

City of Santa Clara

Meeting Agenda

Historical & Landmarks Commission

Thursday, February 6, 2025

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

Via Zoom:

o https://santaclaraca.zoom.us/j/97233262035 or

o Phone: 1 (669) 900-6833 Webinar ID: 972 3326 2035

Public Comments prior to meeting may be submitted via email to PlanningPublicComment@santaclaraca.gov no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

PUBLIC PARTICIPATION IN ZOOM WEBINAR:

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- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
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CALL TO ORDER AND ROLL CALL

CONSENT CALENDAR

1.A 24-1254 Historical Landmarks Commission Meeting Minutes and October 3, 2024

> **Recommendation:** Approve the Historical and Landmarks Commission Meeting Minutes of the October 3, 2024 Meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. 24-1235 Consideration of a Historical Preservation Agreement (Mills Act Contract) (PLN24-00465) for 1435 Lexington Street.

Recommendation: Staff recommends that the Historical and Landmarks Commission find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplish the intent of preserving and maintaining the historical significance of the property; and therefore, recommend City Council approve of the City entering into a Mills Act Contract with the property owner, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 1435 Lexington Street.

3. 4-1142 PUBLIC HEARING: Consideration of the Proposed Demolition of the Existing Single-Family Residence and Construction of a 2,446 Square-Foot Five-Bedroom, Three-Bathroom Two-Story Residence with an Attached Two Car Garage at 970 Poplar Street (PLN24-00600) located within 200 Feet of a Historic Resource.

Recommendation: Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 970 Poplar Street will not destroy or have a significant adverse effect on the integrity of the HRI listed property within 200 feet at 410 Lafayette Way; that the demolition and proposed residence are compatible with the surrounding neighborhood and recommend approval of the Architectural Review.

4. 25-119 PUBLIC HEARING: Recommendation on the Proposed 627 First Floor Addition and Square-Foot a 1.276 Square-Foot Addition to Existing 1.958 Square-Foot Second Floor an Single-Story Residence Resulting in a 3.939 Square-Foot

Four-Bedroom, Three-Bathroom Two-Story Residence with Attached Three Car Garage at 807 Park Court (PLN24-00585)

located within 200 Feet of a Historic Resource.

Recommendation: Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 807 Park Court will not destroy or have a significant adverse effect on the integrity of the HRI listed property within 200 feet at 794 Park Court; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

5. 25-121 PUBLIC HEARING: Recommendation on the New Construction of Nine Two-Story Townhomes with Attached Two-Car Garages at 4249 Cheeney Street (PLN2019-13847) located within 200 Feet of a Historic Resource.

Recommendation: Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 4249 Cheeney Street will not destroy or have a significant adverse effect on the integrity of the HRI listed properties within 200 feet at 2086 Agnew Road and 4262 Davis Street; that the demolition and proposed residence are compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing

6. 24-1255 Historical and Landmarks Commission Workplan Fiscal Year 2025/2026

Recommendation: There is no staff recommendation.

STAFF REPORT

Training and Travel Request

2025 California Preservation Conference, Sacramento, CA, May 6 - May 10, 2025

2. **Budget Update**

COMMISSIONERS REPORT

Subcommittee Reporting - 20 minutes

Board/Committee

Santa Clara Arts and Historic Consortium Historic Preservation Society of Santa Clara

Old Quad Residents Association Development Review Hearing

BART/ High Speed Rail/ VTA BRT Committee

El Camino Real Specific Plan Community Advisory Committee

Downtown Precise Plan

Santa Clara Station Area Task Force

Park Court Neighborhood

Lead/Alternate

Vargas-Smith / Romano Vargas-Smith / Leung

Leung

Romano /Vargas-Smith Vargas-Smith/ Leung

Leung

Vargas-Smith/Stocks

Leung/Stocks

ADJOURNMENT

The next regular scheduled meeting is Thursday, March 5, 2025

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

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City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

24-1254 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Historical and Landmarks Commission Meeting Minutes of October 3, 2024

RECOMMENDATION

Approve the Historical and Landmarks Commission Meeting Minutes of the October 3, 2024 Meeting.



City of Santa Clara

Meeting Minutes

Historical & Landmarks Commission

10/03/2024 6:00 PM

Hybrid Meeting City Hall Council Chambers/Virtual 1500 Warburton Avenue Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

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CALL TO ORDER AND ROLL CALL

Chair Leung called the meeting to order at 6:06 pm

Present 4 - Commissioner Michael Celso , Commissioner Amy Kirby, Chair Patricia Leung, and Commissioner Yvonne Inciarte

Absent 3 - Commissioner Kathleen Romano, Commissioner Ed Stocks, and Vice Chair Ana Vargas-Smith

A motion was made by Commissioner Inciarte, seconded by Commissioner Celso to excuse Commissioner Romano, Commissioner Vargas-Smith, and Commissioner Stocks.

Aye: 4 - Commissioner Celso, Commissioner Kirby, Chair Leung, and Commissioner Inciarte

Excused: 3 - Commissioner Romano, Commissioner Stocks, and Vice Chair Vargas-Smith

STUDY SESSION

24-977 Study Session on the Library Facilities Master Plan: Community Input

Recommendation: There is no recommendation. The purpose of this report is to support a Study Session on this topic and to receive input from the Historical and Landmarks Commission on the development of the City's Library Facilities

Master Plan.

Jeff Davis and Kristilyn Vercruysse from MSR Design and Mila Rianto, Assistant Librarian provided a presentation.

CONSENT CALENDAR

1. <u>24-975</u> Historical and Landmarks Commission Meeting Minutes of September 5, 2024

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the September 5, 2024 Meeting.

Commissioner Celso provided some corrections to the minutes-Commissioner Stocks Voted Chair Vargas-Smith for Chair. Chair Vargas-Smith voted Commissioner Celso for Chair but he declined.

Motion to approve this item was made by Commissioner Inciarte, seconded by Commissioner Celso.

Aye: 4 - Commissioner Celso, Commissioner Kirby, Chair Leung, and Commissioner Inciarte

Excused: 3 - Commissioner Romano, Commissioner Stocks, and Vice Chair Vargas-Smith

PUBLIC PRESENTATIONS

GENERAL BUSINESS

2. 24-883 Consideration of a Historical Preservation Agreement (Mills Act Contract) (PLN24-00423) for 1309 Alviso Street.

Recommendation: Staff recommends that the Historical and Landmarks Commission find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplish the intent of preserving and maintaining the historical significance of the property; and therefore, recommend City Council approve of the City entering into a Mills Act Contract with the property owner, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 1309 Alviso Street.

> Motion to close public hearing was made by Commissioner Inciarte, seconded by Commissioner Celso.

Motion to approve this item was made by Commissioner Celso, seconded by Commissioner Inciarte, with the condition for applicant to get clarification if the railing on the front porch was a historical feature and to approve a bronze plaque with a date of 1890.

Aye: 4 - Commissioner Celso, Commissioner Kirby, Chair Leung, and Commissioner Inciarte

Excused: 3 - Commissioner Romano, Commissioner Stocks, and Vice Chair Vargas-Smith

3. 24-927 Consideration of a Historical Preservation Agreement (Mills Act Contract) (File No. PLN24-00431) for 811 Monroe Street

Recommendation: Staff recommends that the Historical and Landmarks Commission determine the project to be exempt from CEQA pursuant to CEQA Section 1561(b)(3) and find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplish the intent of preserving and maintaining the historical significance of the property; and therefore, recommend City Council approval of a Mills Act Contract, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 811 Monroe Street.

> Motion to close public hearing was made by Commissioner Inciarte, seconded by Commissioner Celso.

Motion to approve this item was made by Commissioner Celso, seconded by Commissioner Inciarte, to approve a bronze plaque with a date of 1903.

Aye: 4 - Commissioner Celso, Commissioner Kirby, Chair Leung, and Commissioner Inciarte

Excused: 3 - Commissioner Romano, Commissioner Stocks, and Vice Chair

Vargas-Smith

STAFF REPORT

- 1. Historic Preservation Update
- 2. Historic Repair Report
- 3. Training and Travel Request
- 4. Budget Update

Senior Planner Nimisha Agrawal provided updates. The HLC drafted a memo that was presented to the commission and will be part of the minutes. Staff will prepare a cover memo for the presentation to the Council in the coming months and will update the commission on the Council date. Commissioner Celso pointed out that on page 16 of the memo the word "however" is used twice.

Staff shared the Historic Preservation Ordinance (HPO) Matrix that will be posted on the Historic Preservation page on The City's website.

Staff provided an update on the budget.

COMMISSIONERS REPORT

Subcommittee Reporting - 20 minutes

Board/Committee Lead/Alternate

Santa Clara Arts and Historic Consortium
Historic Preservation Society of Santa Clara
Old Quad Residents Association
Development Review Hearing
BART/ High Speed Rail/ VTA BRT Committee

El Camino Real Specific Plan Community Advisory Committee

Downtown Precise Plan

Santa Clara Station Area Task Force

Park Court Neighborhood

Vargas-Smith / Romano Vargas-Smith / Leung Leung Romano /Vargas-Smith Vargas-Smith/ Leung Leung Vargas-Smith/Stocks Leung/Stocks

ADJOURNMENT

Motion to adjourn was made by Commissioner Inciarte, seconded by Commissioner Celso to adjourn the meeting at 8:08 pm. The next regular scheduled meeting is November 7, 2024. **Aye:** 4 - Commissioner Celso, Commissioner Kirby, Chair Leung, and Commissioner Inciarte

Excused: 3 - Commissioner Romano, Commissioner Stocks, and Vice Chair Vargas-Smith

MEETING DISCLOSURES

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Agenda Report

24-1235 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Consideration of a Historical Preservation Agreement (Mills Act Contract) (PLN24-00465) for 1435 Lexington Street.

BACKGROUND

Property owners, Jonathan J. Ye and Jessica E. Chung, request a Historical Preservation Agreement (Mills Act Contract) (File No. PLN24-00465) for the property located at 1435 Lexington Street. Enacted in 1972, the California Mills Act legislation grants participating local governments the authority to enter into contracts with owners of qualified historic properties who actively participate in the restoration and maintenance of their historic properties while receiving property tax relief. Santa Clara participates in the Mills Act Program. A requirement of the Mills Act Contract is that the building must be a qualified structure, listed on either a local, State, or National register. The property is currently listed on the City's Historic Resource Inventory (HRI) for age and the architectural integrity of the residential structure.

The subject property is a 7,920 square-foot lot located on the northwest side of Lexington Street between Madison Street and Jefferson Street. The residence was constructed in 1892 in the Queen Anne cottage style. The existing residence is a 3,357 square-foot, one and half-story house with four bedrooms and four bathrooms. The property has a detached two car- garage that was permitted and constructed in 1955. The property was altered in 2006 and 2013, with the interior remodeling of the basement, main floor, and attic space and the removal of a non-historical rear addition. The property has not been altered since the filing of the 2024 California Department of Parks and Recreation (DPR) forms.

The property owners submitted the requisite application, including a historic survey (DPR523A Form), a DPR523B Form, a Statement of Justification for the request, and a 10-Year Restoration and Maintenance Plan for evaluation of the proposed workplan to restore, rehabilitate, and maintain the property.

For Mills Act Contract requests, the Historical and Landmarks Commission (HLC) makes a recommendation to the City Council for their final determination. Approved contracts are executed between the City and the property owner and recorded with the County for a minimum ten-year term. Contracts are automatically renewed each year and are transferred to new owners when the property is sold.

DISCUSSION

A Department of Parks and Recreation (DPR) 523A Form was prepared by Brad Brewster of Brewster Historic Preservation on September 12, 2024, and the form assessed the historical significance of the property based on City (Santa Clara), State (California) and National Register

24-1235 Agenda Date: 2/6/2025

criteria. The evaluator found the structure at 1435 Lexington to be in overall excellent condition with high degree of architectural integrity except for minor alterations to the rear façade. The evaluator concluded that the property continues to retain enough of its historic character and appearance to be recognizable as a historic resource and to convey the reason for its significance as a Historically Significant Property on the City's HRI.

The property owners submitted a Statement of Justification and 10-Year Plan for restoration and maintenance of the property. The Plan includes exterior restoration of wood siding, painting, exterior lighting enhancements, and roofing repair. The property owners will obtain Significant Property Alteration permits for the work described in the Plan as required by the Historic Preservation Ordinance (Zoning Code Chapter 18.130).

Staff finds that the work proposed in the 10-Year Restoration and Maintenance Plan adheres to the Secretary of Interior's Standards for Rehabilitation. The proposed improvements, and the owner's statement of justification, support the preservation, protection, and maintenance of a locally designated significant structure.

ENVIRONMENTAL REVIEW

The Mills Act Program is exempt from CEQA environmental review requirements per CEQA Section 15061(b)(3). The activity is covered by the general rule that CEQA applies only to projects which have potential for causing a significant effect on the environment where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

PUBLIC CONTACT

There is no requirement that Mills Act Contracts are publicly noticed.

RECOMMENDATION

Staff recommends that the Historical and Landmarks Commission find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplish the intent of preserving and maintaining the historical significance of the property; and therefore, recommend City Council approve of the City entering into a Mills Act Contract with the property owner, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 1435 Lexington Street.

Prepared by: Alex Tellez, Assistant Planner Reviewed by: Rebecca Bustos, Principal Planner Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

- 1. Legal Property Description
- 2. Historic Survey (DPR 523A Form)
- 3. Secretary of Interior Standards for Rehabilitation
- 4. Statement of Justification
- 5. 10-Year Restoration and Maintenance Plan
- 6. Draft Historic Property Preservation Agreement (Mills Act Contract)

LEGAL PROPERTY DESCRIPTION

Beginning at a point on the Northerly line of Lexington Street, distant thereon 60 feet Westerly from the point of intersection of the Northerly line of Lexington Street with the Westerly line of Madison Street; thence running Westerly and along the Northerly line of Lexington Street, 66 feet; thence running Northerly and parallel with the Westerly line of Madison Street, 120.50 feet; thence running Easterly and parallel with the Northerly line of Lexington Street 66 feet; thence Southerly and parallel with the Westerly line of Madison Street 120.50 feet to the point of beginning and being a portion of Lot 3 in Block 2 South, Range 5 West of the City of Santa Clara, according to the official map thereof of record in the Office of the County Recorder of the County of Santa Clara, State of California in Book "B" of Maps, Page 103.

State of California

The Resources Agency DEPARTMENT OF PARKS AND RECREATION DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

*P3a.

Primary #

HRI#
Trinomial

NRHP Status Code

Other Listings

Review Code Reviewer

Date

Page	1 of	30	*Resource Name or #: (Assigned by recorder)			der) 1435 Lex	1435 Lexington Street				
P1. Oth	ner Identifie	er:									
* P2 .	Location		Not for Publication	ı □ Ur	restricted						
*a	. County	San	nta Clara		and	(P2c, P2e, and P2b	or P2d.	Attach a Lo	cation Map as ne	cessary.)	
*b	. USGS 7.	5' Qua	d San Jose Wes	st Date	2015 ph	oto revised	T 7s	; R 1W	; unsection	ned; Mt.	
Di	ablo B.N	1.	•								
c.	Address	143	35 Lexington S	Street	City	Santa Clara	Zip	95050			
d.	UTM: (c	ive mo	ore than one for large	and/or linea	r resources)	Zone ,	mE/		mN		
e.	Other Lo	cation	al Data: (e.g., parcel Assessor's	•	-	•	degrees,	etc., as app	ropriate)		

North side of Lexington Street between Madison and Jefferson Streets **Description**: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and

boundaries)
Located on the north side of Lexington Street, between Madison and Jefferson Streets in the historic "Old Quad" neighborhood of Santa Clara, the subject property at 1435 Lexington Street is a 1 ½-story, single family residence with a generally rectangular plan, a cross-gabled hipped roof with dormers clad in asphalt shingles, and is constructed of wood framing over a concrete perimeter foundation. (See Continuation Sheet, page 3)

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single Family Property



*P4. Resources Present : X Building
☐ Structure ☐ Object ☐ Site ☐ District
☐ Element of District ☐ Other
P5b. Description of Photo: (view, date,
accession#) _Front façade view
north, 8/15/2024

*P6. Date Constructed/Age and Source: X Historic □ Prehistoric □ Both

1892 per Assessor's Records and Sanborn Maps

*P7. Owner and Address:

Jonathan J. Ye and Jessica E. Chung

1435 Lexington Street Santa Clara, CA 95050

*P8. Recorded by: (Name, affiliation, and address)
Brewster Historic
Preservation, 143 Pierce
Street, San Francisco, CA
94117

***P9. Date Recorded:** 9/12/2024

*P10. Survey Type: (Describe)
Intensive

*P11.	Report Citation:	(Cite survey	report and	other sou	urces, or er	nter "none.")	ļ
	None						

*Attachments: □NONE	XLocation Map 3	Continuation Sheet	XBu	ilding, Structure, and Obje	ct Record
□Archaeological Record	□District Record	□Linear Feature Re	cord	□Milling Station Record	□Rock Art Record
□Artifact Record □Pho	tograph Record	☐ Other (List):			

DPR 523A (9/2013) *Required information

State of California

The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

HRI#

Primary #

BUILDING, STRUCTURE, AND	OBJECT RECORD		
*Resource Name or # (Assigned by recorder) 14. Page 2 of 30	35 Lexington Street	*NRHP Status Code	N/A
B1. Historic Name: None Common Name: None			B2. B3.
*B5. Architectural Style: Queen Anne Cott	age	nt Use: Same	
*B6. Construction History: (Construction date, al The residence was constructed in 1892 the interiors of the basement level, rear addition and rebuilt the rear two dormers on the west and north si of the front elevation details with	with alterations in betwee main floor, and attic spaporch, reconstructed a second of the roof, and retained.	ce, removed a later unporch on the eas ined and preserved	non-historic t side, added the majority
*B7. Moved? □No □Yes □Unknown	Date: 0	riginal Location:	*B8.
Two-car garage at rear of property,	, built 1955 and remodel	ed 2013	
B9a. Architect: Unknown	b. Builde	r: Unknown	
*B10. Significance: Theme Architecture	Are	Santa Clara Old	l Quad
integrity.) The parcel located at 1435 Lexington been identified as Block 1 North, Roclara, completed in July 1866 by J.J is the survey that forms the basis that time the eastern half of the known property was owned by "J.R.L." and withat a portion of the subject block hands many times in the following yea and his wife, Abigail Allen, George M and Zenus Sykes (farm laborer). (See B11. Additional Resource Attributes: (List attribute B12. References:	ange V West, of the original angle V West, of the original and recorded on F for the part of Santa Clolock including the area was undeveloped. Santa Country that was to become the straight and was owned consecuted. Schuck (professor of muster Continuation Sheet, F	nal survey of the ugust 22 of that sa ara known as the "c that was to become lara County deed be ubject lot was projectly by Jacob Alleic at University of age 16)	City of Santa me year. This Old Quad." At e the subject ooks identify perty changed n (physician)
See References on Continuation Shee	et Page 27		
B13. Remarks:	(Sketch Ma	p with north arrow requi	red.)
*B14. Evaluator: Brad Brewster *Date of Evaluation: September 12,	JEFFERSON ST	MADISON ST	1
(This space reserved for official comments.)		INGTON ST	7

Rela

DPR 523B (9/2013) *Required information

State of California

Natural Resources Agency DEPARTMENT OF PARKS AND RECREATION

Primary# HRI # Trinomial

CONTINUATION SHEET

Property Name: <u>1435 Lexington Street</u>

Page <u>3</u> of <u>30</u>

Continued from P3a. Description, on Page 1

Built in 1892, the house was designed in the Queen Anne cottage style of architecture, which was a popular style of residential architecture in the United States between 1880 and 1910. See discussion of the Queen Anne cottage style, below.

This house has a prominent front-facing gable on its southern elevation which is slightly curved or 'belled' at the bottom, and whose front and sides meet in a perfect seam. A similar gable projects from the east side. The roof pitch varies from high to medium and the roof on this residence has a high roof pitch. Composition shingles sheathe the various roof planes. The roof planes are further distinguished by molded cornices, gable returns, and moderately projecting boxed eaves. Photos of all elevations are provided in Figure 1 through 11 on the following pages.

The building sits on a raised basement about 4 feet high, elevating the first-floor living space of the house. This first-floor living space is delineated from the basement below through the use of a horizontal water table which runs around the periphery of the house. The house is clad in wide horizontal wood siding both above and below the water table. Under the cornice lies a fascia board trimmed with molding that also wraps around the periphery of the house. Vertical corner boards finish the wall ends. Both the front and side gable faces are sheathed with octagon shingles. A full-height angled bay projects from the front (south) facade and from the side (east) elevation of the house. The front angled bay features carved corner brackets and pendants set into either angled side of the bay. Projecting over a window set in an angled wall that connects the walls of the front facade and west side-elevation is a feature attached under the fascia, which consists of a spindlework frieze and a drop pendant and carved brackets, identical to brackets and pendants found over the cut-away windows found on the front angled bay.

Also located on the front (south) elevation is a front porch rectangular in plan and elevated about 4 feet from the ground level. It has a low hipped roof, which is supported by turned posts with carved brackets. One full turned post is set at each open end of the porch and a partial turned post is located where the roof projects from the house walls. The porch is ornamented with a decorative block frieze, located between the posts and above the carved brackets on its front and (west) sides. Wood frame stairs with wood railings and turned newel posts reach the front porch from the front yard below. The stairs are centered on the front door, which consists of an original wood framed, four-panel solid wood door with a single inset pane of glass and original brass hardware. A fixed, single-pane transom window is located directly above the front door.

Primary# HRI # Trinomial

CONTINUATION SHEET

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The windows found on the front bay on the main floor of the front (south) elevation are wood frame with double-hung sashes and one-over-one lites on the side angled bays, with a wood frame fixed sash single-lite window with a smaller fixed transom at the center of the bay. The angled side bay windows have original wavy glass panes, while central windows appears to have clear replacement glazing.



Figure 1. Primary, south-facing (front) elevation.

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Figure 2. South (front) and partial east (side) elevations



Figure 3. Partial south (front) and west (side) elevations

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Figures 4 and 5. Partial west (side) elevations showing lower unit entry roof detail (on left)



Figure 6. North (rear) elevation and partial west (side) elevation

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Figure 6. North (rear) elevation

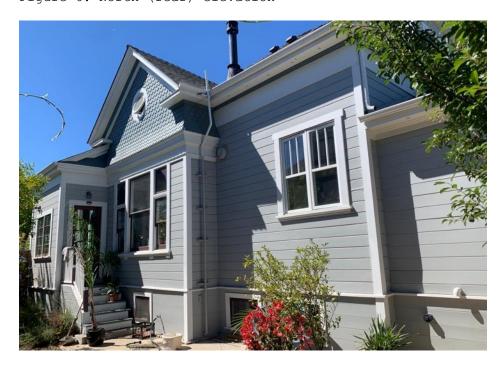


Figure 7. East (side) elevation

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Figures 8 and 9. Detail views on east (side) elevations showing gable end fenestration and side entry $\frac{1}{2}$



Figure 10. Two-car garage in northwest corner of subject lot looking northwest

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Figure 11. View of rear yard with modern shed looking northeast

Located on the east side of the front elevation is a wood frame fixed sash window with 4-over-4 lites that is a recent replacement unit installed as part of a recently reconstructed sun porch. A single wood framed window with an awning sash and a single pane of glass is located on the basement level of the front (south) elevation, centered directly beneath the primary window bay. Centered on the front-facing gable on the second floor is a small, arched, Palladian-style window with a wood frame casement sash flanked by louvered wood attic vents.

The west (side) elevation features a newer side entry to the basement-level apartment. The entry has a steeply-pitched gable roof clad in asphalt shingles supported by two square, wood columns which shelter brick steps with a brick landing that lead to the side door, which itself consists of a solid wood frame door with two-over-four lites. Other fenestration located on the basement level of this side elevation consist of four wood framed windows with an awning sashes and a single panes of glass; all of which are newer or replacement units. Located at the southwest corner of the main floor and set into an angled bay is a single wood frame window with double-hung sashes and one-over-one lites, with carved corner brackets and pendants set into either angled side of the bay, identical those found on the front window bay. This corner window appears to have original wavy glass. Three additional wood frame double-hung sash windows with one-over-one lites can be found on this

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side elevation as well; all appear to be newer/replacements. Located within a gabled dormer on the second floor and is a wood framed casement window with one-over-one lites. The dormer and the window within it is a later installation.

The rear (north) elevation features a reconstructed former rear porch that is rectangular in plan, 1.5 stories in height, has a hipped roof clad in asphalt shingles, and horizontal wood siding matching the front and sides of the house. Fenestration on this rear elevation include three wood frame double-hung sash windows with one-over-one lites, and one solid wood paneled door; all are newer/replacements. The rear door leads out to a small wood frame deck with wood railings and wood stairs which provide direct access to the rear yard. Located within a hipped dormer on the second floor of this rear elevation is a wood framed casement window with one-over-one lites. This dormer, and the one on the east side elevation, are later installations.

The east (side) elevation features a prominent side-facing gable which is nearly identical in shape and materials as the one found on the front elevation, with a curved or 'belled' shape clad in octagon shingles and a circular 'porthole' window with an awning-style operation. Centered beneath the prominent gable is large, wood frame window with double-hung sashes and one-over-one lites, flanked by two smaller wood frame windows with doublehung sashes and fixed transoms above. Each transom window consist of fixed, textured glazing with a purple hue that are partially covered by decorative fan motifs rendered in carved wood. Other fenestration on this side elevation consist of a single wood frame fixed-sash window with four-over-four lites which are part of the reconstructed sunroom/side porch, a wood framed side door with two-over-four panes which provides access from the sunroom/side porch to the side yard, and a pair of wood frame double-hung windows with three-over-one lights. At the basement level are three wood framed windows with an awning sashes and a single panes of glass. All of the fenestration on this side elevation save for those found beneath the side gable are newer or replacement units. This east (side) elevation also contains a newer wood frame set of stairs, railing, and decking that provides access from the side door to the side yard below.

Located in the northeast corner of the property is a two-car garage with a square in plan and a shallow-angle front gable roof clad in asphalt shingles with enclosed eaves. Constructed of wood framing over a concrete slab foundation, the garage features horizontal wood siding and wood trim similar to that found on the house. Two wood frame sliding doors hang from metal tracks on the primary, south-facing elevation of the garage. A fixed, circular 'porthole' window is centered near the peak of the gable end of the garage. Other fenestration located on the east elevation of the garage consist of two vinyl frame double-hung windows with 'snap-on' grids and a

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single vinyl frame pedestrian door; all of which appear to be newer/replacement units. The garage itself is

Decorative landscaping is primarily found on the front (south) side of the house, consisting of two ornamental Japanese maples and a series of rose bushes and other flowering shrubs set in a bed of redwood bark. A concrete path leads straight from a gate in the picket wood fence to the front steps. This path intersects with a curvilinear concrete path that provides access to the east side yard. A low picket fence encloses the front yard and runs along the sidewalk parallel to Lexington Street. A redwood fence with a gate can be found on the east side of the yard. Other landscaping can be found along the east side yard, consisting of two mature fruit trees, rose bushes set in redwood bark along the east side redwood fence, and a concrete and flagstone patio. All of the front and east (side) yard landscape and hardscape materials appear to have been installed in the last year. The rear yard consists primarily of disturbed earth and weeds. A small, modern wood framed storage shed with a shed roof is located in the extreme northeast corner of the rear yard. The west side yard consists primarily of a graveled driveway with concrete curbs that lead to from the front sidewalk to the garage at the rear of the property. A newer redwood fence with a wide, vehicular doubledoor entry gate is attached to the west (side) elevation of the house and provides separation from the front and rear yards.

Visible Alterations

Visible alterations as well as those identified through building permit research are primarily restricted to the building's fenestration rather than its plan or materials. Newer replacement windows include all basement-level awning sash windows, the wood frame four-over-four lite windows on the south and east corner of the building in the location of the reconstructed sunroom/side porch, two windows on the side (east) elevation, and all fenestration on the rear (north) elevation. The dormers on the west and north elevations of the roof are newer installations, as are the casement windows contained within them. The entry to the basement-level apartment on the west (side) elevation, including the gable roof, brick steps, and entry door, are all newer construction. The former rear porch has been enclosed reconstructed in the same form and dimensions as the original rear porch, and a newer rear deck and staircase is attached to the north elevation of the (former) rear porch. The two-car garage in the northwest corner of the lot is a later (1955) construction with more recent alterations to its siding, roofing, and fenestration.

Queen Anne Cottage Style of Architecture

According to Virginia McAlester's Field Guide to American Houses (2013), the Queen Anne style (1880-1910), was a transitional style that linked the

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preceding Stick (1860-1890) with the subsequent Colonial Revival, which supplanted it after about 1910. Larger two-and-three-story versions were simply referred to as 'Queen Anne,' while smaller one and one-and-a-halfstory houses were called 'Queen Anne Cottages.' The style owed its popularity to the public's enthusiastic embrace and the pattern books and mail order house plans that allowed them to build a Queen Anne House. The style started in the east, where it was more restrained, then moved southward and westward, increasing its dominance with California having some of the most elaborate examples. The Queen Anne style uses wall surfaces as primary decorative elements. In order to avoid plain flat walls this style used bays, towers, overhangs and wall projections and to avoid flat walt surfaces, differing wall textures were the hallmark of Queen Anne houses. These include the use patterned shingles, spindlework, cutwork and Eastlake decorative detailing. One of the characteristics of the Queen Anne style's subtype is identified as "Hipped Roof With Lower Cross Gables" or cross-gabled hipped roof. The roof planes are further distinguished by molded cornices, gable returns, and moderately projecting boxed eaves. 1

Neighborhood Description

The subject property is located in the 'Old Quad' neighborhood of central Santa Clara, consisting exclusively of one- and two-story, single-family residences built between approximately 1890 and 1938, and designed in a wide variety of architectural styles that were popular during that period. Seven of these residences, including the subject building, are listed on the Santa Clara Historic Resources Inventory (HRI), and four have Mills Act (MA) contracts on them. Figures 12 through 18 on the following pages show the residences on the north and south sides of Lexington Street between Madison and Jefferson Streets.

¹ Virginia McAlester, *Field Guide to American Houses*, updated 2013.

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Figure 12. 1409 Lexington Street immediately east of subject property. Queen Anne Cottage built 1895 (HRI and MA).



Figure 13. 1451 Lexington Street immediately west of subject property. Craftsman style built c.1915 (HRI and MA).

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Figure 14. 1467 Lexington Street west of subject property. Queen Anne Cottage built 1900 (HRI).



Figure 15. 1491 Lexington Street. Gothic Revival/Italianate built 1880 (HRI and MA)

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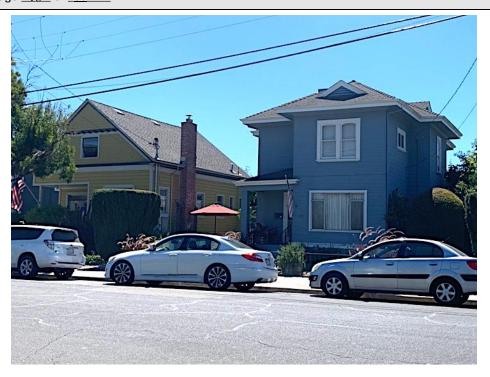


Figure 16. 1464 Lexington Street (left), Vernacular Queen Anne style built 1900 (HRI and MA), and 1490 Lexington Street (right), Vernacular built c.1900



Figure 17. 1458 Lexington Street, (on left), Pioneer style built 1895 (HRI).

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Figure 17. 1420 Lexington Street (left) Bungalow built c. 1938 (MA), and 1438 Lexington Street (right), Altered built 1920.



Figure 18. 1410 Lexington Street, Bungalow built 1937 (MA).

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Continued from B10. Significance, on Page 2

The 1891 Sanborn Fire Insurance Company Map provides a snapshot of development on the subject block at that time (see **Figure 19** on page 21). By this time, the subject block had been divided from two large parcels into six smaller parcels. The parcel upon which the subject building would be constructed near the southeast corner of the block remained undeveloped at this time, while only two dwellings existed near the center of the block on Lexington Street (1467 Lexington), and at the southwest corner of the block (1491 Lexington). A Baptist Church also on the northeast corner of the block, along with various outbuildings and sheds.

As shown on the December 1893 Map of the Town of Santa Clara, drawn by C. E. Moore, the City Surveyor, the subject block had been subdivided from six into 12 parcels, including the subject parcel at 1435 Lexington Street (see **Figure 20** on page 21). By this time the subject lot was owned by E. M. (Ella M.) Adams, who also owned the adjacent lot to the west. Her mother-in-law, Mrs. R. (Ruth) A. Adams, owned the lot immediately west of that at 1451 Lexington Street.

Given the Assessor's construction date of 1892, it appears that the subject property was built one year after the 1891 Sanborn map was published, and one year prior to when the 1893 Map of the Town of Santa Clara was published.

Ella M. (Kifer) Adams was born in California in 1869, married Asahel L. Adams (1862 - 1948) in 1891, and had two children, Irma and Lawrence, both of whom were born in California. Asahel Adams was born in Canada in 1862 and emigrated to the United States in 1886. The 1900 US census identified him as a carpenter, while his wife, Ella was 'keeping house.' Mrs. Ruth A. Adams, was born in 1833 in Canada, emigrated to the United States in 1890, and died in 1906. The 1900 US Census identified Asahel and Ella Adams and their two children, Irma and Lawrence, as residing at 1435 Lexington Street, while their mother/mother-in-law, Ruth A. Adams, along with four boarders, resided next door at 1451 Lexington.

In 1899, the subject property was transferred from Ella Adams to her husband, Asahel Adams.² Given his trade as a carpenter, it is possible, but not conclusive, that Asahel Adams designed and built the subject property in 1892.³

² "E.M Adams to A. L. Adams, Lot 2, Spear Estate," Evening News, December 21, 1899.

³ A review of historic articles in the *San Jose Mercury News* and *Evening News* available at Newsbank.com identified "A.L. Adams'" involvement in about two dozen real estate transactions and building contracts in Santa Clara between approximately 1890 and 1916, including one cottage he built at the corner of Franklin and Jefferson

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By 1901, the Adams family had moved two blocks away to 1417 Franklin Street and rented the subject property to two gentlemen, Thomas N. Austin (physician) and Sherman D. Mann, according to the 1901 Santa Clara directory. The Adams family continued to own the subject property while renting it out through the early years of the 1900s. According to the 1910 US Census, another family was residing at the subject property; John M. Taylor (stickerman, lumber company), his wife, Ella Taylor, and their two teenage daughters.

In 1915 the subject property was sold to Fred McVay who was a cabinetmaker for the Pacific Manufacturing Company. A snapshot of the configuration of the subject lot and block during McVay's tenure is shown in the 1915 Sanborn Fire Insurance Company Map (see **Figure 21** on page 22). McVay resided in the property in 1915, after which he rented it to Nathaniel Anthony Wall in 1917 and 1918.

The property was sold in 1919 to Ida Coyle Kersell, who was the widow of Adam C. Kersell, a Canadian-born 'orchardist' who had died 6 years prior in 1913. Adam Kersell's older brother, James Kersell, and his wife Ida (Beattie) Kersell, had been living a block away at 1059 Madison Street since about 1900, and it appears likely that Ida and Adam Kersell had known about the subject property and may have wanted to move into a similar home near their brother/brother-in-law when one became available for sale. The Kersell couple had three daughters during their marriage, Leslie, Bernice, and Doris, all of whom were born in California. Ida Kersell worked as a public school teacher in Santa Clara for much of her adult life, and owned and occupied the subject property along with her daughters for the next several decades until her death in 1954. A snapshot of the configuration of the subject lot and block during Ida Kersell's tenure in 1950 is shown in Figure 22, Sanborn Fire Insurance Company Map, on page 22. The maps in Figures 21 and 22 indicate that very little had changed on the subject block or lot between 1915 and 1950.

The subject property was sold in 1955 to Anthony (Tony) B. and Patricia Lima. The Lima family lived on Butte Street in Santa Clara while renting out the property to James M. and Lucia Badgett between 1955 and 1956. Tony Lima was born in 1920 in Massachusetts to parents of Portuguese heritage. Both he and Patricia worked at Santa Clara University; he as a janitor and laundryman, and she as a records clerk. They had one daughter, Mary K. Lima, who was born in California in 1949. The family occupied the subject property from 1957 to

streets built in 1909 ("Dr. George W. Fowler and family moved into a cottage recently erected by A.L. Adams on Franklin Street near Jefferson Street," San Jose Mercury News, January 31, 1909).

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1963. In 1955, a permit was granted from the City of Santa Clara to erect a two-car garage in the northwest corner of the property at a cost of \$600.4

In 1964, the subject property was sold to two gentlemen, Joseph M Gagliardi (Vice President of Gagliardi Bros Corporation, an industrial development, real estate, insurance company) and Manuel. E. Parise (salesman for Gagliardi Bros.). These gentlemen lived elsewhere in Santa Clara while renting out the subject property to a variety of tenants over the next several years. Tenants at the subject property in the mid-1960s included Benjamin O. Ramirez, and Robert and Faye Samyoma; Robert Samoya was occupied as a construction worker. In the late 1960s through the early 1970s, tenants who occupied the subject property included John and Pearl Hurtado; John worked as a machinist for FMC. From the mid-1970s to the early 1980s, the property was occupied by Francis M. Payne, Max Kernaghan, and Charles A. Trujillo, whose occupations are unknown. Two electrical permits were pulled during this period, one in 1965 for a change in electrical service, and another in 1978 to install new electric outlets and switches. 5 The subject property was unlisted in Santa Clara directories and therefore presumed unoccupied for about 5 years, from the mid-1980s to the early 1990s.

In 1991, the subject property was sold to Ramon C. and Antonia R. Lopez. Ramon Lopez was born in Mexico in 1899, arrived in the United States in 1915, and married Antonia Robles in 1930. The couple had two children during their marriage; Roy and Mary Lopez, both of whom were born in California. Ramon initially worked as a farm hand in Santa Clara County, but was retired by the time he and Antonia purchased the subject property. Ramon Lopez died in 1992 at the age of 92, after which Antonia occupied the subject property with Francisco Trujillo until her death in 2005. Prior to the time of her death, however, the property had been transferred to the Ramon C. and Antonia R. Lopez Trust (Roy Lopez and Mary J. [Lopez] Nieto, trustees).

The subject property was sold in 2006 to Joseph & Linh Stefan, who owned and occupied the residence along with their son, Vincent, for the next 17 years. During their tenure, the Stefans made a number of physical alterations to the property between 2006 and 2013. In 2006, a permit was granted to remove interior plaster and fixtures. In 2007, a permit was granted to remodel the interior including demolition and construction of walls, reconfigure the closet, pantry, kitchen and bath, install a gas fireplace, and rewire the entire house, while reinforcing the ceiling and floor joists. And in 2008, a

⁴ City of Santa Clara Building Permit #BLD1955-9150, "Erect Garage, Group J, \$600," February 14, 1955. Available at the City of Santa Clara Permit Portal. This is the earliest permit available for the subject property.

⁵ City of Santa Clara Building Permit #BLD2006-11861, "Demo & Add (N) Walls, etc.," December 26, 2006, #BLD2008-16012, "975 St Ft Residential Addition to Convert (E) Basement to (N) Habitable Space, etc.," January 31, 2008, and #BLD2013, "835 Sq Ft Residential Addition to Convert Attic to (N) Office, Rec Room & Two Bedrooms, etc.," July 1, 2013. Available at the City of Santa Clara Permitting Online Portal.

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permit was granted to convert the basement to 975 square feet of habitable space including a family room, bath, and utilities. This is likely when the gable roof covering a revised basement-level entry was installed on the west elevation. Finally in 2013, a permit was granted to convert the attic into an office, recreation room, and two bedrooms. This permit also granted demolition and reconstruction of the deteriorated sun room on the west elevation in the same size and profile as the original, and installing new sliding double doors to the garage, as well as plumbing and electrical service to that building. 6 A review of building plans and associated permit information available for this latter remodeling effort also indicated that the following exterior changes were also made; the replacement of the Palladian-style window in the primary south (front) gable end where the window sash had been missing, construction of two new dormers on the roof; one on the west side and one on the north (rear) elevation, including reroofing the entire roof with asphalt shingles, the removal of a dilapidated and non-original rear addition and reconstruction/remodeling of the former rear porch, including new siding and installation of two new windows and a door on the rear elevation, and construction of the rear deck and stairs. 7

In 2020, the lower level was rented as a separate residential unit to Jill Hirsch and Jake Fontaine, and in mid-2023, the landscaping on the front and sides of the property were installed, including a new gravel driveway on the west (side) of the property.⁸

In 2023, the subject property was sold to the current owner-occupants, Jonathan J. Ye and Jessica E Chung.

⁶ City of Santa Clara Building Permit #BLD1965-21644, "Change Service," July 21, 1965, and #BLD1978-41378 "2 outlets, 2 switches, 20 receptacles, etc." December 26, 1978. Available at the City of Santa Clara Permitting Online Portal.

⁷ Joseph, Linh, & Vincent Stefan, *Project Scope Addendum: Sunroom & Attic Remodel, 1435 Lexington St, Parcel #269-26-023*, May 5, 2013.

⁸ Building plans and associated information to the researcher by the current owners of the property that were included as part of the disclosure package for its sale in late 2023.

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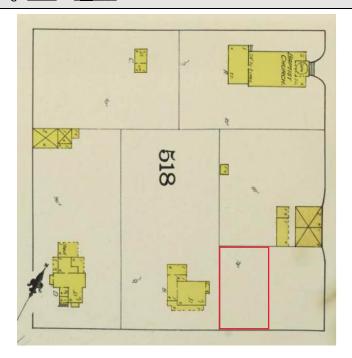


Figure 19. Sanborn Fire Insurance Company Map, 1891. Subject property highlighted.

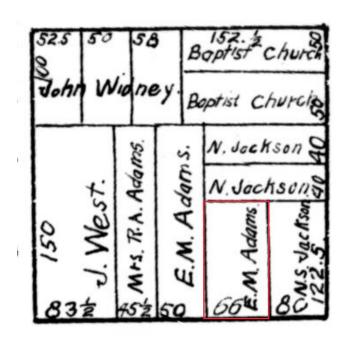


Figure 20. C.E. Moore, Surveyor, Map of the Town of Santa Clara, 1893. Subject property highlighted.

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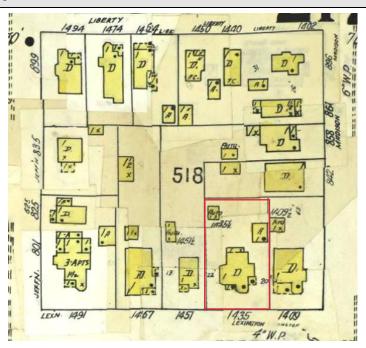


Figure 21. Sanborn Fire Insurance Company Map, 1915. Subject property highlighted.

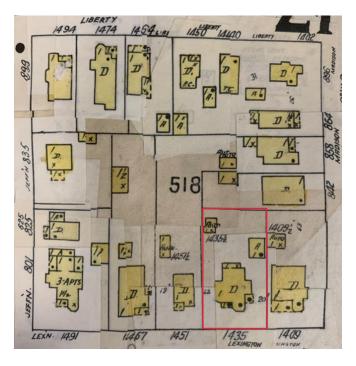


Figure 22. Sanborn Fire Insurance Company Map, 1950. Subject property highlighted.

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Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

Age Requirement.

Constructed in 1892, the subject property at 1435 Lexington Street is over 50 years old and thus meets the age requirement.

Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

The subject property at 1435 Lexington Street has a high degree of architectural integrity which has only been slightly reduced by the changes which were made between 2006 and 2013, including the installation of two new roof dormers, the gable roof covering the west side basement-level entry, the reconstructed rear porch, and the reconstructed sunroom on the southwest corner of the building. Most of these changes are not visible or only minimally visible from the front façade of the building, and would be considered compatible alterations when they were completed. Overall, the most significant of the visual and character defining features of this Queen Anne cottage have been preserved and retained. The property retains its original location, and the property is well maintained. The historical use of the building is unchanged and it remains a single-family home, although now with a separate residential unit at the basement level. The subject property is located within a historic residential setting in the area of Santa Clara known as the "Old Quad," and the immediate streetscape of the block retains qualities that reflect the period in which the house was constructed. The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).

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National Register of Historic Places Criteria

Research revealed no events associated with the subject property at 1435 Lexington Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). The building has had multiple owners and occupants over the 132 years of its existence, and none appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the subject property at 1435 Lexington Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). Although slightly altered, all of the character-defining features of its original 1892 construction as a Queen Anne cottage architectural style remain, including its rectangular plan and hipped roof with lower cross gables; an angled front bay; its spindlework detailing including the octagon shingles used to sheathe the front and side gable faces; cut-away windows with carved corner brackets; a frieze consisting of Eastlake decorative blocks across the offset partial width front porch and the turned posts which support the porch roof. As such, the subject property at 1435 Lexington Street is considered to "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a significant and distinguishable entity whose components may lack individual distinction." Therefore, it appears that the building may be eligible for the National Register of Historic Places under Criterion C.

California Register of Historic Resources Criteria

The Criteria for listing in the California Register of Historical Places are similar to, and consistent with, with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events), California Register Criterion 2 is the equivalent of National Register Criterion B (persons), and California Register Criterion 3 is the equivalent of National Register Criterion C (architecture). Similar to the evaluation for the National Register criteria described above, research revealed no historic events associated with the subject property, or associations with the lives of persons who substantially contributed to national, state, or local history. Persons who owned or occupied the subject property for the first 65 years of its existence came from a variety of backgrounds and held a wide variety of occupations, including a carpenter/builder, a physician, cabinetmaker, a lumberman, and a public school teacher. Later owners and occupants in the last 65 years were also involved in a variety of occupations, such as sanitation and laundry, a clerk, a construction worker,

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and a machinist, or were retirees. For these reasons, the subject property does not appear to be eligible for the California Register on a local level based on Criterion 1 and Criterion 2.

Criterion 3 addresses the distinctive characteristics of a type, period, region, or method of construction. The subject residence was originally constructed in 1892 as a Queen Anne cottage in the subtype identified as "Hipped Roof With Lower Cross Gables" and Decorative Detailing subtype identified as "Spindlework" of the Queen Anne architectural style. The Queen Anne architectural style, which became a dominant style in California, is associated with the period from the mid-1880s thru the first decade of 1900s. The property is an excellent example of a "Queen Anne cottage" and is characterized by being a one-story home with a hipped roof with lower cross gables, front facing full-height angled bay, cut-away windows with carved brackets and pendants, spindlework detailing, partial-width front porch which project from the main body of the house and features a decorative blocks frieze and turned columns, a rectangular plan, horizontal wood cladding, and double-hung windows with wide flat trim. Although the property has been slightly altered, the most significant of the character-defining features of its original construction remain. Therefore, it the property appears to achieve the level of significance necessary to be individually eligible for the California Register under Criterion 3.

City of Santa Clara Criteria for Local Significance

City of Santa Clara adopted Criteria for Local Significance in 2004. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible to be a "Qualified Historic Resource."

Criteria for Historical or Cultural Significance:

To be historically or culturally significant a property must meet at least one of the following Criteria for Local Significance:

5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities.

Built in 1892 in Santa Clara's "Old Quad" neighborhood and on a residential block that primarily developed in the late 19th Century, the subject property at 1435 Lexington Street was also near the San Jose and Santa Clara Trolley line which ran along Franklin Street which provided easy access to residents whose employment was in Santa Clara's "downtown"

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Property Name: <u>1435 Lexington Street</u>

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business district. For these reasons the building is directly associated with the broad patterns of local area history including development and settlement patterns, and along early transportation routes.

The subject property meets Criteria 5 for Historical or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria 1 through 4 for Historical or Cultural Significance.

Criteria for Architectural Significance:

To-be architecturally significant a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group

The Queen Anne architectural style was thought to be introduced to the Bay Area in 1883 when the issue of "California Architect and Building News" was published. This new style marked a strong departure from the vertical Italianate and Stick- style houses that had been constructed all over the region. The Queen Anne house is a mixture of asymmetrical shapes, volumes, and textures with a picturesque composition of merging rooflines, with distinctively decorative detailing that avoids flat, plain, walls. Constructed in 1892 and trimmed with spindlework, cut-work, Eastlake decoration and windows with cut-away corners and pendants, the residence at 1435 Lexington Street is an excellent example of the small one-story Queen Anne dwelling, commonly called a Queen Anne cottage.

2. The property is identified with a particular architect, master builder, or craftsman.

The subject property at 1435 Lexington Street was designed and built in 1892 by an architect or builder that are unknown. Although possible, but not conclusive, the property may have been designed and built by Asahel L. Adams, the husband of the first owner of the house, Ella M. [Kifer] Adams. Adams was a carpenter/house builder by trade, and research revealed that "A.L. Adams" was involved in about two dozen real estate transactions and building contracts in Santa Clara between approximately 1890 and 1916, including one cottage he built at the corner of Franklin and Jefferson streets in 1909. Adams would have been considered a relatively small-scale designer/builder in Santa Clara, rather than a well-known master builder or craftsman. For these reasons, the subject property is not known to be identified with a particular architect, master builder, or craftsman.

7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

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The Queen Anne architectural style used several devices to avoid a smooth wall appearance, including patterned shingles and elaborate ornamentation using variety of millwork made possible by the development of machine lathes. The Queen Anne cottage at 1435 Lexington Street is a more elaborate example of this than most of Santa Clara's Queen Anne cottages, with its angled front bay with cut-away windows, the front and side gable walls that are slightly curved or 'belled' at the bottom, and other angled walls in the main body of the house. While most of the Queen Anne homes in Santa Clara applied fish scale shingles, this home displays the use of octagon shingles, which are more rarely found. It also displays a prodigious amount of spindlework, Eastlake, and cutwork ornamentation along with elaborate carved moldings which make this home a notable example of the style with special aesthetic attributes.

The subject property meets Criterion 1 and 7 for Architectural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 3, 4, 5, or 6.

Criteria for Geographic Significance:

To be geographically significant a property must meet at least one of the following criteria:

No.1. A neighborhood, group or unique area directly associated with broad patterns of local area history.

The subject property is located in the area of the "Old Quad" that developed into a relatively well-to-do residential area in the late 19th Century primarily due to its close proximity to Santa Clara's "Downtown" and easy access to early transportation links such as the San Jose and Santa Clara Trolley line which ran down Franklin Street. For these reasons, the residence at 1435 Lexington Street is one of those residential properties that reflects the neighborhood's role in the broad patterns of Santa Clara's early development.

No. 2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

Built in 1892 as a Queen Anne cottage, the subject property at 1435 Lexington Street remains as an excellent example of the 1 and 1 $\frac{1}{2}$ storied Queen Anne architectural style homes built in this Santa Clara neighborhood in the late 19th Century and is important to the integrity of the historic area in which it is located. By the Turn of the $20^{\rm th}$ Century, other Queen Anne homes had been constructed on the subject property block, including the adjacent house to the east at 1409 Lexington Street, a house to the west at 1467 Lexington Street, and at least four houses on the 1000 Madison Street block, all of

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which account for a continuity of the building styles in the surrounding neighborhood. Many of these homes on Lexington and Madison streets are on the City of Santa Clara's list of Architecturally and/or Historically Significant Properties. The subject property is compatible with its adjacent buildings, as well as those across Lexington Street, which are all 1-, 1 ½,- and 2-story, single-family residences built between approximately 1890 and 1938, and designed in a variety of architectural styles that were popular during that period.

The subject property meets Criterion 1 and 2 for Geographic Significance, of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Geographic Significance 3 or 4.

Criteria for Archaeological Significance:

Although an evaluation of archaeological significance is beyond the scope of this examination, research revealed no known or unknown prehistoric or historic archaeological resources in the vicinity of the subject property. As such, it would not be archaeologically significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

Conclusions and Recommendations

The subject property at 1435 Lexington Street is currently on The City of Santa Clara Architecturally or Historically Significant Properties list. In this update to the Historic Resources Inventory for the City of Santa Clara, prepared on of the October 28, 1980, the property at 1435 Lexington Street is an excellent example of the Queen Anne cottage subtype of the Queen Anne architectural style and has undergone only minimal alteration since the time of its designation as a Historically Significant Property for the City of Santa Clara, thereby retaining sufficient integrity to qualify as a historic property. It continues to be eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

References

- City of Santa Clara Planning Department, City of Santa Clara Historic Resources Inventory, California Department of Parks and Recreation Primary Record Form, 1435 Lexington Street, October 28, 1980.
- City of Santa Clara Building Department, Building Permit History, 1435

 Lexington Street, Accessed on the Permitting Online Portal.

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Lorie Garcia, Beyond Buildings, California Department of Parks and Recreation Primary Record Form, 1059 Madison Street, January, 2023.

Haines Criss-Cross Directories, City of Santa Clara, 1970 - 2017.

Polk and Husted City Directories, City of Santa Clara, 1890 - 1968.

Plat Map of Santa Clara, drawn by J.J. Bowen, 1866.

Map of the Town of Santa Clara, drawn by C. E. Moore, 1893.

Sanborn Fire Insurance Maps, 1891, 1915, and 1950.

Santa Clara County Assessor's Records, APN# 269-26-023.

Virginia McAlester, Field Guide to American Houses, updated 2013.

US Census, Santa Clara Township, 1900, (Adams), 1910 (Taylor), 1920 (Kersell), 1930 (Kersell), 1940 (Kersell), and 1950 (Kersell). Accessed online at Ancestry.com

Newspaper Articles

"E.M. Adams to A. L. Adams, Lot 2, Spear Estate," *Evening News*, December 21, 1899.

"Building News - A contract for building a cottage at the County Almshouse has been awarded to A.L. Adams," Evening News, February 6, 1891.

"Building News - A builder's contract was filed today by the terms of which A.L. Adams is to build to J.B. Lamkin a cottage on the east side of Ninth, between William and Reed streets to cost \$1,657," Evening News, July 15, 1896.

"Died - ADAMS - In Santa Clara, March 31, 1906, Mrs. Ruth A. Adams, beloved mother of Mrs. R.H. Hooper, Belvedere, Cal., Mrs. D.R. Elliot, St. Paul, Minn, and A.L. Adams, of Santa Clara, a native of Canada, aged 72 years..." Mercury News, April 1, 1906.

"Dr. George W. Fowler and family moved into a cottage recently erected by A.L. Adams on Franklin Street near Jefferson Street," *Mercury News*, January 31, 1909.

"New Buildings - A two story frame house will be erected in the near future for John Brennan at the corner of Fourth and William streets. A. L. Adams is the contractor and the contract price is \$3300. Wolfe and McKenzie made the plans," Evening News, November 15, 1902.

State of California Natural Resources Agency
DEPARTMENT OF PARKS AND RECREATION

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"Died - In Santa Clara, March 31, 1906, Mrs. Ruth A. Adams, beloved mother of Mrs. R. H. Hooper, Belvedere, Cal., Mrs. D. R. Elliott, St. Paul, Minn, and A. L. Adams, of Santa Clara, a native of Canada, age 72...funeral from the residence of Mrs. J. A. Brooks, 766 Madison St..." Mercury News, April 1, 1906.

"Licensed to Wed - Adam C. Kersell, a native of Canada, resident of San Felipe, aged 38, and Ida M. Coyle, a native of California, resident of San Jose, aged 23." Mercury News, April 9, 1893.

"A. C. Kersell, Orchardist - Santa Clara, Jan. 1. - A. C. Kersell, who for 20 years was a prominent orchardist of Evergreen, this county, died at his home here tonight. A year ago he was stricken with paralysis, which was the direct cause of his death. He was a native of Canada, and had lived in California for 40 years." San Francisco Call, January 2, 1913.

"Rites Set Today for A.L. Adams," Mercury News, September 27, 1948.

Secretary of Interior's Standards for Rehabilitation

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

September 12, 2024

Historical & Landmarks Commission

City of Santa Clara

Re: Statement of Justification for 1435 Lexington St.

We began our journey of purchasing our first home in early 2020. Having grown up in the Bay Area, I knew the South Bay would be a convenient location for commuting to our jobs, so we set out to find a modest home with a yard big enough to entertain our two dogs. We eventually purchased a charming home in Northside San Jose that not only met the "dog requirement" but also had a certain presence as a craftsman style home that sat above street level. The exterior of the home gave it so much character, but, over the years, prior owners had removed most of the original features in the interior.

When we realized we'd outgrown our first home, we began the search for our next home. My wife has always loved historic homes and, having realized with our first home that this was something we both appreciated, one of the main features we were looking for was a home with character. We were also looking for a home surrounded by a close community; somewhere we could see ourselves living for at least the next decade and potentially raising a family.

When we saw the listing for 1435 Lexington, we fell in love immediately. The running joke (which is actually true) is that we submitted our offer before both of us were even able to see the house in person; only my wife was able to make the open house. That was enough and the rest, as they say, was history. We loved the large bay windows, the carved and gingerbread trim, and the presence the home has from the street. We understand that most of the interior has been altered from the original given that the house was in a dilapidated state when the prior owner bought the home, but we appreciate the period details like the high ceilings, beautiful fireplace, ceiling medallions and crown molding. We also value the fact that the house is in a historic neighborhood surrounded by other beautifully restored and maintained homes.

In the coming years, we intend to continue beautifying and upgrading our new home and making it our own. Moreover, we understand that, when we moved into 1435 Lexington and the Old Quad, we didn't just move into our future home; we became members of a community and neighborhood, the characteristics of which can't be maintained by one person or household alone. It takes a conscious effort from all stakeholders to do so, and submitting our application for a Mills Act Contract is our signal of our intent to do our part.

10 YEAR PLAN 1435 Lexington St., Santa Clara, CA 95050

Given the extensive restoration projects that were recently completed, the subject property does not require significant alterations and already possesses the historical qualities that represent the "Old Quad." We plan to maintain the property so that it continues to embody the "look and feel" of the neighborhood and anticipate performing the following maintenance projects:

YEAR RANGE	ITEM	Description	Estimated Cost
2025 TO 2027	Strip paint from front door; restore/refinish front door.	The front door is made of solid wood. Restore the front door (i.e., remove paint) and stain the original wood grain to accentuate the door's features.	\$2,000
	Exterior lighting enhancements.	The backyard and front yard lack lighting around high traffic areas. We would also like to replace the front porch light from an aesthetic perspective. Install lighting fixtures to illuminate and enhance the home, walkways, and other landscaping details to highlight the architectural and design features of the property.	\$3,000
	Enhance front and back yard landscaping; put down sod for backyard lawn.	Install drought-tolerant sod throughout the backyard. Plant environmentally-friendly flowers, shrubbery, and other plants throughout both yards. Repair drip system for both yards as water conservation measure.	\$17,000
	Inspect for pests/termites; repair any dry rot and other significant deficiencies.	Engage property inspector to survey property for termites and other pests. Remediate significant issues identified in the inspection report requiring immediate attention.	TBD

	1		
2028 TO 2030	Repair pulley systems on first floor windows.	Several street-facing windows on the first floor have frayed ropes for the pulley system that opens/closes the windows. Replace ropes to repair pulley system for applicable windows.	\$10,000
	Repaint the exterior of house.	The home was painted 5+ years ago and certain areas of the exterior panelling already show signs of deterioration. Repaint the panels, trim pieces, and other architectural features (such as the spindlework, decorative block frieze, etc.) to make these features more vibrant and to improve the durability of the home's exterior.	\$18,000
	Install AC unit.	Summers in the Bay Area are becoming increasingly hotter and with longer periods of extremely high temperatures. Install central AC throughout home to maintain indoor temperature in an energy-efficient manner.	\$10,000
2031 TO 2033	Driveway improvements.	The driveway is currently composed of small pieces of underlying granite rock and a top layer of gold fines. The layer-by-layer composition of the driveway has eroded through the years and its messiness is a distraction from the overall "look and feel" of the home. Improve driveway to make it a more well-defined, "cleaner" feature and more conducive for water drainage and a (i.e., pavement, cement, pavers, etc.).	\$15,000
	Improvements to backyard wood deck.	The wood deck is a central feature of the backyard, but the paint is showing signs of wear and tear.	\$3,000

		The contemplated improvements include repainting the wood deck to compliment the exterior paint, closing off the area underneath the porch to prevent rodents and other animals from being a nuisance, and adding another ingress/egress point on the deck.	
	Remove second floor carpeting; install wood flooring.	The second floor of the property currently has carpeting installed in the master bedroom, office, and guest bedroom. However, the flooring on the entirety of the first floor (kitchen, guest bedroom, office, living room, dining room) is already wood. Remove all carpeting on second floor and install wood flooring as a way to increase congruity of features across first and second floors.	\$15,000
2034 TO 2035	Replace/repair roofing.	The current shingle roofing will likely be needing repair during these years. Replace/repair current roof with new shingles that will compliment exterior paint and improve heat circulation throughout home.	\$22,000
	Inspect for pests/termites; repair any dry rot and other significant deficiencies.	Engage property inspector to survey property for termites and other pests. Remediate significant issues identified in the inspection report requiring immediate attention.	TBD
	Interior and exterior improvements to garage.	The garage is currently unfinished and used primarily for outdoor storage space. Improve garage by turning it into a functioning workspace for hobbies and entertainment. This includes installing drywall and insulation,	\$30,000

	renovating garage bathroom, and	
	adding flooring.	

We also expect to perform regular maintenance projects as needs arise, including:

- Repairs to plumbing/electrical systems;
- Landscaping front yard and backyard;
- Gutter cleaning and repairs; and
- HVAC cleaning and repairs.

RECORD WITHOUT FEE PURSUANT TO GOV'T CODE SECTION 6103

Recording Requested by:

Office of the City Attorney City of Santa Clara, California

When Recorded, Mail to:

Office of the City Clerk City of Santa Clara 1500 Warburton Avenue Santa Clara, CA 95050

Form per Gov't Code Section 27361.6

[SPACE ABOVE THIS LINE FOR RECORDER'S USE]

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Agreement, (herein, "Agreement"), is made and entered into this ____ day of _____, 2025, ("Effective Date"), by and between Jonathan J. Ye and Jessica E. Chung, owners of certain real property located at 1435 Lexington Street ("OWNERS") and the City of Santa Clara, California, a chartered California municipal corporation with its primary business address at 1500 Warburton Avenue, Santa Clara, California 95050 ("CITY"). CITY and OWNERS may be referred to herein individually as a "Party" or collectively as the "Parties" or the "Parties to this Agreement."

Recitals. A.

- California Government Code Section 50280, et seq. authorizes the CITY to enter into a contract with the OWNERS of qualified Historical Property to provide for the use, maintenance, and restoration of such Historical Property so as to retain its characteristics as property of historical significance.
- OWNERS possesses fee title in and to that certain real property, together with associated structures and improvements thereon, shown on the 2021 Santa Clara County Property Tax Rolls as Assessors' Parcel Number 269-26-023, and generally located at the street address 1435 Lexington Street, in the City of Santa Clara ("Historic Property"). A legal description of the Historic Property is attached hereto as "Legal Description," marked as "Exhibit "A," and incorporated herein by reference.
- (3) The Historic Property is on the City of Santa Clara Architecturally or Historically Significant Properties list. OWNERS submitted a Mills Act Proposal to City on September 24, 2024. The Proposal included a Primary Record from the State of California's Department of Parks and Recreation. A true and correct copy of the Proposal is attached to this Agreement as "Exhibit B".
- CITY and OWNERS, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property and to qualify the Historic Property for an assessment of valuation pursuant to Section 439.2 of the California Revenue and Taxation Code.

Historic Property Preservation Agreement/1435 Lexington Street Typed: 12/06/2024

В. Agreement.

NOW, THEREFORE, CITY and OWNERS, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

Effective Date and Term of Agreement. The term of this Agreement shall commence on the effective date of this Agreement and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such term will automatically be extended as provided in paragraph 2, below.

(2) Renewal.

- Each year on the anniversary of the effective date of this Agreement, ("renewal date"), one (1) year shall automatically be added to the term of this Agreement unless notice of nonrenewal is mailed as provided herein.
- If either the OWNERS or CITY desires in any year not to renew the Agreement, OWNERS or CITY shall serve written notice of nonrenewal of the Agreement. Unless such notice is served by OWNERS to CITY at least ninety (90) days prior to the annual renewal date, or served by CITY to OWNERS at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the balance of the remaining term of the Agreement as provided herein.
- OWNERS may make a written protest of a nonrenewal notice issued by CITY. CITY may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to OWNERS of nonrenewal. If either CITY or OWNERS serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, from either original execution date or the last renewal date of the Agreement, whichever is applicable.
- Standards for Historical Property. During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements, and restrictions:
- OWNERS shall preserve and maintain the characteristics of historical significance of the Historic Property. "The Secretary of the Interior's Standards for Rehabilitation," marked as "Exhibit C" to this agreement, and incorporated herein by this reference, contains a list of those minimum standards and conditions for maintenance, use, and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.
- (b) OWNERS shall, when necessary or as determined by the Director of Planning and Inspection, restore and rehabilitate the property to conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, the United States Secretary of the Interior Standards for Rehabilitation and the California Historical Building Code and in accordance with the attached schedule of potential home improvements, drafted by the OWNERS and approved by the City Council, attached hereto as "The Description of the Preservation and Restoration Efforts," marked as "Exhibit D" to this agreement, and incorporated herein by this reference.

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Historic Property Preservation Agreement/1435 Lexington Street Typed: 12/06/2024

(c) OWNERS shall allow, and CITY requires, that after five (5) years, and every five (5) years thereafter, an inspection of the property's interior and exterior shall be conducted by a party appointed by CITY, to determine OWNERS' continued compliance with the terms of this Agreement. OWNERS acknowledge that the required inspections of the interior and exterior of the property were conducted prior to the effective date of this Agreement.

(4) <u>Provision for Information</u>.

- (a) OWNERS hereby agree to furnish CITY with any and all information requested by the CITY to determine compliance with the terms and provisions of this Agreement.
- (b) It shall be the duty of the OWNERS to keep and preserve, for the term of the Agreement, all records as may be necessary to determine the eligibility of the property involved, and the OWNERS compliance with the terms and provisions of this Agreement, including, but not limited to blueprints, permits, historical and/or architectural review approvals, and schedules of potential home improvements drafted by the OWNERS and approved by the City Council.

(5) <u>Cancellation</u>.

