** BY ANDERSON WINDOW CO. OR SIMILAR. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.

**7. PROVIDE VAPOR BARRIER:** (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

**8. BUILDING ADDRESS:** BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (JCRC R319.11).

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ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE., #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

**MURKE-DESAI  
RESIDENCE**  
3705 DANIEL WAY,  
SANTA CLARA, CA 95051

SUBMITTALS:	
DATE	DESCRIPTION
3-07-25	ARCHITECTURAL REVIEW
4-07-25	PC RESPONSE

### PROPOSED EXTERIOR ELEVATIONS

DATE: 03/03/25 SCALE: 1/4 IN. = 1 FT.

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A5-1



## NORTH ELEVATION

VIEW FROM REAR YARD

1/4" = 1'-0"

EXTERIOR MATERIALS				
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	COMMENTS
1	BATEN TPN BTTRH-P 50-01	JT7-S HTENG AE SQ QTE	GTØRI ETN+	CALAE: B+PJ7 Ø 7 AAE+ WHØ+ NAV+
2	BATEN TPN BTTRH-P 50-01	JT7-S HTENG AE SQ QTE	GTØRI ETN+	CALAE: SH-EWØ WØLØ7 S, ØAP AE+
3	SRTPNØ, S+T7 7-RØL EAAF	SH+FFØLN7 TR-EØLS ØRØ-EPTRØPTL		CALAE: 7 TRØ BLØK
4	+XR-EØAE FTSCØ	JT7-S HTENG AE SQ QTE	GTØRI ETN+	SØ+ 3XØ CALAE: B7 WHØ+ NAV+
5	SHTNØW REQ	JT7-S HTENG AE SQ QTE	GTØRI ETN+	CALAE: SH-EWØ WØLØ7 S, ØAP AE+
6	WØNØWS	TPN+ES-P WØNØWS	FTE7 ØAUS+ SØYL+ I ØØS	STØH CALAE: BLØK
7	WØNØW & NØAE REQ	JT7-S HTENG AE SQ QTE	GTØRI ETN+	CØAENØTR+ CALAE WØN BØNY CALAE
8	FEØPRNØAE	SØ ØSØP NØAE CØ	GTØRI ETN+ FØØØH	CALAE: SH-EWØ WØLØ7 S, ØAP AE+
9	I TETI+ NØAE	RØN	CTEØØI+ SØYL+ I TETI+ NØAE	GTØRI ETN+ CALAE: SH-EWØ WØLØ7 S, ØAP AE+
10	+XR LØ ØR FØØØUE+	RØN	CØPR+ ØAETØY SØYL+ ØØØØØ	FØØØH BLØK

NOTE:  
1. ALL MATERIALS LISTED ABOVE SHALL BE AS SPECIFIED OR SIMILAR AND APPROVED BY ARCHITECT



## EAST ELEVATION

VIEW FROM HILLSDALE AVENUE

1/4" = 1'-0"

# PROPOSED EXTERIOR ELEVATIONS

### EXTERIOR ELEVATION NOTES:

1. SEE SHEET A5-1 FOR NOTES.

ARCHITECTURAL REVIEW SET

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE., #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:  
**MURKE-DESAI  
RESIDENCE**  
3705 DANIEL WAY,  
SANTA CLARA, CA 95051

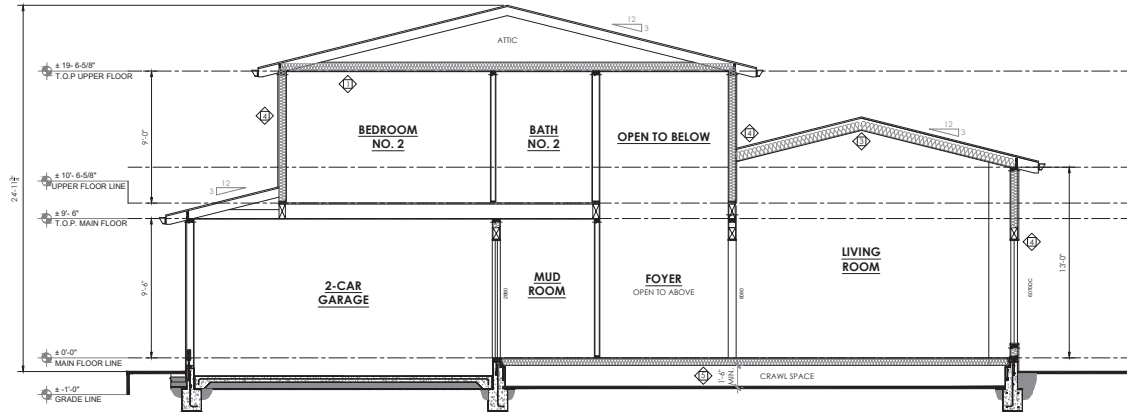
SUBMITTALS:	
DATE	DESCRIPTION
3-07-25	ARCHITECTURAL REVIEW
4-07-25	PC RESPONSE

### PROPOSED EXTERIOR ELEVATIONS

DATE: 03/03/25	SCALE: 1/4 IN. = 1 FT.
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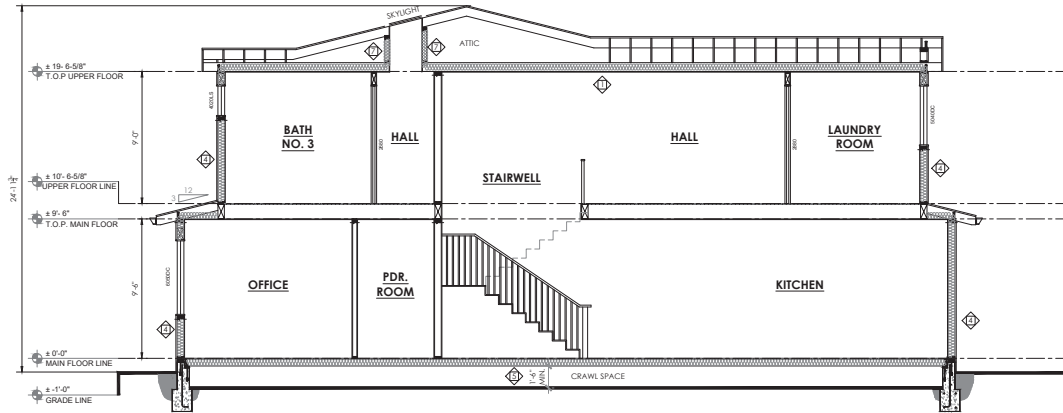
ALL DRAWINGS AND NOTED MATERIALS/APPARATUS  
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WORK OF ROBIN MCCARTHY ARCHITECT, INC.  
AND MAY NOT BE COPIED OR REPRODUCED  
WITHOUT CONSENT OF ROBIN MCCARTHY

**A5-2**



SECTION A - A

1/4" = 1'-0"



SECTION B - B

1/4" = 1'-0"

## BUILDING SECTIONS

### BUILDING SECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERRIMAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

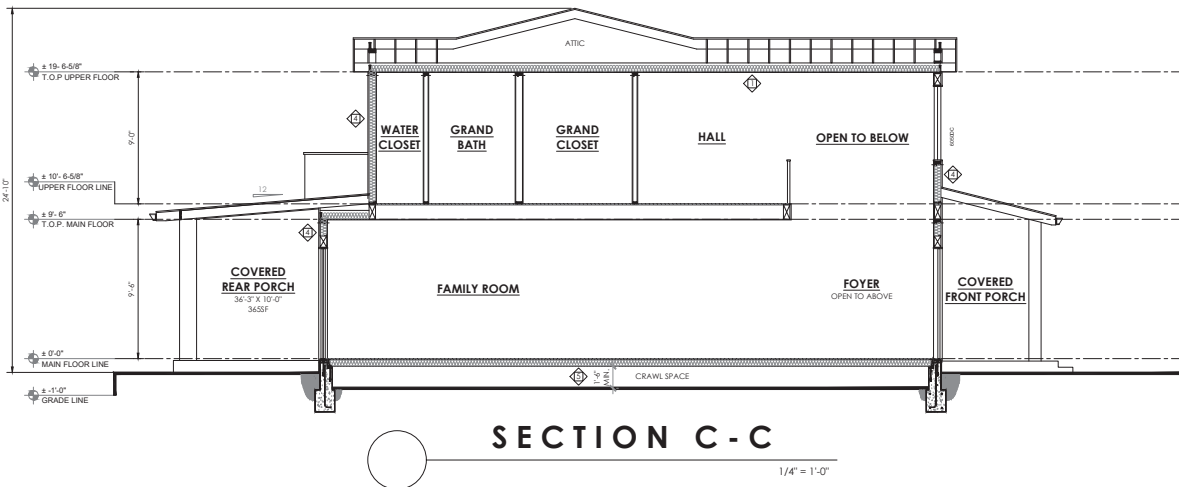
### BUILDING SECTIONS

DATE: 3-07-25 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND WRITTEN MATERIAL APPROVED  
BY ROBIN MCCARTHY, AIA, ARCHITECT #C29767  
AND SHALL NOT BE REPRODUCED OR TRANSMITTED  
IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION  
STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN  
CONSENT OF ROBIN MCCARTHY

A6-1

ARCHITECTURAL REVIEW SET



## BUILDING SECTIONS

# ARCHITECTURAL REVIEW SET

### BUILDING SECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.

THIS BOX IS INTENTIONALLY LEFT BLANK FOR APPROVALS



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #210  
SAN JOSE, CA 95125



NEW 2-STORY CONSTRUCTION FOR:

**MUKRE-DESAI  
RESIDENCE**  
3705 DANIEL WAY  
SANTA CLARA, CA 95051

DATE	SUBMITTAL
3-07-25	ARCHITECTURAL REVIEW SET
4-07-25	PC RESPONSE

### BUILDING SECTIONS

DATE: 3-07-25

SCALE:  
1/4" = 1'-0"

ALL DIMENSIONS AND WRITTEN MATERIAL APPROVED  
BY ROBIN MCCARTHY, AIA, ARCHITECT #C29767  
AND SHALL NOT BE CONSIDERED FINAL UNLESS  
WRITTEN CONSENT OF ROBIN MCCARTHY

A6-2





## Agenda Report

25-458

Agenda Date: 5/14/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Action on the Architectural Review (PLN25-00065) for the Demolition of an Existing Uninhabitable Commercial Structure and the Construction of a New 2,598 Square-Foot Two-Story Residence with Four Bedrooms and Three and a Half Bathrooms Located at 1175 Lafayette Street within 200 Feet of Historic Resource Inventory Properties.

