

### City of Santa Clara

### **Meeting Agenda**

### **Development Review Hearing**

Wednesday, November 13, 2024

4:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o https://santaclaraca.zoom.us/j/92950218717 or

o Phone: 1 (669) 900-6833

Meeting ID: 929 5021 8717

How to Submit Written Public Comment Before Development Review Hearing Meeting: By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Please identify the Agenda Item Number in the subject line of your email. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record.

Please note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Development Review Hearing items may be viewed on the Internet at https://santaclara.legistar.com/Calendar.aspx

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

#### **CALL TO ORDER AND ROLL CALL**

**24-1122** Declaration of Procedures

#### REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

#### **PUBLIC PRESENTATIONS**

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

#### **CONSENT CALENDAR**

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

None

#### **GENERAL BUSINESS**

The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.

- 1. 24-1080 PUBLIC HEARING: Continuance of an Architectural (PLN23-00290) for the Demolition of the Existing 42.821 Industrial Building Construction Square-Foot and of an Eight-Story. 284-unit Multi-family Residential Building within the Patrick Henry Drive Specific Plan Area Located at 4590 Patrick **Henry Drive** 
  - Recommendation: 1. Adopt the Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP) based on findings; and
    - Architectural 2. Approve the Review for the demolition of the existing 42,821 square-foot industrial building and construction of an eight-story, 284-unit multifamily residential building located at 4590 Patrick Henry Drive, subject to the findings and conditions of approval.
- 2. 24-1033 PUBLIC HEARING: Action on the Architectural Review for 1,960 Square-Foot **Addition** (PLN23-00554) Second-Story and 929 Square-Foot First-Floor Addition Resulting in a 5.091 Square-Foot Seven-Bedroom, Two-Story Residence Located 1776 Bowers Avenue.

**Recommendation:** Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), and **Approve** the Architectural Review for a 1,960 square-foot second-story addition and a 929 square-foot first-floor addition resulting in a 5,091 square-foot seven-bedroom, two-story residence located at 1776 Bowers Avenue, subject to the findings and conditions of approval.

3. 24-1049 PUBLIC HEARING: An Architectural Review (PLN24-00382) for the Demolition of 50% or more of an Existing 1,039.30 Square Foot Single-Family Residence to Construct a 2,396 Square Foot Four Bedroom, Three Bathroom, Single-Family Residence with an Attached Two-Car Garage on a 5.991 Square Foot Lot at 748 Clara Vista Avenue.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 Construction Conversion New or Structures), and Approve the Architectural Review for the demolition of 50% or more of an existing 1,039 square foot single family residence to construct a 2,396 square foot four bedroom, three-bathroom, single family residence with an attached two car garage on a 5,991 square foot lot at 748 Clara Vista subject to findings Avenue, and conditions approval.

24-1062 Public Hearing: Action on 4. the Architectural Review (PLN24-00457) for a 560 Square Foot First-Floor Addition and a Foot Second-Story Addition to 403 Square Existing One-Story Single-Family Residence to Construct a 3.704 Square Foot, Four Bedroom and Two Bathroom, Two-Story Single-Family Residence with a Junior Accessory Dwelling Unit on the Second Floor on a 9,384 Square Foot Lot at 762 Scott Boulevard.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), and Approve the Architectural Review for the 560 square foot first-floor addition and a 403 square foot second-story addition to an existing one-story single family residence to construct a 3,704 square foot four bedroom, two bathroom, two-story single family residence with a junior accessory dwelling unit on the second floor on a 9,384 square foot lot at 762 Scott Boulevard, subject to findings and conditions of approval.

5. **Architectural** 24-1011 **PUBLIC HEARING:** Action the Review on Existing (PLN24-00422) to Demolish the 857 Square-Foot Residence and Construct a New 3,907 Square-Foot, Two-Story Residence Located at 2836 Butte Street.

**Recommendation:** Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and Approve the Architectural Review to demolish the existing 857 square-footage residence and construct a new 3,907 square-foot, two-story residence, located at 2836 Butte Street, subject to the findings and conditions of approval.

#### **ADJOURNMENT**

The next regular scheduled meeting is on Wednesday, December 11, 2024 at 4 p.m.

#### **MEETING DISCLOSURES**

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



## City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

### Agenda Report

24-1122 Agenda Date: 11/13/2024

#### REPORT TO DEVELOPMENT REVIEW HEARING

### **SUBJECT**

Declaration of Procedures



# DEVELOPMENT REVIEW HEARING DECLARATION OF PROCEDURES

The Hearing Officer for this agenda will be Sheldon Ah Sing onbehalf of and delegated by the Acting Director of Community Development Reena Brilliot.

The hearing procedure and order of input will be as follows:

- 1. Each project will be identified as described on the agenda.
- 2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
- 3. For those items listed under Public Hearing, staff will provide a brief report.
- 4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
- 5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
- 6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
- 7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



### City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

### Agenda Report

24-1080 Agenda Date: 11/13/2024

#### REPORT TO DEVELOPMENT REVIEW HEARING

#### **SUBJECT**

PUBLIC HEARING: Continuance of an Architectural Review (PLN23-00290) for the Demolition of the Existing 42,821 Square-Foot Industrial Building and Construction of an Eight-Story, 284-unit Multifamily Residential Building within the Patrick Henry Drive Specific Plan Area Located at 4590 Patrick Henry Drive

File No: PLN23-00290

Location: 4590 Patrick Henry Drive, a 2.79-acre parcel located on Patrick Henry Drive between

Old Ironsides Drive and Calabazas Creek; APN: 104-04-123

**Applicant:** Katia Kamangar

Owner: 4590 Patrick Henry Drive LLC

Request: Architectural Review for the demolition of the existing 42,821 square-foot industrial

building and construction of an eight-story, 284-unit multi-family residential building within the Patrick Henry Drive Specific Plan Area. The project includes a tentative parcel map to subdivide the existing parcel into two parcels for the

development of a 0.55-acre park that will be dedicated to the City.

#### PROJECT DATA

The Project Data and Compliance Table is included in the October 16, 2024 packet link contained within Attachment 1.

#### POINTS FOR CONSIDERATION

- The project was continued from the October 16, 2024 Development Review Hearing to provide a perspective view from the Sunnyvale residential properties abutting the Calabazas Creek.
- The applicant provided the requested rendering in Attachment 2.
- Staff maintains a recommendation for approval as the project is consistent with the Specific Plan objective standards with exception of the requested waivers and concession available to the applicant under the State Density Bonus Law.

#### <u>Summary</u>

- The project site is a 2.79-acre parcel located within the Patrick Henry Drive Specific Plan Area (adopted in 2022) (Specific Plan), bounded by a mix of commercial and industrial uses to the north, Great America Parkway to the east, Mission Community College to the south, and the Calabazas Creek and the City of Sunnyvale to the west. See Vicinity Map in the October 16, 2024 packet link contained within Attachment 1.
- The project site has a Zoning and General Plan Land Use Designation of Urban Village which accommodates transit-oriented, multi-family residential development at very-high densities between five-12 stories within the Specific Plan. The residential density range for this zone is 100-149 dwelling units per acre.

• The existing site is currently developed with a one-story 42,821 square foot light industrial building and associated surface parking lot.

- The proposed project would demolish the existing building on-site and redevelop the parcel to construct a new eight-story 284-unit multi-family residential building.
- The residential development consists of 284 dwelling units. The building will be 86 feet tall to the top of the parapet and would have a density of 127 units per acre.
- Per the Santa Clara City Code Chapter 18.120(D)(3), the request requires Architectural Review approval through a Development Review Hearing.
- A portion of the project site also has a Zoning and General Plan Land Use Designation of Parks and Open Space as the project includes a tentative parcel map to subdivide the existing parcel into two parcels for the development of a 0.55-acre park that will be dedicated to the City.
- Initially the applicant submitted a Preliminary Application (File No. PRE22-00071) pursuant to Senate Bill (SB) 330 (Housing Crisis Act of 2019) and was deemed complete by the City.
- Consistent with SB 330, a timely formal application was submitted. As required by the City's Affordable Housing Ordinance, the project includes 15% of the total proposed units as affordable, representing 42 units. This breaks down to five percent (5%) at an average of 50% area median income (AMI), which is considered "very low income"; five percent (5%) at an average of 80% AMI (low income); and five percent (5%) at an average of 120% AMI (moderate income). Pursuant to State Density Bonus Law, because the project provides at least five percent (5%) of its base maximum units for very low income, amongst other benefits, it is also eligible for one concession and an unspecified number of waivers from development standards. The proposed project includes three waivers from the Specific Plan and one concession, all which staff has determined the project is eligible:
  - Waiver of Guideline 5.5.2.5 For buildings with ground-floor residential uses, locate kitchens and living rooms- rather than bedrooms and other more private areas-to face streets to maximize privacy and security.
  - Waiver of Standard 5.6.1.2 Limit the uninterrupted length of a building or complex to no more than 330 feet. For any building over 330 feet in length, break up the massing with a ground-floor inset or notch of at least 40 feet wide and 15 feet deep except for the edges fronting onto Mission College Boulevard.
  - Waiver of Standard 5.6.1.9 Buildings that border Calabazas Creek, starting at 70 feet, shall be articulated with a five-foot average step back from the street wall, including building recesses and protrusions, for a minimum of 50% of each creek frontage, provided it meets the 1:1 daylight plane shown in the General Plan. Balconies and other architectural elements such as louvers are permitted in the recesses.
  - Concession for Standard 5.3.1.3 Create a 20-foot-wide continuous pedestrian zone including seven-foot-wide clear walkway, and an amenity zone along the curb for trees, planters and street furniture. Allow 5-foot walkways where above-grade utility structures are present. Mixed-use frontages shall also include an activity zone adjacent to the building.
- Projects submitted pursuant to SB 330 are subject to streamlined review (limited to five public hearings) and need to only be consistent with objective standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and the public.

 As noted in the Findings section of this report, the project is consistent with the City's General Plan, the Specific Plan and Zoning Code.

• A public hearing notice was mailed to property owners within a 1,320-foot radius of the project boundaries for the October 16, 2024, Development Review Hearing date.

#### **Building Design**

- The proposed building will consist of a mix of studios, one-bedroom, and two-bedroom units.
- The building design is consistent with the Specific Plan in that it aims to connect the building, the proposed park, and outdoor spaces.
- The primary massing of the building includes six vertical tower elements that are focused along the public facing Patrick Henry Drive façade and the new park to the south.
- The building design incorporates canted walls to break down the apparent mass of the building. The materials will include tile and stucco with a warm natural tone and color.
- The remainder of the building features a proportionate arrangement of fenestration, with variation achieved through balcony placement and application of a light- and dark-color to contrast the natural tan color of the primary volumes.
- A courtyard is proposed on the fourth floor and a roof deck and lounge is proposed on the eighth floor. Other amenities proposed by the project include a social lounge, fitness space, clubroom, yoga room, pool, and pool deck.

#### Open Space and Landscaping

- The Patrick Henry Drive street frontage has a 20-foot-wide continuous pedestrian zone, including a seven-foot sidewalk and six-foot landscape strip.
- A final tree removal and replacement plan will be reviewed by Planning prior to building permit issuance. For trees that cannot be replaced on-site, consistent with conditions of approval, the applicant shall pay the in-lieu fees prior to building permit issuance.
- The project includes a landscape plan for the site that incorporates a mixture of plant species and trees for planting within common areas and courtyards.
- Site design of the project includes bioretention areas for post construction stormwater runoff and compliance with stormwater regulations.
- Pursuant to the Specific Plan, the proposed project includes the dedication of a new 0.55-acre
  park open to the public. This dedication represents slightly less than one-third of what will
  ultimately become a larger park that is identified in the Specific Plan. Once the adjacent
  property develops, the remaining portion of the park will be dedicated consistent with the
  Specific Plan.
- The new park design and programming is conceptual in nature with the final design to be reviewed by the Parks and Recreation Commission and then approved by the City Council.

#### Site Circulation and Parking

- At the project site, there are currently two full-access driveways on Patrick Henry Drive that are to be removed.
- A new 26-foot driveway is proposed along the southern portion of the site along Patrick Henry Drive. The driveway would provide resident and visitor access, as well as emergency vehicle access with a full 124-foot diameter turn-around at the end of the entry road.
- Because the project is located within one-half mile of the Santa Clara Valley Transit Authority (VTA) Light Rail station, the project is not subject to any parking requirements consistent with

Assembly Bill (AB) 2097 (2021). However, the project proposes up to 324 parking spaces with 310 spaces for residents and the remaining 14 parking spaces for guest parking. Vehicular parking is provided in a secure above grade garage on first three levels of the building.

- The Patrick Henry Drive street frontage will be improved with an eight-foot protected bicycle lane.
- Bicycle storage would be provided on the northwestern corner of the site. There is also an access-controlled dedicated bicycle storage room on the first level garage that can accommodate 284 Class I bicycles.

#### Findings Supporting Staff's Recommendation

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

#### **Findings**

- 1. That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;
  - While no parking is required, the project proposes structured parking located on the first three levels of the building, which is screened from view.
- 2. That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;
  - The project is consistent in intensity with the Patrick Henry Specific Plan and provides on-site
    and off-site infrastructure mitigations and improvements consistent with the Patrick Henry
    Specific Plan Final Environmental Impact Report.
  - Consistent with the Patrick Henry Drive Specific Plan, the project includes pedestrian improvements with development of the site to improve pedestrian connections to neighboring land uses.
- 3. That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;
  - The project is compatible in scale and intensity of the intended development within the Patrick Henry Drive Specific Plan .
  - The project is the construction of a 284-unit multi-family residential building at 127 dwelling units per acre consistent with the Urban Village Zoning and General Plan Land Use Designation for the site.
  - The project incorporates a mixture of exterior materials and architectural features to create visual breaks and interest in the design.
- 4. That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;
  - The project includes private on- and off-site improvements, that include private utilities and

landscaping to serve the development.

• The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.

- An approved Mitigation Monitoring and Reporting Program (MMRP) accompanies the project and shall be implemented throughout project development to reduce any potential physical impacts to less than significant.
- 5. That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;
  - The project is on balance consistent with the City's General Plan policies and the Patrick Henry Drive Specific Plan goals and policies, inclusive of its State Density Bonus Law requests.

#### **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

#### **ENVIRONMENTAL REVIEW**

On March 22, 2022, the City of Santa Clara certified the Patrick Henry Drive Specific Plan (Specific Plan) Final Environmental Impact Report (FEIR) and approved the Specific Plan. The intent and purpose of the Specific Plan FEIR was to provide program-level environmental review for the Specific Plan, while allowing for specific development projects that would implement the Specific Plan to tier from the FEIR to avoid redundant environmental review by focusing only on those issues that would be specific to a given project and site location.

An Initial Study and Mitigated Negative Declaration (MND) was prepared for the project by the environmental consultant firm David J. Powers & Associates, in accordance with the California Environmental Quality Act (CEQA). This MND tiers from the Specific Plan FEIR and provides site-specific analysis for the proposed project and assesses consistency of the project with the Specific Plan. The Draft MND and Notice of Intent were posted on the City's website at <a href="Environmental Review/CEQA">Environmental Review/CEQA</a> | City of Santa Clara (santaclaraca.gov) <

https://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa and available for public review for 30-days between April 26, 2024 and May 26, 2024, in accordance with CEQA requirements. Five comment letters were received during the 30-day review period.

- 1. City of Sunnyvale
- 2. Lakewood Village Neighborhood Association
- 3. John C. Gordon
- 4. Holland & Knight
- 5. Sarah Jackett

The response to these comments were prepared and are contained in the October 16, 2024 packet link contained within Attachment 1.

The Draft MND examined potential environmental impacts associated with project development and identified significant impacts for biological, hazardous materials, and noise and vibration topics.

Mitigation measures were identified for implementation that would reduce most of the significant project development impacts to less than significant levels. The measures and implementation schedule are identified in the Mitigation Monitoring and Reporting Program (MMRP) contained in the October 16, 2024 packet link contained within Attachment 1.

#### **PUBLIC CONTACT**

A community meeting for the proposed project was held on April 10, 2024. There were nine community members in attendance.

Public contact was also made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email <a href="mailto:clerk@santaclaraca.gov">clerk@santaclaraca.gov</a> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 1,320-foot radius of the project site on October 4, 2024. At the October,16, 2024 Development Review Hearing, the project was continued to the hearing of November 13, 2024. Given that the continuance was to a certain date, additional notice is not required for the continuance hearing.

#### RECOMMENDATION

- **1. Adopt** the Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP) based on findings; and
- 2. Approve the Architectural Review for the demolition of the existing 42,821 square-foot industrial building and construction of an eight-story, 284-unit multifamily residential building located at 4590 Patrick Henry Drive, subject to the findings and conditions of approval.

Prepared by: Steve Le, Senior Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

#### **ATTACHMENTS**

- 1. Staff Report Packet link for the October 16, 2024 Development Review Hearing
- 2. Perspective Rendering
- 3. Conditions of Approval
- 4. Development Plans

### Link to Staff Report Packet of October 16, 2024 Development Review Hearing for the proposed 4590 Patrick Henry Drive Residential Project

https://santaclara.legistar.com/LegislationDetail.aspx?ID=689 0691&GUID=B3DC9823-0146-442C-87BD-3D2A3E6E4894

This document and all attachments are available for review in the Community Development Department Planning Division office.





#### **Conditions of Architectural Review Approval**

#### PLN23-00290 / 4590 Patrick Henry Drive

**Architectural Review** for the demolition of the existing 42,821 square-foot industrial building and construction of an eight-story, 284-unit multifamily residential building within the Patrick Henry Drive Specific Plan Area.

#### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is <u>October 16</u>, 2026.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. Code Compliance. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
  - a. During construction retaining a single company to install all fire related penetrations is highly recommended.
  - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
  - c. All stair shafts shall be minimum 1-hour rated.
  - d. All elevator shafts shall be minimum 1-hour rated.
  - e. All trash chute shafts shall be minimum 1-hour rated.
  - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - g. Any trash rooms shall be minimum 1-hour rated all sides and above.

- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
  - a. Chapter 15.36 Energy Code for "all electric" provisions for new construction.
  - b. Chapter 15.38 Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

#### **COMMUNITY DEVELOPMENT - PLANNING DIVISION**

#### DESIGN / PERFORMANCE- PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1 (24-inch box trees) or 4:1 (15-gallon trees). (SCC 12.35.090)
- P3. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of 1:1 (36-inch box tree or 48-inch box) or the Applicant shall pay the in-lieu fee (prior to building permit issuance) for the trees cannot be replaced on-site based on the 2:1 tree replacement ratio as determined by the Director of Community Development. (SCC 12.35.090(C)(8))
- P4. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.

#### **DURING CONSTRUCTION -- PRIOR TO OCCUPANCY**

- P5. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P6. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P7. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

#### **OPERATIONAL CONDITIONS**

- P8. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P9. Transportation Demand Management (TDM) Program (Residential Project). The owner or designee shall implement the project TDM program that includes elements to reduce vehicle miles traveled (VMT) by 20 percent with 10% through active TDM measures per the City's 2022 Climate Action Plan. A final TDM plan shall be submitted to the Director of Community Development or designee prior to Building Permit Final by the Planning Division. The property owner or designee shall monitor the project TDM program and submit an annual report to the Director of Community Development or designee. Monitoring and reporting requirements may be revised in the future if the minimum reduction is not achieved through the measures and programs initially implemented.

#### **MITIGATION MEASURES**

P10. **Mitigation Monitoring and Reporting Program.** The Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

#### **COMMUNITY DEVELOPMENT - BUILDING DIVISION**

#### DESIGN / PERFORMANCE- PRIOR TO BUILDING PERMIT ISSUANCE

- BD1. Addressing. Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
  - a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: https://msc.fema.gov/portal/home. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
  - a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. Water Pollution Control. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices <a href="http://www.scvurppp-w2k.com/nd\_wp.shtml">http://www.scvurppp-w2k.com/nd\_wp.shtml</a>. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management

Practices (BMP): <a href="http://www.scvurppp-w2k.com/construction\_bmp.shtml">http://www.scvurppp-w2k.com/construction\_bmp.shtml</a>, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:

- <a href="https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention">https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention</a> and will be routed to a contract consultant for review.
- BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

#### **DURING CONSTRUCTION**

BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

#### **COMMUNITY DEVELOPMENT - HOUSING DIVISION**

H1. Patrick Henry Specific Plan (Residential Rental Project 10 or More Units. In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 284 units rental residential development.

The Applicant shall provide not less than fifteen percent (15%) of the units (42.6 units) to affordable households made available at affordable rental prices to households at fifty percent (50%) of Area Median Income (AMI), eighty percent (80%) of AMI and one hundred twenty percent (120%) of AMI. The 15% affordable units shall be split equally between the three affordability levels provided. This means 14.2 units shall be provided at each AMI (50%, 80% and 120%). For the fractional unit of .6, the project may pay an inlieu fee of \$112,118.80 or provide a full unit at 50% AMI. Affordable units shall be reasonably dispersed throughout the project and shall on average contain the same number of bedrooms and shall be comparable to the design of the market-rate units in terms of appearance, material and finished quality of the market rate units in the project. Affordable units shall have the same access to the project amenities and recreational facilities as market-rate units.

Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the affordable rents and apply all terms and covenants guaranteeing the prescribed affordability, to the satisfaction of the Director of Community Development. Satisfaction of the affordable housing obligation shall be memorialized in the AHA and subject to City Council approval. There will be a fee for the AHA preparation in the amount of \$5,868 that will be due prior to execution of the AHA. Additionally, there is an annual monitoring fee per affordable unit in the amount \$127. Please note all fees are based on the current Municipal Fee Schedule in effect at the time the project is approved and must be paid prior to the issuance of the occupancy certificate for the project.

#### FIRE DEPARTMENT

#### DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- F1. Hazmat Clearance. Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F1. Hazmat Clearance. Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight mangers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at <a href="mailto:fchun@santaclaraca.gov">fchun@santaclaraca.gov</a> for more information.

F2. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow

- can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- Fire Hydrants. Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F4. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
  - Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the "entire" face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.
  - For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the "minimum" unobstructed vertical clearance shall not be less than 13 feet 6 inches.

<u>or</u>

- For all other areas, the "minimum" unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The "minimum" width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.

- The "minimum" width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials
  apparatus operations to sweep opposing sides of a building. Other obstructions
  such as site lighting, bio-retention, and architectural features are reviewed caseby-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed alone fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to "be recorded" with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE's) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F6. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F7. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- Fire Department Access. Prior to issuance of the Building Permit, a gate permit is required to obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8' 10') above grade.

- F9. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.
- F10. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.
- F11. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

#### **DURING CONSTRUCTION - PRIOR TO OCCUPANCY**

- F12. Shared Fire Protection Features that Cross Property Lines. Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F13. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

#### Special Conditions for Patrick Henry Specific Plan

F14. Prior to issuance of the Certificate of Occupancy, the Developer shall deposit with the City \$2,301,050 for the City's purchase of a tractor-drawn aerial apparatus in accordance with the Patrick Henry Specific Plan Area Infrastructure Impact Fee Nexus Study and Fire Department requirements (Ordinance No.2046). The City shall then use these funds to procure and purchase the tractor-drawn aerial referenced above so that there is no delay in issuing a Certificate of Occupancy for the Developer's Project. The Developer is not obligated to directly purchase, procure or acquire the apparatus or associated equipment. This condition will be satisfied once the Developer has paid the \$2,301,050 to the City. The Developer shall be eligible to receive a Certificate of Occupancy or any other permit or approval conditioned upon payment. The amount of \$2,301,050 is subject to the same annual escalator used for the Patrick Henry Drive Specific Plan Infrastructure Fee. Any reimbursement or credit sought will be communicated to and handled by DPW and follow city established practices and policies.

#### PARKS & RECREATION DEPARTMENT

PR1. **Park Impact Fees.** This memo assumes the Project is not a subdivision and the Mitigation Fee Act (MFA) provisions will apply. Although a Vesting Tentative Map was filed, it was filed to create a separate parcel for the proposed public park to be dedicated to the City. The project will generate an estimated 682 residents (2.4 persons/household x 284 units). Based on the MFA standard of 2.6 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 1.7722-acres. The equivalent fee due in lieu of parkland dedication prior to eligible credits would be \$10,680,956.

- PR2. Any in-lieu fees imposed under Chapter 17.35 shall be due and payable to the City prior to issuance of a building permit for each dwelling unit.
- PR3. Calculations may change if the number of units change and/or if any areas do not conform to the Ordinance and City Code Chapter 17.35.
- PR4. Developer to dedicate a public park in fee title to the City to help mitigate the impact of the new resident demand. The park parcel should be free of encumbrances. Per the Patrick Henry Drive Specific Plan (Specific Plan), the land value of the dedicated park may be reduced due to encumbrances and items required in City Code.
- PR5. The City acknowledges that for this project, the requirement for 3 of the 8 elements has been met, and the City will agree to accept the turfed play field with an area totaling 6.957 sq. ft.
- PR6. **Building Permit Payment of In-Lieu Fees.** Developer proposes to dedicate a 0.559-acre (24,370sf) park with the following easements/encumbrances that restrict the uses of the park and affect the value of the land:
  - a. PG&E easement that is 15-feet wide and totals 2,361sf (0.0542-ac).
  - b. Riparian Mitigation Measure that is approximately 67-feet wide by 91-feet wide on the west side because the developer and its consultant determined they were unable to locate any off-site options 6,098sf area (0.1400-ac).
  - c. A new joint trench line in the sidewalk.
  - d. A pad mounted transformer.
  - e. A switch vault 144sf.
  - f. Set back requirements for the transformer and switch vault.
- PR7. Due to the location of the residential building, the project requires mitigation. It is the City's understanding that the developer has been unable to secure mitigation offsite and the City has agreed to accept the mitigation onsite. Given this concession, no additional credit will be provided. The City will accept the easements noted above in the park parcel to meet the requirement of the PHD Specific Plan. In exchange for accepting these restrictions, (1) both the area of the PG&E easement and the area of the riparian mitigation will be deducted from the acreage eligible for parkland credit and (2) the developer will maintain the park parcel for the life of the park at Developer's sole cost (also outlined in the Specific Plan). Therefore, the area of the dedicated park parcel eligible for park credit is 15,911 sq. ft. (0.3653-acres).
- PR8. **Building Permit Payment of In-Lieu Fees.** The balance of the fees due in lieu of parkland dedication is \$8,916,557.
- PR9. The public park design must follow the public input/design review and approval process and meet the Department's "Park Amenity & Design Standards" and the City standards. Due to the nature of the changes to the park, the developer will be required to return to the Parks & Recreation Commission (PRC).
- PR10. After Council's review and approval of the park design, Developer shall arrange a premeeting with this department to review next steps and the schedule for design development (DD) and construction documents (CD) plan reviews. Park construction plans will then be submitted through Accela, the City's Permitting Online Portal, before construction can begin.
- PR11. Developer to enter into a Park Improvement Agreement with the City. An updated template will be provided by this Department. The Agreement will require City Council review and approval. Once Council approves the Agreement, it will be recorded with the County of Santa Clara before park construction can begin.

- PR12. Developer to enter into a Park Maintenance Agreement with the City to maintain the park for the life of the park per the Specific Plan and in exchange for accepting all easements and riparian mitigation requirements within the park parcel. Should there be a Community Facility District formed for this Specific Plan area, the maintenance responsibilities can be revisited.
- PR13. **Building Permit Dwelling Unit Tax.** Dwelling Unit Tax. A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 31 studio units, 160 one-bedroom units, and 93 two-bedroom units, for a total DUT of \$4.725.

#### POLICE DEPARTMENT

PD1.

#### **PUBLIC WORKS DEPARTMENT - ENGINEERING**

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. Site Clearance. Patrick Henry Drive Specific Plan Public Infrastructure Fee
  - This Project is subject to the Patrick Henry Drive Specific Plan Public Infrastructure
    Fee (Infrastructure Fee) which shall be used to fund the construction of Patrick
    Henry Drive Specific Plan Public Infrastructure (PHD Public Infrastructure). The
    Infrastructure Fee is to be based on a per new residential unit and new office
    square footage basis, is subject to annual escalation per the Engineering News
    Record and is due prior to the issuance of Building Permits.
  - If PHD Public Infrastructure is constructed, provided, or paid for by the developer, the City will credit the developer for those items when determining the final Infrastructure Fee due. PHD Public Infrastructure improvements are to be included within the Encroachment Permit issued for the Project.
  - If the amount of PHD Public Infrastructure is greater than the amount of Infrastructure Fee required for this project, the City and Developer will enter into an agreement for the City to reimburse the developer the difference in cost. This Agreement is subject to approval by the City Council and reimbursement to the developer is also subject to the availability of funds within the Patrick Henry Drive Infrastructure Fee Fund.
- E3. **Site Clearance.** If the developer submits for a Building Permit that causes the total dwelling units to equal or exceed 1,886 dwelling units for the total Building Permit submittals of dwelling units within the entire Patrick Henry Drive Specific Plan area, the developer shall construct the sanitary sewer improvements to move the flow to Great America Parkway via Patrick Henry Drive (including the Great America Parkway upsizing and lowering). The sanitary sewer improvements shall be completed and placed into service prior to developer submitting any request for occupancy.
- E4. **Easement.** Obtain City Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.
- E5. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees. Subdivision map shall be recorded prior to building permit issuance.

- E6. **Design.** Developer shall provide the overall design (construction ready drawings) and phasing recommendations of the Patrick Henry Drive Specific Plan area sanitary sewer infrastructure system (including the Great America Parkway upsizing and lowering) improvements prior to building permit issuance. Design and phasing recommendations shall include, but not be limited to, the following:
  - Intermediate design submissions at 60%, 90%, and 100% for City review and comment.
  - Phasing plan for the build out of the work (include sanitary sewer lateral reconnection for proposed and existing properties).
  - Sewer design may result in additional utility relocation and shall be considered during design.
  - Layout of all utilities within the PHDSP area will be necessary.

Sanitary sewer design work is eligible for reimbursement up to 15% of the construction value via the Patrick Henry Drive Specific Plan Infrastructure Fee. Developer to meet with the Public Works Department to discuss necessary construction of project specific extents for the sanitary sewer system.

#### **DURING CONSTRUCTION**

- E7. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E8. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E9. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E10. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E11. **Encroachment Permit.** Developer to meet with the Public Works Department to discuss necessary design and construction of project specific extents for the sanitary sewer system subject to reimbursement via the Patrick Henry Drive Specific Plan Public Infrastructure Fee.
- E12. **Encroachment Permit.** Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E13. **Encroachment Permit.** All storm drain mains and laterals, sanitary sewer mains and laterals shall be outside the drip line of mature trees or 10' clear of the tree trunk whichever is greater.

- E14. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E15. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E16. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E17. **Agreement.** If requested, Developer/property owner shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.
- E18. **Agreement.** If requested, Developer/property owner shall prepare and submit for City approval a maintenance plan for all public storm water treatment facilities installed within the public right-of-way or public easements prior to encroachment permit issuance.
- E19. **Encroachment Permit.** The half street of Patrick Henry Drive along the project frontage shall be treated with 3" grind and overlay with digouts.

#### **TRAFFIC**

#### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- TR1. **Design.** A transportation impact analysis is not required as the project is covered under the Patrick Henry Specific Plan TIA.
- TR2. **Design.** A VMT analysis is not required as the project is covered under the VMT analysis conducted for the Patrick Henry Specific Plan.

#### **DURING CONSTRUCTION**

- TR3. **Encroachment Permit.** Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.
- TR1. **Encroachment Permit.** Project shall comply with all requirements set forth in the Patrick Henry Drive Specific Plan including sidewalk width and bicycle requirements. Frontage along Patrick Henry Drive must include a 20' continuous pedestrian zone with minimum 7' walkway and 5' amenity zone.
- TR2. **Encroachment Permit.** This project triggers improvements at select intersections based on findings per the Patrick Henry Drive Specific Plan TIA. Applicant shall coordinate with the 3000 Patrick Henry Drive applicant for designing and constructing intersection modifications to add a second northbound left-turn lane at the Great America Parkway and Patrick Henry Drive intersection. This improvement also requires re-striping the westbound direction of Patrick Henry Drive between Old Ironsides Drive and Great America Parkway. This improvement is listed as one of the improvements contained within the Patrick Henry Specific Plan Infrastructure Fee that is 100% to be funded by the Specific Plan. This improvement cost shall be applied as a credit towards the PHDSP Infrastructure fees owed by Developer or reimbursed to Developer. The above traffic mitigation

- improvements shall be completed and placed into service prior to issuance of a certificate of occupancy.
- TR3. **Encroachment Permit.** Improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- TR4. **Encroachment Permit.** All proposed driveways shall be constructed per City Standard ST- 8.
- TR5. **Encroachment Permit.** Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.
- TR6. **Encroachment Permit.** Upon repaving of Patrick Henry Drive, install two 18-foot travel lanes with 12-foot center turn lane. Remove and transition existing striping outside the paving area to new striping as specified by the Traffic Engineer. Future 8-foot Class IV bike lane, which includes a 3-foot wide buffer zone with bollards, shall be installed with future developments.
- TR7. **Encroachment Permit.** Relocate existing bus stop to south of the proposed signalized intersection of Patrick Henry Drive/New East-West Roadway as shown in the Patrick Henry Drive Specific Plan Figure 4.6.2.1B. Coordinate with VTA, plan.review@vta.org for relevant standards and improvements required at the new stop. Copy City Planner in email and submit brief description of project and construction plans.
- TR8. **Encroachment Permit.** Project shall implement any improvements identified by VTA at existing bus stops fronting the project site.
- TR9. **Building Permit.** The location and quantity of Class I and Class II bicycle parking shall be placed in accordance with recommendations set forth in the Patrick Henry Drive Specific Plan Section 4.6.3.4 and Section 5.2.4.5.
- TR10. **Building Permit.** Provide trash pick-up on-site.
- TR11. **Building Permit.** Provide loading/unloading zone on-site.

#### STREETS DIVISION

Right of Way Landscape

#### DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

- L1. **Tree Preservations Specifications.** Include <u>City of Santa Clara Tree Preservation/City</u>
  <u>Arborist specifications</u> on all improvement plans.
- L2. **Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. **Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

#### **DURING CONSTRUCTION OR OPERATION**

L4. **No Public Root Cutting.** No cutting of any part of *public*, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

#### PRIOR TO FINAL OF BUILDING PERMIT

L5. **In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final. This fee can be combined with Community Development Tree Removal Replacement -offsite fee with Department coordination.

#### Solid Waste

#### DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

- SW1. Post-Construction Solid Waste Generation Estimation and Collection Form. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at <a href="mailto:Environment@SantaClaraCA.gov">Environment@SantaClaraCA.gov</a> or (408) 615-3080 for more information.
- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and a trench drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- Construction Waste Diversion. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool http://santaclara.wastetracking.com/.
- SW4. Authorized Service Haulers. This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

#### **DURING CONSTRUCTION OR OPERATION**

SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

#### PRIOR TO FINAL OF BUILDING PERMIT

SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

#### Stormwater

#### DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3

- Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3rd Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST8. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST9. **Architectural Copper.** The use of architectural copper is prohibited.

#### **DURING CONSTRUCTION OR OPERATION**

- ST10. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST11. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants.
- ST12. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3<sup>rd</sup> party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST13. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST14. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.

- ST15. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping Flows to Bay" on any storm drains located on private property.
- ST16. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

#### PRIOR TO FINAL OF BUILDING PERMIT

- ST17. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST18. **3**<sup>rd</sup> **Party Concurrence Letter. 3**<sup>rd</sup> Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3<sup>rd</sup> party inspection report on the C.3 stormwater facility installation.
- ST19. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST20. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. Environmental Services at (408) 615-3080 or <a href="Street@SantaClaraCA.gov">Street@SantaClaraCA.gov</a> for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <a href="http://santaclaraca.gov/stormwater">http://santaclaraca.gov/stormwater</a>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

# SILICON VALLEY POWER GENERAL

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP Rules and Regulations: Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.

#### **SVP3. SVP Equipment Clearances:**

- a. Access Doors: Ten (10) foot minimum clearance in front of equipment access doors
- b. **Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
- c. **Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
- d. Barrier pipes: (on sides accessible to vehicles)
  - i. Thirty (30) inches from equipment sides.
  - ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

#### SVP4. **SVP Conduit Clearances:**

- a. **Longitudinal**: Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical**: Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.

- c. **Poles/Posts**: Three (3) foot six (6) inches clearance required from poles (electrolier, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

#### SVP5. SVP Vault/Manhole Clearances:

- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
- b. Three (3) foot minimum from face of curb. (bollards required for vaults).
- SVP **Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

#### SVP7. Tree Clearances:

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
- e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.
- SVP8. **SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).
  - a. UG1000 Installation of Underground Substructures by Developers
  - b. UG1250 Encroachment Permit Clearances from Electric Facilities
  - c. UG0339 Remote Switch Pad
  - d. OH1230 Tree Clearances from Overhead Electric Lines
  - e. SD1235 Tree Planting Requirements Near Underground Electric Facilities
  - f. UG1225 Pad mounted Equipment Clearances and Protection
  - g. UG0250 High Density Residential Metering Requirements
  - h. FO-1901 Fiber Optic Splicing and Testing Methods
  - i. SVP Rules and Regulations Latest Edition

#### SVP9. **SVP Standards, Miscellaneous:**

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka "real dirt") and cannot be supported on parking garage ceilings or placed on top of structures.
- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.

c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

#### SVP10. **Meter Locations:**

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

#### **SVP11. Underground Service Entrance**

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be "privately" owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

#### SVP12. Code Sections:

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City's acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system per Santa Clara City Code chapter 17.15.210 (2).

#### SVP13. Existing Facilities:

a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.

- b. Any relocation of existing electric facilities shall be at Applicants expense.
- SVP14. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

#### DESIGN / PERFORMANCE - PRIOR TO ISSUANCE OF BUILDING PERMIT

- SVP1. **Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.
- SVP2. **SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA's must be met, or variance approvals must be granted by SVP. The developers' work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.
- SVP3. **Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications.
- SVP4. **Applicants Switchgear:** All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP's meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.
- SVP5. **AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

SVP6. **Easements**: Prior to the City's issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5' minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).

- SVP7. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.
- SVP8. **Applicants Switchgear:** Applicants' switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP9. **Electric Facilities:** Prior to the City's issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.
- SVP10. **Municipal Fees:** Prior to electric service energization, all applicable fees per the City of Santa Clara's Municipal Fee Schedule shall be paid by the applicant.
- SVP11. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

# **OPERATIONAL CONDITIONS - AFTER OCCUPANCY**

SVP12. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

### **WATER & SEWER DEPARTMENT**

### DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT

- W1. **Recycled Water Use.** Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City's existing Recycled Water System.
- W2. **Recycled Water Design.** Each Recycled Water land use (irrigation, dual-plumbing, cooling system, industrial processes, etc.) shall have a separate metered service connection to the main. Applicant shall verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W3. **Potable Water Main.** The applicant shall replace the existing 12" AC water main on Patrick Henry Drive with a new 12" DIP pipe water main. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, the entire length of the property's frontage.
- W4. **Recycled Water Main.** The applicant shall replace the existing recycled water main on Patrick Henry Drive with a 12" DIP water main. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, the entire length of the property's frontage.
- W5. **Sanitary Sewer Main.** The applicant shall coordinate the onsite and offsite sewer improvements with the PHD Specific Plan sewer study and submit a design for the City's review. This will require the following:
  - a. <u>Design of PHD Sewer:</u> The applicant will be required to design the proposed sanitary sewer for the Patrick Henry Drive Specific Plan if the design has not been commissioned at the time of permit submittal.
  - b. <u>Construction of Frontage Improvements:</u> The applicant will install the portion of the proposed sewer main along the frontage property.

- c. <u>Design of Sewer Lateral:</u> Although, the new sewer lateral for the site shall connect to the existing system until all of the PHD sewer improvements have been installed, the new sewer lateral shall be designed at an elevation that will allow it to connect to the future PHD Sewer main.
- W6. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W7. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W8. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W9. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W10. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W11. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The

- applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W12. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W13. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W14. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W15. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W16. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W17. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

#### **DURING CONSTRUCTION**

- W18. City Standard Meters and Backflow Installation. No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.
- W19. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W20. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water

shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at <a href="https://www.santaclaraca.gov/waterconservation">www.santaclaraca.gov/waterconservation</a>.

#### PRIOR TO FINAL OF BUILDING PERMIT

- W21. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W22. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

#### **OPERATIONAL CONDITIONS**

W23. **Onsite Recycled Water Compliance.** An active onsite recycled water system is a regulated system that must continuously be in compliance with all State, SBWR and City code requirements and regulations. The applicant shall always maintain a certified Site Supervisor and prevent any cross-connections from occurring between the onsite regulated RW system and the other plumbing systems, especially the domestic water system. The Site Supervisor for this site shall work with to the Compliance Division of Water and Sewer Utilities to remain in compliance and report any changes to the regulated system.

#### KEY:

G = General

P = Planning Division

BD = Building Division

H = Housing & Community Services Division

F = Fire Department

PR = Parks & Recreation Department

PD = Police Department

E = Engineering Division

Streets Division (Landscape, Solid Waste, and Stormwater)

L = Landscape

SW = Solid Waste

SVP = Silicon Valley Power

W = Water & Sewer Department

# ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

# Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.







# **4590 PATRICK HENRY DRIVE**

PARCEL 16

Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

PCC SUBMITTAL - JUNE 6, 2023 PCC SUBMITTAL R1 - DECEMBER 19, 2023 PCC SUBMITTAL R2 - MARCH 5, 2024

■ OWNER: 4590 PATRICK HENRY LLC 101 CALIFORNIA STREET, SUITE 950 SAN FRANCISCO, CA 94111 OWNER'S REPRESENTATIVE: KASA PARTNERS

101 CALIFORNIA STREET, SUITE 950 SAN FRANCISCO, CA 94111

CONTACT: JAMES SUH EMAIL: JSUH@KASA-PARTNERS.COM ■ ARCHITECT:
BAR ARCHITECTS
77 GEARY STREET, SUITE 200
SAN FRANCISCO, CA 94108
TEL: 415.293.5700

CONTACT: DAVID CASEY EMAIL: DCASEY@BARARCH.COM BKF ENGINEER
BKF ENGINEERS
1730 N 1ST STREET, SUITE 600
SAN JOSE, CA 95112
TEL: 408.467.9100

CONTACT: CASEY JOHNSON EMAIL: CJOHNSON@BKF.COM ■ LANDSCAPE ARCHITECT
GLS LANDSCPAE/ARCHITECTURE
2677 MISSION STREET, SUITE 200
SAN FRANCISCO, CA 94110

TEL: 415.285.3614 X517 CONTACT: WENDY MOK EMAIL: WINGMOK@GLSARCH.COM

#### **GENERAL INFORMATION**

ADDRESS: 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA

PARCEL 16 (386 M 4-5) 104-04-123

PARCEL AREA: 121.737 SQ FT OR 2.7947 ACRES

PATRICK HENRY DRIVE SPECIFIC PLAN, MARCH 2022 SPECIFIC PLAN

URBAN VILLAGE (UV) ZONING: MULTI-FAMILY RESIDENTIAL PROPOSED USE:

#### **ZONING ANALYSIS**

GENERAL	REQUIRED	PROPOSE
HEIGHT LIMIT	160 FT	85 FT
NUMBER OF STORIES	12 MAX	8
GROSS RESIDENTIAL DENSITY	100 TO 149 DWELLING UNITS PER ACRE	127
AFFORDABLE HOUSING REQ	15% MIN	PROVIDED

SETBACKS

REAR

10 FT 10 FT 10 FT (NORTH), 43 FT (SOUTH) INTERIOR

PARKING REQUIREMENTS

UNITS < 550 SQ FT 0.5 SPACES PER UNIT UNITS > 550 SQ FT 1.0 SPACES PER UNIT SEE G002

0.05 SPACES PER UNIT VISITORS CLASS 1 BICYCLE PARKING SPACES 1.0 SPACES PER UNIT

SEE G002, A201, L100C & L100D CLASS 2 BICYCLE PARKING SPACES 1.0 SPACES PER 15 UNITS

OPEN SPACE REQUIREMENTS

0.555 ACRES PER PHD SPECIFIC PLAN SEE G004 PUBLIC PARK DEDICATION

NOT REQUIRED POPOS

#### **VICINITY MAP**



#### **PROJECT OVERVIEW**

THE PROJECT SITE IS A SINGLE 2.79 AGRE PARCEL LOCATED AT 4590 PATRICK HENRY DRIVE (THE "PROJECT SITE") IN THE PATRICK HENRY DRIVE (PHD) SPECIFIC PLAN AREA IN SANTA CLARA (THE "CITY"). IT IS CURRENTLY DEVELOPED WITH A 1-STORY, 42.821 SQUARE FOOT BUILDING WITH LIGHT INDUSTRIAL USE.