- (a) CITY, following a duly noticed public hearing as set forth in California Government Code Section 50280, et seq., shall cancel this Agreement or bring an action in court to enforce this Agreement if it determines any one of the following:
 - (i) the OWNERS breached any of the terms or conditions of this Agreement; or
 - (ii) the OWNERS have allowed the property to deteriorate to the point that it no longer meets standards for a qualified historic property.
 - (b) CITY may also cancel this Agreement if it determines that:
 - (i) the OWNERS have allowed the property to deteriorate to the point that it no longer meets building standards of the City Code and the codes it incorporates by reference, including, but not limited to, the Uniform Housing Code, the California Historical Building Code, the California Fire Code, and the Uniform Code for the Abatement of Dangerous Buildings or;
 - (ii) the OWNERS have not complied with any other local, State, or federal laws and regulations.
 - (iii) the OWNERS have failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of this Agreement.
- (c) In the event of cancellation, OWNERS shall pay those cancellation fees set forth in California Government Code Section 50280, et seq. As an alternative to cancellation, OWNERS may bring an action in court to enforce the Agreement.

(6) No Waiver of Breach.

(a) No waiver by CITY of any breach under this Agreement shall be deemed to be a waiver of any other subsequent breach. CITY does not waive any claim of breach by Historic Property Preservation Agreement/1435 Lexington Street

OWNERS if CITY does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for under the terms of this Agreement or in the City's laws and regulations are available to the City.

(7) <u>Mediation</u>.

- (a) Any controversies between OWNERS and CITY regarding the construction or application of this Agreement, and claim arising out of this contract or its breach, shall be submitted to mediation upon the written request of one party after the service of that request on the other party.
- (b) If a dispute arises under this contract, either party may demand mediation by filing a written demand with the other party.
- (c) The parties may agree on one mediator. If they cannot agree on one mediator, there shall be three: one named in writing by each of the parties within five days after demand for mediation is given, and a third chosen by the two appointed. Should either party refuse or neglect to join in the appointment of the mediator(s) or to furnish the mediator(s) with any papers or information demanded, the mediator(s) may proceed ex parte.
- (d) A hearing on the matter to be arbitrated shall take place before the mediator(s) in the city of Santa Clara, County of Santa Clara, State of California, at the time and place selected by the mediator(s). The mediator(s) shall select the time and place promptly and shall give party written notice of the time and place at least fifteen (15) days before the date selected. At the hearing, any relevant evidence may be presented by either party, and the formal rules of evidence applicable to judicial proceedings shall not govern. Evidence may be admitted or excluded in the sole discretion of the mediator(s). The mediator(s) shall hear and determine the matter and shall execute and acknowledge the award in writing and cause a copy of the writing to be delivered to each of the parties.
- (e) The submission of a dispute to the mediator(s) and the rendering of a decision by the mediator(s) shall be a condition precedent to any right of legal action on the dispute. A judgment confirming the award may be given by any Superior Court having jurisdiction, or that Court may vacate, modify, or correct the award in accordance with the prevailing provisions of the California Mediation Act.
 - (f) Each party shall bear their own cost(s) of mediation.

(8) Binding Effect of Agreement.

(a) The OWNERS hereby subjects the Historic Property described in Exhibit "A" hereto to the covenants, reservations, and restrictions as set forth in this Agreement. CITY and OWNERS hereby declare their specific intent that the covenants, reservations, and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the OWNERS successors and assigns in title or interest to the Historic Property. Each and every contract, deed, or other instrument hereinafter executed, covering, encumbering, or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the covenants, reservations, and restrictions expressed in this Agreement, regardless of whether such covenants, reservations, and restrictions are set forth in such contract, deed, or other instrument.

Historic Property Preservation Agreement/1435 Lexington Street

- (b) CITY and OWNERS hereby declare their understanding and intent that the burden of the covenants, reservations, and restrictions set forth herein touch and concern the land in that OWNERS' legal interest in the Historic Property.
- (c) CITY and OWNERS hereby further declare their understanding and intent that the benefit of such covenants, reservations, and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Historic Property for the benefit of the CITY, public (which includes, but is not limited to the benefit to the public street generally located at 1756 Fremont Street), and OWNERS.

(9) Notice.

(a) Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

CITY: City of Santa Clara

Attn: City Clerk

1500 Warburton Avenue Santa Clara, CA 95050

OWNERS: Jonathan J. Ye and Jessica E. Chung

1435 Lexington Street Santa Clara, CA 95050

- (b) Prior to entering a contract for sale of the Historic Property, OWNERS shall give thirty (30) days notice to the CITY and it shall be provided at the address of the respective parties as specified above or at any other address as may be later specified by the parties hereto.
- (10) <u>No Partnership or Joint Enterprise Created</u>. None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns; nor shall such terms, provisions, or conditions cause them to be considered joint ventures or members of any joint enterprise.
- (11) <u>Hold Harmless and Indemnification</u>. To the extent permitted by law, OWNERS agree to protect, defend, hold harmless and indemnify CITY, its City Council, commissions, officers, agents, and employees from and against any claim, injury, liability, loss, cost, and/or expense or damage, however same may be caused, including all costs and reasonable attorney's fees in providing a defense to any claim arising there from for which OWNERS shall become legally liable arising from OWNERS' acts, errors, or omissions with respect to or in any way connected with this Agreement.
- (12) <u>Attorneys' Fees.</u> In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to costs and other relief ordered by the court.
- (13) <u>Restrictive Covenants Binding</u>. All of the agreements, rights, covenants, reservations, and restrictions contained in this Agreement shall be binding upon and shall inure to Historic Property Preservation Agreement/1435 Lexington Street

the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner pursuant to this Agreement.

- (14) <u>Mills Act Historic Property Contract Application Requirements</u>. An application for a Mills Act Historic Property Contract shall be made through the Planning Division and shall include the following:
 - a. a Historic Resources Inventory form;
 - b. the description of the preservation or restoration efforts to be undertaken as referenced in paragraph 3 (b) as Exhibit "D";
 - c. a statement of justification for the Mills Act Historic Property designation and reassessment; and,
 - d. the Mills Act Historic Property Contract filing fee pursuant to paragraph 17.
- (15) <u>Mills Act Historic Property Contract Approval</u>. Based upon the Historical and Landmarks Commission's ("Commission") review of the Mills Act Historic Property Contract criteria and recommendation to Council, and based upon the recommendation and approval by Council, a Mills Act Historic Property Contract may be entered into with OWNERS. The decision of the City Council shall be final and conclusive in the matter.
- (16) <u>Recordation and Notice</u>. No later than twenty (20) days after the parties execute and enter into this Agreement, the CITY shall cause this Agreement to be recorded in the office of the County Recorder of the County of Santa Clara.
- (17) <u>Fees.</u> The Planning Department may collect such Mills Act Historic Property Contract application fee of \$8,735.80 (eight thousand, seven hundred, and thirty-five dollars and eighty cents), or other fees for the administration of this contract as are authorized from time to time by the City Council. Such fees do not exceed the reasonable cost of providing the service for which these fees are charged. OWNERS shall pay the County Recorder's Office recordation fees for recordation of this Mills Act Historic Property Contract and the recordation of the OWNERS updated Historic Resources Inventory form.
- Ordinary Maintenance. Nothing in this contract shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in or on any Historic Property covered by this contract that does not involve a change in design, material, or external appearance thereof, nor does this contract prevent the construction, reconstruction, alteration, restoration, demolition, or removal of any such external architectural feature when the Director of Planning and Inspection determines that such action is required for the public safety due to an unsafe or dangerous condition which cannot be rectified through the use of the California Historical Building Code and when such architectural feature can be replaced according to the Secretary of Interior's Standards.
- (19) <u>California Historical Building Code</u>. The California Historical Building Code ("CHBC") provides alternative building regulations for the rehabilitation, preservation, restoration, or relocation of structures designated as Historic Properties. The CITY's building Historic Property Preservation Agreement/1435 Lexington Street

permit procedure shall be utilized for any Historic Property which is subject to the provisions of this Agreement, except as otherwise provided in this Agreement or the CHBC. Nothing in this Agreement shall be deemed to prevent any fire, building, health, or safety official from enforcing laws, ordinances, rules, regulations, and standards to protect the health, safety, welfare, and property of the OWNERS or occupants of the Historic Property or the public.

Conservation Easements. (20)

- Conservation easements on the facades of the Historical Property may be acquired by the CITY, or on the CITY's behalf, by a nonprofit group designated by the CITY through purchase, donation, or condemnation pursuant to California Civil Code Section 815.
- (b) The OWNERS, occupant, or other person in actual charge of the Historical Property shall keep in good repair all of the exterior portions of the Historic Property, and all interior portions thereof whose maintenance is necessary to prevent deterioration and decay of any exterior architectural feature.
- It shall be the duty of the Director of Planning and Building Inspection to (c) enforce this section.
- **Severability.** If any section, sentence, clause, or phrase of this Agreement is, for any reason, held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, or by subsequent preemptive legislation, such decision shall not affect the validity and enforceability of the remaining provisions or portions of this Agreement. CITY and OWNERS hereby declare that they would have adopted this Agreement, and each section, sentence, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases may be declared invalid or unconstitutional.
- (22)**Integrated Agreement - Totality of Agreement.** This Agreement embodies the agreement between CITY and OWNERS and its terms and conditions. No other understanding, agreements, or conversations, or otherwise, with any officer, agent, or employee of CITY prior to execution of this Agreement shall affect or modify any of the terms or obligations contained in any documents comprising this Agreement. Any such verbal agreement shall be considered as unofficial information and in no way binding upon CITY.
- **Captions.** The captions of the various sections, paragraphs and subparagraphs are for convenience only and shall not be considered or referred to in resolving questions of interpretation.
- Statutes and Law Governing Contract. This Agreement shall be governed and construed in accordance with the statutes and laws of the State of California.
- **Amendments**. This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

Historic Property Preservation Agreement/1435 Lexington Street

IN WITNESS WHEREOF, CITY and OWNERS have executed this Agreement on the day and year first written above.

CITY OF SANTA CLARA, CALIFORNIA, a chartered California municipal corporation

APPROVED AS TO FORM:	
GLEN R. GOOGINS City Attorney	JŌVAN D. GROGAN City Manager City of Santa Clara
	1500 Warburton Avenue Santa Clara, CA 95050

Telephone: (408) 615-2210 Fax: (408) 241-6771

"CITY"

Jonathan J. Ye and Jessica E. Chung **Owners of 1435 Lexington Street**

By: _	
	Jonathan J. Ye & Jessica E. Chung
	1435 Lexington Street
	Santa Clara, CA 95050

"OWNERS"

Exhibits:

A – Property Description

B – Restoration Schedule

Historic Property Preservation Agreement/1435 Lexington Street Typed: 12/06/2024

Page 8 of 8



City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

4-1142 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

PUBLIC HEARING: Consideration of the Proposed Demolition of the Existing Single-Family Residence and Construction of a 2,446 Square-Foot Five-Bedroom, Three-Bathroom Two-Story Residence with an Attached Two Car Garage at 970 Poplar Street (PLN24-00600) located within 200 Feet of a Historic Resource.

BACKGROUND

The 6,600 square foot property is located on the southern side of Poplar Street, approximately 200 feet east of the corner of Poplar Street and Washington Street. It is currently developed with residence built in 1946, a detached garage, and prefabricated shed at the rear of the property. The subject property is currently zoned R1-6L - Single-Family Residential with the General Plan Land Use Designation of Very Low Density Residential. The property is not currently listed as a historic resource on the City's Historic Resource Inventory (HRI); however, it is within 200 feet of a Historic Resource located at 410 Lafayette Way. See the attached vicinity map (Attachment 1) for location of the property and the nearby HRI property.

The project is before the Historical and Landmarks Commission (HLC) in accordance with the Historic Preservation Ordinance (18.130.070), which requires all projects on properties within 200 feet of an HRI property requiring Architectural Review at a Development Review Hearing first be referred to the HLC. The HLC shall review the project for neighborhood compatibility and consistency with the City's Design Guidelines and make a recommendation on the Architectural Review. The project would then be heard at the Development Review Hearing.

DISCUSSION

The project proposes the removal of all structures on the site and the construction of a 2,446 square-foot five-bedroom and three-bathroom two-story residence, with a 429 square foot two-car garage, an 84 square-foot rear porch, and an 87 square-foot front porch. The first floor would be approximately 1,971 square feet and the second floor is approximately 1,075 square feet. Additionally, the project proposes a detached Accessory Dwelling Unit (ADU) in the rear of the lot that would be reviewed ministerially in accordance with the Santa Clara City Code.

The subject address is noted as "potentially historic" in the City permit system database and is of notable age; therefore, a State of California Department of Parks and Recreation DPR 523A form was prepared to evaluate the historical value and integrity of the structure. Bonnie Montgomery prepared the DPR 523A form for the 1946 residence. The report details that the residence is a woodframe structure built in the Minimal Traditional style and clad in stucco. The report concludes that the subject property does not meet any criteria of historic significance on the federal, state or local levels.

4-1142 Agenda Date: 2/6/2025

The surrounding residences are smaller one-story properties with side gable or hip roof forms and small front porches. The proposed project would match the surrounding hipped roof forms and include a smaller front porch to be in harmony with the neighborhood. The applicant has proposed the second story of the residence be stepped back from the first by three feet on the sides and ten feet on the front.

The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:

- The proposed second-floor windows are oriented towards the front and rear.
- The second floor is proposed to be at 54% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.
- The proposed second floor meets the step back guidelines in that the second-floor areas are set back at least five feet from the front wall of the three to five feet from the side and rear walls of the first floor.
- The project proposes a hip roofed style second story which reduces the overall bulk and appearance of the second story.
- The architectural style and design of the proposed addition are true to the architectural form of the existing residence and for the neighborhood.

The project as proposed would not have a significant adverse visual impact to the integrity of the Historic Resource at 410 Lafayette Way. The resource is not visible from 970 Poplar Street due to a large two-story Spanish revival structure across the street at 901 Poplar Street which obscures the view of 410 Lafayette entirely. The proposed two-story structure will be compatible with the overall neighborhood and will not have an adverse impact on the Historic Resource.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - Existing Facilities), in that the proposed project is for the removal of a single-family residence and the construction of a single-family residence.

PUBLIC CONTACT

On January 23, 2025, a notice of public hearing was mailed to property owners within 300 feet of the project site. At the time of preparation of this report, the Planning Division has not received any public comments.

RECOMMENDATION

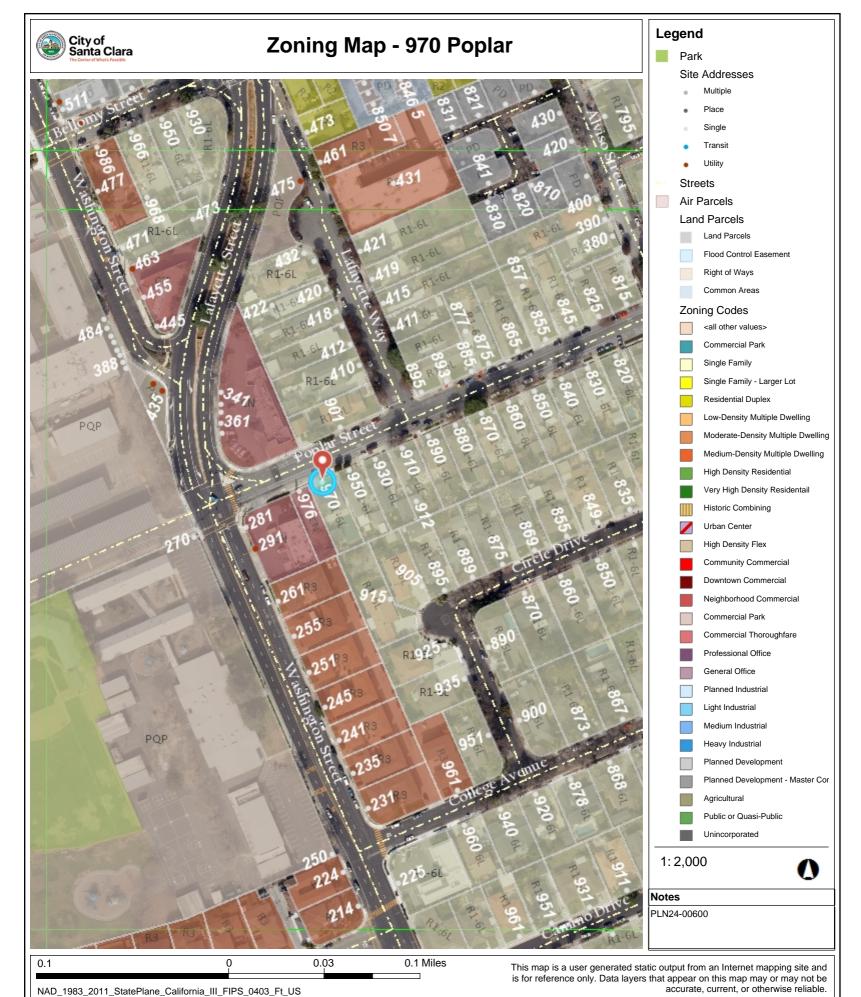
Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 970 Poplar Street will not destroy or have a significant adverse effect on the integrity of the HRI listed property within 200 feet at 410 Lafayette Way; that the demolition and proposed residence are compatible with the surrounding neighborhood and recommend approval of the Architectural Review.

Prepared by: Daniel Sobczak, Associate Planner, Community Development Department Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department Approved by: Lesley Xavier, Planning Manager, Community Development Department

4-1142 Agenda Date: 2/6/2025

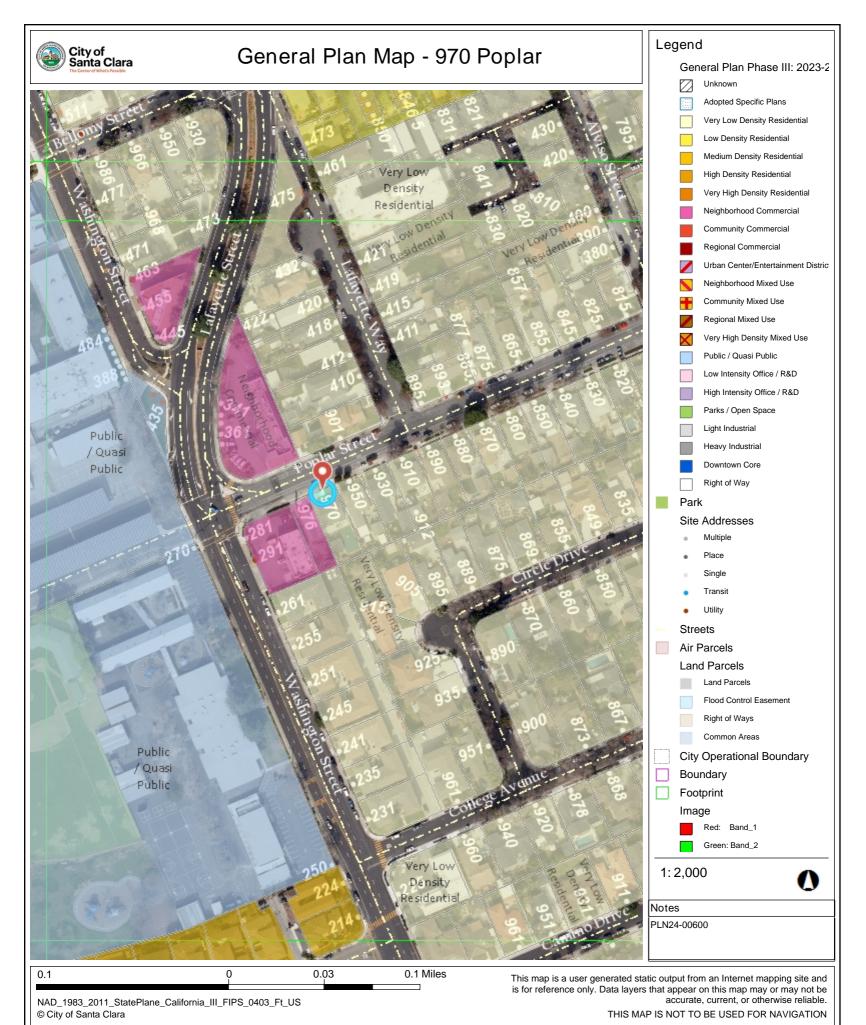
ATTACHMENTS

- Vicinity Map
 Project Data and Compliance Table
- 3. Development Plans
- 4. DPR 523A



© City of Santa Clara

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Attachment 2: Project Data/Compliance

Project Address: 970 Poplar Street Zoning: R1-6L **Project Number: PLN24-00600**

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	6,600	6,600	6,000	Υ
Building Square Footage (SF)				
1 st Floor:	1,440	1,800		
2 nd Floor:		1,075		
Basement:		n/a		
Porch/Patio:		171		
Total:	1,440	3,046		
Floor Area Ratio:		38%		
% of 2 nd floor to 1 st floor:		60%	66% max	Y
Building Coverage (%)				•
Building Coverage (All):	28%	38%	40% max	Y
Rear Yard Accessory			40% max	
Building Coverage: Main Building Setbacks (FT)				
Front (1 st floor): (2 nd floor):	20	20 30	20	Y
Left Side (1 st floor): (2 nd floor):	5	5 8	5	Y
Right Side (1 st floor): (2 nd floor):	8	12 15	5	Y
Side, Corner:				Y
Rear (1 st floor): (2 nd floor):	71	n/a	20	Y
Accessory Dwelling Unit Setback	s (FT) [Not u	ınder the pur	view of PLN24-00	600]
Front:				
Side (left): (right):		4 12	4	Y
Rear:		5	4	Y
From main building:		6	6	Υ
Height (FT)				•
Main building:	17	24'-3"	25	Y
Accessory building:	11	18	25	Y
# of Bedrooms/Bathrooms:	3/1	5/3		
Parking:				
Off-street	2	2	2	Y
Open Landscaped Area (Front):		35%	35%	Υ

INDEX OF DRAWINGS

EXISTING SITE/FLOOR PLAN PROPOSED SITE PLAN VICINITY MAP PICTURE AND RENDERINGS A2 A3 HOUSE FLOOR PLANS HOUSE ELEVATIONS ADU FLOOR PLANS ADU ELEVATIONS A5

AREA SCHEDULE PROPOSED LIVING AREA EXISTING LIVING AREA LOT AREA 6,500 S.F. HOUSE 2,446 S.F. HOUSE 1,440 S.F. FIRST FLOOR 1,371 S.F. GARAGE 400 S.F. BUILDING COVERAGE SECOND FLOOR 1,075 S.F. BEDROOMS: 3 HOUSE 1,371 S.F. BEDROOMS: 5 BATHROOMS: 1 GARAGE 429 S.F. BATHROOMS: 3 FRONT PORCH 87 S.F. ADU 1,199 S.F COMMON LIVING AREA BEDROOMS: 3 BACK PORCH 84 S.F. HOUSE (34%) BATHROOMS: 2 STORAGE 21 S.F ADU(38%)

SECOND FLOOR AREA AS

TOTAL 3,241 S.F. PERCENT OF FIRST FLOOR CREDIT FOR ADU 800 S.F. HOUSE(54%) **TOTAL 38%** 2,441 S.F.

1.199 S.F.

50 S.F.

ADU

STORAGE

PROJECT INFORMATION

OWNER/DESIGNER: ANTONIO BUNTING 740 LEGHORN LN PETALUMA CA 94952

(707)799-3230 970 POPLAR ST

JOB ADDRESS: SANTA CLARA CA 95050

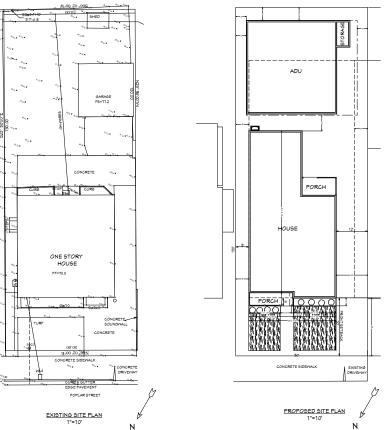
OCCUPANCY GROUP: R-1 SINGLE FAMILY

TYPE OF V-B CONSTRUCTION:

269-48-005

DEMOLITION OF ALL EXISTING BUILDINGS CONSTRUCTION OF NEW SINGLE FAMILY SCOPE OF WORK

HOME WITH DETACHED ADU.





YICINITY MAP NO SCALE



BUNTING PROPOSED NEW HOME WITH ADU FOR: SANTA CLARA, NTONIO

910 IRST FLOOR PLAN SECOND FLOOR

PLAN

POPLAR ST

PLAN PREPARER SIGNATURE Antonio Buntin







NEW HOUSE RENDERING



NEW HOUSE RENDERING

ANTONSED NEW HOME WITH ADU FOR:
ANTONIO BUNTEING
470 FOFLAR ST SANTA CLARA, CALIFORNIA

PICTURE OF CURRENT HOUSE

RENDERING OF PROPOSED HOUSE

PLAN PREPARER SIGNATURE Antonio Buntin









PRIMARY RECORD

*P4.Resources Present: x Building

Primary #

HRI#
Trinomial

NRHP Status Code

Other

Review Code

Reviewer

Date

Listings

Page _	<u>1</u> of	15 *	Resource Name	or #: (Assigned	by reco	order)	T	veitnes Fa	mily R	esidence	
P1. Oth	er Identifier:											
* P2 .	Location:	Not fo	r Publication	X	Unrestr	icted						
*a.	County _	Santa Cla	ara			and (P2	2c, P2	e, and I	P2b or P2d.	Attac	ch a Location Map	as necessary.)
*b.	USGS 7.5' (Quad	Date	!			Т	; R	;	of	of Sec ;	B.M.
c.	Address	970 Poplar	r St					City	Santa (Clara	Zip	95050
d.	UTM: (Give	e more than	one for large and	l/or line	ear resoui	rces) Z	Zone	<u>10S</u> ,	<u>593872</u> m	nE/ <u>4</u>	133310 mN	
e.	Other Locat	ional Data	: (e.g., parcel #, di	rection	s to resou	ırce, ele	vatior	n, decin	nal degrees	s, etc., a	s appropriate)	
	APN 269-48	3-005; sout	h side of Poplar S	Street	137.60 fe	et from	the i	nterse	ction of W	ashing	ton and Poplar s	treets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The subject property is a 6.600-square-foot lot zoned R-1-6L (Single Family). It is on the south side of Poplar Street, a residential

The subject property is a 6,600-square-foot lot zoned R-1-6L (Single Family). It is on the south side of Poplar Street, a residential street that runs two blocks between Park Avenue to the northeast and Washington Street to the southwest. Similar single-family residences dating from the early post-war period line this side of Poplar Street. Commercial buildings occupy the two lots between Washington Street and the western property line. The adjacent commercial property at 976/980 Poplar Street was built very close to the property line, leaving a concrete driveway just shy of ten feet wide. The two properties share a driveway apron. An additional vehicle can be parked on a concrete pad at the front entry. Rose bushes under the front picture window are the only plants in the landscaping. The rest of the landscaping is artificial turf and concrete hardscaping. A wooden perimeter fence encloses the backyard, which contains a one-car garage and a prefabricated metal shed. (*Continued on page 3, DPR523L*)

Structure Object Site District Element of District

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

Archaeological Record District Record
Artifact Record Photograph Record

Linear Feature Record Other (List):

P5b. Description of Photo: (view, date, accession #) Front elevation, 11/20/2024, no accession #

Other (Isolates, etc.)

*P6. Date Constructed/Age and Source: x Historic Prehistoric Both

1946 / 78 years (notice of completion)

*P7. Owner and Address:

Antonio F. and Aimee C. Bunting
740 Leghorn Lane
Petaluma, CA 94952

*P8. Recorded by:

(Name, affiliation, and address) Bonnie Montgomery, 421 N 5th St. San Jose, CA 95112

***P9. Date Recorded:** 12/9/2024

*P10. Survey Type: (Describe) intensive

***P11. Report Citation**: (Cite survey report and other sources, or enter "none.") none

*Attachments: NONE Location
Map x Continuation Sheet x
Building, Structure, and Object
Record

Milling Station Record Rock Art Record

DPR 523A (9/2013) *Required information

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND O	Primary # HRI# BJECT RECC			
*Resource Name or # (Assigned by recorder)	eitnes Family Resider	nce*NRI	HP Status Code	6Z
B2. Common Name: none B3. Original Use: single-family residence *B5. Architectural Style: Minimal Traditional	B4. Pres	ent Use: single-f	amily residence	
*B6. Construction History: (Construction date, alter June 3, 1946, contract completed on construction (Not history: 1989, City of Santa Clara BLD1989-083401, "E. BLD2015-38730, CRN2015-01128, "Interior & exterior shower and bathtub surrounds replaced; A new tankles New exterior light; stucco (approx. 12") replacement al electrical panel // ADD re-pipe sewer line (add on 7/22)	ice of Completion, S nclose Entry Porch." r remodeling: kitcher ss water heater at ext long the bottom of the	CC OR Book 1363, I January 13, 2005, B n- new plumbing and erior wall-left side of	LD2005-05093, rero d electrical drywall. f house; new gas line	oof. June 1, 2015, Bathroom- the e and water line;
*B7. Moved? x No Yes Unknown *B8. Related Features: prefabricated metal shed an	Date: d garage		Original Location:_	
Period of Significance 1945–1975 (Discuss importance in terms of historical or archi		Area (residential	setta Construction (City of Santa Clara Applicable Cri d, and geographic sc	iteria n/a
integrity.) The Ohlone people have lived on the land now known of Alta California began in 1769 with the Portolá experon January 12, 1777, the Franciscan order founded Mathe Mission to Christianize them and use their labor to In 1836, civil commissioners took control of Mission portions of the mission lands to private individuals un Guadalupe Hidalgo on February 2, 1848. California was Santa Clara College on the old mission site.	edition of 1769 and offission Santa Clara. To operate the Missic Santa Clara from the till Mexico ceded C	continued with the or The Franciscans broom. In 1821, Mexico e Franciscan order. Alifornia to the Unit	expedition of Juan I bught the native Oh gained its independ Mexican governors ted States with the T	Bautista de Anza. lone people into dence from Spain. granted large Treaty of
(Continued on page 4) B11. Additional Resource Attributes: (List attributes *B12. References: (See page 9, DPR523L)	s and codes) <u>none</u>			
B13. Remarks: historic evaluation for PLN24-00600		(Sketch Map wit	h north arrow requ	uired.)

(This space reserved for official comments.)

Bonnie Montgomery

*Date of Evaluation: December 9, 2024

*B14. Evaluator:



DPR 523B (9/2013) *Required information

Primary# HRI # Trinomial

CONTINUATION SHEET

Property Name: ___Tveitnes Family Residence

Page <u>3</u> of <u>1</u>5

(Continued from page 1, DPR523a, P3a)

The house is a one-story rectangular wood-frame structure built in the Minimal Traditional style and clad in stucco. The house appears to be on a concrete foundation with vents on three sides, but no external access to the crawl space is visible. A side-gable roof of composition shingles covers the structure. Metal gutters attached to shallow eaves on the front and rear elevations drain rainwater through metal downspouts. A brick chimney pierces the roof near its peak on the front elevation. All windows are replacement white vinyl sliders.

The visitor enters the property from a concrete driveway that extends onto a concrete pad the width of the front entry steps. Two wide concrete steps lead to a landing in front of a double-door entry (Figure 1). A pair of metal security screen doors open to reveal a pair of wooden doors painted blue (Figure 2). Black metal porch lights flank the front entry. A water table runs the length of the front elevation underneath a tri-partite picture window. Decorative metal shutters flank the window. Concrete curbing defines a small area under the picture window planted in rose bushes. A concrete sidewalk runs along this curbing and connects to another sidewalk along the eastern property line. A low wooden fence painted white divides the front yard from the neighboring house at 950 Poplar Street.

The east elevation (Figure 3) shows the gas meter under a sliding vinyl window. A wooden fence attached on one side to the perimeter fence and to the house on the other side prevents access to the backyard.

The west elevation (Figure 4) has one sliding vinyl window. An attic vent at the peak of the gable is matched by an identical vent on the east elevation.

At the end of the narrow driveway is a wooden gate on wheels that swings into the backyard. The gate is attached to the adjacent commercial building on one end and to a metal door frame at the other end. A locking metal security screen door is set into the door frame, which is attached to the southwest corner of the rear elevation (Figure 5).

The rear elevation (Figure 6) features three sliding vinyl windows, the electric meter, and a heat pump condenser. The metal gutter along the roofline drains into a central metal downspout that appears to be connected to a French drain. An exterior door in one of the bedrooms provides access to the backyard. Concrete curbing defines an planting area next to the house. A large concrete pad extends the length of the rear elevation and functions as a patio.

The east elevation (Figure 7), as viewed from the backyard, shows a piece of the original concrete walkway that leads to two concrete steps to the kitchen door. A tankless water heater and two vinyl sliding kitchen windows complete the east elevation.

The backyard (Figure 8) is landscaped in artificial turf that appears to be inadequately secured to the ground. A badly deteriorated concrete driveway leads to the garage, a wood-frame, front-facing gable, stucco-clad structure. A metal panel garage door is set asymmetrically to one side of the front elevation. The east side elevation (Figure 9) shows a wooden entry door and a single window. The rear elevation (Figure 10) is simply clad in stucco. The west side elevation is not visible, as it sits on the property line and is hidden by the perimeter fence. A prefabricated metal shed sits behind the garage on a brown tarp (Figure 11).

The house displays many character-defining features of the Minimal Traditional style as defined by McAlester (2015). It is an example of McAlester's side-gabled roof (or Cape Cod) subtype: it is a small, one-story structure; its roof eaves have little or no overhang; it has minimal architectural detail. Typical windows are double-hung multipane windows, but this house has replacement vinyl slider windows.

(End of DPR523b, P3a)

Primary# HRI # Trinomial

CONTINUATION SHEET

Property Name: ___Tveitnes Family Residence

Page <u>4</u> of <u>1</u>5

(Continued from page 2, DPR523b, B12)

The Town of Santa Clara was incorporated on July 5, 1852. It received its charter from the State in 1862. In July 1866, J. J. Bowen made the first official survey of Santa Clara, establishing the municipal limits as well as base and range lines for legally recording property transfers. The Town of Santa Clara recorded the map in August 1866 and began the long task of officially granting property to owners who had purchased town lots under a previous numbering scheme established in the 1850s.

J. J. Bowen surveyed 52 sub-lots on the outskirts of Santa Clara that did not conform to the uniform base and range numbering systems of blocks in what is now called the Old Quad. The Plat of Santa Clara, compiled with names of property owners, dates from the first half of the 1870s (Garcia, 1997). On that map, the subject property is within the boundaries of Sub-Lot 50, 134.87 acres that belonged to the estate of John Grandin Bray, who died in Santa Clara on February 3, 1871. Born in Otsego, New York, in 1812, John G. Bray arrived in California in 1850 and settled soon afterwards in Santa Clara. Bray's heirs subdivided Sub-Lot 50 in 1886 (SCC Recorded Maps Book B, Page 34; Figure 12). Mary Bray Widney, daughter of John G. Bray and wife of Dr. Joseph Pomeroy Widney, received Lots 1, 4, and 7 from her father's estate (SCC Deeds Book 85, Page 49) in a deed recorded on April 12, 1886. The subject property is in Lot 4.

Civil Engineer C. E. Moore mapped the Town of Santa Clara in 1893 with property owners labeled for most lots. Figure 13 shows "Mrs. B[ray] Widney" as the owner of Lots 4 and 7 of the Bray Estate along Poplar Street. She had sold Lot 1 some time before 1893. Dr. and Mrs. Joseph P. Widney lived in Los Angeles. Dr. Widney founded the University of Southern California's medical school and served as its first dean for eleven years before becoming USC's second president in 1892 (Guang, 2024). Mrs. Widney died on March 10, 1903, and Lots 4 and 7 passed into the hands of Joseph P. Widney on October 21, 1904 (SCC Deeds Book 283, Page 319).

On October 25, 1918, Joseph P. Widney transferred Lots 4 and 7 to his brother John Widney (SCC Deeds Book 478, Page 310). On April 11, 1925, John Widney transferred all his real estate in Santa Clara County to his two daughters, Mary W. Hayward and Arabella M. Machefert (SCC Official Records [hereafter OR] Book 151, Page 375). The first aerial photograph of the area, taken on March 13, 1931 (Figure 13), shows that Lots 4 and 7 were a single cultivated field. An aerial photograph taken on July 31, 1939 (Flight C-5750, Flight 285-15), shows no change in the use of Lots 4 and 7. On the 1915 Sanborn map and the 1932 update (San Jose, Volume 2, Pages 226, 227), the area to the south of Poplar Street is labeled "Vacant Field." On November 16, 1940, Mary W. Hayward and Arabella M. Machefert sold Lots 4 and 7 to Peter J. Pasetta and his wife Alice P. Pasetta (SCC OR Book 101, Page 391).

Peter J. Pasetta was the son of Mateo John and Anna (Buhalov) Pasetta. Mateo was born in 1865 in what is now Croatia. Mateo immigrated as a young man to California. He and his wife settled in the Santa Clara Valley in 1896, where their nine children were born between 1896 and 1914. Peter J. Pasetta married Alice Perovich on Christmas Eve 1930. A graduate of Santa Clara University, Peter was at the time of his marriage a statistician for the California Hawaiian Sugar Company.

Mateo J. Pasetta owned a fruit-drying yard, packing plant, and brandy distillery on Lots 10, 11, and 12 of the Bray Estate (see Figure 12). The distillery, located on Park Avenue just south of Poplar Street, was shown on the 1915 Sanborn map (San Jose, Volume 2, Pages 224 and 228). During the building boom of the 1920s, Pasetta had some of his 17-acre drying yard surveyed and recorded as housing subdivisions: Alameda Residence Park on August 5, 1924 (SCC Recorded Maps Book S, Page 27), and the El Camino Park tract on May 18, 1925 (SCC Recorded Maps Book S, Page 48). Figure 15 shows an aerial photograph of Lots 10, 11, and 12 on March 13, 1931. Houses lined both sides of Chapman Court in Alameda Residence Park. Just to the north in the El Camino Park tract, Hilmar Street, Camino Drive, and Mission Street had been laid out, but only Hilmar Street was paved. (*Continued on next page*)

^{*} The Pasetta family lived at 196 West St. James Street in San Jose. The house was moved to History Park in the 1980s. Until it was damaged by fire in 2023, the Pasetta House was the home of the Leonard and David McKay art gallery.

Primary# HRI # Trinomial

CONTINUATION SHEET

Property Name: ___Tveitnes Family Residence

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(Continued from previous page)

After Mateo J. Pasetta died on June 14, 1934, Peter J. Pasetta managed the real-estate holdings of his father's estate. Early the next year, Peter J. Pasetta announced in the San Jose *Mercury Herald* that development of El Camino Park, which had been "halted by the depression" would resume soon. Groundbreaking on the first house came on June 15, 1935, with the Mayor of Santa Clara officiating. The *Mercury Herald* reported the next day that this house was "the first of four for which loans have already been approved by the San Jose branch of the Bank of America." The National Housing Act of 1934 established the Federal Housing Administration. These new FHA-insured mortgages provided for lower down payments and longer loan terms than were available to home buyers before the Great Depression. Previous mortgage terms led to countless foreclosures in the early years of the economic crisis. The federal government, as part of the New Deal, counted on these more favorable mortgages to stimulate the economy through new home building.

By the spring of 1937, Peter J. Pasetta was using the name "Pasetta Construction Company" to offer lots in El Camino Park, along with "plans and estimates" for home construction. All homes were "built in accordance [with] FHA specifications" according to San Jose *Mercury Herald* ads such as the one that appeared on March 21, 1937 (Figure 16). With the success of El Camino Park, Pasetta purchased Lots 5 and 8 of the Bray Estate (see Figure 12) in July 1938. He announced that he would soon lay out lots and start construction on the University Square subdivision. The first unit, part of Lot 8, was surveyed on June 22, 1939 (SCC Recorded Maps Book 4, Pages 16–17). The second and third units, Lot 5 and part of Lot 8, were surveyed on March 4, 1940 (SCC Recorded Maps Book 5, Page 9–10). Pasetta's purchase of Lots 4 and 7 on November 16, 1940, was intended for units 4–6 of University Square. Unit No. 6 was surveyed in February 1941 (SCC Recorded Maps Book 5, Page 41), thirteen lots on the south side of Poplar Street (Figure 17). Most of the lots in the tract were still vacant at the end of 1941, when residential building restrictions during World War II went into effect. During World War II, the Pasetta Construction Company turned to industrial construction and permitted residential construction for war workers.

In April 1945, the Pasetta Construction Company obtained permits to build 18 new three-bedroom homes in Santa Clara for essential workers under the Federal Housing Agency's H-1 program. Eleven of those houses were to be built "on Poplar St. east of Bascome Ave., in the University Square district." Figure 18 shows those eleven houses on the 1950 Sanborn map, identified through notices of completion recorded on June 7, 1946 (SCC OR Book 1363, Pages 263–267). The houses were identical in size and construction. All had front entry porches under the eaves of either side-gabled or hipped roofs. They featured a combination of brick veneer and stucco cladding. All had single-car garages in the backyard. Five of the houses were built on lots in University Square Unit No. 6; the other six were built on land that had not yet been recorded on a subdivision map. The legal description for the subject property, for example, describes it as a 50-by-130-foot lot beginning 137.60 feet from the intersection of Poplar and Washington Streets.

Federal housing policy gave preference to veterans in buying houses built with these emergency funds immediately after World War II. On June 17, 1946, P. J. and Alice P. Pasetta sold the subject property to U.S. Army Major John C. Breedlove and his wife Kathryn (SCC OR Book 1360, Page 162). At the time, Major and Mrs. Breedlove were the parents of three small children. Kathryn's parents, Alexander and Emily Charlton, also lived at 970 Poplar. After Mrs. Charlton's death on February 7, 1948, Kathryn Breedlove, her children, and her father joined Major Breedlove in Korea. The Breedloves sold the subject property to Arthur R. and Vivian W. Tveitnes on April 29, 1949 (SCC OR Book 1779, Page 425).

^{*} The house pictured in the advertisement is 550 Hilmar St, one of four adjacent houses (530, 540, 550, and 560 Hilmar) built by Pasetta Construction that are on the City's Historic Preservation and Resource Inventory.

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CONTINUATION SHEET

Property Name: ____Tveitnes Family Residence

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(Continued from previous page)

Arthur Ragnavald Tveitnes was born on August 12, 1907, in Sioux City, Iowa. He married Vivian Nell Williams on June 24, 1939, in Lake View, Iowa. The couple were living in San Francisco in the 1940 census. In the 1950 census, Arthur and Vivian Tveitnes were living at 970 Poplar Street with their daughter Jeanine, age 5, and their son, Thomas, age 3. The youngest son, William Arthur Tveitnes, was born on May 12, 1950. Arthur was a clerk and Vivian was a registered nurse at the county hospital. Arthur died on July 21, 1966, at the age of 58. At the time of his death he was a clerk for Owens-Corning Fiberglass Corp. On May 23, 1967, Vivian W. Tveitnes became the sole heir of her husband's estate, and the house went into her name (SCC OR Book 7731, Page 700). Early in September 1969, Jeanine Tveitnes was widowed, so Vivian went to live with her daughter in Campbell. The youngest son, William "Bill" Tveitnes, married Henrietta Kelley on September 27, 1969. The newlyweds made 970 Poplar Street their home. Bill and Henrietta raised their only child, Tomarie, at 970 Poplar Street.

Only two building permits date from the Tveitnes family's years living at 970 Poplar Street. In 1989, the entry porch was enclosed (BLD1989-973491). The 1950 Sanborn (Figure 18) shows a porch on the eastern corner of the house. The original house was likely identical to 850 Poplar Street (Figure 19), with the side-gabled roof, and brick veneer that reaches to the bottom of the wide picture window. The brick veneer at 970 Poplar was likely covered with stucco when the porch was enclosed. The other building permit was issued on January 13, 2005, for reroofing (BLD2005-05093).

On March 5, 2007, William A. and Henrietta l. Tveitnes placed the subject property into the Tveitnes Family Trust (SCC OR Doc. No. 19327482). William Tveitnes died on August 6, 2014, at the age of 64. His obituary said, "He worked his adult life in the automotive industry but his true passion was the 17 years he served as a volunteer for the Santa Clara Police Department."

On January 29, 2015, Henrietta L. Tveitnes sold the subject property to Desi Moreno, Jr. (SCC Doc No. 22839378). Moreno appears to be a real-estate investor based in Reno, Nevada. Moreno substantially updated the house, both interior and exterior. See B6 for permitted changes listed in BLD2015-38730, June 1, 2015. Figure 20 shows the subject property in October 2014, as it looked right before the Tveitnes family sold it to Moreno. Besides the changes permitted, Moreno appears to have (1) replaced the original shutters with metal replacements, (2) replaced the windows, (3) painted the house, (4) demolished the picket fence surrounding the front yard, (5) removed the shrubs in the parking strip, (6) filled in the parking strip with concrete, (7) replaced the front lawn with artificial turf, (8) poured a new concrete driveway, and (9) built fences to restrict access to the backyard.

Moreno appears to have rented the house to students. It is currently common for Santa Clara University students to name their house and place a sign in front to aid other students to find the house for parties. A Google Street View photo from May 2019 shows a sign reading "D Block" attached to one of the metal-bar shutters. Perhaps the shutters reminded the students of prison bars, and the sign is supposed to suggest "Cell Block D." Most of the houses in this block of Poplar Street have such signs. Moreno placed the house in the name of his trust on January 22, 2019 (SCC Doc No. 24101378), and sold the house to the current owners, Antonio F. Bunting and Aimee C. Bunting on July 10, 2024 (SCC Doc. No. 25662003). The house is currently vacant.

SIGNIFICANCE

To evaluate the property located at 970 Poplar Street for its historic significance and eligibility for listing in the California Register of Historical Resources, the CRHR uses generally the same guidelines as the National Register of Historic Places (developed by the National Park Service); as such, selected language from those guidelines will be quoted below to help clarify the evaluation discussion. To be potentially eligible for individual listing on the CRHR, a structure must usually be more than 50 years old, must have historic significance, and must also retain its physical integrity. Built in 1946, this residence meets the age requirement.

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CONTINUATION SHEET

Property Name: ____Tveitnes Family Residence

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(Continued from previous page)

According to the Secretary of Interior's Standards for the Treatment of Historic Properties, development of historic contexts is the foundation for decisions about identification, evaluation, registration, and treatment of historic properties. Chapter 3 of the City of Santa Clara's General Plan ("Treasuring Our Past, Present, and Future") is the closest approximation of an historic context statement now written about the City. In place of a City Historic Context, this report will use the Santa Clara County Historic Context Statement for determining period and theme. The house at 970 Poplar Street falls under its Architecture/Shelter theme in the Period of Industrialization and Suburbanization (1945–1975) of residential architecture.

Criterion A/1: Properties can be eligible for the National Register (Criterion A) or California Register (Criterion 1) if they are associated with events that have made a significant contribution to the broad patterns of national or state history. No individually significant events took place at this property, and it does not make a significant contribution to the residential development of the nation or state. It does not appear individually eligible for the National Register or California Register under Criterion A/1.

Criterion B/2: Properties may be eligible for the National Register (Criterion B) or the California Register (Criterion 2) if they are associated with the lives of persons significant in our past. The house was occupied by the Breedlove family between 1946 and 1949 and by the Tveitnes family between 1949 and 2014. Neither family was significant to the history of the nation or state; therefore, the property does not appear to be eligible for the National Register or California Register under Criterion B/2.

Criterion C/3: Properties may be eligible for the National Register (Criterion C) or the California Register (Criterion 3) if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. The Tveitnes Family Residence, built by the Pasetta Construction Company in 1946, has some character-defining features of the Minimal Traditional style, but those features are not distinctive. The property would therefore not appear to qualify for the National Register or California Register under Criterion C/3.

Criterion D/4: Properties may be eligible for the National Register (Criterion D) or the California Register (Criterion 4) if they have yielded, or may be likely to yield, information important in prehistory or history. All research and physical investigation of the project's site has focused only on the ground above the structure. Nothing about the buildings, structures, or objects on the site contain information important in prehistory or history. The property would therefore not appear to qualify for National Register or California Register under Criterion D/4.

In 2004, the City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible" as a "qualified historic resource."

Criterion for Historical or Cultural Significance: To be historically or culturally significant, a property must meet at least one of the following criterion:

- The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation. *The property does not have any character, interest, or integrity that reflects the heritage and cultural development of the city, region, state, or nation.*
- The property is associated with a historical event. *No historical events have taken place at this property.*
- The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community. *No members of the Breedlove or Tveitnes families contributed in a significant way to the political, social and/or cultural life of the community.*

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CONTINUATION SHEET

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(Continued from previous page)

• The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity. *As a private residence, this property does not meet this criterion.*

- A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure. *Nothing about this individual private residence is directly associated with broad patterns of local area history.*
- A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting. *Nothing is notable about this property and its surrounding immediate environment.*

Criterion for Architectural Significance: To be architecturally significant, a property must meet at least one of the following criterion:

- 1. The property characterizes an architectural style associated with a particular era and/or ethnic group. The Minimal Traditional style of this property is not associated with a particular era, having been common from the 1930s to the 1960s, nor with a particular ethnic group.
- 2. The property is identified with a particular architect, master builder or craftsman. No particular architect is identified with this property. Pasetta Construction Company built this house in 1946 to quickly meet the needs of essential workers and returning veterans during a housing crisis. It is not the work of a master builder.
- 3. The property is architecturally unique or innovative. *This property has very little architectural ornamentation and nothing about it is architecturally unique or innovative.*
- 4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance. Most of the houses on these two blocks on the south side of Poplar Street were built at the same time and show similar architectural features to this property. As this property is not architecturally significant, none of the neighboring houses have architectural significance.
- 5. The property has a visual symbolic meaning or appeal for the community. *This property is very much like the neighboring houses and has no visual symbolic meaning or appeal for the community.*
- 6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly. This house was constructed in 1946 of the most common building materials available. Nothing about its building materials are unique or uncommon, and its method of construction was standard for the period.
- 7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout. *Nothing about this Minimal Traditional house is notable or special.*

Criterion for Geographic Significance: To be geographically significant, a property must meet at least one of the following criterion:

- 1. A neighborhood, group or unique area directly associated with broad patterns of local area history. *As this is one single-family residence, it does not meet the criterion for a neighborhood, group or unique area.*
- 2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings. This building is next to a similar single-family residence built at the same time, but it is also adjacent to and across the street from commercial buildings and multi-family residences. It does not have continuity and compatibility with adjacent buildings.
- 3. An intact, historical landscape or landscape features associated with an existing building. *Almost all of the house's landscape features were removed in the last ten years.*
- 4. A notable use of landscaping design in conjunction with an existing building. This property has almost no landscaping, so its use of landscape design is not notable. (Continued on next page)

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Property Name: ___Tveitnes Family Residence

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Criterion for Archaeological Significance: All research and physical investigation of the project's site has focused only on the ground above the structure. Nothing about the buildings, structures, or objects on the site contain information important in prehistory or history.

CONCLUSION

The subject property does not meet any criteria of historic significance on the federal, state, or local level.

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- "Development of El Camino Park Tract Underway," January 29, 1935.
- "Building Program Launched in San Jose, Santa Clara," June 16, 1935.
- "Ex-Social Worker Emily Charlton Dies in Santa Clara," February 9, 1948.
- "Arthur Tveitnes," July 24, 1966.
- "Nurse's Funeral on Monday," April 11, 1976.
- "William Tveitnes," August 31, 2014.

San Jose News.

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Primary# HRI # Trinomial

CONTINUATION SHEET

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SITE VISIT PHOTOGRAPHS NOVEMBER 20, 2024



Figure 1. North (front) elevation with metal screen doors locked.



Figure 3. East (side) elevation, viewed from front yard.



Figure 2. Front entry doors.



Figure 4. West (side) elevation.

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CONTINUATION SHEET

Property Name: <u>Tveitnes Family Residence</u>

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SITE VISIT PHOTOGRAPHS NOVEMBER 20, 2024

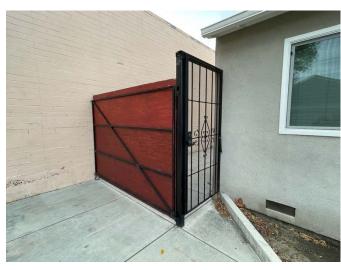


Figure 5. Driveway gate and security door at southwest corner of the rear elevation.



Figure 6. Rear elevation.

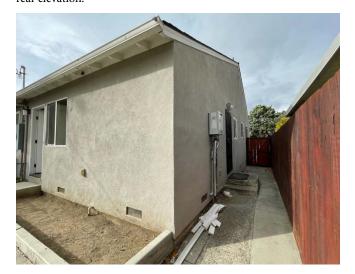


Figure 7. East (side) elevation, viewed from backyard.



Figure 8. Backyard and front elevation of garage.

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Property Name: <u>Tveitnes Family Residence</u>

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SITE VISIT PHOTOGRAPHS NOVEMBER 20, 2024



Figure 9. Garage, east (side) elevation.



Figure 11. Prefabricated metal shed.



Figure 10. Garage, rear elevation.

Trinomial

CONTINUATION SHEET

Property Name: ____Tveitnes Family Residence

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HISTORICAL MAPS AND PHOTOGRAPHS

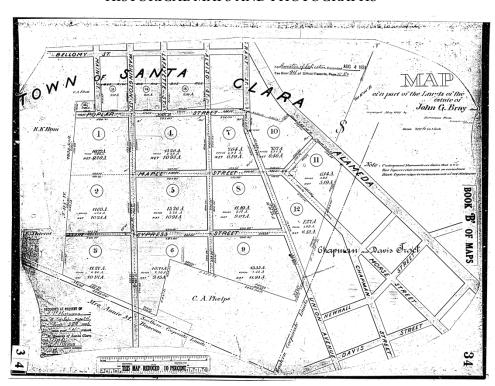


Figure 12. "Map of a part of the lands of the estate of John G. Bray," surveyed May 1885, recorded March 29, 1886. Union Avenue is now Park Avenue (Source: SCC Recorded Maps Book B, Page 34).

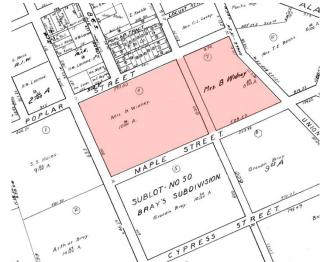


Figure 13. A portion of Bray's Subdivision of Sublot No. 50, showing Lots 4 and 7 (owned by Mrs. Bray Widney) highlighted in red (Source: C. E. Moore Map of the Town of Santa Clara, 1893).



Figure 14. Aerial photograph, March 13, 1931, of Lots 4 and 7 highlighted in red (Source: https://mil.library.ucsb.edu/ap_indexes/FrameFinder/, Flight C_1456, Frame 28).

HRI # Trinomial

CONTINUATION SHEET

Property Name: <u>Tveitnes Family Residence</u>

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HISTORICAL MAPS AND PHOTOGRAPHS



SEE THIS OUTSTANDING VALUE
Two Story \$5975 Brick Front
On Hilmar St. Between Park and The Alameda

25 MORE TO BE BUILT

Lit. Room 17x27. Plank Ploors, Spacious Bedrooms and Bath on Second Floor. Extra Lavatory on First Floor. Unique Ploor Plan. Built in accordance Fild Specifications.
Drive Out Park or The Alameda to Hilmar Look for the Yellow and Black Arrows
PASETTA CONSTRUCTION COMPANY

Figure 15. Aerial photo, March 13, 1931, part of the Bray Estate: Lots 7 and 8 (west of Park Ave); 10, 11, 12 (east of Park Ave). Pasetta brandy distillery is north of El Camino Park (yellow) and Alameda Residence Park (teal). (Source: https://mil.library.ucsb.edu/ap_indexes/FrameFinder/, Flight C_1456, Frame 28).

Figure 16. The house at 550 Hilmar Street built by the Pasetta Construction Company and advertised in the San Jose *Mercury Herald*, March 21, 1937.

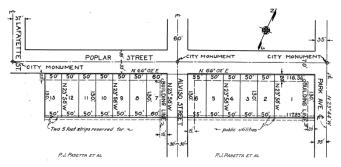


Figure 17. University Square Unit No. 6, to the east of the subject property (Source: SCC Recorded Maps Book 5, Page 41, March 20, 1941).

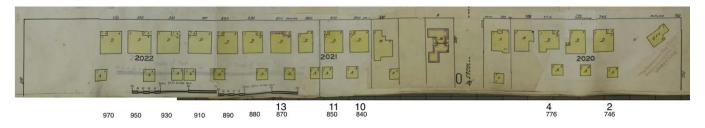


Figure 18. Poplar Street between Washington Street and Park Avenue on the 1950 Sanborn map (composite of pages 226 and 227). Street addresses and University Square Unit No. 6 lot numbers identify the eleven houses built in 1945/1946 under FHA's H-1 program.

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Property Name: <u>Tveitnes Family Residence</u>

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HISTORICAL MAPS AND PHOTOGRAPHS



Figure 19. 850 Poplar Street (photographed December 2, 2024).



Figure 20. 970 Poplar Street, front elevation, October 2014 (Source: Google Street View).



Figure 21. "D-Block" sign on metal-bar shutters, suggesting rental to Santa Clara University students, May 2019 (Source: Google Street View).



City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

25-119 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

PUBLIC HEARING: Recommendation on the Proposed 627 Square-Foot First Floor Addition and a 1,276 Square-Foot Second Floor Addition to an Existing 1,958 Square-Foot Single-Story Residence Resulting in a 3,939 Square-Foot Four-Bedroom, Three-Bathroom Two-Story Residence with an Attached Three Car Garage at 807 Park Court (PLN24-00585) located within 200 Feet of a Historic Resource.

BACKGROUND

The 9,202 square-foot property is located on the north side of Park Court, approximately 705 feet east of Washington Street. It is currently developed with a residence built in 1948, an attached garage, and a detached storage building at the rear of the property. The subject property is currently zoned R1-6L - Single-Family Residential with the General Plan Land Use Designation of Very Low Density Residential. The property is not currently listed as a historic resource on the City's Historic Resource Inventory (HRI); however, it is within 200 feet of a Historic Resource located at 794 Park Court. See the attached vicinity map (Attachment 1) for location of the property and the nearby HRI property.

The project is before the Historical and Landmarks Commission (HLC) in accordance with the Historic Preservation Ordinance (SCCC 18.130.070), which requires all projects within 200 feet of an HRI property requiring an Architectural Review approval through a Development Review Hearing to be first referred to the HLC. The HLC shall review the project for neighborhood compatibility and consistency with the City's Design Guidelines and make a recommendation. The project would then be heard at the Development Review Hearing for final action.

DISCUSSION

The project proposes a 627 square-foot first floor addition and a 1,276 square-foot second floor addition to the existing 1,958 square feet single family residence. The first floor would be approximately 2,585 square feet and the second floor is approximately 1,276 square feet.

The existing home was constructed in 1948, meeting one of the three local Historic Preservation property designation criteria as its older than 40 years (SCCC 18.130.040 A(1)). However, staff did not recommend the applicant prepare a DPR 523A Form as the home was built as an early tract home with some ranch style architectural features. Elevations of the existing home are found in the development plans (Attachment 3).

The subject parcel has street frontages on three sides, Linden Drive to the west, Alviso Street to the east and Park Court to the south. The existing one-story house on the parcel has a similar architectural style as the residences along Linden Drive to the west as they are part of the same

25-119 Agenda Date: 2/6/2025

subdivision with a down sloped porch and minimalistic geometric masses. The only differences between the properties are the variation of accent materials which is commonly found in tract homes. The residences along Alviso Street to the east are vernacular craftsman and bungalows constructed around the 1920s. Those homes have low-pitched gabled roof supported by square columns with wide overhanging eaves. The closest HRI property is the craftsman style residence at 794 Park Court.

The proposed single-family residence includes gabled roofs and articulated massing on the second floor consistent with the neighborhood. The proposed second story is stepped back from the first floor by seven feet on the sides, six feet on the front, and six feet on the rear, exceeding the recommended step backs in the Single-Family and Duplex Residential Design Guidelines. The windows have been treated with grids to blend with the nearby craftsman style residence at 794 Park Court.

The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:

- The proposed larger second-floor windows are oriented towards the front and rear while the side windows are more the 15 feet away from the property lines.
- The second floor is proposed to be 49% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.
- The proposed second floor exceeds the step back guidelines in that the second-floor areas
 are set back more than five feet from the front wall and three to five feet from the side and
 rear walls of the first floor.
- The architectural style and design of the proposed addition are consistent to the architectural form of the existing residences and for the neighborhood.

Therefore, the project as proposed would not have a significant adverse visual impact to the integrity of the Historic Resource at 794 Park Court as the proposed is consistent with the design guidelines and the architectural style integrates well into the neighborhood.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e) (Class 1 - Existing Facilities), in that the proposed project is for the removal of a single-family residence and the construction of a single-family residence.

PUBLIC CONTACT

On January 23, 2025, a notice of public hearing was mailed to property owners within 300 feet of the project site. At the time of preparation of this report, the Planning Division has not received any public comments.