**File No.:** PLN25-00065

**Location:** 1175 Lafayette Street, a 6,506 square-foot lot located approximately 50-feet from the intersection of Fremont Street and Lafayette Street

**Applicant:** Thanh Nguyen

**Owner(s):** 1175 Lafayette LLC.

**Request:** **Architectural Review** for the Demolition of an Existing Uninhabitable Commercial Structure and the Construction of a New Two-Story Residence with an Attached Two-Car Garage and an Accessory Dwelling Unit (ADU) at 1175 Lafayette Street, Located Within 200 Feet of Historic Resources.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site is currently situated with two uninhabitable buildings, one a storage shed at the rear of the parcel and the other a small commercial structure oriented toward the street.
- Per the Santa Clara City Code (SCCC) 18.120(D)1, the request to construct a new single-family home requires Architectural Review approval through a Development Review Hearing.
- The project site is within 200 feet of four properties on the City's Historic Resource Inventory (1193 Lafayette, 908 Fremont, 1115 Lafayette and 936 Fremont). In accordance with SCCC 18.130.070, the project was referred to the Historical and Landmarks Commission (HLC) for review.
- The proposal is to demolish the existing building and construct a new 2,598 square-foot, two-story, four bedroom, three and one half-bathroom residence with an attached two-car garage. The residence will have horizontal siding, a hipped-roof, a distinct veneer stone wrapped porch, two-car garage, and a detached Accessory Dwelling Unit (ADU) at the rear of the parcel. The ADU is a ministerial action and not subject to Architectural Review.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:
  - The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
  - The architectural features of the proposed design including the wood siding at the front of the structure, asphalt shingle roofing material, a prominent small front porch are true to the architectural form and appropriate for the neighborhood.
  - The project proposes both a hipped roof form on the house reducing the bulk of the second

story and mirroring roof forms seen in the area.

- The proposed project meets the required findings set forth in SCCC 18.120.
- The proposed project was heard at the HLC on April 3, 2025. The Commission voted to recommend approval of the project. Their conditions for their recommendation of approval are incorporated within the Conditions of Approval in Attachment 3. Specifically, the HLC recommended the applicant use carriage style garage doors; window frames be a substantial material and not vinyl; and maintain the horizontal siding, but differ in size from the surrounding properties.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

### **FINDINGS SUPPORTING STAFF'S RECOMMEDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*

- The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
- The required parking spaces are not located in the required front yard or side yard landscaped areas.
- The proposed project provides areas surfaced with all-weather materials of parking vehicles.

2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*

- The proposed residence would not create traffic congestion or hazards.
- Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes clad in stucco, have horizontal wood-like siding, or are sheathed in board and batten siding. The applicant has proposed a horizontal Hardie board siding, a hipped-roof, a distinct stone veneer wrapped strip running along the lower portion of the home, a stucco clad front porch and a two-car garage. The Historical & Landmarks Commission recommended the applicant use carriage style garage doors.
- The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of*

*more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
  - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent corner properties.

### **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

### **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project is for the construction of a new single-family residence on a vacant lot, which meets Class 3 exemption requirements.

### **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on May 01, 2025. As of the writing of this report, planning staff has not received public comments for this application.

### **RECOMMENDATION**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for the demolition of an existing structure and the construction of a new 2,598 square-foot four bedroom, three and one half-bathroom two-story residence with a two-car garage and a detached accessory dwelling unit (ADU) at 1175 Lafayette Street, subject to the findings and conditions of approval.

Prepared by: Daniel Sobczak, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

### **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Weblinks Historical & Landmarks Commission Staff Report Packet - April 3, 2025
5. Development Plans



## Vicinity Map (Zoning) - 1175 Lafayette Street



### Legend

#### Base Layers

##### Site Addresses

- Multiple
- Single

##### Streets

##### Air Parcels

##### Land Parcels

- Land Parcels
- Common Areas

#### Zoning

##### Land Parcels

- DNTW - Downtown
- Santa Clara Station Focus Area
- Santa Clara Station Focus Area



### Notes

PLN25-00065

created on 03/17/2025 10:52:19

0 200 400  
ft

NAD\_1983\_2011\_StatePlane\_California\_III\_FIPS\_0403\_Ft\_US  
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**MissingdAttachment 2: Project Data/Compliance**

**Project Address:** 1175 Lafayette Street  
**Zoning:** R1-6L – Single Family

**Project Number:** PLN25-00065

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
<b>Lot Area (SF) (min):</b>	6,506	6,506	6,000	Y
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	--	1,423	--	--
<b>2<sup>nd</sup> Floor:</b>	--	1,175	--	--
<b>Garage:</b>	--	400	--	--
<b>Total:</b>	--	2,598	--	--
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor:</b>	--	64%	66% max	Y
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	--	30%	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	--	20	20	Y
<b>(2<sup>nd</sup> floor):</b>		25	25	Y
<b>Left Side (1<sup>st</sup> floor):</b>	--	5	5	Y
<b>(2<sup>nd</sup> floor):</b>		10	10	Y
<b>Right Side (1<sup>st</sup> floor):</b>	--	5'-6"	5	Y
<b>(2<sup>nd</sup> floor):</b>		10'-6"	10	Y
<b>Rear (1<sup>st</sup> floor):</b>	--	43'-8"	20	Y
<b>(2<sup>nd</sup> floor):</b>		43'-8"	20	Y
<b>Accessory Dwelling Unit Setbacks (FT)</b>				
<b>Front:</b>	--	--	20	Y
<b>Side (left):</b>	--	6	4	Y
<b>(right):</b>		10'-6"	4	
<b>Rear:</b>	--	4	4	Y
<b>From main building:</b>	--	17'-8"	6	Y
<b>Height (FT)</b>				
<b>Main building:</b>	--	24'-8"	25	Y
<b>Accessory building:</b>	--	15'-8"	16	--
<b># of Bedrooms/Bathrooms:</b>	--	4/3.5	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	--	2	2	Y
<b>Common Living Area (SFR)</b>	--	> 25%	Min 25%	Y
<b>Open Landscaped Area (Front):</b>	--	>35%	Min 35%	Y

## Conditions of Architectural Review Approval

PLN25-00065 / 1175 Lafayette Street

**Architectural Review for the demolition of an Existing Uninhabitable Commercial Structure and the Construction of a New Two-Story Residence with an attached two-car garage and an Accessory Dwelling Unit (ADU) at 1175 Lafayette Street, Located Within 200 Feet of Historic Resources.**

### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 14, 2026.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Planting (On-site).** All new development front yard landscaping shall include, at a minimum, one 15-gallon size tree and a permanent irrigation system to be installed by the developer prior to occupancy
- P2. **Siding.** Revise the building materials to show horizontal Hardie board siding instead of stucco. The siding should differ in widths from the horizontal siding on surrounding properties.
- P3. **Renderings.** All renderings should be updated to reflect the site plans reviewed and presented at Public Hearing and recommended for approval
- P4. **Window Material.** The window frames should be of a substantial material, not vinyl, and should be a dark color
- P5. **Garage Doors.** The garage doors should have a differing style than reflected on the renderings, using carriage doors or something similar to reflect the historic neighborhood.
- P6. **Structure Documentation.** The applicant, prior to demolition, shall document the building to be removed with extensive interior and exterior photos, and an expanded



history of the structure including the owners and occupants, the measurements of the original building. All documentation should be submitted to the Planning Division prior to issuance of demo permit.

## **DURING CONSTRUCTION**

- P7. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P8. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P9. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

## **OPERATIONAL CONDITIONS**

- P10. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P11. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P12. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.



**KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

## **Web Links**

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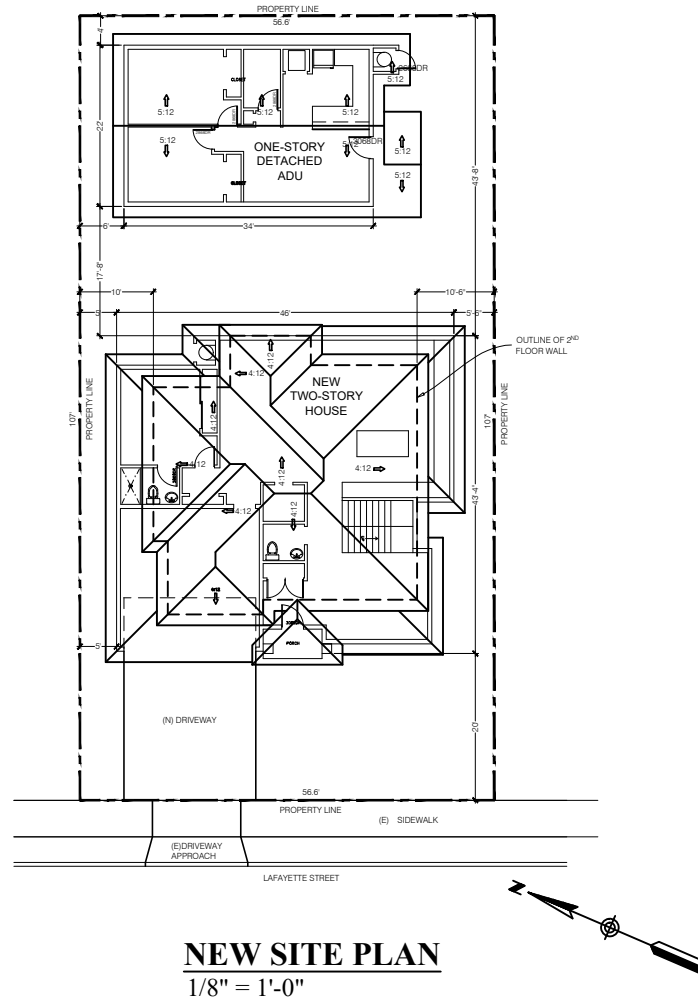
### **HLC Meeting (April 3, 2025):**

Here you will find documents related to the Historical and Landmarks Commission meeting such as the staff report and attachments.