4599 PATRICK HENRY LIC, THE PROJECT APPLICANT (THE "APPLICANT"), PROPOSES TO DEMOUSH THE EXISTING STRUCTURE AND REDEVELOP THE PROPERTY WITH A MULTI-FAMILY HOUSING PROJECT INCLUDING AFFORMABE HOUSING THE "PROJECT", AND APPLY FOR BENEFITS TO WHICH IT IS ENTITLED PURSUANT TO THE STATE DENSITY BOOKUS LAW. SEE APPLICANT LETTER FOR ADDITIONAL INFORMATION.

Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

#### **SHEET INDEX**

NO	NAME	NO	NAME
00 - GET	VERAL	1500	PLANTING PALETTE
G000	COVER SHEET	L501	PLANTING PALETTE
G001	PROJECT INFORMATION	21	TO WING TALLITE
G002	PROJECT DATA		CHITECTURAL
G003	EXISTING SITE PHOTOS	A101	FIRE ACCESS PLAN - GROUND FLOOR
G004	OPEN SPACE DIAGRAMS	A102	FIRE ACCESS SECTIONS
G005A	BUILDING AREA DIAGRAMS	A103	CIRCULATION PLAN
G005B	BUILDING AREA DIAGRAMS	A104	PHD FRONTAGE
G006	BUILDING EGRESS	A201	GROUND FLOOR
8	DOLDING COILOG	A202	LEVEL 2
02 - CIV		A203	LEVEL 3
TM-1	VESTING TENTATIVE PARCEL MAP	A204	LEVEL 4 - COURTYARD
C1 0	EXISTING CONDITIONS	A205	LEVEL 5
C2.0	PRELIMINARY SITE PLAN	A206	LEVEL 6
C3.0	PRELIMINARY GRADING PLAN	A207	LEVEL 7
C4 0	PRELIMINARY UTILITY PLAN	A208	LEVEL 8 - ROOF DECK
C5.0	CROSS SECTIONS	A209	ROOF PLAN
C6.0	PRELIMINARY STORMWATER MANAGEMENT PLAN	A301	3D VIEW - SOUTH EAST
C6 1	PRELIMINARY STORMWATER MANAGEMENT	A302	3D VIEW - SOUTH WEST
00.1	DETAILS	A303	EXTERIOR FLEVATIONS
C6.2	BEST MANAGEMENT PRACTICES	A304	EXTERIOR ELEVATIONS
C7.0	PRELIMINARY FIRE ACCESS PLAN	A311	BUILDING SECTIONS
10		A312	BUILDING SECTIONS
03 - LAN	NDSCAPE	A401	UNIT PLANS - STUDIO
L001	TREE REMOVAL PLAN	A402	UNIT PLANS - 1 BED
L002	CITY ARBORIST SPECIFICATION AND TRE	A403	LINIT PLANS - 2 BED
	PROTECTION DETAIL	22	
L003	PRELIMINARY WATER EFFICIENT LANDSCAPE	05 - JT	
	WORKSHEET	INT1	JOINT TRENCH INTENT
L100	LANDSCAPE SITE PLAN - GROUND LEVEL	INT2	JOINT TRENCH INTENT
L101	LANDSCAPE SITE PLAN - LEVEL 4	2	
L102	LANDSCAPE SITE PLAN - LEVEL 8	06 - TRA	ASH
L100A	ENLARGED PLAN - GROUND LEVEL	TR0.0	SITE PLAN
L100B	ENLARGED PLAN - GROUND LEVEL	TR0.1	SITE PLAN
L100C	ENLARGED PLAN - GROUND LEVEL	TR1.0	TRASH ROOM LAYOUT
L100D	ENLARGED PLAN - GROUND LEVEL	3	
L100E	ENLARGED PLAN - PUBLIC PARK	SOLAR	STUDY
L100F	ENLARGED PLAN - PUBLIC PARK	SS 1	SOLAR STUDY
L101A	ENLARGED PLAN - LEVEL 4	1	
L102A	ENLARGED PLAN - LEVEL 8	TOTAL:	67
L110	LIGHTING PLAN - GROUND LEVEL	.01742.	
L111	LIGHTING PLAN - LEVEL 4		
L112	LIGHTING PLAN - LEVEL 8		
L400	MATERIAL PALETTE		
L401	PARK MATERIAL AND PLANTING PALETTE		

UNIT COU	NT/MIX BY	FLOOR													
TYPE	S1	S2 - PHD	1A	1B - SML	1C - CORNER	1D - DEEP	1E - CORNER	1F - COURT ACCESS	1G - L2 at FIRE TURN	2A	2B - SML	2C - PHD	2D - CORNER	2E - COURT ACCESS	TOTAL
MIN SIZE	18x30	18x36	24 x 30	24x27	40x25	22x35	22x35	24x30	26x35	35 x 30	35 x 27	35 x 36	31.5 x 36	34x30	
GSF	540	640	720	648	655	775	780	720	910	1015	945	1200	1075	1035	
LEVEL 1	1	1									2				4
LEVEL 2	1	1	3	2			1		1		6		2		17
LEVEL 3		2	3	2			1				3	3	3		14
LEVEL 4	3	2	15	2	8	1	1	1		8		3	2		46
LEVEL 5	3	2	16	2	10	1	1			8		3	4	1	51
LEVEL 6	3	2	16	2	10	1	1			8		3	4	1	51
LEVEL 7	3	2	16	2	10	1	1			8		3	4	1	51
LEVEL 8	3	2	15	2	10	1	1			8		3	1	1	47
TOTAL	17	14	84	14	48	5	7	1	1	40	11	18	20	4	284
	3	1				160						93			
UNIT MIX	11	L%				56%						33%			100%
													Unit Average	e	807

Rentable GSF	229,100

Level	Residential Rentable GSF*	Common Leasing / Lobby / Amenity GSF	Residential Core GSF**	Residential Total GSF	Efficiency	Garage Total GSF	Grand Total GSF
L1	3,500	10,600	3,600	7,100	49%	42,000	59,700
L2	15,200		4,700	19,900	76%	42,000	61,900
L3	16,400		4,700	21,100	78%	42,000	63,100
L4	37,000	3,500	7,000	44,000	84%		47,50
L5	40,000		7,000	47,000	85%		47,00
L6	40,000		7,000	47,000	85%		47,00
L7	40,000		7,000	47,000	85%		47,00
L8***	37,000	850	6,400	43,400	85%		44,25
Basement							
Total	229,100	14,950	47,400	276,500	83%	126,000	417,45

- NOTES:
  \*Residential Rentable CSF calculation includes exterior, corridor and party walls
  \*Residential Core GSF include corridors, upper filtor and mone in lobbies, stairs, elevators, res. level utility spaces, etc
  \*\*\* Common Open Space (Courtyard & Roof Deck) not included in Total Building Avea

12/19/2023

PARKING TABULATION										
ON-SITE	ON-SITE STALL DISTRIBUTION							REQUIRED		
	PARKING STALLS						Ī	RESIDENTIAL PARKING		
Level	Guest Uniform	Resident Uniform	Accessible		EV Compliant	Total		Dwelling Units Provided	284	
	8'-6" x 17"	8'-6" x 17'	9' x 18'	9' x 18'	8'-6" x 17"			Units > 550 gsf	267	
						0		Units < 550 gsf	17	
3		68		16	27	111		Parking Ratio Units > 550 gsf	1 to 1 Required:	267
2		68		16	27	111		Parking Ratio Units < 550 gsf	0.5 to 1 Required:	9
1	14	66	8	5	9	102		Guest Parking Ratio	1 to 0.05 Required:	14
								Car Share Parking	TBD Required:	0
Total	14	202	8	37	63	324			Total	290

PARKING STALLS		Accessible
Stall co	ınt Percer	
Residential Parking at 2% of stalls 3	10	2%
ential Guest Parking at 5% of stalls	14	5% 1
Total Accessible	e Parking Requ	uired 8
Total Accessible	Parking Prov	rided 8

PROVIDED ON SITE					
RESIDENTIAL PARKING					
Resident	310				
Guest Parking	14				
Car Share Parking	0				
Total	324				
	1.14				

<sup>\*</sup> Accessible stalls included in "required" and "provided" parking calculations

ELECTRIC VEHICLE (EV) PARKING CALCU	LATIONS*		
PARKING STALLS			
	Stall count	Percent	EV Total
First 20 Units - 1 Level 2 EV Ready	20	na	20
25% of Remaingin Stalls - 1 Level 2 EV Ready	290	25%	73
Remainging stalls - Low Power Level 2 EV Ready	232		232
Total E	V Compliant Par	king Required	324
Total E	V Compliant Par	king Provided	324

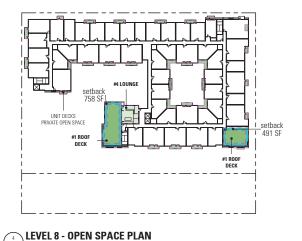
- \* EV and Clean Air stalls included in "required" and "provided" parking calculations
- \*\* Per CAL Green 4.106.4.2.2 Residential Mandatory Measures 10% of the total number of parking spaces provided for all types of parking facilities, capable of supporting future EVSE.

# \*\*\* Per CAL Green Non-Residential Mandatory Measures - EV stalls to be provided for non-residential uses per table 5:105.5.3.3 (10:25 stalls) NOTE: ONLY THE EV STALLS REQUIRED BY CAL-GREEN ARE ANTICIPATED TO BE SIZED 97X18', METING CAL-GREEN REQUIREMENTS.

BIKE PARKING			
	Count	Percent	Bike Rack
Class I - One space per two Dwelling Units	284	1:1	28
Class II - one per every 15 Units*	284	1:15	1
	Total Biks	Racks Provided	30

<sup>\*</sup> Class II racks = 2 bikes parked

COPYRIGHT© 2022 BAR architects 3. 4. 7. 10. 11. EXISTING SITE PHOTOS PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 **BAR** architects G003



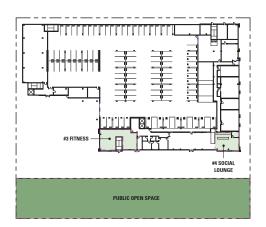
setback setback 1,929 SF 1,536 SF

#3 YOGA ROOM

PRIVATE OPEN SPACE

TYPICAL LEVELS 5-7 - OPEN SPACE PLAN

# COURTYARD 2.955 SF



**LEVEL 1 - OPEN SPACE PLAN** 

#### **OPEN SPACE LEGEND**

DEDICATED PUBLIC PARKLAND

COMMON COURT / DECKS PRIVATE UNIT DECKS

INTERIOR SPACE

#### THE FOUR PRIVATE OPEN SPACE AMENITIES MEETING SANTA CLARA CODE 17.35.070 F)

- LANDSCAPED AND FURNISHED, PARK-LIKE QUIET AREAS -- AREAS LABELED #1
- FAMILY PICNIC AREA AREAS LABELED #2
  GAME, FITNESS OR SPORT COURT AREA AREAS LABELED #3
  RECREATION CENTER BUILDINGS AND GROUNDS AREAS LABELED #4

CONCEPT	CONCEPTUAL OPEN SPACE AREA TABULATIONS										
	Private Unit	Common Deck	Open Space	Interior Lounge	Interior Fitness	Interior Yoga	Grand				
Level	Deck GSF	& Court GSF	Total GSF	Total GSF	Total GSF	Total GSF	Total GSF				
L1			0	1,125	1,620		2,745				
L2	500		500				500				
L3	500		500				500				
L4*	1,900	10,000	11,900	2,370		500	14,770				
L5	2,600		2,600				2,600				
L6	2,600		2,600				2,600				
L7**	2,600		2,600				2,600				
L8**	2,600	3,200	5,800	760			6,560				
Total	13,300	13,200	26,500	4,255	1,620	500	32,875				
50% QUALIFY											

NOTES:

\* Court area includes hardscape & landscape with area set 4' away from primary building wall.

\*\*Deck area is inclusive of railing and measured to building wall.

Interior spaces are measured insiade face of exterior walls and include all built elements (interior walls, cabinets, columns, etc).

**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

**LEVEL 4 - OPEN SPACE PLAN** 

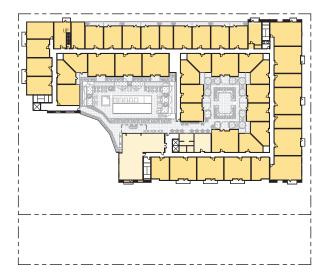
COURTYARD 7,178 SF#1 & #2

UNIT DECKS
PRIVATE OPEN SPACE

**OPEN SPACE DIAGRAMS** 

BARarchitects

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**BUILDING AREA LEGEND** 

SEE G002 FOR AREA TABULATIONS

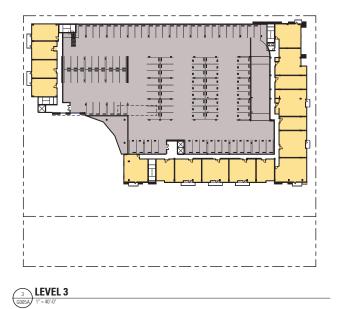
GARAGE / SERVICE

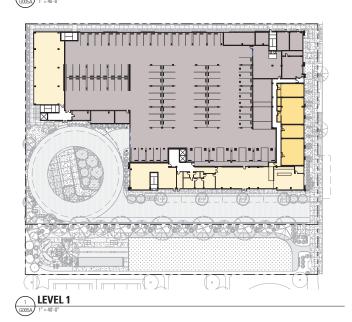
COMMON LEASING / LOBBY AMENITY

RESIDENTIAL

CIRCULATION

LEVEL 4





**PATRICK HENRY DRIVE** 

**BUILDING AREA DIAGRAMS** 

4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

03.05.24

**BAR** architects

G005A

LEVEL 2





3 **LEVEL 7**(2005) 1" + 40'-0"

1 LEVEL 5

BUILDING AREA LEGEND

SEE G002 FOR AREA TABULATIONS

GARAGE / SERVICE

COMMON LEASING / LOBBY AMENITY

RESIDENTIAL CIRCULATION

PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

BUILDING AREA DIAGRAMS

03.05.24

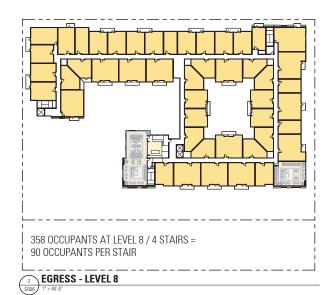
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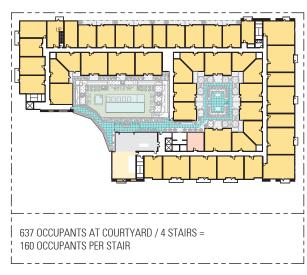
BAR architects

G005B

IPM C'00 REWTW990 Partick Herry Drive-A\_strujillo



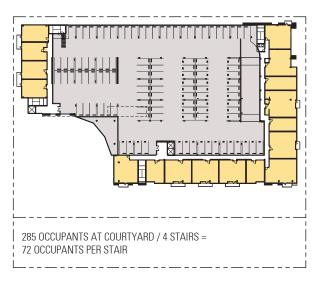






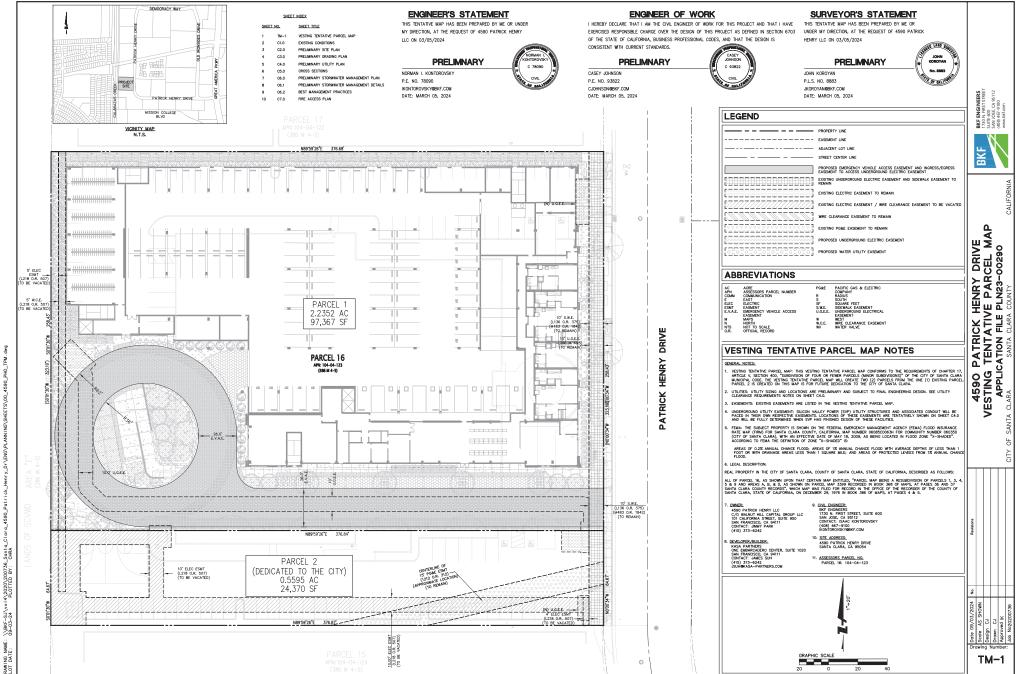
# **EGRESS NOTES**

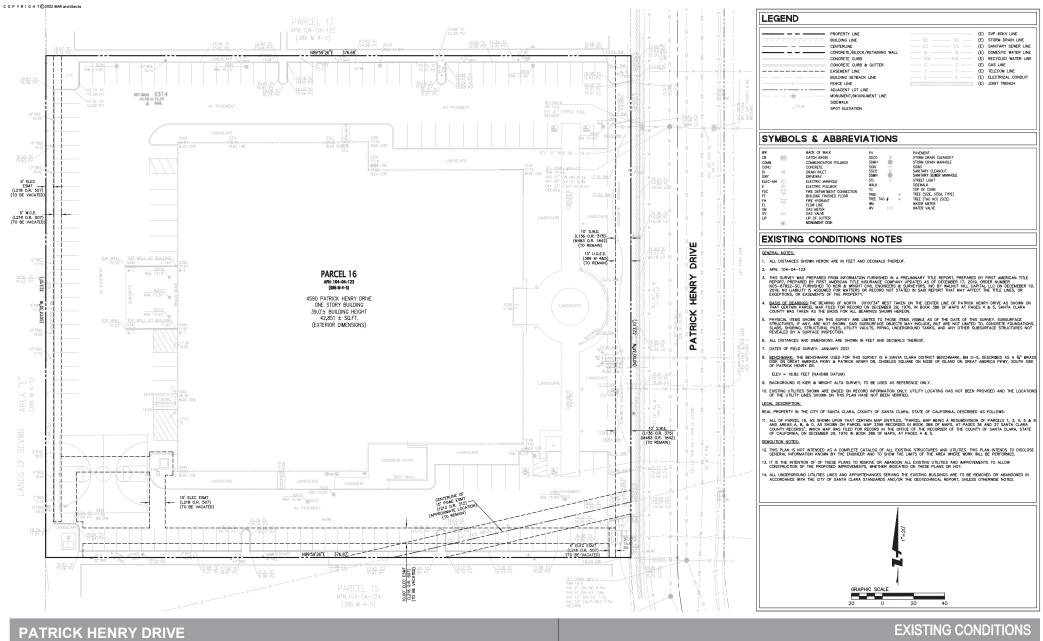
- PER 1005.3, STANDARD OCCUPANT LOAD MAXIMUMS FOR TYPICAL CONDITIONS ARE AS FOLLOW:
   A #6 MIN WIDE STAIR / .2" = 160
   b. 36" MIN WIDE ESTAIR / .2" = 160
   PER TABLE 1006.2 1 OCCUPANCY SPACES A, B, OR AM AME ALLOWED 1 EXT WITH OCCUPANT LOADS UNDER 49 OCCUPANTS.



**EGRESS - TYPICAL LEVELS 1-3** 

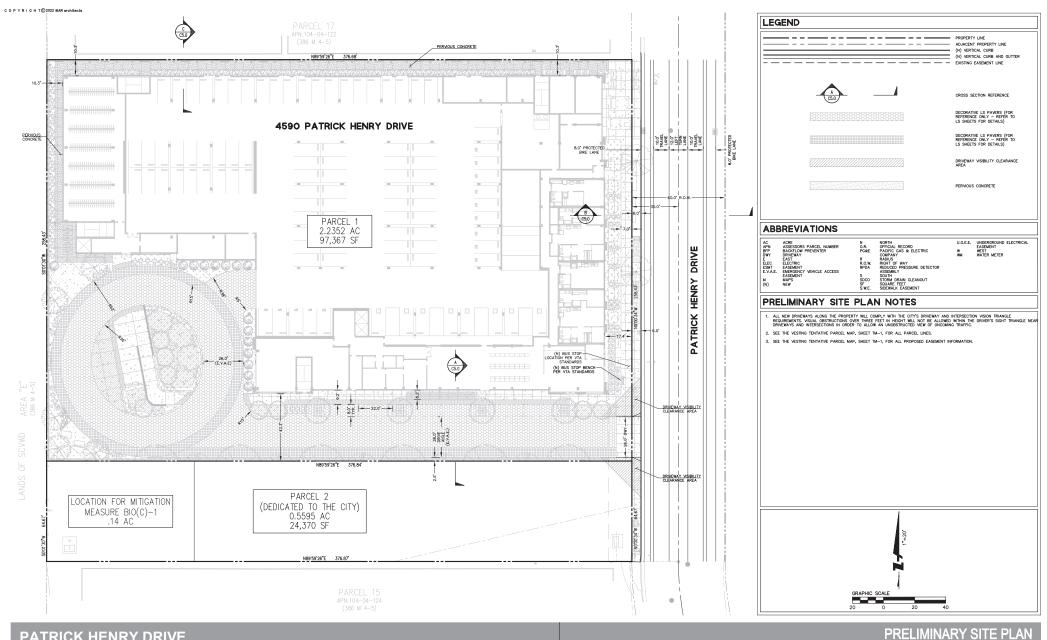
**BUILDING EGRESS PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 **BAR** architects G006 03.05.24



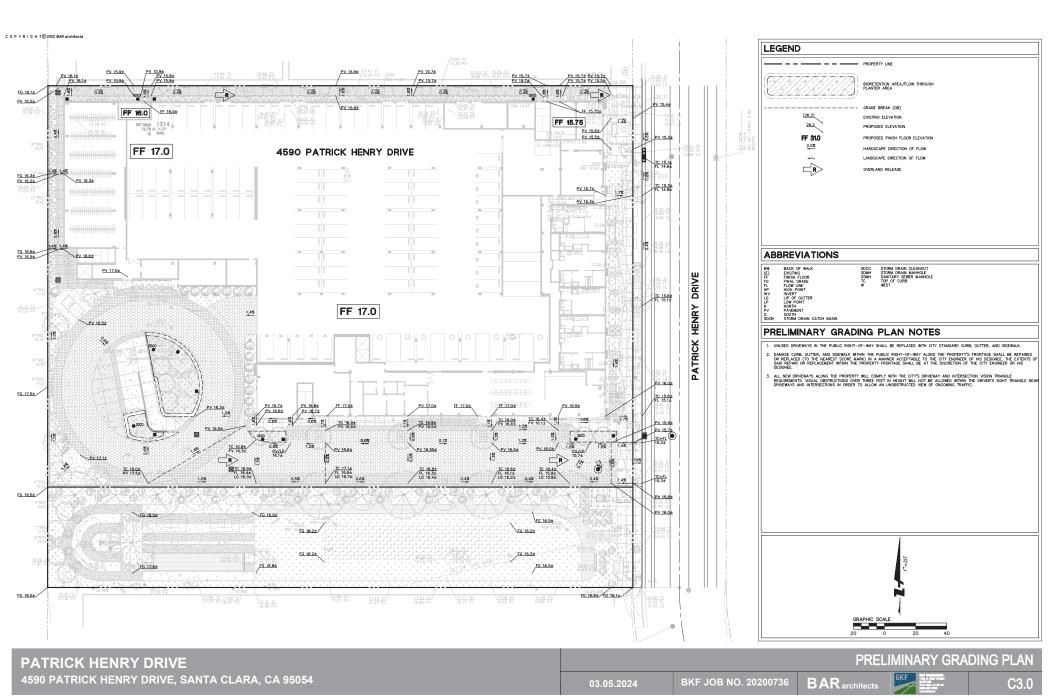


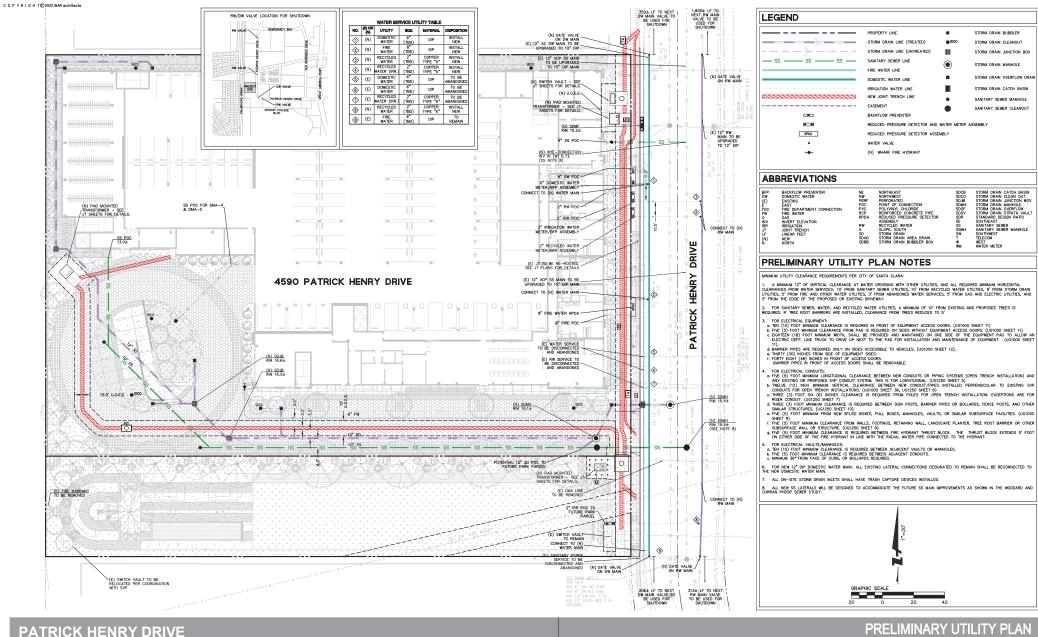
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

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PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

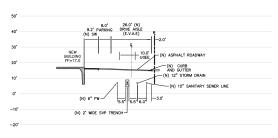




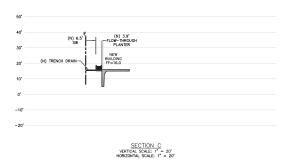
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

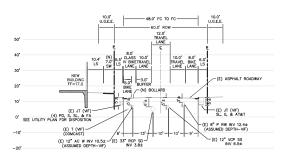
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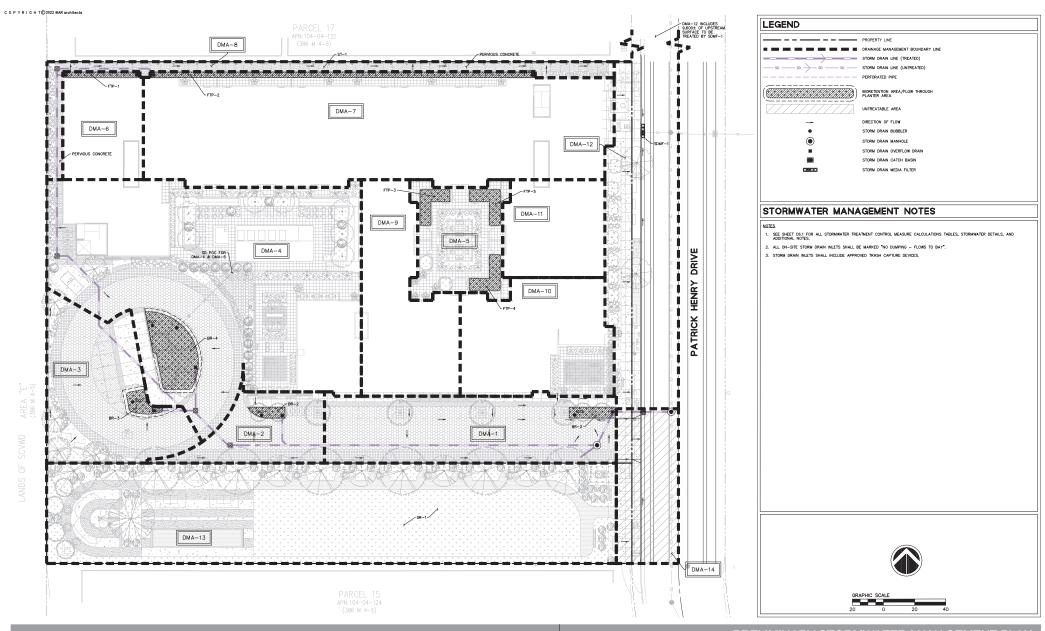


SECTION A
VERTICAL SCALE: 1" = 20"





SECTION B VERTICAL SCALE: 1" = 20" HORIZONTAL SCALE: 1" = 20"



PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 PRELIMINARY STORMWATER MANAGEMENT PLAN

BKF JOB NO. 20200736





	TREATMENT CONTROL SUMMARY TABLE										
DMA-#	TOTAL AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)'	SIZING METHOD <sup>2</sup>	TREATMENT REQUIRED (SF)	TREATMENT TYPE	TREATMENT MEASURE	TREATMENT PROVIDED (SF) <sup>8</sup>		
1	8,136	707	7,429	7,500	COMBO FLOW & VOLUME	209	BIO RETENTION	BR-1 (8" PONDING)	209		
2	3,375	378	2,997	3,035	4%	121	BIO RETENTION	BR-2	143		
3	7,094	1,614	5,480	5,641	COMBO FLOW & VOLUME	197	BIO RETENTION	BR-3	210		
4	24,938	4,825	18,841	19,324	4%	773	BIO RETENTION				
5	3,421	507	2,914	2,965	4%	119	BIO RETENTION	BR-4	1,162		
6	3,594	170	3,424	3,441	4%	138	FLOW THROUGH PLANTER	FTP-1	170		
7	21,419	965	20,454	20,551	4%	822	FLOW THROUGH PLANTER	FTP-2	902		
8	3,305	3,305	0	N/A	N/A	N/A	SELF-TREATING	ST-1	N/A		
9	6,943	254	6,689	6,714	COMBO FLOW & VOLUME	199	FLOW THROUGH PLANTER	FTP-3	254		
10	7,230	438	6,792	6,836	COMBO FLOW & VOLUME	207	FLOW THROUGH PLANTER	FTP-4	259		
11	4,332	259	4,073	4,099	4%	164	FLOW THROUGH PLANTER	FTP-5	259		
12	19,533	1,953	17,580	17,775	FLOW	0.08	STORM DRAIN MEDIA FILTER	SDMF-1	0.11		
13	23,724	15,264	8,460	9,986	2:1	4,993	SELF-RETAINING	SR-1	15,264		
14	3,986	0	3,986	3,986	N/A	N/A	IN-LIEU TREATMENT <sup>3</sup>	N/A	N/A		

#### MEDIA FILTER SUMMARY TABLE

DMA-#	TREATMENT TYPE	SIZING METHOD <sup>2</sup>	RUNNOFF COEFFICIENT (C)	DESIGN INTENSITY I (IN/HR)	DRAINAGE AREA (AC)	DESIGN FLOW	DESIGN FLOW Q (CFS)
1	SDMF-1	FLOW	0.90	0.20	0.45	FLOW <sup>FO</sup>	0.08

- LIES.

  I. EFFECTIVE IMPERMOUS AREA IS THE SIAN OF ALL IMPERVIOUS AREA PLUS TOX OF THE PERMOUS AREA.

  2. SIZNO METHOD FOR CHAPTER 5 OF THE 2016 SANTA CLARA URBAIN RINOOT POLUITION PREVENTION PROGRAM (SCVLRPPP)

  2. SIZNOMANTEN HARGOOD OFFICES TENERT AND SOURCEME PROMISED STAND FOR AND TO THE CASTON BEAST IN THE AND THE AND

- 5. NE TOTAL AREA OF DIALA-3 OCE NOT NICLUDE THE POOL, YEAR AS THOSE AMENIES FORM TO THE ANATHYS SERVE AS THOSE AMENIES FORM TO THE ANATHYS SERVE AS THE POOL AND THE POOL AND

#### SPECIAL PROJECT NON-LID TREATMENT REDUCTION CREDITS

CATEGORY C: TRANSIT-ORIENTED DEVELOPMENT

LOCATION CREDIT: 100% OF SITE IS LOCATED WITHIN A PDA 2. DENSITY/FAR CREDIT: \$ 100 DWELLING UNITS/ACRE
3. MINIMIZED PARKING CREDIT: 10% OR LESS SURFACE PARKING

TOTAL ONSITE EFFECTIVE IMPERMOUS AREA
MIN. 35% REQUIRED BY LID TREATMENT:
PROVIDED EFFECTIVE LID TREATMENT AREA:
PROVIDED EFFECTIVE NON-LID TREATMENT AREA:

AREA BREAKDOWN EXCLUDES ANY OFFSITE TREATMENT

#### SPECIAL PROJECT NON-LID TREATMENT CREDIT NOTES:

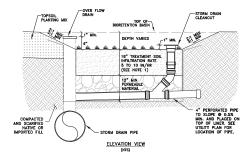
- 2. PROPOSED PROJECT DENSITY IS 127 DU/AC PER SITE DATA RECEIVED BY BAR.
- 3. LESS THAN 10% OF THE PROPOSED PARKING IS AT-GRADE SURFACE PARKING.
- MEDIA FILTER SIZING AND SPECIFICATIONS IS SUBJECT TO FINAL ARCHITECTURAL BUILDING DESIGN. MEDIA FILTERS WILL BE WASHINGTON G.U.L.D. AND T.A.P.E. CERTIFIED UNITS.

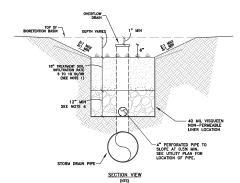
#### SOURCE CONTROL MEASURES

- 1. TRASH ENCLOSURES WILL BE ROOFED AND INTERNAL TO THE BUILDING
- 2. INTERNAL GARAGE DRAINS TO BE PLUMBED TO SEWER LATERALS.
- 3. "NO DUMPING FLOWS TO BAY" MARKING TO BE PROVIDED ON ALL STORM DRAIN INLETS.
- 4. REGULAR INSPECTION OF STORM DRAIN FACILITIES.

# CITY OF SANTA CLARA C.3 TREATMENT FACILITIES CONSTRUCTION NOTES

- DURING THE BEDINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A STE VIST (INSPECTION) BY A THRO-PAPEL REVIEWS ACCEPTABLE TO THE CITY OF SANTA CLARA HAIT THE NOTALLED PLANS. THE THE APPLICANT REVIEWS ACCEPTABLE TO THE CITY OF SANTA CLARA HAIT THE NOTALLED PLANS. THE THEO-PAPELY REVIEWS HAIL RECOMMEND THE REQUIRED INJURIES OF STE RESPECTIONS AT OFFICENT INTERVALS OF CONSTRUCTION, THE THRO-PAPELY REVIEWS HAUST BY A ONL PROMETER, ARCHITECT OR LANDSCAPE. THE THROUGH A LIST OF CONSTRUCTION, THE THRO-PAPELY REVIEWS OF AN ONLE THROUGH ARCHITECT OR LANDSCAPE. THE THROUGH A LIST OF CONTROL THRO-PAPELY REVIEWS CAN BE FOUND ON THE SANTA CLARA VALLEY URBAN RAIGHT POLITION PROCESSAM (SOUNDERP) WEBSTE AT
- 2. SOLIS IN THE BIORETENTION FAGILITIES SHOULD MEET THE BIOTREATMENT SOL MIX (BSM) SPECIFICATIONS FER SOLUMPIP C.S STOMMARIER HANGBOOK, APPEIDIX C. A MAINLAIN PERCUCATION REAT OF 5 NORES/HOUR AND A ALLOW FOR TEMBORY OF WINITERANN RATE TO REQUIRE COPET TIME; PLANTIN SOLIL LATER SHOULD BE AT LISTS IS NORES DEEP, CONTRACTOR TO SIJUMIT MATERIAL CERTIFICATES SCIENCE BY THE MATERIAL PRODUCER, CIRTIFFIND THAT SOLIC LOWELS WITH, OR SOCIEDES, SPECHER DECORPORATIS SIGNED BY THE MATERIAL PRODUCER, CIRTIFFIND THAT SOLIC LOWELS WITH, OR SOCIEDES, SPECHER DECORPORATIS WHITH OR MONTHS.
- PERMEABLE DRAIN ROCK SHALL BE CLASS 2 PERM ROCK PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIAL.
- PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATION FACED DOWN.
  LOCATION OF THE PIPE VARIES, SEE PLAN.
- 5. NISTILLATION OF PRICOLO PAREMENT AND/OR VALUES SHALL BE DONE FIRS STANDARD SETALS AND
  SPECIFICATION. FINE-CHAPT RESIDER OF WORDES SHALL INSPICE THE PROBLES PAREMENT AND/OR VAILES
  INSTALLATION (INCLUDIOS I NICESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONCURRENCE LETTER
  TO THE CITY OF SANTA CLARA.
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED TO VERIFY THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES.
- 7. FOR ANY LINER PENETRATIONS, RADIAL CUT THE LINER FOR PIPE. MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL
- 8. SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION FACILITIES





NOTE:
1. FOR TREATMENT SOIL SPECIFICATION, SEE APPENDIX C IN SCYURPPP C3 STORMWATER HANDBOOK.

- BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR MUST COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.
- 3. RESULT FROM A PERCOLATION RATE SHALL BE GREATER THAN 5.0 IN/HR AND LESS THAN 10.0 IN/HR.
- 4. DRAIN ROCK TO BE CLASS 2 PERMEABLE MATERIAL PER CALTRANS STANDARD SPECIFICATIONS, SECTION 68-2.02F.

#### **BIORETENTION BASIN DETAIL**

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 PRELIMINARY STORMWATER MANAGEMENT DETAILS

BKF JOB NO. 20200736

03.05.2024





# **Construction Best Management Practices (BMPs)**

Construction projects are required to implement year-round stormwater BMPs.

#### Materials & Waste Management



#### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm

#### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast
- $\hfill \square$  Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

#### Waste Management

- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the onstruction site.
- ☐ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, waterbased paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ☐ Keep site free of litter (e.g. lunch items, cigarette butts)
- ☐ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

#### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

#### Equipment Management & Spill Control



- ☐ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking. and storage
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite. clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts

#### Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil
- ☐ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazrd to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24

#### Earthmoving



#### Grading and Earthwork ☐ Schedule grading and excavation work

- during dry weather. ☐ Stabilize all denuded areas, install and. maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales etc.)
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

#### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks
- Abandoned wells - Buried barrels, debris, or trash.
- ☐ If the above conditions are observed. document any signs of potential contamination and clearly mark them so they are not distrurbed by construction

#### Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

#### Concrete Management and Dewatering



#### Concrete Management

- ☐ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area onsite. where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASOA Construction BMP Handbook for properly designed concrete washouts.)

#### Dewatering

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin tank, or sediment trap may be required
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

#### Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff. Cover storm drain inlets and manholes
- when applying seal coat, slurry seal, fog seal, or similar materials. ☐ Collect and recycle or properly dispose of
- excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

#### Sawcutting & Asphalt/Concrete Removal

- ☐ Protect storm drain inlets during saw cutting.
- ☐ If saw cut slurry enters a catch basin. clean it up immediately
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all

#### Painting & Paint Removal



#### Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste Lead based paint removal requires a statecertified contractor.

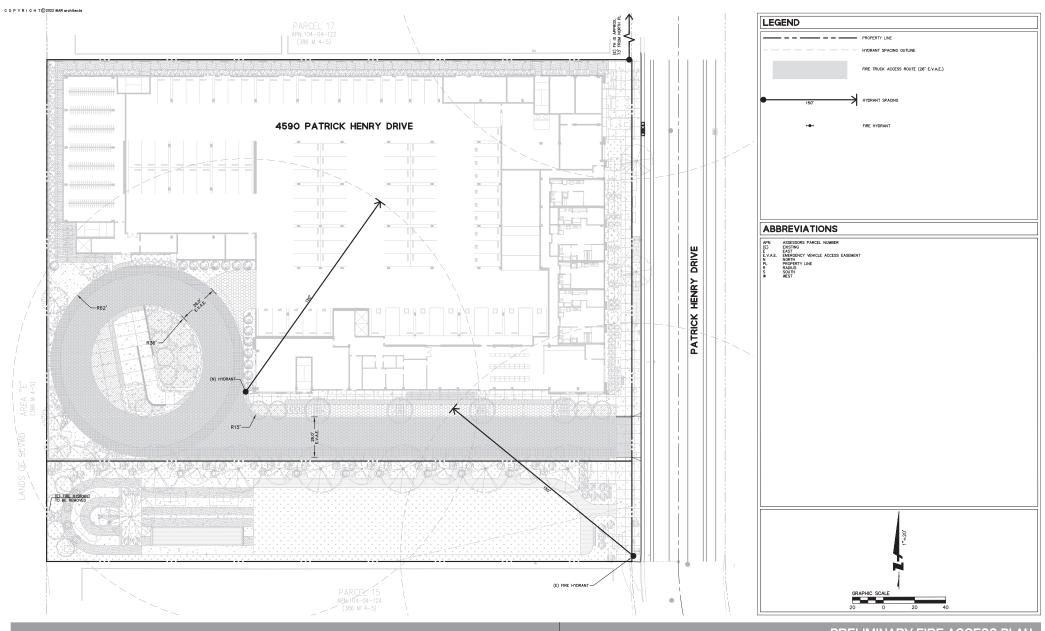


Storm drain polluters may be liable for fines of up to \$10,000 per day!