RECOMMENDATION

Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 807 Park Court will not destroy or have a significant adverse effect on the integrity of the

25-119 Agenda Date: 2/6/2025

HRI listed property within 200 feet at 794 Park Court; that the proposed construction is compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department Approved by: Lesley Xavier, Planning Manager, Community Development Department

ATTACHMENTS

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Development Plans

City of Santa Clara

NAD_1983_2011_StatePanel_California_III_FIPS_0403_Ft_US

©City of Santa Clara

807 Park Court Zoning Vicinity Map





Legend

Base Layers

Site Addresses

- Single
- Utility
- Streets

Land Parcels



Imagery2024

Red: Band_1

Green: Band_2

Blue: Band_3

Notes

10103

is for reference only. Data layers that appear on this map may or may not be

accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance

Project Address: 807 Park Court Zoning: R1-6L Project Number: PLN24-00585

Standard	Existing	Proposed	Requirement	Complies?		
Lot Area (SF) (min):	9,202	9,202	6,000	(Y/N) Y		
Lot Area per Dwelling Unit	9,202	9,202				
(SF):	9,202	9,202				
Building Square Footage (SF)						
1 st Floor:	1,958	2,585				
2 nd Floor:		1,276				
Basement:						
Accessory Building:	605	605	600 SF max	N		
				(Legal Non- Conforming)		
Porch/Patio:		78				
Total:	2,563	4,544				
Floor Area Ratio:		0.49		Y		
% of 2 nd floor to 1 st floor:		0.49	66% max	Y		
Building Coverage (%)	Building Coverage (%)					
Building Coverage (All):	27%	35%	40% max	Y		
Rear Yard Accessory	31%	31%	40% max	Y		
Building Coverage:						
Main Building Setbacks (FT)	T					
Front (1st floor):	23' – 2.5"	20'	20'	Y		
(2 nd floor):	 37' -10.5"	26' – 8" 21'	25' 10'	Y		
Left Side (1 st floor): (2 nd floor):	37 -10.5		10 15'	Y		
Right Side (1st floor):		31' – 7"				
(2 nd floor):						
Side, Corner:	18' – 1"	17' – 1.5"	10'	Y		
		24' - 2" 20' - 6"	15'	Y		
Rear (1 st floor): (2 nd floor):	22' – 5"	20' – 6" 27'	20' 25'	Y		
Accessory Building Setbacks	(FT)	21	20	T T		
Front:	35'	35'	20'	Υ		
Side (left):	32'	32'	4'	Y		
(right):	54'	54'	4 '	Ϋ́		
Side, Corner:						
Rear:	0	0	5'	N		
				(Legal –		
				Nonconforming)		
From main building:	7'	6' - 6"	6'	Y		
Height (FT)						

Standard	Existing	Proposed	Requirement	Complies? (Y/N)	
Main building:	15'	24'	24'		
Accessory building:	8'	8'	24'		
# of Bedrooms/Bathrooms:	3/1.5	5/3			
Parking:					
Is the site AB 2097 eligible?				N	
Off-street	2	3	2	Y	
Common Living Area (SFR)	53%	48%	Min 25%	Y	
Open Landscaped Area (Front):	1,208	1,062			

PROJECT PROJECT DATA SHEET INDEX DIRECTORY ZONING REQUIREMENTS: ZONING REQUIREMENTS (CONT.): TERRA & ANTHONY VITARELLI 807 PARK COURT, SANTA CLARA, CA 95050 PROJECT ADDRESS & ZONING: FLOOR AREA CALCULATIONS: OWNER: ZONING REGULERAMENTS (CONIL): 3.0.12.00 AND ARRIOR REQUEREMENTS. A SECRET AS CHIEFMEN FROYDED IN SEC 16.12.200(0)(2), EACH MOLLERAME PROVIDED IN SEC 16.12.200(0)(2), EACH MOLLERAME PROVIDED IN SEC 16.12.200(0)(2), EACH MOLLERAME PROVIDED IN SECURITY OF THE SECURITY OF **ARCHITECTURAL** ADDRESS: 807 PARK COURT, SANTA CLARA, CA 95050 APN: 303-21-059 ZONING: R1-6L SINGLE STORY EXISTING FLOOR AREA (SQ. FT.): TELLIVING AREA: 1.589 SF PHONE: (408) 209-5078 CS-1 COVER SHEET A1-1 DEMOLITION SITE PLAN A1-2 PROPOSED SITE PLAN (408) 209-2034 EMAIL: tvitarelli@gmail.com | [E] GARAGE: 369 SF | TOTAL (E) FLOOR AREA: 1,958 SF PROJECT DESCRIPTION: 1. REMODEL AND ADDITION TO EXISTING 1948 SINGLE STORY t2vitarelli@amail.com A2-1 DEMOLITION FLOOR PLAN A2-2 DEMOLITION ROOF PLAN A2-3 DEMOLITION ELEVATIONS RESIDENCE. CONSTRUCTION OF A NEW SECOND STORY ADDITION. ENLARGE EXISTING TWO-CAR GARAGE. REPLACE DRIVEWAY & WALKWAY HARDSCAPE ROBIN MCCARTHY, AIA ARCHITECT CA. LIC. C29767 1155 MERIDIAN AVE., SUITE 210, ARCHITECT: :) MAIN FLOOR: N) MAIN FLR. ADDITION: MAN. RIGHT STEARCH & EACH LOTS HALL HAVE A RIGHT YEAR DAY RIGHT STEARCH STEAR [N] UPPER FLOOR ADDITION: 1.276 SF TOTAL (N) FLOOR AREA: 3,129 SF A2-4 BUILDING STORAGE ELEVATIONS A3-1 PROPOSED MAIN FLOOR PLAN A3-2 PROPOSED UPPER FLOOR PLAN A4-1 PROPOSED ROOF PLAN OTHER INFO.: FIRE SPRINKLERS REQUIRED: SAN JOSE, CA 95125 PHONE: (408) 859-8723 (EL GARAGE FLOOR AREA: X (100%)L NO YES, TRACT#428, 18 FT. 8.S.L EASEMENT AT FRONT & SIDES, 2.5 FT. P.S.E. & T.E. EASEMENT AT BACK, 5 FT. P.S.E. & T.E. EASEMEN AT BACK (N) GARAGE ADDITION: F-MAIL: robin@archstudioinc.com A5-1 PROPOSED EXTERIOR ELEVATIONS A5-2 PROPOSED EXTERIOR ELEVATIONS PERCENT (35%) OF THE STREET SIDE YARD SHALL BE PERMANENTLY MAINTAINED A LANDSCAPED A BEAR. MIN. REAR STEBACK = A REAR YARD IS REQUIRED AT THE REAR OF EVERY LOT. SUCH PEAR YARD AND AND A STREET STREAM TWENTY (30 FEET IN DEPTH. MOTWITHSTANDING THE ABOVE. CORNER LOT REAR YARDS MAY SEE NITECHANGED TO SET FROM THE INTERIOR. OR NONSTREET, SIDE YARD LOT LINE. A6-1 BUILDING SECTIONS PROPOSED LOT COVERAGE: (E) MAIN FLOOR: (N) MAIN FLR. ADDITION: (N) GARAGE: (E) SUED-TOTAL DEMOLITION: 0 SF BUILDING CODE INFORMATION: TO CHIPANCY TYPE: R-3 / U V-8 V-8 TOTAL REMODELED: 1,410 SF OPEN LANDSCAPE AREA: 1.062 SE (SEE SHEET A 1-2) MAXIMUM LOT COVERAGE = BUILDINGS, INCLUDING ACCESSOR' BUILDINGS, SHALL NOT COVER A TOTAL OF MORE THAN FORTY PERCENT (40%) OF THE AREA OF ANY LOT. 605 SF 3,270 SF ITORIES: TWO-STORY OTAL NEW FLOOR AREA: 3,129 SF W/O GARAGE 2ND FLOOR RATIO: 1,276 SF / 2,585 SF = 49% GENERAL ARCHITECTURAL REVIEW LEGEND NOTES ELECTRICAL, MECHANICAL PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY DRAWINGS, SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS. (N) FULL-HEIGHT WALL (N) PARTIAL HEIGHT WALL ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS: CALIFORNA BULDING CODE, 2022 EDITION (CBC) CALIFORNIA PLUMBING CODE, 2022 EDITION CALIFORNIA MECHANICAL CODE, 2022 EDITION CALIFORNIA BECHTICAL CODE, 2022 EDITION CALIFORNIA ELECTRICAL CODE, 2022 EDITION CALIFORNIA EXISTING BULDING CODE 2022 EDITION CALIFORNIA RIPE CODE 2022 EDITION (E) WALL TO REMAIN (E) WALL TO BE REMOVED SHEAR WALL CALIFORNIA FRE CODE 2022 EDITION INTERNATIONAL EXISTING SULUDING CODE 2022 EDITION CALIFORNIA RESIDENTIAL CODE. 2022 EDITION CALIFORNIA GREEN BUILDING STANDARDS, (CALIGREEN) 2022 EDITION 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 DOOR SYMBOL, SEE SCHEDULE WINDOW SYMBOL AND SKYLIGHT SYMBOL, SEE SCHEDULE STRUCTURAL INCIDENTES SHALL HELD INSPECT FOUNDATION FOOTINGS AND WALLS PRIDE TO CONCERT FOUR AND ALL SHOULD DOWNS AND FRAMING. ALL TELEPHONE ELECTRIC MISS. AND OHRE SUCH SERVICE FACILITIES TO NEW CONSTRUCTION ALL TELEPHONE ELECTRIC MISS. AND OHRE SUCH SERVICE FACILITIES TO NEW CONSTRUCTION ALL TELEPHONE ELECTRIC STRUCTURE OF THE SERVICE FACILITIES TO NEW CONSTRUCTION OF THE SERVICE FACILITIES TO NEW THE MOST ALL THE SERVICE STRUCTURE OF THE MOST ALL THE SERVICE STRUCTURE OF THE MOST ALL THE SERVICE STRUCTURE OF THE SERVICE STRUCTURE OF THE MOST ALL THE SERVICE STRUCTURE OF DETAIL NUMBER SECTION LETTER SPECIFIC OR KEY NOTE ROOM FINISH FLOOR ELEVATION CARPET ROOM FINISH FLOORING INTERIOR ELEVATION IDENTIFICATION REVISION

DATUM LINE

CENTER LINE



807 PARK COURT, SANTA CLARA, CA 95050

STAMPS & APPROVALS





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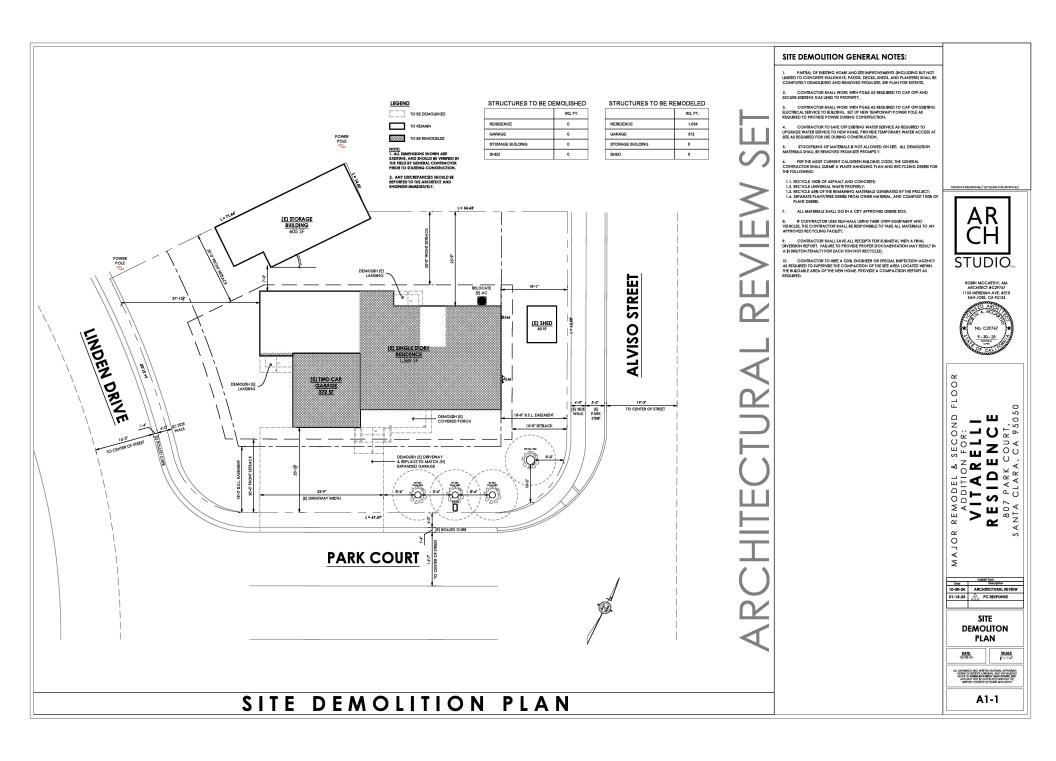
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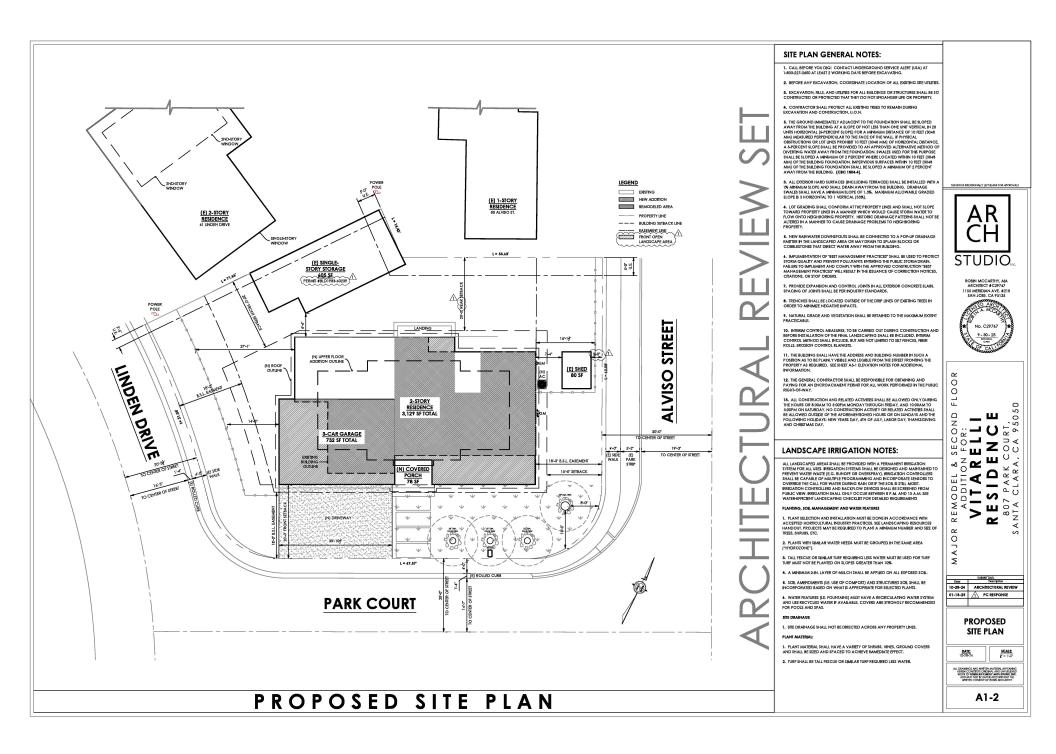
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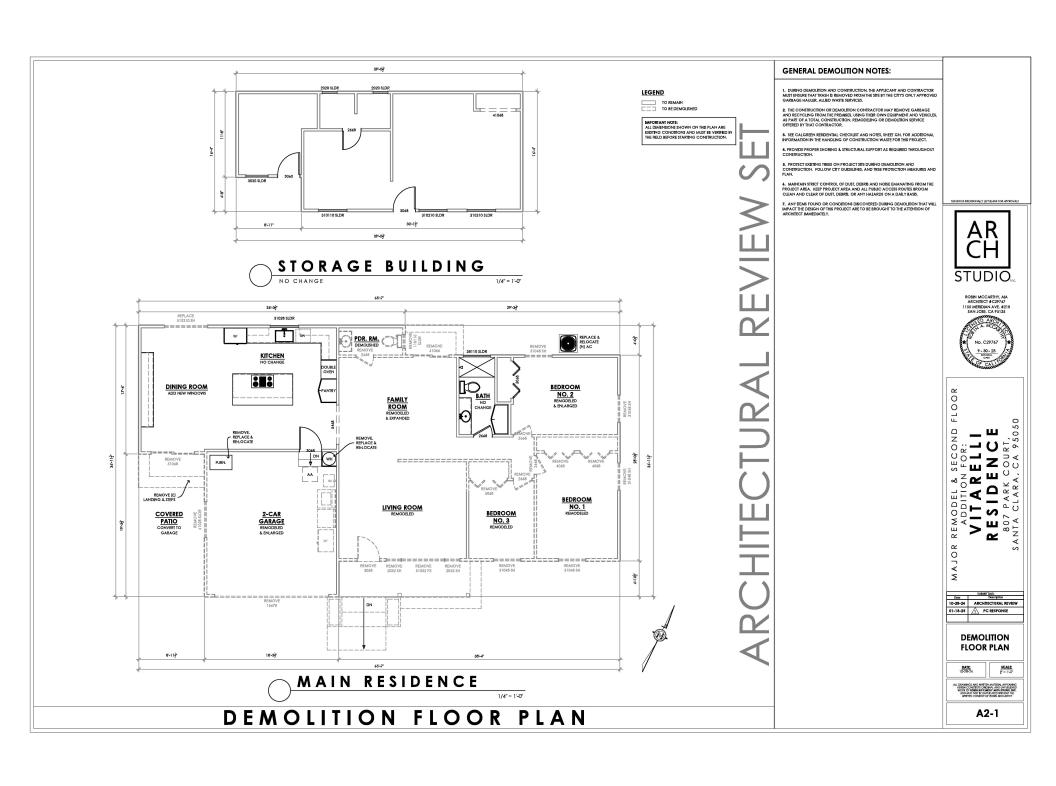
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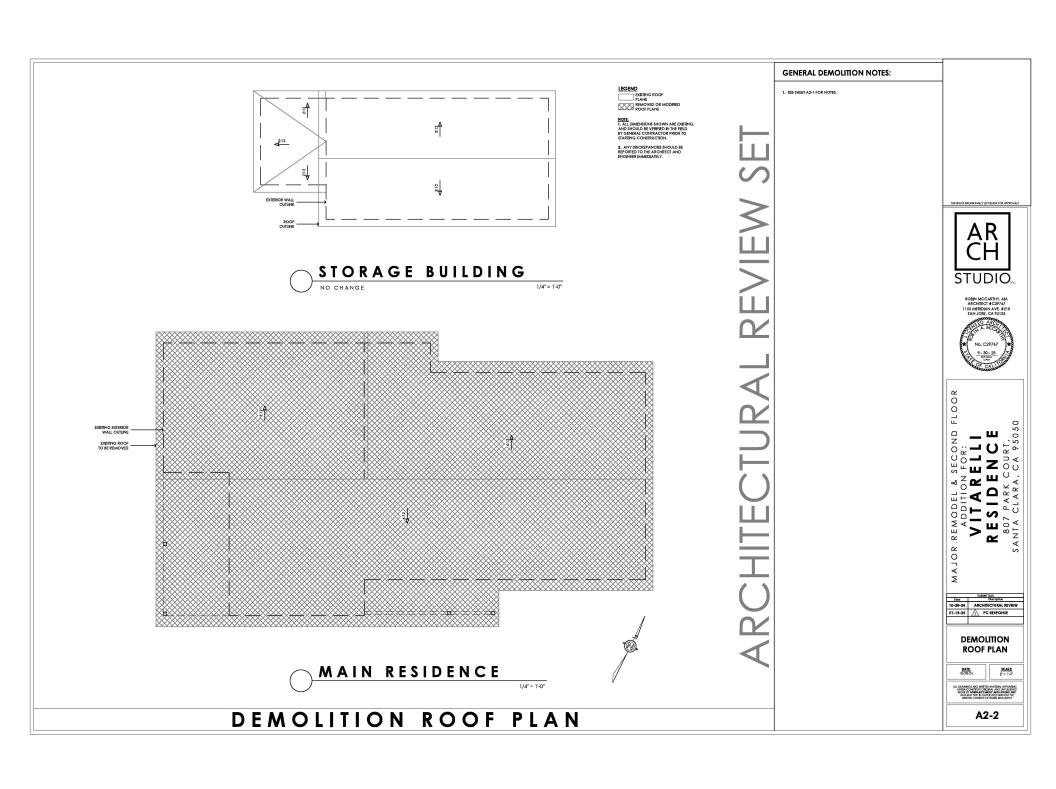
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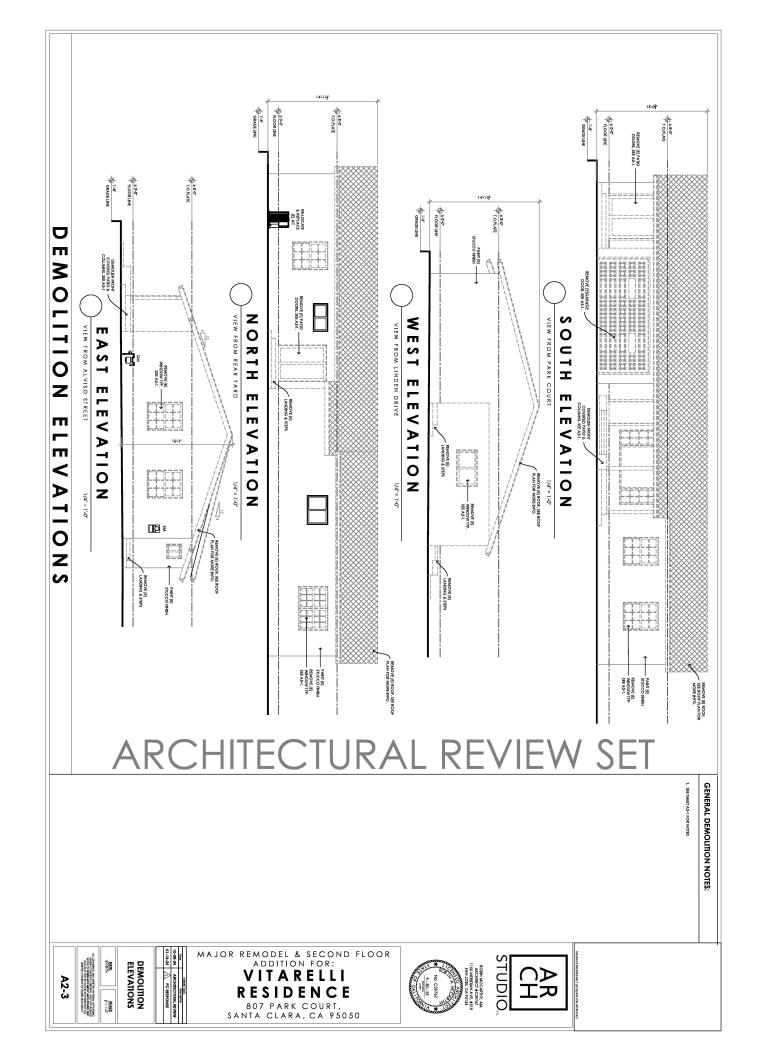
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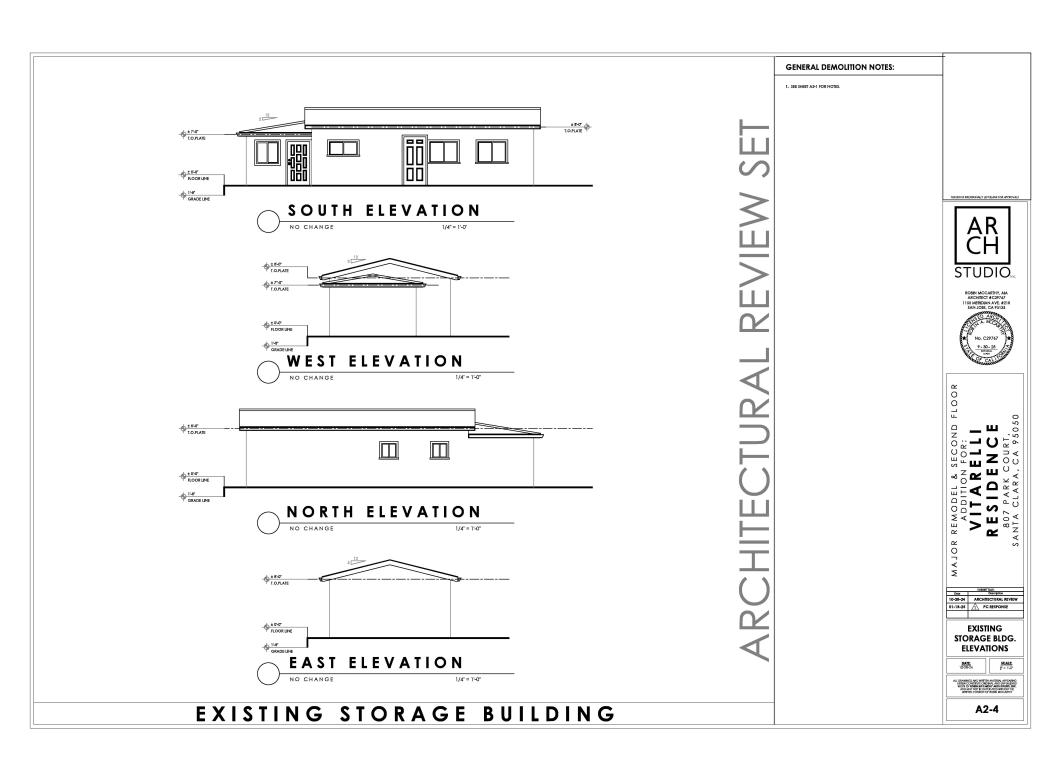


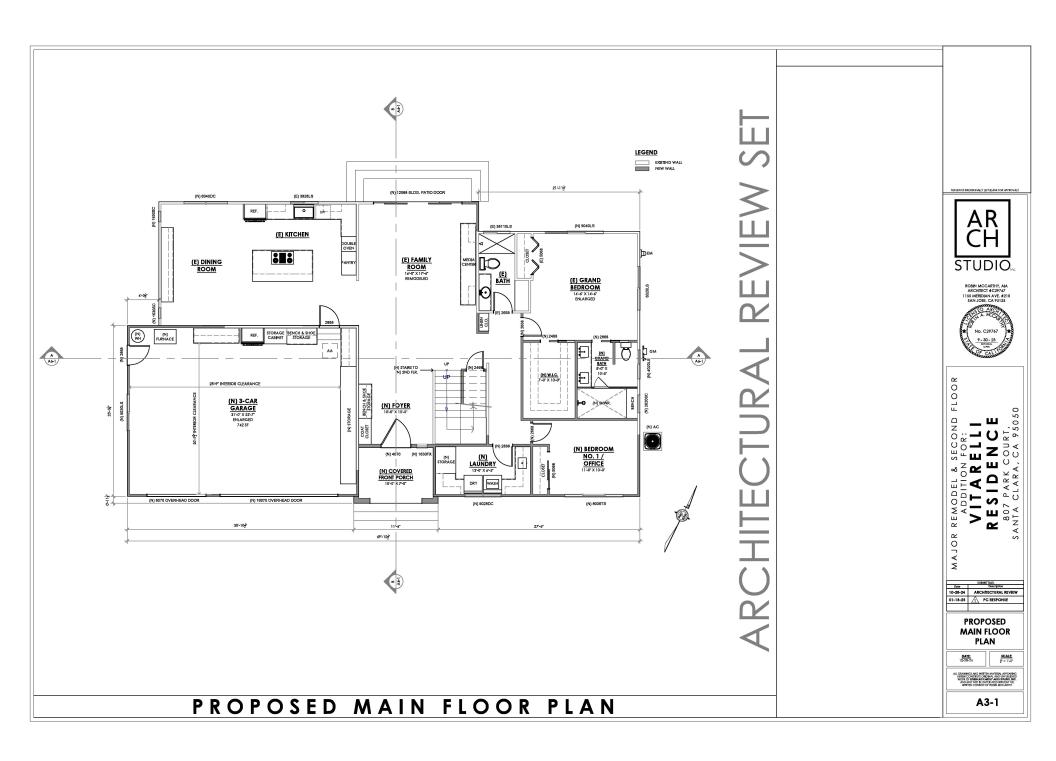


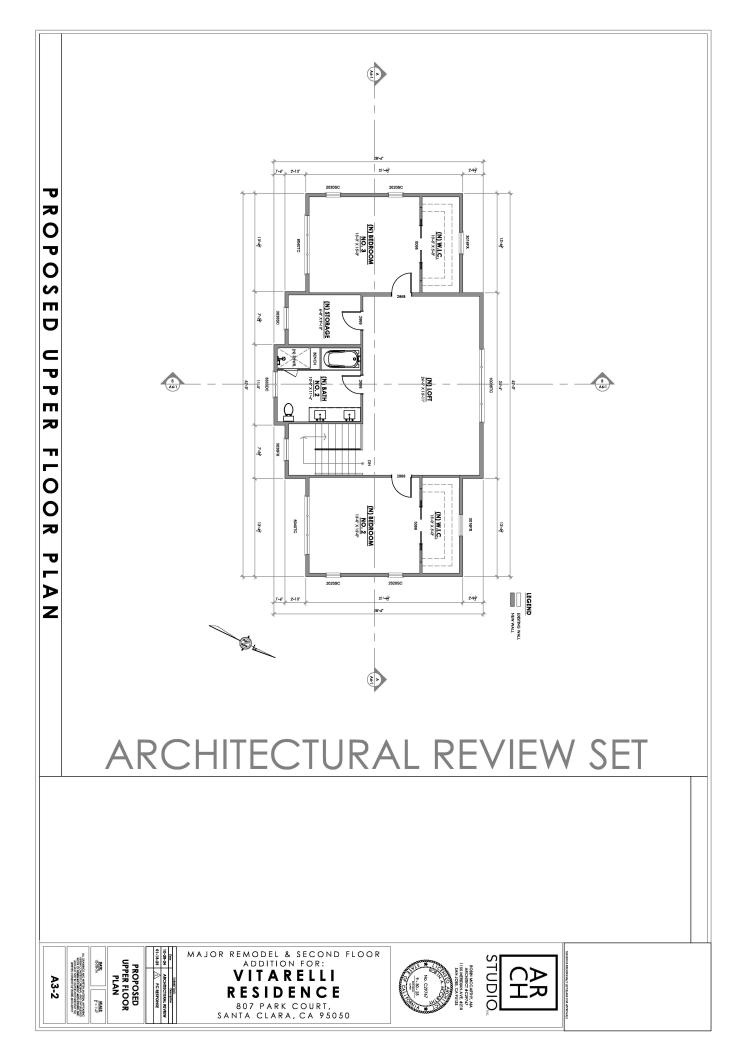


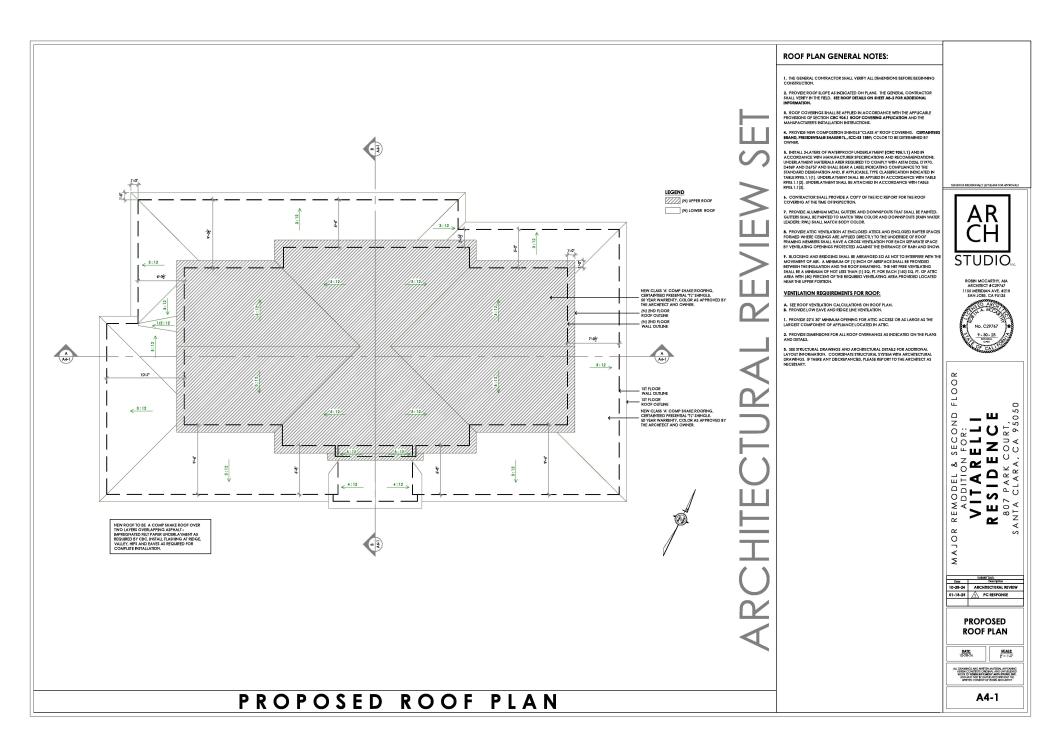














SOUTH ELEVATION

VIEW FROM PARK COURT

1/4" = 1'-0"

1/4" = 1'-0"

EXTERIOR MATERIALS							
NO.	MATERIAL	MANUFACTURER	DESCRIPTION	COMMENTS			
0	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7008 ALABASTER			
2	STUCCO	SMOOTH FINISH CUSTOM STUCCO	SMOOTH FINISH CEMENT PLASTER	COLOR: SHERWIN WILLIAMS, 7017 DORIAN GRAY			
3	EXTERIOR BRICK	GENERAL SHALE	CORNERSTONE THIN BRICK	COLOR: OFF-WHITE			
4	FACIA & EAVE TRIM BOARD	TRUE EXTERIOR SIDING & TRIM	CRAFTSMAN COLLECTION; WOODGRAIN NICKEL GAP	SIZE: 1X8, COLOR: CHARCOAL GRAY			
6	ROOFING	CERTAINTEED	PRESIDENTIAL "TL" COMPOSITION SHINGLE	COLOR: CHARCOAL			
6	WINDOWS	ANDERSEN WINDOWS	FARMHOUSE STYLE GRIDS	SASH COLOR: BLACK			
7	FRONT DOOR	SIMPSON CO,	PAINT-GRADE FINISH	COLOR: BENJAMIN MOORE, JET BLACK			
8	GARAGE DOOR	TBD	CARRIAGE STYLE GARAGE DOOR	PAINT-GRADE, COLOR: BENJAMIN MOORE, JET BLACK			
9	EXT. LIGHT FIXTURE	SHADES OF LIGHT	OUTRIGGER CONE OUTDOOR	FINISH: BRONZE			





PROPOSED EXTERIOR ELEVATIONS

EXTERIOR ELEVATION NOTES:

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS
 BEFORE BEGINNING CONSTRUCTION.
- 2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
- EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).

GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT OF THE FOLLOWING:

- A. THREE COAT (7/8 inch) PLASTER ASSEMBLY OVER FRAMING: WOOD-BASED SHEATHING (PER APA) EXTERIOR SHEATHING BOOD-BASED SHEATHING (PER APA) EXTERIOR SHEATHING (SAF) APPLIED AT ALL HORIZONTAL SURFACES UNDER 2-SHEETS OF BLACK, GRADE "D" BUILDING (KRAFT) PAFER AS A WEATHER. RESISTIVE BARRIER: GALVANIZED PLASTER ACCESSORIES, METAL LATH, A CONVENTIONAL PLASTER SCARCH AND BROWN COAT MEETING ASTIM STANDARD C 926, WITH AN INTEGRALLY COLI ORPO PINISH.
- B. PROVIDE ADHERED NATURAL THIN BRICK VENEER AT ALL LOCATIONS AS SHOWN ON ELEVATIONS.

SEE SHEETS A8-1, A8-2 AND A8-3 FOR DETAILS FOR ATTACHEMENT.

4. TRIMS, EXTERIOR DOORS, SHUTTERS, CORBALS AND OTHER MISC.

ACCENTS:
ALL MATERIALS TO THE EXTENT POSSIBLE SHALL BE CEMENT BD. OR
SIMILAR WITH PAINTED COLOR FINISH: SHALL BE SELECTED BY
OWNER AND ARCHITECT.

5. EXTERIOR ENTRY DOOR. OVERHEAD CARAGE DOOR: PROVIDE A STAIN-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; SHALL BE SEALED WITH A SATIN TRANSPARENT FINISH: COLOR TO BE DETERMINED BY OWNER AND ARCHITECT. GARAGE DOOR BY "O'VERHEAD DOOR CO," OR SIMILAR.

6. PATIO DOORS & WINDOWS: BY ANDERSON WINDOW CO. OR SIMILAR: ALUMINUM CLAD EXTERIOR FINISH: PRIMED WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.

7. PROVIDE YAPOR BARRIER: (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

A. BILLIONE ADDRESS. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS SENDER APPROVED ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION HALT BY SHIBLE FROM THE SIESE FOR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OF ALPHABETICAL LETTERS. NUMBERS SHALL BE ARABIC NUMBERS OF ALPHABETICAL LETTERS. NUMBERS SHALL BE ARABIC NUMBERS OF ALPHABETICAL LETTERS. NUMBERS SHALL BAT RESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN A INCHES (102 MM) IN HEIGHT WITH A STROKE WITH A INCHES THE REQUIRED BY THE RECOODE OFFICIAL ADDRESS IDENTIFICATION SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MANNTAINED, (CRC R 31) IN THE BUILDING ANDRESS TRUCTURE. ADDRESS IDENTIFICATION SHALL BE MANNTAINED, (CRC R 31) IN THE BUILDING ADDRESS TRUCTURE. ADDRESS IDENTIFICATION SHALL BE MANNTAINED, (CRC R 31) IN THE BUILDING ADDRESS TRUCTURE. ADDRESS IDENTIFICATION SHALL BE MANNTAINED, (CRC R 31) IN THE BUILDING ADDRESS IDENTIFICATION SHALL BE MANNTAINED, (CRC R 31) IN THE SEMPLY OF THE STRUCTURE.

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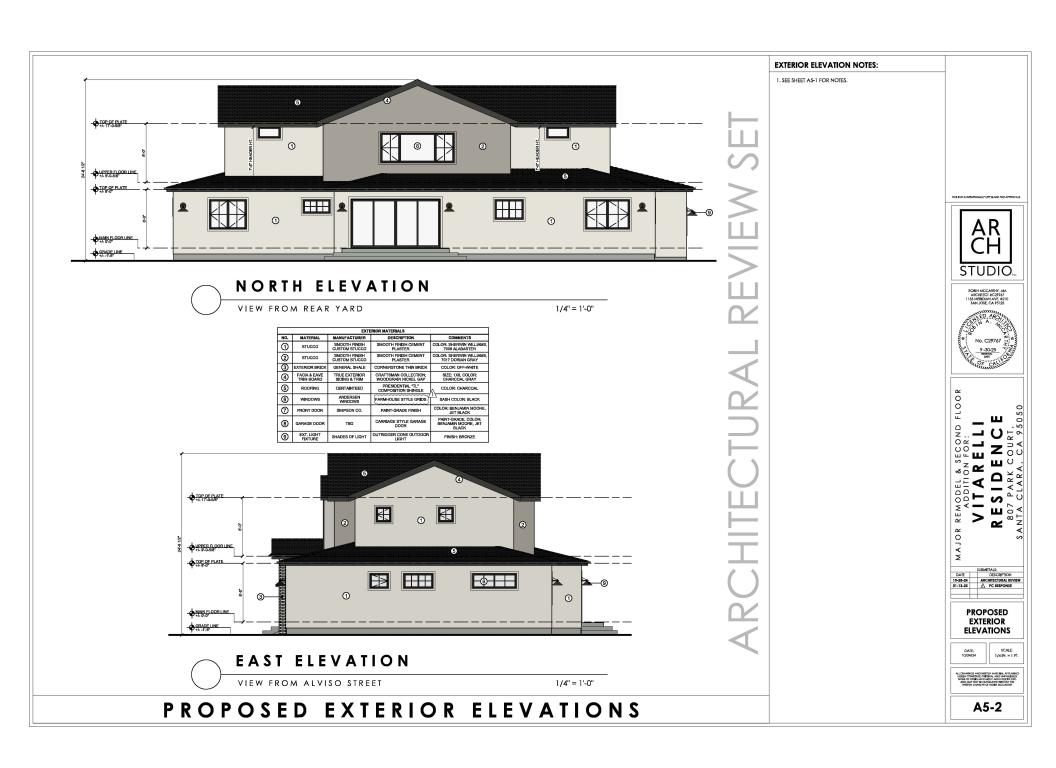


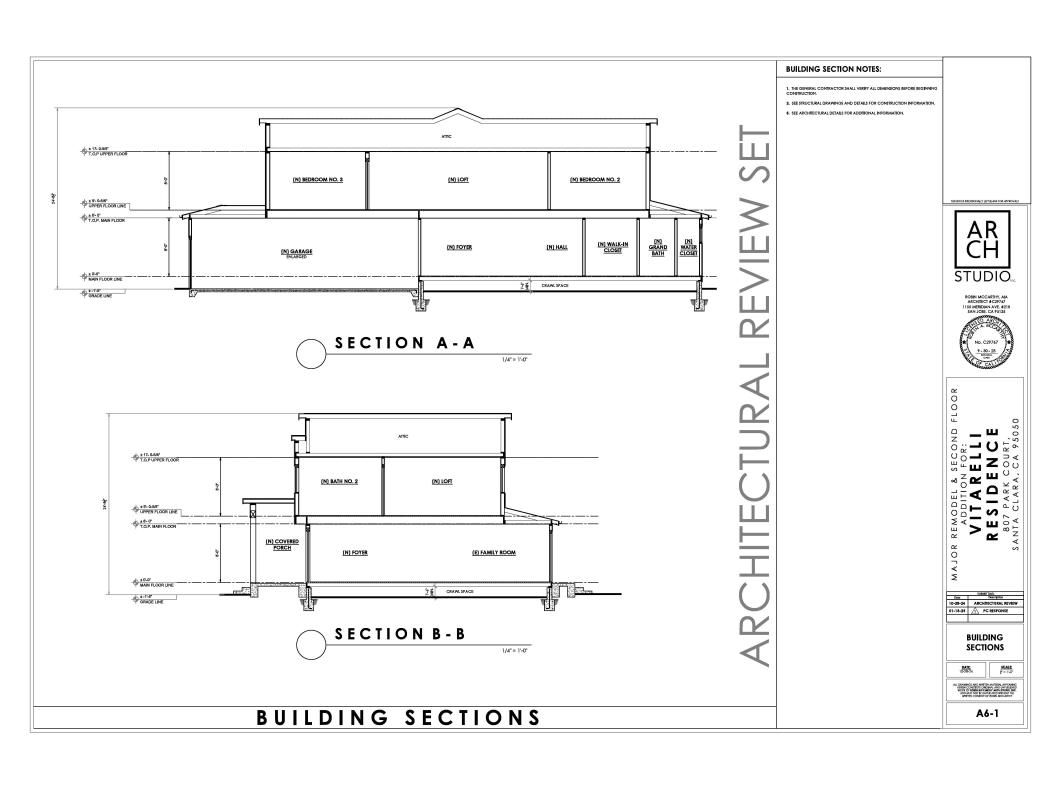
PROPOSED EXTERIOR ELEVATIONS

DATE: 10/24/24 1

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City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

25-121 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

PUBLIC HEARING: Recommendation on the New Construction of Nine Two-Story Townhomes with Attached Two-Car Garages at 4249 Cheeney Street (PLN2019-13847) located within 200 Feet of a Historic Resource.

BACKGROUND

The one-acre property is located on the eastern side of Cheeney Street, approximately 100 feet south of the corner of Cheeney Street and Agnew Road. It is currently a vacant lot. The subject property is currently zoned R1-6L - Single-Family Residential with the General Plan Land Use Designation of Very Low Density Residential. The property is not currently listed as a historic resource on the City's Historic Resource Inventory (HRI); however, it is within 200 feet of two Historic Resources located at 2086 Agnew Road (Agnew School) and 4262 Davis Street. See the attached vicinity map (Attachment 1) for location of the property and the nearby HRI property.

The proposed project includes a General Plan Amendment (GPA) to Low Density Residential (8-19 du/ac) to accommodate the increase in residential density at the site and development of the townhomes and a rezone to be consistent with the new General Plan land use designation. The rezoning and GPA will be reviewed by the Planning Commission for a recommendation to the City Council for a final determination.

The project is before the Historical and Landmarks Commission (HLC) in accordance with the Historic Preservation Ordinance (18.130.070), which requires all projects on properties within 200 feet of an HRI property requiring Architectural Review approval at a Development Review Hearing first be referred to the HLC. The HLC shall review the project for neighborhood compatibility and consistency with the City's Design Guidelines and make a recommendation on the Architectural Review. The project would then be heard at a future Development Review Hearing.

DISCUSSION

The project proposes construction of nine two-story townhomes with attached two-car garages. The proposed buildings would reach a maximum height of 25 feet. The proposed buildings would include 15-foot setbacks from the rear property lines, minimum 20-foot setbacks from the front property lines, and five-foot side yard setbacks. In total, the buildings would be 20,771 gross square feet and have a combined footprint of 10,211 square feet (45 percent lot coverage).

The nine townhome units would be situated in two rows separated by an L-shaped driveway. Two pairs of attached townhomes (four units), divided by a five-foot pedestrian walkway, would have frontage on Cheeney Street. Five attached townhome units would be located to the rear of the site. Each of the nine units would include a private yard.

25-121 Agenda Date: 2/6/2025

Historical Evaluation

A historical resource evaluation (Attachment 3) was prepared by TreanorHL in January 2023 to assess the impact of the project on the historical resource located at 2086 Agnew Road. The Agnew School was constructed ca. 1890 and active until 1927 when the school was closed. The structure has since been utilized as a single-family residence. The evaluation concluded that the proposed project is consistent with standards #9 and #10 of the Secretary of the Interior's Standards for Rehabilitation. The project does not significantly alter the immediate surroundings of the property and is compatible in scale and density as the immediate neighborhood and the project design can easily be distinguished from the historic resource. The project will be constructed 90 feet south of this historical resource and will not diminish the integrity of the historical building or its surrounding.

The second HRI property diagonally adjacent to the project site is a modified Greek Revival located at 4262 Davis Street. The home was constructed circa 1920 and is one of the few Greek Revival type structures that remain in the old Agnew Village today. This resource is located approximately 90 feet from the proposed townhomes. Given the similar distances, staff concluded that the analysis above for the Agnew School property would also apply to the 4262 Davis Street property.

Architectural Review

The surrounding residences are one- and two-story properties with side gable or hip roof forms. The proposed project would match the surrounding two-story hipped roof forms and include combination of wood siding and stucco to be in harmony with the neighborhood.

The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:

- The proposed second-floor windows are oriented towards the front and rear.
- The project proposes a hip roofed style second story which reduces the overall bulk and appearance of the second story.
- The architectural style and design of the proposed addition are true to the architectural form of the existing residence and for the neighborhood.

As proposed, the project would not have a significant adverse visual impact to the integrity of the historic resource at 2086 Agnew Road and 4262 Davis Street. The resources and proposed project do not share the same street frontage and the ADU on the resource site obscures a direct view of the historical building from Cheeney Street. The proposed two-story townhomes will be compatible with the overall neighborhood and will not have an adverse impact on the Historic Resource.

ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration (MND) were prepared for the project in accordance with the California Environmental Quality Act (CEQA). The Draft MND and Notice of Intent were posted on the City's website at Environmental Review/CEQA | City of Santa Clara (santaclaraca.gov) < Chttps://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa and available for public review for 30-days between December

25-121 Agenda Date: 2/6/2025

13, 2024 to January 13, 2025, in accordance with CEQA requirements.

PUBLIC CONTACT

On January 23, 2025 a notice of public hearing was mailed to property owners within 500 feet of the project site. At the time of preparation of this report, the Planning Division has not received any public comments.

RECOMMENDATION

Staff recommends that the Historical and Landmarks Commission find that the proposed project located at 4249 Cheeney Street will not destroy or have a significant adverse effect on the integrity of the HRI listed properties within 200 feet at 2086 Agnew Road and 4262 Davis Street; that the demolition and proposed residence are compatible with the surrounding neighborhood and recommend approval of the Architectural Review at the Development Review Hearing

Prepared by: Steve Le, Senior Planner, Community Development Department Reviewed by: Rebecca Bustos, Principal Planner, Community Development Department Approved by: Lesley Xavier, Planning Manager, Community Development Department

ATTACHMENTS

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Historic Resource Evaluation
- 4. Development Plans

Vicinity Map



Attachment 2: Project Data/Compliance (Multi-Family)

Project Address: 4249 Cheeney Street Project Number: PLN2019-13847

Zoning: R1-6L – Very Low Density Residential

Proposed Zoning: R2 – Low-Density

Residential

Standard	Existing	Proposed	Requirement	Complies? (Y/N)	Waiver?
Lot Area (SF) (min):	22,500	Same	7,000	Y	
Building Square Footage	(SF)				
Each Unit (total square footage) :		2,070		Y	
Porches/Patios:				Y	
Total:		18,610		Y	
Building Coverage (%)					
Building Coverage (All):		44.4%	45%	Y	
Single Family Units Setba	cks (FT)				
Front:		20	15	Y	
Side (left): (right):		5	5	Y	
Side, Corner:				Y	
Rear:		18	15	Y	
Height (FT)					
Each Unit:		25'	32	Y	
Parking:					
Is the site AB 2097 eligible	e?			N	
Off-Street:		20	18	Y	
Guest:		0		Y	
Class 1 Bicycle:		0		Y	
Class 2 Bicycle:		0		Y	
Landscaping					
Open Landscaped Area:					
Landscape Buffer:		Yes		Y	

^{1.} The lot is currently vacant.

TREANORHL

4249 CHEENEY ROAD, SANTA CLARA, CALIFORNIA HISTORIC RESOURCE EVALUATION – POTENTIAL IMPACTS

DRAFT

JANUARY 17, 2023



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1.	INTRODUCTION & METHODOLOGY	.3
2.	2086 AGNEW ROAD	. 4
3.	PROJECT DESCRIPTION	.6
4.	IMPACTS AND MITIGATION MEASURES	. 8
5.	CONCLUSION	.9

Project Name: Cheeney Townhomes HRE
Project #: HP0826.1901.00
January 17, 2023

1. INTRODUCTION & METHODOLOGY

David J. Powers has requested an evaluation of a proposed project located at 4249 Cheeney Street for potential effects to historic resources adjacent to and within 200 feet of the project site. Located approximately 90 feet north of the project site, the building at 2086 Agnew Road (APN 104-12-028) is identified as a locally designated property on the City of Santa Clara's Historic Preservation and Resource Inventory. This report provides a project description, impacts analysis, and mitigation measures pertaining to the proposed project's potential effects on 2086 Agnew Road.

The proposed project was reviewed in October 2019, and since then the design has changed. This updated report takes the latest designs, dated December 15, 2022, from MFA Engineers and Associates, into consideration.

TreanorHL conducted a site visit on January 9, 2023; and reviewed the Santa Clara Historic Preservation and Resource Inventory, Santa Clara City Code Chapter 18.106 Historic Preservation, the DPR form for 2086 Agnew Road, and drawings from MFA Engineers and Associates.



Figure 1. Aerial view of the area; the project site at 4249 Cheeney Street outlined in red and 2086 Agnew Road marked with a star (Google Earth, imagery date March 2022).

Project Name: Cheeney Townhomes HRE Project #: HP0826.1901.00 January 17, 2023



Figure 2. The project site at 4249 Cheeney Street, looking north (Imagery date January 2023).

2. 2086 AGNEW ROAD

The building at 2086 Agnew Road is locally designated as a historic resource. Listed on the City of Santa Clara's Historic Preservation and Resource Inventory, the Agnew School was constructed ca. 1890 and "served the surrounding community until 1927 when it was permanently closed." The building has been used as a residence ever since.¹

Set back approximately 25 feet from the sidewalk, this tall one-story building is T-shaped in plan. The wood-frame structure has horizontal wood siding and a shingle-clad front-facing gabled and hipped roof with an enclosed cornice and a profiled frieze. A brick chimney pierces the roof at the center. The primary window type is wood-sash double-hung with simple wide trim. On the front (north) façade, a partial-width, central gabled porch with square pillars shelters the main entrance, which consists of a single wood door. The porch is raised on a concrete platform with three steps on all sides. A pair of double-hung windows flank each side of the porch. The detached garage at the southeast corner of the parcel is reached by an asphalt driveway. A two-story accessory unit is located to the southwest of the main house.

treanorhl.com 4

¹ City of Santa Clara 2010-2035 General Plan, "8.9 Historic Preservation and Resource Inventory;" City of Santa Clara/Planning, 2086 Agnew Road DPR Form, 1992.



Figure 3. The building at 2086 Agnew Road, view of the north and east facades (Imagery date Janaury 2023).



Figure 4. The building at 2086 Agnew Road, view of the north and west facades (Imagery date January 2023).

Character-defining features of the property include the following:

Tall one-story, T-shaped massing

Project Name: Cheeney Townhomes HRE Project #: HP0826.1901.00

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- Wood-frame construction
- Front-facing gabled (front) and hipped (rear) roof
- Horizontal wood siding
- Symmetrical front (north) façade
- Central partial-width gabled porch with square pillars
- Raised entry platform
- Double-hung wood-sash windows with simple trim

3. PROJECT DESCRIPTION

The project site consists of two adjacent parcels at 4249 Cheeney Street (APN 104-12-025 and 104-12-026) in the Agnew Village neighborhood of the City of Santa Clara. The 150' by 150' site is currently vacant with no existing buildings or infrastructure. Vegetation is grassy with bushes and a handful of small trees. The surrounding lots contain one- or two-story single-family houses, scattered outbuildings, and driveways. A group of two-story townhomes are located immediately east of the project site.

The project proposes nine units of two-story single-family residential townhouses, each with a two-car garage. The garages are accessed by an L-shaped paved surface drive dividing the two rows of buildings. To the north is a set of five townhomes with asphalt-clad front gabled roofs, and to the south, along Cheeney Street, is a set of four units with hipped roofs. Each unit is roughly rectangular in plan and clad in cement plaster and board-and-batten siding. A mix of operable and fixed windows are on all the units.

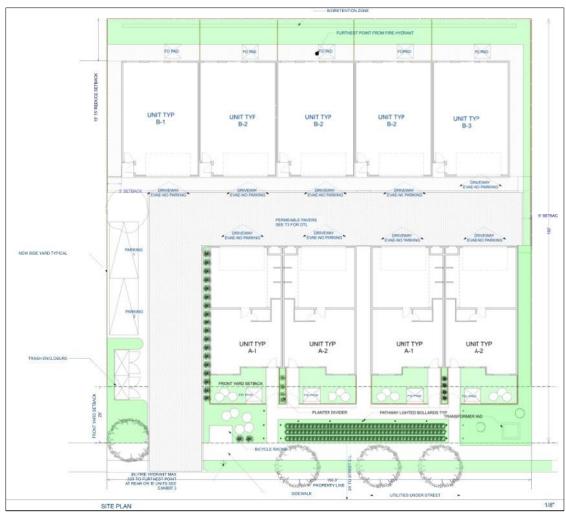


Figure 5. The proposed project, site plan (MFA Construction and Engineering, December 2022).

Project Name: Cheeney Townhomes HRE
Project #: HP0826.1901.00
January 17, 2023



Figure 6. The proposed project, elevations (MFA Construction and Engineering, December 2022).



Figure 7. The proposed project, elevations (MFA Construction and Engineering, December 2022).

4. IMPACTS AND MITIGATION MEASURES

Historical resources include properties eligible for listing on the National Register of Historic Places, the California Register of Historical Resources, or a local register of historical resources (as defined in Public Resources Code §5020.1(k)). As discussed above, 2086 Agnew Road is listed on the *Historic Preservation and Resource Inventory* of Santa Clara. According to Public Resources Code §15064.5(b), a project

Project Name: Cheeney Townhomes HRE Project #: HP0826.1901.00

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would have a significant effect on a historic resource if it would "cause a substantial adverse change in the significance" of that resource. Specifically, "[s]ubstantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."

In case of new construction, the Secretary of the Interior's Standards are applied to determine the compatibility of the proposed project with the existing historic resource. Of the ten Standards for Rehabilitation, only #9 and #10 apply to new construction.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - The proposed development does not significantly alter the immediate surroundings of the property. The density and the scale of the proposed buildings are appropriate with the height of the historic resource at 2086 Agnew Road. The proposed design is modern with simple, cubic forms; therefore, it is easily distinguished from the historic. The proposed materials; i.e. wood and cement plaster, are compatible with the adjacent historic resource and its vicinity. Overall, the project at 4249 Cheeney Street will be compatible with the massing, size, scale, and architectural features of the historic resource at 2086 Agnew Road. Therefore, the proposed project complies with Standard 9.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - The proposed development will be constructed approximately 90 feet south of the historic resource at 2086 Agnew Road. The project will not diminish the integrity of the subject building or its surroundings. If new construction were to be removed in the future, the essential form and integrity of the historic property will be unimpaired. Therefore, the proposed project complies with Standard 10.

5. CONCLUSION

The revised December 2022 project proposed at 4249 Cheeney Street is consistent with the Secretary of the Interior's Standards for Rehabilitation and will not have any impacts on the historic resource at 2086 Agnew Road. The proposed project would not cause 2086 Agnew Road to lose its current historic status as a locally designated resource. The proposed development would be contemporary but compatible with the historic resource and its surroundings. The integrity of the historic resource would not be impaired. The construction of the project would not have a direct impact on 2086 Agnew Road. The proposed project would not have an indirect impact on 2086 Agnew Road from construction activities (i.e. vibration) since the historic resource is not immediately adjacent to the development.

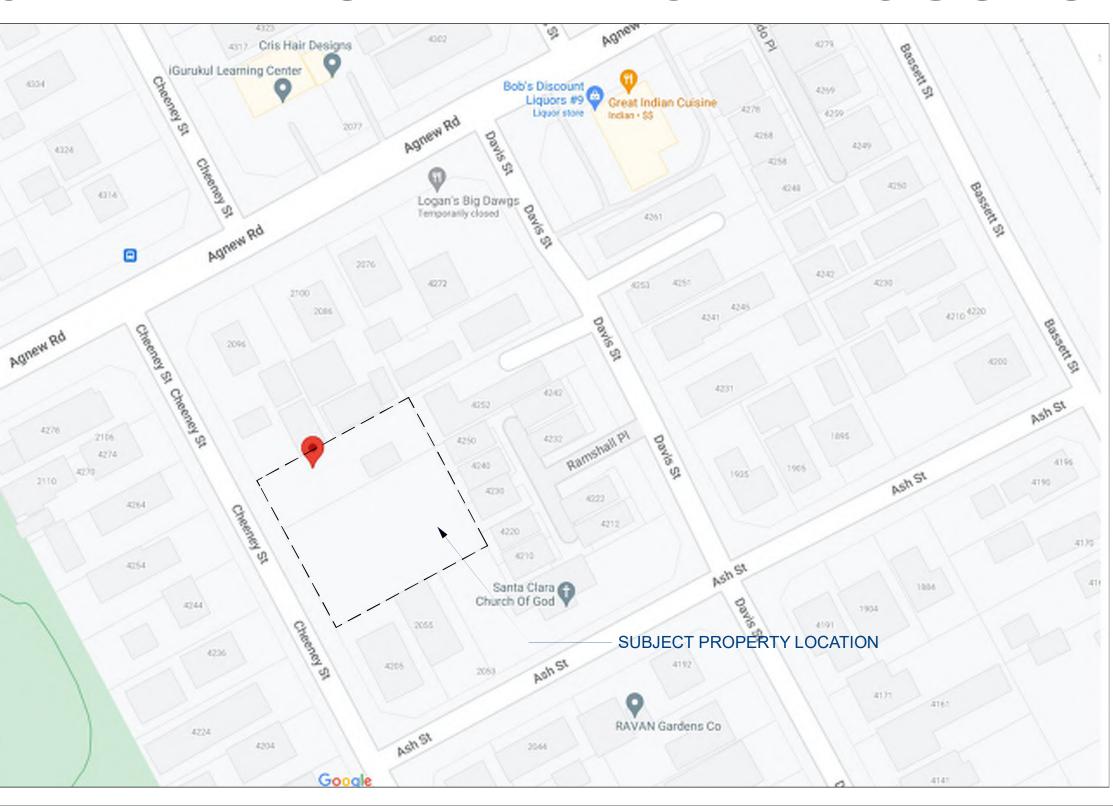
Project Name: Cheeney Townhomes HRE Project #: HP0826.1901.00 January 17, 2023

APPENDIX

MFA Engineers & Associates, Cheeney St. Townhouses Plans, 4249 Cheeney St, Santa Clara, CA 95054, 12/19/2022

SYMBOLS:		/	ABBREVIATIO	NS:		APPLICABLE CODES:
BUILDING LAYOUT POINT DATUM POINT ELEVATION MATCH LINE PROPERTY LINE DIM. @ F.O.S./STRUC. DIM. @ CENTER LINE DIM. @ F.O.F./CLEAR (N) OR REQUIRED ELEVATION POINT (E) ELEVATION POINT COLUMN GRID DETAIL NO.	+9'-0" A 1	A A.C. ACOUS AC.T. AC.P. A.D. ADJ. AGGR. A.F.F. AL./ALUM. & ANG./< APPROX. ARCH. ASPH. @ BKG. BD. BITUM. BLDG. BLKG. BM. B.O. BOT. B.U. CAB. C.BA. C.B. CEM. CER. C.J. Q CLG. CLKG. CLO. COL. COL.	Aspahlt Concrete Acoustical Acoustical Tile Acoustical Panel Area Drain Adjustable Aggregate Above Finished Floor Aluminum And Angle Approximate Architectural Asphalt At Backing Board Bituminous Building Blocking Beam Bottom of Bottom Built-up Cabinet Carpet Base Catch Basin Cement Ceramic Cast Iron Construction/Control Joint Center Line Ceiling Caulking Closet Clear Clean out Column	LB./# L.F. LKR. LT. LG. MAT. M.B. M.C. MD. MECH. MEMB. MET. MFR. MIN. MISC. M.O. MTD. MUL. N (N) N.I.C. NO./# NOM. N.T.S. O O.A. O.C. O.D. O.H. O.F.D. OBS. OFF. OPNG. OPP.	Pound Linear Feet Locker Light Large Material Machine Bolt Medicinal Cabinet Medium Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mullion North New Not In Contract Number Nominal Not to Scale Over Overall On Center Outside Diameter (Dim.) Opposite Hand Overflow Drain Obscure Office Opening Opposite	BUILDING 2019 CALIFORNIA BUILDING CODE (CBC) MECHANICAL 2019 CALIFORNIA MECHANICAL CODE (CMC) PLUMBING 2019 CALIFORNIA PLUMBING CODE (CPC) ELECTRICAL 2019 CALIFORNIA PLUMBING CODE (CPC) ELECTRICAL 2019 CALIFORNIA FIRE CODE (CFC) AND LOCAL ORDINANCE ENERGY 2019 CALIFORNIA T-24- CALIFORNIA ENERGY CODE ACCESSIBILITY: MORE STRINGENT OF CALIFORNIA BUILDING CODE OF APPLICABLE FEDERAL LAWS CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) CITY OF SANTA CLARA, CA MUNICIPAL CODE SHEET INDEX: GENERAL G0.0 COVER SHEET G1.0 3D VIEWS AND MATERIALS ARCHITECTURAL A1.0 SITE PLAN A1.1 LEVEL 1 FLOOR PLAN A1.2 LEVEL 2 FLOOR PLAN
SHEET NO. WALL SECTION NO. SHEET NO.	A6 7 A8	CONC. CONN. CONSTR. CONT. CONTR. CORR. COT.	Concrete Connection Construction Continuous Contractor Corridor Carpet	P.C. P.G.B. PKG. PRCST. PL. P.LAM.	Painted Concrete Painted Gypsum Board Parking Pre-Cast Plate Plastic Laminate	A1.3 ROOF PLAN A2.0 ELEVATIONS - A UNITS A2.1 ELEVATIONS - B UNITS A3.0 SITE SECTIONS
BUILDING SECTION	9 A2	C.P. C.SQ. CTSK. C.M.U./CMU CNTR. C.T.	Cement Plaster Carpet Square Countersink Conc. Masonry Unit Counter Ceramic Tile	PLAS. PLYWD. PR. PT. P.T.D. P.T.D/R.	Paster Plywood Pair Point Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle	CIVIL C1 TITLE SHEET
INTERIOR ELEVATION	4 9 2 3	CTR. C.W. DAT. DBL. DEPT. D.F.	Center Curtain Wall Datum Double Department Drinking Fountain	PTN. P.T.R. Q QTY. Q.T.	Partition Paper Towel Receptacle Quantity Quarry Tile	C2 DEMOLITION PLAN C3 PRE AND POST DEVELOPMENT PLAN C4 STORM WATER CONTROL PLAN AND SECTIONS C5 GRADING AND DRAINAGE PLAN C6 BUILDING CROSS SECTIONS
DOOR NO. DOOR TYPE WINDOW NO.	# A > 5	DET. DIA. DIM. DISP. DKG. DN. D.O.	Detail Diameter Dimension Dispenser Decking Down Door Opening	R. RAD. R.B4 R.B6 R.D. REF.	Riser Radius 4" Rubber Top Set Base 6" Rubber Top Set Base Roof Drain Reference	C7 UTILITY PLAN C8 EROSION CONTROL PLAN C8 EROSION CONTROL DETAILS T1 TENTATIVE MAP
REVISION NO.	ENTRY	D.P. DR. DWR. DS. D.S.P. DWG.	Dimension Point Door Drawer Downspout Dry Standpipe Drawing	REFR. REINF. REQ. RESIL. R.F. RFG. RGTR.	Refrigerator Reinforced Required Resilient Resilient Flooring Roofing Register	T2 TENTATIVE MAP - EXISTING SITE CONDITIONS LANDSCAPE
ROOM NO. EARTH	100	E (E) EA. E.J. EL./ELEV. ELEC.	East Existing Each Expansion Joint Elevation Electrical	RHWS. RM. RND. R.O. RWD. R.W.L.	Round Head Wood Screw Room Round Rough Opening Redwood Rain Water Leader	L1.1 PRELIMINARY PLANTING PLAN L1.2 TREE INVENTORY PLAN ELECTRICAL
POROUS FILL/ GRAVEL/ROCK SAND/MORTAR/		ELEV. EMER. ENCL. E.P. EQ. EQUIP.	Elevator Emergency Enclosure Electrical Panelboard Equal Equipment	S s.c. s.c.d. s.conc. sched.	South Solid Core Seat Cover Dispenser Sealed Concrete Schedule	E0.00 COVER SHEET, GENERAL NOTES, & INDEX E1.00 ONE-LINE DIAGRAM, PANEL & FAULT SCHEDULES
CEMENT PLASTER CONCRETE	24	E.W.C. EXPO. EXP. EXT.	Electrical Water Cooler Exposed Expansion Exterior Fire Alarm Furnished by Owner	S.D. SECT. SH. SHR. SHT. SIM.	Soap Dispenser Section Shelf Shower Sheet Similar	E1.01 LUMINAIRE SCHEDULE E2.00 SITE PLAN E3.00 TYPICAL UNIT POWER PLAN E3.01 TYPICAL UNIT POWER PLAN
MASONRY WALL		F.B.O. F.D. FDN. F.E. F.E.C. F.F.	Furnished by Owner Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cab. Finish Floor	SHT.MET. SM. S.N.D. SD.INSUL. SPEC. SQ.	Sheet Metal Small Sanitary Napkin Dispenser Sound Insulation Specification	MECHANICAL MO O A FOEND CENERAL NOTES DRAWINGS INDEX
BRICK/BRICK VENEER/ PAVER QUARRY/ CERAMIC TITLE		F.G. F.H.C. FHWS. FIN. FL. FLASH.	Fixed Glass Fire Hose Cabinet Flat Head Wood Screw Finish Floor Flashing	S.S.P. S.S.D. S.SK. S.STL. STA. STD.	Square See Structural Plans See Structural Drawings Service Sink Stainless Steel Station Standard	M0.0 LEGEND, GENERAL NOTES, DRAWINGS INDEX M0.1 PROJECT NOTES M0.3 MECHANICAL SCHEDULES M2.0 HVAC PLAN - FIRST FLOOR M2.1 HVAC PLAN - SECOND FLOOR
PLYWOOD		FLUOR. F.O.C. F.O.F. F.O.M. F.O.S. FRPF.	Fluorescent Face of Concrete Face of Finish Face of Masonry Face of Studs Fireproof	STL. STOR. STRUC. SUSP. S.V. SYM.	Steel Storage Structure/Structural Suspended Sheet Vinyl Symmetrical	M2.2 HVAC PLAN - ROOF M7.0 TITLE 24 COMPLIANCE FORMS M7.1 TITLE 24 COMPLIANCE FORMS M7.2 TITLE 24 COMPLIANCE FORMS
ROUGH WOOD		FR. FRG. F.S. F.S.R.	Frame Framing Full Size Fire Sprinkler Riser	SYS. TRD. T.B.	System Tread Towel Bar	PLUMBING
FINISH WOOD		FT. FTG. FURR. FUT./(F)	Foot or Feet Footing Furring Future	T.C. TEL. TEMP. TER.	Top of Curb Telephone Temporary Terrazzo	P000 LEGEND, NOTES, AND DRAWING INDEX P001 NOTES AND CALCULATIONS
METAL		G GA. GALV. G.B. G.CONC.	Gauge Galvanized Grab Bar Gunite Concrete	T.&G. T.G.B. THK. T.O. T.O.C.	Tongue & Groove Textured Gypsum Board Thick Top of	P002 SCHEDULES AND CALCULATIONS P200 UNDERSLAB WASTE AND VENT PLAN P201 LEVEL 1 WASTE & VENT PLAN
GYPSUM BOARD		GL. GND. GR. GYP.	Glass Ground Grade Gypsum	T.O.C. T.P.D. T.V. T.O.W. TYP.	Top of Concrete Toilet Paper Dispenser Television Top of Wall Typical	P201 LEVEL I WASTE & VENT PLAN P202 LEVEL 2 WASTE & VENT PLAN P203 ROOF PLUMBING PLAN P301 LEVEL 1 SUPPLY PLAN
PROTECTION BOARD		HB. H.C. H.D. HDCP.	Hose Bibb Hollow Core Hot Dipped Handicapped	UNF. U.O.N. UR.	Unfinished Unless Otherwise Noted Urinal	P302 LEVEL 2 SUPPLY PLAN P401 WASTE & VENT RISER DIAGRAM
ACOUSTICAL TILE		HDWD. HDWR. H.M. HORIZ.	Hardwood Hardware Hollow Metal Horizontal	VCR VCT VERT.	Vinyl Carpet Reducer Vinyl Composition Tile Vertical	P501 SUPPLY RISER DIAGRAM P700 DETAILS P701 DETAILS
GLASS		HR. HGT.	Hour Height Inside Diameter	VEST. VEST. V.T. V.W.C.	Vertical Vestibule Vinyl Tile Vinyl Wall Convering	
WATERPROOFING/ FLASHING BLANKET OR BATT INSULATION		IN. INCL. INSUL. INT. JAN.	Inch or Inches Include Insulation Interior Janitor	W W/ W.C. WD. WDW.	West With Water Closet Wood Window	

CHEENEY STREET TOWNHOUSES



PROJECT TEAM:

OWNER:	DESIGNER/ENGINEE

1190 PARK AVE

SAN JOSE, CA 95126

MARUTI BUILDERS, INC. 859 ALISAL CT. MILPITAS, CA 95051

T. (408) 431-7003 F. 000-000-000 maruti@builders.com

LC ENGINEERING

SAN JOSE, CA 95112

T. (408) 806-7187 nle@lcengineering.net

SUITE 270

NINH LE

CIVIL ENGINEER:

598 E SANTA CLARA STREET

ALI ABIANI

SAUL FLORES/JUAN C. NAVARRO T. (408) 710-6725/(408)205-9812 saul@groundzerosj.com

MFA CONSTRUCTION AND ENGINEERING

LANDSCAPE ARCHITECT: GROUND ZERO CONSTRUCTION, INC.