<https://santaclara.legistar.com/LegislationDetail.aspx?ID=7284359&GUID=5CC2ACC3-6BD2-476E-BAF6-3B893B9388FB&Options=&Search=>

**These documents are available for viewing in the Community Development Department**

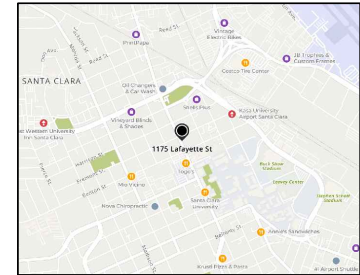
New Home & ADU for  
Nguyen Residence  
1175 Lafayette Street  
Santa Clara, CA 95050  
Site Plan



SCOPE OF WORK

DEMO EXISTING HOME IN ORDER TO BUILD A NEW TWO-STORY HOUSE WITH A REAR DETACHED ONE-STORY ADU

VICINITY MAP



PROJECT INFORMATION

ASSESSOR'S PARCEL No.: 269-16-056  
ZONING: R1- SINGLE FAMILY  
TWO-STORY WOOD FRAMED HOUSE W/ STUCCO FINISHED AND COMP. SHINGLE ROOF  
OCCUPANCY GROUP: R2 AND U  
TYPE OF CONSTRUCTION: VB  
BUILDING CODES: 2022 CBC AND 2022 CRC  
BUILDING HEIGHT: 24'-8"  
FIRE SPRINKLER: YES

FLOOR AREA BREAKDOWN

LOT SIZE:	6,506 SQ. FT.
1 <sup>ST</sup> FLOOR LIVING SPACE AREA:	1,423 SQ. FT.
2 <sup>ND</sup> FLOOR LIVING SPACE AREA:	1,175 SQ. FT.
ADU AREA:	748 SQ. FT.
GARAGE AREA:	400 SQ. FT.
LOT COVERAGE: (1,432 + 400)/6,506:	30.1%
2 <sup>ND</sup> TO 1 <sup>ST</sup> FLOOR RATIO: 1,175/(1,432 + 400):	0.64

PROJECT CONTACTS

OWNER  
THANH NGUYEN  
EMAIL: TNGUYEN1628@YAHOO.COM  
DESIGNER & STRUCTURAL ENGINEER  
KENNY LUU  
EMAIL: KENNYLUU123@YAHOO.COM

SHEET INDEX

- A1 - SITE PLAN / PROJECT INFORMATION
- A2 - EXISTING SITE PLAN (FRONT HOUSE)
- A3 - NEW FLOOR PLAN (FRONT HOUSE)
- A4 - NEW ELEVATIONS (FRONT HOUSE)
- A5 - NEW ROOF PLAN (FRONT HOUSE)
- A6 - FLOOR PLAN AND ROOF PLAN (ADU)
- A7 - ELEVATIONS (ADU)
- A8 - EXISTING HOME PICTURES
- A9 - COLOR RENDERINGS

REVISIONS	BY

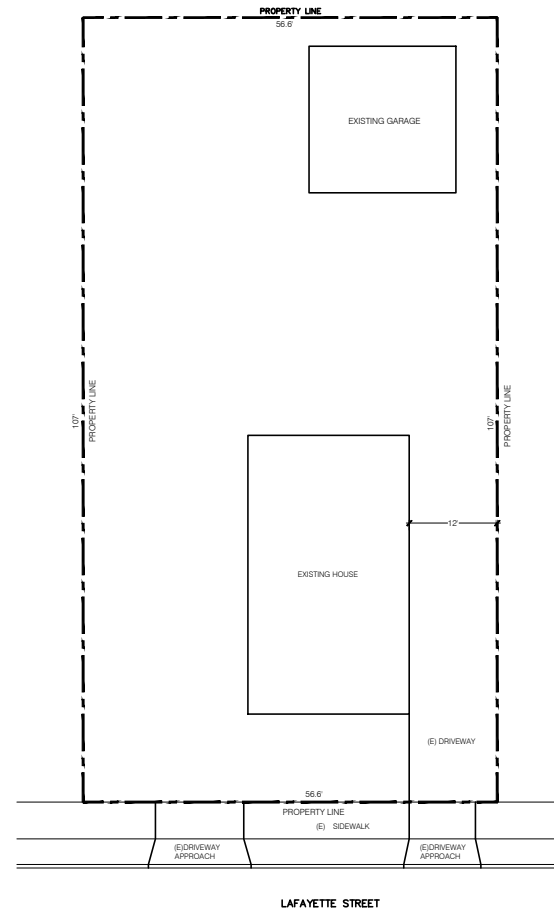
New Home 7 ADU for  
Nguyen Residence  
1175 Lafayette Street  
Santa Clara, CA 95050  
New Site Plan

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SHEET

A1

OF SHEETS

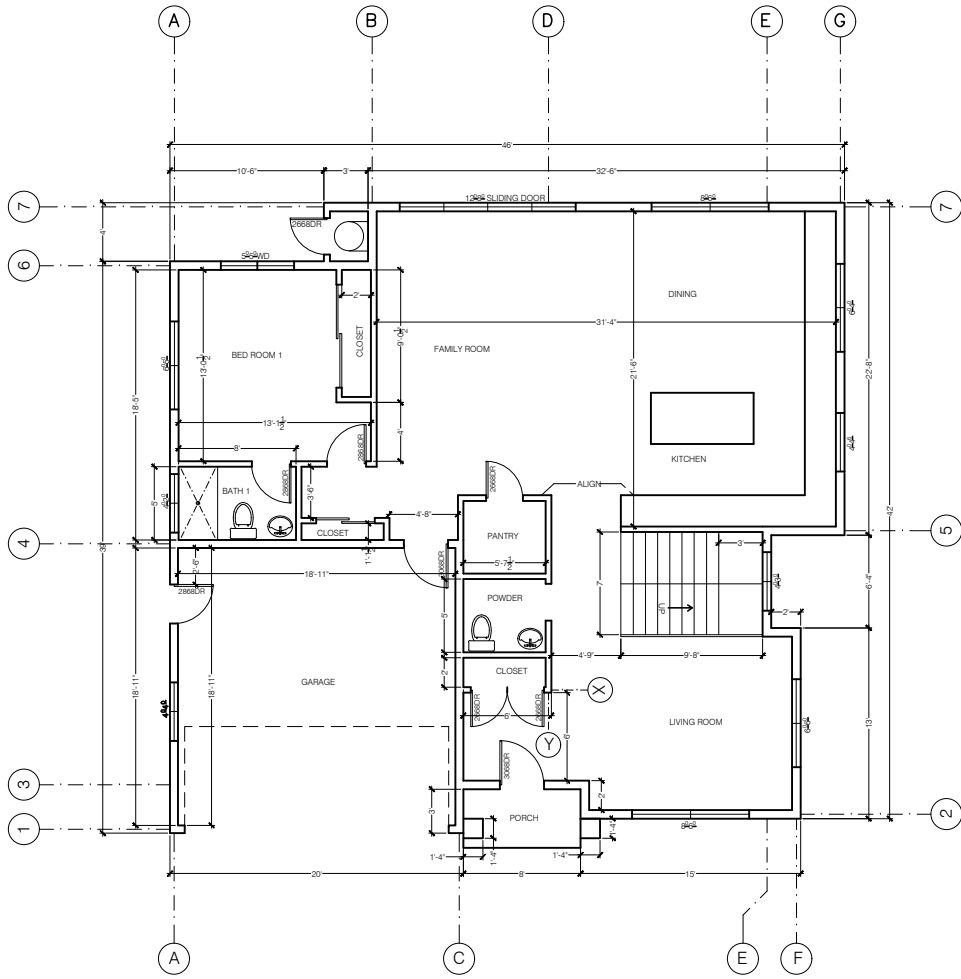


(E) SITE PLAN  
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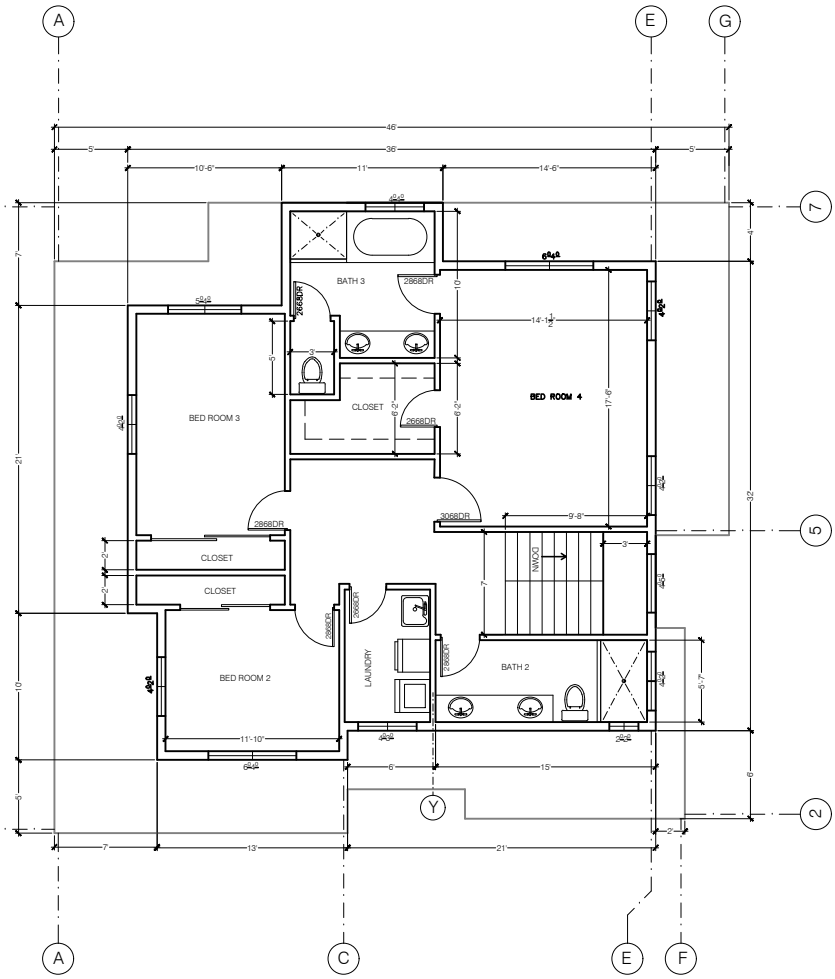
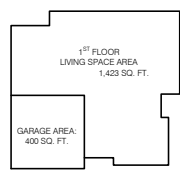
REVISIONS	BY

New Home 7 ADU for  
Nguyen Residence  
1176 Lafayette Street  
Santa Clara, CA 95050  
Existing Site Plan

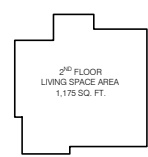
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A2
OF
SHEETS



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



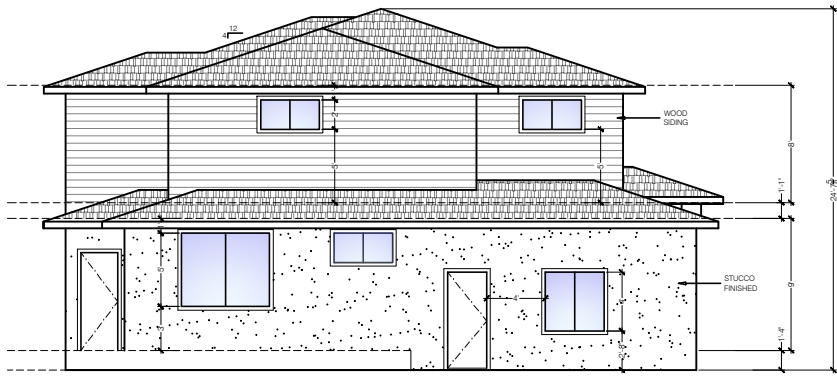
**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