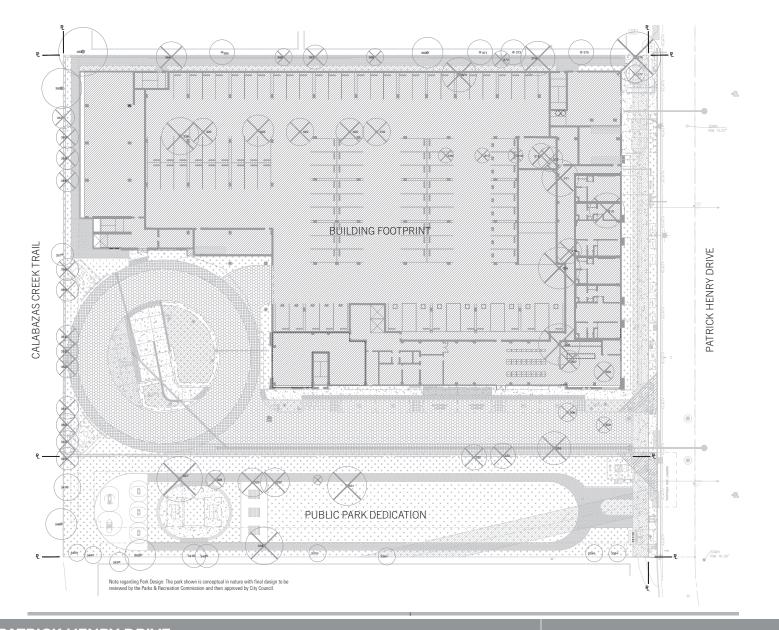


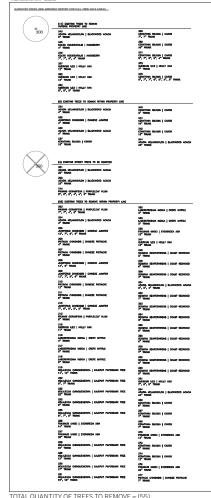


**BEST MANAGEMENT PRACTICES** 



PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 PRELIMINARY FIRE ACCESS PLAN





TOTAL QUANTITY OF TREES TO REMOVE = (55) REPLACEMENT RATIO = 2:1 = (110) 24" BOX TREES OR = 4:1 = (220) 15 GALLON TREES

#### TREE COMPENSATION:

TREE COMPENSATION:
THE PROJECT WILL PROVIDE (50) 15 GAL, (15) 24" BOX
AND (10) 36" BOX. THE TOTAL SUM OF NEW TREES
VALUE EQUALS (110) 15 GAL. THE REMAINING (110) 15
GAL REQUIRED REPLACEMENT TREES WILL BE COVERED
UNDER A LIEU FEE.

SCA

SCALE 1" = 20'

BARarchitects



L001

TREE REMOVAL PLAN

#### CITY ARBORIST SPECIFICATIONS

#### CITY OF SANTA CLARA ARBORIST NOTES

#### 1. GENERAL

- When construction occurs within the drip line of existing trees, contractor shall juli-be soil on the side eway from the tree. When this is not possible, place soil on dywood, tarp, or 4.0° thick bed of middle. This is no belp prevent cutting into the soil surface when the backhos or tractor blade refills the trees?
- licitly eyes treeches quickly within hours of occurration when they occur within the drap lite of exting time of exting times. Within a not of possible and the worder is het, they occur within the drap of the entire time of the extinct times to the extinct time of the extinct times to the entire time of the entire times to the entire time of the entire times in the entire time of the entire times is below merces and rever to an extreme time time time of the entire times is below merces and the entire times and rever to an extreme time time time times to the entire times and the entire times to the entire time time time times to the entire time time times to the entire time times to the entire times to the entire times to the entire time times times to the entire times times to the entire times times to the entire times to the entire times to the entire times times to the entire times to the entire times to the entire times times times times to the entire times times times times times times times times to the entire times ti
- Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any week requiring digging around or within the drip line of existing trees.

Page Lot 4

### CITY OF SANTA CLARA

egitivalent, as approved by the vity arborist or arborist employed by city. Fences shall vanish usuful all grading and countraction work in completed. In addition, varue all times with stars wantble up to the first stands branch, and there emp some free free for grazing the wantble on all trees in the construction rose to protect them from bush longer sound by the work.

- I.i. All grading within the drap line of city trees shall be done with approved light unabsecut under the direct supervision of the city arbeit of orderiot cregipted by the All grading medium has been despited by the property of the contract of the property of the prope
- When trenching is allowed, the contractor must first cut roots to eather prior to any trenching to avoid tagging or pulling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed be city due to an arborousin circumstance during remark setting shall be explained by the



#### CITY OF SANTA CLARA

#### IL BORING

Where there is insufficient space to by smarthe drip has by termining adjacent to existing tree in curves of 57.0BH, the installation must be made by herein. The logisming and earling distance of the keep from the face of the tree in any direction determined by the illumeter of the tree as specified by the accompanying table.

When the tree dis	motor at 44 fort in	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:			
0-2	inches	1	foot.		
23-6	Lisches	. 9	Sect.		
60	inches		feet		
10-14	trefies.	10	feet		
35-19	Incliné	18	feet		
over 19	inthes	16	feet		

Tree diameter	(minimum) depth of bore			
Simhestries	2.5 feet			
10-14 inches	3.0 feet			
15-19 inches	3.5 feet			
Mischesormore	-LO feet			

#### III TREE PROTECTION

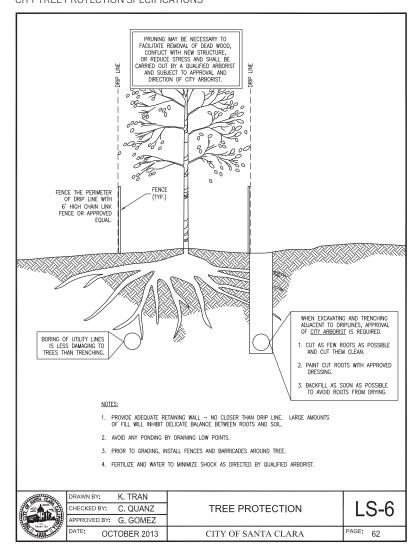


#### CITY OF SANTA CLARA

T motors	8 2,400
8 mebre	B 3,400
9 inches	8 4,400
10 inches	6 5200
11 inches	\$ 6200
12 inches	\$ 7,300
13 inches	8 8,200
14 inches	8: 9,300
15 Onder-	# 10,000
16 antitus	B 11,000
37 inches	8 12 000
18 inches and owe:	
Add for each catiper inch	6 1.300

Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

#### CITY TREE PROTECTION SPECIFICATIONS



PATRICK HENRY DRIVE

4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

CITY ARBORIST SPECIFICATION AND TREE PROTECTION DETAIL

03.05.2024

**BAR** architects



L002

#### **GROUND LEVEL**



#### LOW WATER USE = 2679 sq. ft.LEVEL 8 MODERATE WATER USE = 0 sq. ft. LOW WATER USE = 538 sq. ft.TOTAL MODERATE WATER USE AREA =4185 sq. ft.TOTAL LOW WATER USE AREA = 9072 sq. ft.

#### LEVEL 4



#### WATER EFFICIENT LANDSCAPE WORKSHEET

GROUND LEVEL: MODERATE WATER USE

LOW WATER USE

MODERATE WATER USE

LEVEL 2

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) is			is	43.00	ETAF for MAWA is		0.55	
Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method <sup>o</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq, ft,)	ETAF x Area	Estimated Total Water Use (ETWU)*	
Regular Landscape Area	as - Controller '/							
LOW WATER USE	0.30	DRIP	0.81	0.37	9072	3357	89498	
MODERATE WATER USE	0.50	DRIP	0.81	0.62	4185	2595	69183	
				Totals	13257	5952	158681	
				_	(A)	(B)		
Special Landscape A	Areas							
				1				
				1				
	]			1				
				Totals	0	0	0	
				•	(C)	(D)		
						158681		
				Maximum Al	lowed Water Allo	194387		

# LEVEL 8



ETAF Calculations:

Regular Landscape Areas Total ETAF x Area

All Landscape Areas Total ETAF x Area (B+D) Sitewide ETAF=(B+D)÷(A+C)

= 3413 sq. ft.

= 5855 sq. ft.

= 772 sq. ft.

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

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MODERATE WATER USE

LOW WATER USE

SCALE 1" = 50'

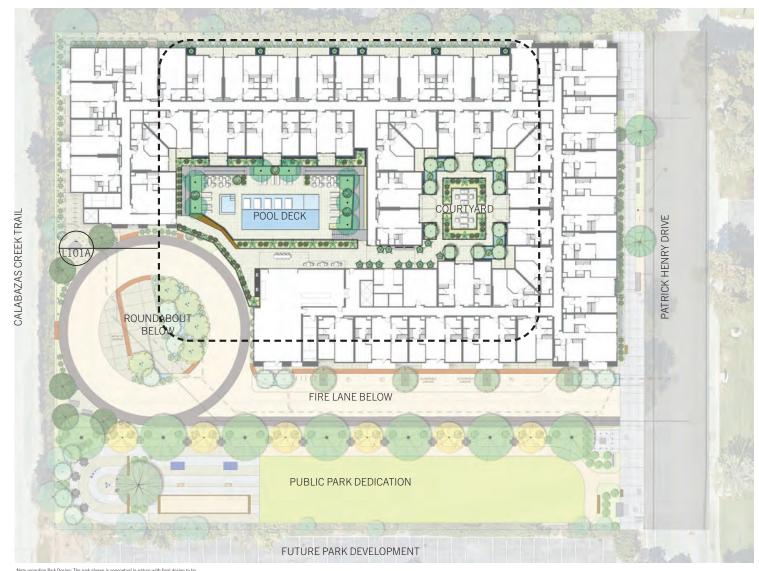
PATRICK HENRY DRIVE

PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET

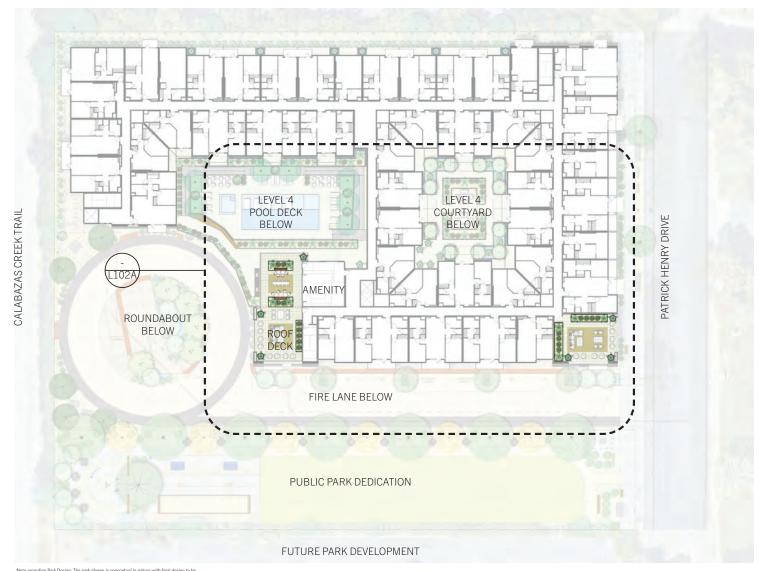


SCALE 1" = 20'

LANDSCAPE SITE PLAN - GROUND LEVEL



SCALE 1" = 20'



SCALE 1" = 20'

LANDSCAPE SITE PLAN - LEVEL 8

L102



SCALE 1" = 10'

ENLARGED PLAN - GROUND LEVEL

4. ALL PLANTING IN THE STORMWATER FLOW-THRU PLANTERS AND BIO-RETENTION AREAS WILL BE SELECTED FROM THE SCVURPPP APPENDIX D - PLANT LIST AND PLANTING GUIDANCE

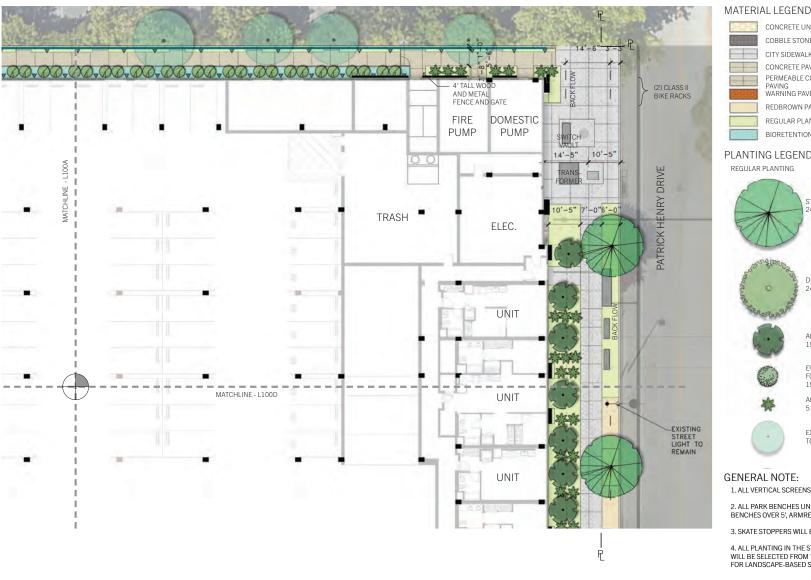
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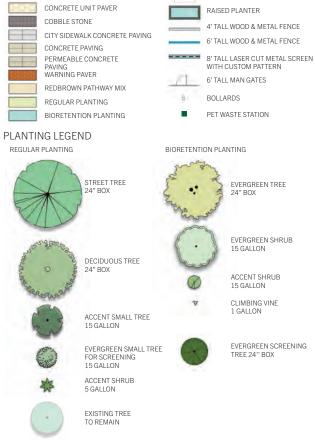
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**BAR** architects

FOR LANDSCAPE-BASED STORMWATER MEASURES.







CLASS II BIKE RACK

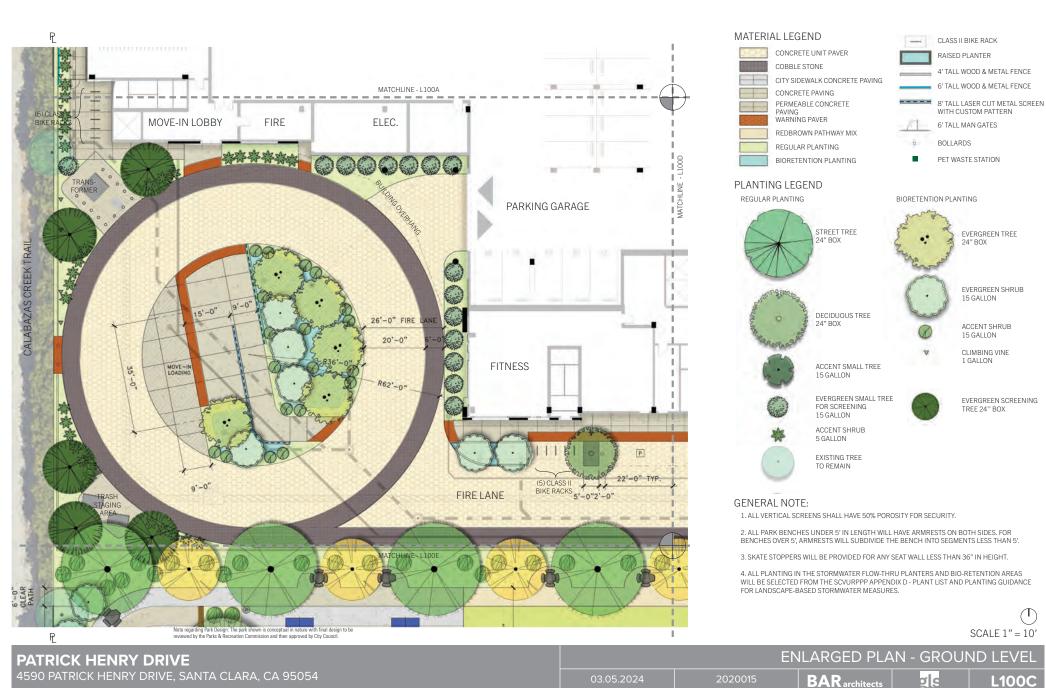
#### **GENERAL NOTE:**

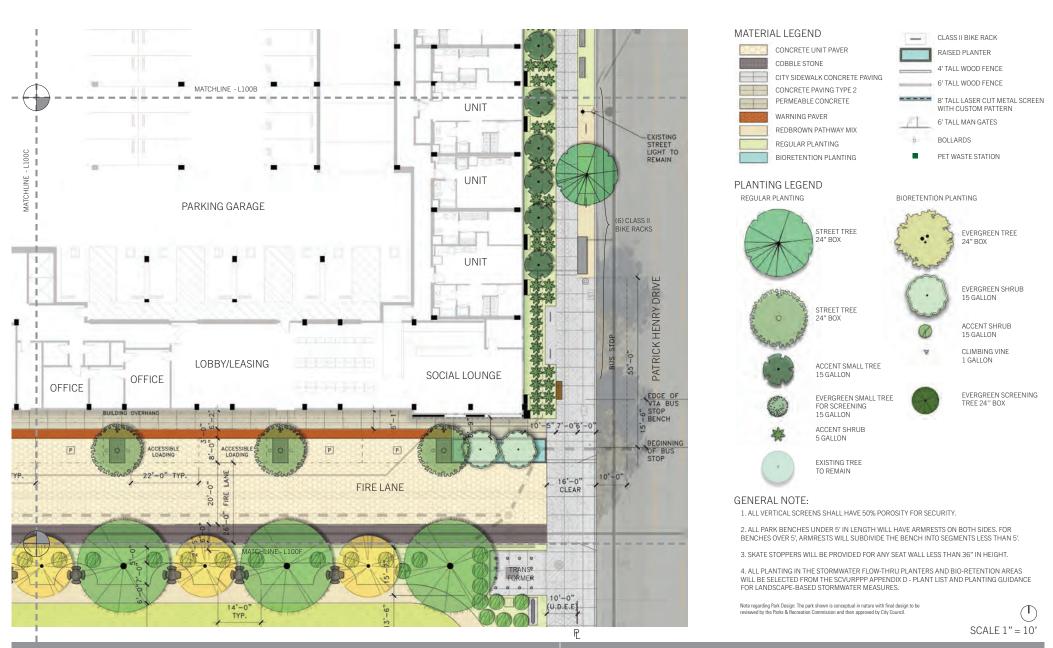
- 1. ALL VERTICAL SCREENS SHALL HAVE 50% POROSITY FOR SECURITY.
- 2. ALL PARK BENCHES UNDER 5' IN LENGTH WILL HAVE ARMRESTS ON BOTH SIDES. FOR BENCHES OVER 5', ARMRESTS WILL SUBDIVIDE THE BENCH INTO SEGMENTS LESS THAN 5'.
- 3. SKATE STOPPERS WILL BE PROVIDED FOR ANY SEAT WALL LESS THAN 36" IN HEIGHT.
- 4. ALL PLANTING IN THE STORMWATER FLOW-THRU PLANTERS AND BIO-RETENTION AREAS WILL BE SELECTED FROM THE SCVURPPP APPENDIX D - PLANT LIST AND PLANTING GUIDANCE FOR LANDSCAPE-BASED STORMWATER MEASURES.

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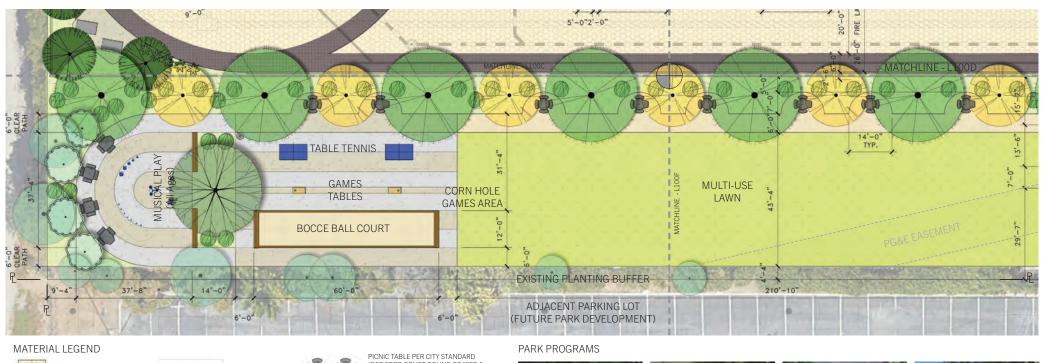
SCALE 1" = 10'

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 **ENLARGED PLAN - GROUND LEVEL** 





**PATRICK HENRY DRIVE** 4550 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 ENLARGED PLAN - GROUND LEVEL





CONCRETE PAVING TYPE 2 RED BROWN PATHWAY MIX

GRASS

PLANTING BUILT-IN BENCH WITH

SKATE STOPPERS TRASH BIN



CORN HOLE GAMES

TABLE TENNIS



(QCP FOOD COURT ROUND QR42FC & QR42FC3 ADA OPTION) GAMES TABLE PER CITY STANDARD (QCP FOOD COURT SQUARE QS42FC & QS42FC3 ADA OPTION)

30"H X 96"W X 6"D PARK SIGNAGE PER CITY STANDARD

BOCCE BALL COURT WITH WOOD CURBS



OUTDOOR MUSICAL INSTRUMENTS (ALL AGES)



TABLE TENNIS



BOCCE BALL COURT

#### PLANTING LEGEND



CASSIA FISTULA GOLDEN SHOWER 48" BOX



MUSICAL PLAY EQUIPMENT

QUERCUS AGRIFOLIA COAST LIVE OAK 36" BOX



GINKGO BILOBA GINKGO TREE 24" BOX



AESCULUS CALIFORNICA CALIFORNIA BUCKEYE 25 GALLON



EXISTING TREE TO REMAIN

OLEA EUROPAEA 15 GALLON

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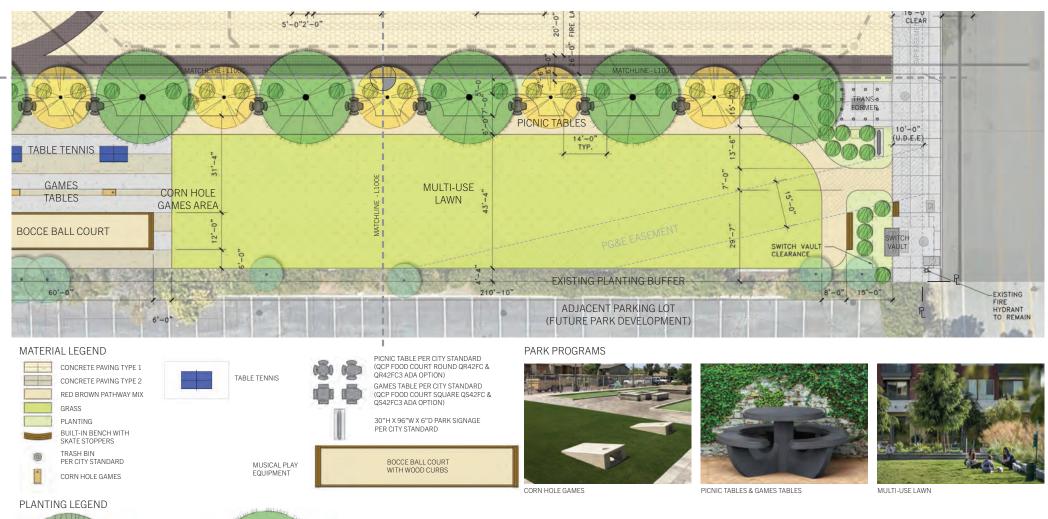
SCALE 1" = 10'

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

**BAR** architects

**ENLARGED PLAN - PUBLIC PARK** 

L100E









QUERCUS AGRIFOLIA COAST LIVE OAK 36" BOX



GINKGO BILOBA GINKGO TREE 24" BOX



AESCULUS CALIFORNICA CALIFORNIA BUCKEYE 25 GALLON



EXISTING TREE TO REMAIN



Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.



15 GALLON

SCALE 1" = 10'

**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

5 2024 20

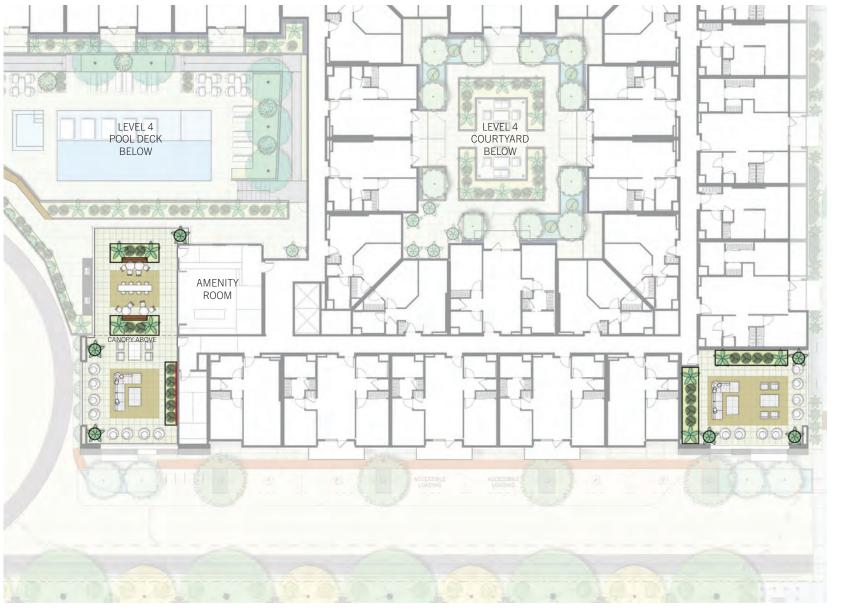
**BAR** architects

gls

**ENLARGED PLAN - PUBLIC PARK** 

L100F





## MATERIAL LEGEND

CONCRETE PEDESTAL PAVER TYPE 1 CONCRETE PEDESTAL PAVER TYPE 2

REGULAR PLANTING RAISED METAL PLANTERS



PLANTER POTS

BUILT-IN BENCHES









PLANTING LEGEND REGULAR PLANTING



ACCENT SHRUB 15 GALLON ACCENT SHRUB 5 GALLON

Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.



**ENLARGED PLAN - LEVEL 8** 



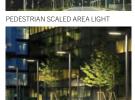
## LIGHTING LEGEND

SVP STANDARD STREET LIGHT PER PATRICK HENRY DRIVE SPECIFIC PLAN



■ BUILDING-MOUNTED LIGHT





BOLLARD LIGHT



---- FEATURE LIGHT AT METAL SCREENS



OPOLE LIGHT



## LIGHTING NOTES:

1. ALL EXTERIOR DOORS SHOULD BE ADEQUATELY ILLUMINATED AT ALL HOURS WITH THEIR OWN LIGHT SOURCE

2. LIGHTING FOR THE PROJECT TO BE AT THE IES (ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA) STANDARDS AND INCLUDE THE FEATURES LISTED BELOW: WHITE LIGHT SOURCE, PEDESTRIAN SCALE, FULL CUT-OFF OR SHOEDS DESIGN, UNBREAKABLE EXTERIOR, TAMPERPROOF HOUSINGS, WALL-MOUNTED LIGHTS/10' HIGH. THESE FEATURES INCREASE NATURAL SURVEILLANCE, SUPPORT AND/OR ENHANCE SECURITY CAMERA CAPABILITIES, AND INCREASE POLICE PA-TROL EFFECTIVENESS.

SCALE 1" = 20'

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

BARarchitects

LIGHTING PLAN - GROUND LEVEL

L110



SCALE 1" = 20'

PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

LIGHTING PLAN - LEVEL 4
03.05.2024

2020015

BAR architects
L111



## LIGHTING LEGEND

---- LED LIGHT STRIP MOUNTED AT PLANTERS



TRELLIS LIGHTING



Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

SCALE 1" = 20'

PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

LIGHTING PLAN - LEVEL 4
03.05.2024

2020015

BAR<sub>architects</sub>

L112

## PAVING MATERIAL



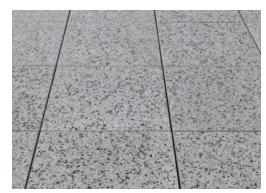
CONCRETE UNIT PAVER

COBBLE STONE

CONCRETE PAVING



WARNING PAVER



PEDESTAL PAVER

# SITE FURNISHING



STONE BBQ COUNTER



PLANTER POTS



PERFORATED SCREEN & SIGNAGE



Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

METAL PLANTERS



TRELLIS STRUCTURE



WOOD PROPERTY FENCE

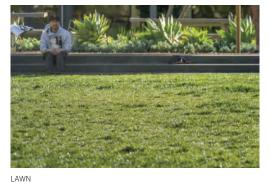
**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

**BAR** architects

L400

MATERIAL PALETTE

## PAVING MATERIAL



RUBBERIZED SURFACING



QUERCUS AGRIFOLIA (COAST LIVE OAK)

**PLANTING** 



CASSIA FISTULA (GOLDEN SHOWER)





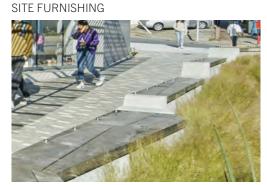
REDBROWN PATHWAY MIX (DECOMPOSED GRANITE)



AESCULUS CALIFORNICA (CALIFORNIA BUCKEYE)



GINKGO BILOBA 'AUTUMN GOLD' (AUTUMN GOLD MAIDENHAIR TREE)



BUILT-IN BENCHS WITH SKATE STOPPERS



TRASH CAN (DUMOR 102-32SH PER CITY STANDARD)



TABLE TENNIS TABLES



OUTDOOR PERCUSSION PLAY

PATRICK HENRY DRIVE

PARK MATERIAL & PLANTING PALETTE

**BAR** architects

L401

## STREET TREES



LOPHOSTEMON CONFERTUS (BRISBANE BOX)

# **DECIDUOUS TREES**



ACER MACROPHYLLUM (BIG LEAF MAPLE) **GRASSES & GROUNDCOVERS** 



LOMANDRA LONGIFOLIA 'BREEZE' (LOMANDRA)

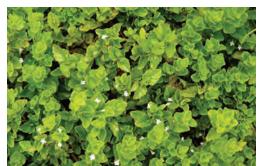
# **EVERGREEN TREES**



GREVILLEA ROBUSTA (SILK OAK) SHRUBS/SCREENING



DODONAEA VISCOSA PURPUREA (PURPLE HOPSEED BUSH)



SATUREJA DOUGLASII (YERBA BUENA)



Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

LEPTOSPERMUM LAEVIGATUM (AUSTRALIAN TEA TREE)



CEANOTHUS 'RAY HARTMAN' (RAY HARTMAN WILD LILAC)

VINES



TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)

# PATRICK HENRY DRIVE

4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

GINKGO BILOBA 'AUTUMN GOLD' (AUTUMN GOLD MAIDENHAIR TREE)

SALVIA BEE'S BLISS (BEE'S BLISS SAGE)

**BAR** architects

L500

PLANTING PALETTE

## **BIORETENTION TREES**



TRISTANIA LAURINA 'ELEGANT' (ELEGANT WATER GUM)



PRUNUS ILICIFOLIA (HOLLYLEAF CHERRY)



Note regarding Park Design: The park shown is conceptual in nature with final design to be reviewed by the Parks & Recreation Commission and then approved by City Council.

GINKGO BILOBA 'AUTUMN GOLD' (AUTUMN GOLD MAIDENHAIR TREE)



(Plant selection based on SCVURPPP C3 Stormwater Handbook Appendix D)

ACER CIRCINATUM (VINE MAPLE)

**BIORETENTION SHRUBS** 



HETEROMELES ARBUTIFOLIA (TOYON) **BIORETENTION GRASSES & GROUNDCOVERS** 



RIBES SANGUINEUM VAR. GLUTINOSUM (PINK FLOWERING CURRANT)



GARRYA ELLIPTICA 'JAMES ROOF' (JAMES ROOF SILK TASSEL)



RHAMNUS CALIFORNICA (COFFEEBERRY)



FRAGARIA CHILOENSIS (BEACH STRAWBERRY)



IRIS DOUGLASIANA (DOUGLAS IRIS)



MUHLENBERGIA RIGENS (DEER GRASS)



CHONDROPETALUM ELEPHANTINUM (LARGE CAPE GRASS)

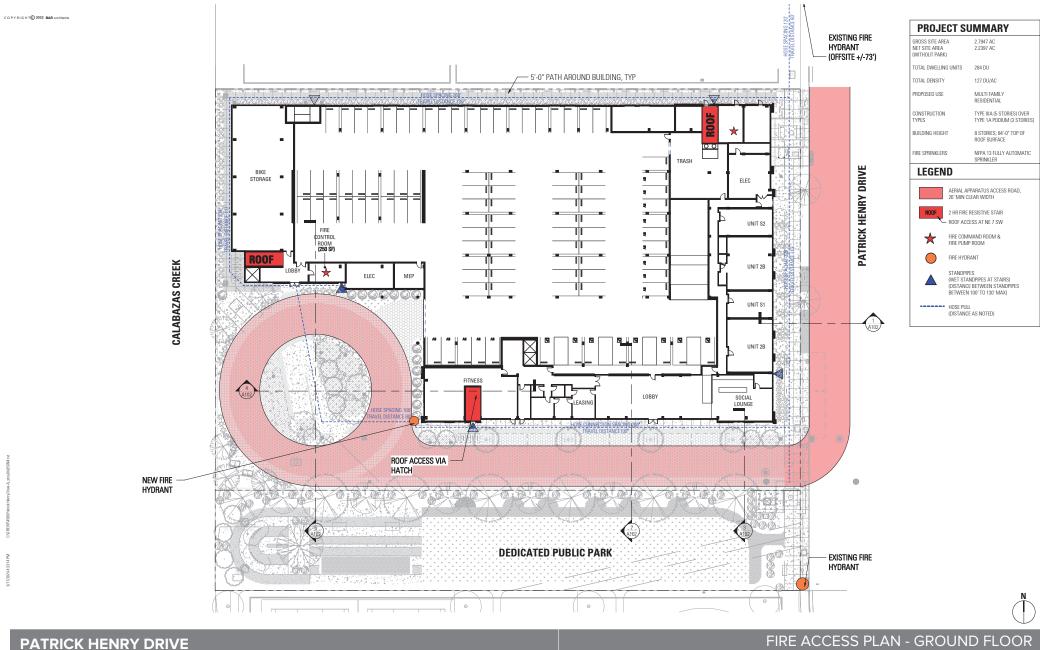
PATRICK HENRY DRIVE

4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

L501

**BAR** architects

PLANTING PALETTE



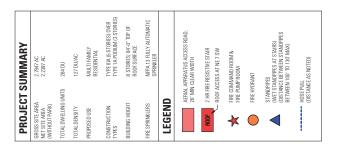
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

03.05.24

**BAR** architects

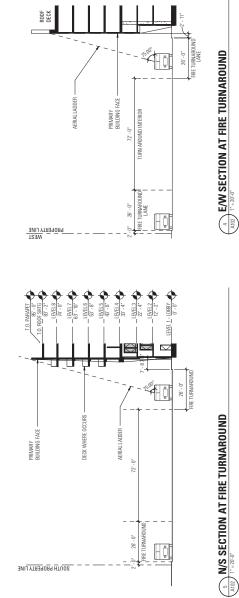


A101



LEVEL 1-1 08BY

LEVB. 7 63' - 10" LEVB. 6 53' -8" LEVB. 5 43' - 6" JEVB. 4 33" - 4"

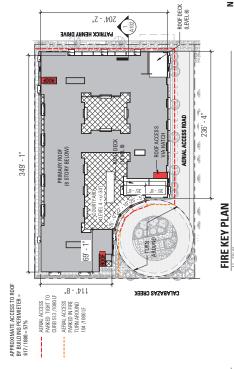


2'-0" 26'-0"

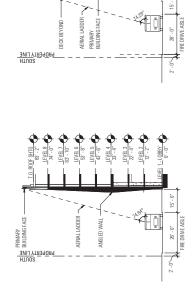
SOUTH PROPERTY LINE

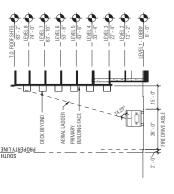
COPYRIGHT © 2022 BAR architects

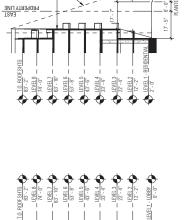
HÖ



204. - 2"

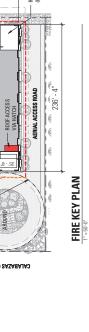






PRIMARY BUILDING FACE AERIAL LADDER





A102

**BAR** architects

03.05.24

FIRE ACCESS SECTIONS

4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 PATRICK HENRY DRIVE

N/S SECTION AT FIRE ACCESS ROAD

CIRCULATION PLAN

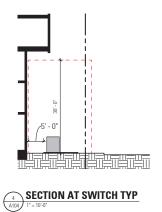
03.05.24

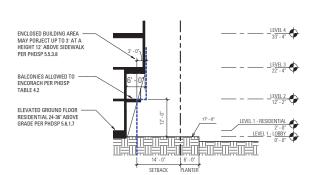
**BAR** architects

A103

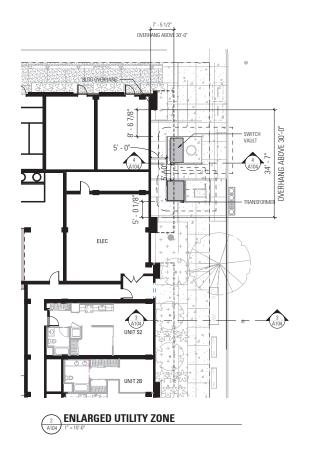
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

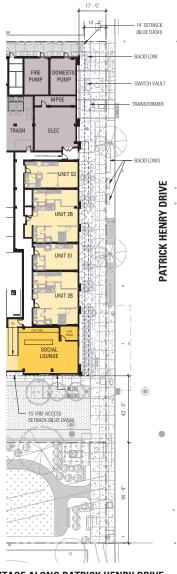
CALABAZAS CREEK











FRONTAGE ALONG PATRICK HENRY DRIVE

**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 PHD FRONTAGE

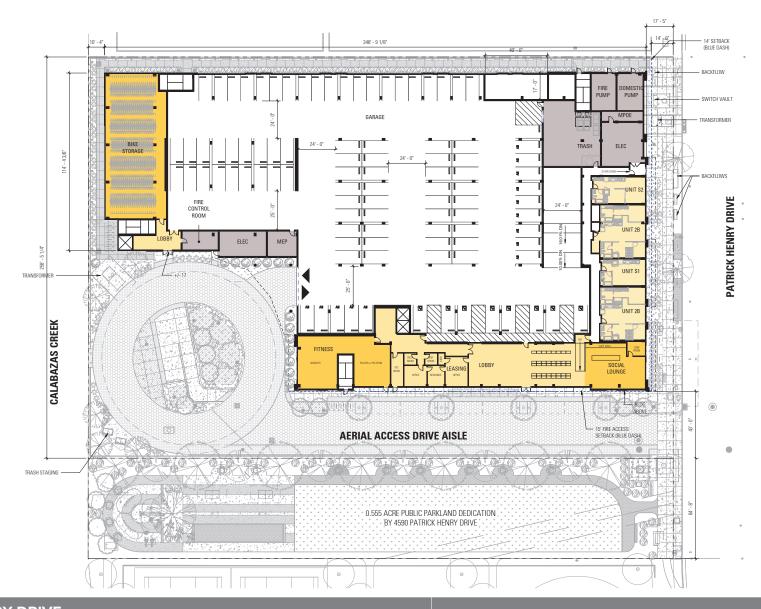
03.05.24

2020015

**BAR** architects

A104

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**PATRICK HENRY DRIVE** 

03.05.24

**BAR** architects

A201

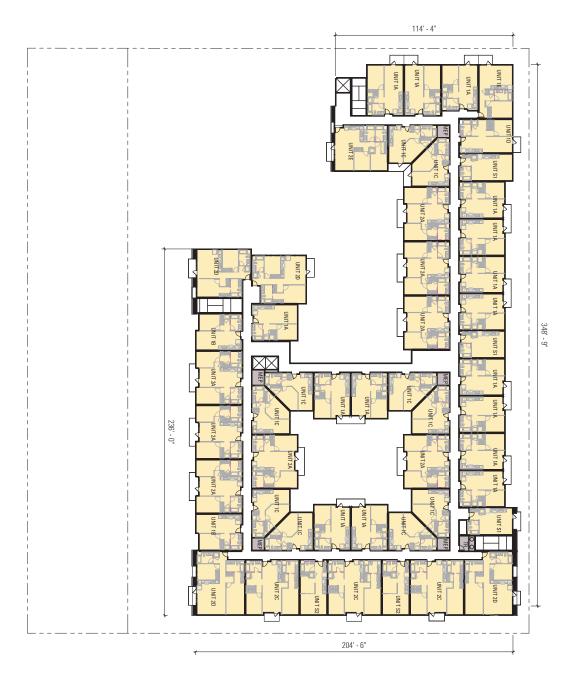
GROUND FLOOR

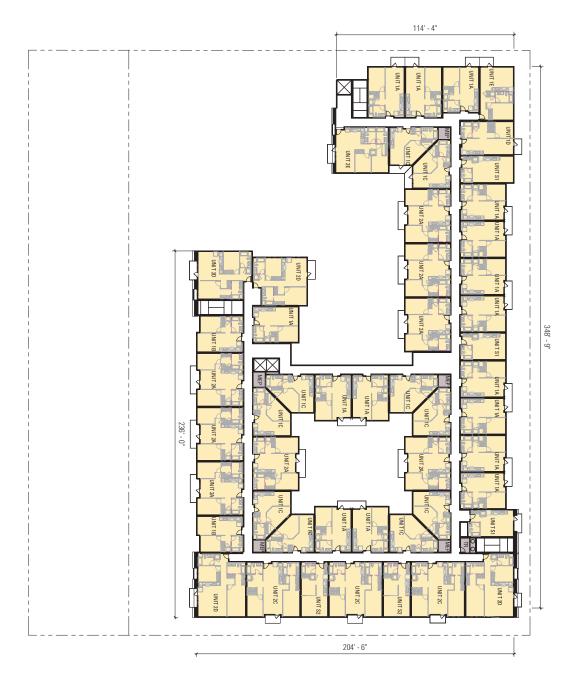
LEVEL 2 PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 **BAR** architects A202

LEVEL 3 PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 **BAR** architects A203

**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 LEVEL 4 - COURTYARD

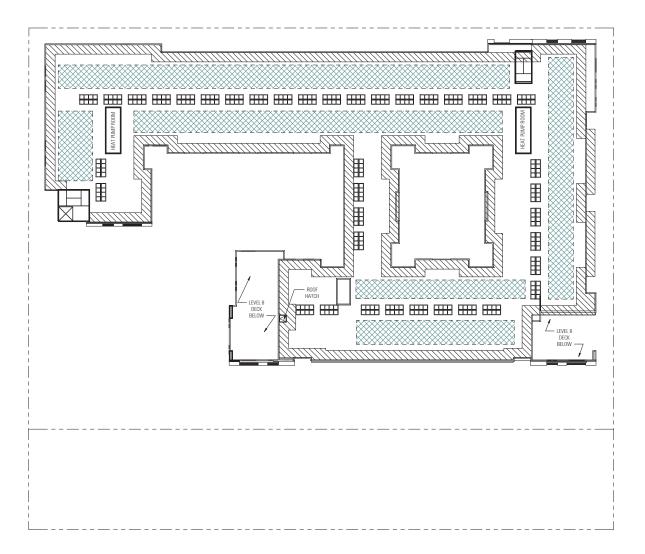
.05.24 2020015 BAR<sub>architects</sub> 10 A204





LEVEL 7

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 LEVEL 8 - ROOF DECK





PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

ROOF PLAN

03.05.24

2020015

BAR architects 10 40 A209

C10 PEWTA930 Partick Herry Drive-A\_strujilla293NM rvt



PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

03.05.24

2020015

BAR<sub>architects</sub>

A301







PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

03.05.24

3D VIEW - SOUTH WEST

A302



## **PARK (SOUTH) ELEVATION**

**SHEET NOTES** 

WAIVER REQUESTED TO ELIMINATE THE FOLLOWING PRECISE PLAN REQUIREMENTS:

Standard 5.3.3.5 - No building setback is required for residential-only buildings where the width of the existing utility easement is 10 feet or more between the right-ofway and building edge.