7076 KINDRA HILL DRIVE SAN JOSE, CA 95120 SAUL FLORES T. (408) 680-2929

F. 000-000-000 saul@groundzerosj.com

MEP ENGINEERING:

ROBISON ENGINEERING, INC 19401 40TH AVENUE COURT LYNWOOD, WA 98036

JON ROBISON T. 206.364.3343 jrobison@robisonengineering.com

PROJECT SUMMARY AND SCOPE OF WORK:

THE PROJECT SITE IS A 22,500 SQUARE FEET COMBINED LOTS IN THE AGNEW'S VILLAGE NEIGHBORHOOD OF THE CITY OF SANTA CLARA. ADJACENT PARCELS 104-12-025 AND 104-12-026 FROM THE SITE WHICH HAS A150' LONG WESTERN FRONTAGE ALONG CHEENEY STREET

THE 150' X 150' PROJECT SITE IS CURRENTLY VACANT WITH NO EXISTING BUILDINGS OR INFRASTRUCTURE, UTILITIES RUN BELOW CHEENEY STREET, WITH ABOVE GROUND POWER LINES COLINEAR WITH THE SIDEWALK.

THE PROPOSED PROJECT RECEIVED EARLY CONSIDERATION APPROVAL FOR REASSIGNMENT OF USE DESIGNATION FROM VERY LOW DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL, ALLOWING FOR UP TO 9 UNITS ON THIS HALF ACRE SITE. THE SCHEME INTRODUCES 9 TOTAL DWELLING UNITS; EACH UNIT CONTAINS A 2-CAR GARAGE AND DRIVEWAY ACCESS VIA A PERMEABLE PAVED SURFACE LOT.

THE PROPOSED TOWNHOMES WOULD CONTAIN APPROXIMATELY 15,520 TOTAL SQUARE FEET OF INTERIOR HABITABLE SPACES, EACH OWNERSHIP UNIT AT ROUGHLY 1,724 SQUARE FEET IN AREA. EACH DWELLING IS TWO STORY AND HAS 3 BEDROOMS AND 2-1/2 BATHS.

PROJECT DATA MATRIX:

PROJECT DATA MATR	IV.	
	AREA	LOT COVERAGE
LOT	22,500 SF	
LEVEL 1 (SITE TOTAL)	10,121 SF	44.9%
LEVEL 2 (SITE TOTAL)	10,134 SF	-
BUILDING TOTAL	20,255 SF	
PAVING (PERMEABLE)	6,300 SF	28%
IMPERMEABLE SURFACE (PAVING & BUILDING SLAB)	12,187 SF	54%
LANDSCAPE	4,016 SF	17%
GUEST PARKING SPACES REQUIRED: 2		
GUEST PARKING SPACES PROVIDED: 2		

MFA

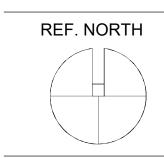
ENGINEERS & ASSOCIATES

370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



DATE:	12/19/2022
PROJECT No.	39-071322

COVER SHEET



(C)2022

MFA CONSTRUCTION AND ENGINEERING



PINK CRAPE MYRTLE

TUPELO





LITTLE GEM MAGNOLIA



AMBER MONROVIA



ELIJAH BLUE FESCUE



SISKIYOU BLUE FESCUE



CEMENT PLASTER - PAINTED LIGHT TAN



BOARD AND BATTEN SIDING - PAINTED LIGHT GREY



VIEW 2 FACING TYPE 'B' UNITS



MFA

ENGINEERS & ASSOCIATES

370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net

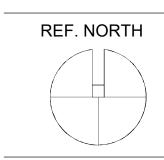


EENEY ST TOWNHOUSE

N.T.S.

	40/47/0000
DATE:	12/17/2022
PROJECT No.	39-071322

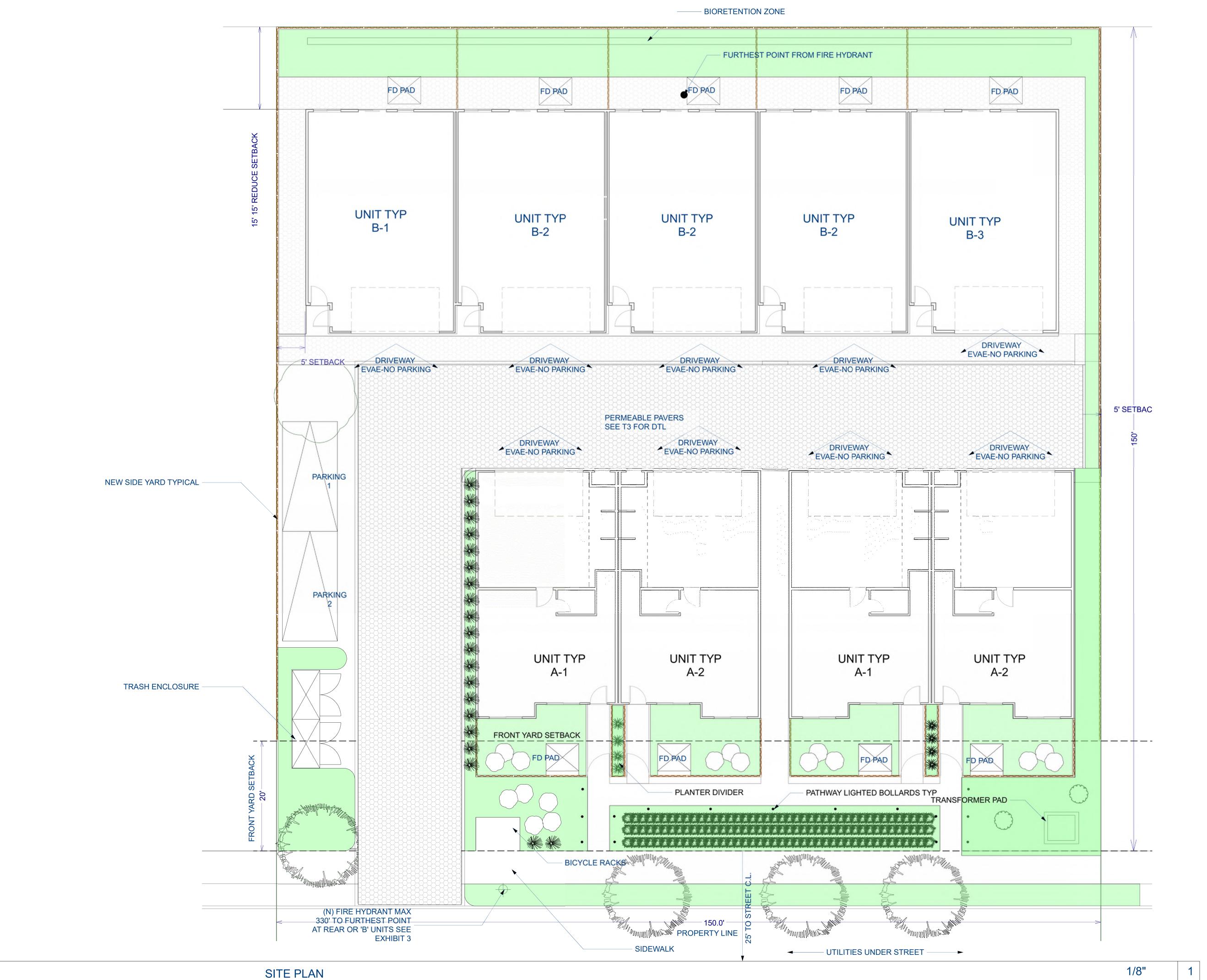
3D VIEWS AND MATERIALS



C)2022

G1.0

MFA CONSTRUCTION AND ENGINEERING



MFA

ENGINEERS & ASSOCIATES

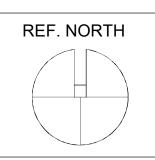
370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



HEENEY ST TOWNHOUSES

DATE:	12/15/2022
PROJECT No.	39-071322

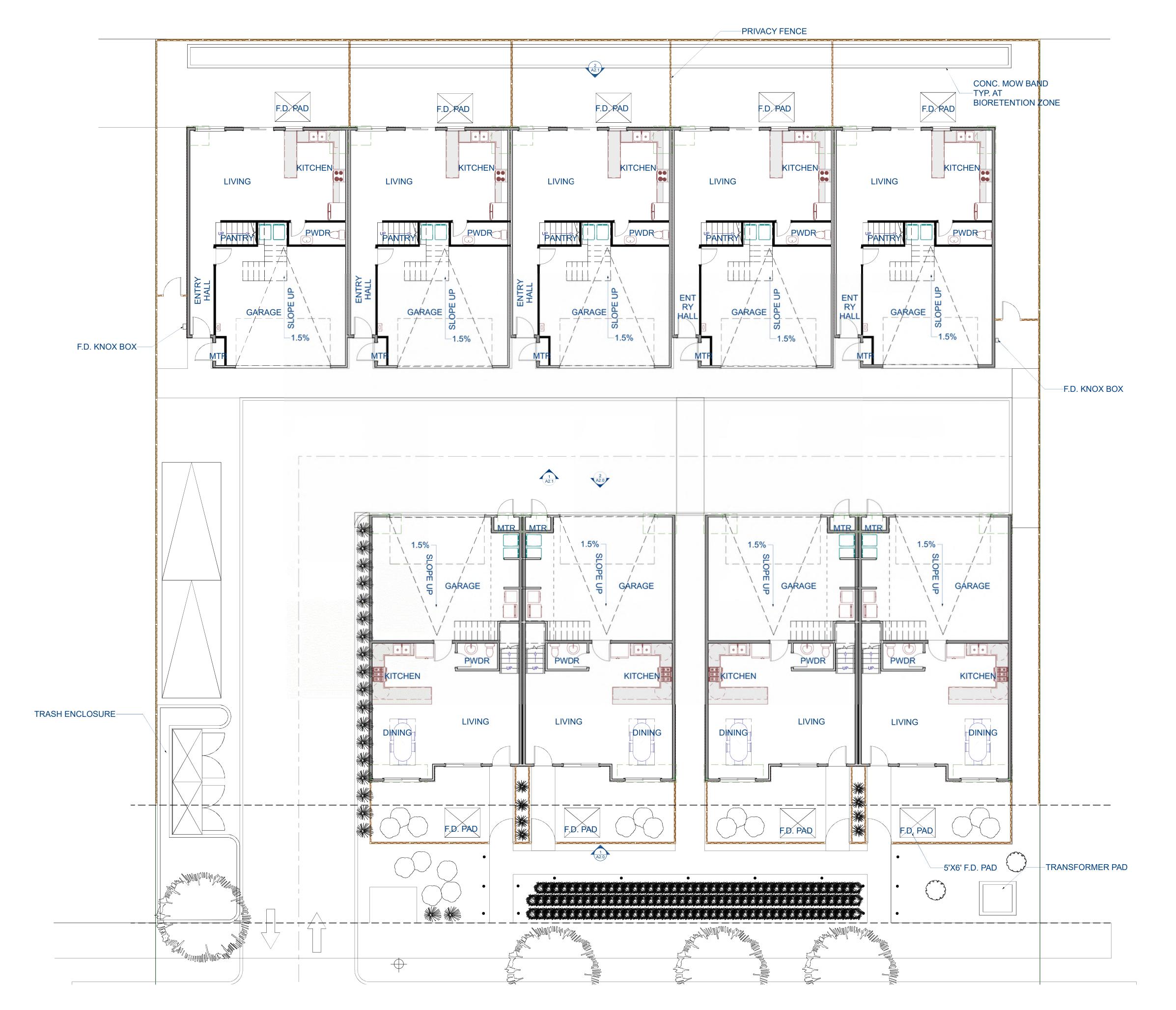
SITE PLAN



A1.0

C)2022

MFA CONSTRUCTION AND ENGINEERING





ENGINEERS & ASSOCIATES

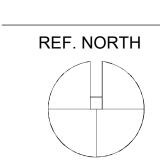
370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



CHEENEY ST TOWNHOUSES

DATE:	12/16/2022
PROJECT No.	39-071322

LEVEL ONE



A1.1

C)2022

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MFA

ENGINEERS & ASSOCIATES

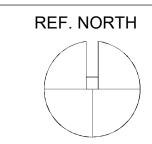
370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



TOWNHOUSES

DATE:	12/15/2022
PROJECT No.	39-071322

LEVEL TWO



A1.2

C)2022

MFA CONSTRUCTION AND ENGINEERING

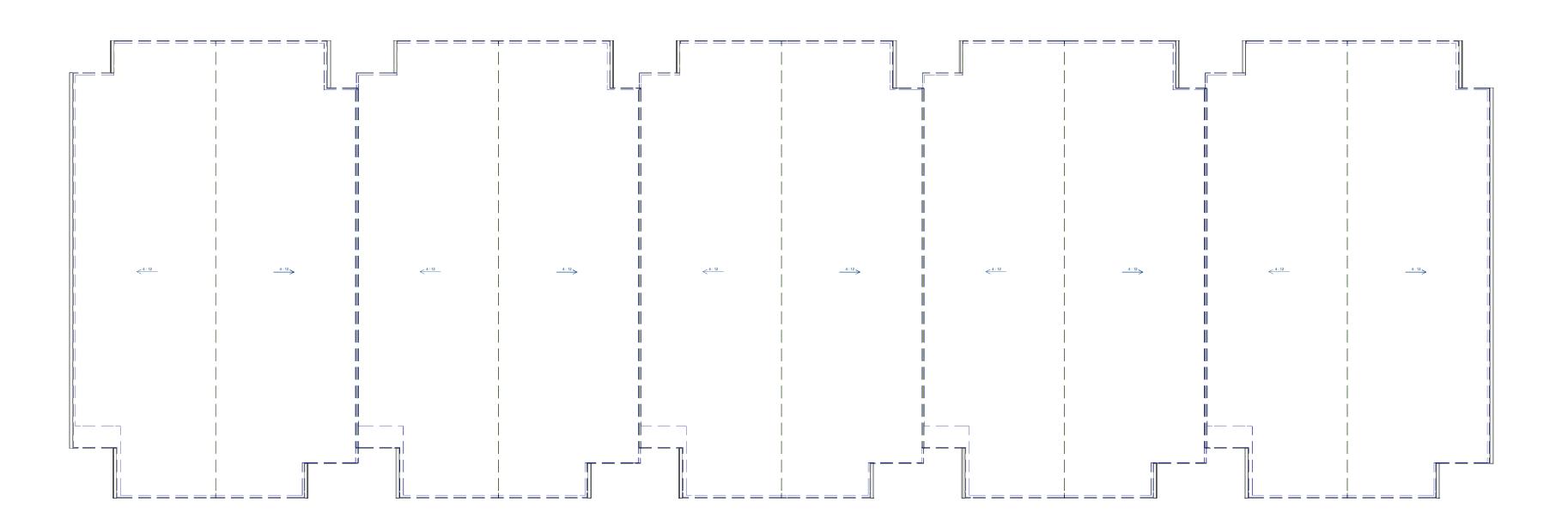




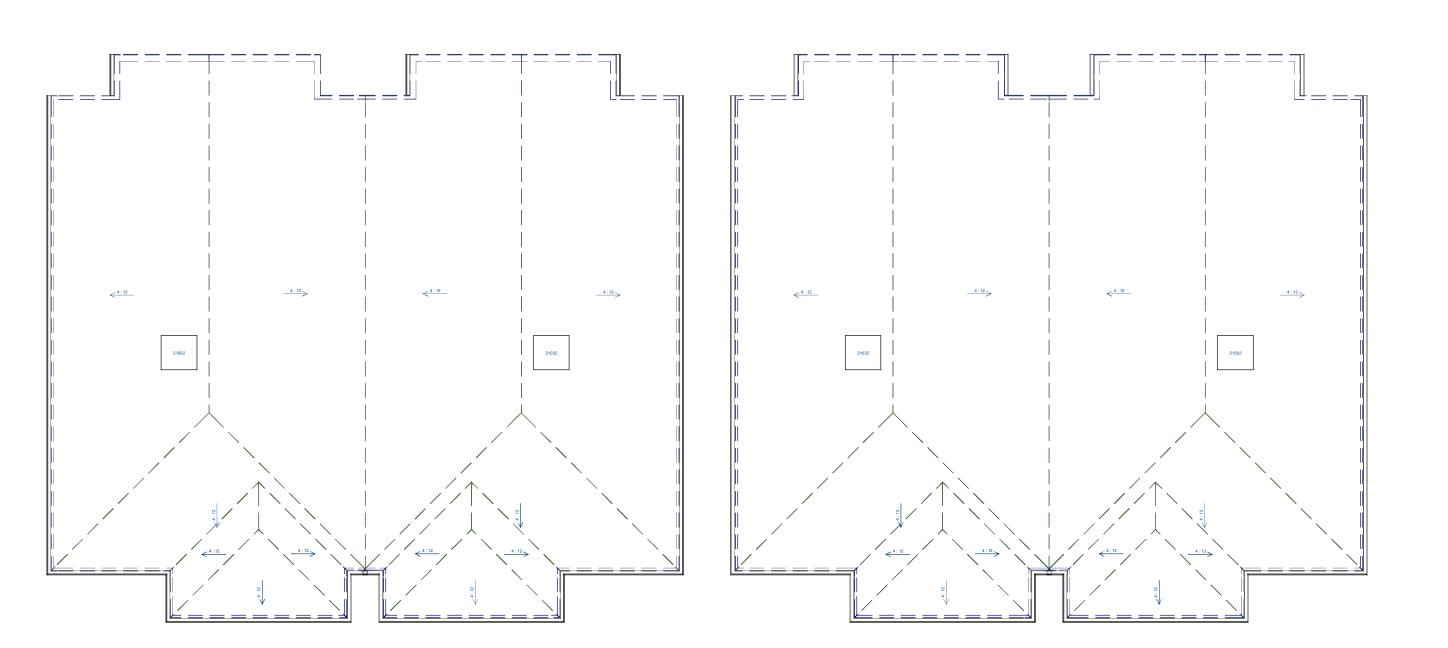
1 A2.0

LEVEL TWO

1/8"



ROOF PLAN



MFA

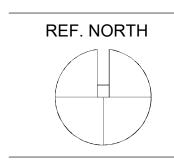
ENGINEERS & ASSOCIATES

370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



DATE:	12/15/2022
PROJECT No.	39-071322

ROOF PLAN



A1.3

MFA CONSTRUCTION AND ENGINEERING

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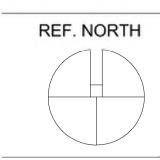
REAR ELEVATION UNITS 'A'

TOWNHOUSES

25-0" TO T.O.R. 25-0" TO T.O.R.

DATE:	12/15/2022
PROJECT No.	39-071322

ELEVATIONS UNITS 'A'



A2.0

FRONT ELEVATION UNITS 'A'

3/16

MFA CONSTRUCTION AND ENGINEERING C)2022

MFA

ENGINEERS & ASSOCIATES

370 GRAND PARK CIRCLE SAN JOSE, CA 95136 Tel: (408) 509-3461 aliabiani@sbcglobal.net



- DARK GREY BOARD AND BATTEN



- 3-COAT STUCCO OVER 2-LAYERS OF GRADE 'D' BUILDING PAPER ACRYLIC SMOOTH FINISH

REAR ELEVATION UNITS 'B'

3/16



FINISH

3-COAT STUCCO OVER 2-LAYERS OF GRADE
- 'D' BUILDING PAPER ACRYLIC SMOOTH

A2.1

12/15/2022

39-071322

MFA CONSTRUCTION AND ENGINEERING C2022

ELEVATIONS

UNITS 'B'

PROJECT No.

REF. NORTH

ADJACENT RESIDENCE ADJACENT RESIDENCE ADJACENT RESIDENCE ADJACENT RESIDENCE



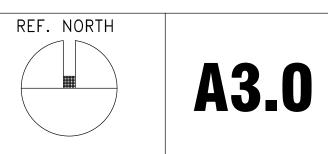


CHEENEY ST TOWNHOUSES 4249 CHEENEY ST, SANTA CLARA, CA 95054

REVISION	DATE
	REVISION

DATE:	August 23, 2022
PROJECT No.	10-042122

SITE SECTIONS



ADJACENT TOWNHOME 20'-0"	BIORETENTION ZONE ADJACENT RESIDENCE BEYOND (N) WOOD FENCE BEYOND (N) FIRE HYDRANT CHEENEY ST
	UNIT TYPE B1

SITE SECTION N-S

3/32"

GRADING AND DRAINAGE IMPROVEMENTS

STANDARD GRADING NOTES

- PRIOR TO COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION ION MEETING. THE MEETING SHALL INCLUDE THE CITY OF WATSONVILLE GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK / GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS—OF—WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE
- ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE CITY WATER DISTRICT.
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER: LC ENGINEERING, 598 E SANTA CLARA STREET #270, SAN JOSE, CA 95112 HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY: ___
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- 10. ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- 11. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.
- 12. ALL GRADING SHALL COMPLY WITH THE CITY OF SANTA CLARA STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING 11/26/2018.
- 13. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- 14. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
- 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- 16. ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- 17. EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2%.
- 19. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- 20. SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX J, 2016 OF THE UNIFORM BUILDING CODE.
- 21. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- 22. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- 23. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- 24. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- 25. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- 26. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 27. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 28. DURING THE PROGRESS OF THE WORK. THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- 29. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- 30. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL: UNDERGROUND SERVICE ALERT (USA)
- 32. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF DRAINAGE SYSTEM.

- 33. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF 1. CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- 35. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2016 UNIFORM BUILDING CODE.

DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- 2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND 8. PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER WHEN DUST IS READILY VISIBLE IN THE AIR.
- 4. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY. BUT NOT LESS THAN TWICE DAILY.

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - A. THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - B. THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION

◆ BENCHMARK B-8A

ELEVATION = 13.77'. LOCATED AT AGNEW ROAD, SOUTH SIDE, OPPOSITE GARRITY, CHISELED CROSS ON TOP OF CATCH BASIN HOOD.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHEENEY STREET, AS FOUND MONUMENTED AS N28°14'30"W SHOWN ON PARCEL MAP, RECORDED IN BOOK 476 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

SCOPE OF WORK

- 1. DEMOLISH EXISTING DRIVEWAY, BRICKS, SHED AND REMOVE TREES
- 2. REMOVE EXISTING CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK, UTILITIES. RELOCATE EXISTING POWER POLES WITHIN RIGHT OF WAY
- 3. 9 TOWNHOUSE DEVELOPMENT AND 10 LOT SUBDIVISION
- 4. GRADE DRIVEWAY & HOUSES; INSTALL DRAINAGE FACILITIES, EROSION AND SEDIMENT CONTROL, DRIVEWAY AND DRIVEWAY APPROACH, DRAINAGE IMPROVEMENTS; & SEED ALL DISTURBED AREAS.
- 5. CONSTRUCT CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK WITHIN
- 6. INSTALL UTILITY LINES AND SERVICES ON-SITE AND WITHIN RIGHT OF WAY
- 7. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION

PROJECT NOTES:

- CONSTRUCTION. 2. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS
- SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY. 5. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN
- 4. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER. 5. THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON- FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM
- 6. OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO THE START OF ANY DRIVEWAY APPROACH DEMOLITION OR CONSTRUCTION AT THE STREET. CONTACT PUBLIC WORKS
- ENGINEER FOR INFORMATION REGARDING OBTAINING AN ENCROACHMENT PERMIT. 7. ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT

(IN WRITING) WHICH SHALL STATE THE FOLLOWING:

- THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
- THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- 9. PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD. FOUNDATION. FINISH GRADING. AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.
- 10. PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK OR GRADING ACTIVITIES, INCLUDING BASEMENT EXCAVATION AND TRENCHING THAT EXCEEDS 5 FOOT IN DEPTH, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF WATSONVILLE GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. the PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK / GRADING ACTIVITIES.
- 11. EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. AT THE PRE-CONSTRUCTION MEETING, THE EXCAVATION CONTRACTOR SHALL SUBMIT PROOF, TO THE CITY BUILDING INSPECTOR, THAT SHOWS HE OR SHE HAS RECEIVED SUCH A PERMIT FROM DOSH.
- 12. PRIOR TO ANY GRADING, SCRAPING OR TRENCHING WITHIN/ UNDER THE CANOPY OF A PROTECTED TREE, A CERTIFIED ARBORIST SHALL BE RETAINED TO PROVIDE SUPERVISION AND RECOMMENDATIONS TO MINIMIZE POSSIBLE DAMAGE TO THE TREE. THE PROPOSED TRENCHING SHALL BE APPROVED BY THE CITY OF WATSONVILLE PLANNING DEPARTMENT PRIOR TO COMMENCING DIGGING.

1. PROJECT NAME: CHEENEY STREET TOWNHOUSES

2. ASSESSOR PARCEL NO: 104-12-025 & 104-12-026

SITE ADDRESS: CHEENEY STREET, SANTA CLARA, CA 95054

4. LOT AREA: 0.2± ACRES (GROSS AREA)

5. OWNER: GROUND ZERO CONSTRUCTION

ADDRESS: 101 SOUTH SANTA CRUZ AVE, UNIT 33192,

LOS GATOS, CA 95031

TELEPHONE: (408)-710-6725 6. ENGINEER: NINH M LE, PE

ADDRESS: 598 E SANTA CLARA ST #270, SAN JOSE, CA 95112

TELEPHONE: (408)-806-7187

7. SURVEYOR: TOM H. MILO

ADDRESS: 2250 BOHANNON DRIVE, SAN CLARA, CA 95050

TELEPHONE: (408)-761-5867 RM-3 MULTIPLE RESIDENTIAL-HIGH DENSITY 8. EXISTING ZONING:

9. PROPOSED ZONING: NO CHANGE

10. EXISTING USE: VACANT

11. PROPOSED USE: RESIDENTIAL

12. PROPOSED NUMBER OF LOTS: 9 LOT

13. ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN

14. PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN WILL BE CONSTRUCTED AS

PER LOCAL AGENCY STANDARDS. 15. WATER: SANTA CLARA WATER AND UTILITIES

16. SEWER: SANTA CLARA WATER AND UTILITIES

17. STORM: SANTA CLARA WATER AND UTILITIES

18. GAS & ELECTRIC: PG&E

19. TELEPHONE: AT&T 20. CABLE TV: COMCAST

EXPORT ____O CY

- 21. IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
- 22. IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
- 23. REMOVE ALL EXISTING IMPROVEMENT WITHIN THE PROPERTY LIMITS

EARTHWORK QUANTITIES

 $CUT = 21 CY ; MAXIMUM CUT DEPTH = 0.50' \pm$ $FILL = 169 CY ; MAXIMUM CUT DEPTH = 0.66' \pm$ IMPORT ____148__ CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

SHEET INDEX:

SHEET C1: TITLE SHEET SHEET C2: DEMOLITION PLAN

SHEET C3: PRE & POST DEVELOPMENT PLAN

BLDG

CED

COP

CSD

ΕM

EOH

MW

NTS

PAD

PSE

PWLE

PVMT

PVC

RW

R/W

SS

STA

TYP

UGEE

VEG

WLK

WM

PSDRE

LIP OF GUTTER

MAXIMUM

MANHOLE

MINIMUM

LANDSCAPED ARFA

MONUMENT WELL

ORIGINAL GROUND

PAD ELEVATION

PROPERTY LINE

POWER POLE

PAVEMENT

RADIUS

STATION

SIDEWALK

TOP OF BANK

TOP OF CURB

TOP OF GRATE

TOP OF WALL

VEGETATED

TYPICAL

WATER

WALKWAY

WATER METER

WATER VALVE

PAVEMENT FINISH GRADE

PUBLIC SERVICE EASEMENT

SANITARY SEWER/LATERAL

UNDERGROUND ELECTRICAL EASEMENT

SILICON VALLEY POWER

PRIVATE WATER LINE EASEMENT

PRIVATE STORM DRAIN

RELEASE EASEMENT

POLYVINYL CHLORIDE

RETAINING WALL

RIGHT OF WAY

STORM DRAIN

NOT TO SCALE

OVERHEAD

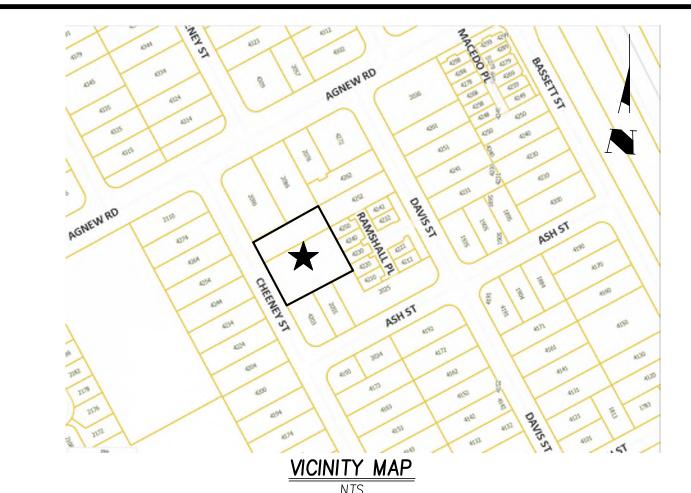
SHEET C4: STORMWATER CONTROL PLAN

SHEET C5: GRADING AND DRAINAGE PLAN

SHEET C6: BUILDING CROSS SECTIONS & DETAILS SHEET C7: UTILITY PLAN

SHEET C8: EROSION CONTROL PLAN

SHEET C9: EROSION CONTROL DETAILS



LEGEND & ABBREVIATIONS AGGREGATE BASE BENCHMARK lacktriangleASPHALT CONCRETE BUILDING CB CATCH BASIN BUILDING SETBACK LINE BOTTOM OF WALL/BACK OF WALK COBBLE ROCK ENERGY DISSIPATOR COBBLE ROCK ENERGY DISSIPATOR CONCRETE CURB & GUTTER ——550 —— CONTOUR: EXISTING CENTERLINE —— 550 —— CONTOUR: PROPOSED OR NEW SANITARY SEWER CLEANOUT CURB OPENING 100.46 DESIGN GRADE CONCRETE DOWNSPOUT WITH SPLASHBLOCK 1 CITY STANDARD DETAIL DRAINAGE INLET DIVERSION VALVE DOWNSPOUT EXTENDABLE BACKWATER VALVE DRIVEWAY (SEE PROJECT NOTES) EASEMENT ELEVATION ——···→ DRAINAGE SWALE ELECTRIC METER --- -- EASEMENT LINE ELECTRIC OVERHEAD +101.70 OR (101.70) EXISTING ELEVATION ELECTRIC UNDERGROUND EDGE OF PAVEMENT -X X EXISTING FENCE EXISTING EXISTING TREE TO BE REMOVED EMERGENCY VEHICLE ACCESS EASEMENT EXISTING TREE TO REMAIN FACE OF CURB FOUND ELECTRICAL METER FINISH ELEVATION OF SUBFLOOR FOUND IRON PIPE AT PROPERTY CORNER GROUND FINISH GRADE FIRE HYDRANT —O——— FILTER FABRIC ROLLS FLOW LINE GAS METER GARAGE SLAB ELEVATION/GAS LINE GAS VALVE GAS METER HIGH POINT ~~~ GRADE TO DRAIN INVFRT GUY POLE IRON PIPE GUY WIRE ANCHOR JOINT TRENCH

POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE PROJECT SITE RETAINING WALL PRIVATE SANITARY SEWER EASEMENT — — — RIGHT OF WAY © SANITARY SEWER CLEAN OUT MANHOLE (3) SANITARY SEWER MANHOLE STORM DRAIN MANHOLF TEL TELEPHONE BOX TOP OF FILL TOE OF FILL TOP OF CUT TOE OF CUT — W — UTILITY: EXISTING

WELL

PGE

WATER METER WATER VALVE

EXISTING FIRE HYDRANT

JOINT POLE

LIGHTING POLE

LIGHTING

PGE BOX

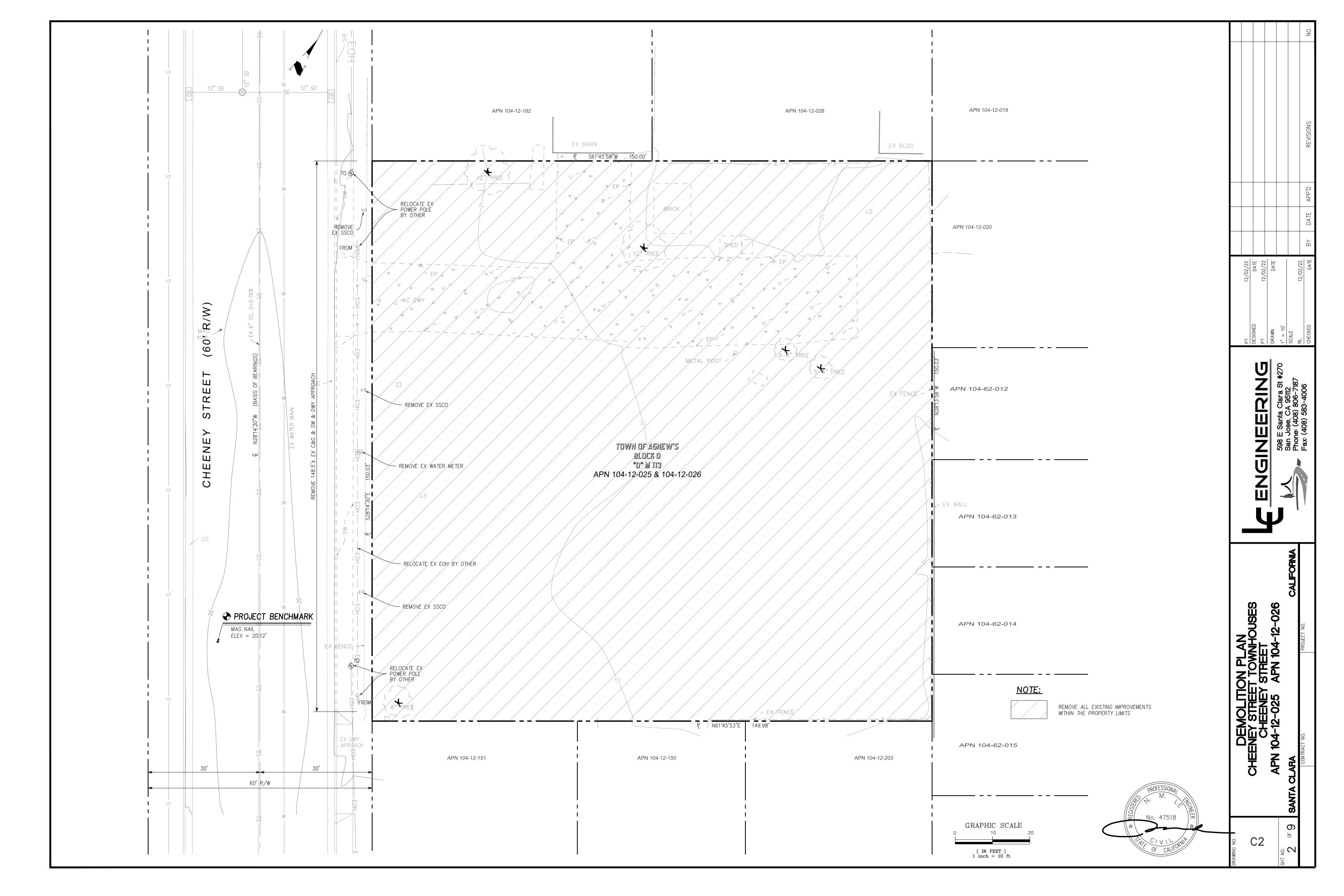
HYDRANT: PROPOSED OR NEW

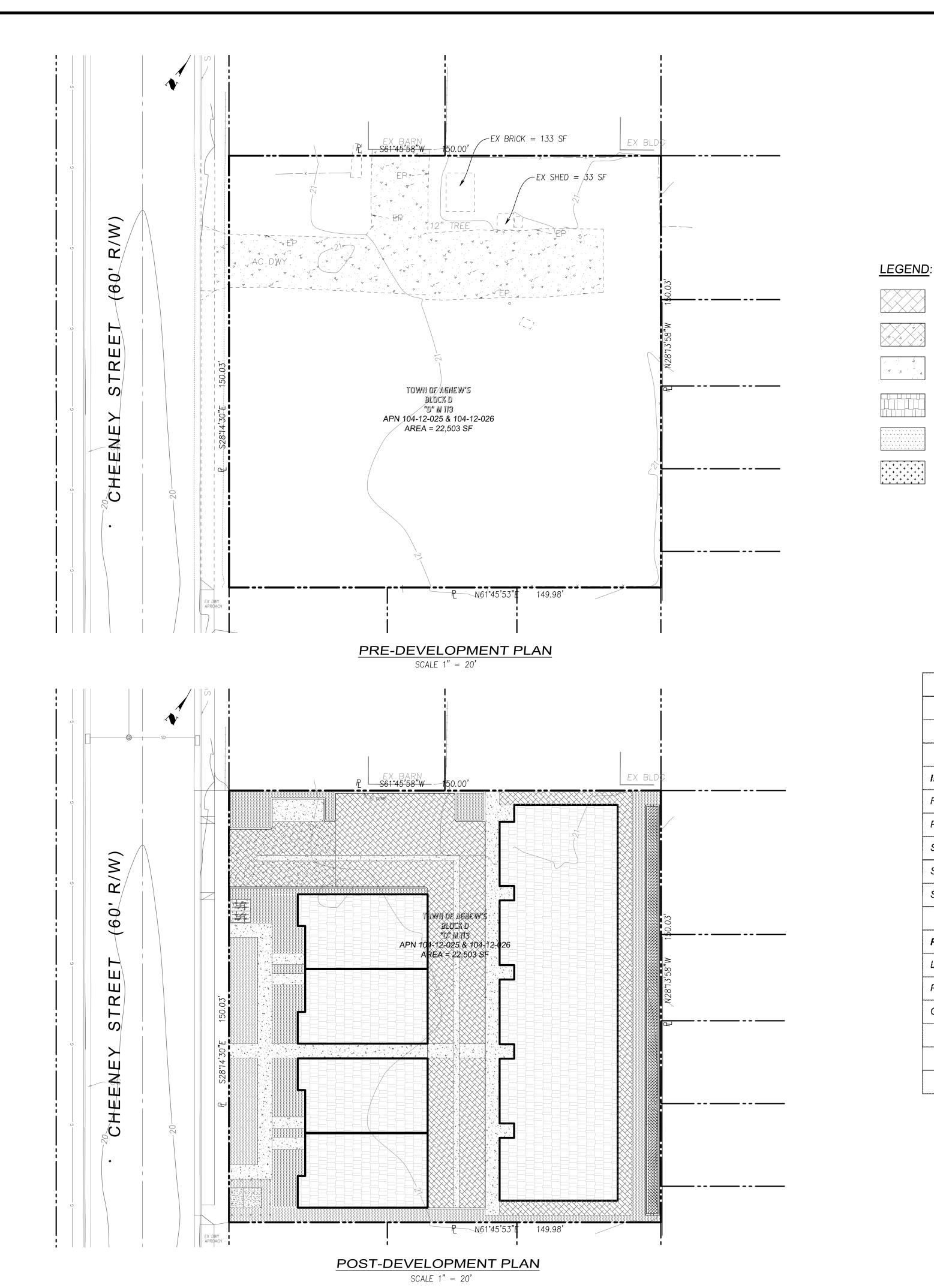
OVERLAND FLOW DIRECTION

INLET 6"x6" GRATE OTHERWISE NOTED

0

1 17





PRE - DEVELOPMENT

NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	CONCRETE DRIVEWAY	3,410 SF	
2	SHED & BRICK	166 SF	
3	LANDSCAPING		18,928 SF
	TOTAL	3,576 SF	18,928 SF

POST - DEVELOPMENT

PERMEABLE PAVER AREA

CONCRETE AREA

LANDSCAPE AREA

BIO-RETENTION

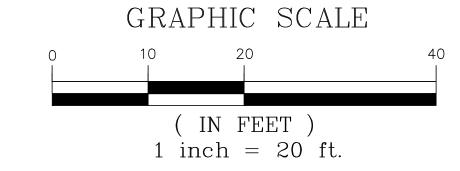
PAVER W/ CONCRETE BELOW

NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	BUILDING	10,017 SF	
2	CONCRETE AREA	2,061 SF	
3	PAVER W/ CONCRETE BELOW	885 SF	
4	PERMEABLE PAVER DRIVEWAY		3,772 SF
5	PERMEABLE PAVER WALKWAY		1,148 SF
6	LANDSCAPING		4,621 SF
	TOTAL	12,963 SF	9,541 SF

SUMMARY

SUIVINANT			
DESCRIPTION	IMPERVIOUS	PERVIOUS	
PRE-DEVELOPMENT	3,576 SF	18,928 SF	
POST-DEVELOPMENT	12,963 SF	9,541 SF	
DIFFERENCE	9,387 SF	-9,387 SF	

	Project P	hase Number: (N/A 1 2 2 atc.)	1		
Total Site (acres):	0.52	Project Phase Number: (N/A, 1, 2, 3, etc.) Total Area of Site Disturbed (acres):			
	Existing Condition of Site Area	Proposed Condition of Site Ar	rea Disturbed (square feet)		
Impervious Surfaces	Disturbed (square feet)	Replaced	New		
Roof Area(s)	О	0	10,017		
Parking	3,410	0	0		
Sidewalks, Patios, Paths, etc.	166	166	2,780		
Streets (public)	О	0	0		
Streets (private)	О	0	О		
Total Impervious Surfaces:	3,576	166	12,797		
Pervious Surfaces					
Landscaped Areas	18,927	4,621	0		
Pervious Paving	0	0	4,920		
Other Pervious Surfaces (green roof, etc.)	О	0	0		
Total Pervious Surfaces:	18,927	4,621	4,920		
	Total Proposed Replace	d + New Impervious Surfaces:	12,963		
	Total Proposed Repla	ced + New Pervious Surfaces:	9,541		

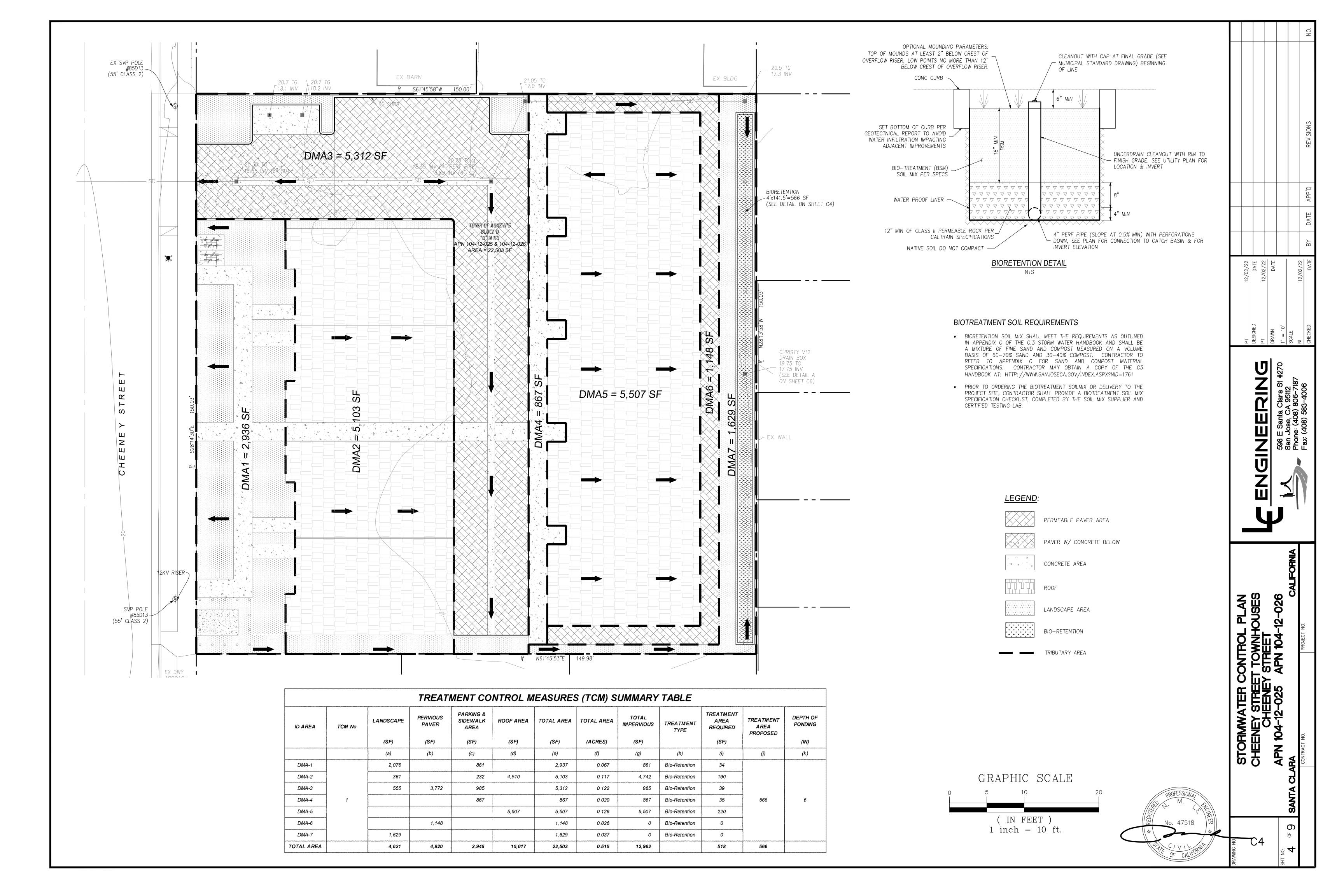


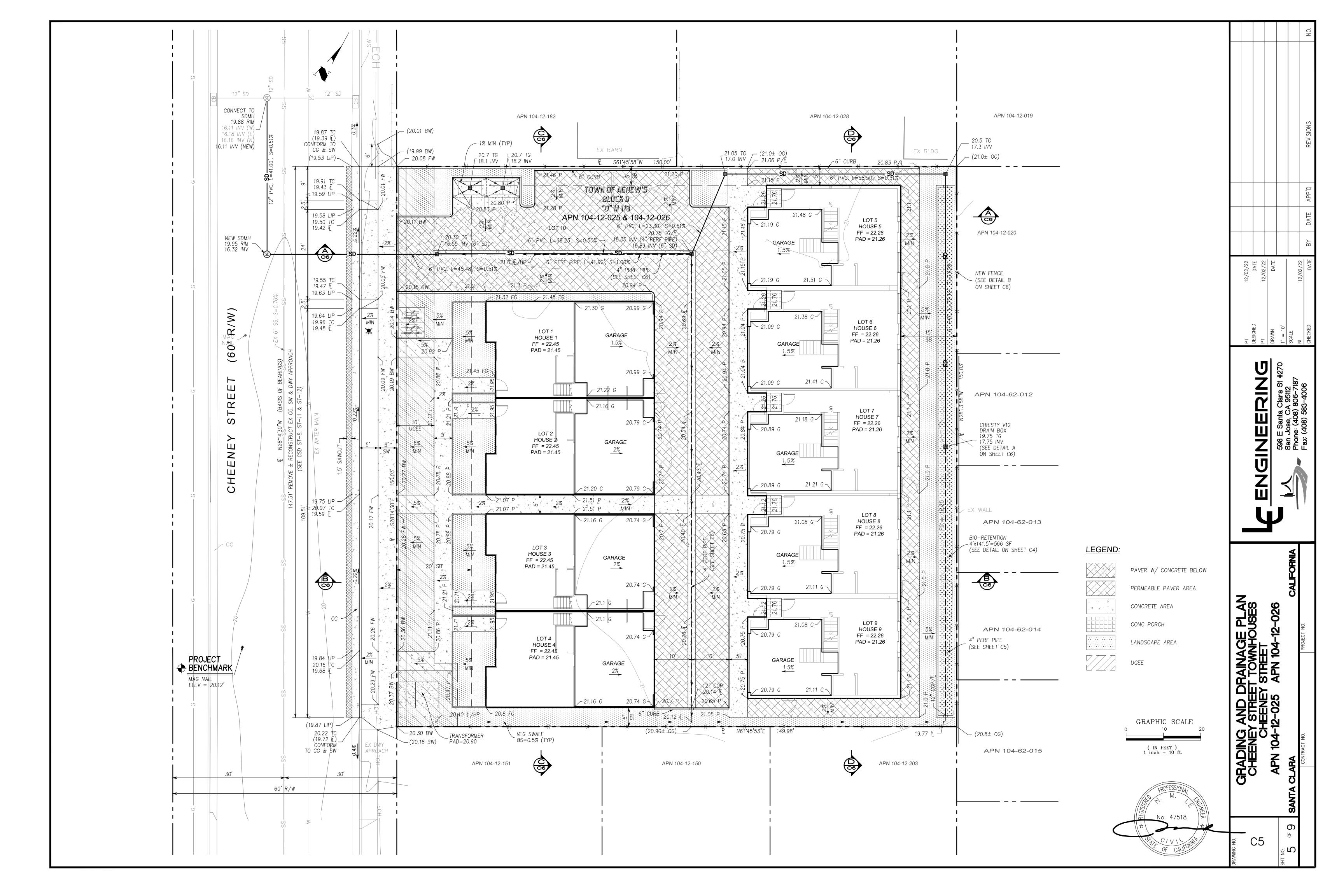


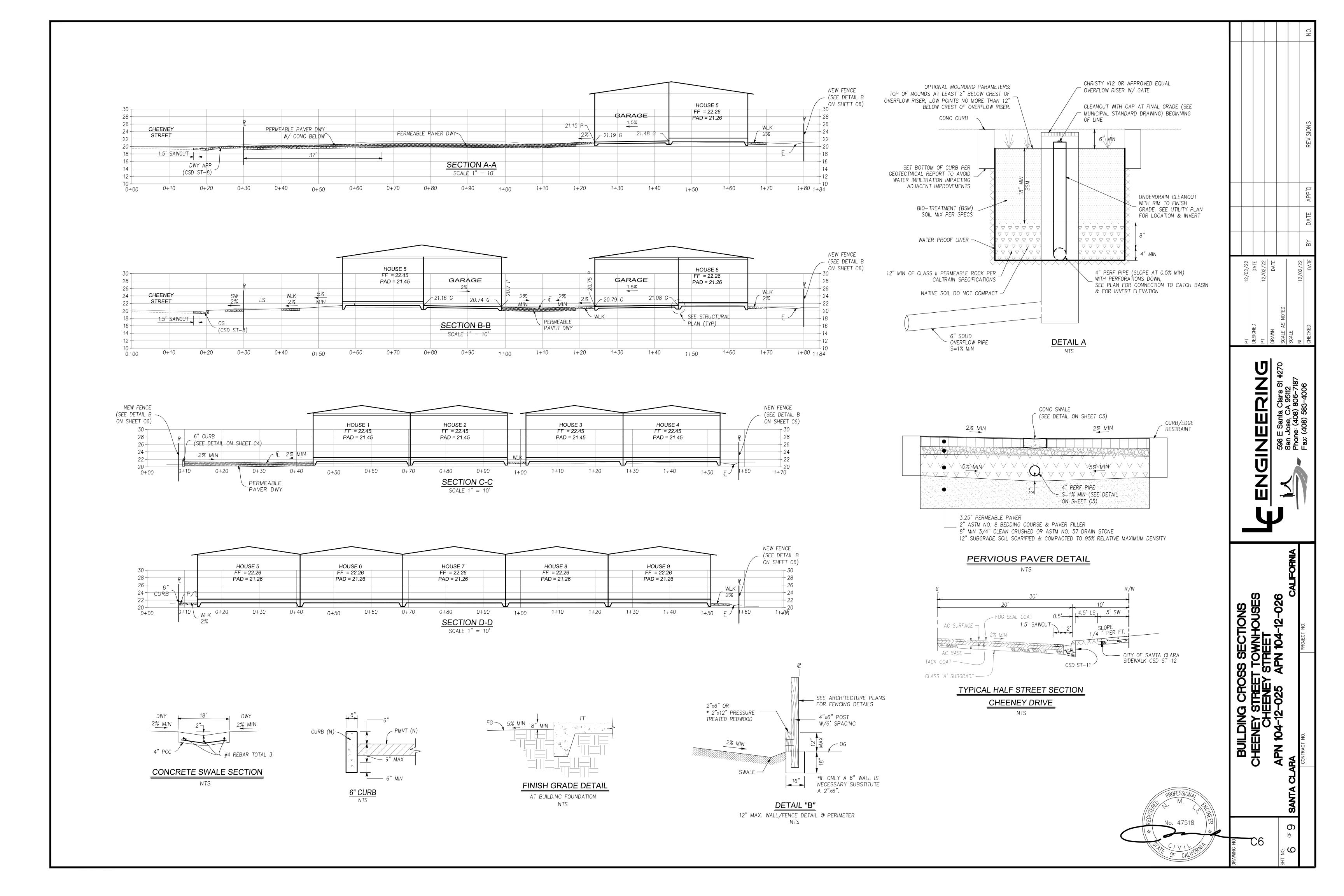
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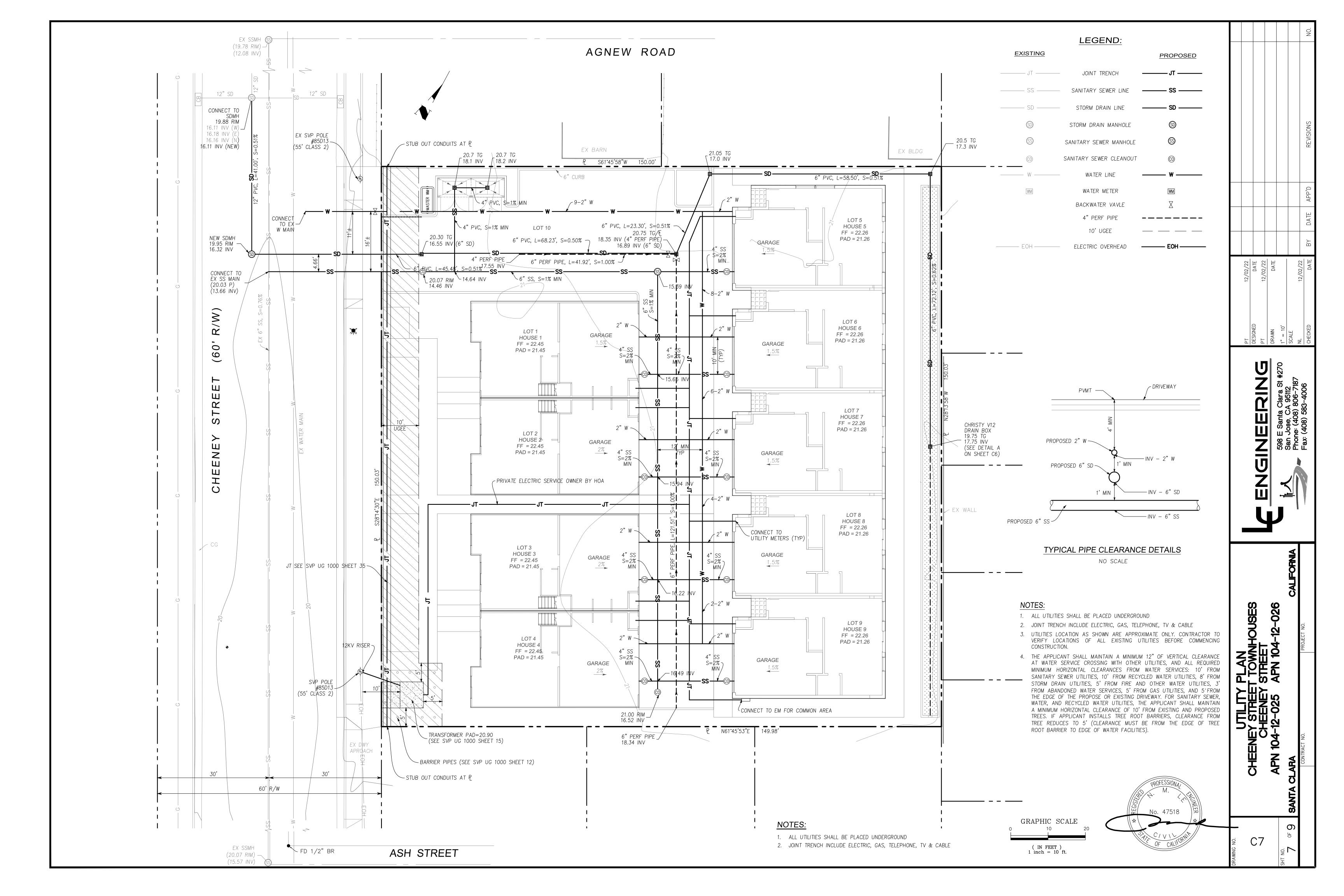
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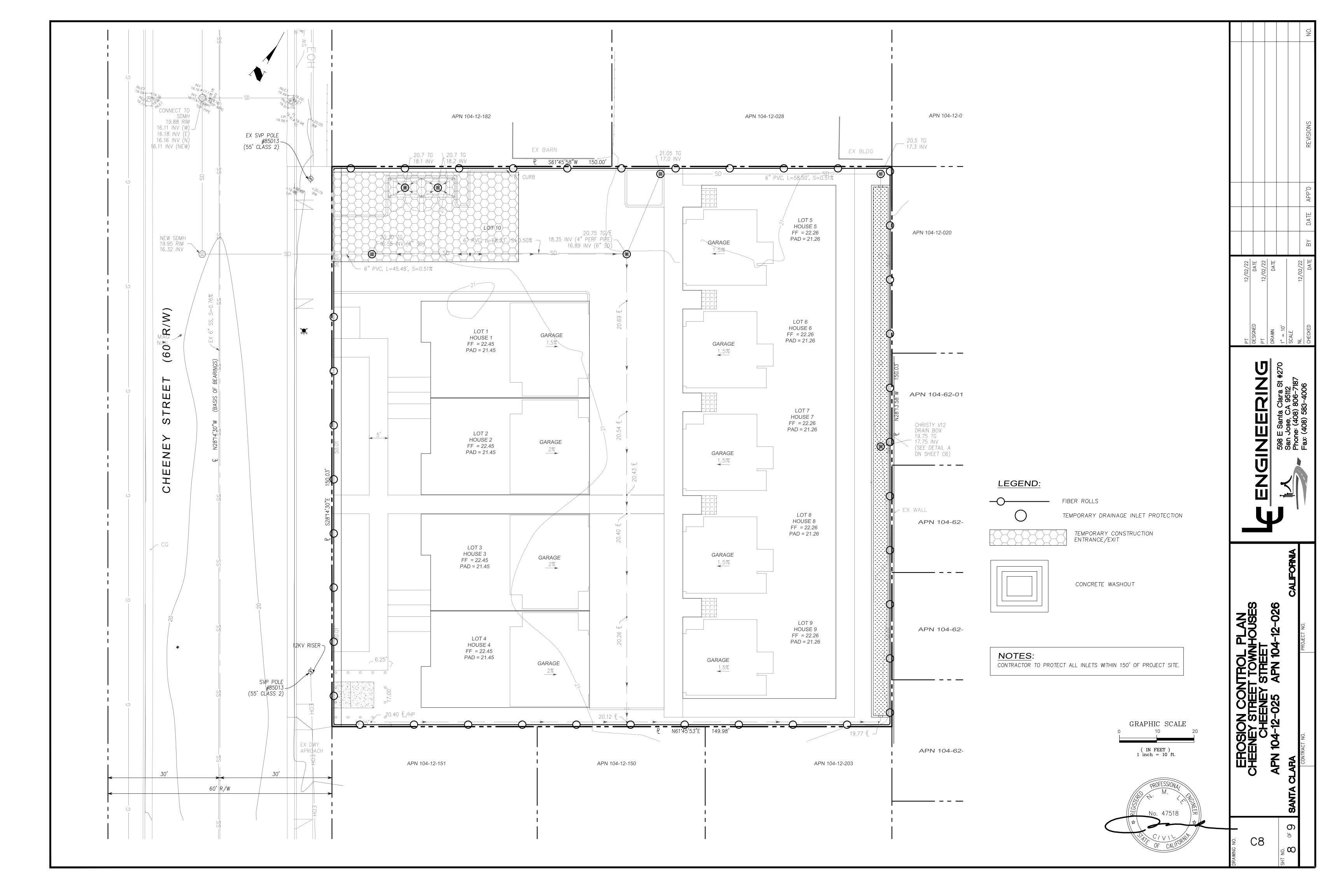
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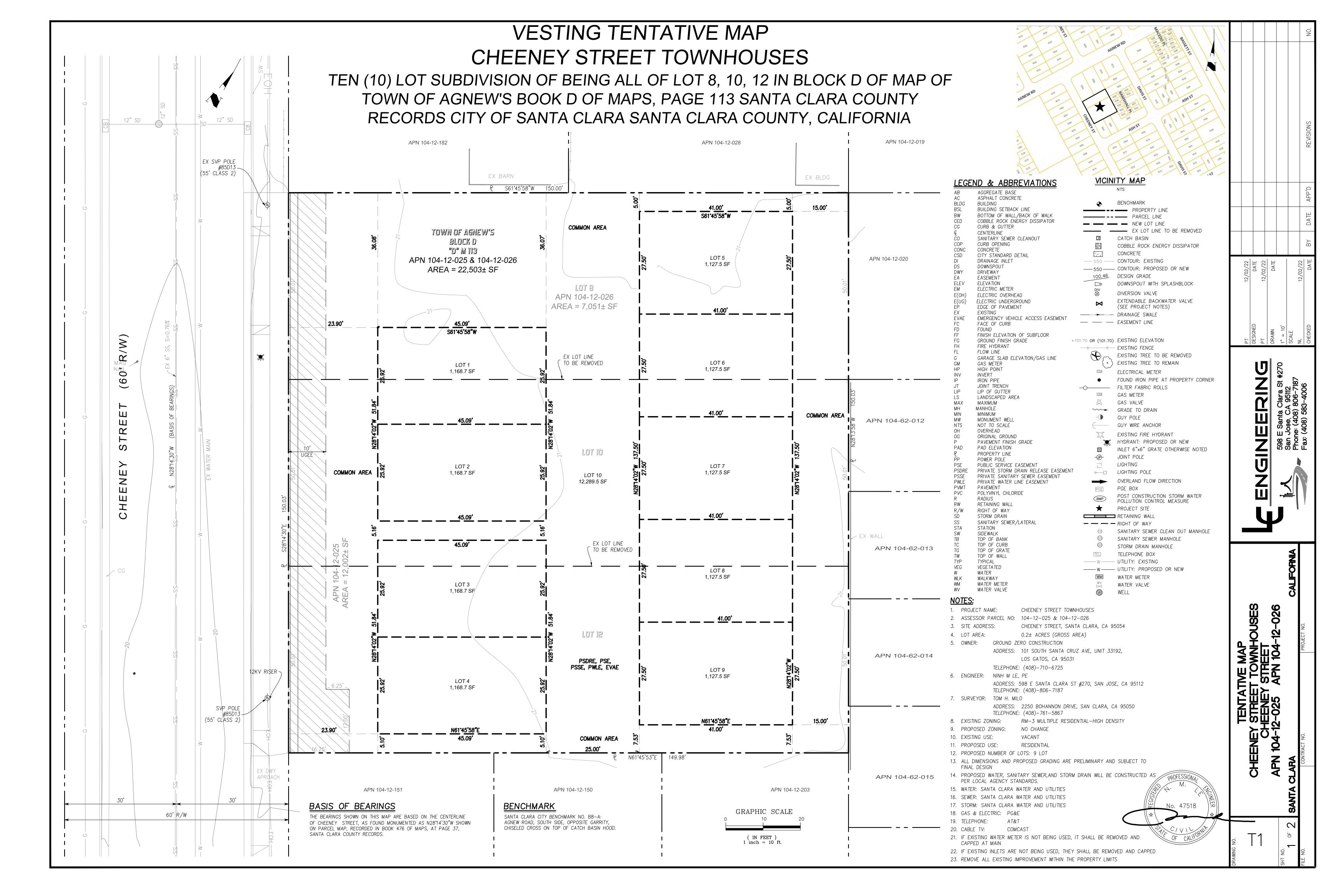