REVISIONS	BY

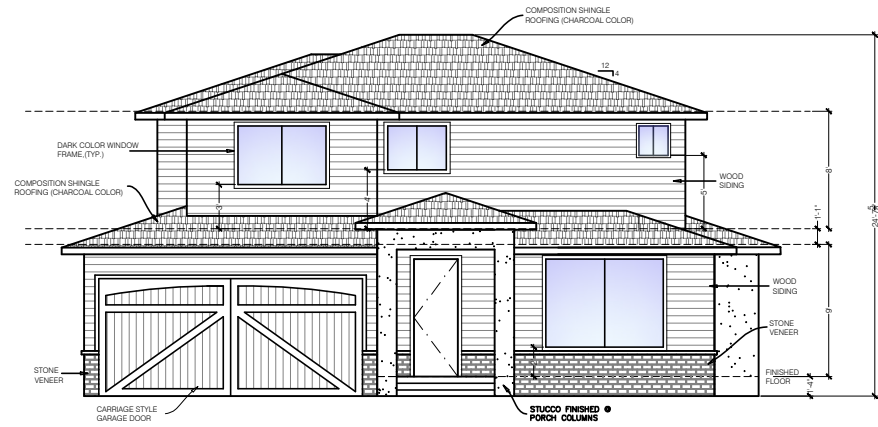
New Home & ADU for  
 Nguyen Residence  
 1176 Lafayette Street  
 Santa Clara, CA 95050  
 New Floor Plan

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DATE
SCALE
AS SHOWN
JOB NO.
SHEET
<b>A3</b>
OF
SHEETS



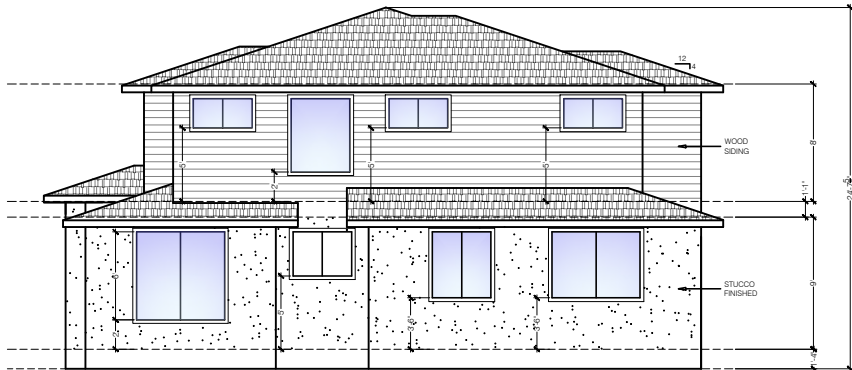
**LEFT ELEVATION**

SCALE: 3/8"=1'



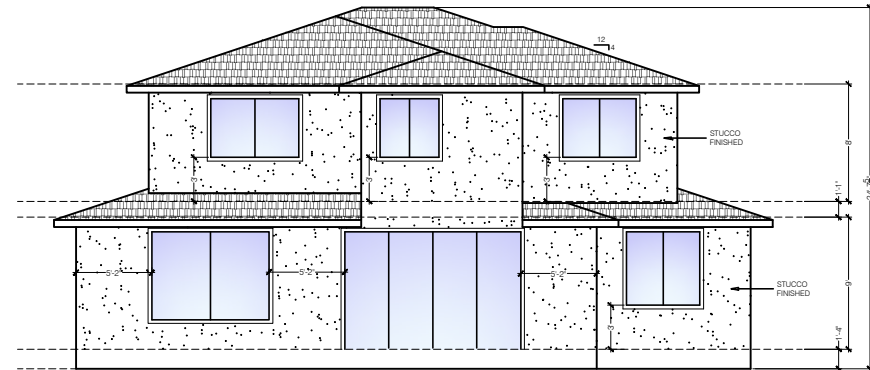
**FRONT ELEVATION**

SCALE: 3/8"=1'



**RIGHT ELEVATION**

SCALE: 3/8"=1'



**REAR ELEVATION**

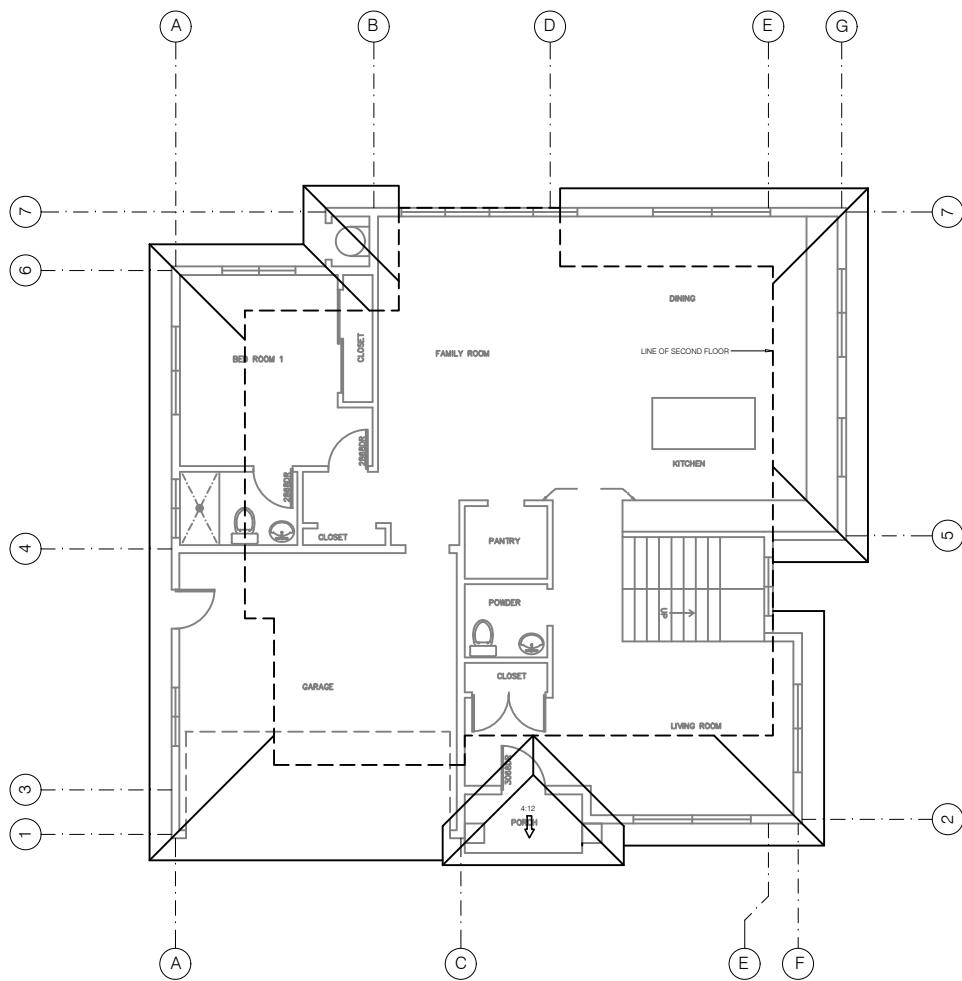
SCALE: 3/8"=1'

REVISIONS	BY

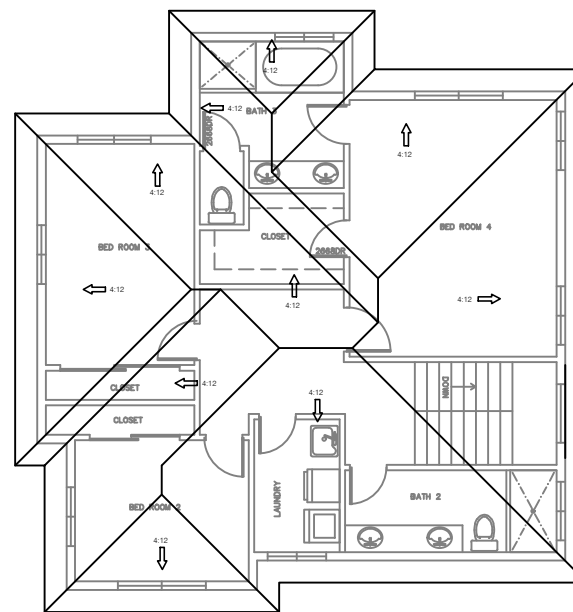
New Home & ADU for  
Nguyen Residence  
1176 Lakeway Street  
Santa Clara, CA 95050  
New Elevations

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DATE
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AS SHOWN
JOB NO.

SHEET
<b>A4</b>
OF SHEETS



**LOWER ROOF PLAN**  
SCALE: 3/8"=1'



**UPPER ROOF PLAN**  
SCALE: 3/8"=1'

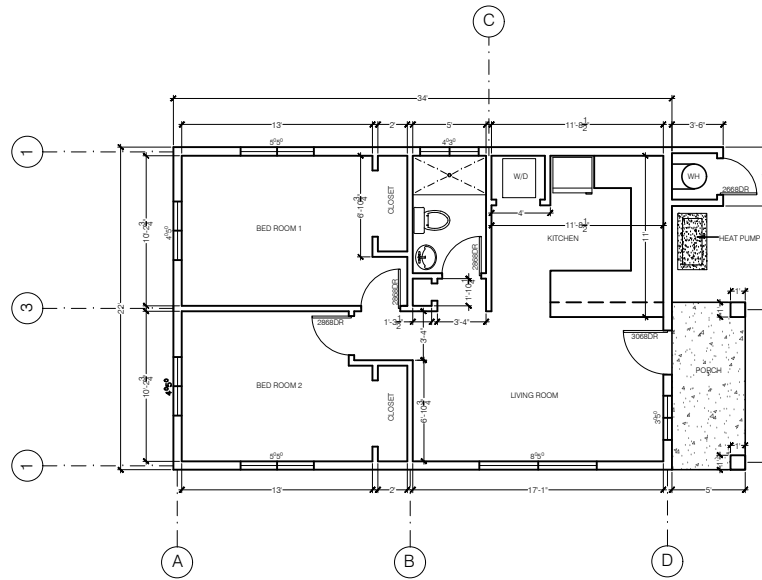
REVISIONS	BY

New Home & ADU for  
 Nguyen Residence  
 1176 Lafayette Street  
 Santa Clara, CA 95050  
 New Roof Plan