Guideline 5.5.2.5 - For buildings with ground-floor residential uses, locate kitchens and living rooms—rather than bedrooms and other more private areas-to face

### APPROVED BY CITY IN LETTER DATED 10/08/2023

Standard 5.6.1.2 - Limit the uninterrupted length for the building or complex to no more than 330 feet. For any building over 330 feet in length, break up the massing with a ground floor insert or notch at least 40 feet wide and 15 feet deep except for the edges fronting Mission College Boulevard. APPROVED BY CITY IN LETTER DATED 10/06/2023

Standard 5.6.1.9 - Buildings that border Calabazas Creek, starting at 70 feet shall be articulated with a 5-foot average step back from the street wall, including building recesses and protrusions for a minimum of 50% of each creek frontage, provided it meets the 1:1 daylight plane shown in the General Plan. Balconies and other architectural elements such as louvers are permitted in the

# recesses APPROVED BY CITY IN LETTER DATED 10/06/2023

### **FINISH SCHEDULE**

- ADHERED TILE VENEER PLASTER (OFF WHITE) PLASTER (BROWN)
- PLASTER (TAN) VINYL WINDOW (TYPICAL AT
- RESIDENTIAL) ALUMINUM STOREFRONT SYSTEM (DARK
- RRONZE)
- HORIZONTAL METAL RAILING PERFORATED PANEL RAILING
- GLASS RAILING



NORTH ELEVATION

**SHEET NOTES** 

WAIVER REQUESTED TO ELIMINATE THE FOLLOWING PRECISE PLAN REQUIREMENTS:

Standard 5.3.3.5 - No building setback is required for residential-only buildings where the width of the existing utility easement is 10 feet or more between the right-ofway and building edge.

Guideline 5.5.2.5 - For buildings with ground-floor residential uses, locate kitchens and living rooms-rather than bedrooms and other more private areas-to face streets to maximize privacy and security.

APPROVED BY CITY IN LETTER DATED 10/06/2023

Standard 5.6.1.2 - Limit the uninterrupted length for the building or complex to no more than 330 feet. For any building over 330 feet in length, break up the massing with a ground floor insert or notch at least 40 feet wide and 15 feet deep except for the edges fronting Mission College Boulevard.

APPROVED BY CITY IN LETTER DATED 10/06/2023

Standard 5.6.1.9 - Buildings that border Calabazas Creek, starting at 70 feet shall be articulated with a 5-foot average step back from the street wall, including building recesses and protrusions for a minimum of 50% of each creek frontage, provided it meets the 1:1 daylight plane shown in the General Plan. Balconies and other architectural elements such as louvers are permitted in the

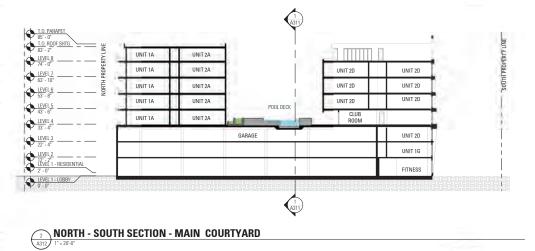
## RECESSES APPROVED BY CITY IN LETTER DATED 10/06/2023

### **FINISH SCHEDULE**

- ADHERED TILE VENEER PLASTER (OFF WHITE) PLASTER (BROWN)
- PLASTER (TAN) VINYL WINDOW (TYPICAL AT
- RESIDENTIAL) ALUMINUM STOREFRONT SYSTEM (DARK
- BRONZE)
- HORIZONTAL METAL RAILING PERFORATED PANEL RAILING
- GLASS RAILING

**PATRICK HENRY DRIVE** 

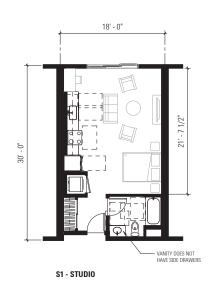
**BUILDING SECTIONS** 

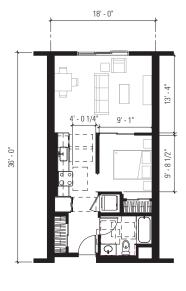


UNIT 2A UNIT 1A UNIT 2A UNIT 2A UNIT 1A UNIT 2A UNIT 2A UNIT 2A UNIT 1A UNIT 2A UNIT 2A UNIT 2A UNIT 2A GARAGE UNIT 2B LOBBY

NORTH-SOUTH SECTION - SMALL COURTYARD

BAR architects





S2 - 1 BD JR

PATRICK HENRY DRIVE
4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

03.05.24

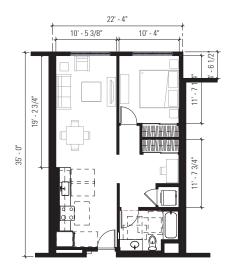
UNIT PLANS - STUDIO

BARarchitects

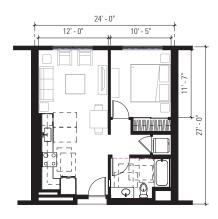
3 1 17 17 A401



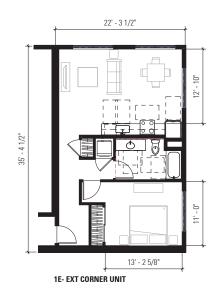
1A -SEMI - RECESSED BALCONY



1D- NORTH NARROW + DEEP UNIT

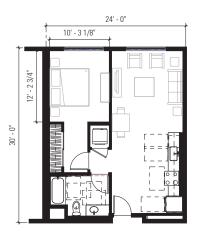


1B - NO BALCONY



31' - 6 1/2" DECK 10' - 51/2"

1C - CORNER UNIT



1F- COURTYARD UNIT

PATRICK HENRY DRIVE 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054 UNIT PLANS - 1 BED

2A (2B SIM) - 2 BED STANDARD UNIT



2C - 2 BED DEEP UNIT@ PHD



34' - 8" 10' - 6 1/8" 10' - 2 1/2" 12' - 0 1/2" - 5 1/8" 30' - 0"

2E - 2 BED CORNER UNIT

**PATRICK HENRY DRIVE** 4590 PATRICK HENRY DRIVE, SANTA CLARA, CA 95054

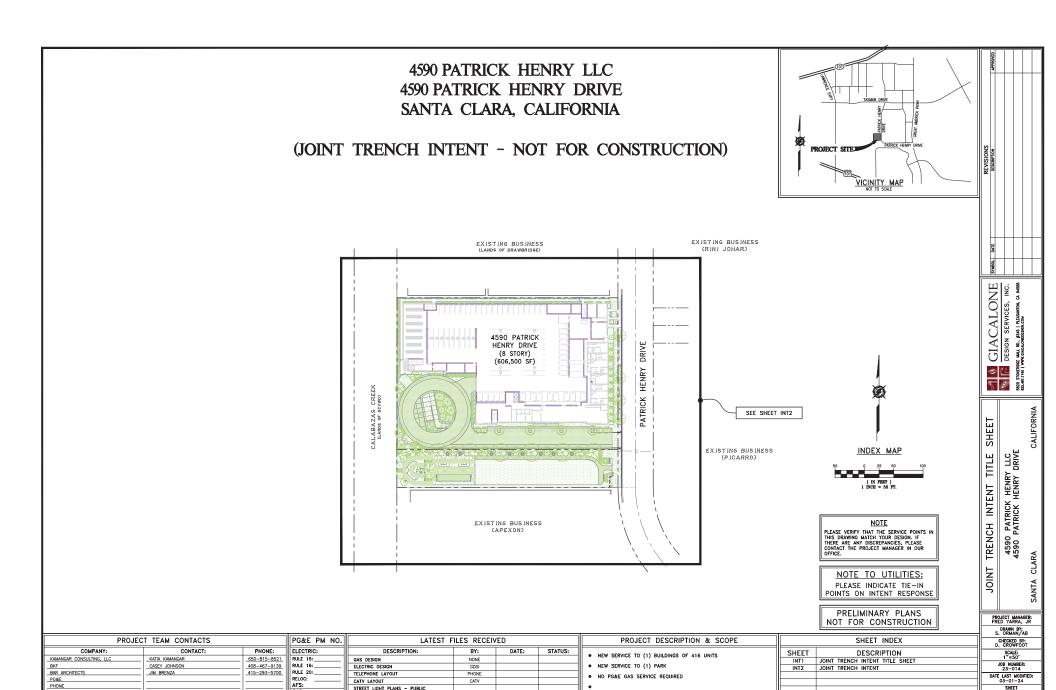
**BAR** architects



A403

03.05.24

UNIT PLANS - 2 BED



INT1

2 SHEETS

STREET LIGHT PLANS - PRIVATE

IMPROVEMENT PLANS (ELECTRONIC FILE)

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

CATV

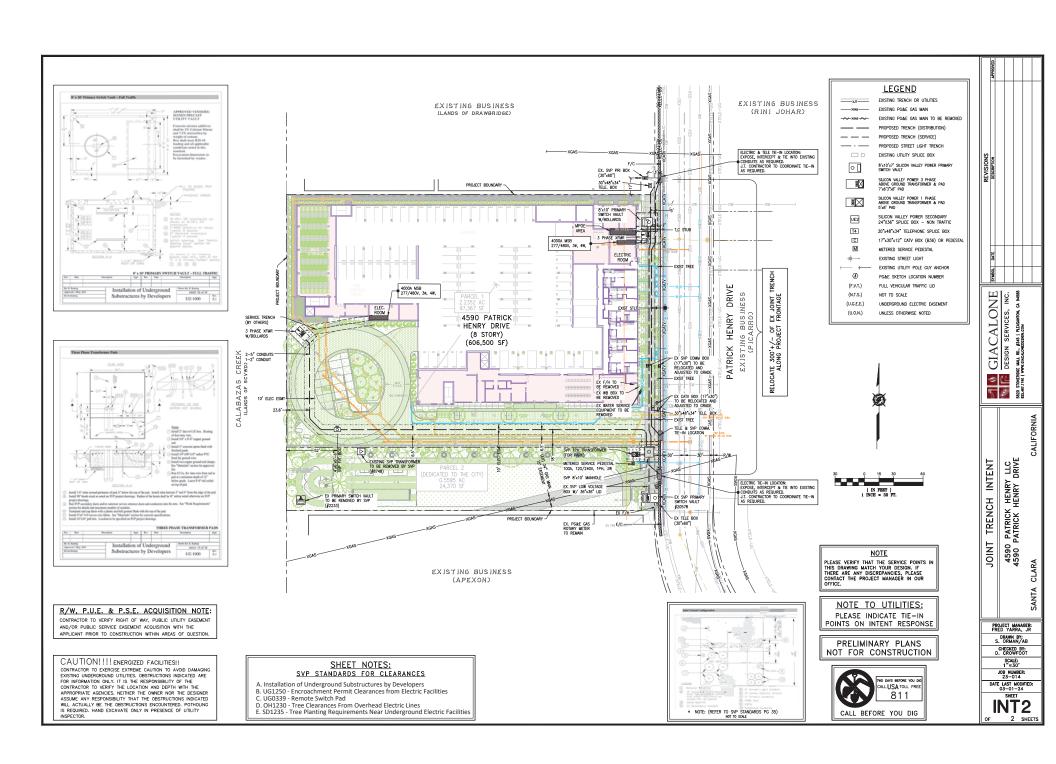
GIACALONE DESIGN SERVICES, INC.

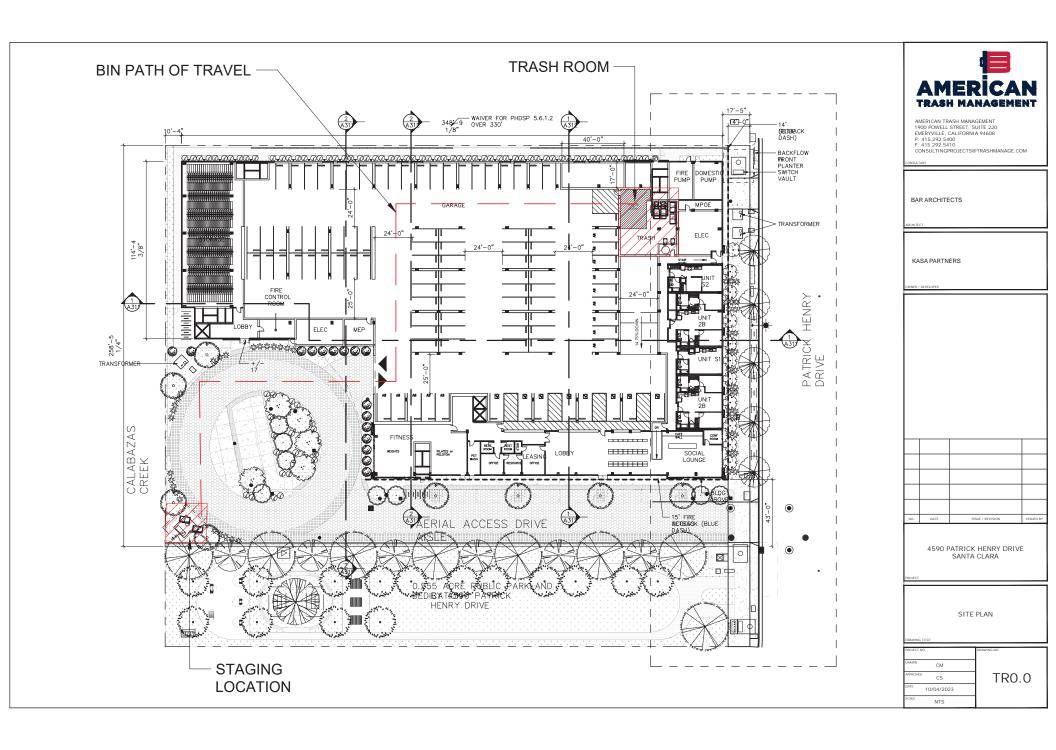
FRED YARRA, JR.

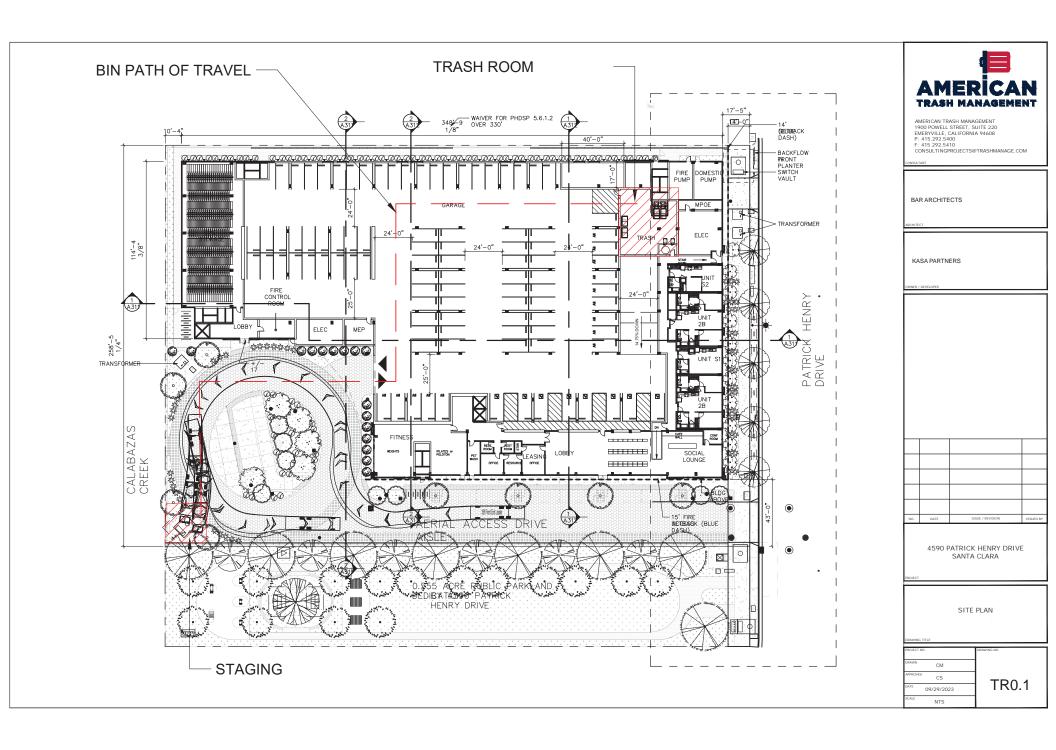
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RIHE 15.

RELOC:

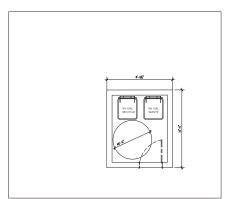




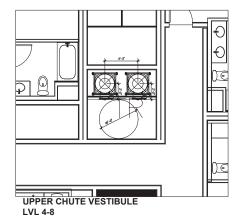


PROJECTED RESIDENTIAL TRASH COLLECTION SCHEDULE / WK							
SERVICE	М	Т	w	Т	F	S	SU
3CY COMPACTED WASTE	1	1		1	1		
3CY COMPACTED RECYCLING	1	1		1	1		
TOTAL	2	2	0	2	2	0	0





EXAMPLE TRASH CLOSET LVL 2-3





AMERICAN TRASH MANAGEMENT 1900 POWELL STREET, SUITE 220 EMERYVILLE, CALIFORNIA 94608 P: 415.392.5400 F: 415.292.5410 CONSULTINGPROJECTS@TRASHMANAGE.COM

.....

BAR ARCHITECTS

KASA PARTNERS

WNER / DEVELOPER

IO DATE ISSUE/SENTION ISSUED IN

4590 PATRICK HENRY DRIVE SANTA CLARA

ROJECT

TRASH ROOM LAYOUT

RAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CM	
APPROVED CS	☐ TR1.0
10/04/2023	
SCALE 2/16" - 1' O"	

TRASH TERMINATION ROOM AND GROUND FLOOR VESTIBULE



# City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

# Agenda Report

24-1033 Agenda Date: 11/13/2024

# REPORT TO DEVELOPMENT REVIEW HEARING

# **SUBJECT**

PUBLIC HEARING: Action on the Architectural Review (PLN23-00554) for 1,960 Square-Foot Second-Story Addition and 929 Square-Foot First-Floor Addition Resulting in a 5,091 Square-Foot Seven-Bedroom, Two-Story Residence Located at 1776 Bowers Avenue.

File No.: PLN23-00554

**Location:** 1776 Bowers Avenue, an 8,300 square-foot lot located on the west side of Bowers

Avenue, approximately 188 feet south of Warburton Avenue; APN: 220-31-060;

**Zoned:** Single-Family Residential (R1-6L)

**Applicant:** Gilbert Fernandez **Owner:** Naeem Zaheer

**Request:** Architectural Review for a 1,960 square-foot second-story addition and a 929 square-

foot first-floor addition resulting in a 5,091 square-foot seven-bedroom, two-story

residence.

# PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

# POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site includes an existing 1,745 square-foot residence with three bedrooms and two bathrooms, a 457 square-foot attached garage, and a detached 144 square-foot storage shed in the rear.
- Per the Santa Clara City Code 18.120.020.D1 (a), (b), (c), & (d), the request requires Architectural Review approval through Development Review Hearing.
- The project proposes a 1,960 square-foot second-story addition and a 929 square-foot first-floor addition to an existing 1,745 square-foot residence resulting in a 5,091 square-foot residence with seven bedrooms and five full and two half bathrooms. There will be two bedrooms with access to the exterior.
  - The project also proposes a detached 932 square-foot detached Accessory Dwelling Unit (ADU) in the rear yard, which is not subject to discretionary Architectural Review.
- The project proposes to extend the architectural design of the existing house to the second floor by continuing the use of vertical siding along the front elevation and stucco for the remaining elevations. A front entryway oriented towards the street replaces the existing entry that opens onto the front porch from the side. All roofs are now hip style replacing two gable roofs.

- The project is consistent with the Santa Clara Single-Family Design Guidelines (2014):
  - The second floor is proposed to be at 63% of the first floor, which is consistent with the guideline that second floor areas should not exceed approximately 66% of the first-floor area.
  - The proposed second floor meets the step back guidelines in that the second-floor areas are set back at least five feet from the front wall of the three to five feet from the side and rear walls of the first floor.
  - The project proposes a second-story balcony in the rear that meets the maximum 4-foot depth design guideline for second-story outdoor areas.
  - The architectural style and design of the proposed addition are true to the architectural form of the existing residence and for the neighborhood.
- The proposed project meets the required finding set forth in Santa Clara City Code Chapter 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this
  project review.

# FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with the City Code Section 18.120.020(F):

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:
  - The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials of parking vehicles.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:
  - The proposed residence would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - o Architectural features of the proposed design area are true to the architectural

form and appropriate for the neighborhood.

 The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.

- 4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
  - The proposed expansion and addition comply with the R1-6L zoning district's development standards.

# **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

## **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), in that the proposed project is a small addition to the existing single-family residence.

#### **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email <a href="clerk@santaclaraca.gov<">clerk@santaclaraca.gov</a> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on October 31, 2024. As of the writing of this report, planning staff has not received public comments for this application.

## RECOMMENDATION

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), and **Approve** the Architectural Review for a 1,960 square-foot second-story addition and a 929 square-foot first-floor addition resulting in a 5,091 square-foot seven-bedroom, two-story residence located at

1776 Bowers Avenue, subject to the findings and conditions of approval.

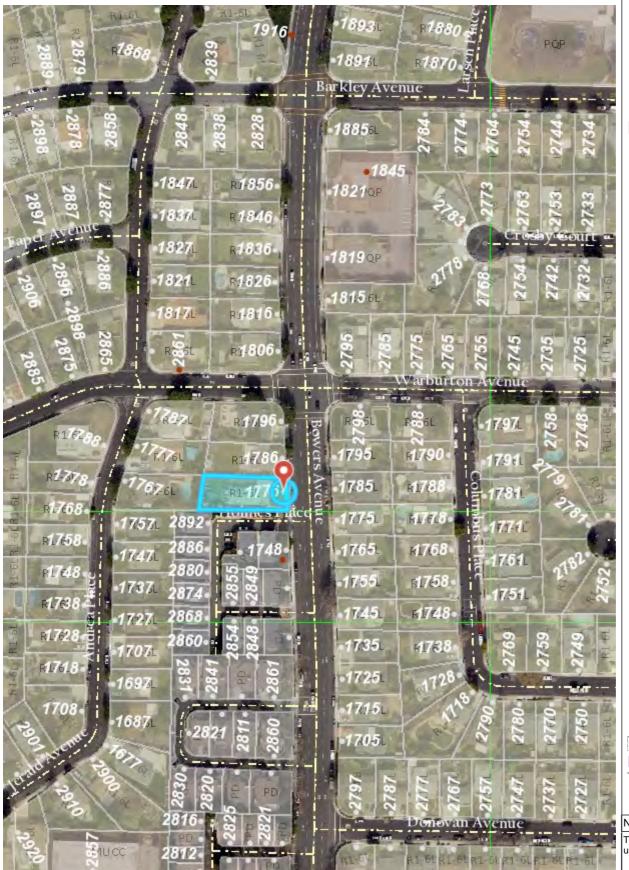
Prepared by: Meha Patel, Assistant Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

# **ATTACHMENTS**

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Conditions of Approval
- 4. Development Plans



# Vicinity Map - 1776 Bowers Avenue



Legend

Park

Site Addresses

Multiple

Place

Single

Transit

Utility

Streets

Air Parcels

Land Parcels

Land Parcels

Flood Control Easement

Right of Ways

Common Areas

**Zoning Codes** 

<all other values>

Commercial Park

Single Family

Single Family - Larger Lot

Residential Duplex

Low-Density Multiple Dwelling

Moderate-Density Multiple Dwelling

Medium-Density Multiple Dwelling

High Density Residential

Historic Combining

Community Commercial

Downtown Commercial

Neighborhood Commercial

Commercial Park

Commercial Thoroughfare

Professional Office

General Office

Planned Industrial

Light Industrial

Medium Industrial

Heavy Industrial

Planned Development

Planned Development - Master Cor

Agricultural

Public or Quasi-Public

Unincorporated

City Operational Boundary

Boundary

1: 2,000



Note

This map was automatically generated using Geocortex Essentials.

# **Attachment 2: Project Data/Compliance**

**Project Address:** 1776 Bowers Ave **Zoning:** R1-6L Project Number: PLN23-00554

Standard	Existing	Proposed	Requirement	Complies? (Y/N)		
Lot Area (SF) (min):	8,300	8,300	6,000	Y		
Building Square Footage (SF)						
1 <sup>st</sup> Floor:	1,745	2,674				
2 <sup>nd</sup> Floor:		1,960				
Porch:	38	56				
Balcony/Deck:		108				
Shed(s)	144					
Detached Accessory Dwelling Unit		932	Max. 1,200 SF 800 SF Exempt from Lot Coverage	Y		
Garage:	457	457	-			
Total:	2,384	6,023	-			
Floor Area Ratio:	0.29	0.73				
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor:		63%	Max. 66%	Y		
Building Coverage (%)						
Building Coverage (All):	29%	40%	Max. 40%	Y		
Rear Yard Accessory Building Coverage:		34%	Max. 40%	Y		
Main Building Setbacks (FT)						
Front (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	20'	20' 25'	20'	Y		
Right Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	20"	5' 8'	5'	Y		
Left Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	16'	10' 13'	15'	Y		
Rear (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	7'	20' 28'	20'	Y		
Accessory Dwelling Unit (ADU) S	etbacks (FT)					
Front:						
Side (right):		5'				
Side (left):		10'				
Rear:		5'				
From main building:		8'				
Height (FT)						
Main building:	14'-8"	25'	25'	Y		
ADU:		14'-8"	16'	Υ		

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
# of Bedrooms/Bathrooms:	3/2	7 / 5 and 2 half-baths	1	
Parking:				
Off-street	2	2	2	Y
Common Living Area (SFR)		30%	Min. 25%	Y

# **Conditions of Architectural Review Approval**

## PLN23-00554 / 1776 Bowers Avenue

Architectural Review for a 1,960 square-foot second-story addition and a 929 square-foot first-floor addition resulting in a 5,091 square-foot seven-bedroom, two-story residence.

#### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is **November 20, 2026**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code. California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

#### DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means**). Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)

#### **DURING CONSTRUCTION**

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- ST1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

## **OPERATIONAL CONDITIONS**

- P6. **Use of Garage**. The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. Landscaping Installation & Maintenance. The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- ST2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

## KEY:

G = General

P = Planning Division

ST = Streets Division (Landscape, Solid Waste, and Stormwater)

# ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

# Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# PROJECT DATA

A.P.N.	220-31-060
CONSTRUCTION TYPE:	VB
GROUP	R-3/U
LOT SIZE:	8,300 SF (0.19)
ZONING:	R1-6L - SINGLE FAMILY

1ST FLOOR	1,745 SF
+ADDITION	3,037 SF
+DETACHED ADU	900 SF
TOTAL	5,682 SF

EXISTING AREA	SOUARE FOOTAGE	PROPOSED AREA	SOUARE FOOTAGE
HABITABLE SPACE	1,745 SF	HABITABLE SPACE	5,682 SF
EXISTING BEDROOMS	2	PROPOSED BEDROOMS	0
EXISTING BEDROOMS	3	PROPOSED BEDROOMS	9
EXISTING BATHROOMS	2	PROPOSED BATHROOMS	7.5

TOTAL ADDED HABITABLE SQUARE FEET: 3,937 SF



# INTERIOR DESIGNER GILBERT FERNANDEZ III REVISIONS (A) PLANNING REVISIONS VERSION 1 ➂ LANNING REVISIONS VERSION 2 ⋄ $\langle \hat{} \rangle$ (E)

# LOCATION MAP

## SCOPE OF WORK

- 1.FRONT, REAR, 2ND STORY ADDITION.
- 2.ADDED REAR YARD, SINGLE STORY, DETACHED ADU.
- 3.(E) 3 BED/2 BATH TO 7 BED/6 BATH AND 1 POWDER ROOM.
- 4.REAR DETACHED ADU TO BE 2 BED/1 BATH.
- 5.1ST FLOOR TO BE 9', 2ND FLOOR 9' AND ADU 9' CEILINGS.
- 6.ALL UTILITIES TO BE UPGRADED AND SAME LOCATION.

# GENERAL NOTES

.ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS.

"THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAPEGUARDS FOR MAPETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

"THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL BUT HE SHALL REPORT ANY DISCREPANCIES TO THE BESIGNER FOR CLARIFICATION AND OR CORRECTION FRIOR TO BEGINNING ANY

OORK.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF LL THADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIAL! MAD LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.
CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:
A) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF

RUCTURE.

INTERIOR DOOR AND ZERO-CLEARANCE FIREPLACE RELOCATION SHOWN ON THE

APPROVE PLANS. C) A SINGLE NONBEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL

OM. INTERIOR NON-STRUCTURAL WALL FINISHES. 6. SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHANCES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.

# CODE EDITIONS

-	CALIFORNIA	RESIDENTIAL CODE	2022	EDITION
-	CALIFORNIA	BUILDING CODE	2022	EDITION
-	CALIFORNIA	MECHANICAL CODE	2022	EDITION
-	CALIFORNIA	PLUMBING CODE	2022	EDITION
-	CALIFORNIA	ELECTRICAL CODE	2022	EDITION
-	CALIFORNIA	ENERGY CODE	2022	EDITION
-	CALIFORNIA	FIRE CODE	2022	EDITION
-	CALIFORNIA	GREEN BUILDING CODE	2022	EDITION
ŀ	LOCAL MUNIC	CIPAL CODE	2022	EDITION

#### PROJECT INDEX

A1	ICOVER SHEET
A2	EXISTING AND PROPOSED SITE PLANS
A3	EXISTING/DEMOLITION PLAN AND ROOF PLAN
A4	PROPOSED 1ST AND 2ND FLOOR PLANS
A5	PROPOSED ADU FLOOR PLAN
A6	EXISTING FLOOR AREA CALCULATIONS
A7	PROPOSED FLOOR AREA CALCULATIONS
A8	PROPOSED FLOOR AREA CALCULATIONS (ADU)
A9	PROPOSED 1ST AND 2ND FLOOR ROOF PLANS
A10	PROPOSED ADU ROOF PLAN
A11	PROPOSED WINDOW/DOOR SCHEDULE (MAIN HOME)
A12	PROPOSED WINDOW/DOOR SCHEDULE (ADU)
A13	EXISTING ELEVATIONS
A14	PROPOSED MAIN HOME ELEVATIONS
A15	PROPOSED ADU ELEVATIONS
A16	PROPOSED CROSS SECTIONS
A17	PROPOSED COLORED RENDERINGS AND MATERIALS
T24-1	TBD
T24-2	TBD
S1	TBD
S2	TBD
S3	TBD
S4	TBD
S5	TBD
S6	TBD
S7	TBD

# FIRE SPRINKLERS

FIRESPRINKLERS REQUIRED. OBTAIN SEPARATE FIRE PERMIT, DEFERRED SUBMITTAL. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2022, AND CAW RESIDENSTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER 'FIRE HANDOUTS'). COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. (MITMIMUM 1" METER AND 1" SERVICE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE).

# SOLAR PANELS

NO PROPOSED SOLAR PANELS ARE PART OF THIS PROJECT.

# VICINITY MAP

# PROJECT CONTACTS

ARCHITECTURAL DESIGN
Designer
Gilbert Fernandez
(408) 722-0057
gf.gilfernandez@gmail.com

STRUCTURAL DESIGN

OWNER Naeem Zaheer 408) 796-2225 danyalz@yahoo.com

> TITLE 24 TBD TBD TBD TBD

#### DESIGN DISCLAIMER

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLELY FOR THIS PROJECT, PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF GILBERT FERNANDEZ INTERIOR DESIGNER.

# **ABBREVIATIONS**

AFF ALM AP APPROX	Attic Access Air Conditioning Access Access Door Addition Adhesive Above Finished Floor Alarm Access Panel (Approximate Approved Asphalt Average Bedroom Below Building Bullnose Crawlspace Access Cabinet Cubic Feet Cubic Feet Cubic Feet Cubic Feet Cutling Closet Clean Out Cubic Feet Clean Out Cubic Feet Cubic Feet Cubic Feet Conterline Ceiling Closet Clean Out Cubic Feet Cubic Yard Cold Water Downspout Downspout Driveway	IN MAX MIN MISC (N)	Floor Area Ratio Finished Ceiling Finished Floor Furnace Gallons Per Minute Gas Meter Hose Bib Kitchen Inch Maximum Minimum
----------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------	-----------------------------------------------------------------------------------------------------------------------------

SHEET COVER

j. AVENUE 950 SA BOWERS 1776

7/1/24

# PLAN GENERAL NOTES

. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 OR USANORTH811.ORG AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.

2. BEFORE ANY EXCAVATION, CORDINATE LOCATION OF ALL EXISTING UTILITIES.

3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OF PROFERTY. 4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.

5. FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET UTTER AT A POINT OF DISH-CHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A

MINIMUM OF 12 INCHES PLUS 2%.
6. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL

PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO SLOPE ONTO NEIGHBORING

PROPERTY.

8. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE ANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY

FROM THE BUILDING.
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM
1. IN THE STORM OF THE STORM OF THE PUBLIC STORM DRAIN, FAILURE TO IMPLEMENT
AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN

AND COPELY WITH THE AFFOVED CONSTRUCTION BEST MANAGEMENT FACITIES WILL RESULT I THE ISSUANCE OF CORRECTION NOTICE, CITATIONS, OR STOP ORDERES. 10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.

11. ANY TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINE OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS. SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEETS FOR ADDITIONAL JECT. INFORMATION.

3. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE. 13. NATURAL STRUCTION MATERIAL, EQUIPMENT, FORTABLE TOILETS, TRASH CONTAINERS OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY. 15. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE

GN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.

# DUST CONTROL NOTES

L. WATER ALL ACTIVE CONSTRUCTION AREAS ON A "AS NEEDED" BASIS

WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE

3. COVER ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.

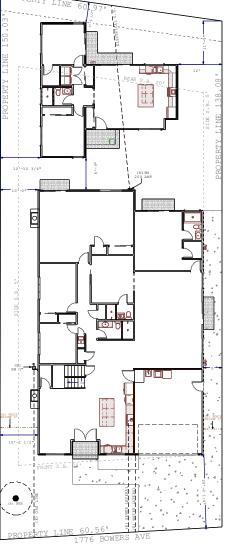
MAINTAIN AT LEAST 2 FEET OF FREEBOARD.

4. APPLY WATER AS NEEDED, OR APPLY NON-TOXIC SOIL STRABLIZERS ON REQUIRE ALL INCLES TO ASS. PARKING, AND STAGING AREAS AT CONSTRUCTION SITES. ALSO HYDROSED OR APPLY NON-TOXIC SOIL STRBILIZERS OI INACTIVE CONSTRUCTION AREAS.

5. SWEEP (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES ON AN "AS NEEDED" BASIS.

6. SWEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS TO AND AND ASSETTION OF THE STREETS OF THE STR

6. SMEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THEM.
7. ENCLOSE, COVER, WATER, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSE STOCK PILES (DIRT, SAND, ETC.)
(ON AN "AS NEEDED" BASIS.
8. INSTALLS ANDERED BASIS.
8. INSTALLS ANDERED SOR OTHER EROSION CONTROL MEASURES TO PREVENT STILL RUNOFF TO PUBLIC ROADWAYS AND/OR THE ADJACENT WATEWAY.
10. REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
11. THE APPROVED PLAN SHALL BE IMPLEMENTED FOR THE DURATION OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES THAT GENERATES DUST AND OTHER AIRBORNE PARTICLES.
12. ALL GRADED SURFACES AND MATERIALS, WHITHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTRIBED IN SUCH A MANNER AS TO PROTECT ANY SIGNIFICANT NUISANCE FOR MENT OF SHALLED LEDGED AND STATEMENT OF SHALLES BEEN AND ASSENCE OF THE PROJECT.
13. A DUST CANTED GREEN AND MATERIALS, WHITE SHALL BE RECOURSED OF THE PROJECT.
13. A DUST CANTED FARMED LINE THE COURSE OF THE PROJECT.
13. A DUST PALLIATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE GOVERNING AGENCY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SOLE INSIDEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND BUILDING DEPARTMENT'S GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.



INTERIOR DESIGNER GILBERT FERNANDEZ III REVISIONS (A) PLANNING REVISIONS VERSION 1 ➂ LANNING REVISIONS VERSION 2  $\langle F \rangle$ 

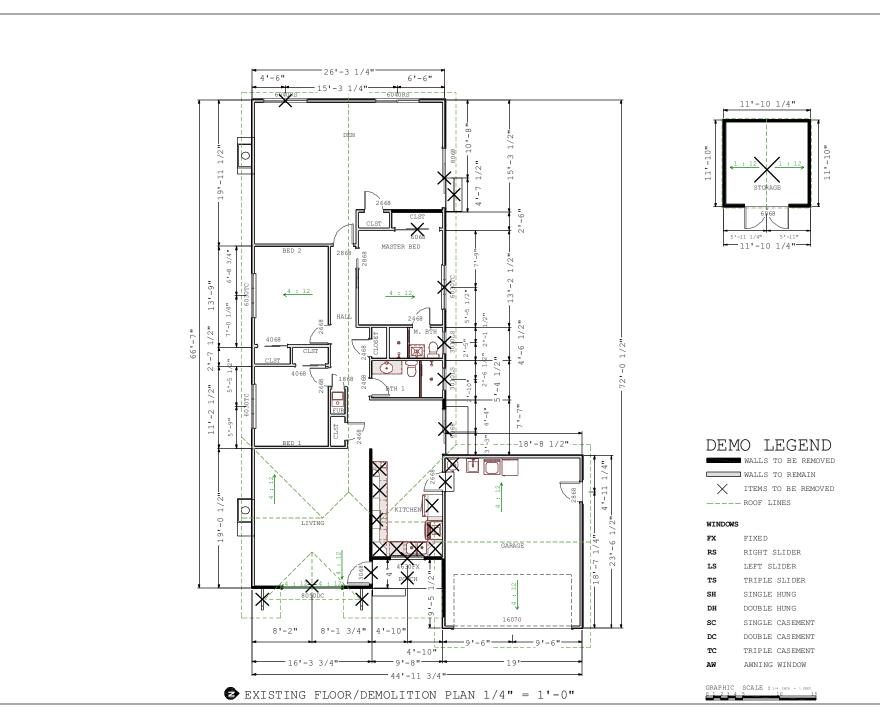
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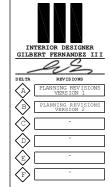
j. AVENUE 50 ര് SA BOWERS CLARA ဖ 77  $\vdash$ 

7/1/24

GRAPHIC SCALE: 1/4 INCH - 1 FEE

EXISTING SITE PLAN 1/8" = 1'-0" PROPOSED SITE PLAN 1/8" = 1'-0"

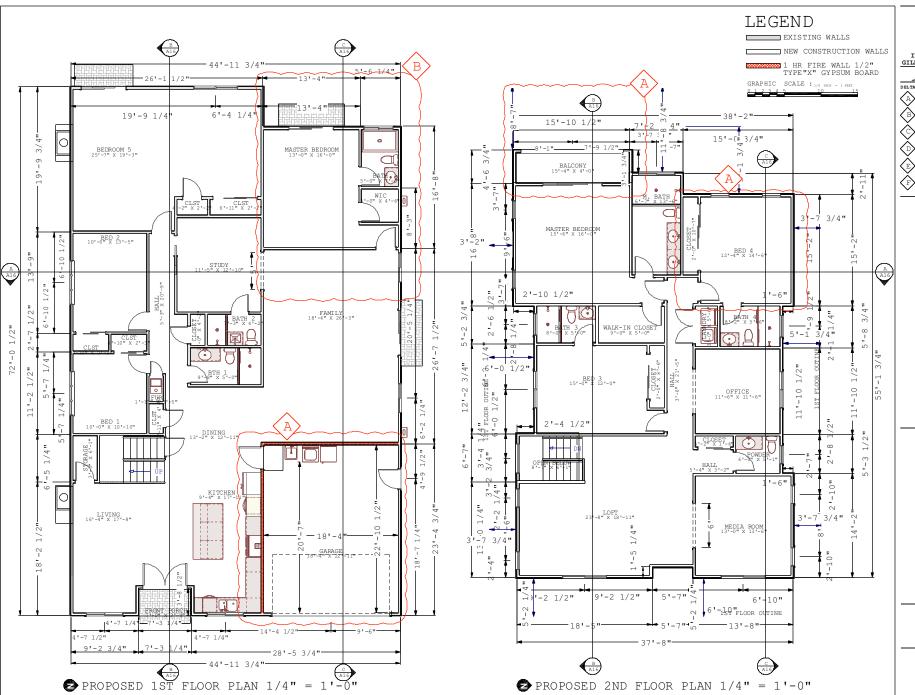




EXISTING/DEMOLITION PLAN AND ROOF PLAN

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

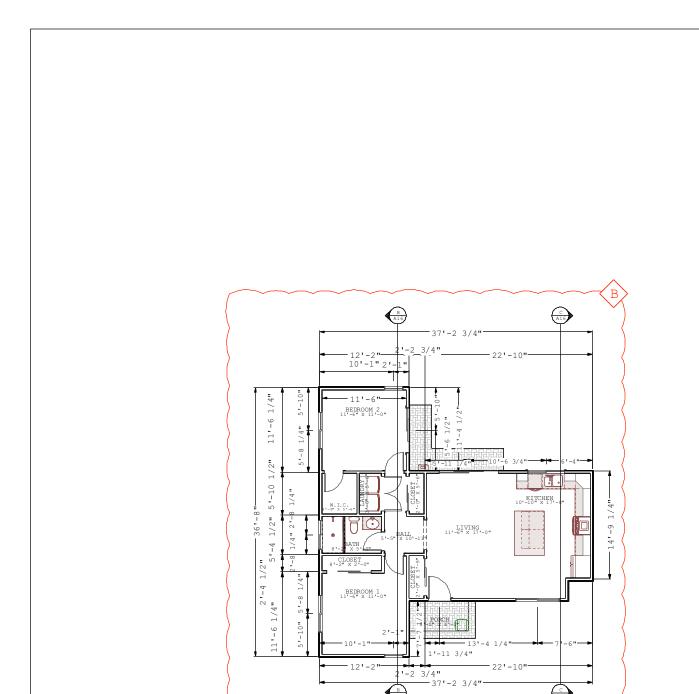




PROPOSED 1ST AND 2ND FILOR PLANS

1776 BOWERS AVENUE ANTA CLARA, CA 95051

7/1/24



PROPOSED ADU FLOOR PLAN 1/4" = 1'-0"

# LEGEND

EXISTING WALLS

NEW CONSTRUCTION WALLS

1 HR FIRE WALL 1/2"
TYPE"X" GYPSUM BOARD

GRAPHIC SCALE: 1/4 INCH - 1 FEET



PROPOSED ADU FLOOR PLAN

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

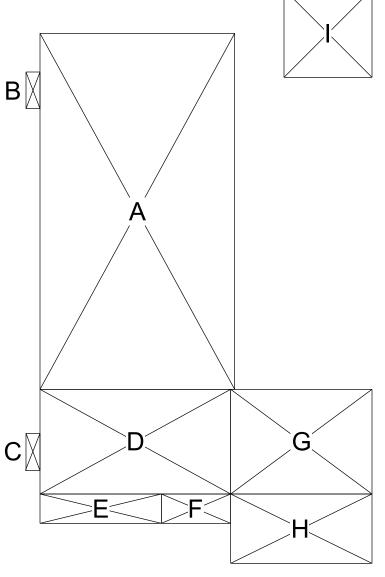


EXISTING FLOOR AREA CALCULATIONS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