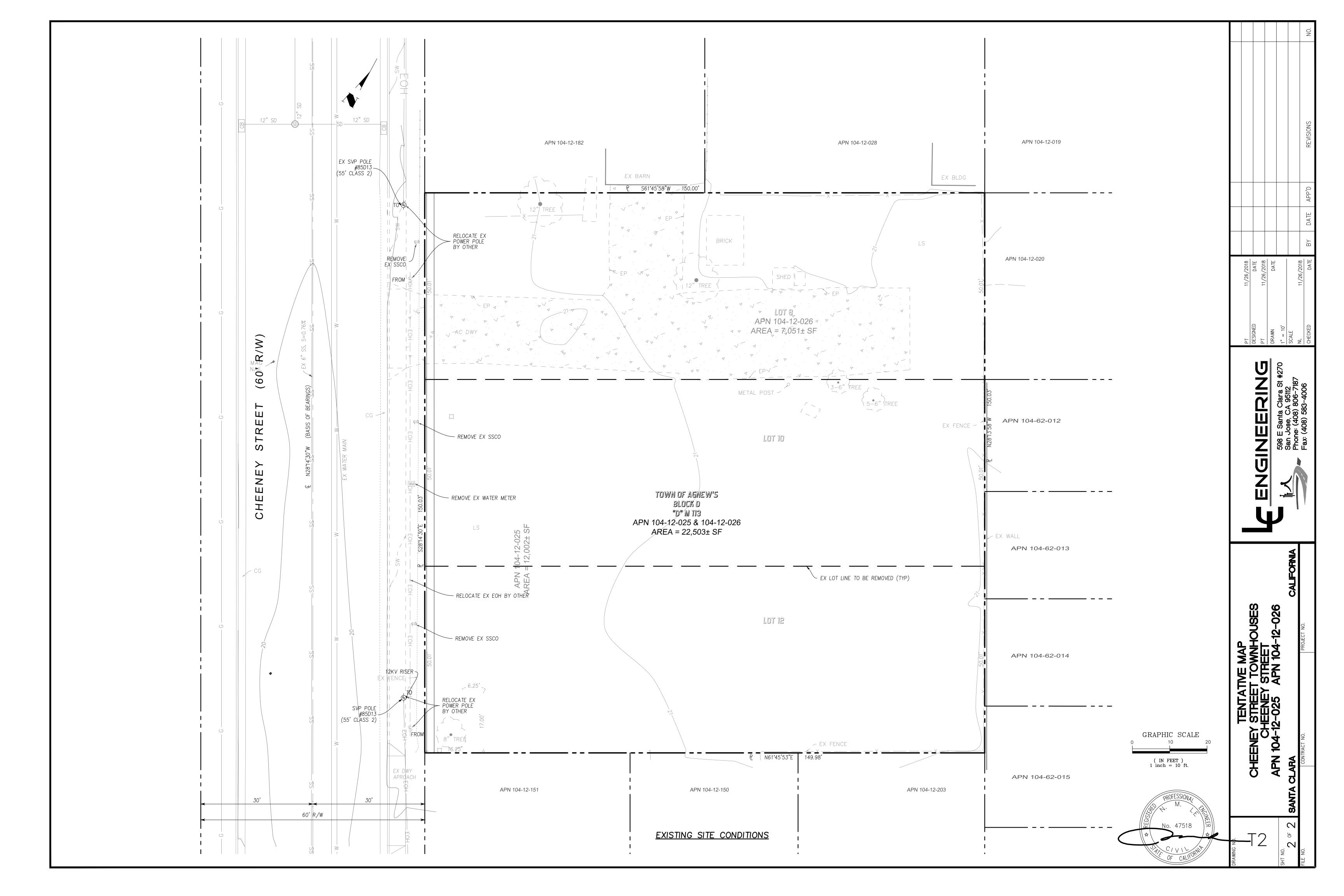


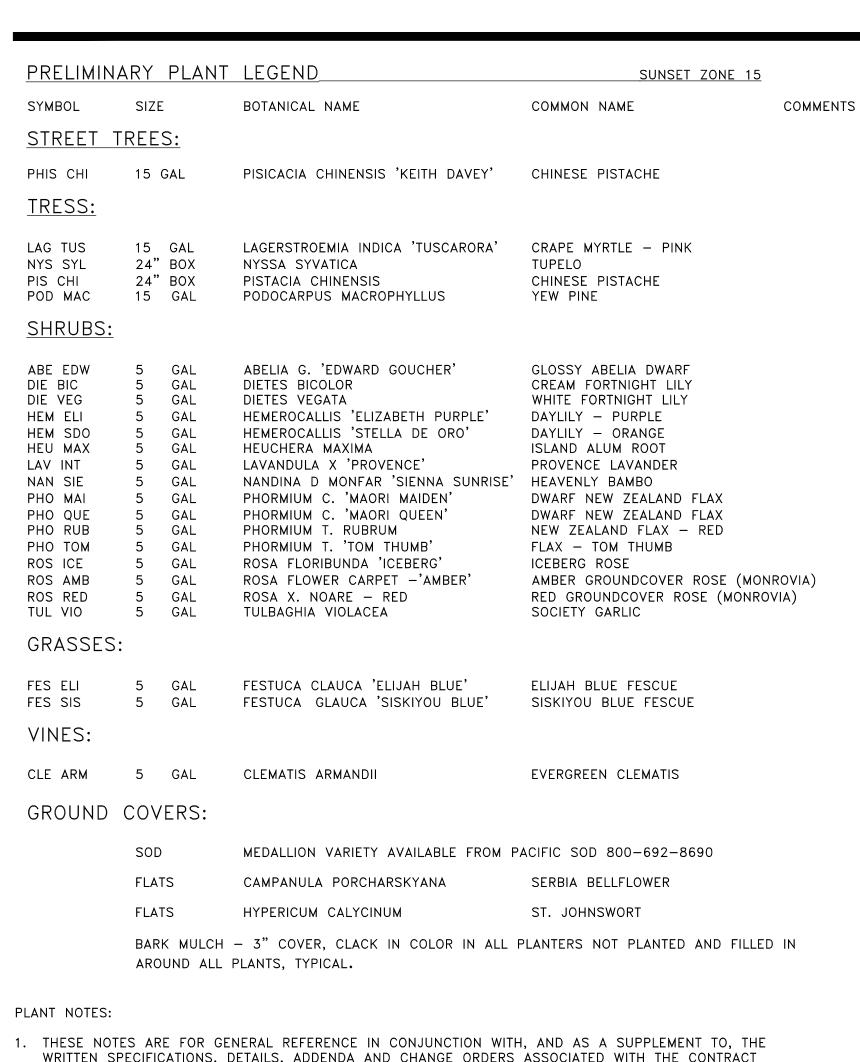




Wood Stake ——— — Entry ramp DIVERSION RIDGE REQUIRED EROSION CONTROL NOTES 2 % OR GREATER WHERE GRADE EXCEEDS 2% Plastic lining — Entry berm elev. +0.4 1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION Rope — — Rock bag AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR —elev. −3.0 FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE CITY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL Fiber Roll —— OG= elev. 0.0 EROSON CONTROL MEASURES DURING EARTHWORK OPERATION. SECTION B-B 2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR – Drainage ditch MONITORING EROSION AND SEDIMENT CONTROL MEASURES SECTION A-A PRIOR, DURING, AND AFTER STORM EVENTS. 3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROERTY, IMMEDIATE 15' Min USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS REMEDY SHALL OCCUR. STRAW BALES, SANDBAGS, OR CONTINUOUS BERM OF TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED. EQUIVELENT HEIGHT 4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE Rock bags as 0.0 SUPPLY WATER TO WASH required WHEELS IF NECESSARY SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN PLAN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. FIBER ROLLS ROPE RESTRAINT METHOD 5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY. Edge of plastic 6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, — Plywood 4' x 2' elev. -3.0painted white OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE Top of cut ——— RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE — Black letters 0.5' PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY **WASHING** 0.0 FOLLOWING GRADING ON THE SLOPES. **FACILITY** — 0.5" Lag screws **~~** 7. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS. - DIVERSION RIDGE 8. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM — 4X4 Wood post EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES Toe of cut ____ PLAN STEEPER THAN FIVE PERCENT. **TEMPORARY** elev. |-1.3 GRAVEL CONSTRUCTION ENTRANCE/EXIT SIGN ELEVATION Wood Stake Drainage ditch Fiber Roll 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY Excavated REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED Material elev. +0.4 TO TRAP SEDIMENT. The temporary equipment washing facility sign shall be installed 2. WHEN NECESSARY, WHEELS SHALL BE within 20 feet of the temporary concrete CLEANED PRIOR TO ENTRANCE ONTO PUBLIC washout facility. RIGHT-OF-WAY. 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABLIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. elev. 0.0 2.5 m Min SECTION FIBER ROLLS IN FURROWS Grading Conform ——— PLAN TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade) — Drain inlet grate FLOW — Dump straps (2 each) -Lifting loops (2 each) SECTION A-A Sediment control Minimum 1' overlapped - Expansion restraint - Drain inlet with sediment control bag SECTION TEMPORARY DRAINAGE INLET PROTECTION SEDIMENT CONTROL BAG PERSPECTIVE For paved areas exposed to traffic — Toe of slope FIBER ROLLS ROPE RESTRAINT METHOD







- WRITTEN SPECIFICATIONS, DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- 2. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 3. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE. CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO DIGGING. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE.
- 4. FINE GRADING, HEADERS AND IRRIGATION COVERAGE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING OPERATIONS.
- 5. CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 6. PLANT MATERIALS SHALL NOT BE INSTALL IN AN AREA WHICH WILL COST HARM TO ADJACENT STRUCTURES OF OBSTRUCT IRRIGATION SPRAY PATTERN. NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONFLICTS ARISE.
- 7. PRIOR TO PLANTING INSTALLATION, CONTRACTOR SHALL OBTAIN APPROVAL OF PLANT LAYOUT FROM OWNER'S REPRESENTATIVE. PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED ON THE FIELD AT THE OWNER'S REPRESENTATIVE'S REQUEST.
- 8. CONTRACTOR SHALL COORDINATE PLAT LOCATION TO DRIP TUBING LOCATION AND ADJUST PLANTING AS NECESSARY TO ACHIEVE BEST RESULTS.
- 9. ALL NON-TURF AREAS SHALL BE MULCHED WITH A MINIMUM 3" LAYER OF BARK MULCH. UNLESS OTHERWISE NOTED, FINISH GRADE OF PLANTING AREAS SHALL BE 3" BELOW ADJACENT PAVING. TAPER 3" DEPTH BARK MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1-1/2)" DEPTH) WITHIN 2-FEET OF PAVING. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO MULCH DELIVERY TO THE SITE. FOR FURTHER INFORMATION, SEE SPECIFICATIONS.
- 10. GROUND COVERS SHALL BE PLANTED EVENLY AND CONTINUOUSLY UNDER TREE AND SHRUB MASSES.
- 11. CONTRACTOR SHALL USE A NATURAL PRE-EMERGENT, SUCH AS CORN WEED BLOCKER OR COMPARABLE, AND SHALL APPLY ACCORDING TO THE MANUFACTURES DIRECTIONS PRIOR TO APPLYING MULCH.
- 12. ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
- 13. 30 DAYS AFTER PLANTING, CONTRACTOR SHALL RE-STAKE AND STRAIGHTEN TREES AS NEEDED.
- 14. BENEATH PROPOSED SOD, EXCAVATE EXISTING SOIL TO A DEPTH OF 12" BELOW PROPOSED FINISHED GRADE. REPLACE WITH IMPORTED LOAN SOIL AND BRING TO FINISHED GRADE.
- 15. THE CONTRACTOR SHALL PROVIDE FOR IN THEIR BID FOR A BASE AMENDMENT FOR SOIL AMENDMENT. AFTER ROUGH GRADING OF THE SITE A SOIL NUTRIENT TEST WILL BE CONDUCTED OF VARIOUS PLANTED AREAS AND THE PLANTED AREAS SHALL BE AMENDED BASED ON THIS SOILS REPORT.

MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE COMPLIANCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION TITLE 23 CH. 2.7 SECTION 492.3

I HAVE AND COMPLY WITH THE CRITERIA OF THE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENCY USE OF THE WATER IN THE LANDSCAPE DESIGN PLAN

ENGINEERING PLANS $(\cdot)(\cdot)$ VEGETATED SWALE SEE CIVIL ENGINEERING PLANS 1 NYS SYL VEGETATED SWALE SEE CIVIL ENGINEERING PLANS 1 LAG TUS -2 LAG TUS PLANTING SHALL CONFORM TO -CITY TRIANGLE OF SAFETY REQUIREMENTS, REFER TO CIVIL' ENGINEERING' PLANS 16' ROOF BARRIER -WHERE TREES, ABUT PUBLIC SIDEWALK, - 3 PIS CHI 35'-0" 35'-0"

BIO-RETENTION DEVICE, SEE CIVIL

DRAINAGE BASIN, SEE CIVIL

ENGINEERING PLANS

CHEENEY STREET

ENGINEERS & ASSOCIATES 370 GRAND PARK CIRCLE SAN JOSE CA, 95136 TEL: (408) 509-3464 alialbiani@sbcglobal.ne



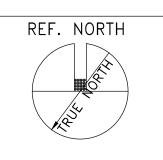
WNHOUSE

	REVISION	DATE
1		
2		
3		

DATE: August 23, 2022 PROJECT No. 10-042122

LANDSCAPE PLAN



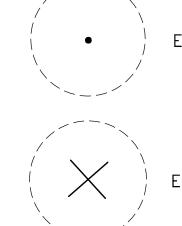


MFA CONSTRUCTION © 2022 AND ENGINEERING

MODEL WATER EFFICIENCY TURF ALLOWANCE CALCULATION

3,504 S.F. TOTAL LANDSCAPE AREA 876 S.F. TOTAL TURF AREA ALLOWED (25%) 286 S.F. TOTAL PROPOSED TURF AREA FOR PROJECT

	TREE	INVENTO	RY LEGEND		
TREE #	TREE SPECIES BOTANICAL NAME	TREE SPECIES COMMON NAME	SIZE DBH @ 54"	STD OR MULTI TRUNK	TREE TO BE REMOVED
79	MALUS SPECIES	APPLE	4", 3", 3"	MULTI	YES
80	LIGUSTRUM SPECIES	PRIVET	2",1"	MULTI	YES
81	LIGUSTRUM SPECIES	PRIVET	2"	STD	YES
82	LIGUSTRUM SPECIES	PRIVET	3",2"	MULTI	YES
83	JUNGLANS REGIA	ENGLISH WALNUT	2"	STD	YES
84	PERSIA AMERICANA	AVOCADO	4"	STD	YES
85	PERSIA AMERICANA	AVOCADO	4",3"	MULTI	YES
86	PERSIA AMERICANA	AVOCADO	3"	STD	YES
87	PERSIA AMERICANA	AVOCADO	0'-4", 0'-5", 0'-4"	MULTI	YES
88	PERSIA AMERICANA	AVOCADO	5",5",4",4"	MULTI	YES
89	PHOENIX CCANARIENSIS	DATA PALM	NA	STD	YES
90	JUGLANS REGIA	ENGLISH WALNUT	3",3",2"	MULTI	YES
91	CELTIS SPECIES	HACKBERRY	3"	STD	YES
92	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPER	3",3",3"	MULTI	YES
93	JUGLANS HINDSII	BLACK WALNUT	5"	STD	YES
94	CITRUS SPECIES	ORANGE	12"	STD	YES



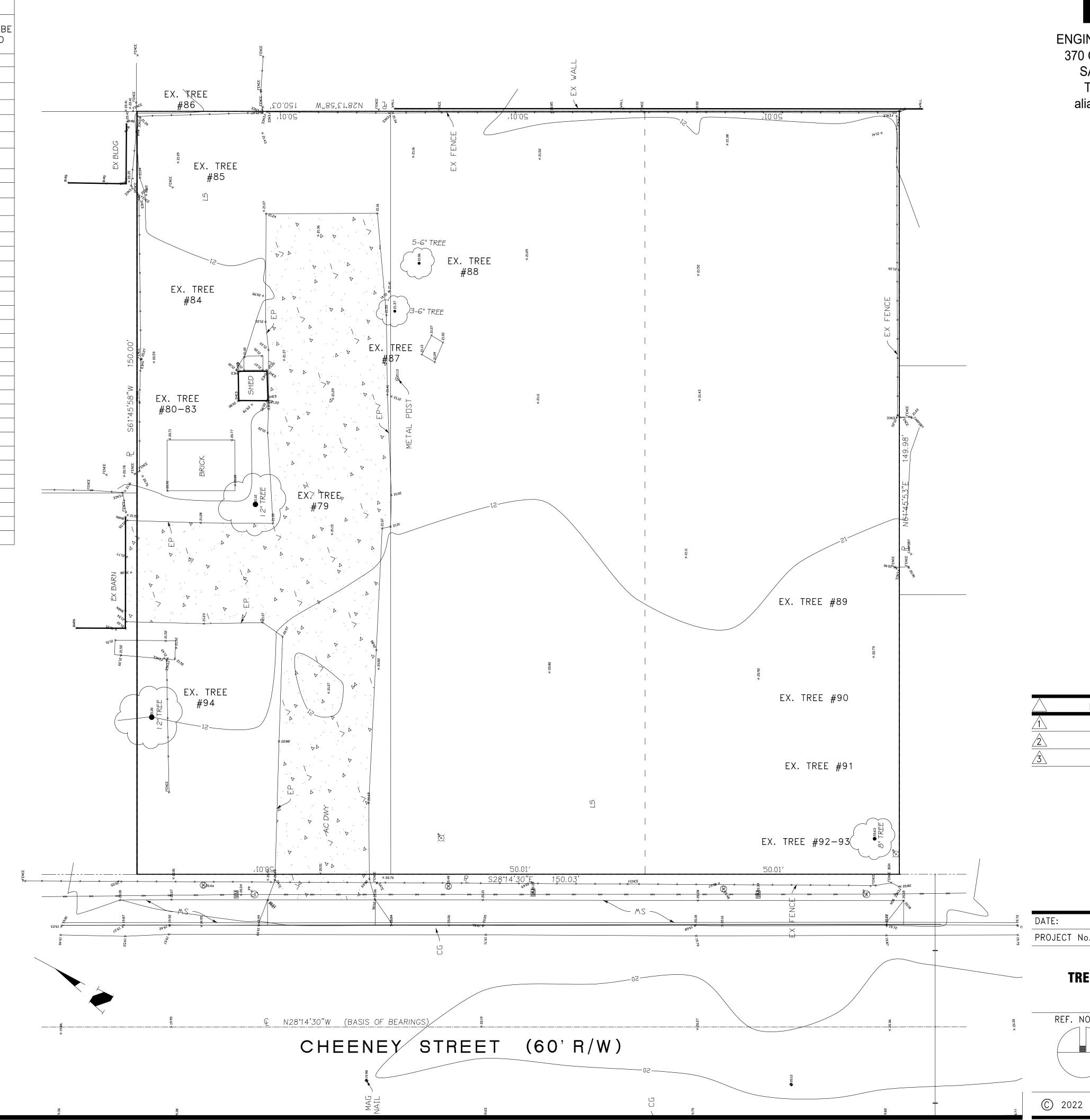
EXISTING TREES TO REMAIN

EXISTING TREES INTENDED FOR REMOVAL

UNK- UNKNOWN INFORMATION TO BE DETERMINED TBD — TO BE DETERMINED

NOTE: 1. ALL TREES HERE SHOWN HAVE BEEN SURVEYED BY A LICENSED SURVEYOR. ALL TREE SPECIES HAVE BEEN IDENTIFIED BY A LICENSED ARBORIST.

2. ALL TREES DIAMETERS HAVE BEEN MEASURES 54" ABOVE GRADE BY A LICENSED ARBORIST



MFA

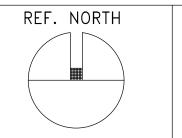
ENGINEERS & ASSOCIATES 370 GRAND PARK CIRCLE SAN JOSE CA, 95136 TEL: (408) 509-3464 alialbiani@sbcglobal.net

SHANNOUSES

	REVISION	DATE
1		
2		
<u></u>		

August 23, 2022 DATE: PROJECT No. 10-042122

TREE INVENTORY PLAN



MFA CONSTRUCTION AND ENGINEERING

LEGEND

GENERAL NOTES

NEW CONDUIT AND WIRE CONCEALED IN WALL OR ABOVE CEILING

NEW CONDUIT AND WIRE CONCEALED UNDERFLOOR OR UNDERGROUND

EXISTING CONDUIT AND WIRE CONCEALED IN WALL OR ABOVE CEILING

EXISTING CONDUIT AND WIRE CONCEALED UNDERFLOOR OR UNDERGROUND

HOMERUN SHOWING GROUND, HOT, AND NEUTRAL

LIGHT FIXTURES - SEE LIGHT FIXTURE SCHEDULE

\$ SINGLE POLE, SINGLE THROW SWITCH

THREE-WAY LIGHT SWITCH

\$PIR OCCUPANCY SENSOR SWITCH, PROXIMITY INFRA-RED

SWITCH WITH MOTION SENSOR

O JUNCTION BOX

DUPLEX RECEPTACLE

QUAD RECEPTACLE

SIMPLEX RECEPTACLE, GROUNDED

DUPLEX RECEPTACLE, ISOLATED GROUND

DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTION (GFCI)

GFCI DUPLEX RECEPTACLE, GFCI WITH WEATHERPROOF—IN—USE COVER

FLOOR BOX WITH DUPLEX RECEPTACLE

SPECIAL PURPOSE RECEPTACLE AS NOTED

DUPLEX RECEPTACLE WITH USB PLUGS

FIRE ALARM SYSTEM SMOKE DETECTOR

FIRE ALARM SYSTEM DUCT MOUNT SMOKE DETECTOR

120V CONNECTION TO FIRE/SMOKE DAMPER

DISCONNECT SWITCH, FUSED

DISCONNECT SWITCH, UN-FUSED

■ TELEPHONE OUTLET, AT 18" UNLESS OTHERWISE NOTED

◆ TELEPHONE/DATA OUTLET

FLOOR BOX WITH TELEPHONE/DATA OUTLET

COMBINATION FLOORBOX: DUPLEX RECEPTACLE AND TELEPHONE/DATA OUTLET

PANELBOARD

THERMOSTAT

TRANSFORMER

PHOTO SENSOR

O THOTO SENSOI

OCCUPANCY SENSOR

X FLAG NOTE

FOH

GFCI

FRONT OF HOUSE

GROUND FAULT CIRCUIT INTERRUPTER

REVISION NUMBER

REVISION CLOUD

SOME SYMBOLS NOT USED IN THIS PROJECT.

POS

PWR

- 1. PROVIDE ELECTRICAL INSTALLATION IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE, LOCAL CODES, ORDINANCES AND REQUIREMENTS OF UTILITY COMPANIES FURNISHING SERVICES TO INSTALLATION.
- 2. PROVIDE ITEMS NECESSARY TO COMPLETE ELECTRICAL SYSTEMS. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY SHOW EVERY CONDUIT, BOX, CONDUCTOR OR SIMILAR ITEMS FOR A COMPLETE INSTALLATION.
- 3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND DETERMINE CONDITIONS WHICH MAY AFFECT BID. ANY ITEMS NOT FULLY UNDERSTOOD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
- 4. WHEREVER THE WORD "PROVIDE" IS USED, IT MEANS, "FURNISH AND INSTALL COMPLETE AND READY FOR USE."
- 5. COORDINATE LOCATION OF ELECTRICAL WITH OTHER TRADES.
- 6. REFER TO MECHANICAL DRAWINGS FOR CHARACTERISTICS (SIZE, LOCATION, ETC.) OF MECHANICAL EQUIPMENT, UNLESS OTHERWISE INDICATED.
- 7. PROVIDE CONDUCTORS AND RACEWAYS PER NATIONAL ELECTRICAL CODE.
- 8. REFER TO ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, AND ALL OTHER ELECTRICAL DEVICES.
- 9. PROVIDE LIGHT FIXTURES WITH PROPER FITTING, FLANGES, MOUNTING SUPPORTS AND ACCESSORY ITEMS. ALL FIXTURES SHALL BE UL LISTED FOR CONDITIONS OF USE.

MATERIALS AND METHODS

- 1. PROVIDE RACEWAY AND WIRING ROUTED CONCEALED WITHIN BUILDING STRUCTURE WHERE POSSIBLE. WHERE RACEWAY CANNOT BE CONCEALED, IT SHALL BE INSTALLED PER PROJECT MANAGER'S DIRECTION. PROVIDE EMT CONDUIT INSIDE BUILDING.
- EXPOSED CONDUIT ROUTING: CONDUITS MAY BE ROUTED EXPOSED IN MECHANICAL AND ELECTRICAL ROOMS ONLY. EXPOSED CONDUITS SHALL BE SECURED A MINIMUM OF 6" ABOVE FLOOR.
- 3. OUTDOOR EXPOSED CONDUIT ROUTING: CONDUITS ROUTED ON ROOF OR EXPOSED TO WEATHER SHALL BE EMT OR LIQUID—TIGHT FLEX. PROVIDE WATER—TIGHT CONNECTIONS AND FITTINGS. PROVIDE PVC ELECTRICAL CONDUIT UNDERGROUND AND ON ROOF.
- 4. CLEARANCES: VERIFY PHYSICAL DIMENSIONS OF EQUIPMENT TO ENSURE THAT ACCESS CLEARANCES CAN BE MET.
- 5. CONNECTIONS: PROVIDE GRS, METALLIC FLEX, OR LIQUIDTITE FLEX CONDUITS FOR CONNECTIONS TO MOTORS OR MOTORIZED EQUIPMENT.
- 6. WIRING: PROVIDE MINIMUM #12 AWG WIRE SIZE AND MINIMUM 3/4" CONDUIT FOR ALL BRANCH CIRCUITRY.
- 7. WIRING: PROVIDE MINIMUM #10 AWG CONDUCTOR SIZE IN 120V BRANCH CIRCUIT RUNS OVER 75' IN LENGTH.
- 8. WIRING: POWER WIRING SHALL BE COPPER, THWN/THHN, INSULATED FOR 600V. ALUMINUM CONDUCTORS PERMITTED FOR FEEDERS 100 AMPS OR LARGER. INCREASE WIRE AND CONDUIT SIZE TO EQUAL OR EXCEED DESIGNED COPPER RATING.
- 9. DISCONNECTS: PROVIDE DISCONNECTS, FUSED AND UNFUSED, SHOWN AND REQUIRED BY CODE FOR EQUIPMENT FURNISHED UNDER ELECTRICAL AND MECHANICAL SCOPES OF WORK.

- 10. FUSES: PROVIDE FUSES PER EQUIPMENT NAMEPLATE UNLESS OTHERWISE INDICATED . FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
- 11. SUPPORT: SUPPORT LIGHT FIXTURES FROM BUILDING STRUCTURE. DO NOT SUPPORT FIXTURES FROM SUSPENDED CEILING.
- 12. LABELS: ELECTRICAL PANEL, TIME SWITCH, DISCONNECT, STARTER, CONTRACTOR, PULL BOX, ETC. ENCLOSURES SHALL BE PERMANENT LABELED TO IDENTIFY ITS DESIGNED OR UNIT SERVED.
- 13. PAINTING: ELECTRICAL ENCLOSURES IN PUBLIC AREA SHALL BE PAINTED TO MATCH ADJUSTMENT WALL
- 14. COVERPLATES: PROVIDE AS FOLLOWS. SUBMIT SAMPLE OF EACH FOR APPROVAL.

 a. MECHANICAL AND ELECTRICAL ROOMS: GALVANIZED STEEL

 b. ALL OTHER AREAS: TO MATCH SURROUNDING SURFACE
- 15. HOME RUN NEUTRALS MAY BE COMBINED AT CONTRACTORS OPTION UNLESS CIRCUIT IS DEDICATED.
- 16. NEUTRAL CONDUCTORS: NEUTRAL MAY BE OMITTED ON EQUIPMENT CONNECTIONS IF CONTRACTOR VERIFIES THAT A NEUTRAL IS NOT REQUIRED FOR OPERATION OR CONTROL OF EQUIPMENT.
- 17. MULTIWIRE BRANCH CIRCUITS: PROVIDING POWER TO MORE THAN ONE DEVICE OR EQUIPMENT ON THE SAME YOLK SHALL HAVE MEANS TO DISCONNECT SIMULTANEOUSLY ALL UNGROUNDED CONDUCTORS SUPPLYING THESE DEVICES AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES PER NEC 210.4(B). AS—BUILT PANEL SCHEDULES SHALL SHOW ALL MULTIPOLE BREAKERS INSTALLED TO MEET THIS REQUIREMENT.

SPECIAL SYSTEMS

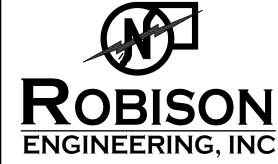
- 1. FIRE ALARM SYSTEM:
 PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR. FIRE ALARM CONTRACTOR SHALL
 DESIGN AND PROVIDE COMPLETE, OPERATING, AND CODE COMPLIANT FIRE ALARM
 CONTRACTOR SHALL SUBMIT FULL SET OF PLANS INDICATING DEVICE LOCATIONS, WIRING,
 CONNECTIONS AND SPECIAL MOUNTING DETAILS TO THE FIRE MARSHALL.
- 2. SOLAR PHOTOVOLTAIC SYSTEM:
 SOLAR CONTRACTOR SHALL DESIGN AND PROVIDE COMPLETE, OPERATING AND CODE
 COMPLIANT SOLAR SUBMIT FULL SET OF PLANS INDICATING DEVICE LOCATIONS, WIRING,
 CONNECTIONS, AND SPECIAL MOUNTING DETAILS TO THE CITY BUILDING DEPARTMENT.
 SOLAR CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED FOR
 INTERCONNECTION OF SOLAR PV SYSTEM WITH UTILITY GRID.

ADA REQUIREMENTS

- 1. RECEPTACLE OUTLETS SHALL BE LOCATED 18' AFF UNLESS NOTED OTHERWISE
- 2. LIGHT SWITCHES SHALL BE INSTALLED WITHIN 34-48 INCHES OF THE FLOOR.
- 3. PUBLIC TELEPHONES MUST COMPLY WITH CBC 117B.2 FOR CLEARANCES AND FEATURES.

INDEX OF DRAWINGS

		INCL	INCLUDED IN SET	
DWG	DESCRIPTION	PERMIT SET 12/08/2022		
E000	COVER SHEET, GENERAL NOTES, & INDEX	X		
E100	ONE-LINE DIAGRAM, FAULT, & PANEL SCHEDULES	X		
E1.01	LUMINAIRE SCHEDULE	X		
E2.00	SITE PLAN	X		
E3.00	TYPICAL UNIT POWER PLAN	X		
E3.01	TYPICAL UNIT POWER PLAN	X		



19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI



Salos, OA 9300

INEX ST TOWNHOUS
CHEENEY ST.

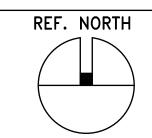
REVISION DA

No. E-15095

EXP. 331-23

DATE: DECEMBER 8. 2022
PROJECT No. 590-054

COVER SHEET, GENERAL NOTES, & INDEX



E0.00

ABBREVIATIONS

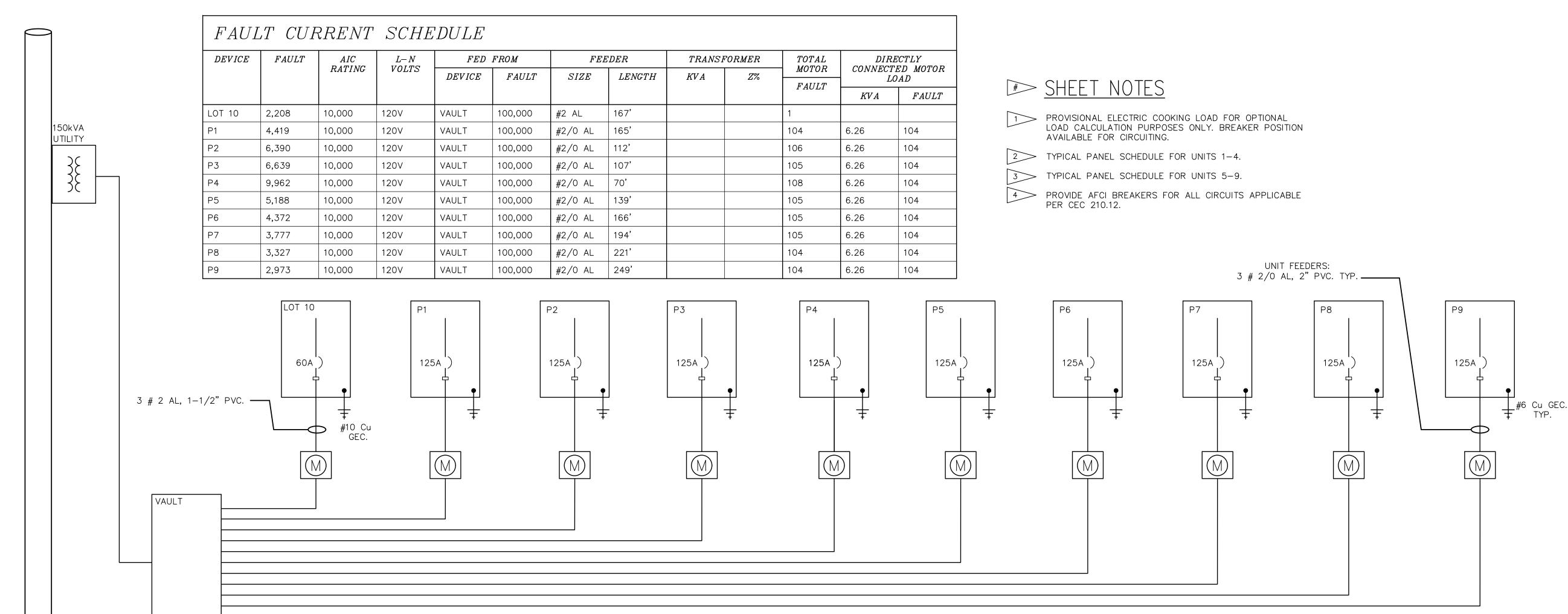
Α	AMPERE	GND	GROUND	QTY	QUANTITY
AC	ALTERNATING CURRENT, ABOVE COUNTER	GRS	GALVANIZED RIGID STEEL	RECEPT	RECEPTACLE
AFF	ABOVE FINISHED FLOOR	HID	HIGH INTENSITY IDISCHARGE	RI	ROUGH-I N
AIC	AMPS INTERRUPTING CAPACITY	HP	HEAT TRACE	RM	ROOM
AL	ALUMINUM	KCMIL	THOUSAND CIRCULAR MILLS	RTU	ROOFTOP UNIT
AMP	AMPERE	KEC	KITCHEN EQUIPMENT CONTRACTOR		
AWG	AMERICAN WIRE GAUGE	KVA	KILOVOLT AMPERES	SPEC	SPECIFICATIONS
BKR	BREAKER	KW	KILOWATT	SW	SWITCH
BLDG	BUILDING	LTG	LIGHTING	SWBD	SWITCHBOARD
		MFR		SWGR	SWITCHGEAR
ВОН	BACK OF HOUSE		MANUFACTURER	TYP	TYPICAL
C	COIL or CONDUIT	MIN	MINIMUM	UG	UNDERGROUND
CKT	CIRCUIT	MLO	MAIN LUGS ONLY	UL	UNDERWRITERS LABORATORIES
CO	CONDUIT/RACEWAY ONLY	MS	MOTION SENSOR	UON	UNLESS OTHERWISE NOTED
CT	CURRENT TRANSFORMER	N	NEUTRAL	V	VOLTS
Cu	COPPER	(N)	NEW	W	WATTS
Cw	COOL WHITE	NEC	NATIONAL ELECTRICAL CODE (NFPA-70)	WW	WARM WHITE
DSD	DUCT SMOKE DETECTOR	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION	WP	WATERPROOF
EF	EXHAUST FAN	NT	NEON TRANSFORMER	W/O	WITHOUT
ELEC	ELECTRICAL	NTS	NOT TO SCALE	XFMR	TRANSFOMER
EMT	ELECTRICAL METALLIC TUGBING	OC	OCCUPANCY SENSOR	XFR	TRANSFER
EQUIP	EQUIPMENT	PB	PUSHBUTTON	7	
	EXISTING	PIR	PROXIMITY INFRARED	Z	IMPEDANCE OR ZONE
(E) FLR			PANEL		
	FLOOR	PNL			
FLUOR	FLUORESCENT	POC	POINT OF CONNECTION		

POINT OF SCALE

POWER

MOUNTING FLUSH BUS AME					240/120V 2P 3W MPS 125 AL 100%				AIC AS NOTED IN FAULT SHCE! MAIN BKR MLO LUGS STANDARD			SHCEDULE	
CKT	CKT BKR	CIRCUIT DESCRIPTIO	N		LOAD		CKT	CKT BKR	CIPCIII	T DESCRIPTION	.I		AD KVA
# 1	20/1	CO/SD, LIGHTING, R			0.753	В	2	20/1	+	IGHT COMBO,		1.36	B
3	20/1	SMOKE EXHAUST FAN, GAR				1.7	4	20/1		NG, RECEPTAC			0.92
5 7	30/2	LIGHTING, RECEPTAGE EV CHARGER			2.88	2.88	6 8	20/1	EXHAU	ST FAN, LIGH	TING, RECEPTA TING, RECEPTA	•	
9	20/1	WASHER			1.5		10	20/1 20/1	GAS S	TOVE	•	0.1	1
11	30/2 I	DRYER			2.5	2.5	12 14	20/1 -/2	1	NG, RECEPTAC RIC COOKING L		4	0.8
15	20/1	SPARE			2.5	0	16						4
17 19	20/1 20/1	EXHAUST FAN, LIGH DISHWASHER, DISPO	<u>-</u>	PTACLE	0.394	1.8	18 20	20/1 20/2	RECEP'	TACLE 'ATER HEATER		0.18	3 0.1
21	20/1	KICTHEN	JAL		1.5	1.0	22		GAS W	AILN HLAILN		0	0.1
23 25	20/1 20/1	KICTHEN, REFRIG			0.4	1.5	24 26	25/2	SOLAR	BREAKER			0
27	20/1	LIGHTING, RECEPTAGE	CLE		0.4	0.78	28	20/2	20/2 FC, OAC				2.1
29	20/1	LIGHTING, RECEPTAGE	CLE		0.925		30	1				2.1	
									TO	TAL CONNECTE	ED KVA BY PH	ASE 19	19.7
OPTIC	DNAL DW	ELLING UNIT CALCULA	ATION (NEC CONN K	•						CONN KVA	CALC KVA		
LIGHTING AND RECEPTACLES 6.78 SMALL—APPLIANCE 3 LAUNDRY 1.5 APPLIANCES 12.7 ELECTRIC COOKING 8			-	261 SF VA/SF)		UF	RAL LOA	KVA	10	10	(100%)		
						OVER 10 KVA 22.3 MAX HEATING OR COOLING			8.94 4.27	(40%) (220.82(0	0%) 20.82(C)(3))		
			8					L LOAD NCED LO	DAD		23.2 96.7 A		
МОТ	ORS		0.4				DALA	., 4000 0			00.7 A		

ROOM MOUN	ITING FL	LUSH	VOLTS BUS AMI NEUTRAL	PS 125		W		AIC as no Main bkr Lugs stan		SHCEDUL	E.	
NOTE					KVA	OL/T	01/7	I				KVA
CKT #	CKT BKR	CIRCUIT DESCRIPTION		A	В	CKT	CKT BKR	CIRCUIT DESCRIPTION	N		A	B
1	20/1	CO/SD, LIGHTING, RECEPTACLE,				2	30/2	DRYER		2	2.5	
3 5	20/1 20/1	SMOKE GARAGE DOOR, LIGHT KICTHEN	•	1.5	1.32	4 6	 20/1	GAS STOVE			0.1	2.5
7 9 11	20/1 20/1 20/1	KICTHEN, KITCHEN, R DISHWASHER, DISPOS HOOD		1.8	1.5 0.4	8 10 12	20/1 30/2 	SPARE EV CHARGER		2	.88	0 2.88
13 15	20/1 20/1	SPARE EXHAUST FAN, LIGHT		0	0.394	14 16	-/2 	ELECTRIC COOKING	LOAD		4	4
17 19 21	20/1 20/1 20/1	LIGHTING, RECEPTACL LIGHTING, RECEPTACL EXHAUST FAN, LIGHT	.E	0.925	0.925	18 20 22	20/1 20/2 	RECEPTACLE SPARE			0.18	0
23 25 27	20/1 20/1 20/1	FAN/LIGHT COMBO, FEXHAUST FAN, LIGHTEXHAUST FAN,	ING, RECEPTACLE	1.01	1.72 0.618	24 26 28	25/2 20/2	SOLAR BREAKER FC, OAC			0	0 2.1
29	20/1	WASHER	ING, RECEPTACLE	1.5	0.018	30		FC, OAC			2.1	۷.۱
								TOTAL CONNEC	TED KVA BY PH	HASE 2	0.3	18.4
OPTIO	DNAL DW	ELLING UNIT CALCULA ⁻	TION (NEC 220.82) CONN KVA					CONN KVA	A CALC KVA			
SMA LAU	LIGHTING AND RECEPTACLES SMALL—APPLIANCE LAUNDRY		3 1.5	2,261 SF (3 VA/SF)			RAL LOA TO 10 ER 10 K HEATING	KVA 10	10 8.94 4.2	(100%) (40%) (220.82(C)(1)]		١))
ELE	PLIANCES CTRIC CO ORS		12.7 8 0.4	TOTAL LOAD BALANCED								

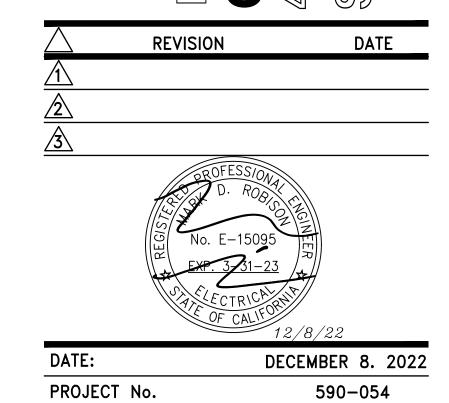


ONE-LINE DIAGRAM

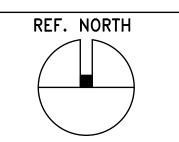




NEW DEVELOPMENT: CHEENEY ST TOWNHOUSES 1249 CHEENEY ST. SANTA CLARA, CA 95054



ONE-LINE DIAGRAM, PANEL & FAULT SCHEDULES



E1.00

Pai	nel		ROOM			240/120V	2P 3W	
114	\cap T	10	MOUNTING SURFACE			PS 60		MAIN BKR 60
しし	\cup \square	IU	FED FROM VAULT		TRAL	100%		LUGS STANDARD
			NOTE NEMA 3R ENCLO	SURE				
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CK #	T CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	20/1	0	SPARE		a 2	20/1	0	SPARE
3	20/1	0	SPARE		4	20/1	0	SPARE
5	20/1	0	SPARE	1	a 6	20/1	0	SPARE
7	20/1	0	SPARE		8 10	20/1	0	SPARE
9	20/1	0	SPARE		a 10	1 *	0	SPARE
11	20/1	0	SPARE		o 12	1 *	0	SPARE
13	20/1	0	SPARE	İ	a 14	20/1	0	SPARE
15	20/1	0	SPARE	İ	o 16	20/1	0	SPARE
17	20/1	0	SPARE		a 18	20/1	0	SPARE
19	20/1	0	SPARE		o 20	20/1	0	SPARE
21	20/1	0	SPARE		a 22	20/1	0	SPARE
23	20/1	0	SPARE		24	20/1	0	SPARE
	l		CONN CALC		-			CALC
			KVA KVA					KVA
		_			TO.	TAL LOAD		0
					ВА	_ANCED_L	OAD	0 A
					PH	HASE A		0.00%
					Pŀ	HASE B		0.00%

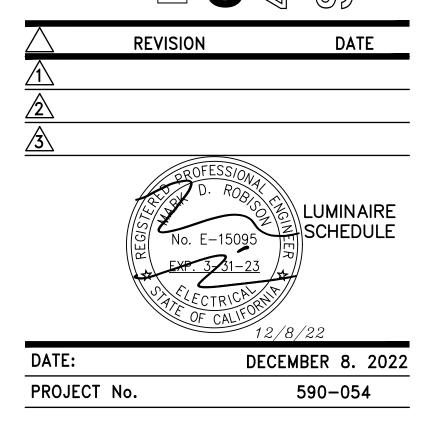
CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	LAMPING	WATTAGE	NOTES
L1	0	CEILING	GEN. LED LIGHT	TBD	120	(1) LED	14	
L2	Ю	WALL	GEN. LED LIGHT	TBD	120	(1) LED	14	
L3		CEILING	LED DOWNLIGHT	TBD	120	(1) LED	25	
L5	——	CEILING	8' LED STRIP	TBD	120	(1) LED	40	
L6	0	CEILING	4" LED DOWNLIGHT	TBD	120	(1) LED	15	
L7	ъ	WALL	EXT. LED LIGHT	TBD	120	(1) LED	15	W/ INTEGRAL PHOTOCELL AND MOTION SENSOR
L8	H	WALL	LED VANITY LIGHT	TBD	120	(1) LED	25	
L10	+	CEILING	WET RATED LED SHOWER LIGHT	TBD	120	(1) LED	20	
L11	\ \ \ \ \	CEILING	FAN/LIGHT COMBO	TBD	120	(1) LED	100	

DEVICE	I	FEEDER		BRANCH CIRC	U IT	TOTAL	FEEDER
	VOLTAGE DROP	WIRE SIZE	LENGTH	MAX VOLTAGE DROP	WIRE SIZE	VOLTAGE DROP	VOLTAGE DROP
UTILITY	0%		_	-	_	0%	0%
VAULT	0%	(3)#400kcm AL	il	-	_	0%	0%
LOT 10	0%	#2 AL	167'	_	_	0%	0%
P1	2.1%	#2/0 AL	165'	1.42% (CKT 2)	#12	3.52%	2.1%
P2	1.43%	#2/0 AL	112'	1.42% (CKT 2)	#12	2.85%	1.43%
P3	1.37%	#2/0 AL	107'	1.42% (CKT 2)	#12	2.8%	1.37%
P4	0.78%	#2/0 AL	61'	1.42% (CKT 2)	#12	2.2%	0.78%
P5	1.77%	#2/0 AL	139'	1.79% (CKT 9)	#12	3.56%	1.77%
P6	2.12%	#2/0 AL	166'	1.79% (CKT 9)	#12	3.91%	2.12%
P7	2.47%	#2/0 AL	194'	1.79% (CKT 9)	#12	4.26%	2.47%
P8	2.82%	#2/0 AL	221'	1.79% (CKT 9)	#12	4.61%	2.82%
P9	3.18%	#2/0 AL	249'	1.79% (CKT 9)	#12	4.96%	3.18%

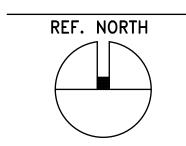




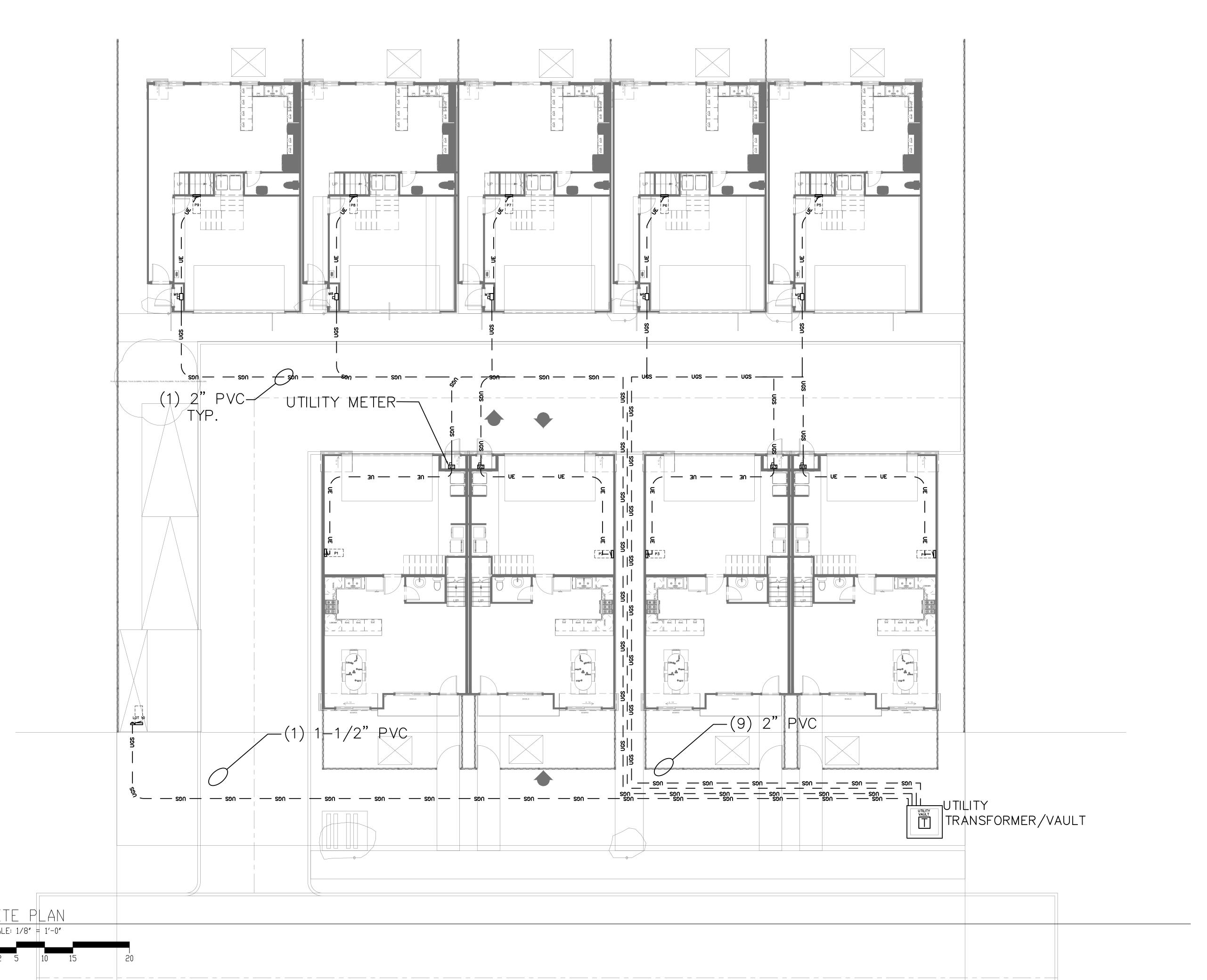
EENEY ST TOWNHOUSES © CHEENEY ST.



LUMINAIRE SCHEDULE



E1.01

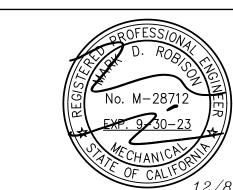




CONSTRUCTION INC.
GENERAL CONTRACTOR & ENGINEER
101 South Santa Cruz Ave., #33192
Los Gatos, CA 95030

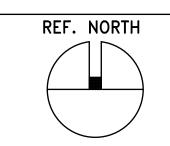
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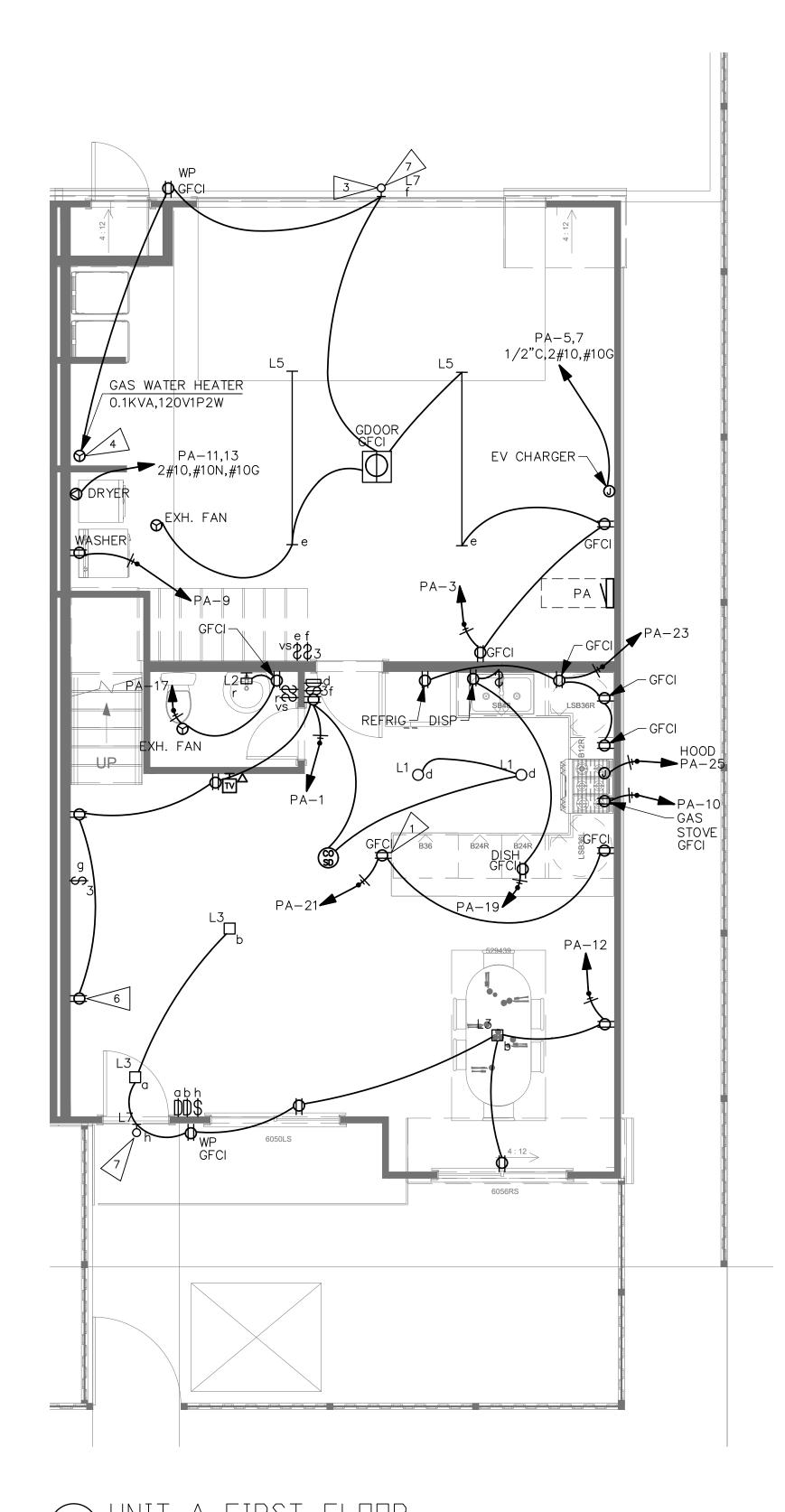


DATE:	DECEMBER 8. 2022
PROJECT No.	590-054

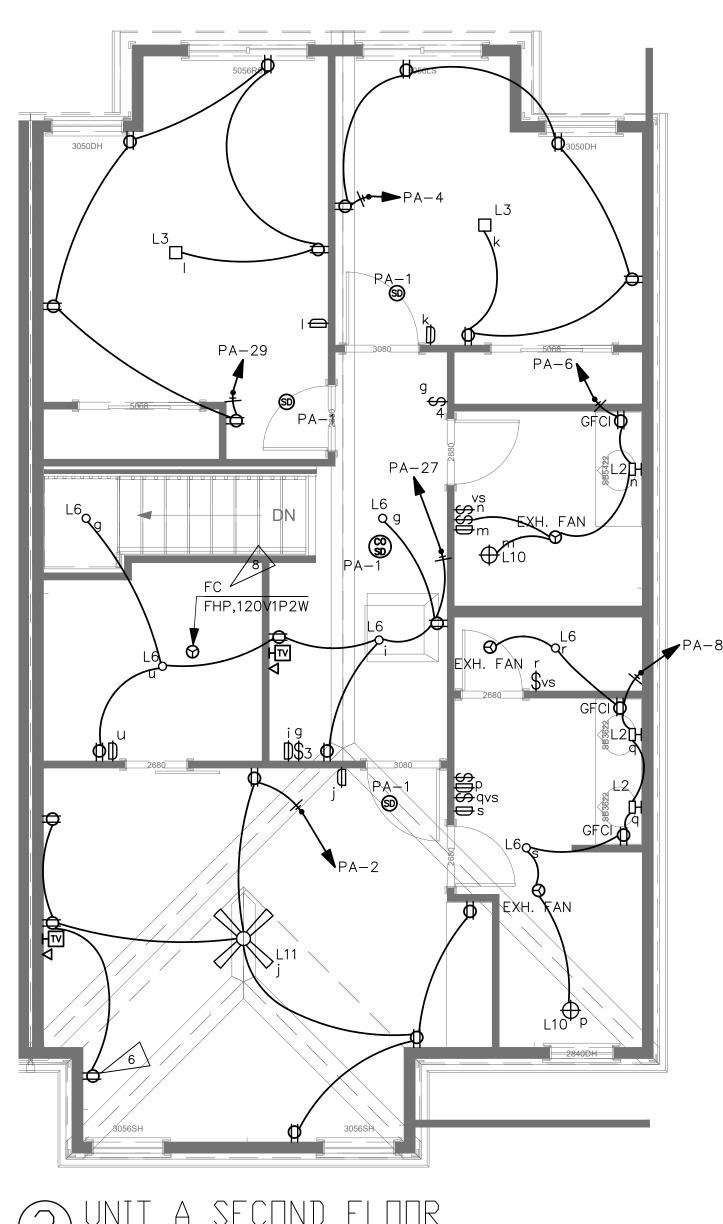
SITE PLAN

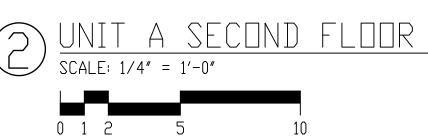


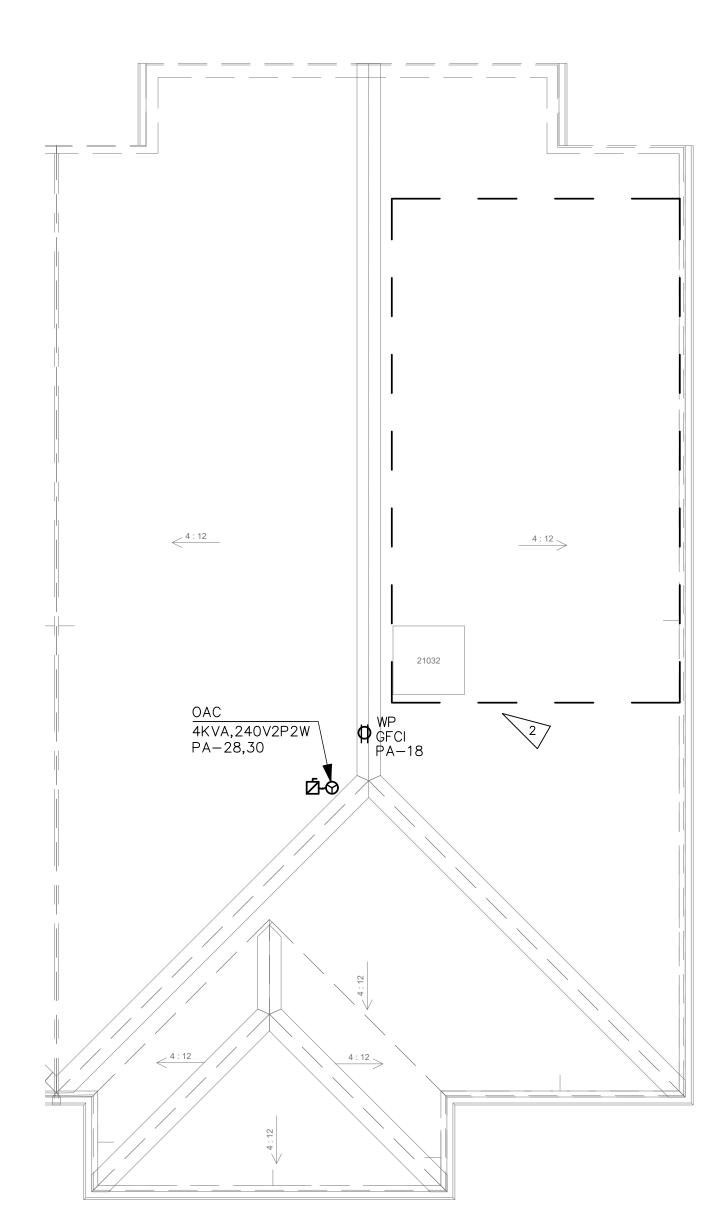
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SCALE: 1/4'' = 1'-0''









* SHEET NOTES

6" MAX COUNTERTOP OVERHANG FROM BASE CABINET.
MOUNT RECEPTACLE WITHIN 12" OF COUNTERTOP
SURFACE.

2 REQUIRED SOLAR READY ZONE PER TITLE 24 110.10.

3 ALL OPENINGS AROUND PENETRATIONS THROUGH EXTERIOR WALLS AND SILL PLATES SHALL BE SEALED FOR RODENT PROOFING. TYP.

TIE TO GARAGE CIRCUIT IF GAS WATER HEATER REQUIRES ELECTRICAL CONNECTION.

5 PROVIDE DOUBLE HASP LOCKING ARRANGEMENT OR UTILITY LOCK BOX FOR UNIT UTILITY ROOM DOORS.

6 PROVIDE TAMPER PROOF RECEPTACLES PER CBC 406.12.

OUTDOOR LIGHTING SHALL BE INTEGRALLY CONTROLLED BY BOTH PHOTOCELL CONTROL AND MOTION SENSOR

8 FC POWER FED FROM OUTDOOR UNIT

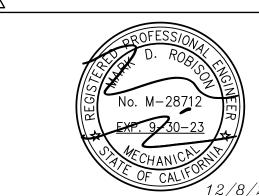




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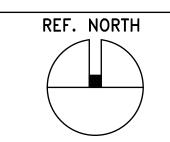
19 CHEENEY ST.
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DATE:		DECEMBER	8. 202
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TYPICAL UNIT POWER PLAN



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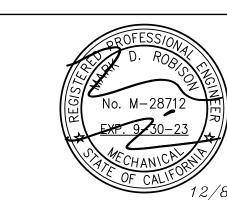


CONTACT: ARIK ESPINELI

CONSTRUCTION INC. GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192 Los Gatos, CA 95030

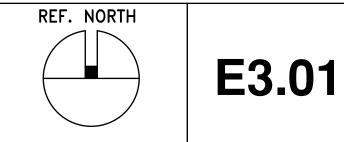
WELOPMENT: **EY ST TOWNHOUSE**HEENEY ST.