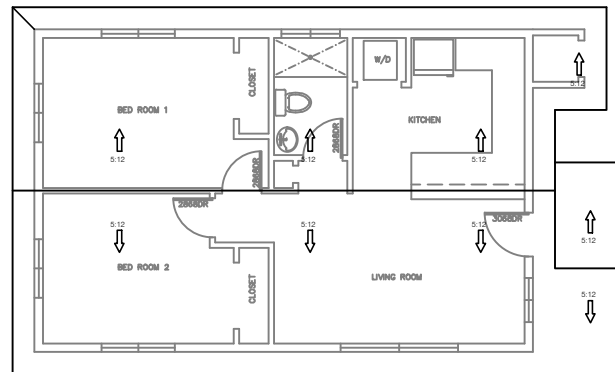
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OF
SHEETS





**FLOOR PLAN**  
SCALE: 1/8"=1'



**ROOF PLAN**  
SCALE: 1/8"=1'

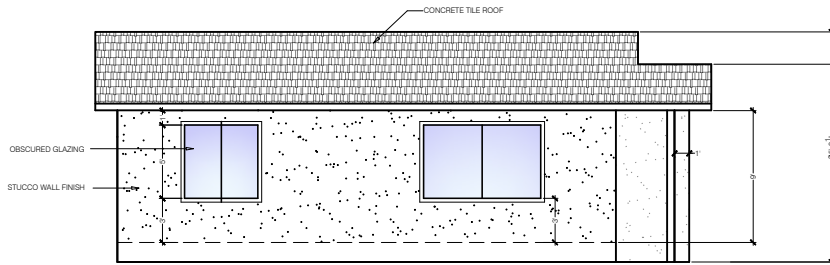
REVISIONS	BY

New Home & ADU for  
 Nguyen Residence  
 1176 Lafayette Street  
 Santa Clara, CA 95050  
 Floor Plan & Roof Plan (ADU)

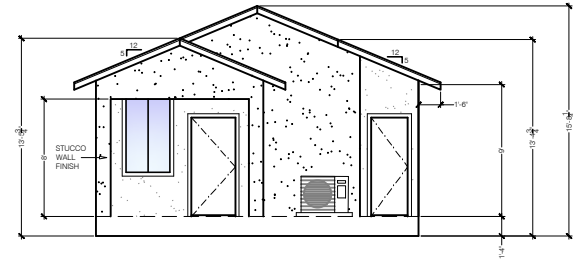
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JOB NO.

SHEET
<b>A6</b>
OF SHEETS

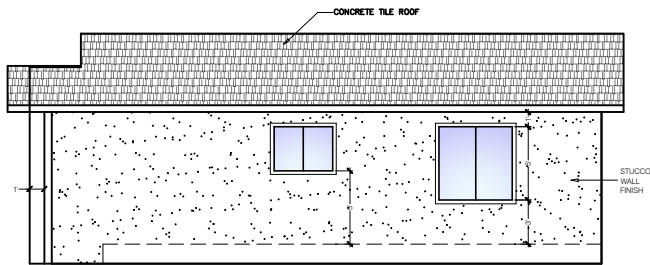
REVISIONS	BY



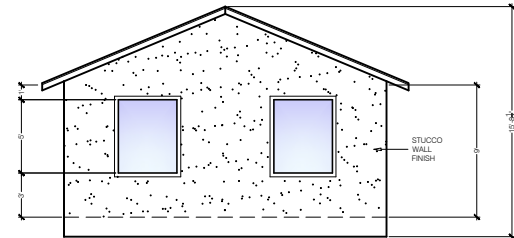
**FRONT ELEVATION**  
SCALE: 3/8"=1'



**RIGHT ELEVATION**  
SCALE: 3/8"=1'



**REAR ELEVATION**  
SCALE: 3/8"=1'



**LEFT ELEVATION**  
SCALE: 3/8"=1'

New Home & ADU for  
Nguyen Residence  
1176 Lakeway Street  
Santa Clara, CA 95050  
Elevations (ADU)

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DATE
SCALE
AS SHOWN
JOB NO.

SHEET
<b>A7</b>
OF SHEETS



EXISTING FRONT HOUSE



EXISTING REAR HOUSE



EXISTING RIGHT SIDE



EXISTING GARAGE



STREET VIEW DOWN LAFAYETTE ST  
LOOKING TOWARD BENTON STREET



STREET VIEW UP LAFAYETTE ST  
LOOKING TOWARD FREMONT STREET

REVISIONS	BY

New Home & ADU for  
 Nguyen Residence  
 1176 Lafayette Street  
 Santa Clara, CA 95050  
 Existing Home Pictures

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DATE
SCALE
AS SHOWN
JOB NO.

SHEET
A8
OF
SHEETS



**LEFT ELEVATION**

SCALE: NTS



**FRONT ELEVATION**

SCALE: NTS



**RIGHT ELEVATION**

SCALE: NTS



**REAR ELEVATION**

SCALE: NTS

REVISIONS	BY

New Home & ADU for  
 Nguyen Residence  
 1175 Lafayette Street  
 Santa Clara, CA 95050  
 COLOR RENDERINGS

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JOB NO.

SHEET
<b>A9</b>
OF
SHEETS



## Agenda Report

25-520

Agenda Date: 5/14/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Action on the Architectural Review (PLN25-00082) for the Construction of a 137 Square-Foot First Floor Addition and Internal Reconfiguration of an Existing Single-Family Residence, Resulting in a 3,170 Square-Foot Five-Bedroom and Four-Bathroom Single-Family Residence with Two-Bedrooms with Exterior Access on a 10,454 Square-Foot Lot at 3513 Oxford Court.

**File No.:** PLN25-00082

**Location:** **3513 Oxford Court**, a 10,454 square foot lot located on the west side of Oxford Court, approximately 906 feet north of Pruneridge Avenue.  
APN: 224-12-124

**Zoned:** Single-Family Residential (R1-6L)

**Applicant:** Greg Stowers

**Owner:** Premier Homes - Fastrack Investments Inc

**Request:** **Architectural Review** for the construction of a 137 square-foot first floor addition and internal reconfiguration of an existing single-family residence, resulting in a 3,170 square-foot five-bedroom and four-bathroom single family residence with two-bedrooms with exterior access.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2

#### POINTS FOR CONSIDERATION

- The 10,454 square-foot parcel ("project site") is developed with a residence built in 1960. See the attached vicinity map (Attachment 1) for a visual context of the project site.
- The project site is surrounded by one-story single-family residences. The single-family residences are all part of the same subdivision development, and an example of a late ranch style tract home built with efficiency and simplicity in mind. The homes have low-pitched roofs, low profile, and few visible architectural features
- The existing structure is not a potential historical structure as it doesn't meet the Historical Resource designation criteria under Santa Clara City Code 18.130.040(A).
- The applicant proposes five bedrooms and two bedrooms with exterior access, under Santa Clara City Code 18.120.020(D)(1), this requires an Architectural Review approval through a Development Review Hearing.
- The applicant proposes the addition in the rear of the property and blend it architecturally with the rest of the residence by having the same height and roof form.
- The applicant will change the front stucco façade by adding board and batten siding as accent materials. Code-compliant light fixtures will be added across the structure to add accent



lighting. The development plans are attached for reference (Attachment 4).

- The project is consistent with the Santa Clara Single-Family & Duplex Residential Design Guidelines (2014):
  - The request is to build a small addition to the rear of the existing structures and internal reconfiguration that will not impact the privacy of the neighbors.
  - The roof and building materials work in conjunction with each other and maintain the existing architectural style of the building.
  - High quality construction materials are being proposed to be use on site that will blend the home with the rest of the neighborhood.
- The proposed design will have some variety of materials as accent materials are being proposed to reduce the blandness of the structure.
- The following design changes were made since the initial submittal:
  - Accent materials were added on the front façade.
  - New windows are proposed in the front and rear elevation to reduce the number of blank walls.
  - Accent lights were added across the structure.
- The request meets the required findings set forth in Santa Clara City Code Section 18.120.020 (F) (Architectural Review).
- There are no active City Code Enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the project site.

## **FINDINGS**

Granting the Architectural Review approval requires, the following findings consistent with Zoning Code Section 18.120.020.F:

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development in that:*
  - The request is consistent with Santa Clara City Code Section 18.38.030(D) as the proposal includes an attached two-car garage.
  - The request has sufficient off-street parking for the residential building type.
  - The request maintains areas surfaced with all-weather materials for vehicle parking.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The request would not generate any traffic congestion or hazard.
  - The public streets are of adequate size to accommodate a single-family residence of its size.
  - The request's design stays consistent with the scale of nearby residences and would not impair the desirability of the neighborhood.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- The request is consistent with the Santa Clara Single-Family & Duplex Residential Design Guidelines (2014) as the bulk and mass blends well with the rest of the neighborhood.
  - The request meets all required development standards for the zoning district.
  - The request is design to protect the privacy of the neighbors.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
- The project is subject to the California Building code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
- The proposed construction is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014).
  - The request complies with the R1-6L zoning districts development standards.
  - The request complies with the intent of the Santa Clara General Plan.

## **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guideline Section 15332 (Class 32 - In-Fill Development Projects), in that the request is on a project site less than five acres and served by all required utilities & public services.

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library

On May 2nd, 2025, a notice was mailed to property owners within 300 feet of the project site to informed them of the public hearing. At the time of preparing this report, the Planning Division has not received any comments.

## **RECOMMENDATION**

**Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects), and **Approve** the Architectural for the construction of a 137 square-foot first floor addition to an existing single-



family residence, resulting in a 3,170 square-foot five-bedroom and four-bathroom single family residence with two-bedrooms with exterior access at 3513 Oxford Court, subject to findings and conditions of approval.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department

Reviewed by: Nimisha Agrawal, Senior Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

### **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

**Attachment 2: Project Data/Compliance**

**Project Address: 3513 Oxford Court**  
**Zoning: R1-6L**

**Project Number: PLN25-00082**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	10,454	10,454	6,000	Y
<b>Lot Area per Dwelling Unit (SF):</b>	10,454	10,454	--	Y
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	2,601	2,738	--	--
<b>2<sup>nd</sup> Floor:</b>	--	--	--	--
<b>Basement:</b>	--	--	--	--
<b>Garage</b>	432	432	600 SF max	Y
<b>Porch/Patio:</b>	--	--	--	-
<b>Total:</b>	3,033	3,170	--	--
<b>Floor Area Ratio:</b>	0.29	0.30	--	--
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor:</b>	--	--	66% max	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	29	30	40% max	Y
<b>Rear Yard Accessory Building Coverage:</b>	--	--	40% max	--
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	23	23	20	Y
<b>(2<sup>nd</sup> floor):</b>	--	--		
<b>Left Side (1<sup>st</sup> floor):</b>	5	5	5	Y
<b>(2<sup>nd</sup> floor):</b>	--	--		
<b>Right Side (1<sup>st</sup> floor):</b>	5	5	5	Y
<b>(2<sup>nd</sup> floor):</b>	--	--		
<b>Side, Corner:</b>	--	--	--	Y
<b>Rear (1<sup>st</sup> floor):</b>	21	21	20	Y
<b>(2<sup>nd</sup> floor):</b>				
<b>Height (FT)</b>				
<b>Main building:</b>	16' – 6"	16' – 6"	25'	Y
<b>Accessory building:</b>	--	--	--	--
<b># of Bedrooms/Bathrooms:</b>	3/2	5/4	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	2	2	2	Y
<b>Common Living Area (SFR)</b>	34%	30%	Min 25%	Y
<b>Open Landscaped Area (Front):</b>	1,100	1,100	--	--

## Conditions of Architectural Review Approval

### PLN25-00082/ 3513 Oxford Court

**An Architectural Review for the construction of a 137 square foot single story addition to an existing single-family residence, resulting in a 3,170 square foot five bedroom and four-bathroom single family residence with two bedrooms with exterior access.**

#### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 24, 2027
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

#### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

#### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### **OPERATIONAL CONDITIONS**

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

#### **KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# Planning Submittal

# Residential Remodel & Addition

3513 Oxford Court, Santa Clara | APN: 293.05.035

## PROJECT SUMMARY

Lot Size: 0.24 Acres (10,454 sq. ft.)