**A-6** 



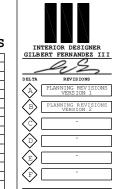
# EXISTING SQUARE FOOTAGE CACLS

_	
LOT COVERAGE:	SF
A (1ST FLOOR)	1,287 SF
B (FIRE PLACE 1)	10 SF
C (FIRE PLACE 2)	10 SF
D (1ST FLOOR)	372 SF
E (1ST FLOOR)	66 SF
F (FRONT PORCH)	38 SF
G (GARAGE)	275 SF
H (GARAGE)	182 SF
I (SHED)	144 SF
TOTAL	2,384 SF

2

GRAPHIC SCALE: 1/4 INCH - 1 FEE

EXISTING FLOOR AREA DIAGRAM 1/4" = 1'-0"

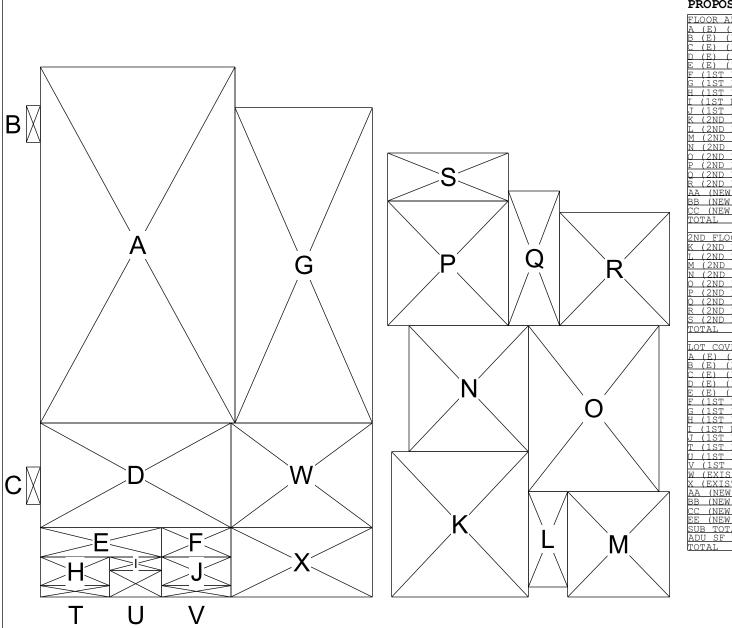


PROPOSED FLOOR AREA CALCULATIONS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

**A-7** 

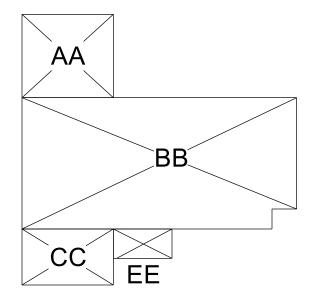


PROPOSED 1ST FLOOR AREA DIAGRAM 1/4" = 1'-0" PROPOSED 2ND FLOOR AREA DIAGRAM 1/4" = 1'-0"

PROPOSED SQUARE F	
FLOOR AREA RATIO:	SF
A (E) (1ST FLOOR)	1,287 SF
B (E) (FIRE PLACÉ 1)	10 SF
C (E) (FIRE PLACE 2)	10 SF
D (E) (1ST FLOOR)	372 SF
E (E) (1ST FLOOR)	66 SF
F (1ST FLOOR ADDITION)	38 SF
G (1ST FLOOR ADDITION)	804 SF
H (1ST FLOOR ADDITION)	37 SF
I (1ST FLOOR ADDITION)	13 SF
J (1ST FLOOR ADDITION)	37 SF
K (2ND FLOOR ADDITION)	371 SF
L (2ND FLOOR ADDITION)	69 SF
M (2ND FLOOR ADDITION)	201 SF
N (2ND FLOOR ADDITION)	280 SF
O (2ND FLOOR ADDITION)	402 SF
P (2ND FLOOR ADDITION)	278 SF
O (2ND FLOOR ADDITION)	127 SF
R (2ND FLOOR ADDITION)	
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
TOTAL	5,682 SF
ALLE	
2ND FLOOR CALCS:	
K (2ND FLOOR ADDITION)	371 SF
L (2ND FLOOR ADDITION)	69 SF
M (2ND FLOOR ADDITION)	201 SF 280 SF
N (2ND FLOOR ADDITION)	
O (2ND FLOOR ADDITION)	402 SF
P (2ND FLOOR ADDITION)	278 SF
O (2ND FLOOR ADDITION)	127 SF
R (2ND FLOOR ADDITION)	232 SF
S (2ND FLOOR BALCONY)	108 SF
TOTAL	2,068 SF
LOT COVERAGE:	
A (E) (1ST FLOOR)	1,287 SF
B (E) (FIRE PLACÉ 1)	10 SF
C (E) (FIRE PLACE 2)	10 SF
D (E) (1ST FLOOR)	372 SF
E (E) (1ST FLOOR)	66 SF
F (1ST FLOOR ADDITION)	38 SF
G (1ST FLOOR ADDITION)	804 SF
H (1ST FLOOR ADDITION)	37 SF
I (1ST FLOOR ADDITION)	13 SF
J (1ST FLOOR ADDITION)	37 SF
T (1ST FLOOR PORCH)	15 SF
U (1ST FLOOR PORCH)	26 SF
V (1ST FLOOR PORCH)	15 SF
W (EXISTING GARAGE)	275 SF
X (EXISTING GARAGE)	182 SF
AA (NEW ADU)	142 SF
	112 01
	663 SF 95 SF
EE (NEW ADU PORCH)	
SUB TOTAL	4,119 SF
ADU SF NOT COUNTED	-800 SF 3,319 SE
TOTAL	

SF
262 SF
162 SF
170 SF
482 SF
440 SF
1,516 SF
,
4,635 SF
1,158 SF

1,516 SF > 1,158 SF = OK



# PROPOSED SQUARE FOOTAGE CACLS

_	
FLOOR AREA RATIO:	SF
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
TOTAL	900 SF
LOT COVERAGE:	
AA (NEW ADU)	142 SF
BB (NEW ADU)	663 SF
CC (NEW ADU)	95 SF
EE (NEW ADU PORCH)	32 SF
TOTAL	932 SF

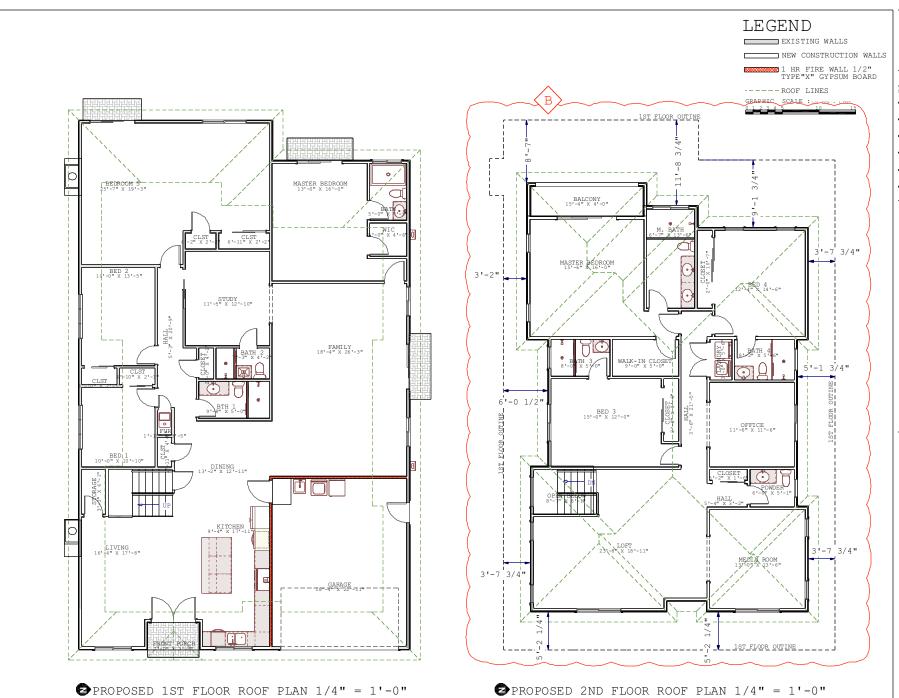
ADU FLOOR AREA CALCS COMMON LIVING AREA CALCS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

**A-8** 

GRAPHIC SCALE: 1/4 INCH = 1 FEET 0 1 2 3 4 5 10 15

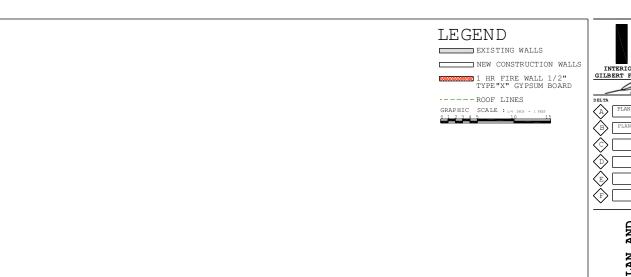


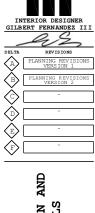


PROPOSED 1ST FLOOR AND 2ND FLOOR ROOF PLANS

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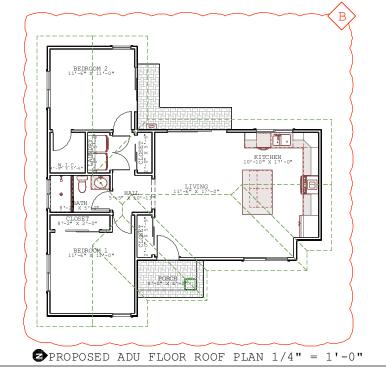


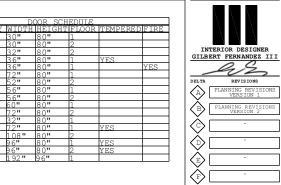
PROPOSED ADU ROOF PLAN AND VENTILATION DETAILS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

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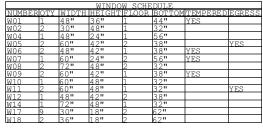


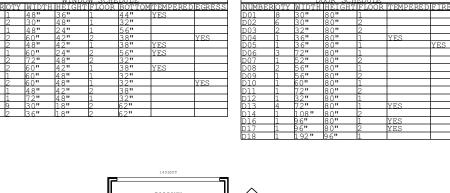


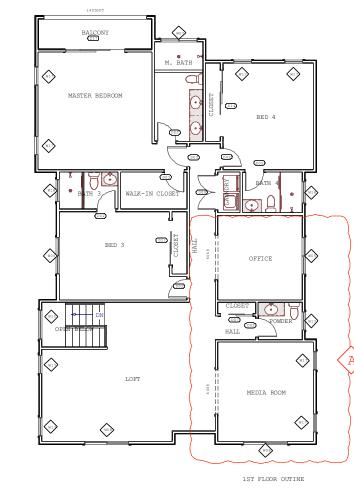
& DOOR HOME) PROPOSED WINDOW SCHEDULE (MAIN

1776 BOWERS AVENUE ANTA CLARA, CA 95051

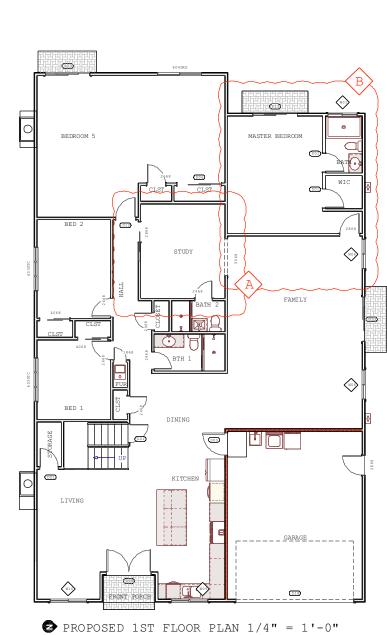
7/1/24







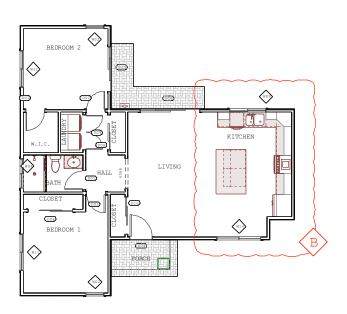




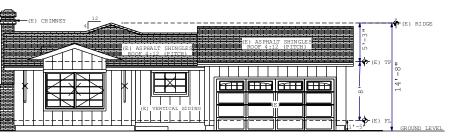
7/1/24

WINDOW SCHEDULE							
NUMBER	OTY	WIDTH	HEIGHT	FLOOR	BOTTOM	TEMPERED	EGRESS
W01	1	48"	36"	1	44"	YES	
W02	2	30"	48"	1	32"		
W04	1	48"	24"	1	56 <b>"</b>		
W05	2	60"	42"	2	38"		YES
W06	2	48"	42"	1	38"	YES	
W07	1	60"	24"	2	56"	YES	
W08	2	72"	48"	2	32"		
W09	2	60"	42"	1	38"	YES	
W10	1	60"	48"	1	32"		
W11	2	60"	48"	1	32"		YES
W12	1	48"	42"	2	38 <b>"</b>		
W14	1	72"	48"	1	32"		
W17	9	30"	18"	2	62"		
W18	2	36"	18"	2	62"		

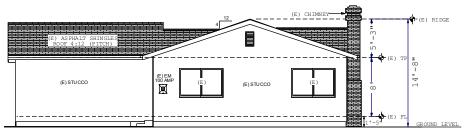
DOOR SCHEDULE						
NUMBER	OTY	WIDTH	HEIGHT	FLOOR	TEMPERED	FIRE
D01	8	30"	80"	1		
D02	6	30"	80"	2		
D03	2	32"	80"	2		
D04	1	36"	80"	1	YES	
D05	1	36"	80"	1		YES
D06	3	72"	80"	1		
D07	1	52"	80"	2		
D08	2	56"	80"	1		
D09	1	56"	80"	2		
D10	1	60"	80"	1		
D11	1	72"	80"	2		
D12	1	32"	80"	1		
D13	4	72"	80"	1	YES	
D14	1	108"	80"	2		
D16	1	96"	80"	1	YES	
D17	1	96"	80"	2	YES	
D18	1	192"	96"	1		



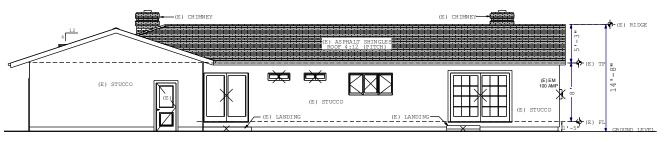
PROPOSED ADU FLOOR PLAN 1/4" = 1'-0"



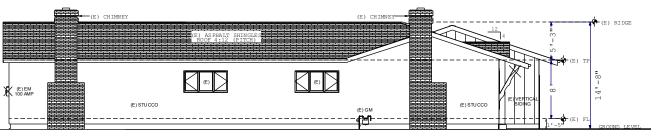
EXISTING FRONT ELEVATION 1/4" = 1'-0"



EXISTING REAR ELEVATION 1/4" = 1'-0"



EXISTING RIGHT ELEVATION 1/4" = 1'-0"

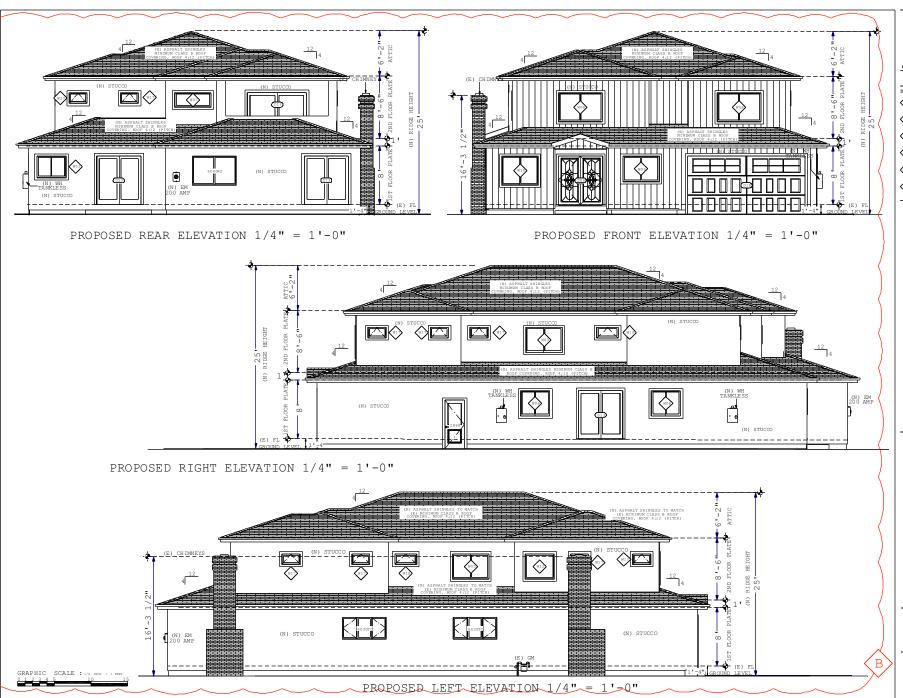


EXISTING LEFT ELEVATION 1/4" = 1'-0"

1776 BOWERS AVENUE ANTA CLARA, CA 95051

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PROPOSED MAIN HOME ELEVATIONS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

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F

INTERIOR DESIGNER
GILBERT FERNANDEZ III

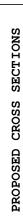


A-15

7/1/24



GRAPHIC SCALE: 1/4 INCH - 1 FEET 0 1 2 3 4 5 10 15











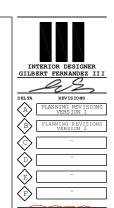
PROPOSED FRONT ELEVATION RENDERING N.T.S.



EXISTING ON SITE FRONT SITE VIEW A



EXISTING ON SITE FRONT SITE VIEW B



PROPOSED COLORED RENDERINGS AND MATERIALS

1776 BOWERS AVENUE SANTA CLARA, CA 95051

7/1/24

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# City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

# Agenda Report

24-1049 Agenda Date: 11/13/2024

# REPORT TO DEVELOPMENT REVIEW HEARING

# **SUBJECT**

PUBLIC HEARING: An Architectural Review (PLN24-00382) for the Demolition of 50% or more of an Existing 1,039.30 Square Foot Single-Family Residence to Construct a 2,396 Square Foot Four Bedroom, Three Bathroom, Single-Family Residence with an Attached Two-Car Garage on a 5,991 Square Foot Lot at 748 Clara Vista Avenue.

File No.: PLN24-00382

**Location: 748 Clara Vista Avenue,** a 5,991 square foot lot located on the west side of Clara Vista

Avenue, approximately 300 feet south of Homestead Road; APN: 294-15-045;

Zoned: Single-Family Residential (R1-6L)

Applicant: Han Li

Owner: Yuh Jiuan Lin (Judy)

Request: Architectural Review for the demolition of 50% or more of an existing 1,039 square

foot single-family residence to construct a 2,396 square foot four bedroom, three-

bathroom single-family residence with an attached two-car garage.

# **PROJECT DATA**

The Project Data and Compliance Table is included as Attachment 2.

## POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one and two- story single-family residences as shown in Attachment 4.
- The site includes an existing 1,039 square-feet one-story, three-bedroom, two-bathroom single
  -family residence with 491 square feet unpermitted space built in 1954. There is also a carport
  that will be demolished to make way for a compliant two car garage.
- The existing single-family residence is a non-conforming structure as it has a carport instead
  of the required two car garage per the R1-6L Zoning district. There is no record of the
  construction of the carport.
- There are no significant historical features in the existing residence. The home has been modified previously thus changing the architecture style of the home.
- The proposal includes demolition of more than 50% of the exterior walls. Per the Santa Clara Municipal Code 18.120.020(E)(1), a wall is deemed "demolished" when its structure is removed or moved to another location or elevation on site, when the wall is enclosed behind newly constructed space, or when the exterior siding of the wall is removed.
- Per the Santa Clara Municipal Code 18.120.020(D)(7), the request requires Architectural

Review approval through a Development Review Hearing.

• The result of the project will be a 2,396 square foot, single-story residence with four-bedrooms and three bathrooms with an attached two car garage.

- The applicant proposes a contemporary take on the patio home architectural style with slanted roofs and minimalistic geometry.
- The proposed construction will consist of new asphalt roofing shingles, stucco, and wood siding to blend with the neighborhood's character.
- The project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
  - o Building height and bulk is appropriate relative to the neighborhood.
  - Architectural features of the proposed design are true to the architectural form and appropriate for the neighborhood.
  - o Roof materials, building materials, and finishes work in conjunction with one another and are consistent with the architectural style of the building.
- The proposed project meets the required findings set forth in Santa Clara City Code Section 18.120.020(F).
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

# **FINDINGS**

Grant the Architectural Review approval requires, the following findings consistent with Zoning Code Section 18.120.020.F:

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development in that:
  - The proposal is consistent with Santa Clara Municipal Code Section 18.38.060D as the proposed expansion includes a compliant two car garage measuring 20 feet by 20 feet.
  - The proposed parking space are not located in the required front yard or side yard landscape areas.
  - The proposal provides areas surfaced with all-weather materials for vehicle parking.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of

neighboring developments, and will not create traffic congestion or hazard, in that:

The proposed construction would not create any traffic congestion or hazards.

- The public streets are of adequate size to accommodate a single-family residence of this size.
- The proposed design matches nearby residence in scale and would not impair the desirability of the neighborhood.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
  - The proposed project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
    - o Building height and bulk is appropriate relative to the neighborhood.
    - Roof materials, building materials, and finishes work in conjunction with one another and consistent with the architectural style of the building.
    - The new roof form is derived from those found in the existing residences in the neighborhood and increase the compatibility to the existing residence in the neighborhood.
    - o Roof materials, building materials, and finishes work in conjunction with one another and are consistent with the architectural style of the building.
    - o Architectural features of the proposed design are true to the architectural form and appropriate for the neighborhood.
    - The proposed addition is consistent with the scale and design found in the existing surrounding neighborhood.
    - Architectural features are used to reduce large expanse of blank walls which further harmonizes the development with the existing neighborhood.
    - o Portioned of the front façade will have wood siding to break the plain expanse.
    - o Trees and plants will remain in the rear yard to provide shade, soften the building, and improve the streetscape.
- 4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the

public welfare or injuries to property or improvements in said neighborhood, in that:

 The project is subject to the California Building code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.

- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
  - The proposed construction is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
    - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
  - The proposed construction complies with the R1 zoning districts development standards.
  - The proposed construction complies with the intent of the Santa Clara General Plan and all its policies.

## Conditions of Approval

Conditions of approval are proposed for the project and are contained in Attachment 1.

# **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small Structures), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.

#### PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email <a href="mailto:clerk@santaclaraca.gov">clerk@santaclaraca.gov</a> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on November 3, 2024. As of the writing of this report, planning staff has not received public comments for this application.

# RECOMMENDATION

**Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small

Structures), and **Approve** the Architectural Review for the demolition of 50% or more of an existing 1,039 square foot single family residence to construct a 2,396 square foot four bedroom, three-bathroom, single family residence with an attached two car garage on a 5,991 square foot lot at 748 Clara Vista Avenue, subject to findings and conditions of approval.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

# **ATTACHMENTS**

- 1. Conditions of Approval
- 2. Project Data and Compliance Table
- 3. Development Plans
- 4. Vicinity Map

# **Conditions of Architectural Review Approval**

## PLN24-00382/748 Clara Vista Avenue

An **Architectural Review** For The Demolition Of 50% Or More Of An Existing 1,039 Square Foot Single Family Residence To Construct A 2,396 Square Foot Four Bedroom - Three Bathroom Single Family Residence With An Attached Two-Car Garage On A 5,991 Square Foot Lot at 748 Clara Vista Avenue

#### **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is **November 20, 2026**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code. California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

#### DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

# **DURING CONSTRUCTION**

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. Landscape Water Conservation. The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### **OPERATIONAL CONDITIONS**

- P5. **Use of Garage**. The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

## KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

# ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

# Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# **Attachment 2: Project Data/Compliance**

Project Address: 748 Clara Vista Avenue Zoning: R1-6L **Project Number: PLN24-00382** 

Standard	Existing	Proposed	Requirement	Complies? (Y/N)			
Lot Area (SF) (min):	5,991	5,991	6,000	N(Existing)			
Lot Area per Dwelling Unit (SF):	5,991	5,991		Y			
Building Square Footage (SF)							
1 <sup>st</sup> Floor:	1,039	1,958					
2 <sup>nd</sup> Floor:							
Basement:							
Accessory Building:	891	438 (Attached Garage)	600 SF max	N			
Porch/Patio:	-	-					
Total:	1,930	2,396					
Floor Area Ratio:	0.32	0.40					
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor:			66% max				
Building Coverage (%)							
Building Coverage (All):	32%	40%	40% max	Y			
Rear Yard Accessory Building Coverage:			40% max				
Main Building Setbacks (FT)							
Front (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	25' – 7.25" 	20'	20'	Y			
Left Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	9'	5' 	5'	Y			
Right Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	9'	9'	5'	Y			
Side, Corner:							
Rear (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	31' – 2.5" 	26' – 9.3" 	20'	Y			
Accessory Building Setbacks (	FT)						
Front:	20'		20'	Y			
Side (left): (right):	5'-4.25" 27'		3' 3'	Y			
Side, Corner:							
Rear:	31' -2.5"		5'	Υ			
From main building:	0		6'	N			
Height (FT)							
Main building:	11'- 7.25"	13' – 4"	25'	Y			
Accessory building:	9' – 8"		16'	Υ			

Standard	Existing	Proposed	Requirement	Complies? (Y/N)		
# of Bedrooms/Bathrooms:	3/2	4/3				
Parking: Is the site AB 2097 eligible?: No						
Off-street	1	2	2	Y		
Common Living Area (SFR)	38.75%	41.77%	Min 25%	Y		
Open Landscaped Area (Front):	65%	75%	65%	Y		

#### GENERAL NOTE:

- ALL DIMENSIONS ON PLAN ARE FROM FINISH WALL SURFACE TO FINISH WALL SURFACE
- DO NOT SCALE DRAWINGS LISE WRITTEN DIMENSIONS DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.WHERE NO DIMENSION IS PROVIDED OR WHERE DISCREPANCIESEXIST, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.
- IF A CONFLICT EXISTS BETWEEN REFERENCED REGULATORY REQUIREMENTS AND THE CONTRACT DOCUMENTS CONTRACTOR SHALL NOTIFY OWNER'S DOCUMENTS, CONTRACTOR SHALL NOTHLY OWNER'S REPRESENTATIVE AND REQUEST THAT THE CONFLICT BE RESOLVED. THE FACT THAT THE CONTRACT DOCUMENTS MAY ESTABLISH HIGHER OR MORE COSTLY REQUIREMENTS THAT THE MINIMUM CODE OR OTHER REGULATORY REQUIREMENTS REFERENCED ABOVE SHALL NOT CONSTITUTE A "CONFLICT".
- WORK NOT PARTICULARLY DETAILED, MARKED OR 6. SPECIFIED SHALL BE THE SAME AS SIMILAR WORK THAT IS DETAILED MARKED OR SPECIFIED.
- NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECTS INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL.

#### CONTRACTOR'S RESPONSIBILITIES:

- CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE LATEST REQUIREMENTS AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.
- CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK WHETHER DETAILED BY THE SPECIFICATIONS AND
- ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE DESIGNER BEFORE PROCEEDING WITH THE
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING & UNDERPINNING AS NECESSARY, WORK TO BE PERFORMED UNDER SEPARATE PERMIT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONTRUCTION
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION/CAPPING OFF ALL EXISTING LITH ITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE.
- CONFIRM ALL WINDOW SIZES WITH ACTUAL/ EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS.
- SLOPE ALL FLOORS/ ROOFS TO DRAIN IN A MINIMUM OF 1/4" PER 1'-0" UNI ESS SPECIFICALLY NOTED.
- CONTRACTOR IS RESPONSIBLE TO PROCURE STATE INDUSTRIAL SAFETY PERMIT FOR ANY WORK OVER 36" IN HEIGHT, INVOLVING EXCAVATION OVER 5" AND AS OTHERWISE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR ALL WATERPROOFING DESIGN AND INSTALLATION FOR WEATHERTIGHT ASSEMBLIES/INSTALLATIONS, DETAILS INCLUDED IN THIS SET ARE FOR CLARIFICATION OF INSTALLATION OF FINISH MATERIALS
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS, INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR COMPLIANCE WITH SPECIAL INSPECTIONS/BUILDING PERMIT APPROVALS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND TRANSMISSION
  REQUIREMENTS PER CBC 1207, INCLUDING STC AND IIC
  RATINGS OF ASSEMBLES AND EXTERIOR ASSEMBLY
  REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO NEIGHBORING TENANTS.

- CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA. BROOM CLEAN ALL AREAS EACH DAY, AND AS NECESSARY THROUGHOUT THE DAY TO MAINTAIN WORK AREA SAFE AND FULLY OPERATIONAL. KEEP DUST AND DEBRIS TO A MINIMUM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE. IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- CONTRACTOR SHALL INFORM THE ARCHITECT & OWNER IN WRITING OF ANY CONDITIONS UNCOVERED IN THE COURSE OF DEMOLITION OR CONSTRUCTION WHICH DEVIATE FROM THE DOCUMENTS, OR WHICH MAY CONSTITUTE A HAZARD
- DURING OR AFTER CONSTRUCTION. THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, DRY ROT OR DAMAGE TO EXISTING STRUCTURAL MEMBERS, AND FRAMING MEMBER SIZES OR SPACING WHICH DO NOT CORRESPOND WITH THOSE STATED IN THE DOCUMENTS. THE ARCHITECT SHALL PROVIDE WRITTEN DIRECTION AS HOW TO PROCEED IN
- IF THE CONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM THE DOCUMENTS IN ANY MANNER, THE CONTRACTOR SHALL INFORM THE ARCHITECT OR OWNER IN WRITING AND OBTAIN WRITTEN APPROVAL FOR ANY CHANGES PRIOR TO COMMENCING WITH THE WORK.
- 19 CONTRACTOR TO IMPLEMENT AND MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION AND PREVENT WATER FROM FLOWING INTO NEIGHBORING LOTS.
- 20. ALL PLUMBING, ELECTRICAL & HEATING SYSTEM TO BE DESIGN BUILD BY THE CONTRACTOR

#### WATER CONSERVATION REQUIREMENT

- PROVIDE MAXIMUM 1.8 GALLONS PER MINUTE FOR
- SHOWER HEADS PROVIDE MAXIMUM 1.2 GALLONS PER MINUTE FOR
- LAVATORY FAUCETS PROVIDE MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW

#### WALLS ENCLOSING CONDITIONED SPACE

R - VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CE-1R FORM VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D, CF-1R FORM)
R-15 IN 2x4 STUDS / R-20 IN 2x6 STUDS / R-22 IN 2x8 STUDS / R-30 IN 2x10 STUDS

R-15 IN 224 STUDS FR-20 IN 226 STUDS FR-22 IN 226 STUDS FR-30 IN 2270 ST FR-38 IN 2412 STUDS
OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLE 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1)

#### CEILINGS BETWEEN GARAGE AND ROOMS ABOVE, AND AT FLOORS WITH CRAWL SPACES

R - VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CE-1R FORM VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D. CF-1R FORM R-15 IN 2x4 STUDS / R-20 IN 2x6 STUDS / R-22 IN 2x8 STUDS / R-30 IN 2x10 STUDS

OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLE 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1)

PROJECT DA	TA				
PROJECT NAME	CLARA VISTA RESIDENCE	CLARA VISTA RESIDENCE			
PROJECT ADDRESS	748 CLARA VISTA AVE, SAI	NTA CLARA, CA 950	150		
PARCEL NUMBER / ZONING	294-15-045 / R1-6L	LOT SIZE		5,991 SF	
PERMITTED LOT COVERAGE	40% (5,991 x 0.4 = 2396.4)	•		•	
	EXISTING		PROPOSED		
USE	SINGLE FAMILY		SINGLE FAMILY		
OCCUPANCY	R-3/U		R-3/U		
NO. OF UNIT	1	1		1	
CONSTRUCTION	TYPE V-B (NO SPRINKLERS)		TYPE V-B (NO SP	TYPE V-B (NO SPRINKLERS)	
HEIGHT	12'-6 3/4" ABOVE GRADE		14"-3 1/2" ABOVE	GRADE	
NO. OF STORIES	1 STORY		1 STORY		
BUILDING FLOOR AREA (GROSS)	TOTAL: 1,530.54 SF PERMITTED SPACE: 1,039.30 SF UNPERMITTED SPACE: 491.24 SF		2,396.22 SF		
LIVING AREA	1,039.30 SF	1,039.30 SF		1,958.06 SF	
GARAGE	0.00 SF		438.16 SF		
% OF COMMON LIVING AREA	38.75% TOTAL LIVING AREA: 1,039.30 AREA OF LIVING RM, DINING & KITCHEN: 402.70		41.77% TOTAL LIVING AF AREA OF LIVING KITCHEN: 402.70		
# OF BEDROOM	3		4		
# OF BATHROOM	2		3		

#### CODE

2022 CALIFORNIA BUILDING CODE (VOLUMES 1 & 2); 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE; 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE; 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA FURBING LODE; 2022 CALIFORNIA FIRE CODE; 2022 CALIFORNIA ENERGY CODE

CITY OF SANTA CLARA MUNICIPAL CODES

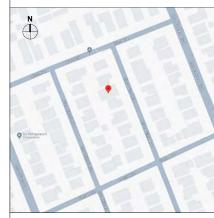
#### SCOPE OF WORK

- Legalize unpermitted space of 491.24 SF Add 865.67 SF new addition 1. Add an attached two car garage
- Add (1) bedroom and (1) bath
- Kitchen & all bath remodeling
- Remove all existing roofs and build new roof Install new heat-pump water heater and furnace Upgrade electrical panel to 200 amp Increase curb-cut width for new driveway

#### SHEET INDEX

SHEET NO.	SHEET NAME		
A 0.0	COVER SHEET		
A 1.0	CALGREEN CHECKLIST		
A 2.0	SITE PLANS		
A 3.0	FLOOR PLAN - EXISTING		
A 3.1	FLOOR PLAN - PROPOSED		
A 4.0	BUILDING FRONT & REAR ELEVATIONS		
A 4.1	BUILDING NORTH & SOUTH ELEVATIONS		
A 5.0	BUILDING SECTIONS		

#### PROJECT LOCATION



#### STREET VIEW



#### SYMBOLS



Α Room name

101

WALL TAG

ROOM TAG

Name Preference Elevation

#### **CLARA VISTA** RESIDENCE

748 Clara Vista Ave, Santa Clara, CA 95050

Parcel Number: 294-15-045: Zoning: R1-6L

OWNER

Yuh Jiuan Lin; 408-421-0361; Judy shu@yahoo.com

DESIGNER:

#### HAN DESIGN STUDIO

157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



ODICINAL DATE 07/28/24 REVISIONS: DESCRIPTION DATE

SHEET TITLE

**COVER SHEET** 

A0.0

#### CALGREEN - RESIDENTIAL MANDATORY MEASURES

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.
- CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING CORRINAMOE SYSTEM HILL, MANGE A LIFE SHAPE WATER FLOWS TO REEP WATER FROM BY THE MEDIAN TO REPORT WATER AND THE MEDIAN TO REPORT OF THE MEDIAN FROM THE MEDIAN FROM THE PROPERTY OF THE MEDIAN FROM THE MEDIAN
- NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION
  4 106.4 17 OF ACLITATE FUTURE INSTALLATION AND USE OF EV
  ENSTALLE IN ACCORDANCE WITH THE CALFORNIA
  ELECTRICAL CODE, ARTICLE 69
  EXECUTIONS.
  A CONSTRUCTION OF THE CONTROL OF THE CON
- FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRC ACCOMMONTE A REPORTED SUBJECT TRANSPORT CREAT THE ACCOMMONTE A REPORTED SUBJECT TRANSPORT CREAT THE ACCOMMOND TO THE LESS THAN THOSE SEET INCOMING. IN THE MAIN SERVICE OR SUBPANIE, AND SHALL TENBRANTE THO AND STEED CARBON ET SUCK OR OTHER PROCESS. THE CODE SEED OF THE PROCESS OF THE CODE SEED OF THE SERVICE AS ALARESE MEMBRING ESCALE OF THE SERVICE AS ALARESE MEMBRING SEED OF THE SERVICE

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) IDENTIFY THE OVER CORRENT PROTECTIVE DEVICE SPACE(S)
RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE
RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND
VISIBLY MARKED AS "EV CAPABLE".

- VISBLY MANKED AS EY CAPABLE.

  ALL HONCOMPLINET FULIMBING FOTURES SHALL BE REPLACED WITH WATERCONSERVING A LUMBROG FOTURES PLUMBING WITH WATERCONSERVING A LUMBROG FOTURES PLUMBING OF A CERTIFICATE OF FOR THE CORP. THE CERTIFICATE OF A CONCEINED AND OF THE CERTIFICATE OF THE CERTIFICATE OF THE CERTIFICATE OF A PRODUCT OF THE CERTIFICATION OF A PRODUCT OF THE CERTIFICATION OF

- SHOWERHEADS SHALL HAVE A ANAMAM FLOW RATE OR NOT MORE THAN 15 A GLOLOUS PER NUMBER AT 80 PS. SHOWERHEADS SHALL BE CERTIFIED TO THE STORMER AND SHALL BE CERTIFIED TO THE STORMER AND ANAMERICAN WHERE AS SHOWER BE SERVED BY MORE THAN ONE SHOWERHEADS SHOWER AS SHOWER BY MORE THAN ONE SHOWER AND SHOWER OF THE SHOWER SHALL BE SHOWER HALL NOT EXCEED 18 QUILLONG PER INMORE AT 80 PSR (OF REVOKE SHALL BE CONSIDERED AS SHOWER HEADS AND SHOWER HEADS SHOWER SHALL BE CONSIDERED AS SHOWERS SHALL BE CONSIDERED AS SHOW
- FAULE IS SPALL NO! EXCESS 12 SALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESDEDITIOL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 FRITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXAMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- PLUMBING FOXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
- RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALFORNIA DEPARTMENT OF WATER RESOURCES WOOEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER 20. IS MORE STRINGENT.
- DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE. MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.
- ANNULAR SPACES AROUND PPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLEBOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROJECTED AGAINST THE PASSAGE OF TROBER'S BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASORNEY OR A SIMILAR METHOD ACCEPTABLE TO THE LOCAL BROKEN CAR OF THE LOCAL BROKEN CAR OF THE LOCAL BROKEN CAR OF THE LOCAL BROKEN CARE OF THE LOCAL BROKE
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.
- OR 4.408.3.
  SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE LOCAL
  - ENFORCING AGENCY.

    I DENTIFY THE CONSTRUCTION AND DEMOLITION
  - IDENTIFY THE CONSTRUCTION AND DEMOLITION
    WASTE MATERIALS TO BE DIVERTED FROM MOUNT
    DISNOSAL BY REDVICLING, RELISE ON THE PROJECT
    22.
    SPECIFY IF CONSTRUCTION AND DEMOLITION
    WASTE MATERIALS WILL BE SORTED ON SITE
    23.
    (STEEL STATEMENT OF BOLD MEDIC DISNOSE
    DEMTIFY DIVERSION FACILITIES WHERE THE
    CONSTRUCTION AND DEMOLITION WASTE
  - CONSTRUCTION AND DEMOLITION WAS TE MATERIAL WILL BE TAKEN. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED. SPECIFY THAT THE AMOUNT OF CONSTRUCTION
  - SPECIFY INVIT THE ANIOUNI OF CONTRICE IDEA
     AND DEMOLITION WASTE MATERIALS DIVERTED
     SHALL BE CALCULATED BY WEIGHT OR VOLUME
     BUTTON BY BOTH
     AWASTE MANAGEMENT COMPANY CAN BE UTILIZED IF
     APPROVED BY THE LOCAL ENFORCING AGENCY. SEE
- CALGREEN 4.408.3 FOR FURTHER DETAILS

- DOCUMENTATION SHALL BE PROVIDED TO THE LOCAL ENFORCING. BE FIND OSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT
- AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE LOCAL ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4410.1 FOR DETAILS OF REQUIRED INFORMATION.
- AND THE LINE OF REQUEST WHITE AND PRECIOUSLY AND WAY NOTALLED OF REPREADES SHALL BE A DIRECTIVENT ANY NOTAL BE A REST SOUTH OF THE PRECIOUSLY OF THE PRECIOU
- AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENNOS SHALL BE COVERED WITH TAPE PLASTIC, SHEETIMETAL OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
- ADHESIVES. SEALANTS AND CAULKS USED ON THE PROJECT AUTESIVES, SEALANTS AND CARLINS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4 GAS SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4 GAS SHALL MEET THE REQUIREMENT OF CHARLES OF CERTAIN TOXIC COMPOUNDS (CHUROPOCOME, ETHYLEME CHLOROBE, ETHYLEME CHLOROBE, ETHYLEME CHLOROBE, PERCHLOROBETHYLEME, EXCEPT FOR ARROSOL, PRODUCTS, AS SPECIFED BELOW.
  - AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ARROSOLS, United Version and State Visit of Compounds (in Anti-State Visit of Compounds), and state Visit of Problem (in Weight Mone Than 1 per Spackagins, Which do not weight Mone Than 1 for United Nation on Consist of Mone Than 16 FLUID DUNCES) SHALL COMPLY WITH STATEWIND VOC STRANDARDS AND OTHER EQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC.LIMITS AS SHOWN IN TABLE 4.90.4 SHEET. OF 1. THE VOC. CONTROL HAND FOO COATINGS THAT DO NOT HEET THE VOC.LIMITS AS HOWN IN TABLE 4.90.4 SHEET. OF THE THE VOC.LIMITS AND THE TOP THE THE VOL. TH
- AEROSSIC PANTS AND CONTINGS SHALL MEET THE PRODUCT.

  THE PRESENT SHALL MEET PROBUBLY SHALL MEET THE PRODUCT SHE PRESENT SHALL MEET PROBUBLY SHALL
- VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL REPROVIDED AT THE REQUEST OF THE LOCAL ENFORCING
- ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS
- USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.) NSF/ANSI 140 AT THE GOLD LEVEL. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR SCIENTIFIC CERTIFIC ADVANTAGE GOLD.
  - ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4504.1.

- WHERE RESLIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESLIENT FLOORING SHALL COMPLY WITH ONE OR MOME OF THE FOLLOWING CALFORNIA A CHARLEST OF PUBLIC HEALTH STANDARD METHOD PER THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS' VERSION INDOOR USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 301 (ALS ON KOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE, PRODUCTS CERTIFIED UNDER UL GREENGLAND OCH (CHOMERLY THE GREENGLAND CHILDREN & SCHOOLS
- PROGRAM). CERTIFICATION UNDER THE RESILIENT FLOOR COVERING
- INSTITUTE (RFCI) FLOORSCORE PROGRAM.
  MEET THE CALEFORNIA DEPARTMENT OF PUBLIC HEALTH,
  STANDARD METHOD ORT THE TESTING AND EVALUATION.
  NDOOR SOURCES LISING ENVERONMENTAL CHAMBERS,
  VERSON 1.1, FERRILARY 2010 (ALSO KNOWN AS
  SPECIFICATION 01390).

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5.

CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER S, SHALL COMPLY WITH FOLLOWING REQUIREMENT.

- A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING.

  AT LEAST ONE OF THE FOLLOWING.