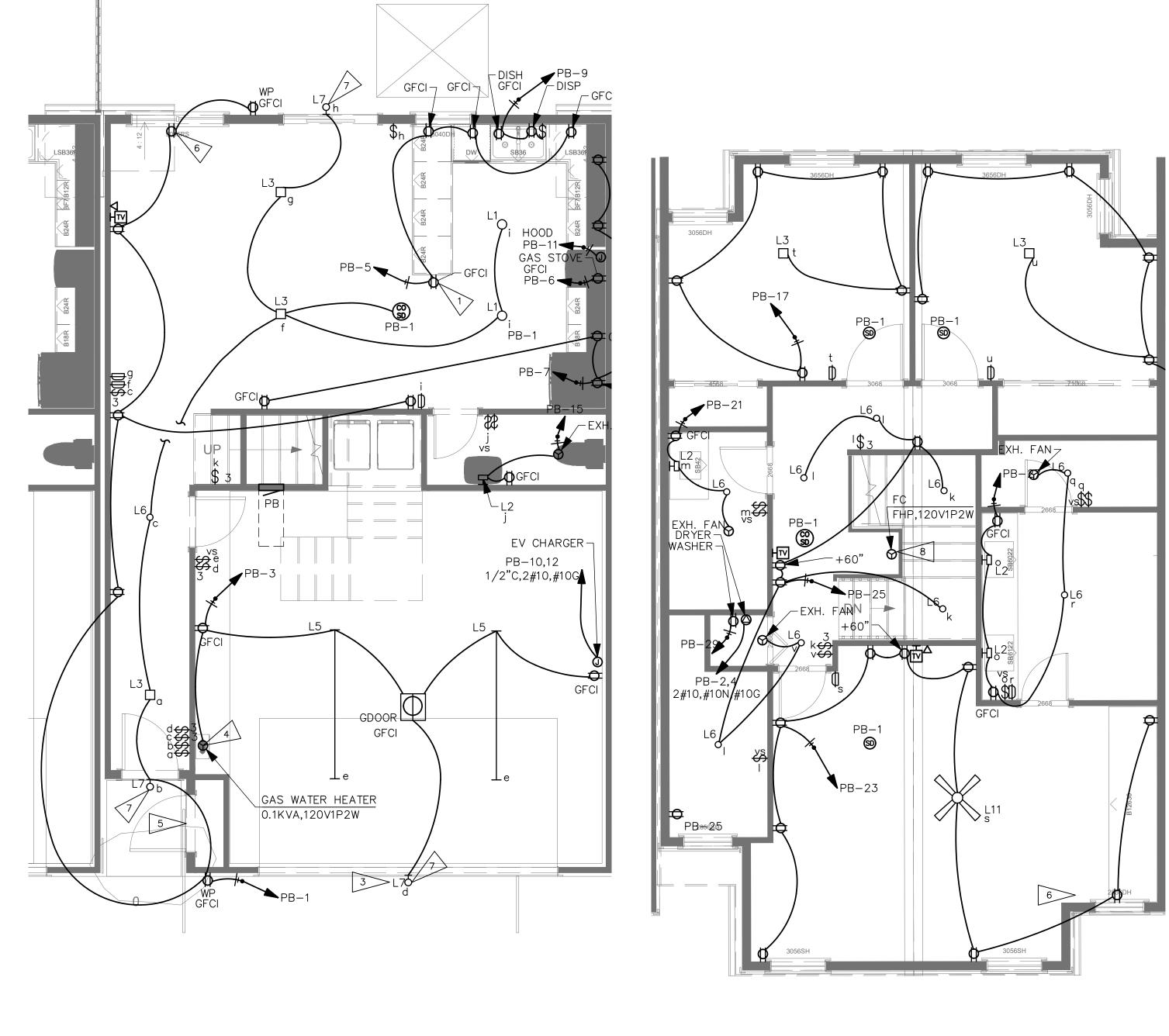
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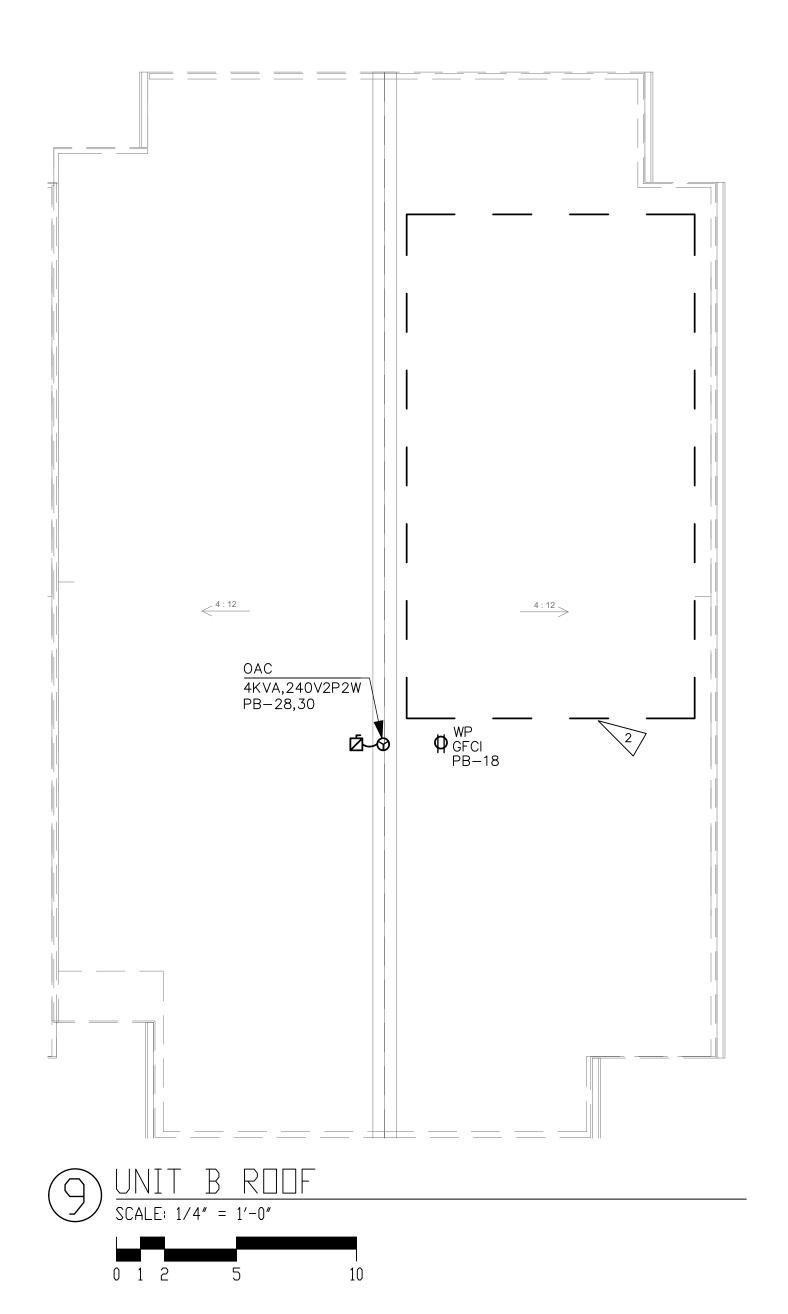


DATE:		DECEMBER	8.	202
PROJECT	No.	590-	-05	4

TYPICAL UNIT POWER PLAN







#> SHEET NOTES

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8 FC POWER FED FROM OUTDOOR UNIT

SCALE: 1/4'' = 1'-0''

SCALE: 1/4'' = 1'-0''

<u>GENERAL NOTES - MECHANI</u>CAL 1. REFERENCE TO RELATED WORK: "REF" INDICATIONS

- DENOTE WORK COVERED ELSEWHERE (ARCHITECTURAL, STRUCTURAL, CIVIL, ELECTRICAL, LANDSCAPE, OR KITCHEN), OR ITEM BASED ON A SPECIFIC MANUFACTURER'S DIMENSIONS (VERIFY).
- 2. ELECTRICAL CHARACTERISTICS: REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CHARACTERISTICS (VOLTAGES, ETC. OF MECHANICAL EQUIPMENT, UNLESS OTHERWISE INDICATED.
- CODES: COMPLETE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE PER THE APPLICABLE BUILDING, MECHANICAL, ENERGY, PLUMBING, FIRE, AND HEALTH CODES AND REGULATIONS AS ADOPTED BY THE LOCAL
- PREPARE AND SUBMIT FOR REVIEW A SHOP DRAWING BASED ON FINAL STRUCTURAL SHOP DRAWINGS FOR LOCATING AND ROUTING ALL DUCTWORK, DAMPERS, EQUIPMENT, PIPING, ETC. A. COORDINATE FLOOR AND BEAM PENETRATIONS WITH
 - STRUCTURAL B. COORDINATE FINAL LOCATION AND ROUTING WITH CEILING, LIGHTS, WALLS, FIRE SPRINKLER PIPING,
 - AND OTHER TRADES WORK. C. INCLUDE ADDITIONAL OFFSETS, ELBOWS, ROUTING, EQUIVALENT DUCT SIZING EXCHANGE, RELOCATING, ETC. AS REQUIRED FOR A COMPLETE OPERATING MECHANICAL SYSTEM.
 - D. PROVIDE SHOP DRAWINGS AT NO ADDITIONAL COST TO THE OWNER.
- MECHANICAL CONTRACTOR SHALL LOCATE AND COORDINATE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITHIN THE STRUCTURE.
- ACCESS DOORS: COORDINATE WITH ARCHITECT AND LOCATE ALL ACCESS DOORS ON SHOP DRAWINGS PRIOR TO BEGINNING OF CONSTRUCTION. ACCESS DOORS IN FIRE RATED STRUCTURE SHALL BE FIRE RATED. VERIFY ACCESS DOOR LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO BIDDING.
- 7. RATED PENETRATION: DUCT PENETRATIONS THROUGH RATED ENCLOSURES SHALL BE FIRE/SMOKE DAMPERED PER THE LATEST EDITION OF THE UNDERWRITERS LABORATORIES(UL) FIRE RESISTANCE WITH HOURLY RATINGS FOR THROUGH-PENETRATION FIRE STOPS SYSTEM VOLUME #2, OR SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S UL LISTINGS (3M OR EQUIVALENT). DETERMINE REQUIREMENTS WITH GENERAL CONTRACTOR PRIOR TO BID.
- 8. EXHAUST OUTLETS: SOURCE-SPECIFIC FANS SHALL BE VENTED TO OUTDOORS WITH A MINIMUM 3' CLEARANCE BETWEEN VENT OUTLETS AND BUILDING OPENINGS, AND 10' MINIMUM BETWEEN VENT OUTLETS AND MECHANICAL AIR INTAKES.
- ROOF PENETRATIONS: SEE ARCHITECTURAL DRAWINGS FOR ROOF CAP, ROOF CURB, ROOF DRAIN, AND VTR
- 10. EXPOSED PIPING: PROVIDE CHROME PLATING FOR EXPOSED PIPING IN FINISHED ROOMS.
- 11. PENETRATIONS: PROVIDE ESCUTCHEON PLATES FOR EXPOSED PIPING PENETRATIONS AND SHEET METAL FLASHING FOR EXPOSED DUCTWORK PENETRATIONS.

12. SHAFT AND PLENUM CONNECTIONS: SEAL CONNECTIONS

TO AIR SHAFTS AIRTIGHT. PROVIDE AIRTIGHT SEAL

- AROUND PENETRATIONS IN AIR PLENUMS. 13. LIGHT FIXTURE CLEARANCE: COORDINATE LOCATIONS OF
- MECHANICAL WORK TO PROVIDE CLEARANCES OVER LIGHTING FIXTURES FOR REMOVAL AND REPLACEMENT.
- 14. CABLE TRAYS: DUCTWORK AND PIPING INSTALLED ADJACENT TO ELECTRICAL CABLE TRAYS SHALL ALLOW MINIMUM ACCESS OF 6" ABOVE AND TO THE SIDE OF CABLE TRAYS.
- 15. MOTORS: COMPLY WITH ENERGY CODE ENFORCED BY AHJ FOR MINIMUM EFFICIENCIES UNDER FULL LOAD.
- 16. ACCESS CLEARANCES FOR MAINTENANCE AND REPLACEMENT: VERIFY PHYSICAL DIMENSIONS OF EQUIPMENT TO ENSURE THAT ACCESS CLEARANCES CAN BE MET. COORDINATE LOCATIONS OF MECHANICAL WORK AND WORK OF OTHER TRADES TO PROVIDE ACCESS CLEARANCES FOR SERVICE AND MAINTENANCE.

CONTRACTOR SUBSTITUTIONS & REVISIONS

CONTRACTOR SUBSTITUTIONS & REVISIONS: PLEASE SUBMIT PROPOSALS FOR SUBSTITUTIONS OR REVISIONS

DATA AND/OR SPECIFICATION FOR THAT ITEM ARE CONSIDERED PART OF SPECIFICATION. ENGINEERING COSTS

PERMITTING COSTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER COSTS ASSOCIATED WITH UNFORESEEN

FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIAL OR DOING WORK. FOR EQUIPMENT THAT IS

SCHEDULED BY MANUFACTURER'S NAME AND CATALOG DESIGNATIONS, THE MANUFACTURER'S PUBLISHED

FOR REVISING MEP PLANS SHALL BE ADDRESSED IN THE COST ANALYSIS OF THE SUBSTITUTION

PROPOSAL. CONTRACTOR TO COORDINATE WITH ENGINEER AND DETERMINE ASSOCIATED DESIGN AND

COORDINATION REQUIREMENTS

1. PIPING: COORDINATE WITH STRUCTURAL FOR EXACT

LOCATION OF ALL STRUCTURAL FRAMING AND FOOTINGS AND FINALIZE THE EXACT ROUTING OF ALL PIPES WITH STRUCTURAL AND AT THE SITE PRIOR AND DURING THE CONSTRUCTION.

GENERAL NOTES

- DUCTWORK: LOCATE AND COORDINATE THE EXACT LOCATION OF DUCTWORK WITH STRUCTURAL PLANS AND WITH THE GENERAL CONTRACTOR PRIOR TO INSTALLATION OF ANY STRUCTURE OR EQUIPMENT COORDINATE WITH FRAMING CONTRACTOR TO ASSURE JOIST SPACES LINE UP WHEN DUCTWORK MUST PASS
- THROUGH DIFFERENT JOIST SPACES. ADJUSTMENTS: ALL EQUIPMENT, MOTORS, FANS GAS BURNERS, IGNITION DEVICES, DRIVES, ETC. SHALL BE ADJUSTED AND BALANCED TO OPERATE AT SPECIFIED RATINGS AS REQUIRED FOR THIS PROJECT SITE AND ACCOUNTING FOR ELEVATION ABOVE SEA LEVEL.
- 4. APPROVALS: MECHANICAL AND PLUMBING EQUIPMENT SHALL BE APPROVED FOR INSTALLATION IN THE PROJECT LOCATION AND SHALL HAVE ALL CERTIFICATIONS AND RATINGS TO MEET ALL ENERGY POLLUTION, ENVIRONMENTAL, SEISMIC, ETC. CODES AND REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH HIS MANUFACTURE SUPPLIERS AND SHALL INCLUDE ALL COSTS REQUIRED TO MEET THESE REQUIREMENTS IN HIS BID.
- FIRE PROTECTION: CONTRACTOR SHALL PROVIDE A FULLY DESIGNED FIRE PROTECTION SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA AND LOCAL CODES. PROVIDE DESIGN, PERMITS, MATERIALS, INSTALLATION, TESTING AND ALL OTHER FOR A FULLY OPERATIONAL SYSTEM. LOCATION OF ALL PIPING TO BE COORDINATED WITH OTHER TRADES.
- FIREPLACES: COORDINATE WITH THE GENERAL CONTRACTOR TO DETERMINE GAS FIREPLACE FLUE AND COMBUSTION AIR DUCTWORK REQUIREMENTS PRIOR TO BIDDING.

PIPING NOTES

- DISASSEMBLY PROVISIONS: PROVIDE UNIONS OR FLANGES AT PIPING CONNECTIONS TO EQUIPMENT, COILS, TRAPS, CONTROL VALVES, AND OTHER COMPONENTS TO ALLOW DISASSEMBLY FOR MAINTENANCE.
- REDUCERS: PROVIDE AS REQUIRED FROM LINE PIPE SIZE TO EQUIPMENT, TRAP, COIL, AND CONTROL VALVE CONNECTION SIZES.
- OFFSETS: PROVIDE FOR BRANCH LINES TO EQUIPMENT.
- DIELECTRIC UNIONS: PROVIDE AT CONNECTIONS OF DISSIMILAR PIPE.
- REFRIGERANT PIPING: PROVIDE SIZING & INSTALLATION IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- CONDENSATE DRAIN: PROVIDE A P-TRAP FOR EACH HVAC UNIT CONDENSATE PAN WITH PLUG TEES FOR CLEANING. CONDENSATE DRAINS SHALL BE DISCHARGED TO AN INDIRECT WASTE OR OUTSIDE.

INSULATION/LINING NOTES

1. ENERGY CODE: AS A MINIMUM, COMPLY WITH THICKNESSES AND TYPES LISTED IN ENERGY CODE ENFORCED BY AHJ.

PLAN NOTES

- 1. DUCTWORK SHALL BE METALLIC DUCTWORK
- TEST AND BALANCE WORK SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCE AGENCY. PROVIDE (3) COPIES OF TEST AND BALANCE REPORT TO OWNER.
- COORDINATE DUCTWORK WITH MISCELLANEOUS OBSTRUCTIONS IN CEILING SPACE.
- RESTROOM EXHAUST SHALL BE A MINIMUM OF 10' FROM ANY MECHANICAL OUTSIDE AIR INTAKES.
- ROUTE DUCTWORK UNDERNEATH JOISTS UON.
- TRANSITION DUCT UNDER BEAMS AND DUCTS. FIELD VERIFY AVAILABLE CEILING CAVITY DIMENSIONS.
- 7. COORDINATE MOUNTING HEIGHT OF DIFFUSERS WITH ARCHITECTURAL PLANS.

SHEET METAL NOTES

- 1. REFERENCE: SMACNA HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE, CURRENT EDITION.
- 2. CLEARANCE: COORDINATE DUCTWORK WITH

MISCELLANEOUS OBSTRUCTIONS IN CEILING SPACE.

- ROUND ELBOWS AND OFFSETS: FULL RADIUS (R/D =1.5), 5-PIECE SEGMENTED OR STAMPED. REFER TO SMACNA HVAC FIG 2-7, 3-3. DO NOT USE ANGLED OFFSET (TYPE 1). MITERED OFFSET (TYPE 2) MAY BE USED UP TO 30 DEGREE OFFSET ANGLE
- ROUND TEES AND LATERALS: CONICAL TEE PER SMACNA HVAC FIG 3-5: DO NOT USE STRAIGHT TEE: DO NOT USE CONICAL SADDLE TAP FOR EXPOSED DUCTWORK IN FINISHED SPACES. 90-DEGREE TEE WITH OVAL TO ROUND TAP, LATERAL, AND 45-DEGREE RECTANGULAR LEAD-IN PER SMACNA HVAC FIG 3-4.
- 5. RECTANGULAR ELBOWS AND OFFSETS: FULL RADIUS WHERE SPACE PERMITS, R/W = 1.5; OTHERWISE USE SQUARE CORNER ELBOW WITH TURNING VANES.
- RECTANGULAR DIVIDED FLOW FITTINGS: USE GENERALLY, EXCEPT BRANCHES TO TERMINALS; SMACNA HVAC FIG 2-5, TYPES 1, 2, 4A, AND 4B. DO NOT USE TYPE 3.
- TURNING VANES: H.E.P. MANUFACTURER OR APPROVED HIGH EFFICIENCY PROFILE AIRFOIL TYPE FOR RECTANGULAR SQUARE THROAT ELBOWS. ACOUSTICAL TYPE FOR RETURN AIR MITERED ELBOWS.
- TAKEOFFS TO OPENINGS: CONICAL TYPE WITH VOLUME DAMPER FOR ROUND DUCT BRANCHES PER SMACNA HVAC FIG 2-6, MINIMUM INLET DIAMETER 2 INCHES LARGER THAN DUCT SIZE. 45 DEGREE ENTRY FITTING FOR RECTANGULAR DUCT BRANCHES PER SMACNA HVAC
- FLEXIBLE CONNECTIONS: PROVIDE AT EACH DUCT CONNECTION TO FANS, PACKAGED HVAC EQUIPMENT, EXTERNALLY ISOLATED AIR HANDLING UNITS, FAN COIL UNITS, AND SIMILAR EQUIPMENT. EXCEPTION: EQUIPMENT IN CORRIDOR CEILING SPACES WHERE FIRE RATING IS REQUIRED.

- ATTACHMENTS: AIR DISTRIBUTION OUTLETS AND LOUVERS SHALL HAVE ALL REQUIRED ACCESSORIES AND ATTACHMENTS FOR A COMPLETE CONNECTION TO THE SPECIFIC TYPE OF STRUCTURE THAT THEY ARE BEING ATTACHED TO. THIS INCLUDES, BUT IS NOT LIMITED TO, EXTERIOR BRICKS, GWB WALLS, GWB CEILING, ETC.
- DUCTWORK: DUCTWORK SHALL BE SMOOTH SHEET METAL (CLASS-1). DUCTWORK THROUGH FIRE RATED STRUCTURE AND FLOOR SHALL BE MIN. 26 GA. STEEL MAXIMUM LENGTH OF FLEXIBLE DUCTS SHALL BE 5'-0". UNLESS OTHERWISE NOTED ON DRAWINGS. DUCTWORK SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
- VOLUME DAMPERS: PROVIDE AN ACCESSIBLE MANUAL VOLUME DAMPER FOR EACH SUPPLY, RETURN, OSA, AND EXHAUST OPENING, LOCATED AS FAR UPSTREAM AS POSSIBLE FROM THE OPENING. PROVIDE A MANUAL VOLUME DAMPER FOR BRANCH MAINS SERVING MORE THAN ONE OPENING. VOLUME DAMPERS IN NON-ACCESSIBLE CEILINGS SHALL HAVE A CONTROL ARM EXTENDED TO AN ACCESSIBLE LOCATION.
- 4. SEISMIC: PROVIDE SEISMIC RESTRAINTS FOR MECHANICAL EQUIPMENT, PIPING, AND DUCTWORK PER SMACNA AND LOCAL REGULATIONS.
- 5. FILTER CLEARANCE: PROVIDE ADEQUATE CLEARANCE FOR CHANGING AIR FILTERS.
- 6. DUCTWORK AND PIPING OUTSIDE OF MECHANICAL ROOMS SHALL BE CONCEALED, COORDINATE WITH THE GENERAL CONTRACTOR TO FUR-OUT AS REQUIRED.
- 7. FIRE RATINGS: RATED FLOOR/CEILING JOINT SPACES HAVING DUCTWORK INSIDE THEM SHALL BE FIRE/SMOKE PROTECTED TO MAINTAIN THE 1-HOUR FLOOR/CEILING RATING PER LOCAL JURISDICTIONS. EXHAUST DUCTWORK PENETRATING THE 1-HOUR ROOF/CEILING OR FLOOR/CEILING ASSEMBLY SHALL HAVE ACCESSIBLE CEILING FIRE DAMPERS. ALTERNATIVELY, THE EXHAUST DUCTWORK SHALL BE ROUTED INSIDE A RATED SHAFT TO PROTECT THE CEILING/ROOF RATING PER THE LOCAL JURISDICTIONS.
- FIRESTOP: PIPE, DUCT AND CONDUIT PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE AND SMOKE STOPPED PER CODE.
- CORRIDOR THERMOSTAT: PROVIDE TAMPERPROOF THERMOSTATS IN CORRIDORS. DO NOT PROVIDE PLASTIC GUARDS TO MAKE THE THERMOSTATS TAMPERPROOF. PROVIDE BLANK SECURABLE THERMOSTAT COVERS.

PRE-CON MEETING NOTES

CONTRACTORS SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH THE ENGINEER FOR THE PURPOSE OF REVIEWING THE WORK PRIOR TO ORDERING ANY EQUIPMENT OR PERFORMING ANY WORK. THE MEETING SHALL BE LOCATED AT THE PROJECT SITE ON A DATE AND TIME TO BE MUTUALLY AGREED. THE MEETING WILL BE A WORKING SESSION. THE MEETING WILL BE FACILITATED BY THE ENGINEER AND THE AGENDA WILL INCLUDE A DETAILED REVIEW OF THE PLANS AND SPECIFICATIONS, CROSS CHECK WITH OTHER TRADES FOR COORDINATION ISSUES. REVIEW OF PROPOSED PRODUCTS, REVIEW OF PLANNED MEANS AND METHODS, AND ON-SITE INVESTIGATION OF FIELD CONDITIONS RELATIVE TO EXISTING CONDITIONS THAT COULD AFFECT THE WORK. PERSONS ATTENDING THE MEETING SHALL BE KNOWLEDGEABLE OF THE PROJECT AND SHALL BE THE SPECIFIC PERSONS INTENDED TO CONTINUE WITH THE PROJECT THROUGH TO COMPLETION. IF REQUIRED, REVISED PLANS WILL BE ISSUED THROUGH OFFICIAL CHANNELS. CHANGES IN THE BID PRICE WILL BE DISCUSSED, BUT NO CHANGE ORDERS WILL BE ISSUED UNLESS PROCESSED THOUGH OFFICIAL CHANNELS. IT SHALL BE UNDERSTOOD THAT THE ENGINEER HAS NO AUTHORITY TO ISSUE CHANGE ORDERS.

THE FOLLOWING TRADES SHALL BE REPRESENTED FOR THE MINIMUM TIME INDICATED:

MECHANICAL SHEET METAL PLUMBING/PIPING ELECTRICAL SPRINKLER

GENERAL CONTRACTOR

4 HOURS 4 HOURS 4 HOURS 2 HOURS ALL SESSIONS

AIR CONDITIONING UNIT ABOVE FINISHED FLOOR AUTHORITY HAVING JURISDICTION AHU AIR HANDLING UNIT ACCESS PANEL BDD BACKDRAFT DAMPER BHP BRAKE HORSEPOWER BRITISH THERMAL UNIT BTUH PFR HOUR COMMON CAP CAPACITY CC COOLING COIL CD CEILING DIFFUSER CUBIC FEET PER MINUTE CFM CLG CEILING, COOLING CO CLEANOUT COMB COMBUSTION CONT CONTINUE, CONTROL COP COEFFICIENT OF PERFORMANCE CWS CHILLED/CONDENSER WATER SUPPLY CWR CHILLED/CONDENSER WATER RETURN DIAMETER DRY BULB, DECIBEL DB DIM DIMENSION DISCH DISCHARGE DN DOWN EΑ EXHAUST AIR FNTFRING AIR TEMPERATURE ENERGY EFFICIENCY RATIO EXHAUST FAN EFFICIENCY EXHAUST GRILLE **ELECTRIC** EXTERNAL STATIC PRESSURE **EXHAUST**

ABBREVIATIONS

EAT EER EF EFF EG ELEC ESP EXH EXT EXTERIOR, EXTERNAL **FAHRENHEIT** FCU FAN COIL UNIT FLR FLOOR FPM FEET PER MINUTE FEET PER SECOND FPS

FSD FIRE/SMOKE DAMPER GAL GALLONS GPM GALLONS PER MINUTE GRD GRILLES, REGISTERS, **DIFFUSERS** GWB GYPSUM WALLBOARD

HORIZ HORIZONTAL HP HORSEPOWER HPU HEAT PUMP UNIT HEAT RECOVERY UNIT HRU HVAC HEATING, VENTILATING, AND AIR CONDITIONING HVU HWR HOT WATER RETURN

HEATING & VENTILATION HWS HOT WATER SUPPLY HX HEAT EXCHANGER INDIRECT DRAIN, INSIDE DIAMETER IN KILOWATT

ΚW LONG, LENGTH POUND THOUSAND BTU PER HOUR MBH MECH MECHANICAL MCA MIN. CIRCUIT AMPACITY MOCP MAX. OVER CURRENT PROTECTION MTD MOUNTED

OSA OUTDOOR AIR OBD OPPOSED BLADE DAMPER OUTSIDE DIMENSION OR DIAMETER OPNG OPENING PD PRESSURE DROP, PUMPED

POC POINT OF CONNECTION PRESSURE REDUCING VALVE PSIG POUNDS PER SQUARE IN GAUGE RA RETURN AIR RD ROOF DRAIN REF REFERENCE RF RELIEF FAN

RG RETURN GRILLE REVOLUTIONS PER MINUTE RPM SA SUPPLY AIR SCH SCHEDULE

SUPPLY FAN, SQUARE FOOT SENS SENSIBLE SUPPLY GRILLE SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION SCREENED OPENING

STATIC PRESSURE STAINLESS STEEL SANITARY SEWER **SQUARE** TRANSFER GRILLE TYP TYPICAL UNIT HEATER UNLESS OTHERWISE NOTED UON

VENTILATION, VENTILATOR VENT VTR VENT THRU ROOF WASTE, WATT, WIDE WET BULB (TEMPERATURE)

SYMBOLS <u>EQUIPMENT</u> <u>DUCTWORK</u> TYPICAL EQUIPMENT DESIGNATION DUCT (1ST FIGURE = SIDE SHOWN 18x12 (EXHAUST FAN SHOWN) 2ND FIGURE = SIDE NOT SHOWN) DOWN DUCT SECTION, POSITIVE PRESSURE DUCT SMOKE DETECTOR DOWN ROOM THERMOSTAT OR DUCT SECTION, NEGATIVE TEMPERATURE TRANSMITTER **PRESSURE** ROOM HUMIDISTAT OR HUMIDITY ROUND DUCT SECTION TRANSMITTER CARBON MONOXIDE SENSOR DUCT PENETRATION THRU FLOOR OR ROOF SMOKE DETECTOR <u>TERMINALS</u> CD-12x12 OR CD-1 DIFFUSER/GRILLE TYPE, AND VOLUME DAMPER FIRE/SMOKE DAMPER (--◀ = +FSD HORIZ DUCT, -- = VERT DUCT),

400 TESIGN CFM (WHERE APPLICABLE) CEILING DIFFUSER (FLOW ARROWS 2-HR RATED, UON SHOWN FOR NON SYMMETRICAL FIRE DAMPER $(--\blacktriangleleft = HORIZ$ AIRFLOW) \rightarrow FD DUCT, $-- \Leftrightarrow = VERT DUCT), 2-HR$ RATED, UON CEILING RETURN/EXHAUST GRILLE LINEAR DIFFUSER, CEILING OR WALL 90' ELBOW, R/D OR R/W=1.5 MOUNTED (FLOW ARROWS SHOWN FOR NON SYMMETRICAL AIRFLOW) SQUARE CORNER ELBOW WITH WALL SUPPLY GRILLE (SG) WALL RETURN/EXHAUST GRILLE

PRESSURE REDUCING VALVE (PRV)

BREAK IN PIPING OR DUCTWORK

OVERFLOW RAIN LEADER (OL)

—— RAIN LEADER (RL)

CHECK VALVE

____OL____

TURNING VANES 90' TAKE-OFF OR TEE (RG, EG) TRANSFER GRILLE (TG), DUCT 90' CONICAL TAKE-OFF CONNECTED, WALL MOUNTED W/ OPTIONAL CFM SHOWN TRANSFER GRILLE, CEILING MOUNTED WITH FULL-SIZED LINED 45' LATERAL TAKE-OFF DUCT CONNECTION TRANSITION OR REDUCER (FOT = <u>PIPING</u> → FLAT ON TOP, FOB = FLAT ON CONDENSATE DRAINAGE BOTTOM)

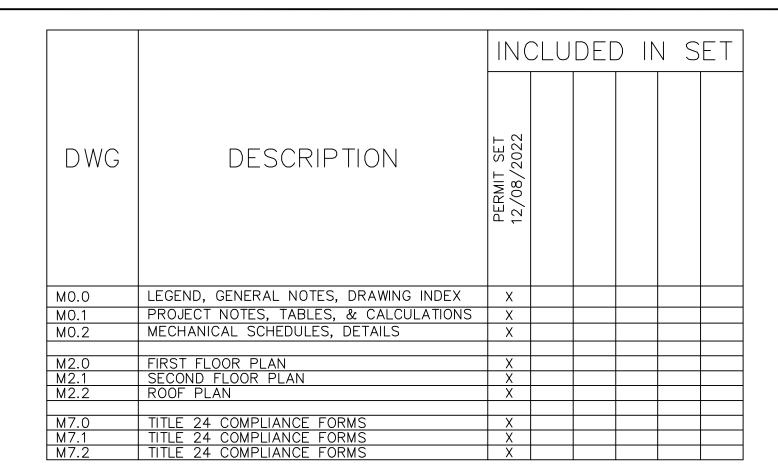
NATURAL GAS - STD. PRESSURE WYE FITTING NATURAL GAS - MEDIUM PRESSURE PIPE CAP 90' RECTANGULAR TAKE-OFF WITH PIPE PLUG 45' TAPER ----- FLANGE 90' DIVERGING RECTANGULAR TEE, GATE VALVE (EXISTING ONLY) EITHER RADIUS OR TURNING VANES BALL VALVE

PARALLEL FLOW BRANCH CONNECTION, EITHER RADIUS OR TURNING VANES

FLEXIBLE DUCT ROUND DUCT INDICATOR

DRAWINGS ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS. PROVIDE DUCTWORK, CONNECTIONS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY FOR A COMPLETE SYSTEM

DRAWING INDEX



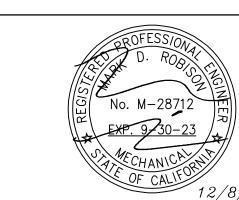




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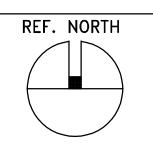
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REVISION DATE



DATE: DECEMBER 8. 2022 PROJECT No. 590-054

> LEGEND, GENERAL NOTES, **DRAWING INDEX**



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ISSUES RESULTING FROM SUBSTITUTIONS OR REVISIONS.

PROJECT NOTES

PROJECT NOTES

- 1. THE PERSON WITH OVERALL RESPONSIBILITY FOR CONSTRUCTION OR THE PERSON RESPONSIBLE FOR THE INSTALLATION OF REGULATED FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES SHALL POST, OR MAKE AVAILABLE WITH THE BUILDING PERMIT(S) ISSUED FOR THE BUILDING THE REQUIRED INSTALLATION CERTIFICATE(S) FOR FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS OR PART 6. SUCH INSTALLATION CERTIFICATE(S) SHALL BE MADE AVAILABLE TO THE ENFORCEMENT AGENCY FOR ALL APPROPRIATE INSPECTIONS. THESE CERTIFICATES SHALL:
- 1.1. IDENTIFY FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES REQUIRED TO VERIFY COMPLIANCE WITH THE APPLIANCE EFFICIENCY REGULATIONS AND PART 6.
- 1.2. INCLUDE A STATEMENT INDICATING THAT THE FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES CONFORM TO THE APPLIANCE EFFICIENCY REGULATIONS AND PART 6 AND THE REQUIREMENTS FOR SUCH FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES GIVEN IN THE PLANS AND SPECIFICATIONS APPROVED BY THE LOCAL ENFORCEMENT AGENCY.
- 1.3. STATE THE NUMBER OF THE BUILDING PERMIT UNDER WHICH THE CONSTRUCTION OR INSTALLATION WAS PERFORMED.
- 2. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN SEC. 10-103 (A) 2. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION, AND THE INSTALLED R-VALUE.
- WITHIN 90 DAYS AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY RECORD DRAWINGS SHALL BE PROVIDED TO THE OWNER. IF ANY CHARACTERISTIC IS MATERIALLY CHANGED BEFORE FINAL CONSTRUCTION AND INSTALLATION, SUCH THAT THE BUILDING MAY NO LONGER COMPLY WITH PART 6, THE BUILDING MUST BE BROUGHT INTO COMPLIANCE, AND SO INDICATED ON AMENDED PLANS AND CERTIFICATE OF COMPLIANCE THAT SHALL BE SUBMITTED FOR PLAN APPROVAL.
- 4. THE BUILDER SHALL PROVIDE THE BUILDING OWNER OR THE PERSON(S) RESPONSIBLE FOR BUILDING MAINTENANCE (IN CASE OF MULTI-TENANT OR CENTRALLY OPERATED BUILDINGS) AT OCCUPANCY THE FOLLOWING:
- 4.1. OPERATING INFORMATION: THE APPROPRIATE CERTIFICATE(S) OF COMPLIANCE AND A LIST OF THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO OPERATE THEM EFFICIENTLY.
- 4.2. MAINTENANCE INFORMATION: REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING THE OPERATION AND MAINTENANCE MANUAL.
- 4.3. VENTILATION INFORMATION: A DESCRIPTION OF THE QUANTITIES OF OUTDOOR AND RECIRCULATED AIR THAT THE VENTILATION SYSTEMS ARE DESIGNED TO PROVIDE TO EACH AREA.
- 5. ANY ROOFING PRODUCT USED AS A COOL ROOF SHALL BE CERTIFIED AND LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 10-113 BY THE COOL ROOF RATING COUNCIL (CRRC) AND MEET CONDITIONS SET IN SEC. 118
- 6. DUCT SYSTEMS USED WITH BLOWER TYPE EQUIPMENT WHICH ARE PORTIONS OF A HEATING, COOLING, ABSORPTION, EVAPORATIVE COOLING OR OUTDOOR AIR VENTILATION SYSTEM SHALL BE SIZED IN ACCORDANCE WITH CHAPTER 17 OF THE CALIFORNIA MECHANICAL CODE.
- 7. SUPPLY AIR, RETURN AIR, AND OUTSIDE AIR FOR HEATING, COOLING, OR EVAPORATIVE COOLING SYSTEMS SHALL BE CONDUCTED THROUGH DUCT SYSTEMS CONSTRUCTED OF METAL AS SET FORTH IN THE ANSI/SMACNA 006-2006 HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE, OR ANOTHER APPROVED DUCT CONSTRUCTION STANDARD.
- 8. MATERIALS EXPOSED WITHIN DUCTS OR PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME-SPREAD INDEX NOT GREATER THAN TWENTY-FIVE (25) AND A SMOKE DEVELOPED INDEX NOT GREATER THAN FIFTY (50) WHEN TESTED AS A COMPOSITE PER APPLICABLE TESTING STANDARD.
- WHEN FIRE DETECTION OR ALARM SYSTEMS ARE PROVIDED FOR THE BUILDING, ANY REQUIRED SMOKE DETECTORS SHALL BE SUPERVISED BY SUCH SYSTEMS AND SHALL BE CAPABLE OF ACTIVATING THE FIRE ALARM SYSTEM.
- 10. REFRIGERANT SERVICE PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING TYPE TAMPER RESISTANT CAPS OR SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS BY AN ACCEPTABLE MEANS.
- 11. ALL APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE PER BUILDING CODE REQUIREMENTS OR APPLICABLE MANUFACTURER INSTALLATION REQUIREMENTS.
- 12. ROOF MOUNTED EQUIPMENT SHALL BE LABELED AS TO THE SPACE IT SERVES.
- 13. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST, WATER, AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- 14. PRIOR TO PERMIT BEING FINALED, A COMPLETE REPORT OF THE COMMISSIONING PROCESS SHALL BE PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE AND FORM 5.410 - VERIFICATION SHALL BE COMPLETED AND PROVIDED TO THE INSPECTOR.

THROUGH PENETRATIONS FOR 4" DUCT

PER EXCEPTION TO CBC SECTION 717.6.1, A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED IT MEETS ALL OF THE FOLLOWING REQUIREMENTS:

- 1. THE DUCT SHALL BE CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL AND SHALL BE CONSTRUCTED OF STEEL NOT LESS THAN 0.019 INCH (26 GAGE) IN THICKNESS.
- 2. THE DUCT SHALL OPEN INTO ONLY ONE DWELLING OR SLEEPING UNIT AND THE DUCT SYSTEM SHALL BE CONTINUOUS FROM THE UNIT TO THE EXTERIOR OF
- 3. THE DUCT SHALL NOT EXCEED 4-INCH NOMINAL DIAMETER AND THE TOTAL AREA OF SUCH DUCTS SHALL NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF FLOOR AREA.
- 4. THE ANNULAR SPACE AROUND THE DUCT IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHERE SUBJECTED TO ASTM E 119 TIME-TEMPERATURE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 Pa) OF WATER AT THE LOCATION OF THE PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION
- 5. GRILLE OPENINGS LOCATED IN A CEILING OF A FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY SHALL BE PROTECTED WITH A LISTED CEILING RADIATION DAMPER INSTALLED IN ACCORDANCE WITH SECTION 716.6.2.1.

MAXIMUM VENT AREA CALCULATIONS AT MAX: (8) 4ø PIPES SINGLE PIPE = 12.5 SQ. IN. 8 * 12.5 = 100 SQ. IN. MAX

VENTS SHALL NOT EXCEED 100 SQ. IN. PER 100 SF OF FLOOR AREA.

NATURAL VENTILATION

MINIMUM OPENABLE AREA PER IMC 402.2: 1600 SF MAX. X 4% = 64 SF

ENTRANCE DOOR: 30 SF OPERABLE WINDOW: 243 SF TOTAL OF 273 SF OF OPEN AREA

MINIMUM OPENABLE AREA PER IMC 402.2: 1619 SF MAX. X 4% = 64.76 SF

ENTRANCE DOOR: 30 SF PATIO DOOR: 46.76 SF OPERABLE WINDOW: 202.98 SF TOTAL OF 279.74 SF OF OPEN AREA

2019 CALIFORNIA DUCT INSULATION SCHEDULE (1)(2)(3)(5)(6)(7)(8)

D VALUE VAROR RETARRED

SERVICE	MATERIAL	R-VALUE (MIN.INSTALLED)	VAPOR RETARDER REQUIRED
SUPPLY & RETURN AIR DUCTS IN EXTERIOR SPACE	MINERAL-WOOL BLANKET	8.0	YES
SUPPLY & RETURN AIR DUCTS IN UNVENTED ATTIC ABOVE INSULATED CEILING SPACE	MINERAL-WOOL BLANKET	8.0	YES
SUPPLY & RETURN AIR DUCTS IN VENTED ATTIC SPACE	MINERAL-WOOL BLANKET	8.0	YES
SUPPLY & RETURN AIR DUCTS IN UNCONDITIONED AND CRAWL SPACE	MINERAL-WOOL BLANKET	8.0	YES
SUPPLY AIR DUCTS ENCLOSED IN CONDITIONED SPACE	N/A	0.0	N/A
SUPPLY AIR DUCTS BURIED AND OTHER SPACES NOT LISTED ABOVE	MINERAL-WOOL BLANKET	4.2	N/A
ROUND & RECTANGULAR EXHAUST AIR DUCTS IN UNCONDITIONED SPACE	MINERAL-WOOL BLANKET	N/A	N/A
ROUND & RECTANGULAR SUPPLY AIR DUCTS, EXPOSED WITHIN CONDITIONED SPACE	MINERAL-WOOL BLANKET	N/A	N/A
ROUND & RECTANGULAR RETURN AIR DUCTS, EXPOSED WITHIN CONDITIONED SPACE	MINERAL-WOOL BLANKET	N/A	N/A
OUTSIDE AIR DUCTS WITHIN CONDITIONED SPACE, ATTIC SPACE OR CONCEALED IN CEILING	MINERAL-WOOL BLANKET	4.0	YES (9)
OUTSIDE AIR DUCTS WITHIN PARKING, CRAWL SPACE	MINERAL-WOOL BLANKET	N/A	N/A

- (1) DUCT INSULATION SHALL COMPLY WITH CMC AND CEC.
- (2) VAPOR RETARDER SHALL BE INSTALLED ONLY ON SUPPLY AND OUTSIDE AIR DUCTS.
- (3) INSULATION SHALL BE PROTECTED PER 2019 CEC SECTION 120.4 (4) PER 2019 CMC SECTION 604.1.2 INSULATION SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF
- 25 MAXIMUM SMOKE DEVELOPED INDEX OF 50 HAVE LISTING OF ASTM E84 OR UL 723. (5) DETERIORATION: FIELD APPLIED JACKET SHALL BE PROVIDED ON INSULATION
- EXPOSED TO OUTDOOR ELEMENTS (UV & MOISTURE). (6) ACOUSTIC: INSULATION SHALL BE DUCT LINER ON MIXING BOX AND FIRST 5 FEET OF DUCTWORKS
- FROM MECHANICAL UNITS. INSULATION ON ALL OTHER DUCTS SHALL BE DUCT WRAPPING. (7) DUCT LINER: PER 2019 CMC SECTION 604.1.1, DUCT LINER SHALL HAVE MOLD, HUMIDITY AND EROSION-RESISTANT SURFACE LISTED PER UL 181. PROVIDE LINER FASTENER AS RECOMMENDED BY MANUFACTURER/NAIMA IN COMPLIANCE WITH CODE. FOR HILTON™ PROJECTS, DUCT LINER SHALL BE CLOSED CELL ELASTOMERIC TYPE. (K-FLEX OR
- (8) ADDITIONAL PROVISIONS: INSULATION MATERIAL & THICKNESS ARE BASED ON CODE MINIMUM REQUIREMENT ONLY. ADDITIONAL PROVISIONS SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED BY LOCAL AUTHORITIES, MANUFACTURER'S INSTRUCTION, OWNER, BRAND STANDARD AND PROJECT
- SPECIFICATIONS. (9) CONDENSATION: INSULATION & VAPOR RETARDER IS REQUIRED BY ENGINEERING

BASED ON BEST PRACTICE.

APPLICABLE CODES

2019 CALGREEN BUILDING CODE

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA ENERGY CODE (CENC)

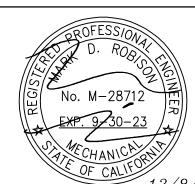
ENGINEERING, INC

19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI



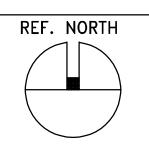
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DATE: DECEMBER 8. 2022 PROJECT No.

PROJECT NOTES

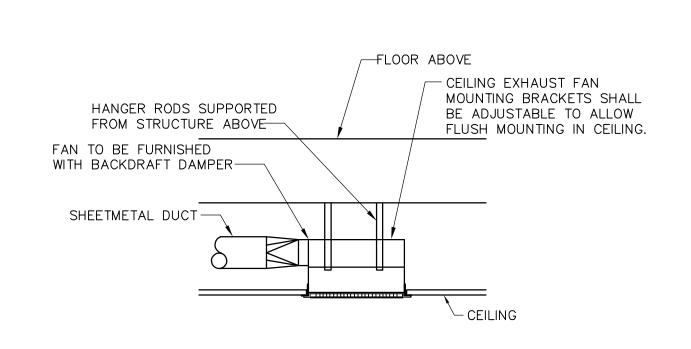


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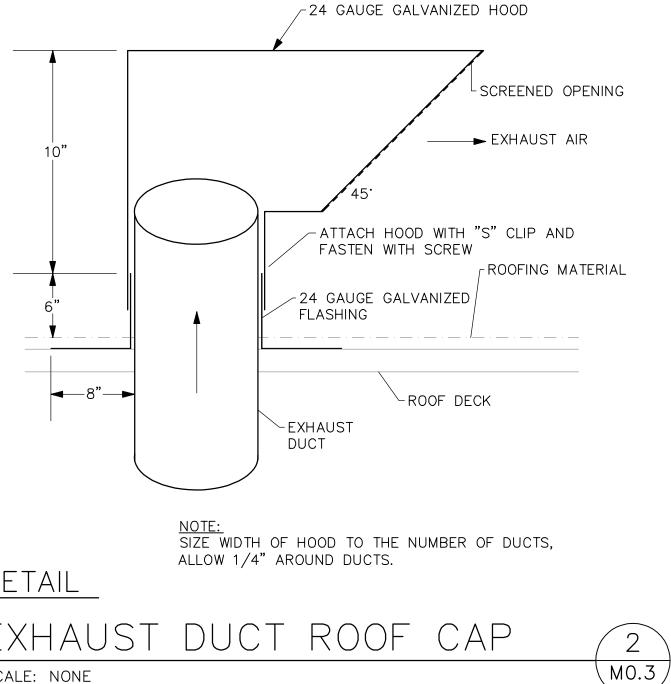
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DETAILS



<u>CEILING EXHAUST FAN</u>

DETAIL (MO.3) SCALE: NONE



MECHANICAL SCHEDULES

	SP	LIT HEAT	PUMP S	SCHED	ULE -	IND	DOR	UNIT		
EQUIP NO.	SERVICE	MOUNTING/ DISCHARGE	AIRFLOW, CFM	W	VOLTAGE	TRICAL MCA	МОСР	WEIGHT, LBS	BASIS OF DESIGN (1)	CONNECTED OUTDOOR UNIT
FC-1	2-TON SYSTEM	HORIZONTAL	798	230	(2)	(2)	(2)	82	DAIKIN FDMQ24RVJU	HP-1
NOTES:	(1) REFRIGERANT SHALL BE R-410A.	1	1		1	1	<u> </u>	l		1

		SPLIT HEAT	PUN	MP SCHEDUL	_E —	OUTDOC	R UI	NT.			
EQUIP NO.	SEDVIOE	TOTAL COOLING	SEER	TOTAL HEATING	HSPF	ELEC	CTRICAL		WEIGHT,		CONNECTED INDOOR
EQUIP NO.	SERVICE	CAPACITY, BTUH	SEER	CAPACITY, BTUH	ПЭРГ	VOLTAGE	МСА	MOCP	LBS	(1)(2)(3)	UNIT
HP-1	BLDG 1 UNITS	21,800	18.6	24,000	10	230V/1P	16.9	20	108	DAIKIN RX24RMVJUA	FC-1

ARI LISTED WITH ALL STANDARD FEATURES, INSTALLATION ACCESSORIES AND COMPRESSOR SHORT CYCLING PROTECTION. FILTER DRIER, REFRIGERANT LINE FILTER, LIQUID SOLENOID VALVE, AND SAFETY PRESSURE SWITCHES. INSTALL REFRIGERANT TUBING IN STRICT ACCORDANCE WITH MANUFACTURER'S NOTES: RECOMMENDATIONS.

REFRIGERANT SHALL BE R-410A.

(2) POWERED BY OUTDOOR UNIT

			F	FAN SCHED)ULE				
EQUIP NO.	SERVICE	MOUNTING	AIRFLOW,	CFMESP. IN WG	ELECTRI VOLTAGE	ICAL HP	OPERATION	WEIGHT, LBS	BASIS OF DESIGN (1)(2)
BEF-1	UNIT BATHROOM	CEILING MOUNTED	100	0.3	115V/1P	FHP	(4)	10	GREENHECK SP-AP0511W (3)
NOTES:	(1) PROVIDE BACKDRAFT DAM	Mpers on exhaust fan	S.			1	ı	1	

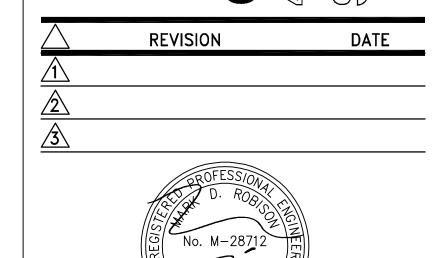
(1) PROVIDE BACKDRAFT DAMPERS ON EXHAUST FANS. (2) VIBRATION ISOLATION: FANS < 125 LBS RUBBER ISOLATORS, FANS > 125 LBS SPRING ISOLATORS

(3) ENERGY STAR CERTIFIED

(4) FAN CAN BE ACTIVATED BY BOTH HUMIDITY SENSOR AND WALL SWITCH.

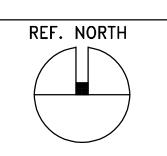




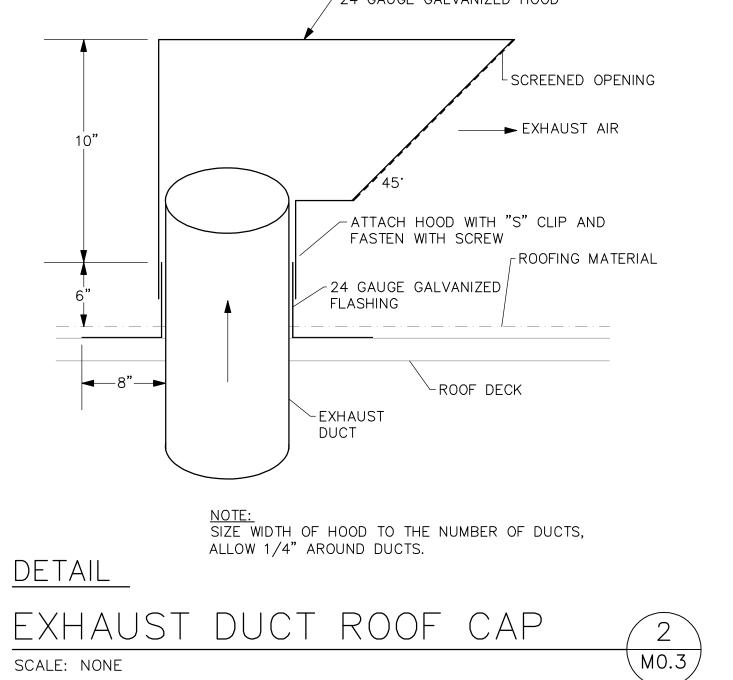


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MECHANICAL SCHEDULES



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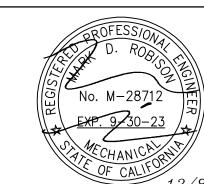


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REVISION DATE

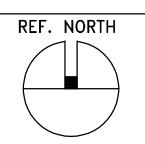
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DATE: DECEMBER 8. 2022
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HVAC PLAN - FIRST FLOOR



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GENERAL NOTES

- 1. MOUNT REMOTE THERMOSTAT AT 48" AFF.
- -2. CONDENSATE DRAIN TO TERMINATE AT APPROVED RECEPTOR WITH INDIRECT CONNECTION. REFER TO PLUMBING PLANS FOR CONDENSATE PIPE ROUTING AND ADDITIONAL INFORMATION.

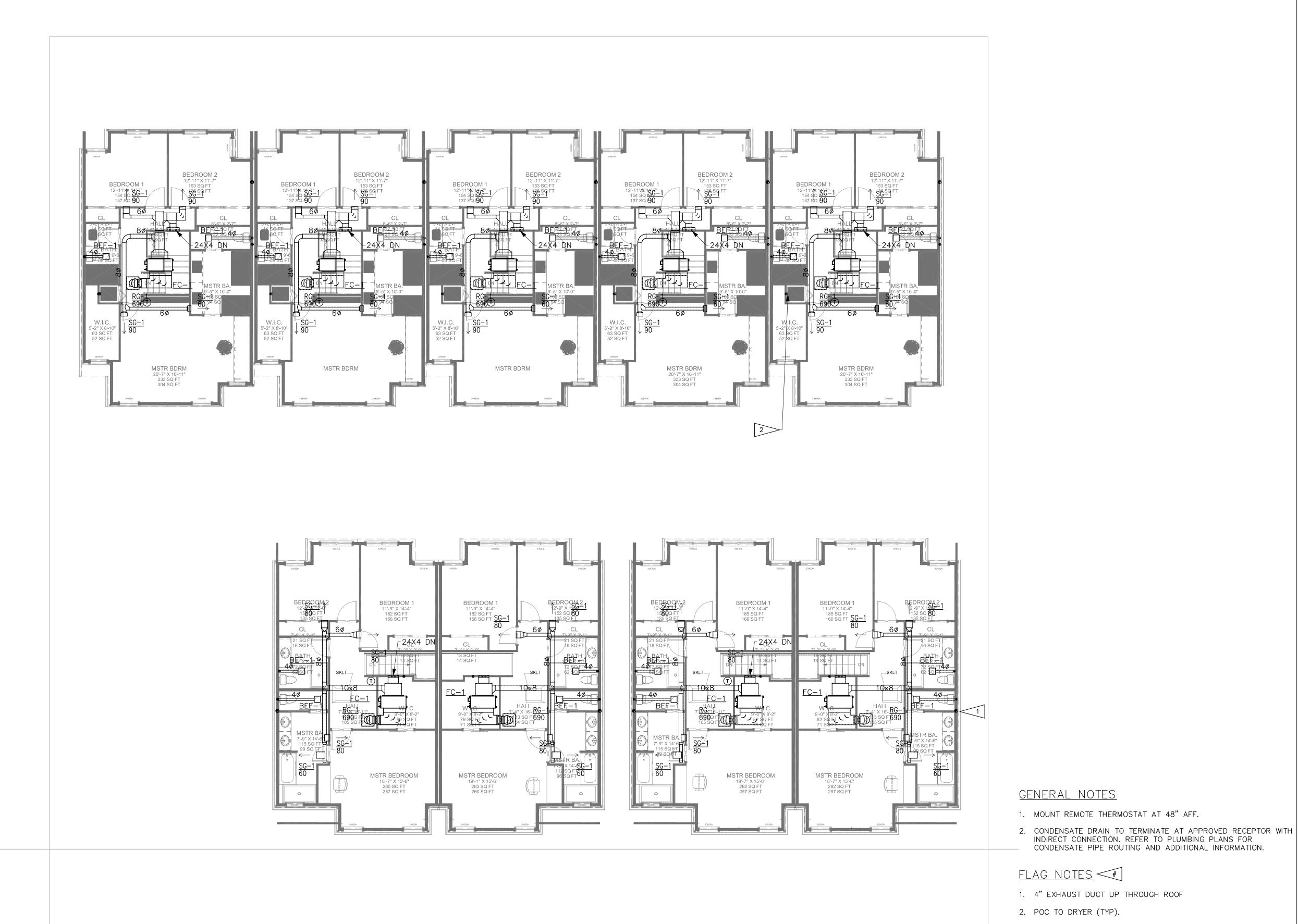
FLAG NOTES <#

- 1. POC TO RANGE HOOD (TYP).
- 2. POC TO DRYER (TYP).

HVAC PLAN

FIRST FLOOR

SCALE: 1/8" = 1'-0"

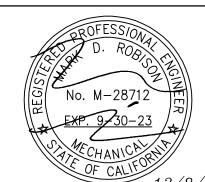


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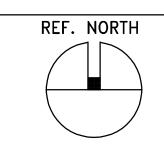
EENEY ST TOWNHOUSE SCHEENEY ST. NTA CLARA, CA 95054



DATE:
PROJECT No.

DECEMBER 8. 2022 590-054

HVAC PLAN - SECOND FLOOR

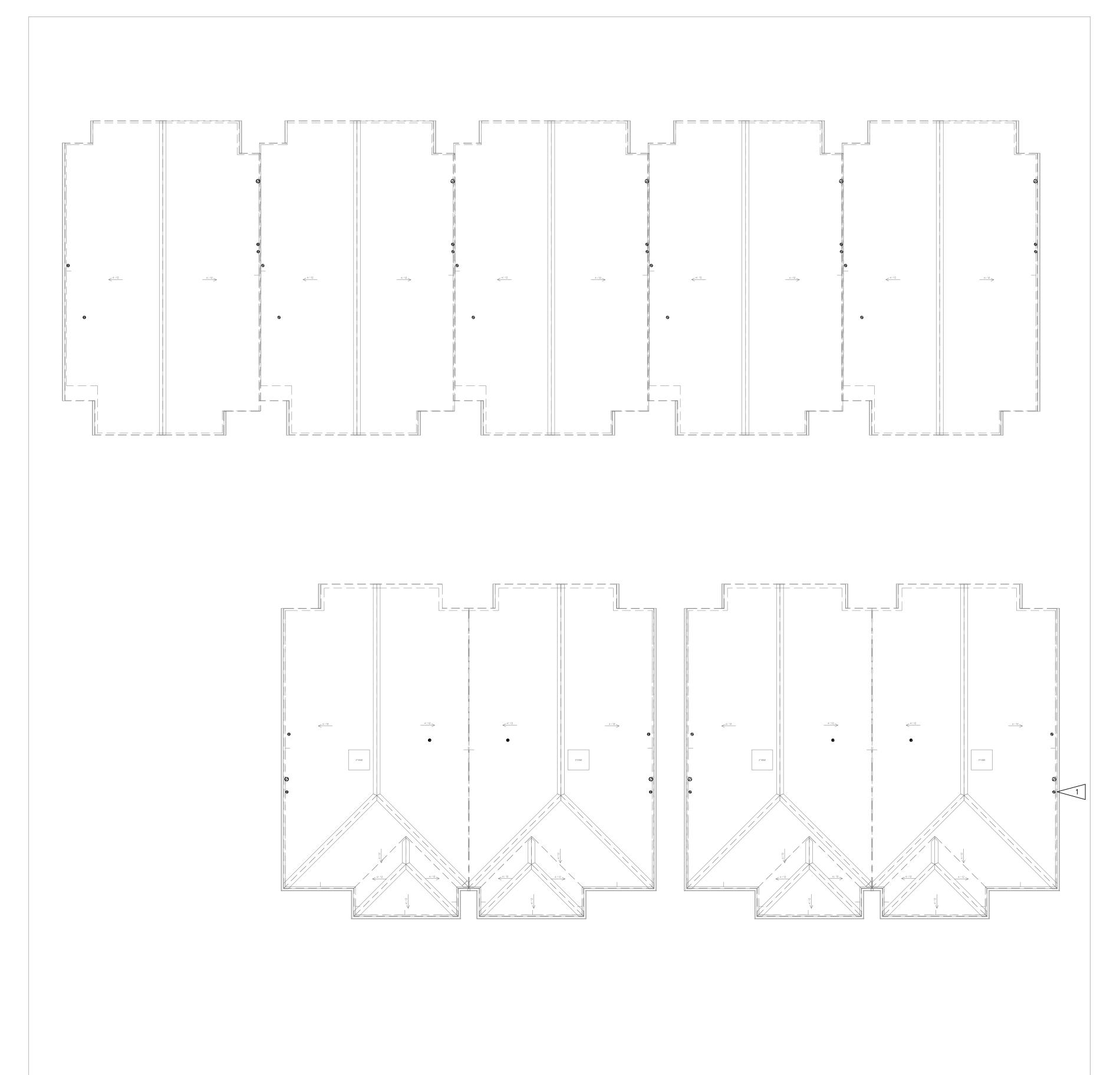


M2.1

HVAC PLAN

SECOND FLOOR

SCALE: 1/8" = 1'-0"

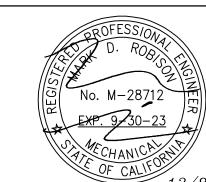






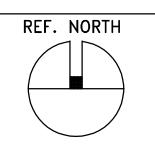
South Santa Cruz Ave., #33192 Los Gatos, CA 95030

INEY ST TOWNHOUSE CHEENEY ST.



DATE: DECEMBER 8. 2022
PROJECT No. 590-054

HVAC PLAN - ROOF



M2.2

FLAG NOTES #

 4ø BATHROOM EXHAUST VENT TERMINATION. PROVIDE VENT CAP SEE DETAIL MO.3/2 (TYP).

HVAC PLAN

ROOF

SCALE: 1/8" = 1'-0"

GENE	GENERAL INFORMATION				
01	Project Name	Project Name CHEENY ST TOWNHOMES			
05	Run Title	Run Title Title 24 Analysis			
03	Project Location 4249 Cheeney St	4249 Cheeney St			
8	City	City Santa Clara	90	Standards Version 2019	2019
8	Zip code 95054	95054	02	Software Version EnergyPro 8.3	EnergyPro 8.3
80	Climate Zone	4	60	Front Orientation (deg/ Cardinal)	0
10	Building Type Multifamily	Multifamily	11	Number of Dwelling Units 9	6
12	Project Scope	Project Scope NewConstruction	13	Number of Bedrooms 27	27
14	Addition Cond. Floor Area (ft²)	0	15	Number of Stories	2
16	Existing Cond. Floor Area (ft²) n/3	n/a	17	Fenestration Average U-factor 0.39	0.39
18	Total Cond. Floor Area (ft²) 14488	14488	19	Glazing Percentage (%) 16.17%	16.17%
20	ADU Bedroom Count n/a	n/a	21	ADU Conditioned Floor Area n/a	n/a

FORMS

REF. NORTH

M7.0

CHEENE SANTA **REVISION** DATE DATE: DECEMBER 8. 2022 PROJECT No. 590-054 **TITLE 24 COMPLIANCE**

ROBISON ENGINEERING, INC

19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI

GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192 Los Gatos, CA 95030

ST TOWNHOUSES

NEW ST.

NEY ST

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ENEY ST CHEENE **REVISION** DATE: PROJECT No. **TITLE 24 COMPLIANCE**

SANTA DATE

ROBISON ENGINEERING, INC

19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI

GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192 Los Gatos, CA 95030

DECEMBER 8. 2022 590-054

FORMS

REF. NORTH

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CERTIFICATE OF COMPLIANCE	ANCE					CFIK-PRF-UIE
Project Name: CHEENY ST TOWNHOMES	ST TOWNHOMES		Calculation	Calculation Date/Time: 2022-12-08T15:08:23-08:00	15:08:23-08:00	(Page 15 of 16)
Calculation Description: Title 24 Analysis	Title 24 Analysis		Input File N	Input File Name: Cheeny Townhomes.ribd19x	s.ribd19x	
IAQ (INDOOR AIR QUALITY) FANS) FANS					
10	02	03	20	90	90	40
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness - SRE	IAQ Recovery Effectiveness - ASRE	HERS Verification

	03 04 05 06 07	IAQ Watts/CFM IAQ Fan Type Effectiveness - SRE Effectiveness - ASRE HERS Verification	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	0.35 Exhaust n/a Yes	
		/cFM					2	Ż		
FANS	02	IAQ CFM	78	78	78	78	78	78	78	
IAQ (INDOOR AIR QUALITY) FANS	10	Dwelling Unit	DDU-1 2/2	DDU-2 1/2	DDU-2 2/2	DDU-3 1/5	DDU-3 2/5	DDU-3 3/5	DDU-3 4/5	

No Bypass Duct

ROBISON ENGINEERING, INC 19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI

GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192 Los Gatos, CA 95030

ST TOWNHOUSES
NEY ST.
ARA, CA 95054

SANTA **REVISION** DATE

PROJECT No. 590-054

TITLE 24 COMPLIANCE **FORMS**

REF. NORTH

DATE: DECEMBER 8. 2022

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AESPINELI I: \0_JOBS\590-054 CHEENY TOWNHOMES\DWG\MOO.DWG 11-21-2022 08:50

GENERAL NOTES

GENERAL NOTES

- 1. REFERENCE TO RELATED WORK: "REF" INDICATIONS DENOTE WORK COVERED ELSEWHERE (ARCHITECTURAL, STRUCTURAL, CIVIL, ELECTRICAL, LANDSCAPE, OR KITCHEN), OR ITEM BASED ON A SPECIFIC MANUFACTURER'S DIMENSIONS (VERIFY).
- 2. ELECTRICAL CHARACTERISTICS: REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CHARACTERISTICS (VOLTAGES, ETC. OF MECHANICAL EQUIPMENT, UNLESS OTHERWISE INDICATED.
- 3. CODES: COMPLETE INSTALLATION OF THE PLUMBING SYSTEM SHALL BE PER THE APPLICABLE BUILDING, MECHANICAL, ENERGY, PLUMBING, FIRE, AND HEALTH CODES AND REGULATIONS AS ADOPTED BY THE LOCAL AH.J.
- 4. PREPARE AND SUBMIT FOR REVIEW A SHOP DRAWING BASED ON FINAL STRUCTURAL SHOP DRAWINGS FOR LOCATING AND ROUTING ALL FOLIPMENT PIPING FTC
 - EQUIPMENT, PIPING, ETC.

 A. COORDINATE FLOOR AND BEAM PENETRATIONS WITH STRUCTURAL.

 B. COORDINATE FINAL LOCATION AND ROUTING WITH CEILING, LIGHTS, WALLS, FIRE SPRINKLER PIPING, AND OTHER TRADES WORK.
 - C. INCLUDE ADDITIONAL OFFSETS, ELBOWS, ROUTING, EQUIVALENT DUCT SIZING EXCHANGE, RELOCATING, ETC. AS REQUIRED FOR A COMPLETE OPERATING MECHANICAL SYSTEM.
- D. PROVIDE SHOP DRAWINGS AT NO ADDITIONAL COST TO THE OWNER.
 5. PLUMBING CONTRACTOR SHALL LOCATE AND COORDINATE EXACT LOCATION OF ALL PLUMBING EQUIPMENT WITHIN THE STRUCTURE.
- 6. ACCESS DOORS: COORDINATE WITH ARCHITECT AND LOCATE ALL ACCESS DOORS ON SHOP DRAWINGS PRIOR TO BEGINNING OF CONSTRUCTION. ACCESS DOORS IN FIRE RATED STRUCTURE SHALL BE FIRE RATED. VERIFY ACCESS DOOR LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO BIDDING.
- 7. ROOF PENETRATIONS: SEE ARCHITECTURAL DRAWINGS FOR ROOF CAP, ROOF CURB, ROOF DRAIN, AND VTR DETAILS.
- 8. EXPOSED PIPING: PROVIDE CHROME PLATING FOR EXPOSED PIPING IN FINISHED ROOMS.
- 9. PENETRATIONS: PROVIDE ESCUTCHEON PLATES FOR EXPOSED PIPING PENETRATIONS AND SHEET METAL FLASHING FOR EXPOSED DUCTWORK PENETRATIONS.
- 10. SHAFT AND PLENUM CONNECTIONS: SEAL CONNECTIONS TO AIR SHAFTS AIRTIGHT. PROVIDE AIRTIGHT SEAL AROUND PENETRATIONS IN AIR PLENUMS.
- 11. LIGHT FIXTURE CLEARANCE: COORDINATE LOCATIONS OF MECHANICAL WORK TO PROVIDE CLEARANCES OVER LIGHTING FIXTURES FOR REMOVAL AND REPLACEMENT.
- 12. CABLE TRAYS: PIPING INSTALLED ADJACENT TO ELECTRICAL CABLE TRAYS SHALL ALLOW MINIMUM ACCESS OF 6" ABOVE AND TO THE SIDE OF CABLE TRAYS.
- 13. MOTORS: COMPLY WITH ENERGY CODE ENFORCED BY AHJ FOR MINIMUM EFFICIENCIES UNDER FULL LOAD.
- 14. ACCESS CLEARANCES FOR MAINTENANCE AND REPLACEMENT: VERIFY PHYSICAL DIMENSIONS OF EQUIPMENT TO ENSURE THAT ACCESS CLEARANCES CAN BE MET. COORDINATE LOCATIONS OF MECHANICAL WORK AND WORK OF OTHER TRADES TO PROVIDE ACCESS CLEARANCES FOR SERVICE AND MAINTENANCE.