Zoning: R1-4L Single Family

Year Built: 1960

Existing Configuration: 3 Bed / 2 Bath

Proposed Configuration: 5 Bed / 4 Bath

No. of Stories: One (1)

Fire Sprinklers: No

Construction Type: VB (Non-Rated)

Setbacks:

Front Setback: 20'

Side Setback: 5'

Rear Setback: 20'

Maximum Height:

Allowable: 35' / 2 Stories

Proposed: 16.5' / 1 Story

Site Coverage:

Allowable: 40%

Existing: 3,033 / 10,454 = .29 or 29%

Proposed: 3,170 / 10,454 = .30 or 30%

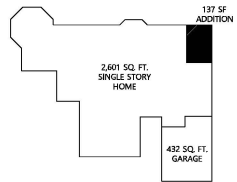
## AREA CALCULATIONS

### BUILDING SQUARE FOOTAGE

Existing Living Square Footage	2,401 sq. ft.
Proposed New Living Square Footage	137 sq. ft.
<b>TOTAL PROPOSED LIVING SF:</b>	<b>2,538 sq. ft.</b>
Existing Attached Garage:	432 sq. ft.
<b>TOTAL EXISTING SQUARE FOOTAGE:</b>	<b>3,170 sq. ft.</b>

### AREA OF WORK

PROPOSED AREA OF WORK	2,260 sq. ft.
-----------------------	---------------



## GENERAL NOTES

- Any errors or omissions found in the drawings shall be immediately brought to the attention of the Architect.
- Existing construction indicated is for information only. It is the Contractor's responsibility to verify the actual conditions, locations, and dimensions and to notify the Architect of any discrepancies or omissions in these conditions before commencing any new work or areas affected by these existing conditions.
- Contractor shall be responsible for providing all materials and workmanship in accordance with all applicable federal, state, and local laws, codes, ordinances, and regulations.
- Do not scale plans. If dimensions are found to be missing or inaccurate, immediately contact the Architect for clarification.
- These plans are the sole property of the Stowers Associates. The unauthorized reproduction or use of these plans is illegal and the Architect disclaims any responsibility for their unauthorized use.
- Protect the trees and all new and existing materials and finishes from damage which may occur during construction.
- Remove rubbish and waste materials regularly during construction and leave the area clear and ready for use when finished.
- Changes in the design or materials will not be accepted without authorization from the Architect and Owner.
- Where appropriate, Subcontractors shall submit as-built drawings to the Contractor upon completion of work.
- All construction shall comply with City and State of California building codes.
- Contractor shall protect existing trees and root systems during construction. All excavation around existing trees shall done by hand.
- Smoke detectors in the main dwelling shall be installed and field verified in each bedroom, in each hallway leading to the bedrooms and on each floor per CRC R314.2. Carbon Monoxide alarms shall be installed and field verified on each floor per CRC R315.2.

## PROJECT DIRECTORY

### OWNER

**PREMIER HOMES**  
**FASTRACK INVESTMENTS INC**  
20006 ALMADEN ROAD  
SAN JOSE, CA 95120  
CONTACT: CLARK NUNES  
EMAIL: CLARK@PREMIERHOMES.COM

### ARCHITECT

**GREG STOWERS**  
**STOWERS ASSOCIATES**  
155 E. CAMPBELL AVENUE, SUITE 114  
CAMPBELL, CA 95008  
PHONE: 408.358.5488  
CELL: 408.406.6048  
EMAIL: GREG@STOWERSASSOCIATES.COM

## BUILDING CODES

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA RESIDENTIAL BUILDING CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA ENERGY CODE

## DEFERRED SUBMITTAL

NONE

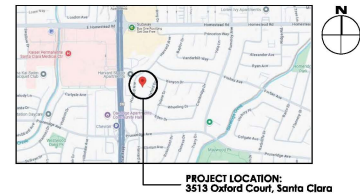
## HERS VERIFICATION

HERS VERIFICATION IS REQUIRED AT HVAC SYSTEM, NEW KITCHEN RANGE HOOD AND BATHROOM EXHAUST FANS.

## WRITTEN SCOPE

- 137 SQUARE FOOT ADDITION.
- FULL KITCHEN RENOVATION - CASEWORK, APPLIANCES AND FIXTURES.
- FULL PRIMARY BATHROOM RENOVATION.
- FULL HALL BATHROOM RENOVATION.
- RECONFIGURE TO ADD 2 NEW BEDROOMS AND 2 NEW BATHROOMS. (EXISTING: 3/2 CONFIG. PROPOSED: 5/4 FINAL CONFIG)
- MODIFY INTERIOR WALLS TO CREATE GREAT ROOM.
- REPLACE WINDOWS WITH NEW.
- REPLACE GAS HVAC WITH NEW - MODIFY DUCTING FOR NEW ROOM LAYOUT.
- REPLACE EXISTING GAS WATER HEATER WITH NEW.
- UPGRADE ELECTRICAL PANEL FROM 100 AMP TO 200 AMP SERVICE.
- NEW LIGHTING THROUGHOUT ENTIRE HOME.

## VICINITY MAP



## DRAWING INDEX

### ARCHITECTURAL

- |      |                              |
|------|------------------------------|
| A0.1 | COVER SHEET                  |
| A1.1 | SITE PLAN                    |
| A2.1 | EXISTING/DEMOLITION PLAN     |
| A3.1 | PROPOSED FLOOR PLAN          |
| A4.1 | ROOF PLAN                    |
| A5.1 | EXISTING EXTERIOR ELEVATIONS |
| A5.2 | PROPOSED EXTERIOR ELEVATIONS |



**STOWERS ASSOCIATES**  
Offices in Campbell and Carmel by the Sea

155 E. Campbell Avenue #114  
Campbell, CA 95008

Greg Stowers  
greg@stowersassociates.com  
PHONE: 408.358.5488  
CELL: 408.406.6048

WWW.STOWERSASSOCIATES.COM

PROJECT

RESIDENTIAL REMODEL

PREMIER HOMES

3513 OXFORD COURT, SANTA CLARA

ISSUE DATE

Planning Submittal 02.24.2025

STAMP



OWNERSHIP AND USE OF DOCUMENT  
All drawings, specifications and other documents prepared by Stowers Associates are the property of Stowers Associates. They shall not be used for any other project without the written consent of Stowers Associates. This consent shall not be given without the written consent of Stowers Associates.

JOB NO. 2025.05

DRAWN BY GTS

SCALE AS NOTED

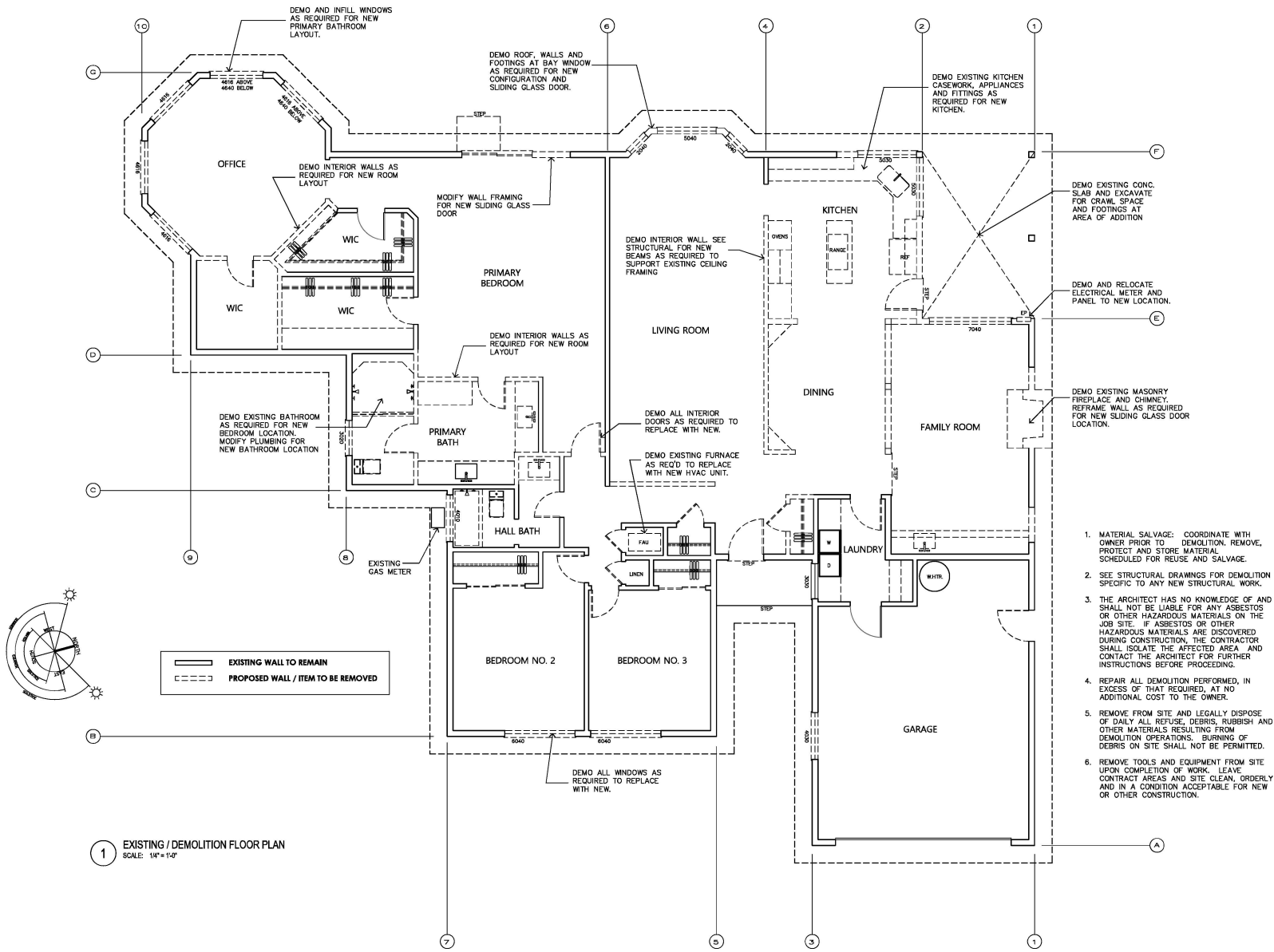
TITLE SHEET  
PROJECT INFO



A0.1







1 EXISTING / DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**RESIDENTIAL REMODEL**  
**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