  A GREATER SHALL BE FOR CHOICE OF LARGER CLEAN
  A GREATER SHALL BE FOUNDED WITH A VAPOR
  RETARDER IN DIRECT CONTACT WITH CONCRETE AND A
  CONCRETE MAD ESIGN WHICH WILL ADDRESS BLEEDING
  SHRIMMAGE, AND CURLING, SHALL BE USED.

  B. SHRIMMAGE, AND CURLING, SHALL BE USED.
  PROFESSIONAL CAPITAL SHALL BE USED.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT

DECIDIANTATION SHALL BE MERVESCH TO THE LODGE SEPTIMENT
BE SEPTIMENT OF THE PROMPTS SEPTIMENT SHALL BE REPORTED SEPTIMENT OF THE PROMPTS SEPTIMENT SHALL BE REPORTED SEPTIMENT OF THE PROMPTS SEPTIMENT SHALL BE REPORTED SHALL BE REP

- NO RECOMMENDATIONS PRIOR TO ENCLOSURE

  EACH BATHROON SHALL BE INCOMMICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

  UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE CONTROL OF THE WART OF THE WA
- HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

  A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED

  ACCORDING TO ANSI/ACCA 2 MANUAL J—2016
- (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER FOLIVALENT DESIGN SOFTWARE OR METHODS DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1
  MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE
  HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE
- HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIACCA 3 MANUAL \$-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

- THE FROURED BY THE LOCAL BIFFORMS AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL BIRLYO'N GAL GHOUS SPECIAL MOST CONS TO PROVIDE AGENCY ONCY OWNER SPECIAL SPECIAL SHALL BIRLYO'N GAL GHOUS SPECIAL BORDER STATE CONFIDENCE TO THE AGENCY OWNER SPECIAL SPECIAL
- MENTATION USED TO SHOW COMPLIANCE WITH THIS CODE DOQUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SMALL INCLUDE BITE NOT IMMED TO CONE TRUCTION SMALL INCLUDE BITE NOT SIMMED TO CONE TRUCTION SMALL INCLUDE SMALL INCL

### TABLE 4.504.1 ADHESIVE VOC LIMIT

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Oundoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor achesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
AliS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule

#### TABLE 4.504.2

SEALANTS	VOC LIMIT
Architectural	2,90
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural Nonporous Porous	250 775
Modified bituminous	500
Marine deck	760

### VOC CONTENT LIMITS FOR ABOUTEST

PRODUCT

Vasues in this stille are derived from those specified by the California Removery Board, Air Torics Commit Manage for Composine Wood systel in accordance with ASTM ECOL. For additional information, California Code of Removed, Tale 17, Section 9032-01 in ternal 45/20.

Hardwood phywood compount cor

This mediani density Eberhand

dwood physy

CURRENT LIMIT

COATING CATEGORY	VOC LIMI
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign points)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids contings'	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Kust prevenutive contings	239
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250

- Grams of VOC per liter of costing, including water and
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Contings Suggested Control Measure, Edward 2008 More information in weighbile from the Air Resource Board

### **CLARA VISTA** RESIDENCE

748 Clara Vista Ave, Santa Clara, CA 95050

Parcel Number: 294-15-045: Zoning: R1-6L

OWNER:

Yuh Jiuan Lin; 408-421-0361; Judy shu@yahoo.com

DESIGNER:

ORIGINAL DATE

#### HAN DESIGN STUDIO

157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



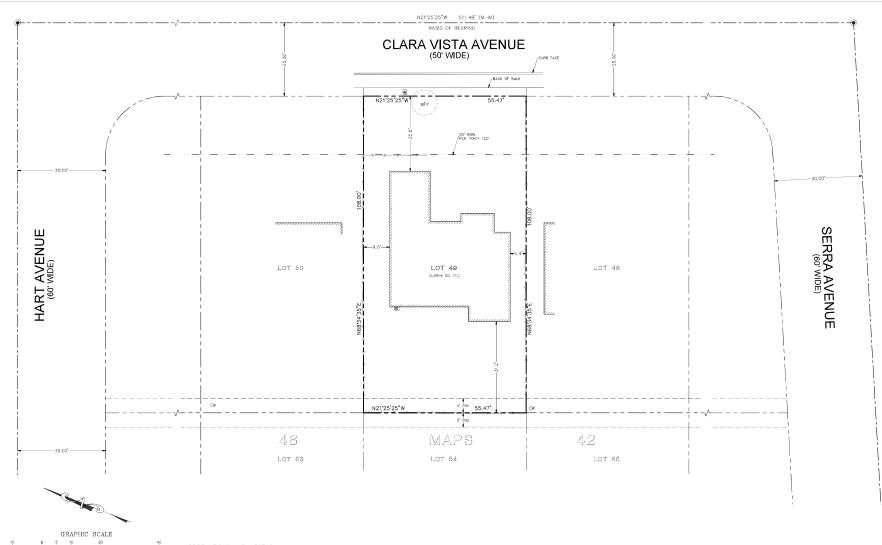
07/28/24

REVISIONS: DESCRIPTION DATE

SHEET TITLE

**CALGREEN** CHECKLIST

A 1.0



THIS SURVEY PLAT OF ENSTING CONDITIONS REFLECTS THE SITE CONDITIONS AT THE TIME WHICH THE RELOT SURVEY WAS PREFORMED.

WHICH THE RELOT SURVEY WAS PREFORMED.

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DEVELOPMENT PROJECT OF THE SUBJECT PROPERTY AND CAN NOT BE USED ON OTHER 
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#### ABBREVIATIONS AND LEGEND

ABB BSBL EM GM JP PUE SSCO WM DATIONS AND LEGEND
BUILDING SETBACK LINE
ELECTRIC METER
GAS METER
JOINT POLE
PUBLIC UTILITY EASEMENT
SANITARY SEWER CLEAN OUT
WATER METER
BOUNDARY LINE
EXISTING FENCE LINE
EXISTING FENCE LINE
EXISTING BUILDING OUTLINE

REFERENCE INFORMATION
(1) TRACT NO. 1221, 48 MAPS 42, SANTA CLARA COUNTY RECORDS

#### EASEMENTS NOTES:

EASEMENTS SHOWN ON THIS MAP IF ANY ARE BASED ON A REVIEW OF THE SUBDIVISION MAP, OTHER EASEMENTS, IF ANY, ARE NOT INDICATED ON THIS MAP,

(1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.

(2) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.

#### SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY LINES WERE ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT.

## **BOUNDARY SURVEY**

LOT 49, AS SHOWN ON "TRACT NO. 1221, WESTCLAIR", BOOK 48 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS. APN 294-15-045

(748 CLARA VISTA AVE)

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA SCALE: 1"=10" JULY, 2024



07/14/2024

ZHEN'S LAND SURVEYING CORP.

MANNIT CREEK, CAUFORMA

TEL: (415)802-9945 [ BIFOBZHENSLANDSURVEYING COM SHEET 1 OF 1 SHEET

- - - 3 TALL WOOD FENCE SITE PLAN LEGEND 1 SITE PLAN - EXISTING 🛞 N 68°34'35" E; 108' UNPERMITTED SPACE 491.24 SF N 21°25'25" W; 55.47' \_ N 21°25'25" W; 55.47' CLARA VISTA AVE N 68°34'35" E; 108' 2 SITE PLAN - PROPOSED 🛞 N 68°34'35" E; 108 N 21°25'25" W; 55.47' N 21°25'25" W 55.47 CLARA VISTA AVE CURB FACE N 68°34'35" E; 108' CLARA VISTA RESIDENCE 157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com SITE PLANS 748 Clara Vista Ave, Santa Clara, CA 95050 HAN DESIGN STUDIO A 2.0 DESCRIPTION CCIDC

#### GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERBY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORNG OF GOODS AND MATERIALS ON SIDEMALK ANDIOR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGET TO BE PLACED.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OF SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE CONTROL OF THE
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BULDIONS CODE (SCC), CALIFORNIA BEACHAUCHAL CODE (CMC), NATIONAL ELECTRICAL CODE (MEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CEMERAL COUNTING THE REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAYED AREAS. HE SHALL MAKE WORN ALL EXISTING SITE IMPROVEMENTS MALCHION FOR SIERCE AND THAN THE AND THE SHALL MAKE WORN ALL EXISTING DAMAGE ON DOISHONS THAT SHALL BE MANTAN IN THEIR PRESENT CONDITION AND ANY TEMS IS NO GOO CONDITION SHALL BE MANTAN IN THE REPRESENT CONDITION AND ANY TEMS IS NO GOO REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONDING TO THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL THOROUGH VEXAMINE THE SITE AND SATISFY FRISELE, EVEN AND THE CONTRACTOR SHALL VERBY AT THE SITE ALL PERFORMED. THE CONTRACTOR SHALL VERBY AT THE SITE ALL MEASUREMENTS AFFECTING IS NOW AND SHALL BE RESPONSIBLE FOR THE THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FALLIEST TO SIGNOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT SHALL USE LOW/NO-VOC PAINT. USE LOW/NO VOC ADHESIVES AND USE FSC CERTIFIED MATERIALS FOR INTER. COLOR, FLOOR, WALLS AND CELING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL RESIDENTIAL BUILDINGS, NEW & ADDITION, SHALL COMPLETE WITH THE MANDATORY REQUIREMENTS OF 2019 CALIFORNIA GREEN BUILDING CODE.
- FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE AS SPECIFIED. TIER 1. DISPLACED TOPSOIL SHALL BE STOKENLES FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSON. TERE 2. THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO HE CONSTRUCTION AREA.
- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIZE TO EXCAVATION. TERMICINES, OR GRADING OF ANY YIND. GENERAL CONTRACTOR CHARLES CORDINATE THE PROPLICABLE THE PROPLICABLE THE OFFICE AND THE PROPLICABLE THE OFFICE AND THE OFFI
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE PROJECT DESIGNER BEFORE PROCEEDING.
- GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
- CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATERTIGHT, ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.

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#### WALL LEGEND

EXISTING WALL TO REMAIN AND REPAIR AS REQUIRED

NEW WALL EXTERIOR WALL DETAIL SEE XXX INTERIOR WALL DETAIL SEE XXX

77777 DEMOLISHED WALL Z/Z/Z/Z NEW DOOR / WINDOW OPENING

1 HR. RATED EXTERIOR WALL DETAIL SEE XXX

1 HR RATED WALL DETAIL SEE XXX 2x6 PILIMBING WALL DETAIL SEE XXX

ACCOUSTIC WALL W/ RESILIENT DETAIL SEE XXX

--- TILE COVERED WALL

#### WINDOW & DOOR NOTES

#### WINDOW NOTES:

OPERATION ABBREVIATIONS 

- TITE TO INTEREST THE ROUGH OPENING-VERIETY ROUGH OPENING-REQUIREMENTS WI WINDOW MER WINDOW MARKED WITH A SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER GLAZING MARKED WITH A TS SHALL BE 3/18" THICK, TEMPERED SAFETY GLAZING MARKED WITH A TS SHALL BE 3/18" THICK, TEMPERED SAFETY GLAZING MARKED WITH A TS SHALL BE 3/18" THICK, TEMPERED SAFETY GLAZING.

#### DOOR NOTES:

SD 7280

MEIGHT, i.e., 80 inches
WIDTH, i.e., 72 inches
OPERATION

OPERATION ABBREVIATIONS

L = LEFT HINGE R = RIGHT HINGE SD = SLIDER DOOR FR = FRENCH BIF = BI-FOLDING PKT = POCKET

- DOOR SIZE INDICATED IS THE ROUGH OPENING-VERIFY ROUGH

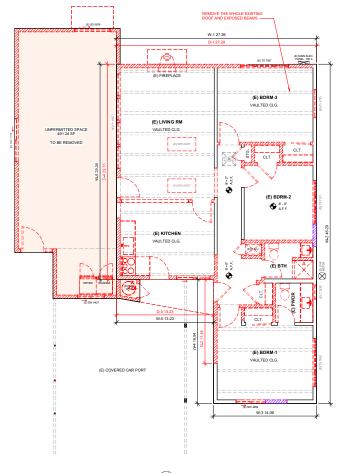
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### WALL DEMOLITION CALCULATION:

#### DEMOLITION

W-1 27.29 W-2 46.29 W-3 14.06 W-4 16.94 W-5 13.23 W-6 29.35 D-1 27.29 D-2 11.45 D-3 13.23 D-4 29.35

TOTAL WALL IN LINEAR FEET: 147.16
WALL DEMOLISHED IN LINEAR FEET: 81.32
DEMOLITION PERCENTAGE OF EXISTING WALL:
81.32 / 147.16 = 55.26%



MAIN FLOOR - EXISTING SCALE: 1/4" = 1'-0"

#### **CLARA VISTA** RESIDENCE

748 Clara Vista Ave, Santa Clara, CA 95050

Parcel Number: 294-15-045: Zoning: R1-6L

OWNER: Yuh Jiuan Lin; 408-421-0361; Judy shu@yahoo.com

DESIGNER:

#### HAN DESIGN STUDIO

157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



ORIGINAL DATE:		07/28/24
REVISIONS:		
No. DESCR	RIPTION	DATE

SHEET TITLE:

FLOOR PLAN -**EXISTING** 

A 3.0



OPERATION ABBREVIATIONS

OPERATION ABBREVIATIONS

FIX = FIXED C - C.ASEMENT
SH = SNGLE HUNG DH = DOUBLE HUNG
SH = SNGLE HUNG DH = DOUBLE HUNG
SH = SNGLE HUNG DH = DOUBLE HUNG
SH = SNGLE HUNG
SH = SNG

#### DOOR NOTES:

OPERATION ABBREVIATIONS

L = LEFT HINGE R = RIGHT HINGE SD = SLIDER DOOR FR = FRENCH BIF = BI-FOLDING PKT = POCKET

DOOR SIZE INDICATED IS THE ROUGH OPENING-VERIFY ROUGH

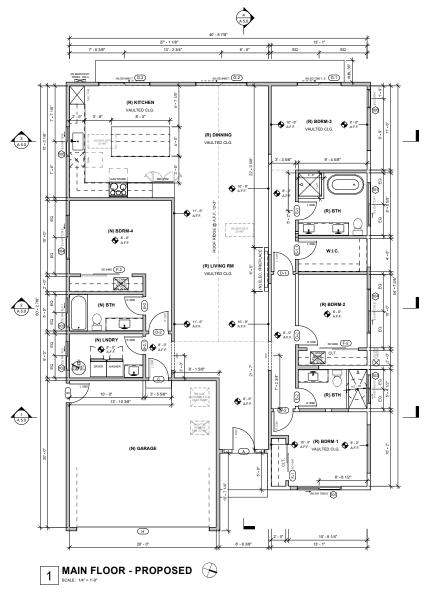
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WINDOW SCHEDULE						
NO.	QTY.	ABOVE FLR.	w	н	FRAME / GLAZING	DESCRIPTION
101	1	20"	72*	60"	VINYL / CLEAR	(N) SLIDER - EGRESS
102	1	56°	48*	24"	VINYL / CLEAR	(N) SLIDER
103	2	56"	48*	24"	VINYL / TEMPERED	(N) SLIDER - W/ SAFETY GLASS
104	2	32"	72*	48"	VINYL / CLEAR	(N) SLIDER - EGRESS
105	1	44"	48*	36"	VINYL / CLEAR	(N) SLIDER
106	1	32"	30*	48"	VINYL / CLEAR	(N) CASEMENT
107	1	56"	72*	24"	VINYL / TEMPERED	(N) SLIDER - W/ SAFETY GLASS

#### WINDOW / DOOR SCHEDULE NOTE:

GENERAL CONTRACTOR TO VERIFY WINDOW/DOOR SIZE IN FIELD BEFORE MAKING PURCHASE



**CLARA VISTA** 

RESIDENCE 748 Clara Vista Ave, Santa Clara, CA 95050

Parcel Number: 294-15-045: Zoning: R1-6L

OWNER: Yuh Jiuan Lin; 408-421-0361; Judy shu@yahoo.com

DESIGNER:

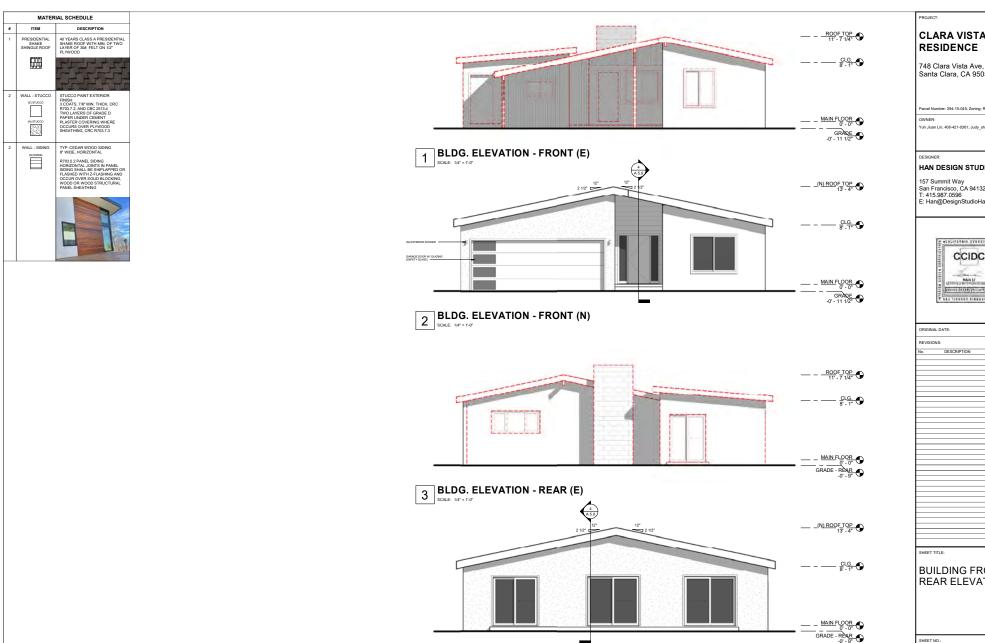
#### HAN DESIGN STUDIO

157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



ORIGINAL DATE: 07/28/24 REVISIONS: DESCRIPTION DATE SHEET TITLE: FLOOR PLAN -**PROPOSED** 

A 3.1



BLDG. ELEVATION - REAR (N)

SCALE: 1/4" = 1'-0"

#### CLARA VISTA RESIDENCE

Santa Clara, CA 95050

Parcel Number: 294-15-045; Zoning: R1-6L

Yuh Jiuan Lin; 408-421-0361; Judy\_shu@yahoo.com

#### HAN DESIGN STUDIO

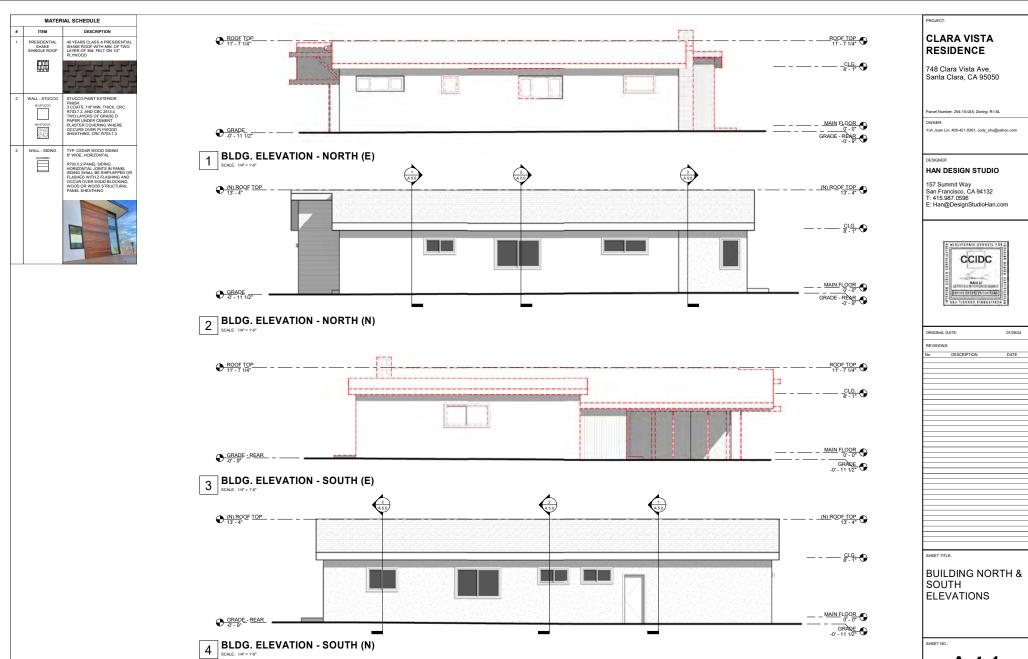
157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



RIGINAL DATE:	07/28/24
EVISIONS:	
<ol> <li>DESCRIPTION</li> </ol>	DATE
HEET TITLE:	

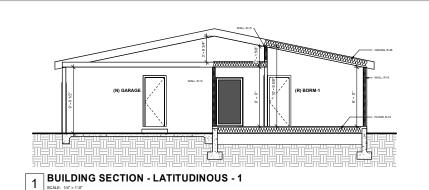
BUILDING FRONT & REAR ELEVATIONS

A 4.0



<u> </u>
·
SHEET TITLE:
White I III had
DI III DINIO NODTI I O
BUILDING NORTH &
SOUTH
ELEVATIONS

A 4.1



CELNG, RAS

— (N) ROOF TOP

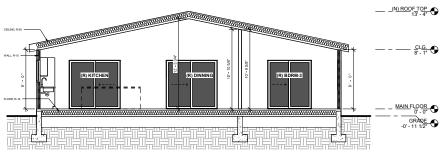
WALL, R.S.

CELNG, RAS

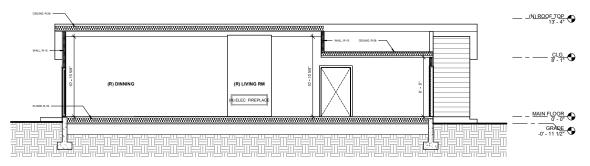
— (R) BDRM-2

— (R)

2 BUILDING SECTION - LATITUDINOUS - 2



3 BUILDING SECTION - LATITUDINOUS - 3



8 BUILDING SECTION - LONGITUDINAL

SCALE: 14"= 1"-0"

PROJECT:

### CLARA VISTA RESIDENCE

748 Clara Vista Ave, Santa Clara, CA 95050

Parcel Number: 294-15-045: Zoning: R1-6L

OWNER:

Yuh Jiuan Lin; 408-421-0361; Judy\_shu@yahoo.com

DESIGNER:

#### HAN DESIGN STUDIO

157 Summit Way San Francisco, CA 94132 T: 415.987.0596 E: Han@DesignStudioHan.com



ORGNAL DATE 077894

REVISIONS:

No. DESCRIPTION DATE

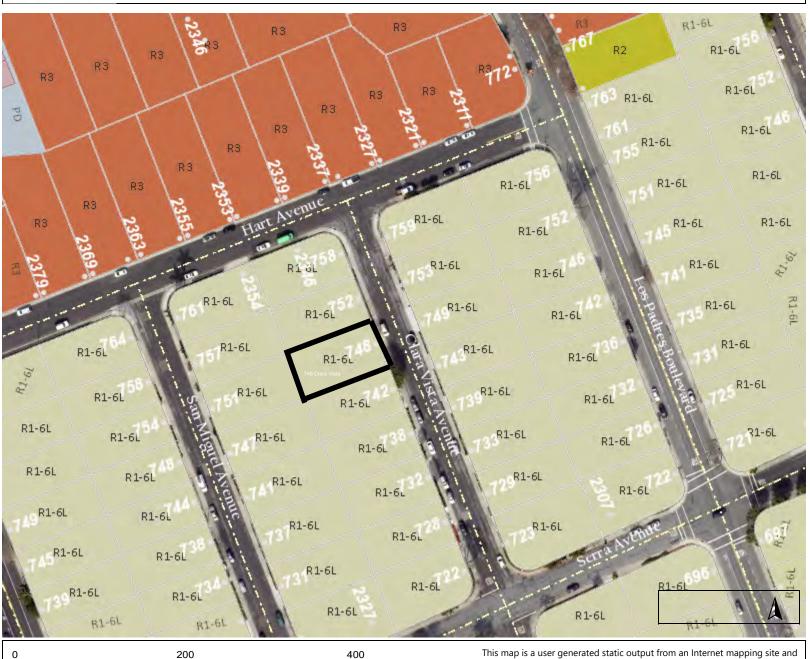
BUILDING SECTIONS

HEET NO.:

A 5.0

# City of Santa Clara

# **Zoning Vicinity Map**





## Legend

Base Layers

Site Addresses

Single

Streets

Air Parcels

**Land Parcels** 

Land Parcels

Common Areas

Zoning

**Zoning Codes** 

illing Codes

Single Family

Residential Duplex

Medium-Density

Multiple Dwelling

Planned Development

Notes

NAD\_1983\_2011\_StatePanel\_California\_III\_FIPS\_0403\_Ft\_US ©City of Santa Clara

THIS MAP IS NOT TO BE USED FOR NAVIGATION

accurate, current, or otherwise reliable.

is for reference only. Data layers that appear on this map may or may not be



# City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

## Agenda Report

24-1062 Agenda Date: 11/13/2024

## REPORT TO DEVELOPMENT REVIEW HEARING

## **SUBJECT**

PUBLIC HEARING: Action on the Architectural Review (PLN24-00457) for a 560 Square Foot First-Floor Addition and a 403 Square Foot Second-Story Addition to an Existing One-Story Single-Family Residence to Construct a 3,704 Square Foot, Four Bedroom and Two Bathroom, Two-Story Single-Family Residence with a Junior Accessory Dwelling Unit on the Second Floor on a 9,384 Square Foot Lot at 762 Scott Boulevard.

File No.: PLN24-00457

Location: 762 Scott Boulevard, a 9,384 square foot lot located on the west side of Scott

Boulevard, approximately 200 feet south of Homestead Road; APN: 294-17-056;

**Zoned:** Single-Family Residential (R1-6L)

**Applicant:** Leopold Vandeneynde **Owner:** Sean McLain Brown

Request: Architectural Review for a 560 square foot first-floor addition and a 403 square foot

second-story addition to an existing one-story single-family residence to create a 3,704 square foot, four-bedroom, two-bathroom, two-story single-family residence with a

junior accessory dwelling unit on the second floor.

## PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

## POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of predominately one-story single-family ranch style residences with gable roofs and wood siding as shown in Attachment 4.
- The site includes an existing 1,637 square-feet, "ranch" style one-story, three-bedroom, two-bathroom single-family residence built in 1947 with a 555 square foot detached two car garage that was built later.
- There is a 549 square-foot detached one bedroom, one-bathroom Accessory Dwelling Unit in the rear yard attached to the detached garage (PLN2012-09301).
- The existing single-family residence is a conforming structure as it has a two-car garage and was built prior to the adoption of the R1-6L Zoning district development standards.
- The proposal includes the construction of a new second story Junior ADU (JADU). Per the Santa Clara Municipal Code 18.120.020(D)(7), this request requires an Architectural Review approval through a Development Review Hearing.
- This proposal was submitted prior to the adoption of the updated R1-6L development standards and therefore it doesn't need to comply with the now adopted 10-foot second floor

setback. The addition does provide the minimal three-foot stepbacks as suggested by the Santa Clara Single Family & Duplex Design Guidelines.

- Since the initial submittal of the project the following changes were made:
  - The second story element's windows were aligned and center with the proposed windows on the first floor.
  - An entry feature was added in the rear of the property to designate the entrance for the proposed Junior Accessory Dwelling.
  - One of the interior doors in the addition was changed to a sliding door to ensure that the door doesn't block the proposed rear exit of the property.
- The result of the project will be a 3,704 square foot, two-story residence with four-bedrooms and three bathrooms, a JADU with a detached Accessory Dwelling Unit and detached two-car garage.
- The proposed construction will consist of new composite roofing shingles, and stucco with wood siding which is consistent with the existing architectural style of the residence. Page A0.00 of Attachment 3 has a rendering of the proposed project.
- The project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
  - Building height and bulk is appropriate relative to the neighborhood.
  - Architectural features of the proposed design are true to the architectural form and appropriate for the neighborhood.
  - o Roof materials, building materials, and finishes work in conjunction with one another and are consistent with the architectural style of the building.
- The proposed project meets the required findings for Architectural Review set forth in Santa Clara City Code Section 18.120.020(F).
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this
  project review.

## **FINDINGS**

Granting the Architectural Review approval requires, the following findings consistent with Zoning Code Section 18.120.020.F:

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development in that:
  - The proposal is consistent with Santa Clara Municipal Code Section 18.38.030E as the proposed expansion doesn't trigger the need for more off-street parking for this single-

24-1062 Agenda Date: 11/13/2024

family residence.

There is no work proposed on the existing detached garage.

- The proposal maintains areas surfaced with all-weather materials for vehicle parking.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:
  - The proposed construction would not create any traffic congestion or hazards.
  - The public streets are of adequate size to accommodate a single-family residence of this size.
  - The proposed design stays consistent with the scale of nearby residences and would not impair the desirability of the neighborhood.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
  - The proposed project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
    - o Building height and bulk is appropriate relative to the neighborhood.
    - o Roof materials, building materials, and finishes work in conjunction with one another and consistent with the architectural style of the building.
    - o The new roof form is derived from those found in the existing residences in the neighborhood and increase the compatibility to the existing residence in the neighborhood.
    - o The proposed addition is consistent with the scale and design found in the existing surrounding neighborhood.
    - Architectural features are used to reduce large expanse of blank walls which further harmonizes the development with the existing neighborhood.
    - The entry feature in the rear façade of the first floor will break the plain expanse and give some articulation to the mass of the building.

24-1062 Agenda Date: 11/13/2024

4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:

- The project is subject to the California Building code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
  - The proposed construction is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
    - o The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
  - The proposed construction complies with the R1-6L zoning districts development standards.
  - The proposed construction complies with the intent of the Santa Clara General Plan and all its policies.

## Conditions of Approval

Conditions of approval are proposed for the project and are contained in Attachment 1.

## **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email <a href="clerk@santaclaraca.gov<">clerk@santaclaraca.gov</a> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on

24-1062 Agenda Date: 11/13/2024

November 3, 2024. As of the writing of this report, planning staff has not received public comments for this application.

## RECOMMENDATION

**Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), and **Approve** the Architectural Review for the 560 square foot first-floor addition and a 403 square foot second-story addition to an existing one-story single family residence to construct a 3,704 square foot four bedroom, two-story single family residence with a junior accessory dwelling unit on the second floor on a 9,384 square foot lot at 762 Scott Boulevard, subject to findings and conditions of approval.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

## **ATTACHMENTS**

- 1. Conditions of Approval
- 2. Project Data and Compliance Table
- 3. Development Plans
- 4. Vicinity Map

## **Conditions of Architectural Review Approval**

## PLN24-00457/762 Scott Boulevard

Construction of 560 square foot first-floor addition and a 403 square foot second-story addition in an existing single-story single-family residence to create a 3,704 square foot four-bedroom & two-bathroom two-story single-family residence with a junior accessory dwelling unit on the second floor on a 9,384 square foot lot.

## **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is **November 20, 2026**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code. California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

## DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

## **DURING CONSTRUCTION**

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

DRH Date: November 13, 2024 Page 1

- P4. Landscape Water Conservation. The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

### **OPERATIONAL CONDITIONS**

- P5. **Use of Garage**. The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

## KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

DRH Date: November 13, 2024

Page 2

## ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

## Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

DRH Date: November 13, 2024 Page 3

## **Attachment 2: Project Data/Compliance**

Project Address: 762 Scott Boulevard Zoning: R1-6L **Project Number: PLN24-00457** 

Standard	Existing	Proposed	Requirement	Complies? (Y/N)		
Lot Area (SF) (min):	9,384	9,384	6,000	Υ		
Lot Area per Dwelling Unit (SF):	4,692	3,128				
Building Square Footage (SF)						
1 <sup>st</sup> Floor:	1,637	2,197				
2 <sup>nd</sup> Floor:		403				
Basement:						
Accessory Building:	1,104 (549 for ADU)	1,104 (549 for ADU)	600 SF max	Y		
Porch/Patio:						
Total:	2,741	3,704				
Floor Area Ratio:	0.29	0.39				
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor:		19%	66% max	Υ		
Building Coverage (%)				•		
Building Coverage (All):	0.23	0.29	40% max	Υ		
Rear Yard Accessory Building Coverage:			40% max			
Main Building Setbacks (FT)						
Front (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	17' – 1"	17' – 1" 38'	20'	N (Existing)		
Left Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	4'	4' 8'-1"	5'	N (Existing)		
Right Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	10'	10' 28'	5'	Y		
Side, Corner:						
Rear (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	65'	65' 70'	20'	Y		
Accessory Building Setbacks (FT						
Front:	94'	94'	20'	Y		
Side (left): (right):	11' 5'	11' 5'	5' 5'	Y		
Side, Corner:						
Rear:	20'	20'	20'	Υ		
From main building:	23'-5"	23'-5"	6'	Υ		
# of Bedroom / Bathroom	1/1	1/1				
Height (FT)						
Main building:	14' -1.5"	23'-6"	25'	Υ		
Accessory building:	13' – 8"	13' – 8"	16"	Υ		

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
# of Bedrooms/Bathrooms:	3/2	4/2		
Parking: Is the site AB 2097 eligible?				
Off-street	2	2	2	Y
Common Living Area (SFR)	47%	52%	Min 25%	Y
Open Landscaped Area (Front):	65%	65%	65%	Y

# NOTES TO CONTRACTOR UPGRADE EXISTING ELECTRICAL BURNCE, NEW HAVIE, TO BE LOCATED ON NEW DARAGE WALL, PROVIDE BURNAVEL LIDCATED DR NEW MASTER BURNL ADOCTOR, OVERHEAD BERNCE HEEDS FROM POWER FOLE LOCATED IN HEAT YAVID. PERMOVE EXISTING GRAVITY PLINACE, PROVIDE AND INSTALL NEW GAS FLINACE AND LOCATE IN ATTIC BOX EPPIDENCY HING TEMOVE EXECTING WOOD WINDOWS, PROVIDE AND RESTALL NEW WHETE YORK, LOW-E DOWN DISABLE WINDOWS AND RESTALL NEW WHITE CONTINUES TO CONTINUE AND RESTALL NEW WHITE CONTINUES AND RESTALL NEW WHITE CONTRACTOR TO VERIEV WASTE LINE INVERT AND DETERMINE IF EITHER THE STRUCTURE SHOULD MOVE CLOSER TO THE EXECUTION HOWE OR REQUIRE AN WASTE LINE ELECTION PLANT. DÍMONO WORK WILL BE REQUIRED AT THE REAL VARIO TO CREATE A LEVEL MAD, POSTIVE CHANAGE RUN DIF, AND LEVELING OF THE SCIL WHERE PREVIOUS TREES HAD BEEN REMOVED. CONTRACTOR TO PROVIDE CONCRETE BAND DRIVEWAY

## **GENERAL NOTES**

- THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND SOURSED. MICH. MIC
- ORDANACIDE.

  THE BLANK BROCKET THE GENERAL EXTENT OF CONSTRUCTION MICHEMATER TO THE WORK, BUT NOT THE SOURCE ALL BROCKETS. ALL WORK AND THE SOURCE ALL BROCKETS AND THE SOURCE ALL BROCKETS AND THE SOURCE AND THE SOURC
- THE GENERAL CONTRACTOR BRALL WEREY AND ASSUME RESPONSIBLE FOR ALL DIMENSION AND STEED CONTRACTOR. EACH SUIS CONTRACTOR BRALL INVEST. AND TAKE NOTE OF EXERTING LOCALITICATION BRALL PRICES AND CAME THE STEED STANLE OF EXERTING PAIL PRICES AND CAME STRAIL SEE ALL DIVERS THE DISTORTED AND CAME STRAIL SEE ALL DIVERS THE STEED CONTRACTOR WHICH SEED IN PAIL PRICES AND CAME STREET STANLES AND CAME STANLES AND C
- PROTECT ALL PRICHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN WET WHEATHER IS ANTIOPATED. THE GENERAL CONTRACTOR BALL REMOVE ALL REMOVE AND WASTE WATERALS ON A REGULAR BASIS AND SHALL EXPLOSE STRICT CONTROL OF A REGULAR BASIS AND SHALL EXPLOSE STRICT CONTROL TO REMOVE A REGULAR BASIS AND SHALL BE SHOWN AFFECTIVES THE RESIDENCE A REGULAR BASIS AND SHALL BE SHOWN AFFECTIVES THE ZEE.

#### SHEET INDEX

AGUS SITE PLAN, PROJECT GATA, GENERAL HOTES, VICINITY MAP ADJIN HEISHMONHOOD PLAN

- AT DO VINDPOSID SITE PLAN, EXISTING FLOOR PLAN, NOTES AS DO CONSTRUCTION PLANS, SYMBOL LEGENC
- ANDE AREA CINE DIAGRAMS

#### CODES

All work shelf be in accordance with the following codes:

2022 CBD, 2022 CRD, 2022 CMC, 2022 CPC, 2022 CBC AND 2022 CGBC ARE APPLICABLE TO THIS PROJECT.

#### SCOPE OF WORK

560 SF ADDITION TO 1ST FLOOR AND 2ND FLOOR ABOVE NODITION AREA FOR JR. ADU (403 SF), MEW EIGHESS WINDOW IN PROMARY SUITE. NEW LAUMISTY ROOM LINDER STAIR.

#### VICINITY MAP



#### **KEY NOTES**

0

- MEW DUTTER AND DOWNSPOUTS, DIRECT ALL WATER AWAY
  FROM BUILDING.
- FIGURE BUTCHING.

  AN LOT DRAHAGE AWAY FROM BULCHIS FOR A MIN OF SET IF RIVINGS. A SISTEMATIONS OF LOT LIMES PROCEED TO SET IN SLOPE SHALL SE PROVIDED TO SET APPROVED TO THE SHALL SET PLOT OF SHALL SET AND SET IN SECOND TO SET IN SECOND SHALL SECOND S
- ADDY VENTE PER VENTEATION CALCULATION, REFER TO
- (9) (E) SAND METER IND CHANGE
- (S) (S) UTELTY POLE AND OVERHALD SELECT, SERVICE. (E) 24" WIGH CONCRETE TURE PAYER BANGE TO REAL
- (2) (E) ELECTROCAL BUS PANEL
- (9) CONTRACTOR TO ENSURE THAT NO EAVES OR RANGE PROJECTIONS ARE IN THE 8 FOOT BETSACK AREA. ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH NEW VAYN, WINDOWS.
- (S) (E) CONCRETE TURN PAVERS AT PARKING SPACE (S) EXISTING ROOF AREA TO BE REMOVED, REFER TO
- (17) EXISTING WATER METER.
- (18) (F) CURRICLIF WY CSTY STING, CLARG, CLATTER, & SCHWALK

#### PROJECT DATA

Single family feme:	752 Supt Styd.	ALLOWABLE FARE		
(E) Detached living un and attached 2 car gar	R rage: 764 Scott Dies	Afericador: 40 EXISTING PLOOR ARE	40% MAX = 3,763 86 3	
Year Built Zons: Loi Size: APN:	1947 R1-41 4.384 SF 294-17-009	762 (E) 1st Floor Area: 764 (E) Described ADU Floor Ac 764 (E) Described Gerage Floor	1,007 G	
LOT COVE	****	Existing Total Area:	2,741 S	
Allowedie (E) Total Ares: (N) Total Ares:	40% MAX.+3.760.60 SF 2,162 SF 2,762 SF	PROPOSED FLOOR AREA. 752 & 754 Existing Tutal Area.	27415	
(E) Coverage: (N) Lot Coverage:	2.192 / 9.384 = 23% 2.752 / 9.384 = 29%	762 (N) 1st Floor Addition Area, 762 (N) 2nd Floor Area:	A03 S	
(F) & (N) Common I to	7	Total Combined Area:	2,704 9	

Total Floor Area Added:

EXISTING: 3 REDROOMS / 2 BATHROOMS PROPOSED: 4 BEDROOMS / 2 BATHROOMS / 1 BEDROOM JR. ADU

2nd Fir. (403SF)/1st Fir. (2,137SF) %

RRIGATION CONTROLLERS: AUTOMATIC RIRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING

19%

O CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST PREDATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.

WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAIFFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR WHILT.



## CONTACT LIST

ARCHITECT: LEOPOLD VANDENEYNDE. 9280 LINDA VISTA LN., GILROY, CA. 96020 Wepplifangol@vishop.com, 650-224-685

STRUCTURAL ENGINEER: MOSES HAENG MHA CONSULTING ENGINEERS 1823 WRIGHT AVE. SUNNYVALE, CA 94087 projects@y=hising.com, 341-758-2666

DWWER: SEAN MCLAIN BROWN, 762 SCOTT BLVD., SANTA CLARA, CA, 90050 seemsclaindrown/Bigmsil.com, 416-577-1510

ENERGY CONSULTANT: MICHAEL RUNZ. TITLE-24 EXPRESS P.O. Box 587, Blue Lake, CA 955525

WORKING HOLIRS (8-5 M-F, 9-4 SAT, NO WORK ON SUNDAYS OR HOLIDAYS)

#### CITY NOTES

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITH 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE PER CIPC R105.3.2.
- PERFORMANCE SINCE SHALL BECOME HAVALD LIALESS WORK AUTHORIZED IS COMMENCED WITHIN 160 DAYS OR ATTACHMENT AUTHORIZED IS SUPPLIED ON ADMINION FOR A RISCOUGH 160 DAYS, A SUCCESSIOL, BENEFICING A MARKET BOOK AUTHORIZED IS A SUPPLIED OF A SUPPLI
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITIONS OF THE GALIFORNIA RESIDENTIAL CODE, CALIFORNIA MECHANICAL CEDE, CALIFORNIA PLUMBING CODE, CALIF

#### 5X6 CLEAR SPACE FOR JURISDICTIONAL APPROVAL STAMPS

## STORMWATER DRAINAGE PLAN

DROBIGN CONTROL (AZERNIC) THE DIRT IN PLACE MINIMUMS THE MINIST OF COMMISSION.

- MINNADE DISTURDED AREA AND PROTECT NATURAL FEATURES AND BOIL.
- PHASE CONSTRUCTION ACTIVITY.
- CONTROL STORMASTER FLOWING ONTO AND THROUGH THE PHOMEST.

  STABLIZE BOLD PHOMETLY.

- RETAIN SEGMENT ON GITE AND CONTROL DEWATERWIS PRACTICES.
- 8. ESTABLISH STABILIZED CONSTRUCTION EXITS. 9. INSPECT AND MAINTAIN CONTROLS



FENCE 111-0\* (E) DETACHED
COTTAGE/GARAGE ( T-Big\* (E) CONC. DRIVEWAY PAD BETHACK EASEMENT PLANTING AREA 0 D (E) 6:12 ROOF PITCH PLANTING AREA 20 FRONT SETBACK LINE PLANTING AREA PLANTING NOT TO EXCEED 3-0" IN HEIGHT, WITHIN THE PLANTING AREA PLANTING DEIVEWAY LIGHT 1'-0" 1 4'-0" PLANTING AREA PERCENTAGE OF FRONT YARD EXISTING LANDSCAPING - 41% EXISTING SITE/ROOF PLAN SCALE: 1/8" = 1'-0"

THE HIDGHT OF THE TREES AND SHRUBS WITHIN THE EASEMENT TO BE MAINTAINED TO BE A MIN. OF 36" BELOW POWER LINES AND CARLES.