COORDINATION REQUIREMENTS

- 1. IRRIGATION: COORDINATE WITH IRRIGATION CONTRACTOR FOR THEIR WATER SUPPLY REQUIREMENTS AND LOCATIONS.
- 2. GAS: CONTRACTOR/GAS COMPANY SHALL FINALIZE GAS METER AND GAS SERVICE LOCATIONS.
- 3. UTILITIES: COORDINATE WITH SITE UTILITY CONTRACTOR AND CIVIL DRAWINGS FOR UTILITY CONNECTIONS AND EXTENSIONS.
- 4. ROOF DRAINAGE: COORDINATE WITH GENERAL CONTRACTOR FOR ROOF DRAIN AND OVERFLOWS, SCUPPER DRAINS, AND CONDENSATE DRAINS.
- 5. PLUMBING FIXTURES: COORDINATE WITH ARCHITECTURAL AND OTHER TRADES EXACT LOCATION OF ALL PLUMBING FIXTURES.
- 6. PIPING: COORDINATE WITH STRUCTURAL FOR EXACT LOCATION OF ALL STRUCTURAL FRAMING AND FOOTINGS AND FINALIZE THE EXACT ROUTING OF ALL PIPES WITH STRUCTURAL AND AT THE SITE PRIOR AND DURING THE CONSTRUCTION.
- 7. ADJUSTMENTS: ALL EQUIPMENT, MOTORS, FANS GAS BURNERS, IGNITION DEVICES, DRIVES, ETC. SHALL BE ADJUSTED AND BALANCED TO OPERATE AT SPECIFIED RATINGS AS REQUIRED FOR THIS PROJECT SITE AND ACCOUNTING FOR ELEVATION ABOVE SEA LEVEL.
- 8. APPROVALS: MECHANICAL AND PLUMBING EQUIPMENT SHALL BE APPROVED FOR INSTALLATION IN THE PROJECT LOCATION AND SHALL HAVE ALL CERTIFICATIONS AND RATINGS TO MEET ALL ENERGY, POLLUTION, ENVIRONMENTAL, SEISMIC, ETC. CODES AND REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH HIS MANUFACTURE SUPPLIERS AND SHALL INCLUDE ALL COSTS REQUIRED TO MEET THESE REQUIREMENTS IN HIS BID.
- 9. FIRE PROTECTION: CONTRACTOR SHALL PROVIDE A FULLY DESIGNED FIRE PROTECTION SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA AND

LOCAL CODES. PROVIDE DESIGN, PERMITS, MATERIALS, INSTALLATION, TESTING AND ALL OTHER FOR A FULLY OPERATIONAL SYSTEM. LOCATION OF ALL PIPING TO BE COORDINATED WITH OTHER TRADES.

PLUMBING NOTES

- CONNECTIONS: PROVIDE PLUMBING FIXTURE CONNECTIONS TO BUILDING WASTE, VENT, COLD WATER, AND HOT WATER SYSTEM IN ACCORDANCE WITH DRAWINGS, MANUFACTURER'S RECOMMENDATIONS, AND LOCAL CODES. CONNECT TO EACH FIXTURE, EQUIPMENT, ETC. WITH ALL ACCESSORIES, VALVES, VACUUM BREAKERS, REGULATORS, UNIONS, ETC. AS REQUIRED AND AS RECOMMENDED BY THE MANUFACTURERS. REFER TO PLUMBING FIXTURE CONNECTION SCHEDULE ON PLANS.
- 2. HOT AND COLD: WATER PIPING CONNECTION TO EACH FIXTURE SHALL BE COLD WATER ON THE RIGHT HAND SIDE AND HOT WATER ON THE LEFT HAND SIDE.
- 3. HOT WATER: NON-CIRCULATING HOT WATER PIPE SHALL NOT EXCEED 10' UNLESS OTHERWISE SHOWN ON DRAWINGS.
- 4. VENT STACKS: COORDINATE VENT STACK WITH HVAC EQUIPMENT TO MAINTAIN MINIMUM 10' CLEARANCE FROM OUTSIDE AIR INTAKES.
- 5. CLEANOUTS: PROVIDE CLEANOUTS PER CURRENT CPC AND AS REQUIRED BY LOCAL JURISDICTIONS. CLEANOUTS SHALL BE LOCATED IN WALLS/FLOORS WHERE THEY ARE NOT HIGHLY VISIBLE. FLOOR CLEANOUTS IN CARPETED AREAS TO BE FITTED WITH CARPET INSERTS. LOCATIONS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL. NOTE: NOT ALL CLEANOUTS ARE SHOWN ON THE PLUMBING DRAWINGS. CLEANOUTS SHALL BE INSTALLED PER 2019 CPC SEC. 707.0 AND 719.0.
- 6. SUDS RELIEF: PROVIDE SUDS RELIEF IN ACCORDANCE WITH CURRENT CPC.
- 7. SHUT-OFFS: PROVIDE 1/4 TURN BALL VALVE ANGLE STOP SHUT-OFF VALVES AND BRAIDED STAINLESS STEEL FLEX CONNECTORS AT HOT AND COLD WATER SUPPLY TO EACH FIXTURE. EXCEPTION: PROVIDE SCREWDRIVER STOPS AT BATH/SHOWERS.
- 8. TUB SPOUTS SHALL BE THREADED (NO PUSH-ON FITTINGS).
- 9. TRAP ARMS: PROVIDE TRAP ARMS SUCH THAT THE MAXIMUM LENGTH WILL NOT EXCEED CODE REQUIREMENTS.
- 10. ADA INSULATION: AT PLUMBING PIPING EXPOSED UNDER LAVATORIES, INSULATE THE EXPOSED PIPING AND TRAPS WITH PRODUCT SPECIFICALLY DESIGNED FOR THIS APPLICATION MEETING ADA REQUIREMENTS. PROVIDE HANDI-LAV GUARD OR EQUIVALENT. OFFSET P-TRAPS TO CLEAR WHEELCHAIR ACCESS.
- 11. GAS EQUIPMENT: GAS EQUIPMENT SHALL BE INSTALLED PER EQUIPMENT LISTINGS, LOCAL CODES, AND NFPA.
- 12. GAS CONNECTIONS: INSTALL FLEXIBLE QUICK DISCONNECT ASSEMBLIES FOR ALL GAS FIRED KITCHEN EQUIPMENT PER LOCAL JURISDICTIONS.
- 13. WATER HAMMER ARRESTORS: PROVIDE AT THE END OF HOT AND COLD WATER LINES SERVING TWO OR MORE FIXTURES; SIZE IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE (PDI) REQUIREMENTS. WATER HAMMER ARRESTORS ARE REQUIRED FOR QUICK CLOSING VALVES, SUCH AS LAUNDRY WASHERS, FLUSH VALVES (PUBLIC TOILETS), ETC.
- 14. TRAP PRIMERS: PROVIDE TRAP PRIMERS AND PIPING FOR DRAINS AND FLOOR SINKS. ARRANGE PIPING TO ACHIEVE EQUAL FLOW TO EACH DRAIN AND FLOOR SINK FOR TRAP PRIMERS SERVING MULTIPLE DRAINS AND FLOOR SINKS.
- 15. P-TRAPS: ALL EXPOSED P-TRAPS SHALL BE CHROME-PLATED BRASS.

PD

PRV

PSIG

REF

RPBP

SCW

SD

SF

SH

SO SP

SR

SS

SQ

TR

UH

UON

VTR

WC

WCO

WH

TYP

PRESSURE DROP, PUMPED

PRESSURE REDUCING VALVE

PRESSURE RELIEF VALVE

PUMPED STORM DRAINAGE

PUMPED SANITARY SEWER

GAUGE

ROOF DRAIN

REDUCED PRESSURE

BACKFLOW PREVENTER

SOFTENED COLD WATER

REVOLUTIONS PER MINUTE

REFERENCE

SCHEDULE

SHOWER

SQUARE

TYPICAL

STORM DRAIN

SQUARE FOOT

SUDS RELIEF

UNIT HEATER

VENT THRU ROOF

WALL CLEANOUTS

WATER CLOSET

WALL HYDRANT,

WATER HEATER

WASHING MACHINE

WASTE, WATT, WIDE

STORM OVERFLOW

STATIC PRESSURE

STAINLESS STEEL,

SANITARY SEWER

TEMPERATURE RISER

UNLESS OTHERWISE NOTED

POUNDS PER SQUARE INCH

POINT OF CONNECTION

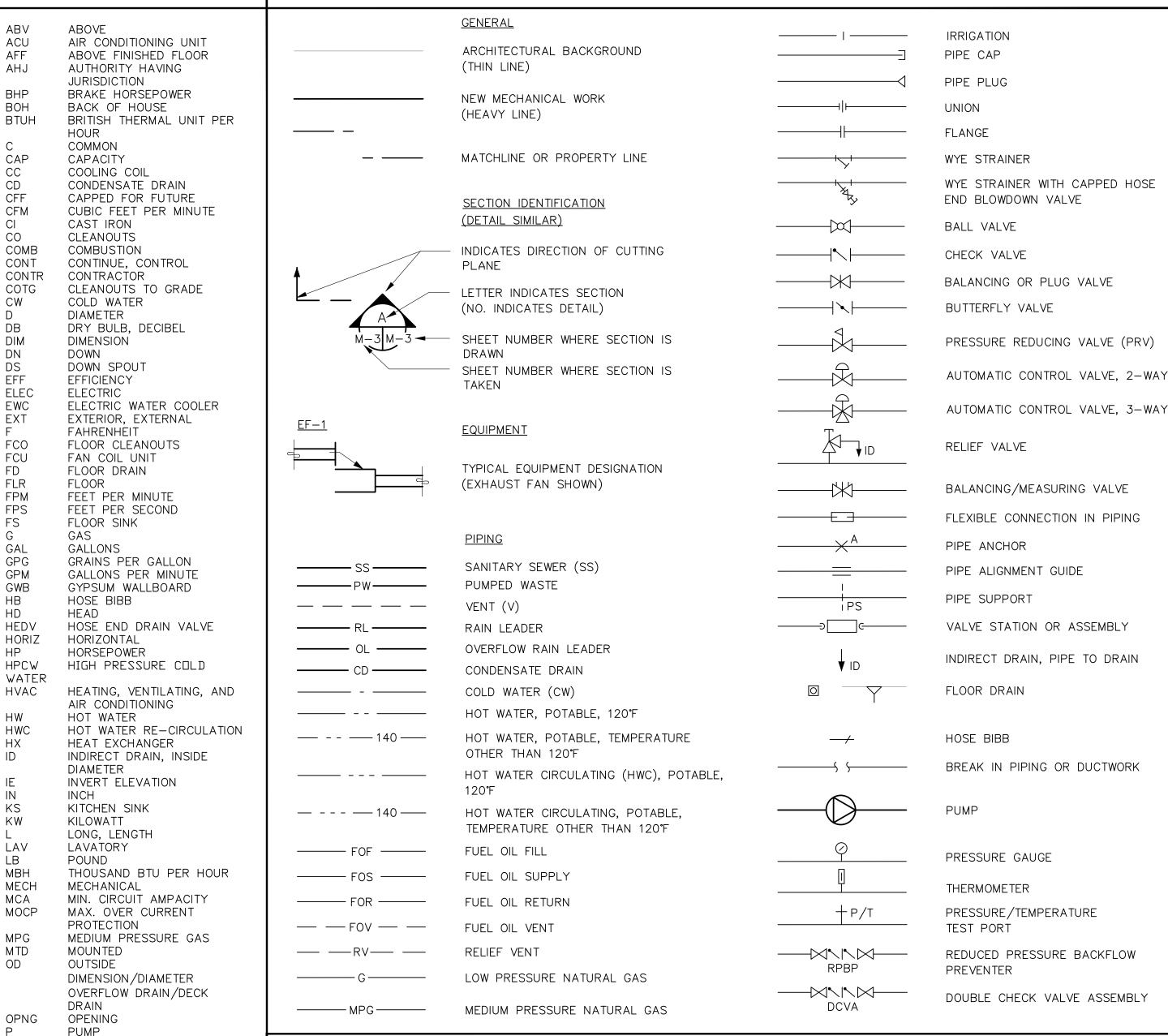
- 16. PROVIDE BALL VALVES. GATE VALVES SHALL NOT BE USED. NO EXCEPTIONS.
- 17. HOT WATER RECIRCULATING BALANCING VALVES TO BE BELL & GOSSETT CIRCUIT SETTER (OR WATTS EQUIVALENT) WITH INTEGRAL READOUT PORTS, ADJUSTMENT KNOB, DRAIN CONNECTION, AND POSITIVE SHUTOFF.
- 18. DISASSEMBLY PROVISIONS: PROVIDE UNIONS OR FLANGES AT PIPING CONNECTIONS TO EQUIPMENT, COILS, TRAPS, CONTROL VALVES, AND OTHER COMPONENTS TO ALLOW DISASSEMBLY FOR MAINTENANCE.
- 19. REDUCERS: PROVIDE AS REQUIRED FROM LINE PIPE SIZE TO EQUIPMENT, TRAP, COIL, AND CONTROL VALVE CONNECTION SIZES.
- 20. OFFSETS: PROVIDE FOR BRANCH LINES TO EQUIPMENT
- 21. DIELECTRIC UNIONS: PROVIDE AT CONNECTIONS OF DISSIMILAR PIPE.
- 22. VALVE TAGS: PROVIDE VALVE TAGS TO IDENTIFY EACH VALVE AND THE AREA IT SERVES.
- 23. ROOF DRAINS, OVERFLOW DRAINS, AND OTHER RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE 2019 CPC PROVISIONS. STORM DRAIN PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.

INSULATION/LINING NOTES

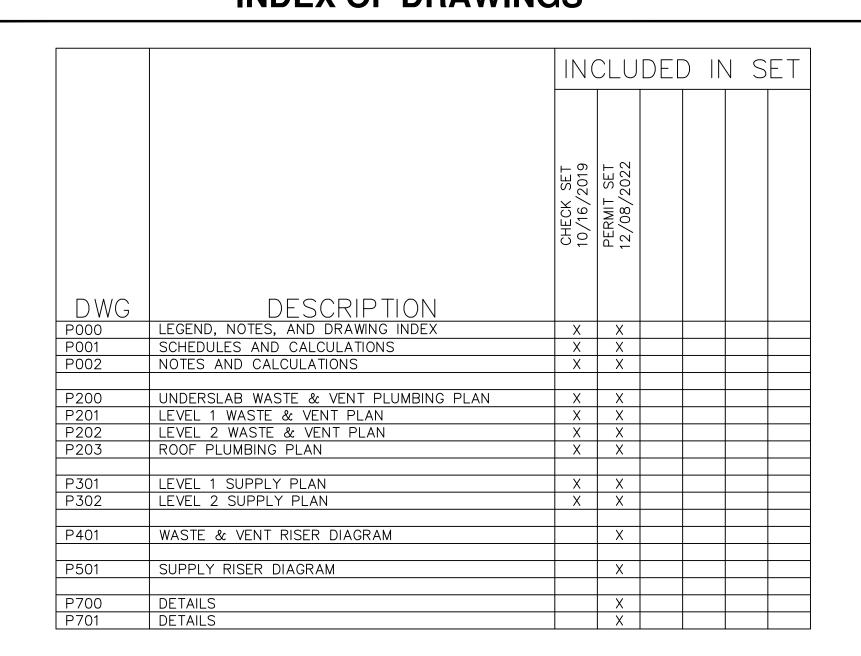
1. ENERGY CODE: AS A MINIMUM, COMPLY WITH THICKNESSES AND TYPES LISTED IN ENERGY CODE ENFORCED BY AHJ.

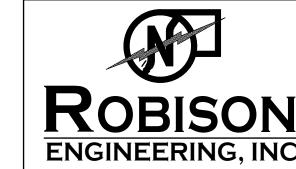
DRAWINGS ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS. PROVIDE DUCTWORK, CONNECTIONS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY FOR A COMPLETE SYSTEM.

ABBREVIATIONS SYMBOLS



INDEX OF DRAWINGS





19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI

CONSTRUCTION INC. GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192 Los Gatos, CA 95030

INTA CLARA, CA 95054

REVISION DATE

REVISION DATE

REVISION DATE

REVISION DATE

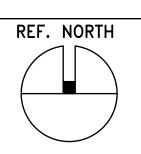
ROPESSION

No. M-28712

PAP. 9-30-23

DATE: December 8, 2022

LEGEND, NOTES, AND DRAWING INDEX



P000

590-054

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PROJECT No.

CONTRACTOR SUBSTITUTIONS & REVISIONS

CONTRACTOR SUBSTITUTIONS & REVISIONS: PLEASE SUBMIT PROPOSALS FOR SUBSTITUTIONS OR REVISIONS FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIAL OR DOING WORK. FOR EQUIPMENT THAT IS SCHEDULED BY MANUFACTURER'S NAME AND CATALOG DESIGNATIONS, THE MANUFACTURER'S PUBLISHED DATA AND/OR SPECIFICATION FOR THAT ITEM ARE CONSIDERED PART OF SPECIFICATION. ENGINEERING COSTS FOR REVISING MEP PLANS SHALL BE ADDRESSED IN THE COST ANALYSIS OF THE SUBSTITUTION PROPOSAL. CONTRACTOR TO COORDINATE WITH ENGINEER AND DETERMINE ASSOCIATED DESIGN AND PERMITTING COSTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER COSTS ASSOCIATED WITH UNFORESEEN ISSUES RESULTING FROM SUBSTITUTIONS OR REVISIONS.

APPLICABLE CODES

THESE DRAWINGS ARE BASED ON THE FOLLOWING CODES:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ENERGY CODE (CEC)

PRE-CON MEETING NOTES

CONTRACTORS SHALL ATTEND A PRE—CONSTRUCTION MEETING WITH THE ENGINEER FOR THE PURPOSE OF REVIEWING THE WORK PRIOR TO ORDERING ANY EQUIPMENT OR PERFORMING ANY WORK. THE MEETING SHALL BE LOCATED AT THE PROJECT SITE ON A DATE AND TIME TO BE MUTUALLY AGREED. THE MEETING WILL BE A WORKING SESSION. THE MEETING WILL BE FACILITATED BY THE ENGINEER AND THE AGENDA WILL INCLUDE A DETAILED REVIEW OF THE PLANS AND SPECIFICATIONS, CROSS CHECK WITH OTHER TRADES FOR COORDINATION ISSUES, REVIEW OF PROPOSED PRODUCTS, REVIEW OF PLANNED MEANS AND METHODS, AND ON—SITE INVESTIGATION OF FIELD CONDITIONS RELATIVE TO EXISTING CONDITIONS THAT COULD AFFECT THE WORK. PERSONS ATTENDING THE MEETING SHALL BE KNOWLEDGEABLE OF THE PROJECT AND SHALL BE THE SPECIFIC PERSONS INTENDED TO CONTINUE WITH THE PROJECT THROUGH TO COMPLETION. IF REQUIRED, REVISED PLANS WILL BE ISSUED THROUGH OFFICIAL CHANNELS. CHANGES IN THE BID PRICE WILL BE DISCUSSED, BUT NO CHANGE ORDERS WILL BE ISSUED UNLESS PROCESSED THOUGH OFFICIAL CHANNELS. IT SHALL BE UNDERSTOOD THAT THE ENGINEER HAS NO AUTHORITY TO ISSUE CHANGE ORDERS.

THE FOLLOWING TRADES SHALL BE REPRESENTED FOR THE MINIMUM TIME INDICATED:

MECHANICAL SHEET METAL 4 HOURS
PLUMBING/PIPING 4 HOURS
ELECTRICAL 4 HOURS
SPRINKLER 2 HOURS
GENERAL CONTRACTOR ALL SESSIONS

ADDITIONAL PLUMBING NOTES

- 1. LAVATORY FAUCETS IN PUBLIC RESTROOMS SHALL BE THE SELF-CLOSING OR SELF-CLOSING METERING TYPES.
- 2. NON-REMOVABLE VACUUM BREAKERS SHALL BE PROVIDED AT ALL HOSE BIBBS.
- 3. FLOOR DRAINS OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM AND SUBJECT TO INFREQUENT USE SHALL
- BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS.

 4. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER ENERGY EFFICIENCY STANDARDS SEC. 120.3.
- 5. ALL PIPING SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 120.3.
 6. SERVICE WATER HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 110.3.
- 7. SWIMMING POOL AND SPA HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC.
- 8. BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH CPC 2019 SEC. 701.0 AND 903.0.
- 9. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.
 10. CHEMICAL WASTE PIPING SHALL COMPLY WITH CPC 2019 SEC. 811.0.
- 11. ALL STORAGE WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL PER CPC 2019 SEC. 608.3.
- 12. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENTS DUE TO SEISMIC MOTION PER CPC 2019 SEC. 507.2.
- 13. MATERIALS EXPOSED WITHIN A DUCT OR PLENUM SHALL COMPLY WITH CMC 2019 SEC. 601.1.3.
- 14. HVAC EQUIPMENT AND WATER HEATERS SHALL COMPLY WITH CMC 2019 CHAPTER 3.
- 15. MEDIUM PRESSURE GAS PIPING SHALL BE LABELED EVERY FIVE FEET.

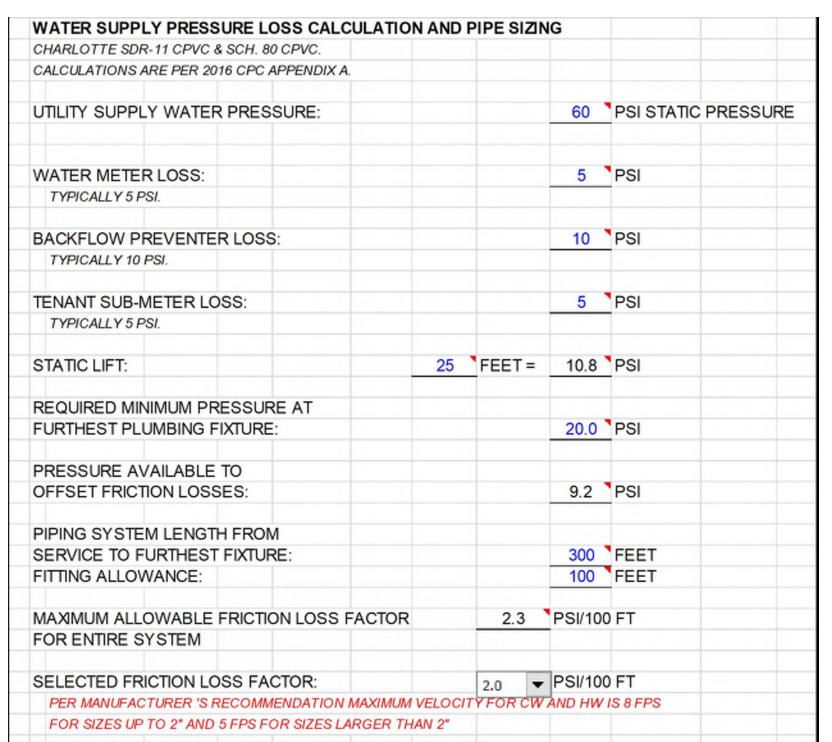
 16. BOILERS SHALL COMPLY WITH ALL THE REQUIREMENTS OF CHAPTER 10 OF CMC 201
- 16. BOILERS SHALL COMPLY WITH ALL THE REQUIREMENTS OF CHAPTER 10 OF CMC 2019.
 17. PROVIDE EXPANSION TANK FOR BOILERS PER SECTION 1005.0 CMC 2019.
- 18. ROUTING AND TERMINATION OF FLUE FOR BOILERS SHALL COMPLY WITH CH.8, CMC 2019 AND WITH MANUFACTURERS SPECIFICATIONS.

 19. COMBUSTION AIR INTAKE FOR BOILERS SHALL—COMPLY WITH CH. 7, CMC 2019 AND WITH MANUFACTURERS SPECIFICATIONS.
- 20. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES
 PER 2019 CPC SEC. 408.3.
- 21. PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH ALL THE REQUIREMENTS LISTED IN TABLES 5.303.2.2 OR 5.303.2.3 AND IN TABLE 5.303.6 IN THE CALIFORNIA GREEN BUILDING STANDARDS CODE.
- 22. CONTRACTOR SHALL PROVIDE FIRESTOPPING AT PENETRATIONS AS NECESSARY TO RETAIN THE FIRE RATING OF ALL ASSEMBLIES. ALL WORK SHALL BE IN COMPLIANCE WITH CODE REQUIREMENTS FOR THE BUILDING CONSTRUCTION TYPE.
- 23. FLUSHING PROCEDURES AS OUTLINED IN CPC 604.1.2 SHALL BE OBSERVED ALL ALL PEX PIPING. 24. NEW POTABLE WATER SYSTEM SHALL BE DISINFECTED PRIOR TO USE PER 2019 CPC SEC. 609.9.

BACKFLOW PREVENTION REQUIREMENTS:

PLUMBING CONTRACTOR SHALL PROVIDE REDUCED PRESSURE BACKFLOW PREVENTERS OR OTHER APPROVED BACKFLOW PREVENTION DEVICE WHERE REQUIRED BY HEALTH AUTHORITIES, FOOD SERVICE DRAWINGS, APPLIANCE MANUFACTURER INSTRUCTIONS AND BY CODE.

WATER PRESSURE CALCULATIONS



		CP	VC SUPPL	Y PIPE	SIZING S	SCHEDULI	E		
FLUSH TANK CW				Н	IOT WAT	ER	FLUSH VALVE CW		
PIPE SIZE	FLOW, GPM	VEL. FPS	FIXTURE UNITS	FLOW, GPM	VEL. FPS	FIXTURE UNITS	FLOW, GPM	VEL. FPS	FIXTURE UNITS
1/2"	1.2	2.1	0.2	1.2	2.1	0.2	1.2	2.1	
3/4"	3.3	2.6	3.3	3.3	2.6	3.3	3.3	2.6	
1"	6.4	3.1	7.4	6.4	3.1	7.4	6.4	3.1	
1-1/4"	10.9	3.5	14.8	10.9	3.5	14.8	10.9	3.5	
1-1/2"	16.9	3.9	23.9	16.9	3.9	23.9	16.9	3.9	
2"	34.2	4.6	63.6	34.2	4.6	63.6	34.2	4.6	18.4
2-1/2"	64.1	5.0	195.7	64.1	5.0	195.7	64.1	5.0	88.5
3"	100.4	5.0	382.1	100.4	5.0	382.1	100.4	5.0	247.0
4"	175.4	5.0	780.8	175.4	5.0	780.8	175.4	5.0	742.2
6"	399.1	5.0	2661.2	399.1	5.0	2661.2	399.1	5.0	2661.2



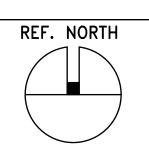
CONTACT: ARIK ESPINELI



CHEENEY ST TOWNHOUSE 4249 CHEENEY ST. SANTA CLARA, CA 95054

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<u>/3\</u>			
	No. M-28712 EXP. 930-23 MECHANICARITE OF CALIFORN 12	7))	
DATE:		mber 8,	21

NOTES AND CALCULATIONS



P001

590-054

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PROJECT No.

FIXTURE UNIT COUNTS

FIXTURE UNIT CALCULATIONS												
CALCULATIONS BASED ON 2019 CPC TABLES A103.1 AND 702.1.												
A UNITS												
FIXTURE		FIXTURE U	NITS	•		•	•	TOTAL QTY	TOTAL FIXTURE	EUNITS	1	•
	TOTAL	CW	HW	W/V	1	2	R	OF FIXTURES	SERVICE	CW ONLY	HW ONLY	W/V ONLY
LAVATORY	1	0.75	0.75	1	1	3		4	4	3	3	4
WATER CLOSET (TANK)	2.5	2.5	0	3	1	2		3	7.5	7.5	0	9
SHOWER	2	1.5	1.5	2		2		2	4	3	3	4
BATHTUB	4	3	3	2		1		1	4	3	3	2
CLOTHES WASHER	4	3	3	3	1			1	4	3	3	3
KITCHEN SINK W/ DISHWASHER	3	1.125	2.625	2	1			1	3	1.125	2.625	2
HOSE BIBB	2.5/1	2.5/1	0	0	1			1	2.5	2.5	0	0
									29	23.125	14.625	24
	TOTAL	CW	HW	W/V								
UNIT A FIXTURE UNITS:	29	23.125	14.625	24								
PEAK FLOW:	19.5 GPM											
REQUIRED SERVICE SIZE IN BUILDING:	1-1/2" COPPER			3" @ 2%								
B UNITS												
FIXTURE		FIXTURE U	NITS	'	 			TOTAL QTY	TOTAL FIXTURE UNITS			
	TOTAL	CW	HW	W/V	1	2	R	OF FIXTURES	SERVICE	CW ONLY	HW ONLY	W/V ONLY
LAVATORY	1	0.75	0.75	1	1	3		4	4	3	3	4
WATER CLOSET (TANK)	2.5	2.5	0	3	1	2		3	7.5	7.5	0	9
SHOWER	2	1.5	1.5	2		2		2	4	3	3	4
BATHTUB	4	3	3	2		1		1	4	3	3	2
CLOTHES WASHER	4	3	3	3		1		1	4	3	3	3
KITCHEN SINK W/ DISHWASHER	3	1.125	2.625	2	1			1	3	1.125	2.625	2
HOSE BIBB	2.5/1	2.5/1	0	0	1			1	2.5	2.5	0	0
									29	23.125	14.625	24
	TOTAL	CW	HW	W/V								
UNITB FIXTURE UNITS:	29	23.125	14.625	24								
PEAK FLOW:	19.5 GPM											
REQUIRED SERVICE SIZE IN BUILDING:	1-1/2" COPPER			3" @ 2%								

PLUMBING EQUIPMENT SCHEDULES

	DOMESTIC WATER HEATER SCHEDULE — GAS (1)									
EQUIP NO.	SERVICE	DHW FLOW RATE GPM	WEIGHT, LBS	ENERGY FACTOR	MAX GAS CONSUMPTION (BTU)	DIMENSIONS LxHxW (IN)	ELECTRICAL	BASIS OF DESIGN		
WH-1	TOWNHOMES	11	64	0.96	199K	18.5x26.4x11.5	84W 120V 60HZ	RINNAI RU199iN		

NOTES: (1) SEE DETAIL 1, P7.00 FOR WATER HEATER PIPING DIAGRAM.

(2) WATER HEATER RECOVERY AND POWER REQUIREMENT ARE BASED ON NON-SIMULTANEOUS OPERATION.

SUB-METER									
EQUIP NO.	SERVICE	CONNECTION SIZE	DESIGN FLOW/MAX FLOW (GPM)	PRESSURE LOSS (PSI)	BASIS OF DESIGN	NOTES			
CWM-1	DCW SUPPLY	3/4"	15/30	6	NEXT CENTURY M201C	1			

NOTES:

1. ALL DOMESTIC WATER EQUIPMENT SHALL BE NSF-61 LISTED.

	PIPE MATERIALS SCHEDULE (1)		
PIPE TYPE	MATERIAL	JOINT	NOTES
UNDERGROUND WATER SERVICE ENTRANCE PIPING	COPPER, TYPE K.	SOLDERED	(2)
ABOVE GROUND WATER DISTRIBUTION PIPING	PEX, CPVC	SOLVENT CEMENT	(4)
UNDERGROUND WASTE AND VENT PIPING	SCHEDULE 40 SOLID CORE PVC	SOLVENT CEMENT	
ABOVE GROUND WASTE AND VENT PIPING	CAST IRON	HUBLESS COUPLINGS	
UNDERGROUND STORM PIPING	SCHEDULE 40 SOLID CORE PVC	SOLVENT CEMENT	
ABOVE GROUND STORM PIPING	CAST IRON	HUBLESS COUPLINGS	
CONDENSATE DRAIN PIPING	COPPER, TYPE M.	SOLDERED	(3)
NATURAL GAS PIPING	STEEL PIPE, ASTM A 53; TYPE E OR S; GRADE B; SCHEDULE 40	THREADED, WELDED, OR MEGAPRESS	

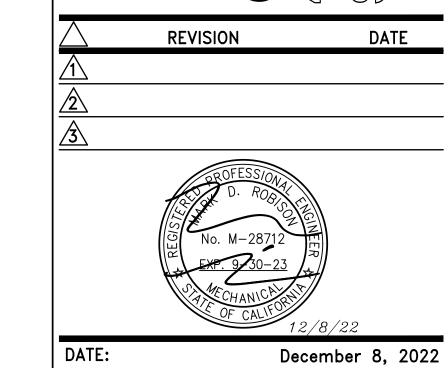
NOTES:(1) ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.

- (2) PLASTIC WRAP UNDERGROUND WATER SUPPLY PIPING TO PREVENT CORROSION.
- (3) CPVC IS ACCEPTABLE FOR CONDENSATE PIPING IN LIEU OF COPPER IF APPROVED BY AHJ.
- (4) PROVIDE THERMAL EXPANSION LOOPS FOR ALL CPVC PIPING PER MANUFACTURER REQUIREMENTS.

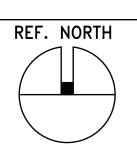




NEW DEVELOPMENT: CHEENEY ST TOWNHOUSES 4249 CHEENEY ST. SANTA CLARA, CA 95054



SCHEDULES AND CALCULATIONS

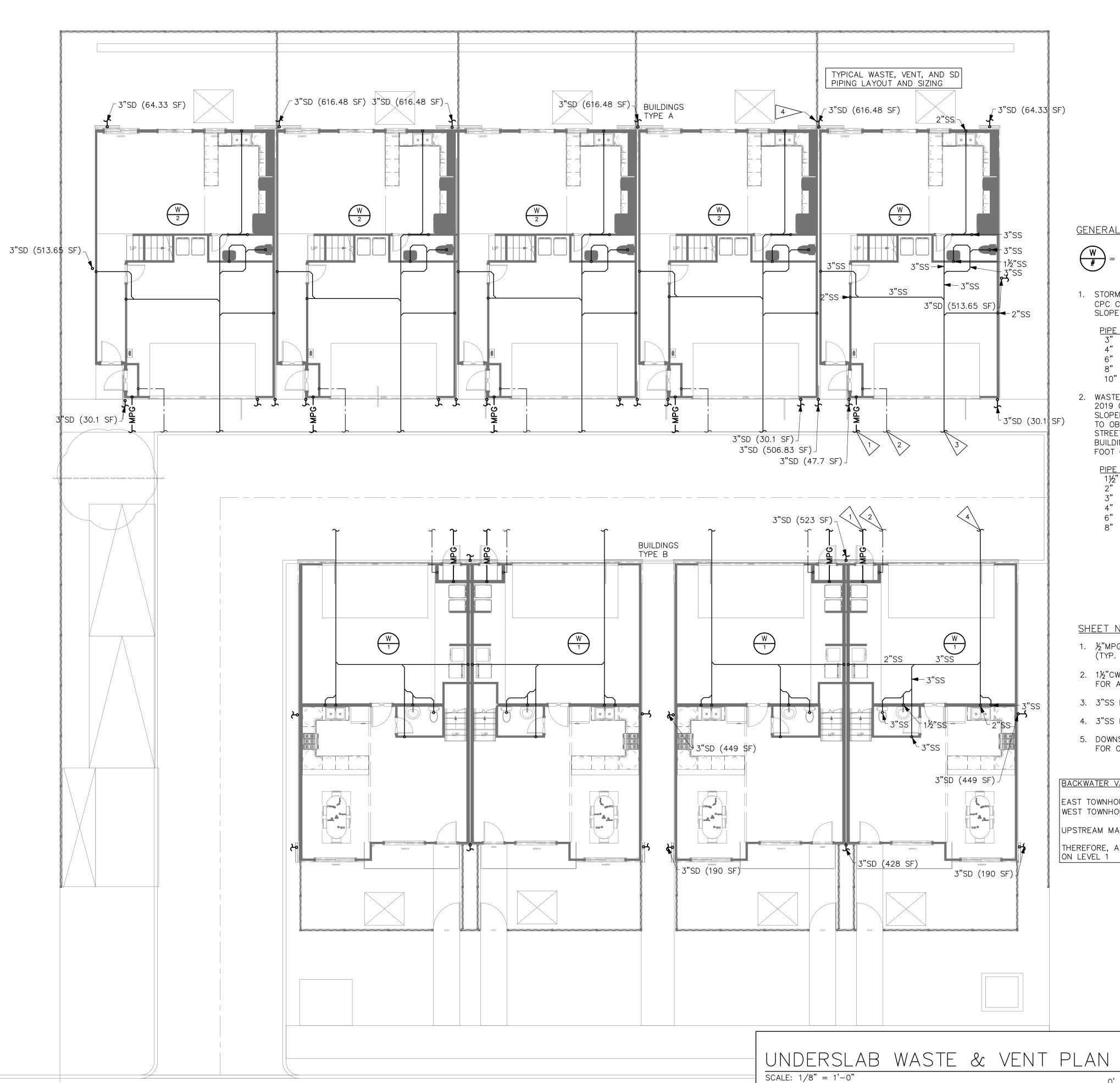


PROJECT No.

P002

590-054

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CONTACT: ARIK ESPINELI

GENERAL NOTES:

W = WASTE/VENT RISER IDENTIFICATION (I.E. RISER "#").
REFER TO P400 SERIES FOR RISER DETAILS AND

1. STORM DRAIN: STORM DRAINAGE PIPING SIZED PER 2019 CPC CHAPTER 11, FOR 1.5"/HR RAINFALL RATE, AT 1/8"/FT SLOPE UNLESS NOTED OTHERWISE:

PIPE SIZE	1% HORIZ	ZONTAL	VERTICAL
3"	2,192	SF	5,866 SF
4"	5,013	SF	12,266 SF
6"	14,266	SF	36,000 SF
8"	30,666	SF	77,333 SF
10"	55 200	SF	SF

2. WASTE & VENT: WASTE & VENT PIPING IS SIZED PER 2019 CPC TABLE 703.2. DRAINAGE PIPING SHALL BE SLOPED AT 1/4" OR 2% UON. WHERE IT IS IMPRACTICAL TO OBTAIN A SLOPE OF 2% DUE TO THE DEPTH OF THE STREET SEWER OR TO A STRUCTURAL FEATURES OF THE BUILDING. DRAINAGE PIPING MAY BE SLOPED AT 1/8" PER FOOT OR 1% WITH APPROVAL OF AHJ.

PIPE SIZ	E VERT.	2% HORIZ.	VENT
1½"	2 DFU	1 DFU	8 DFU
2"	16 DFU	8 DFU	24 DFU
3 "	48 DFU	35 DFU	84 DFU
4"	256 DFU	172 DFU	256 DFU
6 "	1,380 DFU	576 DFU	1,380 DFU
8"	3,600 DFU	2,112 DFU	3,600 DFU

SHEET NOTES: X

- 1. $\frac{1}{2}$ MPG POC. SEE CIVIL PLANS FOR CONT. IN JOINT TRENCH (TYP. FOR ALL TOWNHOUSES)
- 2. 11/2"CW POC. SEE CIVIL DRAWINGS FOR CONTINUATION. (TYP. FOR ALL TOWNHOUSES.)
- 3. 3"SS POC AT 2% SLOPE. IE = 19.739' (BASED ON 6" SOG)
- 4. 3"SS POC AT 2% SLOPE. IE = 20.08' (BASED ON 6" SOG)
- 5. DOWNSPOUT POC TO SITE PLAN SD PIPING. SEE CIVIL PLANS FOR CONT. (TYP. FOR ALL DOWNSPOUTS.)

BACKWATER VALVE ANALYSIS

EAST TOWNHOUSES LEVEL 1 FF = 22.26' WEST TOWNHOUSES LEVEL 1 FF = 22.45'

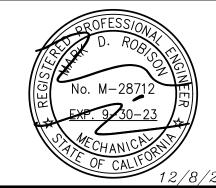
UPSTREAM MANHOLE RIM =20.07'

THEREFORE, A BACKWATER VALVE IS NOT REQUIRED FOR FIXTURES



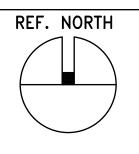
TOWNHOUSES CHEENE

REVISION DATE



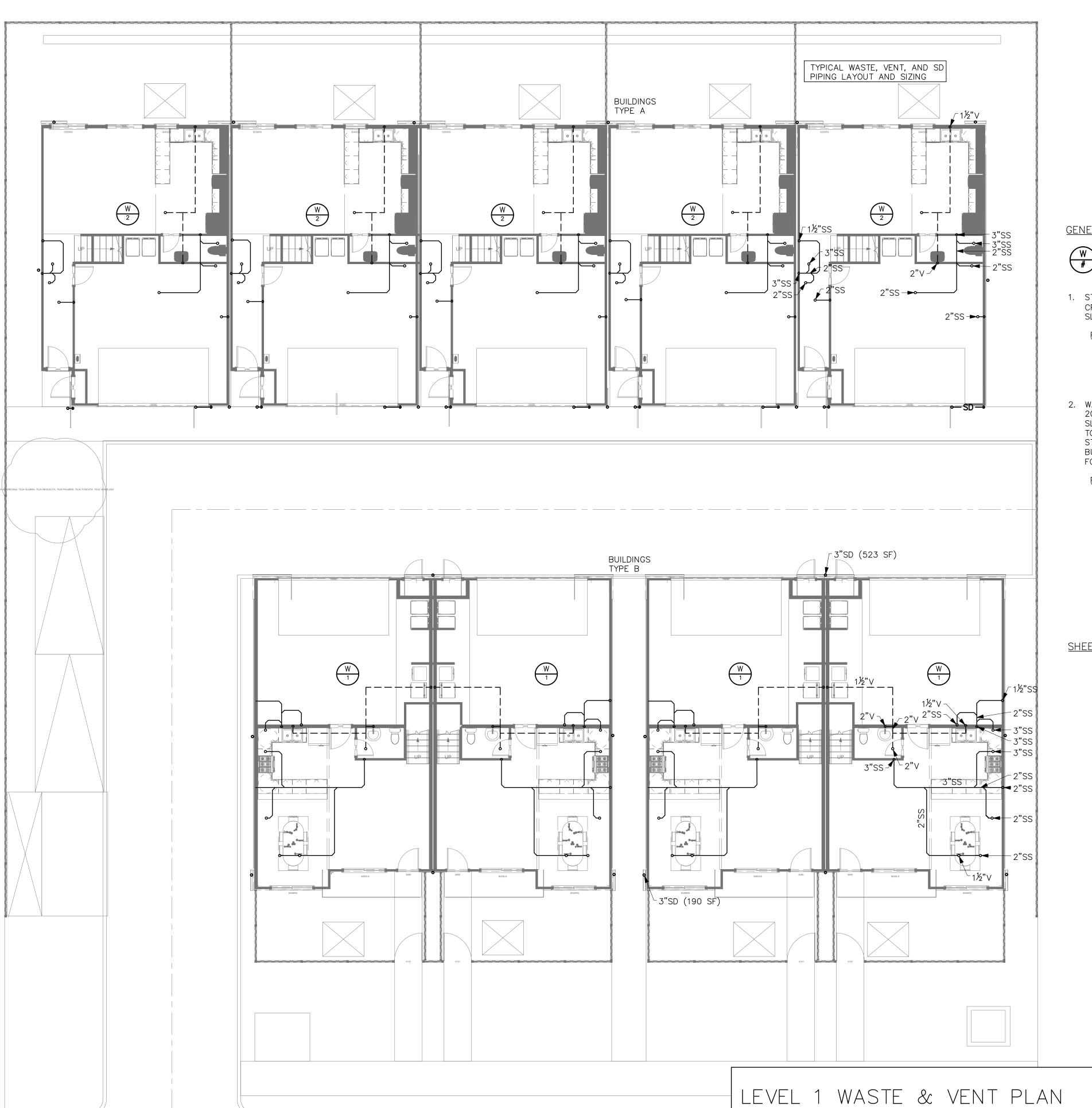
DATE: December 8, 2022 PROJECT No. 590-054

UNDERSLAB WASTE & VENT PLAN



P200

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SCALE: 1/8" = 1'-0"



GENERAL NOTES:

W = WASTE/VENT RISER IDENTIFICATION (I.E. RISER "#").
REFER TO P400 SERIES FOR RISER DETAILS AND

1. STORM DRAIN: STORM DRAINAGE PIPING SIZED PER 2019 CPC CHAPTER 11, FOR 1.5"/HR RAINFALL RATE, AT 1/8"/FT SLOPE UNLESS NOTED OTHERWISE:

PIPE SIZE	1% HORI	ZONTAL	VERTICAL
3"	2,192	SF	5,866 SF
4"	5,013	SF	12,266 SF
6"	14,266	SF	36,000 SF
8"	30,666	SF	77,333 SF
10"	55,200	SF	SF

2. WASTE & VENT: WASTE & VENT PIPING IS SIZED PER 2019 CPC TABLE 703.2. DRAINAGE PIPING SHALL BE SLOPED AT 1/4" OR 2% UON. WHERE IT IS IMPRACTICAL TO OBTAIN A SLOPE OF 2% DUE TO THE DEPTH OF THE STREET SEWER OR TO A STRUCTURAL FEATURES OF THE BUILDING. DRAINAGE PIPING MAY BE SLOPED AT 1/8" PER FOOT OR 1% WITH APPROVAL OF AHJ.

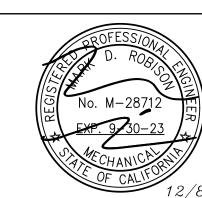
<u>PIPE SIZE</u>	VERT.	2% HORIZ.	<u>VENT</u>
11/2"	2 DFU	1 DFU	8 DFU
2"	16 DFU	8 DFU	24 DFU
3"	48 DFU	35 DFU	84 DFU
4"	256 DFU	172 DFU	256 DFU
6"	1,380 DFU	576 DFU	1,380 DFU
8"	3,600 DFU	2,112 DFU	3,600 DFU

SHEET NOTES: X



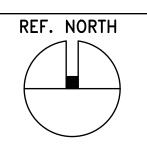
Los Gatos, CA 95030

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DATE:	December	8, 2022
PROJECT No.	590-	-054

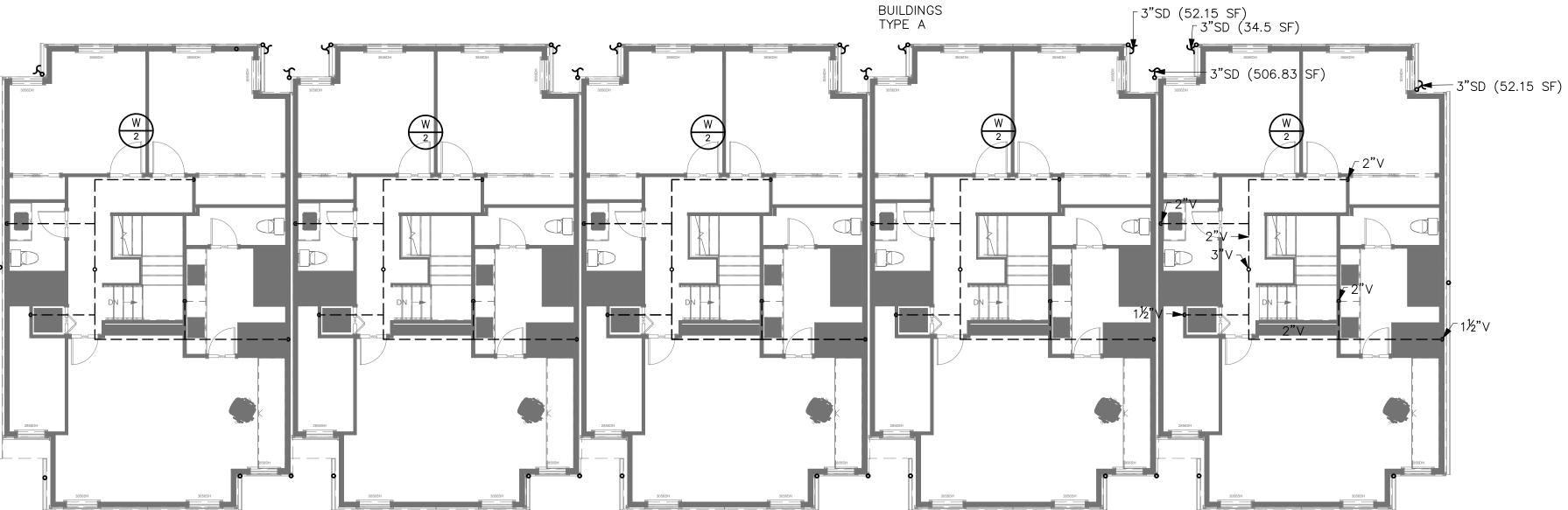
LEVEL 1 WASTE & VENT PLAN



P201

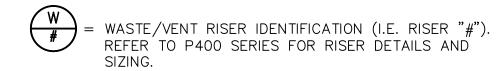
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TYPICAL WASTE, VENT, AND SD PIPING LAYOUT AND SIZING





GENERAL NOTES:



1. STORM DRAIN: STORM DRAINAGE PIPING SIZED PER 2019 CPC CHAPTER 11, FOR 1.5"/HR RAINFALL RATE, AT 1/8"/FT SLOPE UNLESS NOTED OTHERWISE:

PIPE SIZE	1% HORI	ZONTAL	VERTICAL
3"	2,192	SF	5,866 SF
4"	5,013	SF	12,266 SF
6"	14,266	SF	36,000 SI
8"	30,666	SF	77,333 SI
1∩"	55 200	SF	SE

2. WASTE & VENT: WASTE & VENT PIPING IS SIZED PER 2019 CPC TABLE 703.2. DRAINAGE PIPING SHALL BE SLOPED AT 1/4" OR 2% UON. WHERE IT IS IMPRACTICAL TO OBTAIN A SLOPE OF 2% DUE TO THE DEPTH OF THE STREET SEWER OR TO A STRUCTURAL FEATURES OF THE BUILDING. DRAINAGE PIPING MAY BE SLOPED AT 1/8" PER FOOT OR 1% WITH APPROVAL OF AHJ.

PIPE SI	ZE VERT.	2% HORIZ.	<u>VENT</u>
1½"	2 DFU	1 DFU	8 DFU
2"	16 DFU	8 DFU	24 DFU
3"	48 DFU	35 DFU	84 DFU
4"	256 DFU	172 DFU	256 DFU
6"	1,380 DFU	576 DFU	1,380 DFU
8"	3,600 DFU	2,112 DFU	3,600 DFU

SHEET NOTES: X

GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192

Los Gatos, CA 95030

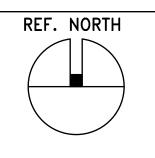
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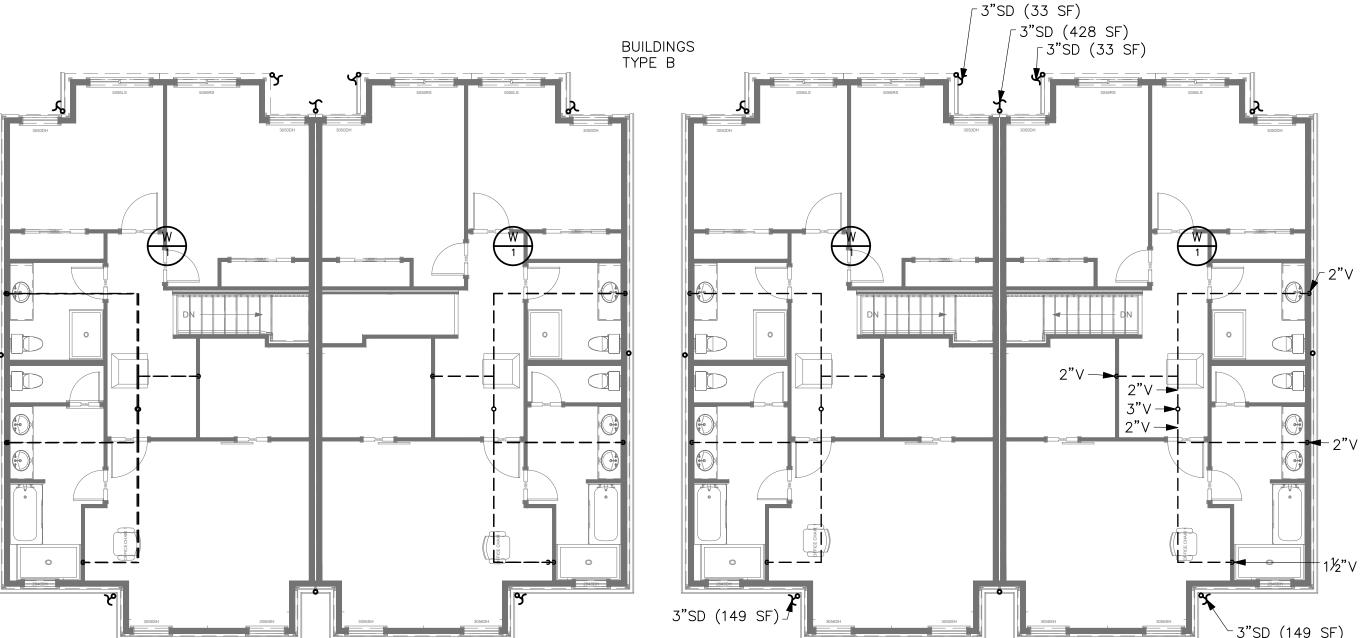


DATE:		December	8,	2022
PROJECT	No.	590-	-05	4

LEVEL 2 WASTE & VENT PLAN

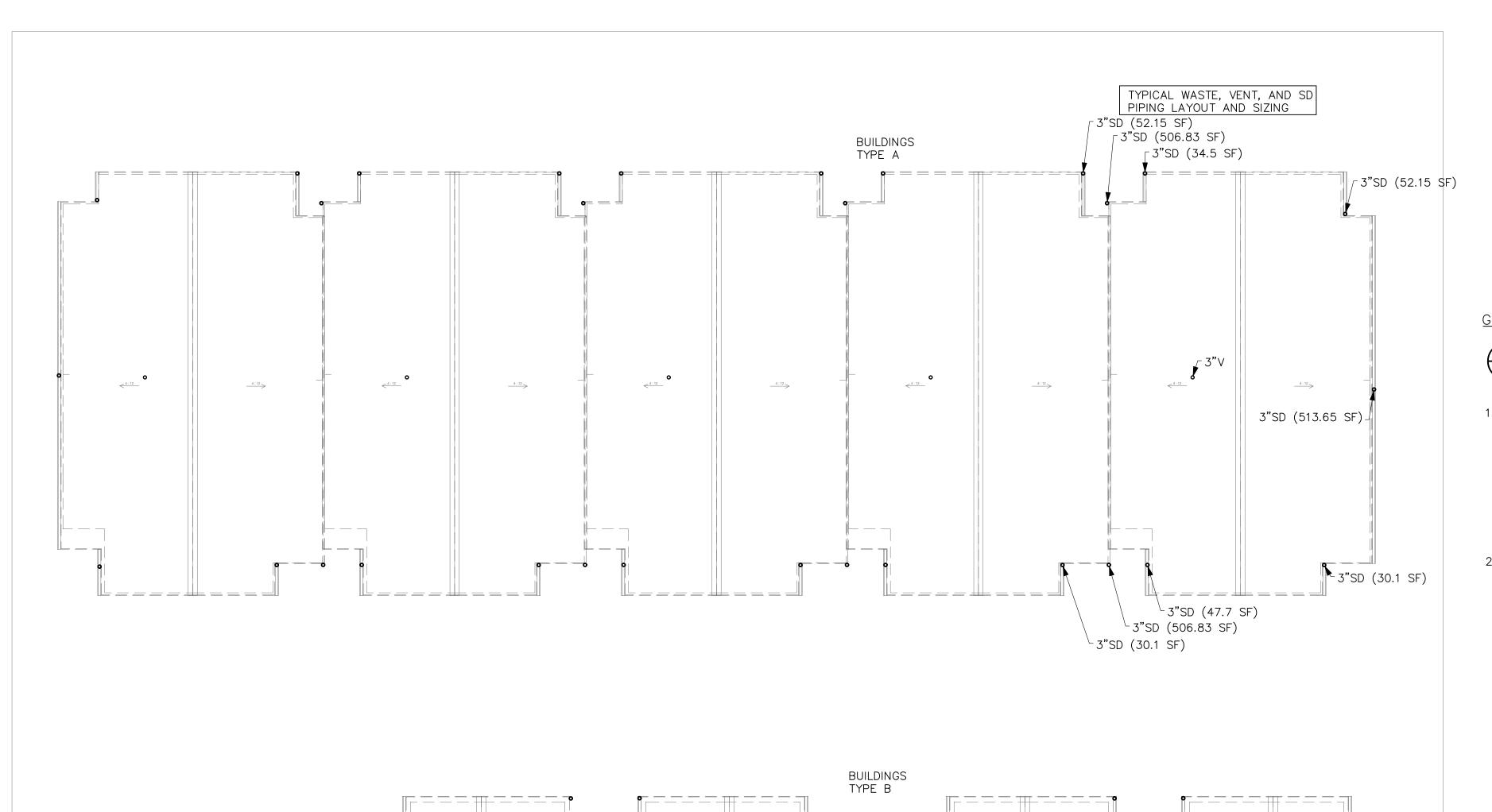


P202



LEVEL 2 WASTE & VENT PLAN SCALE: 1/8" = 1'-0"

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GENERAL NOTES:

W = WASTE/VENT RISER IDENTIFICATION (I.E. RISER "#").
REFER TO P400 SERIES FOR RISER DETAILS AND SIZING.

1. STORM DRAIN: STORM DRAINAGE PIPING SIZED PER 2019 CPC CHAPTER 11, FOR 1.5"/HR RAINFALL RATE, AT %"/FT SLOPE UNLESS NOTED OTHERWISE:

PIPE SIZE	1% HORI	ZONTAL	VERTICAL
3"	2,192	SF	5,866 SF
4"	5,013	SF	12,266 SF
6 "	14,266	SF	36,000 SF
8"	30,666	SF	77,333 SF
10"	55,200	SF	SF

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PIPE SIZ	<u>ZE VERT.</u>	2% HORIZ.	<u>VENT</u>
1½"	2 DFU	1 DFU	8 DFU
2"	16 DFU	8 DFU	24 DFU
3"	48 DFU	35 DFU	84 DFU
4"	256 DFU	172 DFU	256 DFU
6"	1,380 DFU	576 DFU	1,380 DFU
8"	3,600 DFU	2,112 DFU	3,600 DFU

SHEET NOTES: X

GENERAL CONTRACTOR & ENGINEER 101 South Santa Cruz Ave., #33192

Los Gatos, CA 95030

EVELOPMENT:

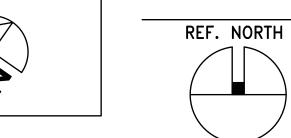
NEY ST TOWNHOUSES

SHEENEY ST. CHEENE

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	No. M-28712 EXP. 9 30-23	

DATE: December 8, 2022 PROJECT No. 590-054

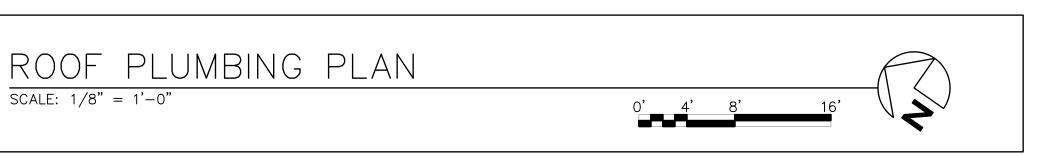
ROOF PLUMBING PLAN



P203

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D-Cube Studio



__3"SD (449 SF)_

⁷ 3"SD (149 SF)

⊶ 3"∨





GENERAL NOTES:

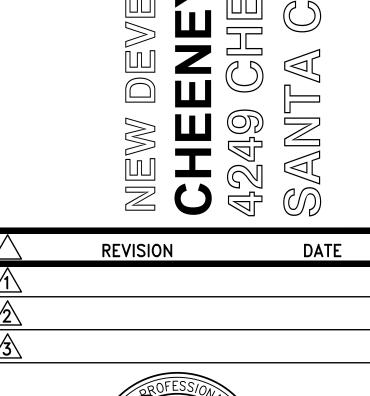
S = WASTE/VENT RISER IDENTIFICATION (I.E. RISER "#").
REFER TO P400 SERIES FOR RISER DETAILS AND SIZING.



Los Gatos, CA 95030

SHEET NOTES: X

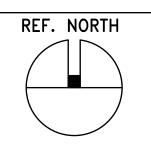
- 1. PEX MANIFOLD FOR SUPPLY PIPING. SEE DETAIL 1,P701.
- 2. 2" CW DOWN. PROVIDE WATER SHUTOFF VALVE (TYP.)
- 3. ½" MPG DOWN



D. ROBJO No. M-28712	
EXP. 9 30-23	ER
OF CALIFOR	12/8/22

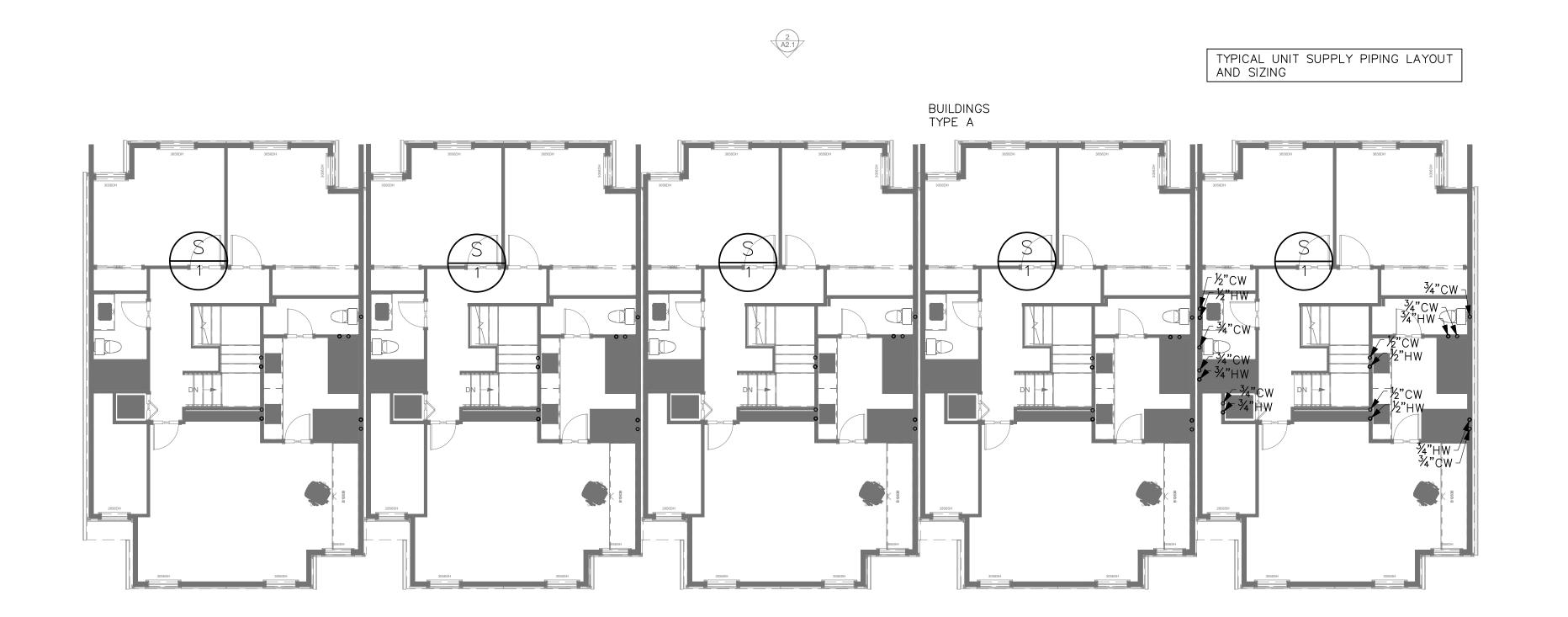
DATE: December 8, 2022 PROJECT No. 590-054

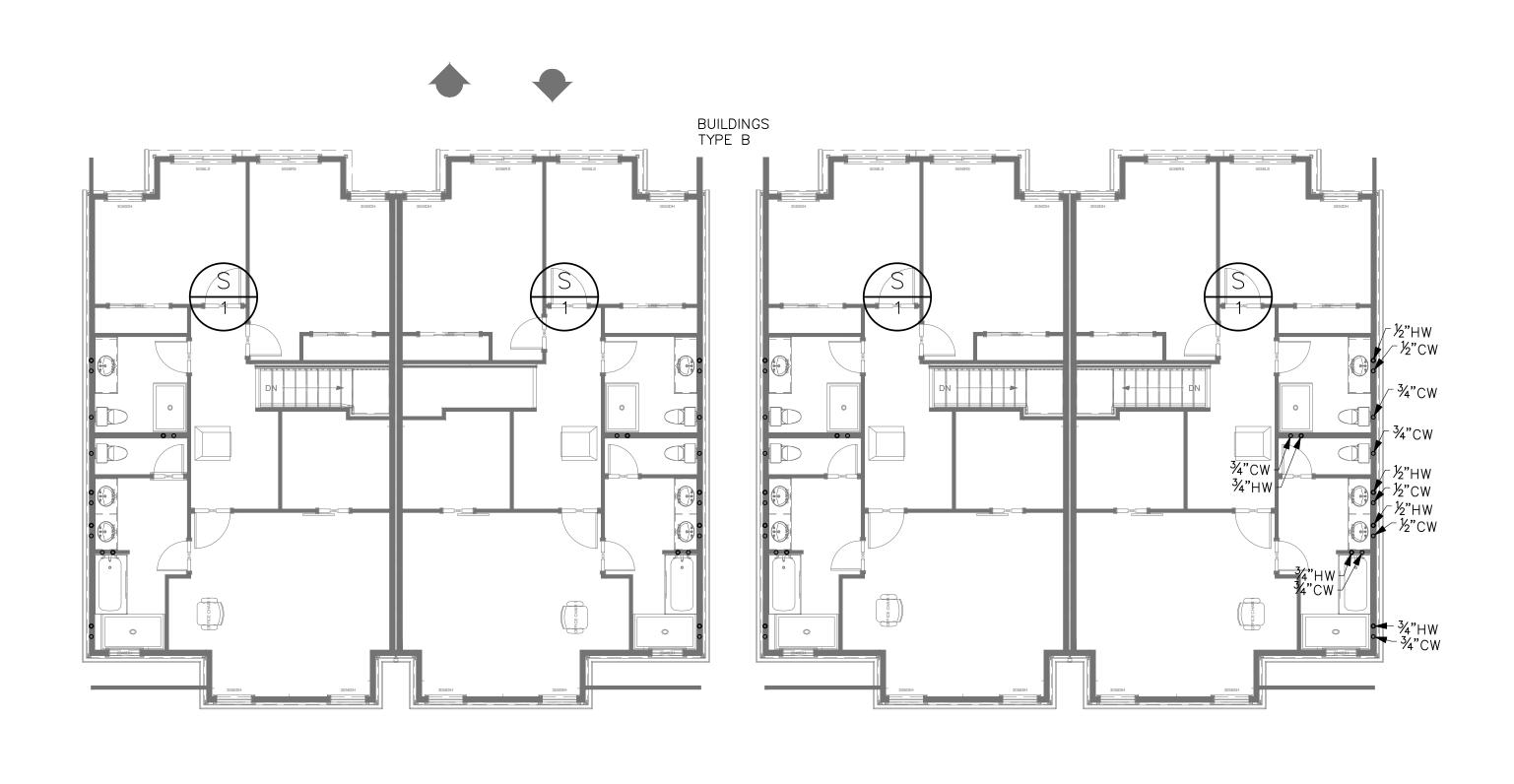
LEVEL 1 SUPPLY PLAN



P301

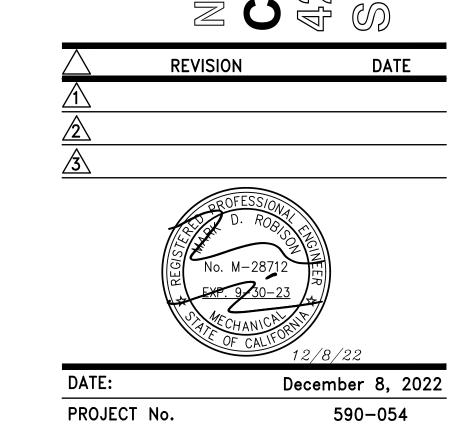
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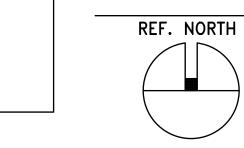








LEVEL 2 SUPPLY PLAN

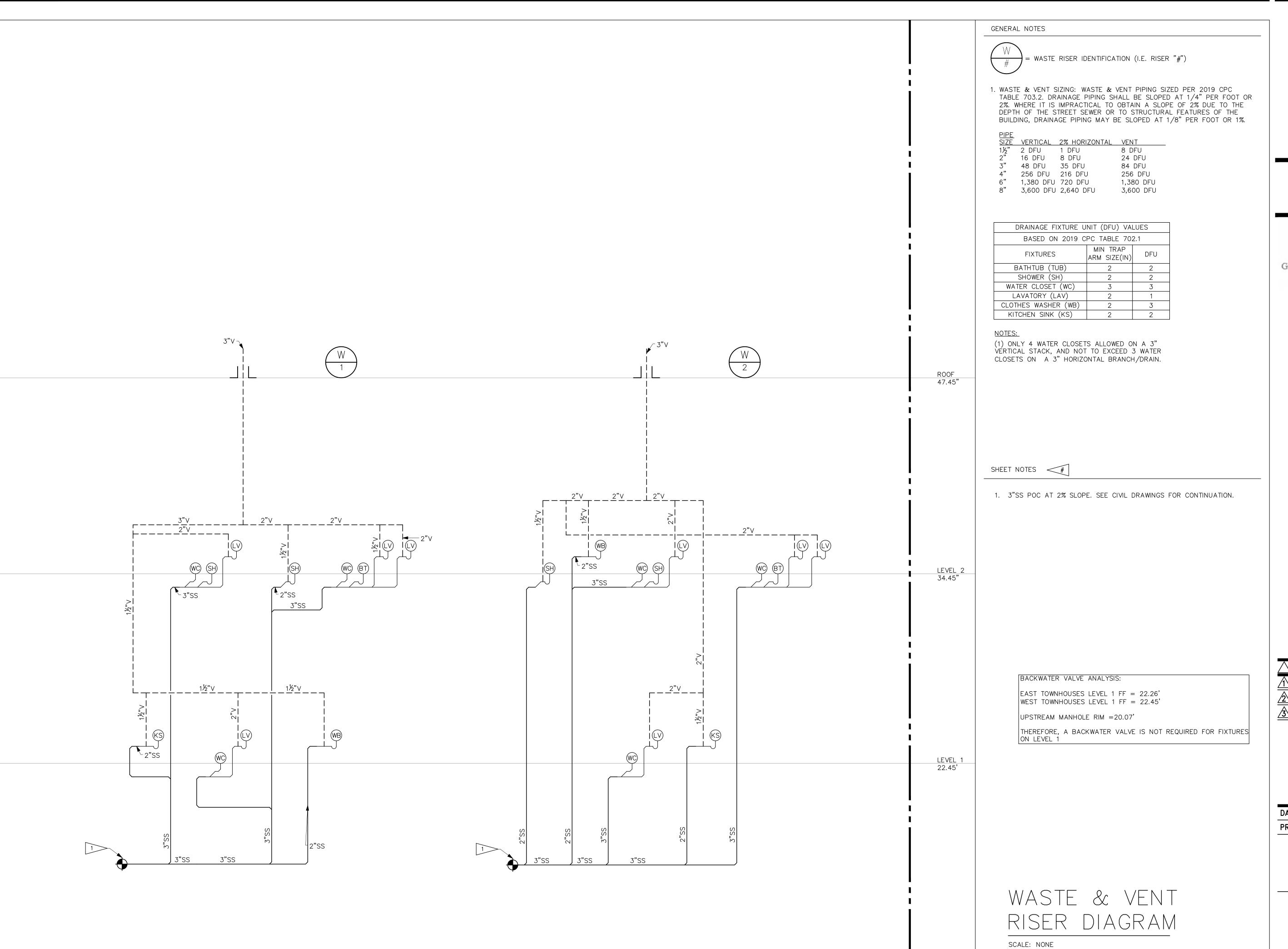


P302

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LEVEL 2 SUPPLY PLAN SCALE: 1/8" = 1'-0"





REI PROJECT NO.: 590-054 CONTACT: ARIK ESPINELI

CONSTRUCTION INC.
GENERAL CONTRACTOR & ENGINEER
101 South Santa Cruz Ave., #33192
Los Gatos, CA 95030

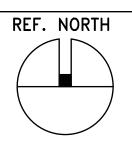
IN DEVELOPMENT: LEENEY ST TOWNHOUSE, AS CHEENEY ST. ANTA CLARA, CA 95054

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	No. M-28/12 EXP. 9/30-23 CHANICARING OF CALIFORNIA	2/8/22

DATE:
PROJECT No.