ISSUE	DATE
Preliminary_Scheme 1	02.11.2025

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JOB NO.	2025.05
DRAWN BY	GTS
SCALE	AS NOTED

EXISTING  
 DEMOLITION PLAN

# RESIDENTIAL REMODEL

PREMIERE HOMES  
 3513 OXFORD COURT, SANTA CLARA

ISSUE DATE  
 Preliminary\_Scheme 1 02.11.2025

STAMP



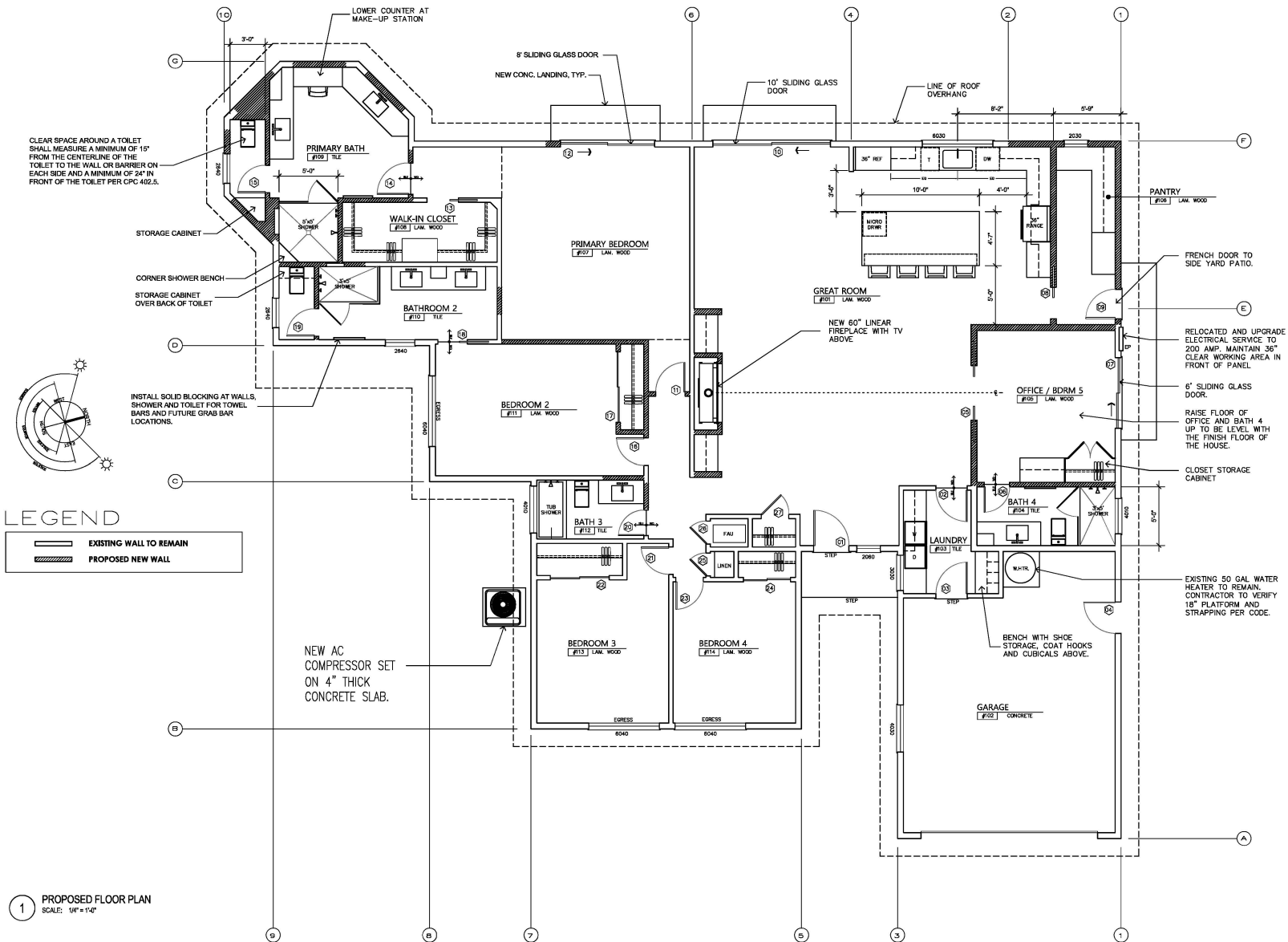
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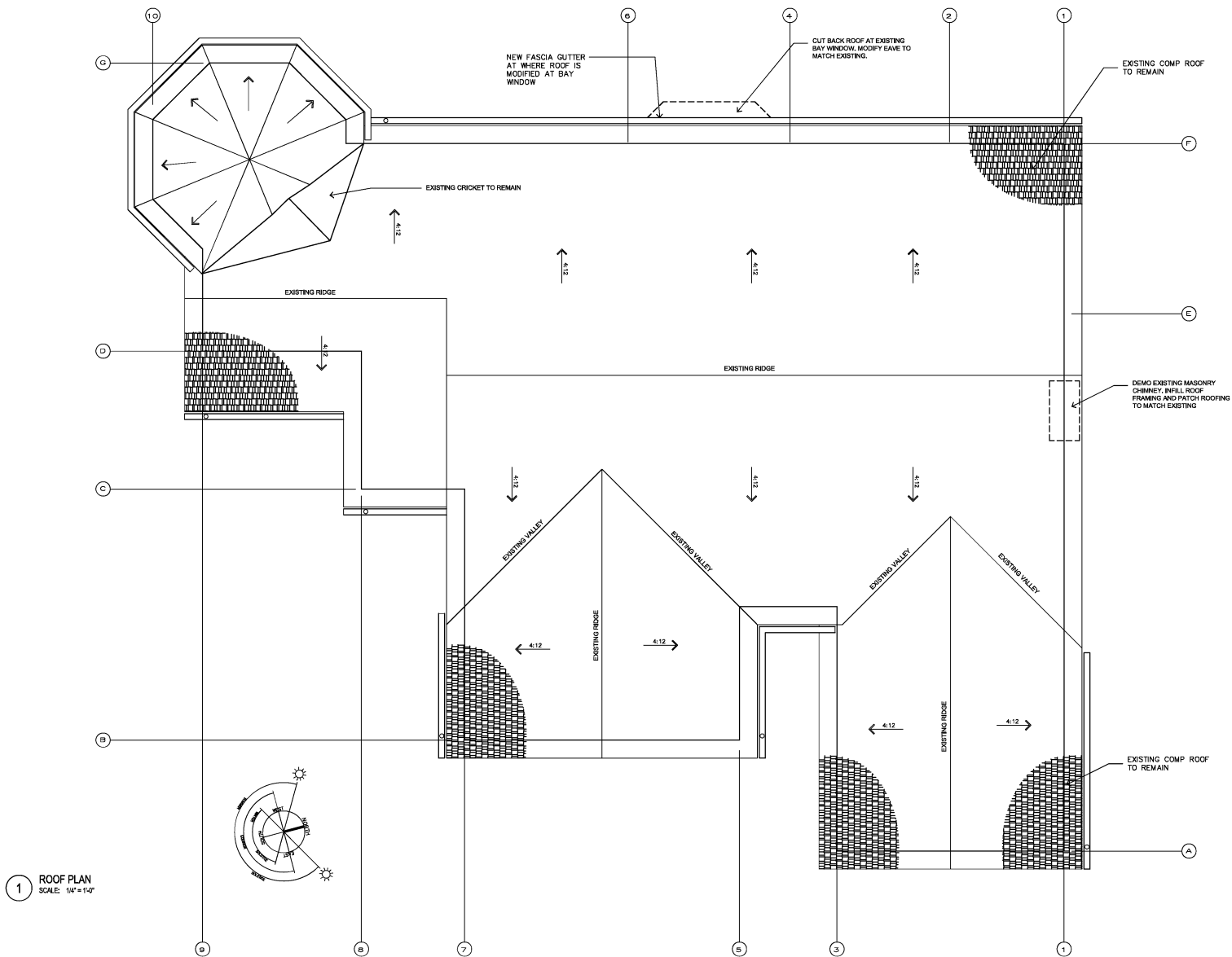
JOB NO. 2025.05

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SCALE AS NOTED

PROPOSED FLOOR PLAN





1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



155 E. Campbell Avenue #114  
 Campbell, CA 95008

Greg Stowers  
 greg@stowersassociates.com  
 PHONE: 408.398.5488  
 CELL: 408.406.8048

WWW.STOWERSASSOCIATES.COM

PROJECT

**RESIDENTIAL REMODEL**  
**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

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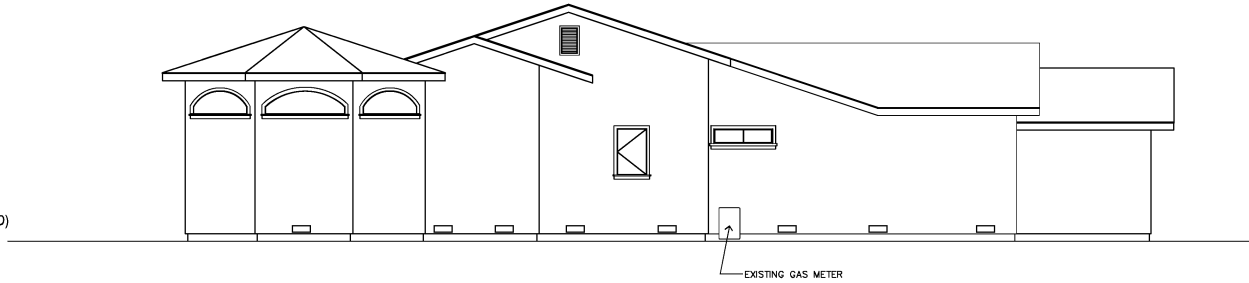
JOB NO. 2025.05