PROPERTY LAKE TO SE

THIS SITE PLAN IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY. IT IS A REPRESENTATION OF INFORMATION FROM VARIOUS EXHIBITS AND FIELD WORK.



S

GILROY,

Design Leopold Leopold Var



S

BROWN MODIFICATIONS TO THE HOME OF SANTA CLARA, MCLAIN SCOTT BLVD. SEAN 762

SITE / ROOF PLAN NOTES TO CONTRAC EXISTING DEMO. PLO PROJECT DATA JOB NO. DRAWN BY 762 - 24 LEOPOLD DATE: SEPT. 10, 2024

REVISIONS PLANNING DEFT.

SHEET NO A0.00



9260 LINDA VISTA LANE, GILROY, CA 95020 Leopold Design

SEAN MCLAIN BROWN MODIFICATIONS TO THE HOME OF:

762 SCOTT BLVD., SANTA CLARA, CA

JOB NO. 762 · 24 LEOPOLD

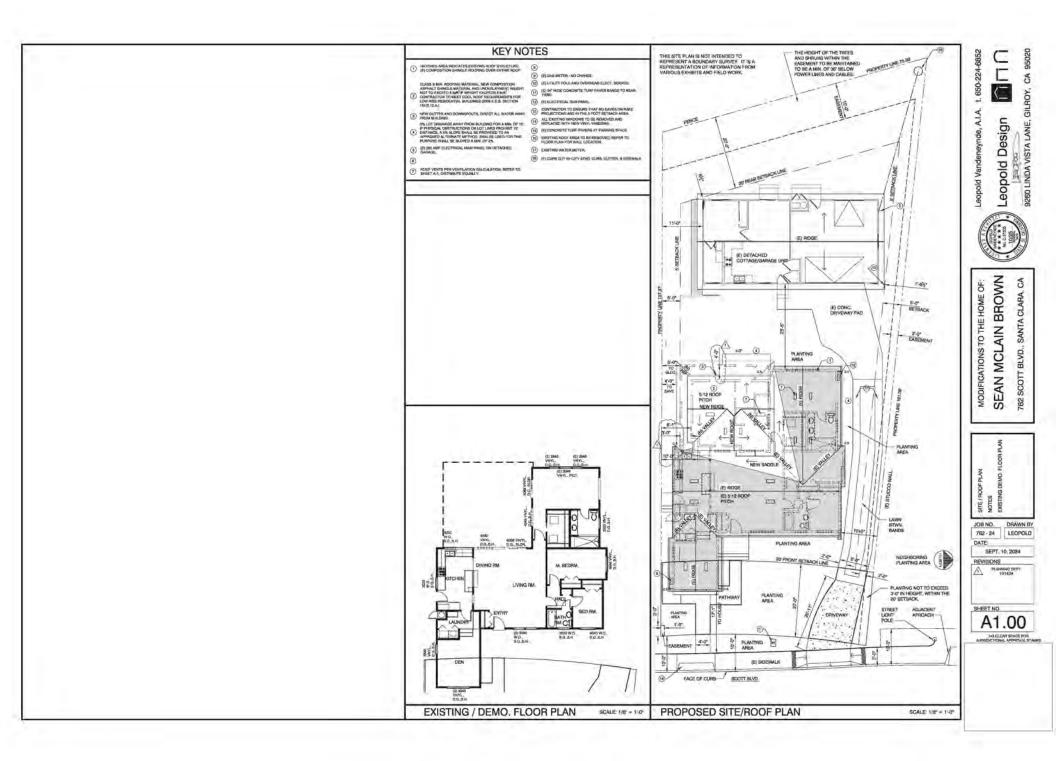
DATE: SEPT. 10, 2024

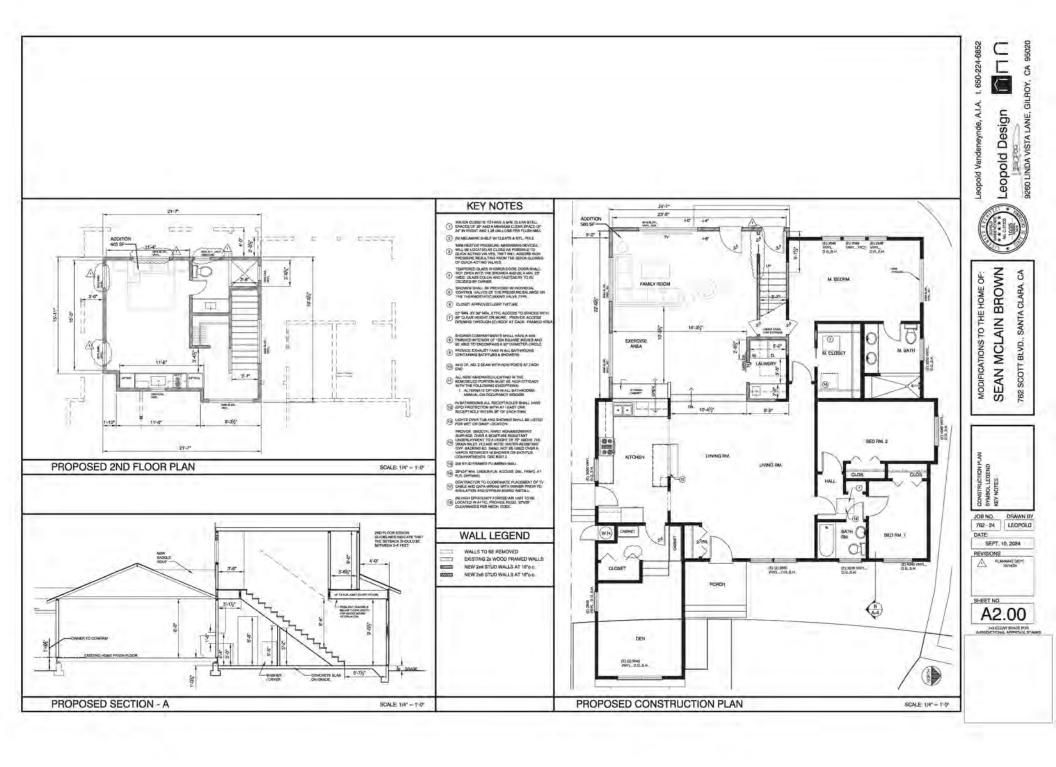
REVISIONS

SHEET NO. A0.01

SCALE: 1/8" = 1'-0"

NEIGHBORHOOD PLAN





## EXISTING GARAGE AND ADU AREA LINE DIAGRAM

### Existing Areas (Garage & House)

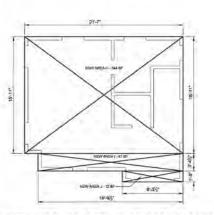
Α.	196
В	1,019
C	9
D	413
E	1,104
TOTAL	2,741

#### Addition Areas

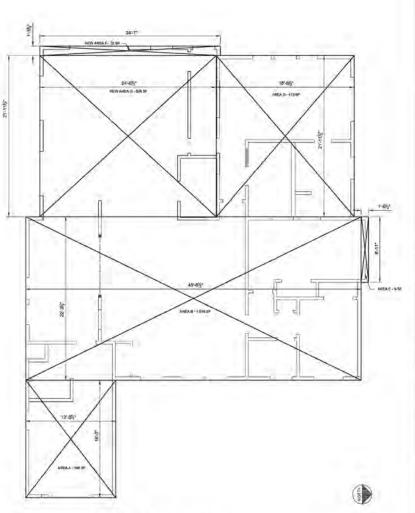
F	32
G	528
н	344
U-	47
1	12
TOTAL	963

# Combined Areas

Existing	2,741
Addition	963
TOTAL	3,704



PROPOSED 2ND FLOOR JR. ADU LINE DIAGRAM



9260 LINDA VISTA LANE, GILROY, CA 95020

Leopold Vandeneynde, A.I.A. Leopold Design

SEAN MCLAIN BROWN 762 SCOTT BLVD., SANTA CLARA, CA MODIFICATIONS TO THE HOME OF:

JOB NO. DRAWN BY 762 - 24 LEOPOLD

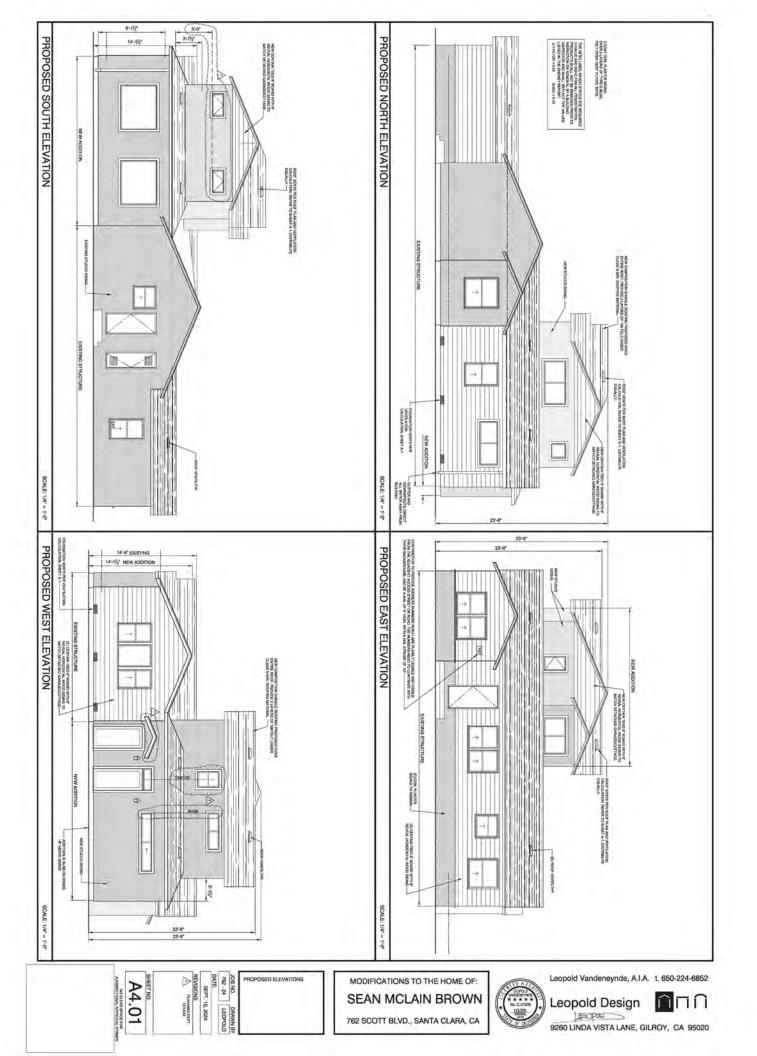
SEPT. 10, 2084

SHEET NO. A3.00

SCALE 1/4" = 110"

PROPOSED 1ST FLOOR AREA LINE DIAGRAM







# **Zoning Vicinity Map**



400

## Legend

Base Layers

Site Addresses

- Place
- Single
- Utility

Streets

Land Parcels

- Land Parcels
- Common Areas

Zoning

**Zoning Codes** 

- Single Family
- Residential Duplex
- Community Commercial
- Planned Development

Notes

NAD\_1983\_2011\_StatePanel\_California\_III\_FIPS\_0403\_Ft\_US ©City of Santa Clara

200

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



# City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

## Agenda Report

24-1011 Agenda Date: 11/13/2024

## REPORT TO DEVELOPMENT REVIEW HEARING

## **SUBJECT**

PUBLIC HEARING: Action on the Architectural Review (PLN24-00422) to Demolish the Existing 857 Square-Foot Residence and Construct a New 3,907 Square-Foot, Two-Story Residence Located at 2836 Butte Street.

File No.: PLN24-00422

**Location: 2836 Butte Street,** a 7,500 square-foot lot located on the south side of Butte Street,

approximately 176 feet west of Kiely Boulevard; APN: 290-05-024;

**Zoned:** Single-Family Residential (R1-6L)

**Applicant:** Daniel Warren

Owner: Venkata Srikanth Muttumu

**Request:** Architectural Review to demolish the existing 857 square-footage residence and

construct a new 3,907 square-foot, two-story residence.

## **PROJECT DATA**

The Project Data and Compliance Table is included as Attachment 2.

## POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site includes existing 857 square-foot residence built in 1948 with two bedrooms and one bathroom, 70 square-foot shed, and 274 square-foot garage.
- Per the Santa Clara City Code 18.120.020.D.1.d and 18.120.020.D.7, the request requires Architectural Review approval through Development Review Hearing.
- The project proposes to demolish the existing structure and construct a new 3,907 squarefoot, two-story residence resulting in four bedrooms and four bathrooms with a 470 squarefoot attached two-car garage.
  - The project also includes a 438 square-foot attached Accessory Dwelling Unit (ADU), which is not subject to discretionary Architectural Review.
- The project is consistent with the Santa Clara Single-Family Design Guidelines (2014):
  - The second floor is proposed to be at 50% of the first floor, which is consistent with the guideline that second floor areas should not exceed approximately 66% of the first-floor area.
  - The proposed second floor meets the step back guidelines in that the second-floor areas are set back at least five feet from the front wall of first floor and three to five feet from the side and rear walls of the first floor.

- The project proposes a second-story balcony in the rear. The proposed depth of the balcony is nine-foot, which exceeds the maximum four-foot depth design guideline. However, six feet of the balcony is recessed into the second floor space.
- The project includes a double-volume space above the first floor living area. However, it
  is designed to not appear as two-stories tall from the exterior façade.
- o The architectural style and design of the proposed addition are true to the architectural form of the existing residence and for the neighborhood.
- The proposed project meets the required finding set forth in Santa Clara City Code Chapter 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this
  project review.

## FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with the City Code Section 18.120.020(F):

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:
  - The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials of parking vehicles.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:
  - The proposed residence would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood.
    - The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.
- 4) That the granting of such approval will not, under the circumstances of the particular case,

materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
  - The proposed expansion and addition comply with the R1-6L zoning district's development standards.

## **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

## **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email <a href="mailto:clerk@santaclaraca.gov">clerk@santaclaraca.gov</a> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on October 31, 2024. As of the writing of this report, planning staff has not received public comments for this application.

## RECOMMENDATION

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and **Approve** the Architectural Review to demolish the existing 857 square-footage residence and construct a new 3,907 square-foot, two-story residence, located at 2836 Butte Street, subject to the findings and conditions of approval.

Prepared by: Meha Patel, Assistant Planner, Community Development Department

24-1011 Agenda Date: 11/13/2024

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

# **ATTACHMENTS**

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Conditions of Approval
- 4. Development Plans

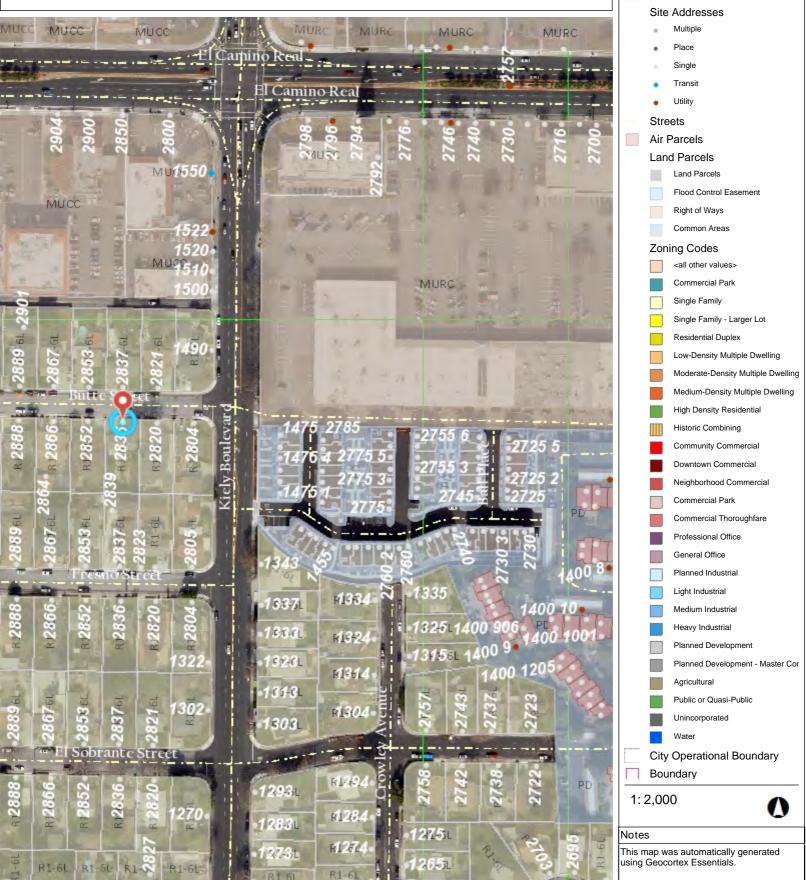


0.1

© City of Santa Clara

NAD\_1983\_2011\_StatePlane\_California\_III\_FIPS\_0403\_Ft\_US

# Vicinity Map - 2836 Butte Street



0.1 Miles

0.03

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Legend

Park

## **Attachment 2: Project Data/Compliance**

**Project Address:** 2836 Butte St **Zoning:** R1-6L **Project Number:** PLN24-00422

Standard	Existing	Proposed	Requirement	Complies? (Y/N)		
Lot Area (SF) (min):	7,500	7,500	6,000	Υ		
Building Square Footage (SF)						
1 <sup>st</sup> Floor:	857	1,684				
2 <sup>nd</sup> Floor:		1,285				
Porch:		108				
Attached ADU		438				
Covered Patio		305				
Balcony		96				
Shed	70					
Garage	274	470				
Total:	1,201	3,877				
Floor Area Ratio:	0.16	0.52				
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor:		50%	Max. 66%	Y		
Building Coverage (%)						
Building Coverage (All):	16%	34%	Max. 40%	Y		
Main Building Setbacks (FT)						
Front (1st floor):	18'-11"	20"	20'	Y		
(2 <sup>nd</sup> floor):	E1 449	26'-6"				
Right Side (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	5' -11"	5' 8'	5'	Y		
Left Side (1st floor):	8'	5'	10'	Y		
(2 <sup>nd</sup> floor):	071	13'- 4"	001			
Rear (1 <sup>st</sup> floor): (2 <sup>nd</sup> floor):	67'	45'-6" 48'-4"	20'	Y		
Height (FT)						
Main building:	13'- 3"	24.3'	25'	Υ		
# of Bedrooms/Bathrooms:	2/1	4/4				
Parking:						
Off-street	1	2	2	Υ		
Common Living Area (SFR)		34%	Min. 25%	Υ		

## **Conditions of Architectural Review Approval**

## PLN24-00422 / 2836 Butte Street

Architectural Review to demolish the existing 857 square-footage residence and construct a new 3,907 square-foot, two-story residence.

## **GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is **November 20, 2026**.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code. California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

## DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means**). Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)

## **DURING CONSTRUCTION**

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

DRH Date: November 13, 2024 Page 1

- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- ST1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

## **OPERATIONAL CONDITIONS**

- P6. **Use of Garage**. The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. Landscaping Installation & Maintenance. The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- ST2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

## KEY:

G = General

P = Planning Division

ST = Streets Division (Landscape, Solid Waste, and Stormwater)

DRH Date: November 13, 2024 Page 2

### ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

### Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	
-	Code 18.128.100, the applicant shall return this document to

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

DRH Date: November 13, 2024 Page 3



# BUTTE RESIDENCE NEW RESIDENCE 2836 BUTTE STREET

SANTA CLARA, CALIFORNIA

DESIGN

WARREN [

#### ALIFORNIA CALGREEN MANDATORY MEASURES FIRE DEPARTMENT NOTES **GENERAL NOTES** SHEET INDEX 1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNA RESIDENTIAL CODE (CRC) 2022. CALFORNA BEDADING CODE (CRC) 2022. CALFORNA RECHARGAL CODE (CMC) 2022. CALFORNA PLENBRING CODE (CRC) 2022. CALFORNA PLENBRING CODE (CRC) 2022. CALFORNA CRC RESIDENCIA CODE (CRC) 2022. EMERCY PETICIALOR STRANDA PLENBRING CODE (CRC) 2022. EMERCY PETICIALOR STRANDA STRANDA PLENBRING CODE (CRC) 2022. EMERCY PETICIALOR STRANDA STRANDA PLENBRING CODE (CRC) 2022. EMERCY PETICIALOR STRANDA STRANDA PLENBRING CODE (CRC) 2022. EMERCY PETICIAL EMERCA STRANDA STRANDA PLENBRING CODE (CRC) 2022. EMERCA STRANDA STRAND PROJECT DATA/ GENERAL NOTES/ VICINITY MAP/ SHEET INDEX GENERAL NOTES A4. THANNEY & DESIGNATE DEVILOPMENT. 4.00.2. API A10. DEVILOPMENT OF MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. 4.00.2. THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SUPPACE WATER WAVY FROM BULDINGS. CONSTRUCTION PLANS SHALL INCIDENTE HOW SITE GRADING OR OR DRAINAGE SYSTEMS WILL MANAGE ALL SUPFACE. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & A FRIENDER SHALL BE A MINIMUM OF VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE ANIMALAD AND ANIMAL STROKE WITHOUT OF 25. FOUL OCCURAMINATION CAUSED BY FIRE POPULATE WATER SUP-LIES SHALL BE PROFIDED FROM SHALL DEMO SITE PLAN SITE PLAN SITE PLAN PROPOSED 1st LEVEL FLOOR PLAN PROPOSED 2nd LEVEL FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS ROOP PLAN SECTIONS OUNS INDUSTRIES. WHERE FLOW WHITE ADDRESS AND ADDRESS RESIDENC NEW RESIDENCE 2836 BUTTE STREET 4.201 1.CUW HISE RESIDENTIAL BUILDINGS SHALL MET OR EXCEED THE MINIMUM STANDARD DESION REQUIRED BY TO CALLFORMS DESION REQUIRED BY THE CALLFORMS DESION REQUIRED BY THE CALLFORMS DESION REQUIRED BY THE CALLFORM DESIDENCE OF THE FOLLOWING METHODS SHALL BE USED. 1. WATER SAMPHOR FATUREDS OF BUILDING SHALL BE USED. 1. 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ATAL KNONE-BERKING WALLS PRACELLE TO ROOF TEXES THAT ARE URREACED FOR MORE THAN 6.0" PROVIDE A 254 DUAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 27 108 EACH TO THE TOP CHORD WITH A MINIMUM OF 27 108 EACH TO THE TOP THE T INTERCONNECTED. RECEIVED THEIR PRAMARY POWER PROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTER MACKING. FOR AND SHALL BE RETAILED IN DUPLE LING ON SEEPONG UNITS. WITHIN WHICH FUEL BURNING APPLANCES ARE INSTALLED AND IN SWELLANG UNITS THAT WHICE AN ATTACHED GARBOE, CAPROM MONOXIDE ARANIS SHALL BE INTALLED OUTSIGE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A OWELLING UNIT INCLUDING BASEBENTS. ш OF 2-ME FACH BIO. B DOTTOM CHOOD OF TRUSS TO BE BRACED AT 12 O.C. (MINMAM). 9. ALL DETROCK DOOF AND OWN THOO WHALEARS SHALL BE 6-12 WITH DOUBLE TOP PLATE OVER. 9. ALL DETROCK DOOF AND OWN CONTROL HE SHALL BE 6-12 WITH DOUBLE TOP PLATE OVER. AT ALL BEARNIC WALLS. 97 O.C. AT ALL NON BEARNING WALLS. AT ALL BEARNIC WALLS. 97 O.C. AT ALL NON BEARNING WALLS. SHOULD SHALL BEARNING WALLS. 97 O.C. AT ALL NON BEARNING WALLS. 10. ALL NON BEARNING WALLS SHALL BEARNING WALLS. 11. STUCOO FIRSHESS AT EDIESS SHALL BIALLUE THE FOLLOWING. DRIP SCREED, SUPERIOR AT LICENSE BEALD. MALCOR RESEASE FOR CONER MILLOST BE 20 JUST NITERIOR CONNER. COMPLY WITH ONE OF THE FOLLOWING OPTIONS: 1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER BUTTE WATEN RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR 2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAT 2,500 SQUARE FEET MAY COMPLY WITH THE SANTA CLARA SINGLE PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAT 2,500 SQUARE FEET MAY COMPLY WITH THE MINELD'S APPENDIX DIPERSORIPITY COMPLANCE OPTION. ALL ADPENDIX DIPERSORIPITY COMPLANCE EFFICIENCY AND A CONTROL OF THE PROPERSOR OF THE AGE OF THE #30 EXP. JOINT. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS. SPECIAL INSPECTIONS 13. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINN'L FRAME. SEE ELEVATIONS FOR GRIDS. 14. ALL EXTERIOR SUDING GLASS DOORS AND WINDOWS WITH SILES WITHIN 19° OF THE FLOOR AND WITHIN A2" ARC OF ETHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED. IS. SHORDCOM'LS SUDIES SH-SINGED HUNG, 05S -05SCORE, FXO-FINED TEMP-TEMPERED, HLE RIGH-HULF ROUND. S. BLE ACTES FOR NON-BEARRING WILLS MIST BE ANCHORED TO SLAB WITH HARDENED CEMENT. PROJECT DATA PROJECT ADDRESS: ASSESSOR PARCEL NUMBER: ZONNOG ZONNOG TON TYPE: COCUPHACY TYPE: COCUPHACY TYPE: EXCENTION RESIDENCE TO BE DEMODEXISTING RESIDENCE TO BE DEMODEXISTING GARAGE TO BE DEMOD-ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY. \*\* RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S). 2836 BUTTE STREET 290-05-024 NAILS. ILE EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DISSIMLAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS. 17. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD THE R1-6L V-B (SPRINKLERED) R-3/U X 7,500 S.F. 857 S.F. 70.3 S.F. 17.0.3 S.F HERS FEATURES A4.5 ENVIRONMENTAL QUALITY POLILITANT CONTROL \$4.504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING EXPOSED EAVES, AND WOOD TRIM. 18. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION. 19. BACKELOW PREVENTER REQUIRED ON ALL HOSE BIBS. Drawn By: DW HERS VERIFICATION REQUIRED FOR THE BUILDING ENVELOPE (QUALITY INSULATION INSTALLATION (QIII)). HVAC COOLING, HVAC DISTRIBUTION, MINIMUM ARRICOW, VERIFIED REFRIGERANT CHARGE, DUCT LEAKAGE TESTING, AND HVAC FAN SYSTEMS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. CONSTRUCTION. 4.504.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS. 4504.21 ADHESINES, SEALAMTS & CALLES SHALL BE COMPLIANT WITH VOC & OTHER TONG COMPOUND LIMITS. 4504.21 ADHESINES, SEALAMTS & CALLES COMPLIANT WITH PRODUCT WEIGHTED MR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS. 4504.22 ALL DROUMENTATION SHALL BE PROVIDED TO VERRY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE 4504.24 DOCUMENTATION SHALL BE PROVIDED TO VERRY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BERLYBE OLDER HAID ASSALLE PROVIDED UNEATH HAID COLORY THE AND COLORY THE AND COLORY TO CLEAR PARKET SYSTEMS SHALL BE CORPLAND WITH VID VOL LIMITS. 4094.2 BIO, FE FLOOR AREA RECEIVED RESILIENT FLOORING, SHALL COMMY WITH HAIT VOL SAMSOLL LIMITS 4094.2 BIO, FE FLOOR AREA RECEIVED RESILIENT FLOORING, SHALL COMMY WITH HAIT VOL SAMSOLL LIBIT OR 8000.2 BIOLE COLORY WITH AND COLORY THE AND COLORY THE AND COLORY WITH HAIT VOL SAMSOLL LIBIT OR 4094.2 BRITCLE BOARD. MEDIUM DEHISTY FEBRESHORD (MPC), AND MADDOOD PLYMOOD LIBIT OF THE MAIN SON THE BRITCH SHALL COMMY WITH LORD WITH AND COLORY W VICINITY MAP DEFERRED SUBMITTALS EXISTING BEDROOM: EXISTING BATHROOM: PROPOSED BEDROOM: PROPOSED BATHROOM: . TITLE SHEET 4 (PLUS 1 BEDROOM IN ADU) 4 (PLUS 1 BATHROOM IN ADU) 4.905.2 WHOS RETWARDER & OPPLLARY SIGNAL IS INSTALLED AT S.M. OR GROUP FOUNDMINOR. FOR CONTENT OF BUILDING MINTERIAL SIGNAL SIGNAL OR GROUP FOUNDMINOR. BIOLOGUERE. BIOCOR, ARE COUNTER OF BUILDING SIGNAL SHEET INDEX PROPOSED PARKING: COVERED: UNCOVERED: PROJECT DATA VICINITY MAP Great Cligar GENERAL NOTES PROJECT CONTACTS SCORE OF WORK. BOMO ESTIMA SEY S.F. RESIDENCE. CONSTRUCT A NEW 2 STORY RESIDENCE WITH LIVING ROOM, FAMILY, DINNING, KITCHER, MUD ROOM, FREICE, BATHROOM, 2 CAR GARAGE, BERDOM, COWERED PRIOR, DOCHEED PRIOR, DON ATTACHED AND WITH HITCHISH, LIVING, EBROOM, FOR COWERED PRIOR, DOCHEED PRIOR, DOCHEED PRIOR, DESTRUCTION, CONTROL OF THE PRIOR OF THE mvsrikanth452@yahoo.com 2836 BUTTE STREET SANTA CLARA, CA. 95051 PHOTOVOLTAIC SYSTEM (PV): A PV SYSTEM OF \_\_\_\_ KWdc IS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY 2449 CALCULATION. A SEPARATE BULLDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALFORNAL ENERGY CODE PERFORMANCE OF PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. T-1

#### **GENERAL NOTES**

- ALL WORK DEPICTED ON THESE DRAWINGS IS REQUIRED TO COMPLY WITH:

  1.1 2022 CALIFORNIA BUILDING CODES (CBC)
  2.2 2022 RESIDENTIAL CODE (CRC)
  CONSTRUCTION IS TO COMPLY WITH ALL VOLUMES, SECTIONS, AND SUBSECTIONS
  OF THAT CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE STANDARD REQUIREMENTS FOR CONSTRUCTION ON THE STANDARD REQUIREMENTS FOR CONSTRUCTION AND TO MAINTAIN A COPY OF THE 2022 CBC AND 2022 CRC AT ALL TIMES. THE CODE IS TO BE CONSIDERED TO BE PART OF THE SET

- 2.5 2022 CALIFORNIA FIRE CODE, AND ALL OTHER APPLICABLE STATE, FEDERAL, AND LOCAL CODES.
- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE DESIGNER AND SHALL NOT BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN
- THE CONTRACTOR IS RESPONSIBLE FOR
- PLANS NOTES DETAILS
- 4.4 ELEVATIONS
  4.5 CONSULTANT REPORTS
  4.0 SUPPORTING DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK THOROUGH
  4.0 SUPPORTING DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK THOROUGH
  4.0 SUPPORTING TO COMMENTS IS TO BE BROUGHT TO THE MIMEDIATE
  ATTENTION OF THE DESIGNER.
- i. IF SPECIFICATIONS VARY WITHIN THE SET, THE MOST STRINGENT IS SAID TO APPLY UNLESS CLARIFIED IN WRITING BY THE DESIGNER.
- IF ANY DETAILS ARE NOTED TO BE MISSING OR INCOMPLETE, WRITTEN QUESTIONS ARE TO BE DIRECTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE SIGNING OF ANY CONTRACT FOR CONSTRUCTION. THE GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE DESIGNER IN WRITING OF: 1.1 SUBSTITUTION

- REVISION CONCRED ALTERNATES 7.3. PROPOSED ALTERNATES AND EXPLORED BATE OF GODER OR HISTALIATION OF ALLEST TWO VISITES PROOF TO THE EXPLORED BATE OF GODER OR HISTALIATION OF APPROVALS BY THE DESIGNER ANY PROFESSIONAL CONSULTINITY, AS WIELLAS THE LOCAL CODE EMPOREMENT AGENCY, A TWO WEEK RESPONSE PERFORD IS NOT GUARANTEED, SO THE CONTINUE OF THE CONTINUE OF THE PROPERTY OF THE CONTINUE OF THE PROPERTY OF THE CONTINUE OF THE RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ALT REQUIRED INSPECTIONS.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND WINTTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERRIEND. ON HE JUG SITE WHEN PROPROMINELY ALLANIAMENTS TO DESTRING SHALL BE VERRIENDED. ON HE JUG SITE WHEN PROPRIEND HE JUG SITE OF THE SHALL BE AND SHALL BEEN AS IT OF THE SHALL BEEN AS IT OF THE SHALL BEEN AS IT OF THE SHALL BEEN AS IN OFFICE OFFI SHALL BEEN AS IN O
- PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR AND THEIR SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDENNIFY, AND HOLD THE DESIGNER HARMLESS FROM ANY AND ALL LIABBILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THE PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGIBLE OF THE DESIGNER.
- THE GENERAL CONTRACTOR IS REQUIRED TO DESIGNATE A CONTACT PERSON FOR THI PROJECT TO RECEIVE ALL INFORMATION RELATED TO THE JOS SITE INFORMATION. THE CONTACT'S NAME AND PHONE NUMBER A RET O BE GIVEN TO THE OWNER AND THE CUNTACT'S MANIE AND PHONE MUDIETH AND IT DE GIVEN TO THE CONTRACTORS IS TO PROVIDE BESIGNER, UNESS SPECIFIED BY THE CONTRACTORS IS TO PROVIDE REPORT OF THE PROVIDE AND THE CONTRACTORS IS TO PROVIDE AND REPORT OF THE PROVIDE AND THE PROVIDE AND THE CONTRACTOR IS TO PROVIDE AND MAINTAIN A JOB SITE PROVIDE NUMBER, EMAIL, OR PACE THE CONTRACTOR IS RESPONSIBLE OF DEDICATE SUPERVISION OF ALL SUB-TRACTOR.
- THE CONTRACTOR SHALL CONGINE ODERATIONS TO THE SITE AREA AS DEPMITTED BY LAW, ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION (PER THE REQUEST OF THE OWNER, GENERAL CONTRACTOR, OR DESIGNERS SHALL BE COMMENCED UNIT. THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE SAID PARTY. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVICE SHOP DRAWINGS AND SAMPLES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO BIDDING AND CONDUCTING REASONABLE INSPECTION OF EXISTING CONDITIONS FOR BIDDING AND CONDUCTING REASONABLE INSPECTION OF EXISTING CONDITIONS FOR PURPOSES OF ACCURATELY ASSESSING THE SCOPE OF WORK, SITE CONDITIONS, AND OVERALL PROJECT INTENT. QUESTIONS ARISING FROM THE SITE VISIT ARE TO BE DIRECTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO BID.
- THESE DRAWINGS ARE INTENDED TO ILLUSTRATE A COMPLETE JOB. UNLESS SPECIFIED, WORK IS TO INCLUDE ALL COMMON AND NECESSARY ACCESSORIES (I.E. TO HOLDERS, TOWEL BARS, MIRRORS, ETC.) AS WELL AS ALL COMPONENTS RI HOLDER'S TOWEL BARS, MIRKORS, ETC., AS WELL AS ALL COMPONENTS REQUIRED TO 
  MINE STATE OF THE STA
- PERTAINING CERTAIN ITEMS, MATERIALS, AND FEATURES REPRESENTED WITHIN THIS SET MAY NOT BE APPROVED AS PART OF THE BUILDING PERMIT. QUESTIONS REGARDING THE SPECIFICS OF APPROVAL SHALL BE DIRECTED TO THE LOCAL JURISDICTION.
- NOTICE: THIS SET HAS BEEN PRODUCED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. THESE DRAWINGS ARE NOT TO BE CONSIDERED AS BUILDS, NOR INCLUSIVE OF
- THE SET INS BEEN PRODUCED FOR THE PURPOSE OF OBTAINING ABILIDAY.

  FRAMIT THESE DAWNINGS ARE NOT DOE CONSTRETED AS BUILDS NOT ROLLISYS OF ALL DEFAILS, DRAWNINGS AIR STORE CONSTRUCTIONS, ETC. THESE ARE INTENDED TO ALL DEFAILS, DRAWNINGS AIR SEPECIFICATIONS, ETC. THESE ARE INTENDED TO ANDRESS ALL DOSSIBLE CONSTRUCTIONS ISSUES.

  IN DITCH. THESE WORNING DAWNINGS ARE NOT TO BEEN ADDITIONALLY, THE CONTRICTIONS OF A NOTICE AND ADDITIONALLY THE CONTRICTIONS OF A SEPECIAL PROPERTY OF ANY VORK UNDERTAKEN.

  PREMATRIELY IF IT IS BASED ON PLANS THAT HAVE NOT BEEN REVIEWED AND APPROVING BY RE BUILDING DEPARTMENT THE STPULLATION APPLIES TO ORIGINAL SUBMITTAL DRAWNINGS AND REVISIONS, ALL DRAWNINGS ARE PRELIMMENT UNTIL A PREMAT IS STRUCT.
- AS PART OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT, THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH THE 2022 CALIFORNIA GREEN BLIII DING STANDARDS CODE
- . A BUILDING OPERATIONS MANUAL MUST BE PROVIDED TO THE OWNER PER GREEN BUILDING CODE SECTION 4.410.1.

#### **DEMOLITION NOTES**

- THE GENERAL CONTRACTOR IS TO VERIFY ANY EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, MATERIALS, FIXTURES, HARDWARE, APPLIANCES, ETC WHICH ARE TO BE REJUES DIALL BE STORED AND PROTECTED FROM DAMAGE UNTIL THEY ARE TO BE RE-INSTALLED.
- THE GENERAL CONTRACTOR IS TO VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED DOORS, WINDOWS, FIXTURES, HARDWARE, AND MISCELLANEOUS MATERIALS SHOULD BE SWIED FOR POSSIBLE FUTURE REUSE OR DISCARDED. THE OWNER SHALL MARK A LIST OF SUCH TEMS PRIOR TO DEMOLITION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ITEMS DAMAGED BY DEMOLITION OR REMOVED IN ERROR.
- 4. NO ASBESTOS REMOVAL IS THE BE UNDERTAKEN BY ANY PARTY EXCEPT AS ALLOWED
- BY LAW.
  THE GENERAL CONTRACTOR SHALL PROVIDE VISQUEEN SCREENING DURING
  DEMOLITION TO PROTECT EXISTING RESIDENCE, APPLIANCES AND FURNISHIN
  APPROPRIATE POSITIVE VENTILATION IS TO BE PROVIDED FOR DUST CONTROL
- 6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DEBRIS AND ALL OTHER ORGANIC MATERIAL REMOVILE FROM THE STRUCTURE AND THE STIE. FRAMED AREAS TO BE FREE OF DEBRIS PRIOR TO SHEETENOKING, IUDIERFA LOOR, AND ATTIC AREA SHALL BE LEFT CLEAM AND FREE OF DEBRIS, CUT-OFFS, SCRAPS, SAWDUST, ASSOCIATED GRARAGE, ETC.
- THE DESIGN AND INSTALLATION OF ALL TEMPORARY SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL EXISTING FRAMING AND TRANSFER IS TO BE FIELD VERIFIED PRIOR TO SHORING ANY PORTION OF THE STRUCTURE.
- 8. ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION. NO DEAD HOTS ARE TO REMAIN AFTER CONSTRUCTION. TEMPORARY POWER FOR THE DURATION

### SITE DEVELOPMENT NOTES

- THE STIE AND VERILY ALL SETBUCK AND EASEMENT LOCATIONS PRIOR IT OF CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR PROVIDING A LICENSED SURVEY AND TITLE REPORT IF REQUIRED BY THE LOCAL JURISDICTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE FURTHER COMMENCEMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING AND SCHEDULING THE PROJECT GEOTECHNICAL ENGINEER FOR SITE INSPECTIONS AND OBSERVATION OF EXCAVATIONS, DRILLING, DRAINAGE, BACKFILL, ETC.
- SOIL COMPACTION FOR GRADING OR BACKFILLING SHALL BE PLACED IN ACCORDANCE WITH THE SOILS ENGINEER RECOMMENDATIONS. IF THERE IS NO SOILS ENGINEER USE 6" LIFTS WITH 90% COMPACTION.
- 5. TEMPORARY EARTH SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR

### **FOUNDATION AND CONCRETE NOTES**

- I. FUN SERVICE SEE CIDE 2022, CHAPTER 18.

  FOUNDATION BUTS PER COLUPTION AS ESSEDERITH, LODG SECTION FAMEL AND CIDE 2023, FROVIDE VENT OPENINGS NOT LESS THAN 15 FOR EACH 10.5 FO CRAWL STACK AREA, DEPONINGS SHAUL SECONDER DWITH CHARGE MESS THAN WISE MESS HAVE MEDICALLY SECONDERS SHAUL SECONDER WITH CHARGE ON RESIST ANY WISE MESS WITH AWARDIAN OPENING OF 14 NOVE DIMENSION OF PER CID 2023, 1. WHERE MOSTURE QUEST OF LAMIET AND GROWN WITH CONDITIONS IN TOT CONSIDERATION OF THE COLUMN AND ANY OF THE SPACE PER 2022 CRG 1073,123,125.
- CRAWL SPACE ACCESS PER 2022 CRC R408.4 AND CBC 1209.1 PROVIDE A MINIMUM OF ONE 18\*7224\* CRAWL SPACE TO UNDERFLOOR AREAS. PIPES DUCTS AND OTHER NON-STRUCTURAL CONSTRUCTION SHALL NOT INTERFERE WITH ACCESSIBLE CLEARANCE TO
- CRAWL SPACE CLEARANCE PER 2022 CBC SECTION 2304.11, THERE SHALL BE A CLEARANCE OF AT LEAST 18" RETWEEN THE LINDERSIDE OF WOOD FLOOR, JOE CLEMONING OF ALL THE RINGH TO BE VIEWED IN THE UNDERSIDE OF WOOD FLOOR SHEET SHEET. THE RINGHED SURFACE OF THE GROUND BENEATH, AND AT LEAST 12' BETWEEN THE UNDERSIDE OF ANY OTHER WOOD HORIZONTAL FRAMING MEMBERS AND THE FINISHED SURFACE OF THE GROUND. WHERE SUCH CLEARANCE IS NOT PROVIDED, WOOD (JOISTS, GIRDERS, SUBFLOORS) SHALL BE PRESERVATIVE TREATED, INCLUDING POSTS.
- DECAY PROTECTION PER CRC 2022 SECTION 2304 11 2 2 WOOD FRAMING LASS THAN 81 AY PROTECTION PER CIBIC 2022 SECTION/2304 11.22 WOOD PRAMING LASS HAM 8" MIX EXPOSED ATTEM SHALL BE MATURALLY DURABLE OR PRESERVATIVE TREATED. WIDE 8 NOCHES WOOD TRAINING SEPARATION FROM EXPOSED EARTH, OT WOOD, IF EARTH WED AT LEAST 19 INCHES WIDE WIDE SHOULD FROM EXPOSED EARTH, OT WOOD, IF EARTH WED AT LEAST 19 INCHES WIDE WILL ASPHALL OR CONCEINED AND DRAINING AWAY WITH THE BUILDING BOTTOM SILLS MAY BE 6" ABOVE SUCH EARD EXCHANGE AND TO MAINING AWAY.
- ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC ARE TO BE VERIFIED PRIOR
   TO EQUINDATION DOUBLE CONTINUES OF INDICATIONS OF INDICATIONS TO FOUNDATION POUR LOCATIONS OF HOLDOWNS, CURBS, STEPS, CURTAINS, PLUMBINS, MECHANICAL, ETC ABET DIE COORDINATE DIE YTHE GENERAL CONTRACTOR. SHOULD ADDITIONAL CLARIFICATIONS TO THESE DRAWINGS BE REQUIRED. THE CONTRACTOR SHALL CONTACT THE DESIGNERA SE ARRY AS POSS OWNER IS RESPONSIBLE FOR PROVIDING FINISHED THICKNESS INFORMATION OR ALLOWANCES, GENERAL CONTRACTOR TO VERIFY PRIOR TO POUR LINE.
- ALL COLD JOINTS TO BE CHIPPED FOR ROUGH SURFACE, SANDBLASTED CLEAN AND FREE OF SOIL OR DEBRIS. DAMPEN SURFACE IMMEDIATELY PRIOR TO CONCRETE POUR COLD JOINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
- REVISIONS AND SUBSTITUTIONS ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT AND MUST BE APPROVED PRIOR TO CONTINUING WORK.
- SPECIAL INSPECTION WILL BE REQUIRED FOR WATER PROOFING BELOW GRADE.
   SPECIAL INSPECTIONS ARE REQUIRED PER THE STRUCTURAL ENGINEERING DRAWINGS,
   AND A PER THE JURISDICTIONAL APPROVAL CHECKLIST.
- SHOULD THE CONTRACTOR ELECT TO USE SHOTCRETE. SPECIAL INSPECTION WILL BE REQUIRED AND THE STRUCTURAL ENGINEER MUST BE GIVEN OPPORTUNITY TO REVISE

### KITCHEN NOTES

- 1. VERIFY ALL FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO INSULATION
- THE CONTRACTOR SHALL PROVIDE AND INSTALL AN APPROVED AIR GAP FOR THE DISHWASHER ON THE DISCHARGE SIDE AT OR ABOVE THE FLOOD LEVEL OF THE INK OR DRAINBOARD, WHICHEVER IS HIGHER.
- PROVIDE HIGH EFFICACY LIGHT FIXTURES FOR GENERAL LIGHTING IN THE KITCHEN AND BATHS. PER 2022 CEC T24-6 SECTION 150(K).
- A 20% WATER REDUCTION IS REQUIRED TO COMPLY WITH 2022 CA GREEN BUILDING STANDARDS CODE (CGBSC) CHAPTER 4 SECTION 4.303.
- 5. PER 2022 CEC ARTICLE 210.52(C), RECEPTACLES ALONG THE COUNTER TOPS SHALL BE SPACED A MAXIMUM 2 FEET FROM THE SINK(S) AND 4 FEET ON-CENTER, ISLAND OR PENINSLIA. COUNTERT OPS 12 INCHES OR WIDES RAMLL HAVE AT LEAST ONE RECEPTACLE FOR EACH 4 FEET OF COUNTERTOP NO POINT OF THE WALL HAW DE MORE THAN 2 S NOHES FROM AN OUTLE KITCHEN DUTLETS SHALL BE ON AT LEAST

### FLOOR PLAN NOTES

- ALL WORK IS TO COMPLY WITH THE 2022 CA RESIDENTIAL CODE AND THE 2022 CA BUILDING CODE WITH RESPECT TO GROUP "R" OCCUPANCIES.
- 2. VENTLATION- PER 2022 GG. SECTION 1203.4 I BULDINGS SMALL BE PROVIDED WITH MATIRAL VENTLATION (SECTION 1203.4) OR MECHANICAL VENTLATION PER 2022 CMC. HE MANAMON SMALL PRE 2022 CMC. HE MANAMON SMALL PRE 2022 CMC. MANAMON SMALL PRE 2022 CMC. MANAMON PER 2022 PER
- 3. LIGHT-PER 2022 CBC SECTION 1205.2, ALL ROOMS INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS ARTIFICIAL LIGHT BY RESECTION 1205.2, THE RESEC
- ROOM EGRESS IN ALL ROOMS USED FOR LIVING, DINING, AND SLEEPING PURPOSED (HABITABLE ROOMS) PROVIDE 2 MEANS OF EGRESS.
- 5. SMOKE DETECTORS- INSTALL PER 2022 CBC JF] SECTIONS 907.211.2, 907.2.11.3. OST 2.11.4. DETECTORS SHALL BE MOUNTED ON THE CEILING OR HIGH ON WALL IN EACH SLEEPING AREA AND AT A POINT LOCATED AULACIENT IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND AT LEAST ONE ON EACH LEVEL OF THE BUILDING AR REQUIRED BY THE ABOVE NOTED 2022 CGS SECTIONS AND ALL CHIEF. THE BUILDING AS REQUIRED BY THE ABOVE NOTED 2022 CBC SECTIONS AND ALL APPLICABLE CODES. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURERS INSTRUCTIONS AND COMPLY WITH UL 217. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRIN HARD WIRED) WITH BATTERY BACKUP POWER. SMOKE AND FIRE ALARMS SHALL BE INTERCONNECTED IN SUCH MANNER AS ACTIVATION OF ONE ALARM WILL ACTIVATE ALL
- FIRE SPRINKLERS. VERIFY APPLICABLE FIRE SPRINKLER REQUIREMENTS FOR REMODEL AND NE CONSTRUCTION PROJECTS WITH THE LOCAL BUILDING AND FIRE DEPARTMENTS PRIOR TO CONSTRUCTION. FIRE SPRINKLER DESIGN DRAWINGS ARE TO BE DEFERRED SUBMITTAL BY THE FIRE SPRINKLER CONTRACTOR TO BE APPROVIDE BY THE FIRE DEPARTMENT AND DESIGNER FOR LOCAL FLOW RATES AND MONITORING AS REQUIRED.
- 7. FLAME SPREAD: THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISHED MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL MEET REQUIREMENTS OF THE 2022 CBC SECTION 803. ALL INTERIOR WALL AND CEILING FINISHES SHALL MEET CLASS C\* FLAME SPREAD REQUIREMENTS OF TABLE 803.9 OF THE 2022 CBC.
- 8. GARAGE VENTILATION- GARAGES SHALL BE VENTILATED BY A MEANS OF 4 6"X12" VENTS
- CORRIDORS AND HALLWAYS: AS REQUIRED BY THE 2022 CBC SECTION 1018.2 (EXCEPTION 3), CORRIDORS OR HALLWAYS WITHIN A DWIELING UNIT OR REQUIRED OCCUPANCY LOAD LESS THAN 80 SHALL PROVIDE A CLEAR MINIMUM 38" IN WIDTH. SEE CODE FOR OTHER OCCUPANCIES AND EXCEPTIONS.
- 10. LANGING, FER 2022 CIES DESCRION 1985, THERE SHALL BE, A DOUG OF LANGING, AT THE TOP AND DISTOR OF EACH STARWING. THE WORNS OF THE MORE SHALL AND SHALL BE LESS THAN THE WIGHT OF THE STARWING THEY SERVICE OR MORE THAN 4 FIF THE BETARWING THE STARWING THE STARWING SHALL NOT TERLOLD. THE STARWING THE STARWING SHALL AND TREDUCT TO THE STARWING SHALL AND THE STARWING SHALL AND THE STARWING SHALL SHALL
- 11. LANDINGS AT EXTERIOR DOORS- PER 2022 SECTION 1008.1.6 AND SECTION 1008.1.7 LI LANDINISS AT EXTERIOR DOORS-PER OX23 SECTION 1008.1,8 AND SECTION 1008.1 AS AND SECTION 1008.1 AS AND SECTION 1008.1 AS AND SECTION 1008.1 AS AND THE SECTION 1009.1 CAND T
- 12. UNDER STAIRS FIRE PROTECTION- PER 2022 CBC 1009.6.3 WALLS AND SOFFITS C ENCLOSED CLOSET OR STORAGE SPACE UNDER STAIRS SHALL BE PROTECTED I ENCLOSED SIDE WITH MINIMUM HIR FIRE PROTECTION. OR USE 56° TYPE "X GY. ENCLOSED SIDE WITH MI BOARD.
- 13. DRAFT STOPS-PER 2022 CBC SECTION 7171 DRAFT STOPS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: FLOOR CELING ASSEMBLIES: WHERE THERE IS USEABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOORCELLING ASSEMBLY, INCLUDING SOFFTS AND INTER-FLOOR PLENUM SPACES. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREA. DRAFT STOPS ARE SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREA, DRAFT STOPS ARE REQUIRED IN FLOORICELING ASSEMBLE IS OF BUILDINGS HANNING MORE THAN DE WELLING UNIT AND SHALL BE INSTALLED IN LINE WITH WALLS SEPARATING UNITS. DRAFT STOPS ARE REQUIRED IN ATTICS, OVERHANGS, MANSAROS, AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT.
- 14. FIRESTOPS ALL PIPE, WIRE, AND DUCT PENETRATIONS IN WALLS ARE TO BE CAULKED OR BLOCKED WITH APPROVED MATERIALS TO RESIST PASSAGE OF A FLAME. PER R302.11.
- ALL FINISHES ARE TO COMPLY WITH V.O.C. AND FORMALDEHYDE LIMITS SET FOURTH IN TABLES 4.504 (1,2,3 AND 4)
- ALL JOINTS AND OPENINGS BETWEEN CONDITIONED AND UNCONDITIONED SPACES ARE TO BE CLOSED OR SEALED.

### **GENERAL STRUCTURAL NOTES**

- NOTE THAT STRUCTURAL DETAILING WITHIN THE STRUCTURAL SHEETS MAY INDICATE NOTE THAT STRUCTURAL BUT DELIVED WITHIN THE STRUCTURAL SHEETS MAY INDICATE MAY REAL WAY SHOULD SHEET SHAW INDICATE MAY REAL WAY SHEET SHEET WITH MAY REAL WAY SHEET SHEET WITH MAY RESPONSE AND THE SHEET SH
- 3. LUMBER QUALITY. CONTRACTOR IS RESPONSIBLE FOR REVIEWING LUMBER QUALITY AT THE TIME OF EACH DELIVERY. EXCESSIVELY WET, VISUALLY CUPPED, WARPED OR KNOTTY MATERIALS IS NOT TO BE ACCEPTED ON THE JOB SITE. CONTRACTOR IS RESPONSIBLE FOR STORING MATERIALS IN A NEAT, DRY, LEVEL ENVIRONMENT WHERE DAMAGE WILL NOT OCCUR.
- STRUCTURAL DRAWINGS, AND DETAILING BY OTHERS ARE INCLUDED AS A PART OF THIS CONTRACT FOR CONSTRUCTION
- ALL COMPONENTS SHALL BE FASTENED OR NAILED PER TABLE 2304.10.2 UNLESS PROVIDED OTHERWISE BY STRUCTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COODINATE REQUIREMENTS FOR NOTONIA AND BORING PER GIS. 2306.4.2 AND CRC TABLES R002.6(1) AND R002.6(2) WITH ANY ASSOCIATED SUBTRADES. VERIFF PURRING AND BLOCKING, U. 9-25E FRAMING WHERE REQUIRED.

### DOOR, WINDOW, & SKYLIGHT NOTES

- 1.IALESS OFFERWER REQUESTED BY THE OWNER, THE CONTRACTOR SMALL BE REPORTED BY THE OWNER, THE CONTRACTOR SMALL BE REPORTED BY THE OWNER, OTHER OWNER,
- ALL NEW EXTERIOR DOORS TO BE WEATHER STRIPPED. SEE TITLE 24-6 COMPLIANCE MEASURES WITH THIS SET.
- 3. ALL GLASS AND GLAZING SHALL COMPLY WITH 2019 CBC CHAPTER 24
- 4. SAFETY GLAZING PER 2022 CBC, SECTION 2408 ALL GLAZING SHALL CONFORM WITH HUMAN IMPACT REQUIREMENTS. SAFETY/TEMPERED GLASS OR PLASTIC OR REQUIRED AT ALL GLAZED DOORS GLAZING WITHIN 12° OF DOORS, WITHIN 16° OF ANY FLOORS IN BATHURS, SHOWERS, HOT TUBS, WHIRL POOLS SALINAS, AND STEM ROOMS. SEZ CGS SECTION 2006 4 FOR NAZAMODUS LOCATIONS. EACH UNIT OF SAFETY/TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER, OR BY BUILDING INSPECTOR, AT THEIR DISCRETION, MAY APPROVE A CERTIFICATE.
- 6 SKYLIGHTS, SHALL COMPLY WITH 2022 CRC. SECTION 2405. CONTRACTOR SHALL

### **ROOF PLAN NOTES**

- ATTIC ACCESS- PER 2022 CRC SECTION R807.1, PROVIDE MINIMUM 22X30° ACCESS OPENINGS TO ANY ATTIC AREA HAWNS A CLEAR HEIGHT OVER 30° AND AREA MORE THAN 30 S.C. FT. A 30° MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING, MEASURED FROM THE BOTTOM OF CEILING
- 2. ATTIC AND ENCLOSED RAFTER VENTILATION PER CBC 2022 SECTION 1203.2. THE NE ATTO AND DISCLOSED BAFFER VENTLUTION PER CIG. 2022 SECTION 12022. THE NET VENTLUTE OF THE PROPERTY OF THE PROPERTY OF THE SPACE AT SECTION 12022. THE NET VENTLUTE OF THE SPACE OF THE SPACE AT SECTION 12022. THE SPACE AT LEAST 3 FEET ABOVE EVEN OF CORNEC VENTS THERE SHALL BE ANIMATION OF THE SPACE AT LEAST 3 FEET ABOVE SHALL DESCRIPTION OF THE SPACE AT SECTION 12022. THE SPACE AT LEAST 3 FEET ABOVE SHALL DESCRIPTION OF THE SPACE AT SECTION 12022. THE SHALL DESCRIPTION 12022 THE SHALL DESCRIPTION 12022. THE SHALL DESCRIPTION 12022 THE SHALL DESCRIPTION
- 3. CONVENTIONAL LIGHT WOOD FRAMING PER CBC 2022 CHAPTER 23 SEE 2022 CBC SECTION 2308.10.4.1. PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING. WHEN CEILING STREAM ARE NOT PRAFILLEL TO RAFTERS, EQUIVALENT RAFTER TIES SHALL BE INSTALLED AT A SPACING OF NOT MORE THAN 4-0" O.C.
- 4. STRUTS SHALL BE INSTALLED PER 2022 CBC. THE UNBRACED LENGTH SHALL NOT EXCEED 8 FEET AND THE MINIMUM SLOPE OF THE STRUTS SHALL NOT BE LESS THAN 45 DEGREES FROM THE HORIZONTAL.

### STAIRWAY, HANDRAIL, & **GUARDRAIL NOTES**

- STARWAYS STARWAYS SHALL MEET EGRESS REQUIREMENTS AS DESCRIBED TO SPECIFIC TYPE WITHIN THE 2022 CID CHAPTER 10. GENERALLY, RESIDENTIAL STARWAYS SHOWN STARWAYS SHOWN SHOW PROJECTION OF THE ADJACENT TREADS. THE LARGEST RISERS AND OR TREAD DEPTH SHALL NOT DECIDED THE SMALLES IF MORE THAN 38 NO. 14 YOU CHIND DISTANS. THE DEPTH AT THE WALK LINE (12" FROM MARROWEST PORTION OF TREAD). SEE 2022 CRE. CHAPTER FOR ADDITIONAL INFORMATION AND OF EXCEPTIONS REGARDING CURRED OR SPIRAL STRIPWIN'S AND FOR STANWAYS SERVING AN OCCUPANT LOAD FACTOR GREATER THAN 10 WHERE THE TREAD DEPTH IS LESS THAN 1"A MOSING MUST. DECRAFIED THAN 10 WHERE THE TREAD DEPTH IS LESS THAN 1"A MOSING MUST. LEADING EDGE OF THE TREADS MAY NOT EXCEED SHE.
- STAIRWAY HEADROOM, PER 2022 CRC SECTION 1009 2 EVERY STAIRWAY SHALL HAVE A STARWAY HEADROOM. PER 2022 CBL: SECTION 1008.2 EVERY STARWAY SHALL HAVE A HEADROOM LEGERANCE OF DIO MORES MERCHERS VERTICALLY FROM SHALL HAVE A HEADROOM LEGERANCE OF DIO MORES MERCHERS VERTICALLY FROM A LIET TO THE POINT WHERE THE LINE MY TERRECTS THE LANDING BELOW, ONE TREAD DETTH BEYOND THE BOTTOM RISES THE MINIMUM CLEARANCE SHALL BE MAINTAINE DHI FEULL WIND OF THE STARWAY AND LANDING, EXCEPTIONS: SEE EXCEPTION 82 FOR ALLOWABLE 4-34" ENCOROLOMENT AT THROUGH FLOOR OPENING.
- 4. HANDRAILS- PER 2022 CBC. SECTION 1012.2 HAND RAILS SHALL BE 34 INCHES TO 36 INCHES ABOVE THE NOSING OF TREADS, ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS, HANDRAIL PROJECTING FROM A WALL SHALL HAVE A CLEAR SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL PER CBC SECTION 1012.7.
- . HANDGRIPS- PER 2022 CBC SECTION 1012.3 CIRCULAR HANDRAILS SHALL BE NOT LESS THAN 1-14 INCHES OR MORE THAN 2 INCHES IN DIAMETER, AND SHALL HAVE A SMOOTH GRIPPING SURFACE WITH NO SHAPP CORNERS. SEE THE ABOVE MENTIONED CODE SECTION FOR ADDITIONAL INFORMATION REGARDING ALTERNATIVE (TYPE II) HANDRAIL REQUIREMENT.
- 6. GUARDRAILS-PER 2022 CBC, SECTION 1013 2 AND CRC R312 2, RESIDENTIAL GUAI SHALL BE A MINIMUM OF 42 INCHES IN HEIGHT. OPEN GUARD RAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTIAL PATTERN SUCH THAT A INCH DIAMETER SPHERE CANNOT PASS THROUGH (SEC 1013.3) SEE EXCEPTIONS 1 AND 2 FOR ALLOWABLE EXCEPTIONS BETWEEN 38INCHES AND 42 INCHES AND TRANSGULAN. OPENINGS ABOVE STAIR TREADS.
- SUPPORT- HANDRAILS AND GUARDRAILS TO BE CAPABLE OF SUPPORTING 200LB. CONCENTRATED LOAD AT ANY ANGLE TO THE TOP RAIL.

### MECHANICAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, MECHANICAL WORK IS TO BE BID DESIGNBUILD AND PROVIDED COMPLETE TO CODE.
- 2. MECHANICAL LAVOLIT, LAVOLIT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN MECHANICAL LATOH - DATOH SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY. MECHANICAL CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE MECHANICAL DISTRIBUTION SYSTEM PER TITLE 24-6.
- RESPUNSIBILITY FOR PROPER LESSIAN AND INSTALLATION OF MECHANICAL STYLE MECHANICAL STYLE MECHANICAL STYLE OF THE SENSE AND INSTALL SUITABLE MECHANICAL SYSTEMS PER TITLE 24-6. SEE SHEET INDEX FOR LOCATION OF TITLE 24-6 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET.
- HEATING- PER 2022 CBC, SECTION 1204.1 HEATING SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES FAHRENHEIT AT A POINT 3 FEET ABOVE THE
- FURNACE CLEARANCE PROVIDE A MINIMUM 6 INCH CLEAR SPACE IN FRONT OF FURNACES. FURNACES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATION AND SHALL MEET REQUIREMENTS OF THE 2022 CMS SECTION 910. VERIFY ALL CLEARANCE AND INSTALLATION REQUIREMENTS PER 2022 CMC SECTION 304 PRIOR TO ORDERING OR INSTALLIAC EQUIPMENT.
- ATTIC ELIDNACES, EOD ELIDNACES INSTALLED IN ATTICS DECIDE MINIMUM. ACCESS OPENING, WITH A LEVEL PLATFORM, CONVENIENCE DUPLEX OUTLET, AND AREA LIGHT SWITCHED FROM ATTIC OPENING. SEE 2022 CMC SECTION 304.
- FOR STOVES WITH INDOOR BASSEDUE UNITE AS EXHAUST DUIT AND TANHANGS A FOR STOVES WITH INDOOR BASSEDUE UNITE AS EXHAUST BOARD AS THE WAS AN LISE INSTALLED, AN WIDE AS THE UNIT AND CONTRESE OVER THE UNIT WHEN THE DUIT PRETENTANTS A EXAMEN OF A FORCE THAT LISE EXCLOSED AN A PIPE RESISTENT SHAPE THE DUIT SEPARATED FROM THE SHAPT WITH A MINIAMAN Y ANTERFACE AND THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH A MINIAMAN Y AND THE PROPERTY OF THE SHAPT WITH THE SHAPT WITH THE SHAPT WITH THE SHAPT WITH THE SHAPT WITH
- APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORT FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY THE 2022 CMC SECTION.
- GARAGE APPLIANCE PROTECTION GARAGE APPLIANCES WITH GLOW, SPARK, OR FLAME IGNITION SHALL HAVE IGNITER 18" ABOVE FLOOR SHALL BE PROTECTED FROM AUTO IMPACT. (2022 CMC SECTION 307)

### **ELECTRICAL NOTES**

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE FEDERAL STATE AND LOCAL JURISDICTIONAL ORDINANCES.
- ALL ELECTRICAL LOAD SHEETS AND CALCULATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR
- 4. LOW VOLTAGE OUTLETS AND WIRING TO BE COORDINATED BY THE OWNER CONTRACTOR TO VERIFY THE LOCATION OF ALL TELEPHONE AND LOW VOLTAGE OUTLETS, WITH OWNER, PRIOR TO THE INSTALLATION OF SHEETROCK.
- 5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE
- \*\*\*EMBRITEUT O'BE INSTALLED LESS THAN 7-6" OVER A SPA OR HOT TUB.
  \$2.1. RECESSED FIXTURES WITHA GLASS OR PLASTIC LEIN AND ANOMETALLIC OR
  ELECTRICALLY ISOLATED METAL RIM SUITABLE FOR USE IN DAMP LOCATIONS.
  \$2.2. SURFACE OUDLITED FIXTURES WITH A GLASS OR PLASTIC GLOSE AND A NONMETALLIC BODY OR A METALLIC BODY ISOLATED FROM CONTACT AND SUITABLE FOR USE
- 7. PER 2022 CEC ARTICLE 210.52(A), RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL. NO WALL SPACE MAY BE MORE THAN 6 FEET FROM AN OUTLET.
- 8 DED 2022 CEC ADTICLE 210 52(C) DECEDTACLES ALONG THE COLINTED TODS SHALL BE PIEM AUX CHCANTICLE 2 (12.2(C), RECEPTIACLES ALONG THE COUNTER TOPS SHALL BE SPACED ANAMAINA FEET FROM THE SINKS), NON A FEET ON-CENTER; ISLAND OR PENNISULA COUNTER TOPS 12 INCHES OR WIDER SHALL HAWE AT LEAST ONE RECEPTIACLE FOR EACH A FEET OF COUNTERTOR NO POINT OF THE WALL MAY BE MORE THAN 24 INCHES FROM AN OUTLET. KITCHEN OUTLETS SHALL BE ON AT LEAST TWO SEPARATE CIRCUITS WITH GROUND PAUL CIRCUIT INTERRUPT PROTECTION.
- PER 2022 CEC ARTICLE 210-70 AT LEAST ONE WALL-SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERBY HABITABLE ROOM, IN BATHROOMS, IN HALL STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL PC AND AT OUTDOOR ENTRANCES OR EXITS.
- . VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSULATION, ALL RECESSED FIXTURES TO BE APPROVED BY OWNER. COORDINATE LOCATIONS OF RECESSED FIXTURES WITH FRAMING, PROVIDE OWNER AN OPPORTUNITY TO WALK AT "BOX-OUT AND INCLUDE RELOCATIONS AS REQUESTED. DECORATIVE FIXTURES ARE TO BE SUPPLIED BY OWNER.
- NEW WORK PRIOR TO BID. VERIFY THAT EXISTING SERVICE IS SUFFICIENT TO HANDLE INCREASED LOADS. LOCATE NEW SUBPANELS AS DIRECTED BY OWNER. ALL CIRCUIT PANELS ARE TO BE LABELED.
- RESIDENTIAL LIGHTING SHALL COMPLY WITH FORM CF-6R-LTG-01. INSTALLER IS
  RESPONSIBLE FOR COMPLIANCE AND CERTIFICATION. FIXTURE TYPE, LOCATION, AS
  SWITCHING LOCATIONS ONLY ARE NOTED ON THESE PLANS. TITLE 24-6 REQUIRED
  MAST BE MET INDIVIDUALLY FOR EACH INSTALLATION, SPECIFIC TO EACH DEVICE,
  CONTROL, AND LOCATION.

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GENERAL NOTES

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# Pollution Prevention — It's Part of the Plan



### Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

### Non-hazardous materials management

- Sand, dirt; and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overase) reclaimed water for dust control as needed.
- Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- Check dampsters regularly for leaks and to make sure they don't overflow Repair or replace leaking dampsters promptly.

### Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and
- Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

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- Keep a stockpile of spill cleanup materials (rags, absorbeats, etc.) available at the construction sile at all times.
- When spills or leaks occur, contain them immediately and be particularly careiol to prevent leaks and spills from reaching the guiter, street, or storm drain.
   Never wash spilled material into a guiter, street, storm drain, or creek!
- Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

# Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a berused area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Juli cu

Keep excavated soil on the site where it is least likely to collect in the street.
 Transfer to dump trocks should take place on the site, not in the street.

Earthwork & contaminated soils

 Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
 Avoid scheduling earth moving activities



are allowed in your permit, be saire to implement all control measures necessary to prevent erosion.

Mature vegetation is the best form of

during the rainy season if possible. If grading activities during wer weather

- erosion control. Minimize disturbance to existing vegetation whenever possible.

  If you disturb a slope during construction.
- prevent erosion by securing the soil with
  erosino courted fative, or seed with fastgrowing grasses as soon as possible, Place
  just bales shows slope until soil is secure.

  V Byou suspect contamination (from site history, discoloration, odor, texture,
- abundanced underground tanks or pipes, or buried debres), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

## Dewatering operations

- Bease water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sore to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or wedingen trap may be required.
- In areas of known contamination, festing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

### Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, bay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain swhem.
- Shovel, absorb, or vacuum savecut durry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is women).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately:

### Paving/asphalt work



- Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material un der paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earther berms.

Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

Do not one water to wash down fresh asphalt concrete payerners

# Concrete, grout, and mortar storage & waste disposal

- Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain
- Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

### Painting

- Never rinse paint brushes or materials in a gutter or street
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



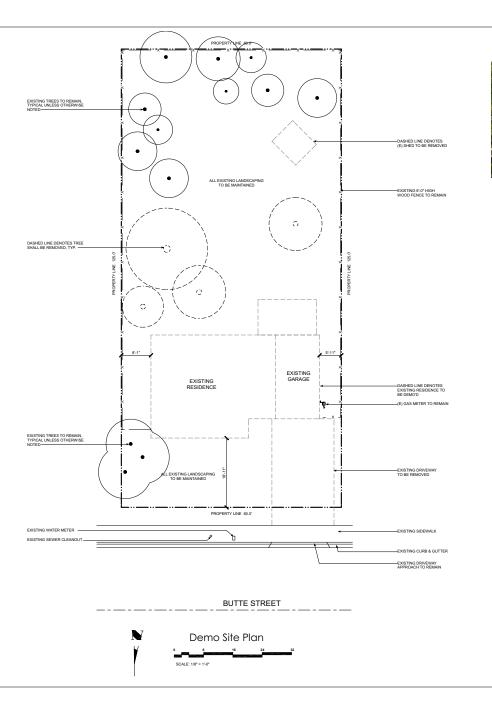
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

WARREN DESIGN

Project No: 2449

T-1.2





#### GENERAL NOTES:

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19 SEPT - LOCATION OF ALL UTLITIES AT JOB SITE.

28 LOPE ALL FINISH GRADES ANN. OF 99, FOR 95 "A MAY FROM STRUCTURE FOR DRAMAGE.

31 LL DYBELLINGS SHALL MAYER A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOPS THAT WILL

ALL DYBELLINGS SHALL MAYER A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOPS THAT WILL

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FOUNDATION WALLS OR TE, INTO AN APPROVED DRAMAGE SYSTEM. A LEAST STRUCTURE SHALL SLOPE AMONY FROM THE FOODMATION AN ANIMALM OF

5% FOR A MANIMUM DISTANCE OF THE OF (CIC. 1982, 74).

THE STREET GITTER AT POINT OF BOUNDANCE OR THE HINTE OF AN APPROVED DRAMAGE CENTED.

ANIMALM OF 12" PLUS 2" (CIC. 1982, 74).

MINIMAM OF 12" PLUS 2" (CIC. 1982, 74).

SHAPE PROLECTIONS SHALL HAVE THOUGHT FOR THE POP EAVINE PROLECTIONS SHALL THAT HE LESS THAN 3" OF THOUGHT SHALL THAT THE PROPERTY LIES HES NOT REQUIRED FOR EAVINE PROLECTIONS GREATER

THAN 3" OF A PRESCRIBED MASER FOR SECTION FROM 2 TRANSFER FROM (CIT.)

#### WASTE MANAGEMENT PLAN:

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTRIMMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRES THE STANDAY WALLED AS ISSUED.

TRESH PLES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PLES SHALL NOT CONTAIN. POWERS, SOLVENTS, GLUES, TARMOL COMPOUND, DOD PRODUCTS, OR SEASY.

THE TOTAL OF THE STANDAY OF THE STA

- EROSION CONTROL NOTES:

  1. ALL REPOSION CONTROL MEASURES SMALL BE ONSITE AND READLY ACCESSIBLE PRIOR TO CONSTRUCTION.

  CONSTRUCTION.

  CONSTRUCTION.

  REPOSITION OF THE PROPERTY OF STORM DRAIN.

  REVEREET REPOSITIONED AND EXPOSED DAME DIRT SMALL BE COVERED WITH MALLOL, JUT METTING OF OTHER PROPERTY OF STORM DRAIN.

  REVEREET REPOSITIONED AND EXPOSITION DRAINED AND ADMINISTRATION OF OTHER PROPERTY OF THE CONTRACTOR ROWNER AFTER PARM EVENT TO VERIFY EROSION CONTROL MEASURES ARE FOUNDTONING.

WARREN DESIGN

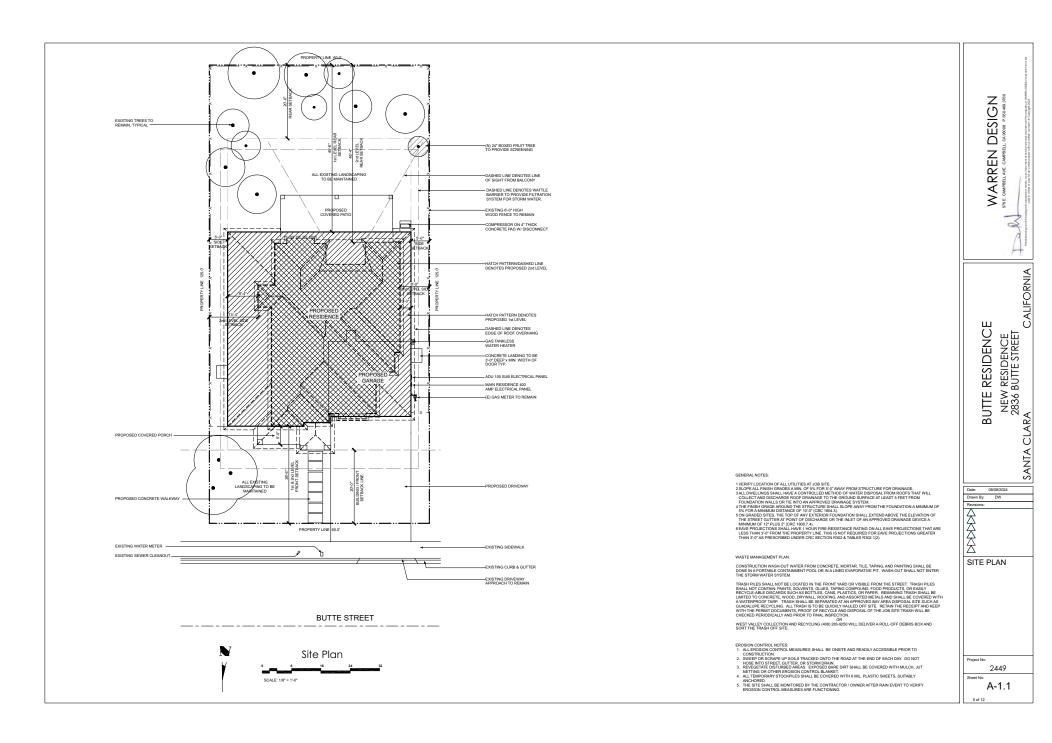
CALIFORNIA BUTTE RESIDENCE NEW RESIDENCE 2836 BUTTE STREET

SANTA CLARA Date: 08/08/2024 Drawn By: DW

DEMO SITE PLAN

2449

A-1



### WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS, IMAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S ANDIOR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANEL. (U.N.O.) 2. ALL EXTERIOR HEADERS SHALL BE AT 8'-0" U.N.O. 3. ALL EXTERIOR DOORS SHALL BE AT LEAST 13'4" THICK

- 3.ALL EXTERIOR DOORS SHALL BE AT LEAST 134" THICK.
  ALL GLASS DOORS, GLASS WITHIN 20' OF DOORS A WITHIN 18" OF FLOORS, GLASS SUBJECTTO
  HIJAMN MPACT, ETC. SHALL BE SAFETY TEMPERED
  BEDROOM WINDOWS SHALL HAW MAY 44" HIGHT TO THE BOTTOM OF THE CLEAR OPENING, NET
  CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT WI MIN. CLEAR OPENING OF 5.7 SQUARE FEET
  SHOWERS TO BE FINISHED WITH MOSITURE RESISTANT MATERIALS OVER A MOSISTURE RESISTANT

- 6. SHOWERS TO BE PRINSHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAWMENT OM IN. HIGHER OF 72 ABOVE DRAWN WITEMPERS GLASS ENCLOSING. TO PROVIDE THERMOSTATIC MIXING VALVE OR RIDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER CP.C.
  8. WATER HEATERS & FURRACES TO BE C.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGET TO OUTSIDE.
- TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.

  9 PROVIDE COMBUSTION AIR FOR PILE BURNING APPLIANCES.

  10. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18"

  MIN. A.F.F.

  MIN. A.F.

  MIN. A.F.F.

  MIN. A.F.F.

  MIN. A.F.F.

  MIN. A.F.F.

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  MIN. A.F.
- MIN. A.F.F.

  11. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED

  12. AIR DUCTS IN GARAGE THAT PASS THRU LIVING GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR

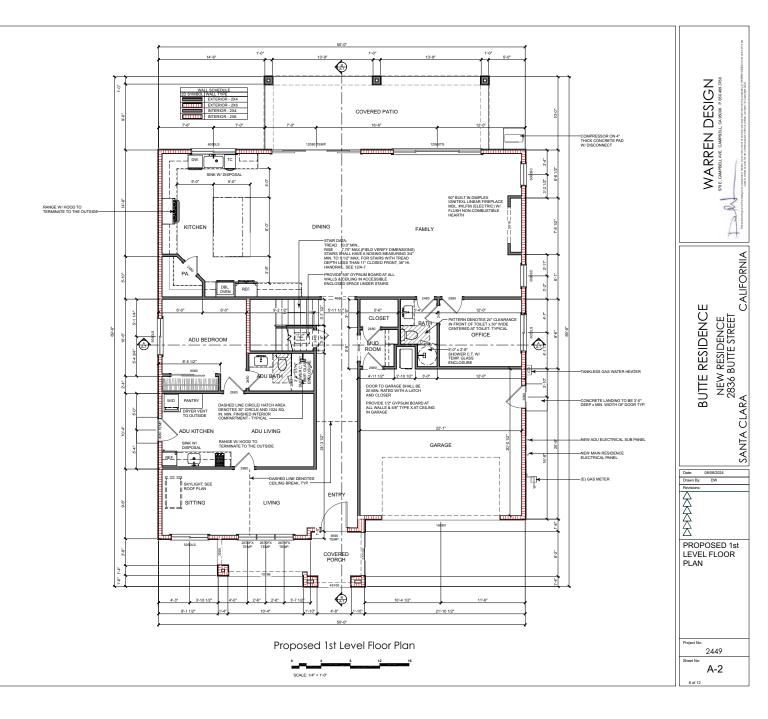
- PLUMBING GENERAL NOTES:
   PROVIDE AN ACCESSBLE SHUTOFF VALVE INSTALLED IN THE FUEL-SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AMEAD OF THE UNION CONNECTION THEIRETO. AND APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTERN THE WALL PLOTS OF PRETTING AND SHALL NOT SET OF THROUGHT HE APPLIANCE FUCISING WALL, PLOTS OF PRETTING AND SHALL NOT SETTLE THROUGHT HE APPLIANCE FUCISING.

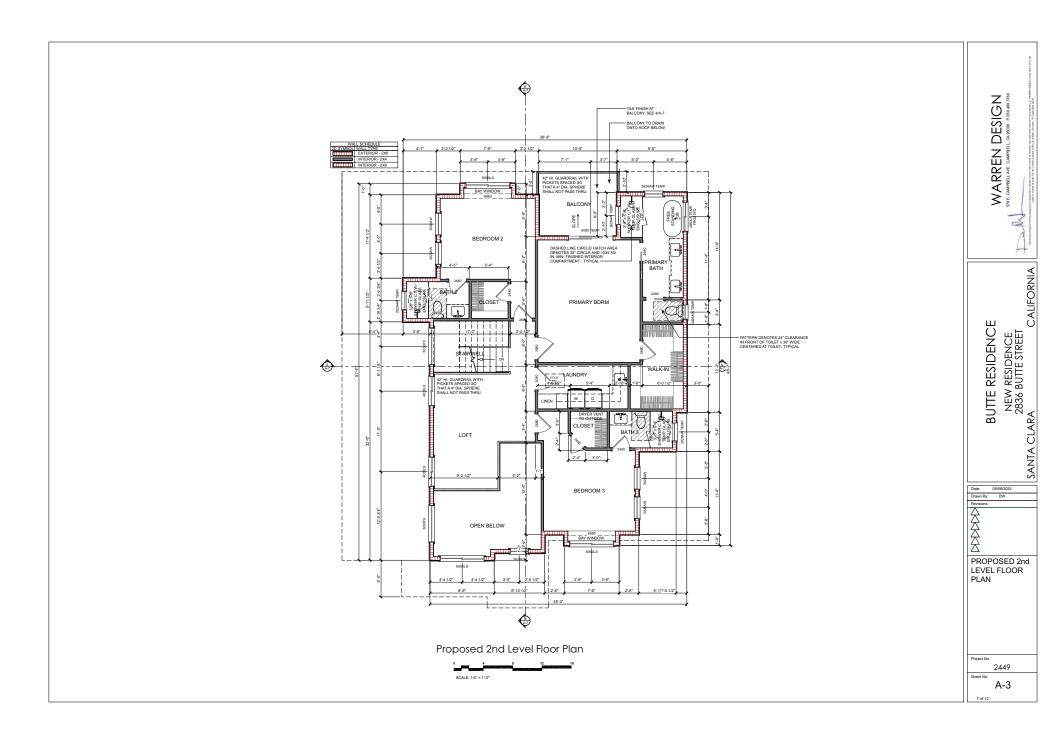
- AND WHITEPOOL BATTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS
- WATER RELAY TREMINION SHALL NOT BE CONSIDERED A CONTROL FOR MICE HING THIS PROVISION. (CPC 408.3)

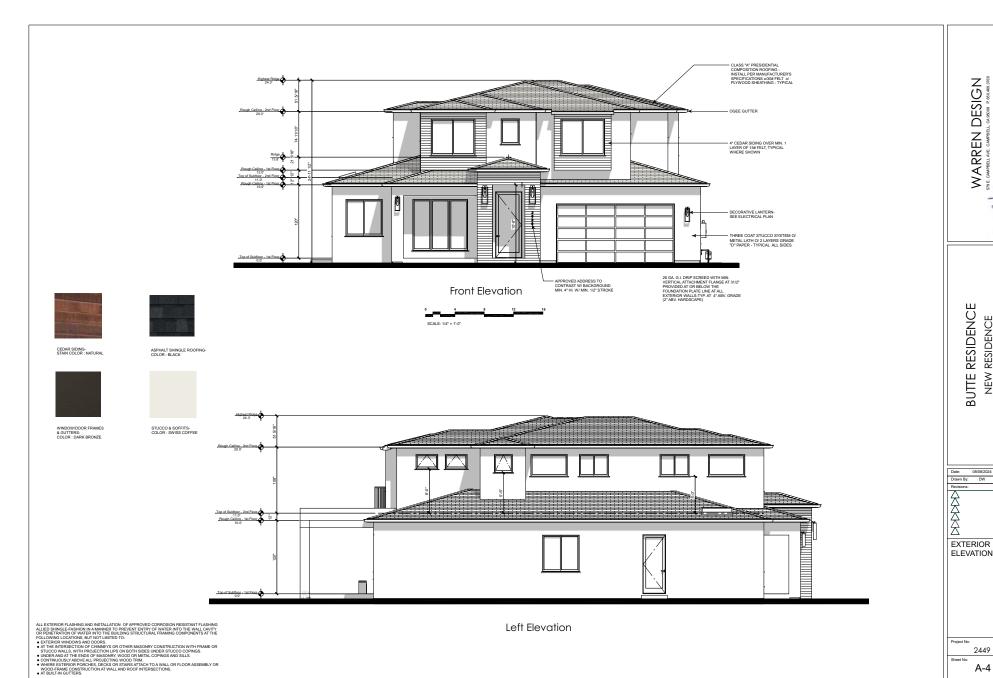
  11. EXTERIOR WATER HEATER PIPING SHALL BE INSULATED AND WRAPPED TIGHTLY WITH A UV DEDISTANT TABLE (SRC (CPL)).
- 11. EXTERIOR WALE HE JEEFE PHINE SHALL BE RESULTED AND WIGHPED TRETTE WITH A VI-US DISHWANSER SHALL BE FITTED WITHAN AN BAY OR POR A MICH LOOP THE MANIFACTURES IN INSTALLATION QUIDELINES ALLOW. THE MICH SHALL BE ALLOW AND THE SH

FIXTURE	IF THE WATER USAGE EXCEEDS	IT MUST BE REPLACED WITH
WATER CLOSET	1.6 GAL / FLUSH	1.28 GAL / FLUSH
SHOWER HEAD	2.5 GAL / MINUTE	1.8 GAL / MINUTE
LAVATORY FALICET	2.2 GAL / MINUTE	12 GAL / MINUTE
KITCHEN FALICET	2.2 GAL / MINUTE	1.8 GAL / MINUTE

- 15. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE
- WITER HEAL BESS & FUNNICES LO BE ELEZ. CHAR I FIELD, WHER PRESIDER S. I TO I PANSE
  PRESIDER S. TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
   PERSINAS ARKOURS ON SEVERTS, DUCTOR S. PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
   AR DUCTS IN GARAGE THAT PASS THRU L'INVOS GARAGE COMMON WALL SHALL BE SEGO.
   THE ELECTROPICIONE.
   THE FIRST 5-0" OF THE TAND COLD WATER PIPES FROM THE STORAGE TANK FOR NON.
- THE FIRST 3-0" OF HOT AND COLD WATER PIPES FROM THE STORAGE WARN FOR NOW. RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150)(2) CEnC).







2449

Revisions:

EXTERIOR ELEVATIONS

A-4

WARREN DESIGN

CALIFORNIA

SANTA CLARA

BUTTE RESIDENCE NEW RESIDENCE 2836 BUTTE STREET





Right Elevation

WARREN DESIGN

BUTTE RESIDENCE
NEW RESIDENCE
2836 BUTTE STREET
SANTA CLARA

CALIFORNIA

Revisions:

EXTERIOR ELEVATIONS

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