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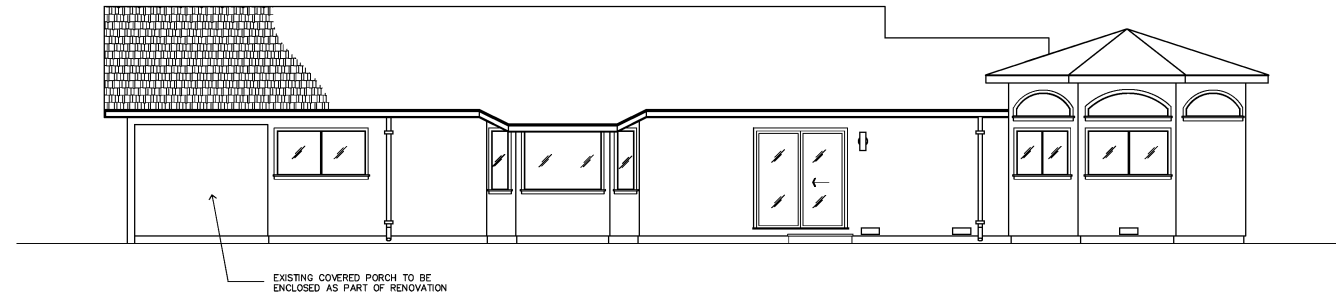
SCALE AS NOTED

ROOF PLAN

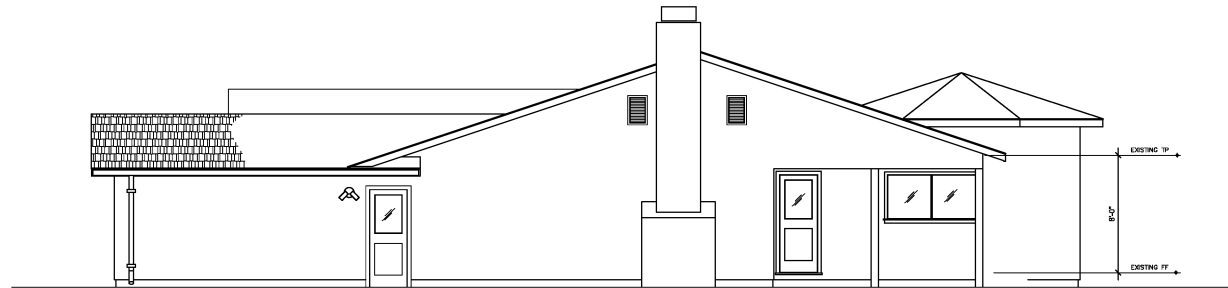
4 EXISTING SOUTH ELEVATION (SIDE YARD)  
SCALE: 1/4" = 1'-0"



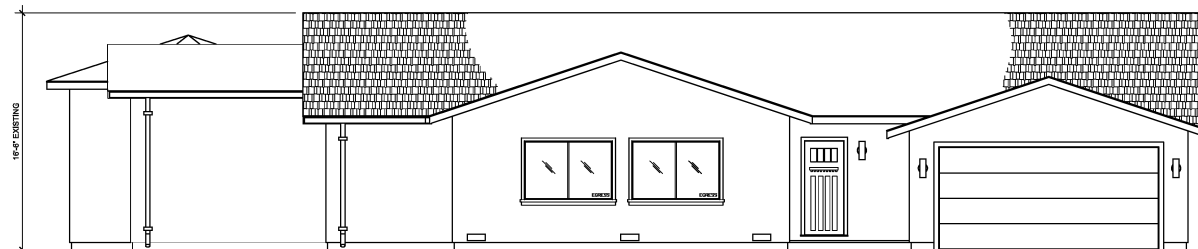
3 EXISTING WEST ELEVATION (REAR YARD)  
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION (SIDE YARD)  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION (FRONT / STREET)  
SCALE: 1/4" = 1'-0"



**STOWERS ASSOCIATES**  
Office in Campbell and  
Carmel by the Sea

155 E. Campbell Avenue #114  
Campbell, CA 95008

Greg Stowers  
greg@stowersassociates.com  
PHONE: 408.398.5488  
CELL: 408.406.8046

WWW.STOWERSASSOCIATES.COM

PROJECT

**RESIDENTIAL REMODEL**  
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**3513 OXFORD COURT, SANTA CLARA**

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SCALE AS NOTED

EXISTING ELEVATIONS

**S A5.1**

**RESIDENTIAL REMODEL**

**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

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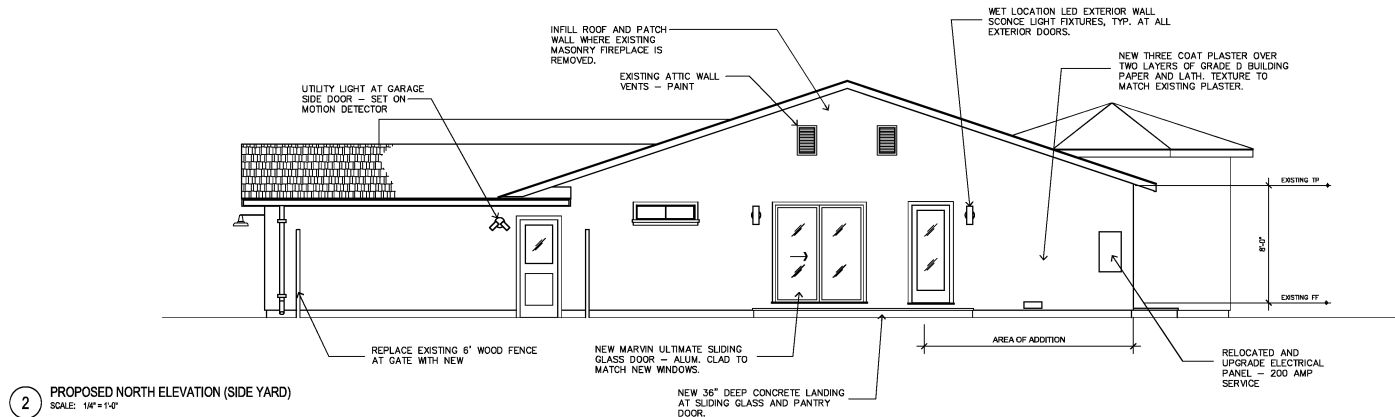
JOB NO. 2025.05

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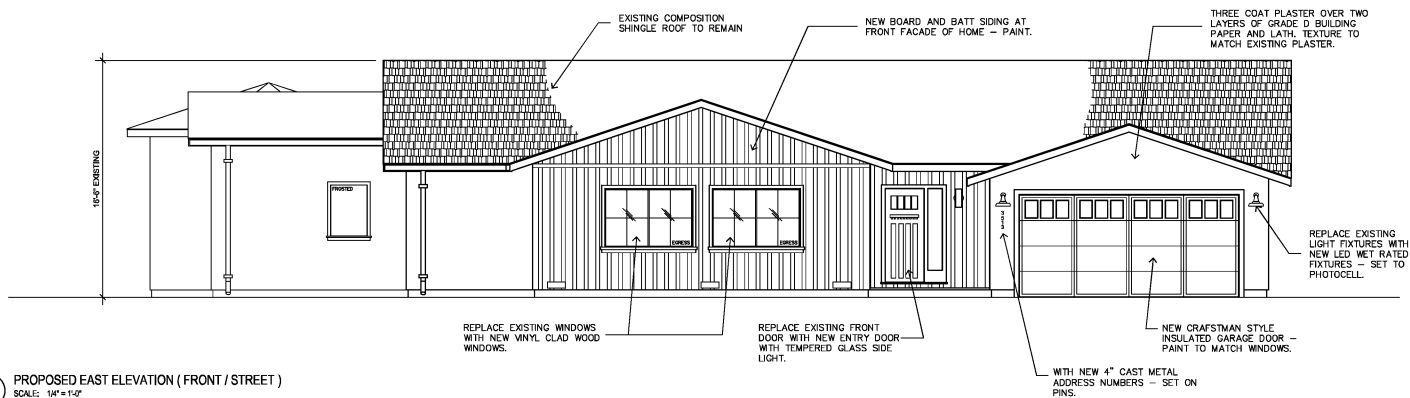
SCALE AS NOTED

**PROPOSED ELEVATIONS**

**A6.2**



**2 PROPOSED NORTH ELEVATION (SIDE YARD)**  
 SCALE: 1/4" = 1'-0"



**1 PROPOSED EAST ELEVATION (FRONT / STREET)**  
 SCALE: 1/4" = 1'-0"

**RESIDENTIAL REMODEL**

**PREMIERE HOMES**  
 3513 OXFORD COURT, SANTA CLARA

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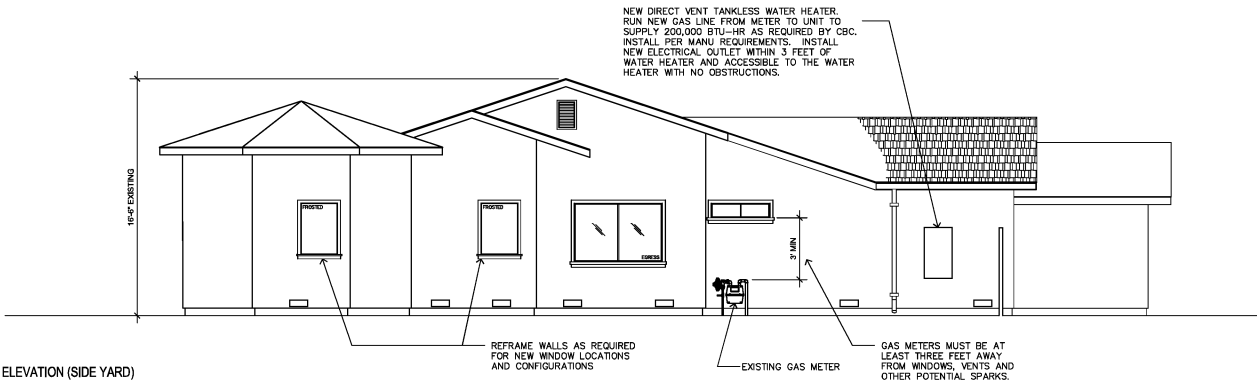
DRAWN BY GTS

SCALE AS NOTED

**PROPOSED ELEVATIONS**

**A6.3**

**2** PROPOSED SOUTH ELEVATION (SIDE YARD)  
 SCALE: 1/4" = 1'-0"



**1** PROPOSED WEST ELEVATION (REAR YARD)  
 SCALE: 1/4" = 1'-0"