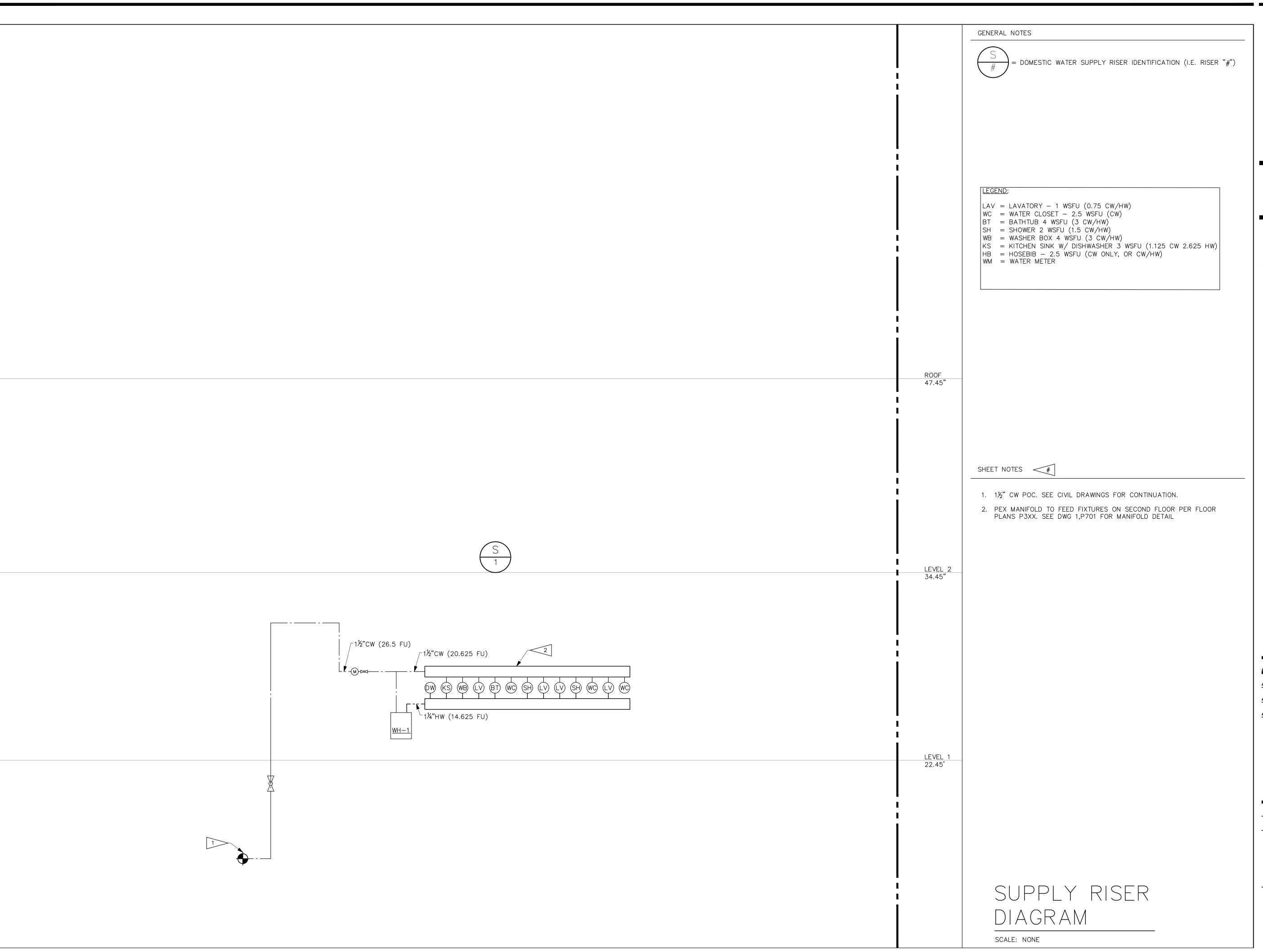
December 8, 2022 590-054

WASTE & VENT RISER DIAGRAM



P401

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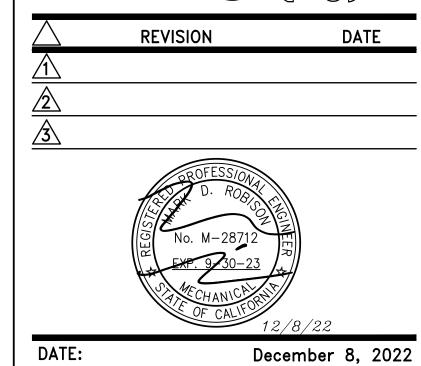




CONTACT: ARIK ESPINELI

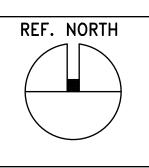
CONSTRUCTION INC.
GENERAL CONTRACTOR & ENGINEER
101 South Santa Cruz Ave., #33192
Los Gatos, CA 95030

NEW DEVELOPMENT: CHEENEY ST TOWNHOUSES 4249 CHEENEY ST. SANTA CLARA, CA 95054



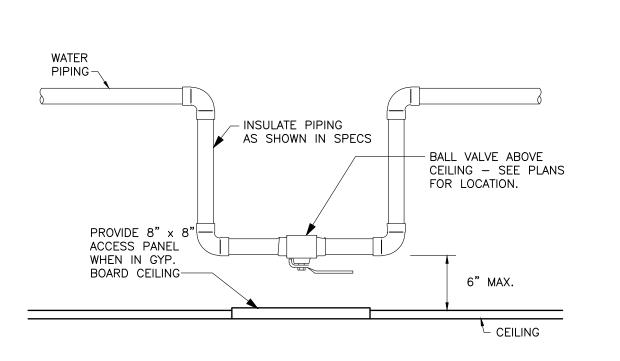
PROJECT No. 590-054

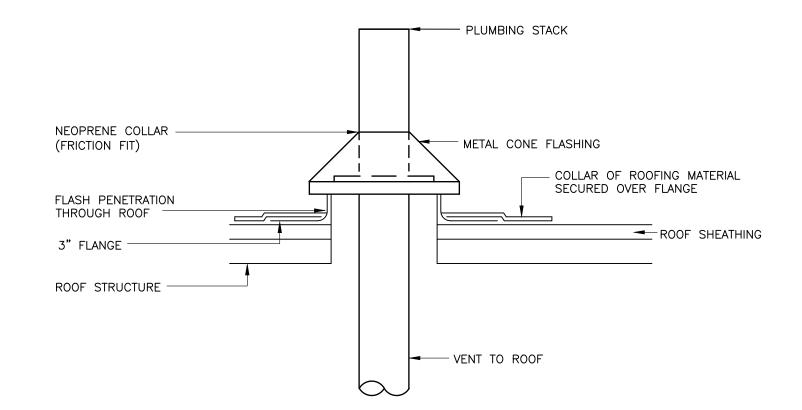
SUPPLY RISER DIAGRAM



P501

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0/ 00

U.L. LISTED & APPROVED

—PIPE SLEEVE—1"(MIN.) LARGER THAN PENETRATING PIPE

DETAIL "A"

FIRE SEALANT



EQUIPMENT SCHEDULE

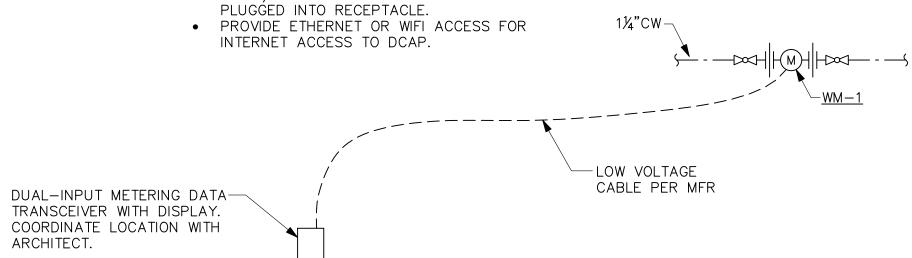
WATER METER (NEXT CENTURY MULTI-JET WATER METER MODEL M201C, 3/4").

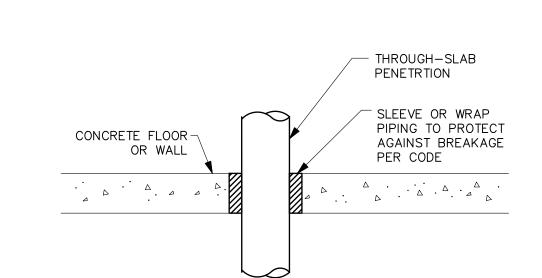
TRANSCEIVER: WIRELESS METERING DATA TRANSCEIVER DUAL INPUT WITH DISPLAY, WITH BATTERIES. TEHAMA WIRELESS MODEL TW-165A-PP.

WIRELESS REPEATERS: TEHAMA COMPATIBLE REPEATERS; QUANTITY TWO. TEHAMA WIRELESS TW-191X.

UDATA CONCENTRATING ACCESS POINT (DCAP): TEHAMA WIRELESS TW-203X-T-150. DCAP TO BE INSTALLED ON MAIN

COMM/DATA BOARD AND POWER SUPPLY PLUGGED INTO RECEPTACLE.





TYPICAL VALVE PLACEMENT

SCALE: NONE



FIRE PROOFING SEAL — CUT JACKET & INSULATION TO ALLOW FOR PIPE CLAMP ARM EXTENSION & FILL—IN VOID W/ INSULATING CEMENT

VENT THROUGH ROOF

00

SCALE: NONE

PIPE INSULATION—

PIPE CLAMP-

CAULKING —

PIPE INSULATION—— PIPE SLEEVE —

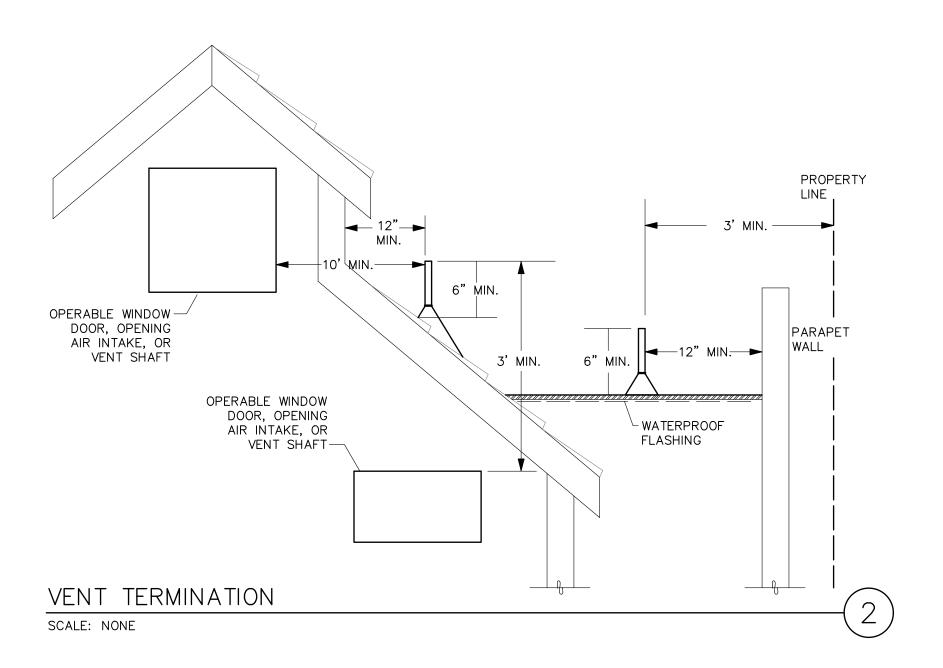
INSULATION JACKET—

PIPE CLAMP

INSULATION JACKET-



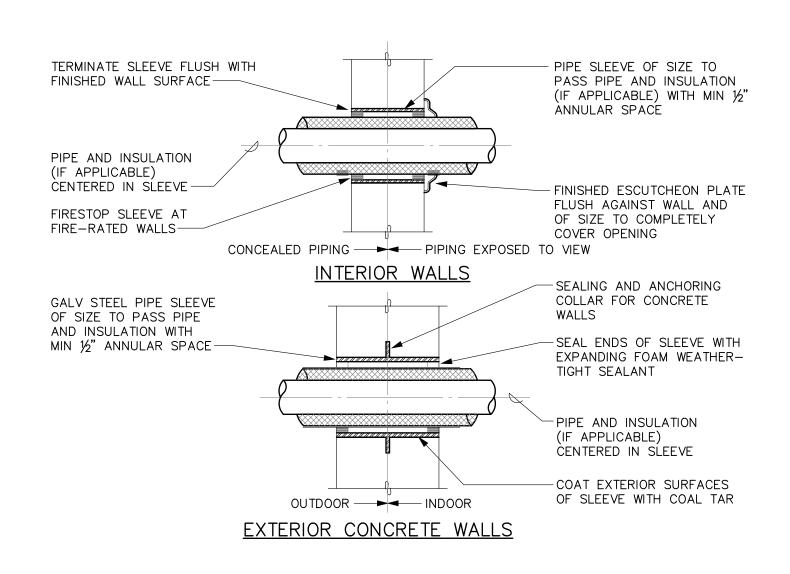
ELEVATION





DETAIL

SCALE: NONE



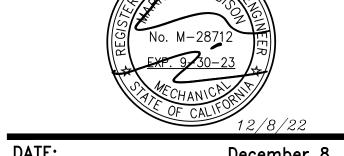
PIPE SLEEVES THROUGH WALLS

SCALE: NONE



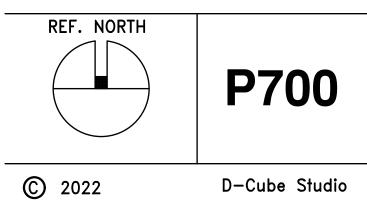
OWNHOUSE

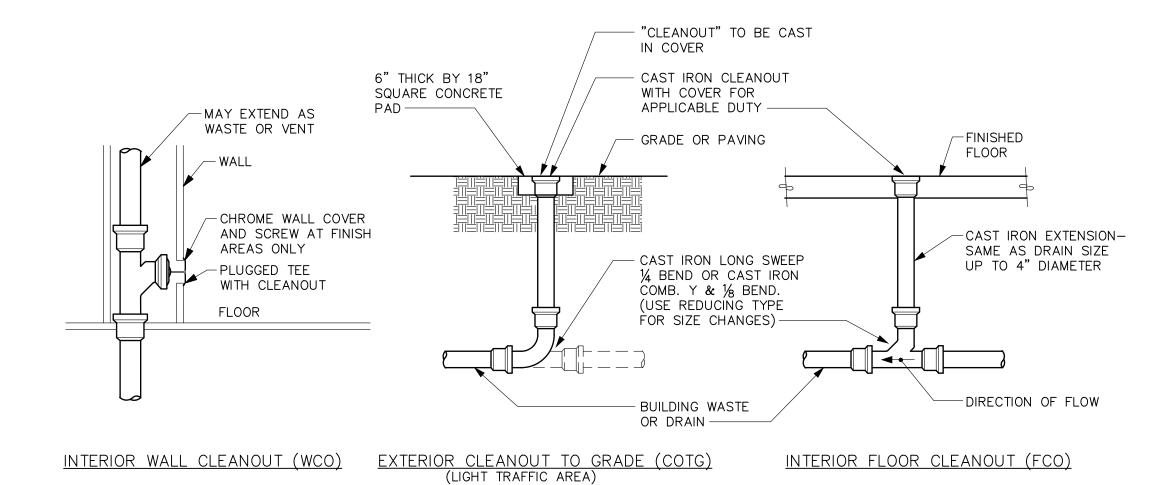
W) **REVISION** DATE



DATE: December 8, 2022 PROJECT No. 590-054

DETAILS

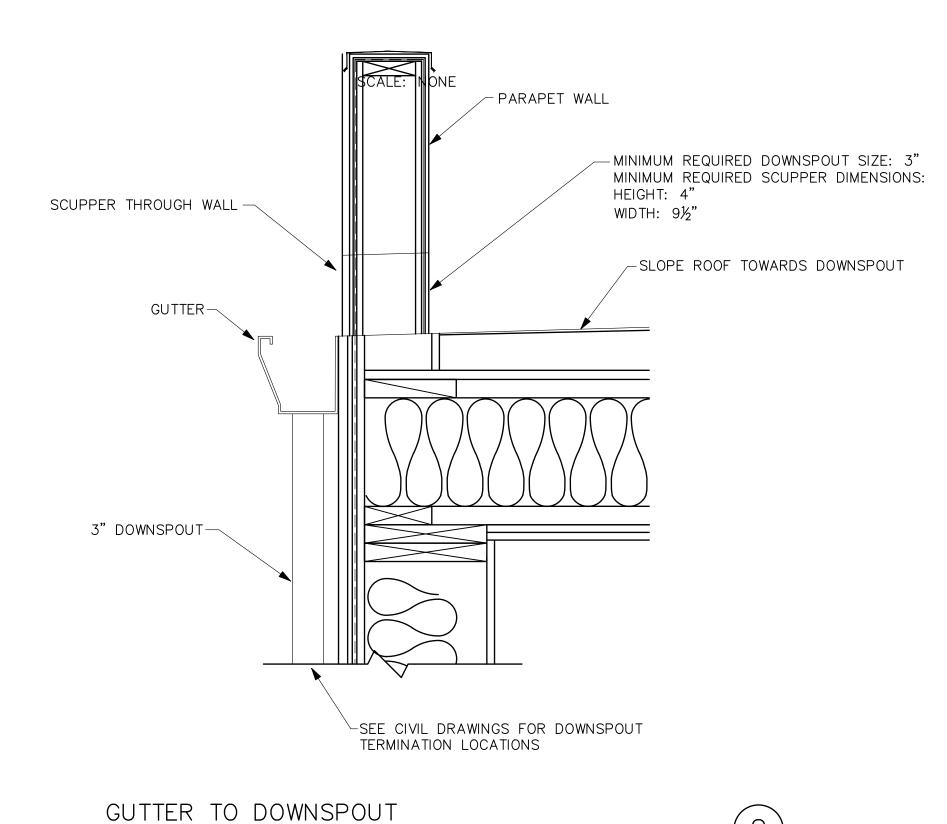


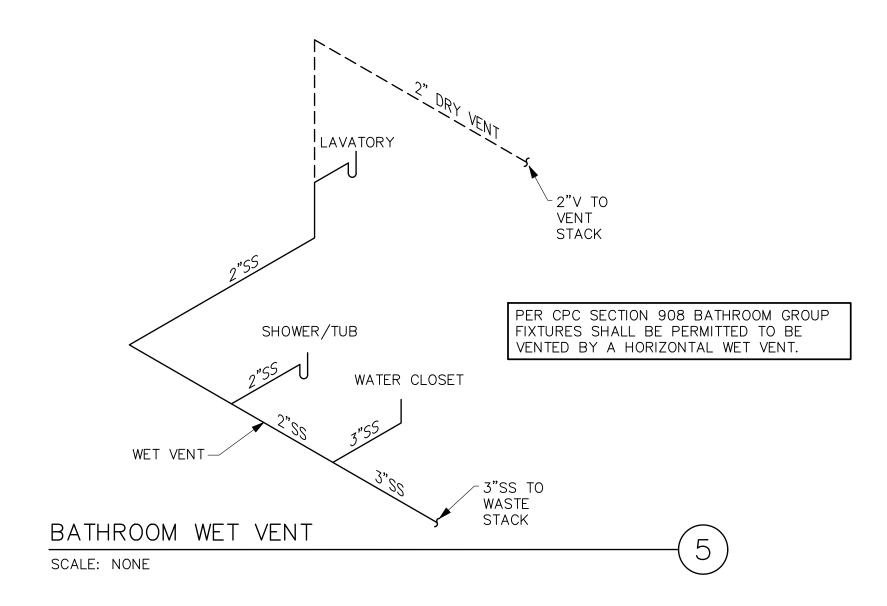


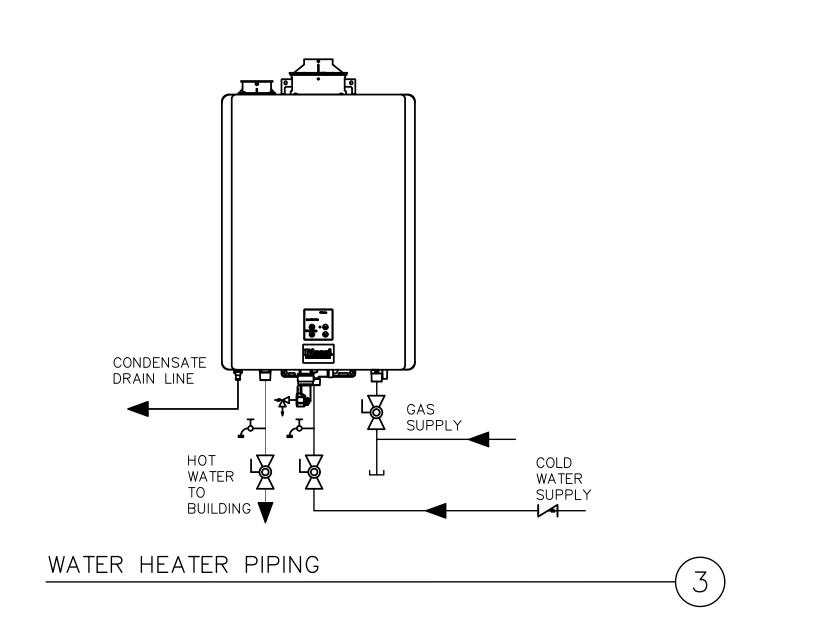
CLEANOUTS

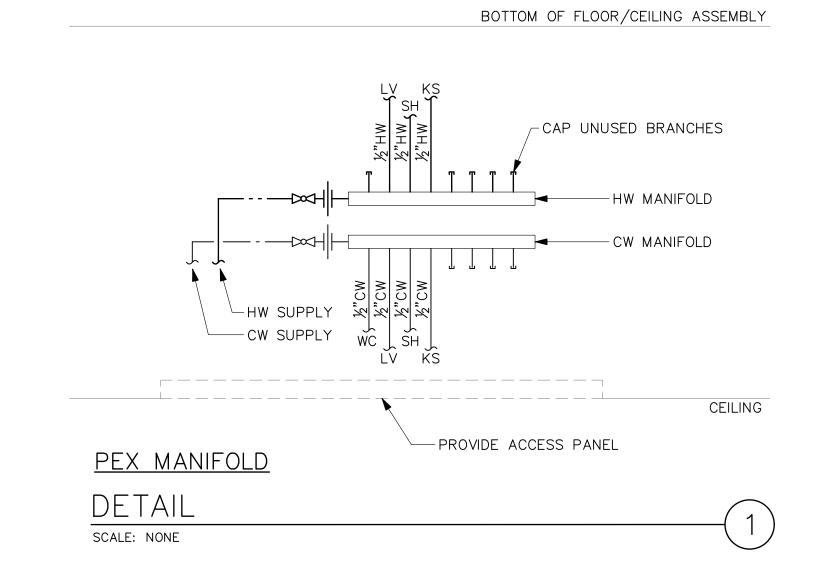
SCALE: NONE

SCALE: NONE





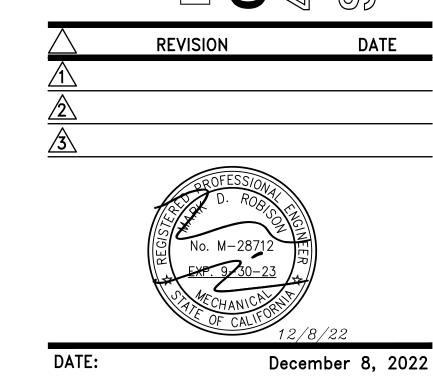








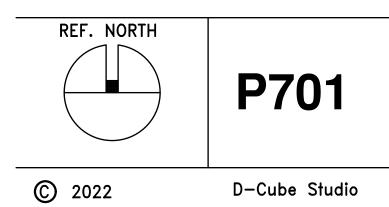
NEW DEVELOPMENT: CHEENEY ST TOWNHOUSES 4249 CHEENEY ST. SANTA CLARA, CA 95054

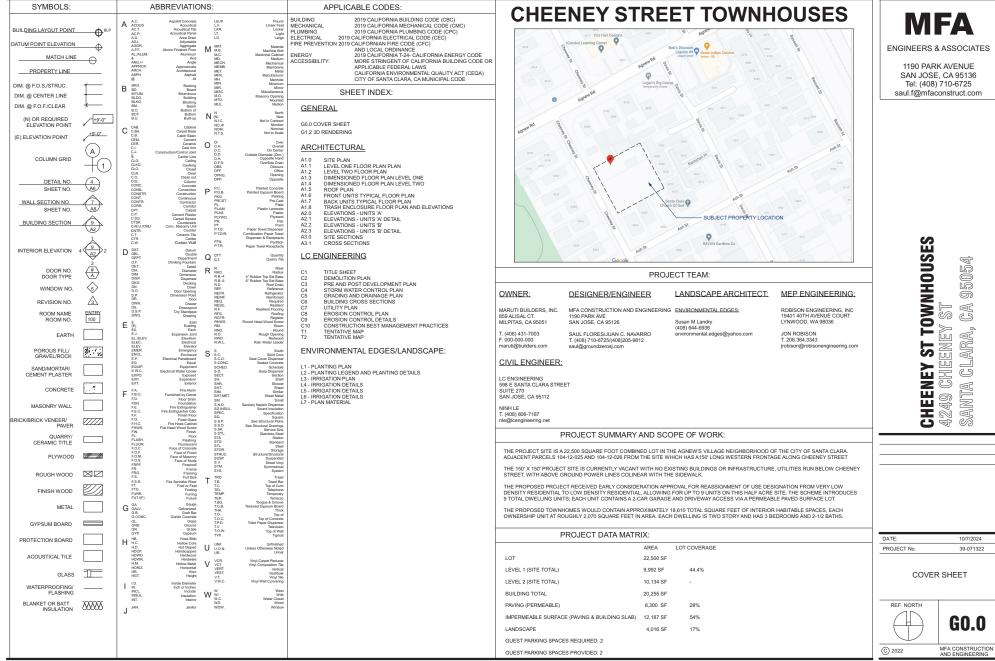


DETAILS

590-054

PROJECT No.





10/7/2024

THE CHEENEY TOWNHOUSES



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CHEENEY ST. TOWNHOUSES 4249 CHEENEY STAEET

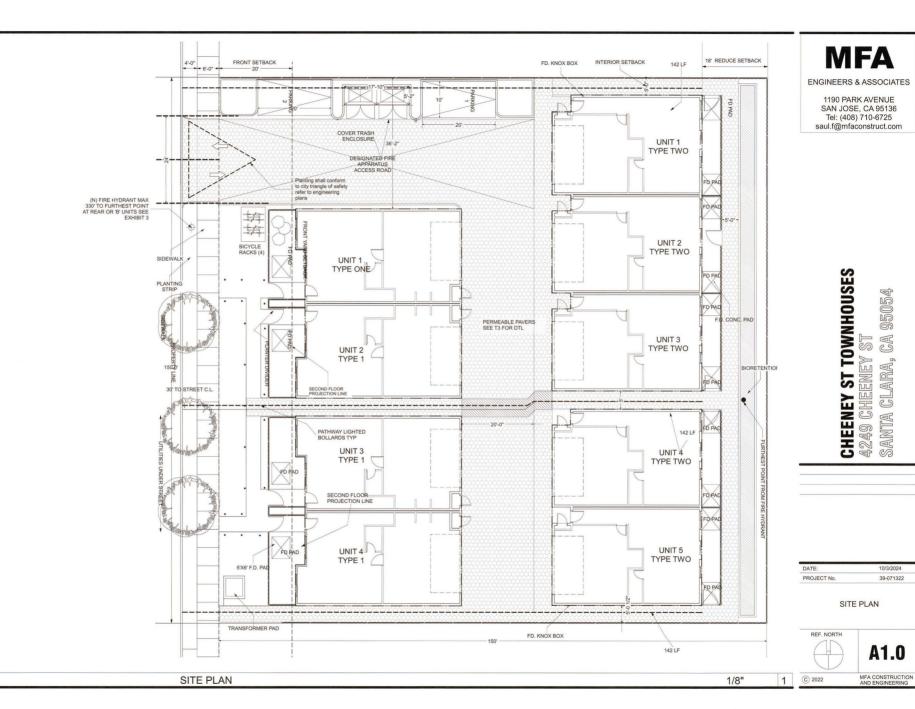
REVISION

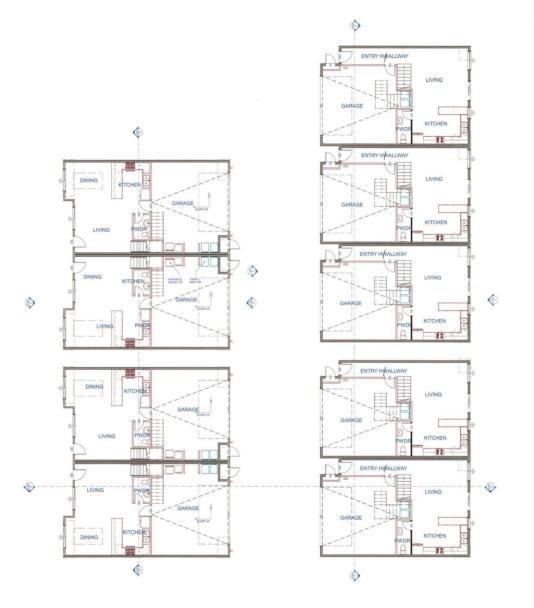
10/3/2024

3D RENDERING



G1.2





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CHEENEY ST. TOWNHOUSES 4249 CHIENEY STREET SANTA CLARA, CA 95054

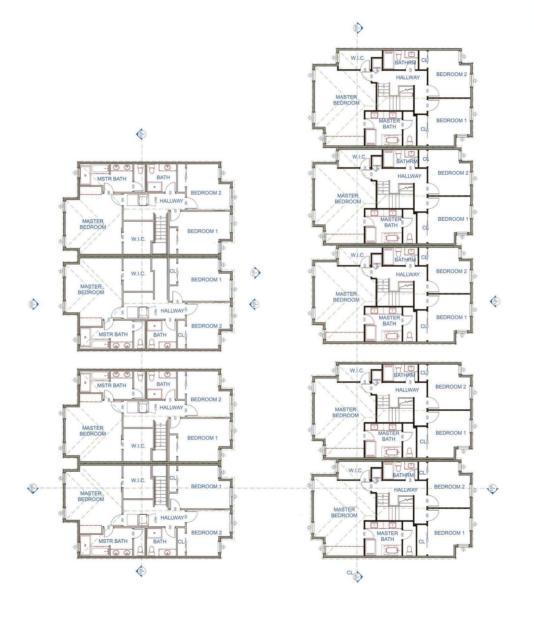
REV	ISION	DATE
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I will be supplied to the same	
DATE:	10/3/2024
PROJECT No.	39-071322

LEVEL ONE FLOOR PLAN



A1.1



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CHEENEY ST. TOWNHOUSES 4249 CHEENEY STREET SANTA CLARA, CA 95054

	9	00
# REVISION		DATE

DATE:	10/3/2024
PRO JECT No.	20.074222

LEVEL TWO FLOOR PLAN



A1.2



CHEENEY ST TOWNHOUSES 4249 CHEENEY ST. SANTA CLARA, CA 95054

\triangle	REVISION	DATE
1		
Λ		
2\		
2		

UNIT TYPE A-2 FIRST FLOOR UNIT TYPE A-2 SECOND FLOOR UNIT TYPE A-2 GARAGE UNIT TYPE A-2 LIVING AREA =1,142 S.F. =1,130 S.F. = 552 S.F. =1,720 S.F.

UNIT TYPE B-3 FIRST FLOOR UNIT TYPE B-3 SECOND FLOOR UNIT TYPE B-3 GARAGE UNIT TYPE B-3 LIVING AREA

UNIT TYPE B FIRST FLOOR TOTAL =1,085*5=5,424 S.F.

=1,085 S.F. =1,121 S.F. = 494 S.F. =1,712 S.F.

UNIT TYPE A FIRST FLOOR TOTAL =1,142*4=4,568

FIRST FLOOR TOTAL = 4,568+5,424=9,992 / 22,500 =44.4 TOTAL LOT COVERAGE

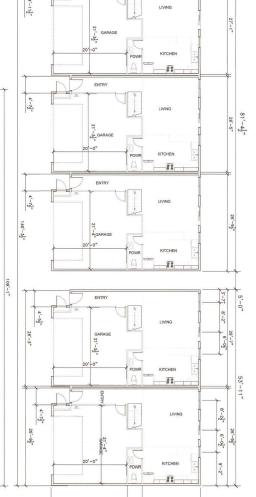
DATE: August 23, 2022 10-042122 PROJECT No.

> DIMENSIONED FLOOR PLAN LEVEL ONE



A1.3

16'-12"4'-102"



21'-62"

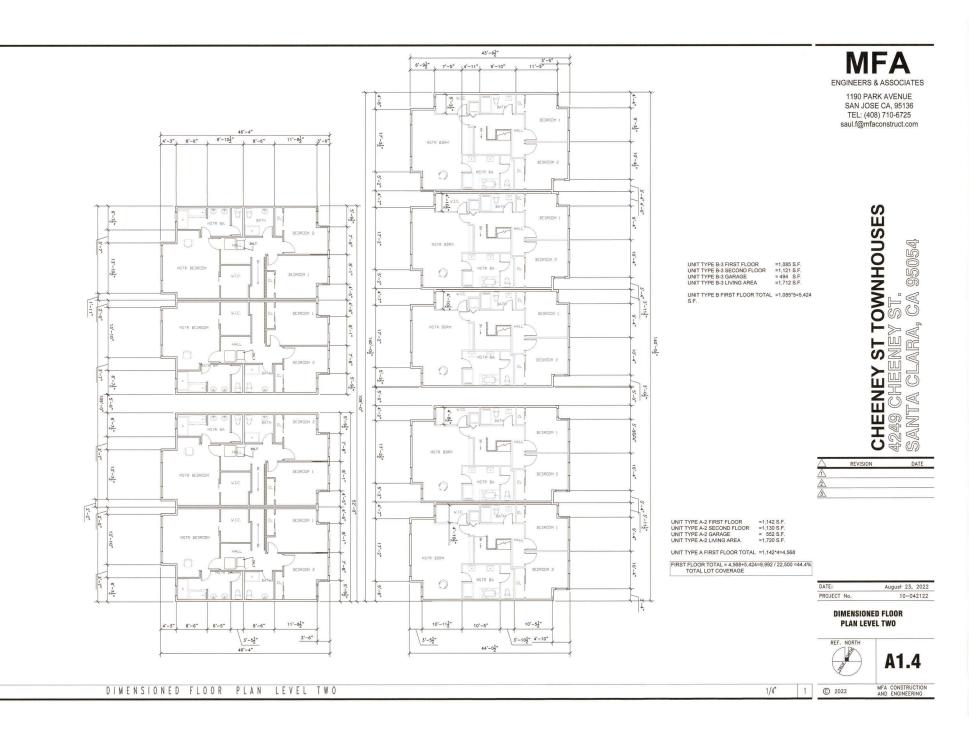
40'-112"

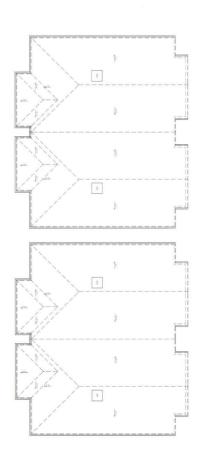
2"-62"

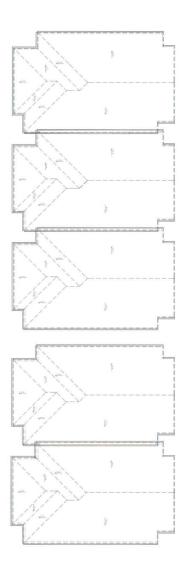
2'-61"

23'-10" 21'-62" 2'-62"

2"-62"









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CHEENEY ST TOWNHOUSES 4249 CHEENEY ST SANTA CLARA, CA 95054

DATE:	10/3/2024
PROJECT No.	39-071322

ROOF PLAN



A1.5



45'-4 3/4"



ENGINEERS & ASSOCIATES

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STREET Santa Clara, ca 9505 CHEENEY CHEENEY 4249

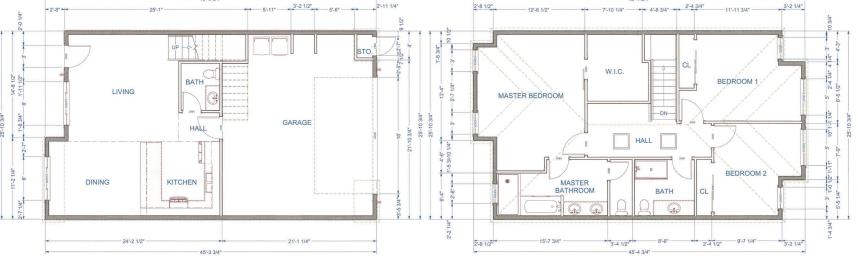
REVISION DATE

DATE: 9/25/2024 PROJECT No. 39-071322

> FRONT UNITS TYPICAL FLOOR **PLAN**



A1.6

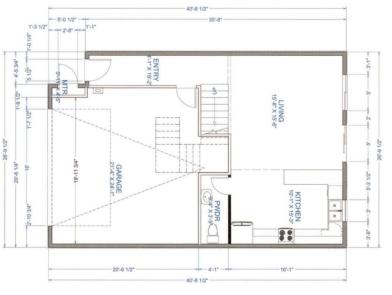


45'-3 3/4"

1/4"







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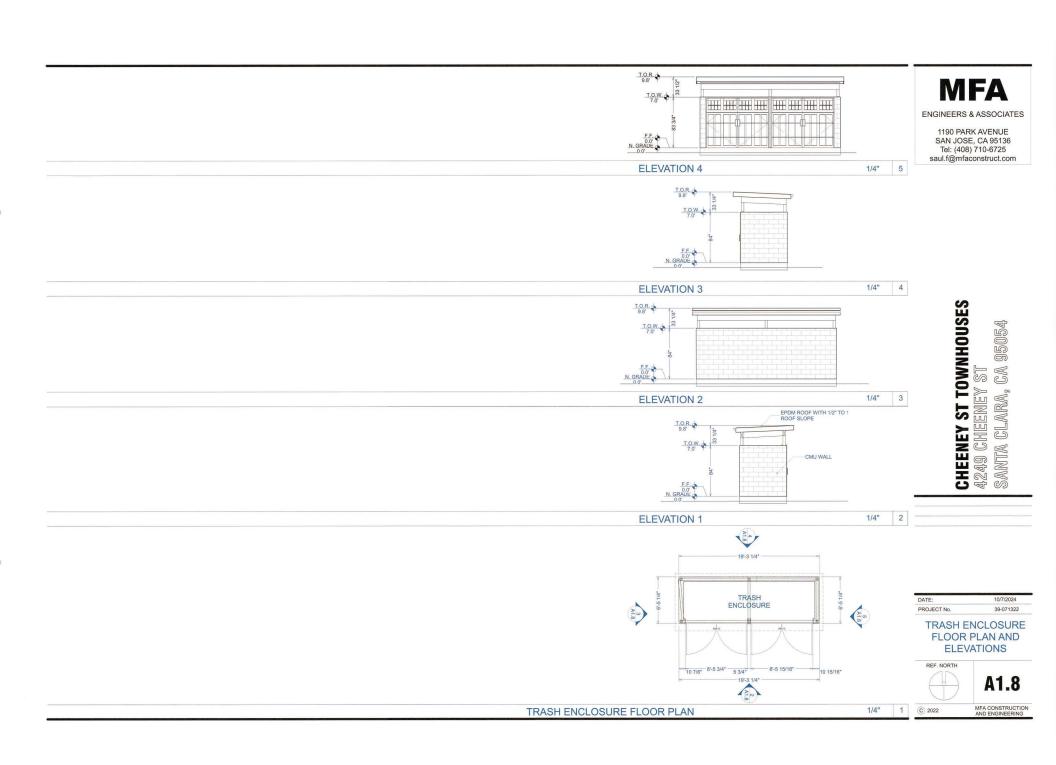
REVISION DATE

DATE: PROJECT No. 39-071322

> **BACK UNITS** TYPICAL FLOOR PLAN



A1.7



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3/16" 2 # REVISION DATE



DATE:	10/14/202
PROJECT No	39-071322

ELEVATIONS UNITS 'A'



A2.0

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REAR ELEVATION UNITS 'A'



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REVISION DATE



DATE: 10/14/202 PROJECT No. 39-071322

ELEVATIONS UNITS 'A'



A2.1

REAR ELEVATION UNITS 'A'

3/16"

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REAR ELEVATIONS UNITS 'B'

3/16"

2 # REVISION

DATE



DATE: 10/14/202 PROJECT No. 39-071322

ELEVATIONS UNITS 'B'



A2.2

FRONT ELEVATIONS UNITS 'B'

3/16"

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HEROFFICH A12 ROOF PICH BERNELL BERN

CHEENEY ST. TOWNHOUSES 4249 CHEENEY STREET SANTA CLARA, CA 95054

REAR ELEVATIONS UNITS 'B'

3/16"

REVISION

2

DATE



DATE: 10/14/202
PROJECT No. 39-071322

ELEVATIONS UNITS 'B'



A2.3

FRONT ELEVATIONS UNITS 'B'

3/16"

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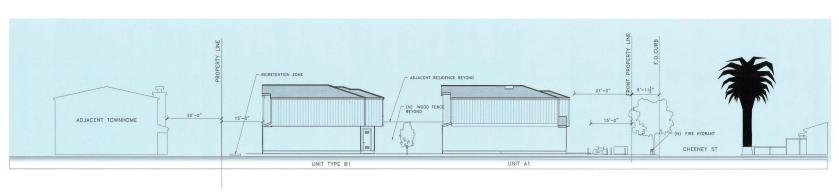
MFA ENGINEERS & ASSOCIATES 1190 PARK AVENUE SAN JOSE CA. 95136

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SITE SECTION N-S

3/32" 2



CHEENEY ST TOWNHOUSES

4249 CHEENEY ST.

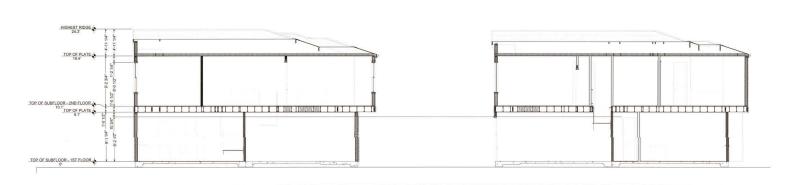
SANTA CLARA, CA 95054

DATE: August 23, 2022
PROJECT No. 10-042122

SITE SECTIONS



A3.0



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CROSS SECTION C-C

HIGHEST RIDGE

TOP OF PLATE

TOP OF SUBFLOOR - 2ND FLOOR 10.1"
TOP OF PLATE 9.1"

TOP OF SUBFLOOR - 1ST FLOOR

3

1/4"

CHEENEY ST. TOWNHOUSES 4249 CHIEENEY STREET SANTA CLARA, CA 95054

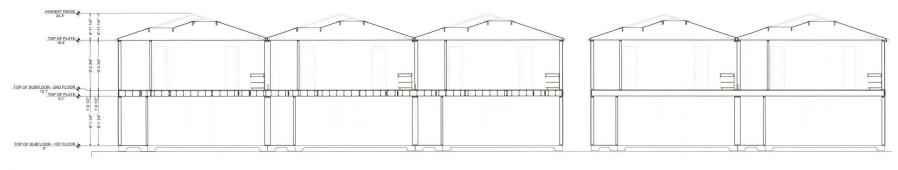
SANTA CLARA,

REVISION DATE

CROSS SECTION B-B

1/4"

2



DATE: 9/25/2024 39-071322

CROSS SECTIONS

REF. NORTH

A3.1 D-Cube Studio

1/4"

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1

CROSS SECTION A-A

GRADING AND DRAINAGE IMPROVEMENTS

STANDARD GRADING NOTES

- PRIOR TO COMMENCEMENT OF ANY EARTHWORK/CRADING ACTIVITIES, THE PERMITTE SHALL ARRANGE AN PRE-CONSTRUCTION ION MEMBERS, THE METRING SHALL INCLUDE THE OTT OF WISTONIVEL GROUND INSPECTOR, THE GRADNE CONTRACTOR AND THE PROJECT SUIS ENGNEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEMBERS AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/ GRADING ACTIVITIES
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT OCCUPIE ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROCEPTS OF THE FRIENCE PROPERTY OF OTHERS APPROVAL OF THE PUBLIC PROCESS. OF THE RIGHTS APPROVAL OF ANY MORPOWERNIS PROJECT OF MORPOWERNIS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL DEFINE REQUIRED PREMISS SAFEL BE CETTAGES SAFEL BY
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MANTAIN THE STREETS, SDEWALKS AND ALL DITHER PUBLIC RICHIS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROOK OR CONSTRUCTION DESIRES SHALL BE REMOVED FROM THE PUBLICLY COMBET PROPERTY DIRROK DOSTRICTION AND UNOVO COMPLETION OF THE PROJECT, ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MANTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULARY.
- ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE CITY WATER DISTRICT.
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THREOHOLOHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER: LC ENGINEERING, 598 E SANTA CLARA STREET #270, SAN JOSE, CA 95112
 HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS ALL GRADING AND EARTHWORK ACTIVITIES SHALL COMFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE GESERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOSSEPHED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- 11. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.
- ALL GRADING SHALL COMPLY WITH THE CITY OF SANTA CLARA STANDARD SPECIFICATIONS, AND CHAPTER 18
 AND APPENDIX 33 OF THE UNIFORM BUILDING 11/26/2018.
- THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- 14. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENDINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR EXERCIAL INFORMATION ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY WA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HERCOM ARE KEPT CLEAR OF GORERICATIONS AND HIT CONTRACTOR SHALL PROVIDE UNDERFORMED PRES AND REDAME AREAS FRAT WILL NOT BRAIN AFTER FRAIL, DRAIDING. THE GROUND ADJACENT TO THE DRAINAGE STATE AND AREAS THE SHALL DRAINED SHALL PROVIDE SHALL
- THIS PLAN IS A PART OF PROJECT PLANS, SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX J, 2016 OF THE UNIFORM BUILDING CODE.
- 21. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- 22. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- 23. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISORPANDESS EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- 24. CONTRACTOR SHALL UNCOVER AND EMPOSE ALL EXISTING UTILITY, SEMER AND STORM DRAIN LINES WERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACULTY BEING CONSTRUCTED IN ORDER TO VERTY THE GRADE AND TO ASSURE THAT THE
- 25. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 27. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OF SUBCONTRACTOR'S MORNAUM'S ACCOMPLISAMENT OF MORN ON THE PROJECT CONTRACTOR WILL BE SOLETY AND COMPLETELY RESPONSE FOR WORKED CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING EPERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS
- 28. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND OLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY, SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED BURING CONSTRUCTION SHALL BE REMI ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL: UNDERGROUND SERVICE ALERT (USA)
- 32. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF DRAINAGE SYSTEM.

- 33. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE SITEET GUTTER AT FOINT OF DECHARGE OR THE INLET OF AN APPROVED DRAWAGE EXPLICE A MINIMUM OF IZ IN ORIGES (305 mm) PLUS 25. THE BUILDING OFFICIAL MAY APPROVE, ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAWAGE TO THE FOINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL DISCHAIGNS ON THE STRUCTURE IS PROVIDED AT ALL DISCHAIGNS ON THE STRUCTURE IS AND APPLICATION.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAWAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2016 UNIFORM BUILDING CODE.

II DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- 2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND 8. WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OF CIVIL. ENGINEER WHO PREPARED THE SOLL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING.
- A. THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
- B. THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL. ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAID, FOUNDATION, PINSH SPROMED, AND ASSOCIATED STE WORK SUBSTRATUALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.

◆ BENCHMARK B-8A

ELEVATION = 13.77'. LOCATED AT AGNEW ROAD, SOUTH SIDE, OPPOSITE GARRITY, CHISELED CROSS ON TOP OF CATCH BASIN HOOD.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHEENEY STREET, AS FOUND MONUMENTED AS NO2814'30'W SHOWN ON PARCEL MAP, RECORDED IN BOOK 476 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

SCOPE OF WORK

- 1. DEMOLISH EXISTING DRIVEWAY, BRICKS, SHED AND REMOVE TREES
- REMOVE EXISTING CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK, UTILITIES, RELOCATE EXISTING POWER POLES WITHIN RIGHT OF WAY
- 3. 9 TOWNHOUSE DEVELOPMENT AND 10 LOT SUBDIVISION
- GRADE DRIVEWAY & HOUSES; INSTALL DRAINAGE FACILITIES, EROSION AND SEDIMENT CONTROL, DRIVEWAY AND DRIVEWAY APPROACH, DRAINAGE IMPROVEMENTS; & SEED ALL DISTURBED AREAS.
- CONSTRUCT CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK WITHIN RIGHT OF WAY
- 6. INSTALL UTILITY LINES AND SERVICES ON-SITE AND WITHIN RIGHT OF WAY
- 7. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS EXPONSIBLE FOR THE EROSION OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLIOIT DISCHARESE FROM THE SITE DOWNS CONSTRUCTION.

PROJECT NOTES

- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
- CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOLLETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT—OF—WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MAINTER. THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON- FROM 7:30 AM TO 6 PM, SATURDAYS FROM 9AM TO 5 PM.
- OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO THE START OF ANY DRIVEWAY APPROACH DEMOLITION OR CONSTRUCTION AT THE STREET. CONTACT PUBLIC WORKS ENGINEER FOR INFORMATION REGARDING DETAINING AN ENCROACHMENT PERMIT.
- ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTEMANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAWAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED IP ANS.
- APPROVED PLANS.

 PROPO TO FAM, NOSPECTION FOR ANY BUILDING OR STRUCTURE, THE CECTECHNICAL ENGINEER OR OUL BIGNEER WHO PREVAILED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMMERCE PAD, ADDISONADO, FINAN GHOOMING, AND ASSOCIATED SHE WIDER STATING THE COMMERCENTED THE PAD AND ADDISONADO, AND ASSOCIATED SHE WIDER SHE WITH A PROPERTY OF THE COMMERCENT OF ANY EXPENSIVE OF GRADING ADDITIONS. BUILDINGS OF GRADING ADDITIONS. WILLIAM SHE WITH A PROPERTY OF ANY EXPENSIVE OF GRADING ADDITIONS. WILLIAM SHE WITH A PROPERTY OF ANY EXPENSIVE OF GRADING ADDITIONS OF ADDITIONS OF ANY EXPENSIVE OF GRADING CONTROL WITH A PROPERTY OF A PRO RECEIVED AT LESSES OF DUTIES FROM TO THE STORY OF ANY TEMPORATION AND ANALYSIS OF DUTIES FROM THE PROPERTY OF THE PROPERTY AND STORY OF THE PROPERTY OF THE PR
- TRECUPIES JUST A PERMIT HOUR JUSTS.

 PROR TO AMY CRADING, SCRAPING OR TRENDHING WITHIN/ LINDER THE CAMOPY OF A PROTECTED TREE, A CERTIFIED ARBORIST SHALL BE RETAINED TO PROVIDE SUPERVISION AND RECOMMENDATION TO MUNILEY PROSSELE DAMAGE TO THE TREE. THE PROPOSED TRENTHING SHALL BE APPROVED BY THE CITY OF WATSONVALE PLANNING DEPARTMENT PROR TO COMMENCING DIGITAL SHALL BE APPROVED.

NOTES:

- CHEENEY STREET TOWNHOUSES 1. PROJECT NAME:
- ASSESSOR PARCEL NO: 104-12-025 & 104-12-026
- 3. SITE ADDRESS: CHEENEY STREET, SANTA CLARA, CA 95054
- 0.2± ACRES (GROSS AREA) 4 INT AREA-GROUND ZERO CONSTRUCTION 5. OWNER:
 - ADDRESS: 101 SOUTH SANTA CRUZ AVE, UNIT 33192,
 - LOS GATOS, CA 95031
- TELEPHONE: (408)-710-6725 6. ENGINEER: NINH M LE, PE
- ADDRESS: 598 E SANTA CLARA ST #270, SAN JOSE, CA 95112 TELEPHONE: (408)-806-7187
- 7. SURVEYOR: TOM H. MILO
- ADDRESS: 2250 BOHANNON DRIVE, SAN CLARA, CA 95050 TELEPHONE: (408)-761-5867
- RM-3 MULTIPLE RESIDENTIAL-HIGH DENSITY
- 9. PROPOSED ZONING: NO CHANGE
- 10. EXISTING USE: VACANT
- 11. PROPOSED USE: RESIDENTIAL
- 12. PROPOSED NUMBER OF LOTS: 9 LOT
- ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
- PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENCY STANDARDS.
- 15. WATER: SANTA CLARA WATER AND UTILITIES
- 16. SEWER: SANTA CLARA WATER AND UTILITIES 17 STORM- SANTA CLARA WATER AND LITHLITIES
- 18. GAS & ELECTRIC: PG&E

EARTHWORK QUANTITIES

IMPORT 148 CY EXPORT 0 CY

CUT = 21 CY ; MAXIMUM CUT DEPTH = $0.50'\pm$

FILL = 169 CY ; MAXIMUM CUT DEPTH = 0.66'±

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR

INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

- 19. TELEPHONE: AT&T
- 21. IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
- 22. IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
- 23. REMOVE ALL EXISTING IMPROVEMENT WITHIN THE PROPERTY LIMITS

SHEET INDEX:

- SHEET CI: TITLE SHEET SHEET C2: DEMOLITION PLAN
- SHEET C3: PRE & POST DEVELOPMENT PLAN
- SHEET C4: STORMWATER CONTROL PLAN
- SHEET C5: GRADING AND DRAINAGE PLAN SHEET CO: BUILDING CROSS SECTIONS & DETAILS
- SHEET OR: EROSION CONTROL PLAN SHEET CO: FROSION CONTROL DETAILS
- SHEET CIO: BEST MANAGEMENT PRACTICES



100.46

DIV OO

1223 GAS METER

SV DV GAS VALVE

-0 GUY POLE

**

-

PGE PGE BOX

BWP

6

TEL

(0) WELL

TOE OF FILL

TOP OF CUT

WM WATER METER

CONCRETE

- EXISTING FENCE EXISTING TREE TO REMAIN EXISTING TREE TO BE REMOVED.

→ DRAINAGE SWALE

- - EASEMENT LINE

+101.70 OR (101.70) EXISTING ELEVATION

FILTER FABRIC ROLLS

EXISTING FIRE HYDRANT

OVERLAND FLOW DIRECTION

STORM DRAIN MANHOLE TELEPHONE BOX

-W---- UTILITY: PROPOSED OR NEW

WATER VALVE

POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE

SANITARY SEWER CLEAN OUT MANHOLE SANITARY SEWER MANHOLE

GRADE TO DRAIN

GUY WIRE ANCHOR

JOINT POLE

LIGHTING

PROJECT SITE RETAINING WALL

→ LIGHTING POLE

FOUND IRON PIPE AT PROPERTY CORNER

HYDRANT: PROPOSED OR NEW INLET 12*x12* GRATE OTHERWISE NOTED

AGGREGATE BASE ASPHALT CONCRETE BUILDING

BUILDING SETBACK LIME

COBBLE ROCK ENERGY DIS: CURB & GUTTER

CENTERLINE SANITARY SEWER CLEANOUT CURB OPENING CONCRETE CITY STANDARD DETAIL

ELECTRIC METER ELECTRIC OVERHEAD ELECTRIC UNDERGROUND EDGE OF PAVEMENT

EXISTING EMERGENCY VEHICLE ACCESS EASEMENT FACE OF CURB FOUND FINISH ELEVATION OF SUBFLOOR

FINISH ELEVATION OF SUBFLOOR GROUND FINISH GRADE FIRE HYDRANT FLOW LINE GARKE SLAB ELEVATION/GAS LINE GAS METER HIGH POINT

DRAINAGE INLET DOWNSPOUT DRIVEWAY EASEMENT

LEVATION

INVERT

INVERT IRON PIPE JOINT TRENCH LIP OF GUTTER LANDSCAPED AREA

LANDSCAPED AREA
MAXIMUM
MANHOLE
MINIMUM
MONUMENT WELL
NOT TO SCALE
OVERHEAD
ORIGINAL GROUND
PAVEMENT FINISH GRADE
FAD ELEVATION
PERFORATED PIPE
PRODEET JIME

PAVEMENT POLYVINYL CHLORIDE RADIUS RETAINING WALL

SANITARY SEWER/LATERAL

STATION
SILICON VALLEY POWER
SIDEWALK
TOP OF BANK
TOP OF GRATE
TOP OF GRATE
TOP OF WALL
TYPICAL

UNDERGROUND ELECTRICAL EASEMENT

RIGHT OF WAY STORM DRAIN

VEGETATED

PENGVARLED PIPE.
PROPERTY LINE
POWER POLE
POWER POLE
PRIVATE STORM DRAIN
RELEASE EASEMENT
PRIVATE SANITARY SEWER EASEMENT
PRIVATE WATER LINE EASEMENT
PRIVATE WATER LINE EASEMENT

BOTTOM OF WALL/BACK OF WALK

and the second s	
American Maria Mar	
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
MCINITY MAP	

AAP								4000
							Ī	200
BENCHMARK BOUNDARY							Ī	>0
CATCH BASIN COBBLE ROCK ENERGY DISSIPATOR CONCRETE CONTOUR: EXISTING CONTOUR: PROPOSED OR NEW DESIGN GRADE DOWNSPOUT WITH SPLASHBLOCK	09/01/23	DATE	09/01/23	DATE	p.		09/01/23	
DIVERSION VALVE EXTENDABLE BACKWATER VALVE (SEE PROJECT NOTES) DRAINAGE SWALE	PT	DESIGNED	Ы	DRAWN	SCALE AS NOTED	SCALE	z	WILDSON

U 270 Ž 598 E Santa Clara St #2 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006 Ш Ш Z

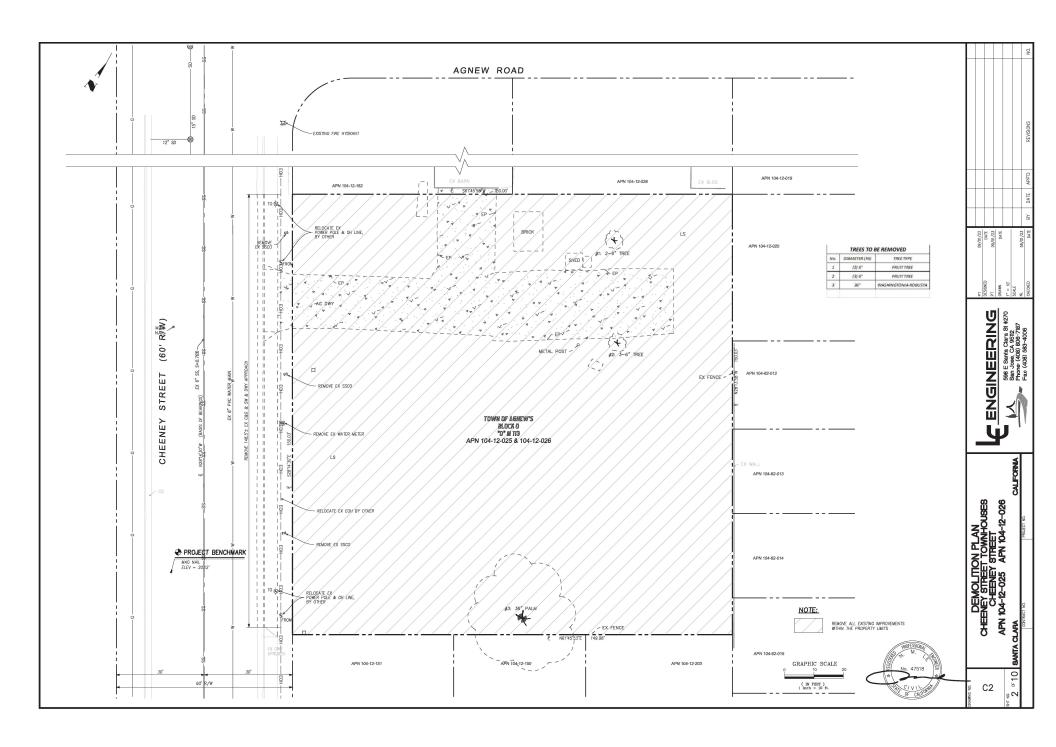


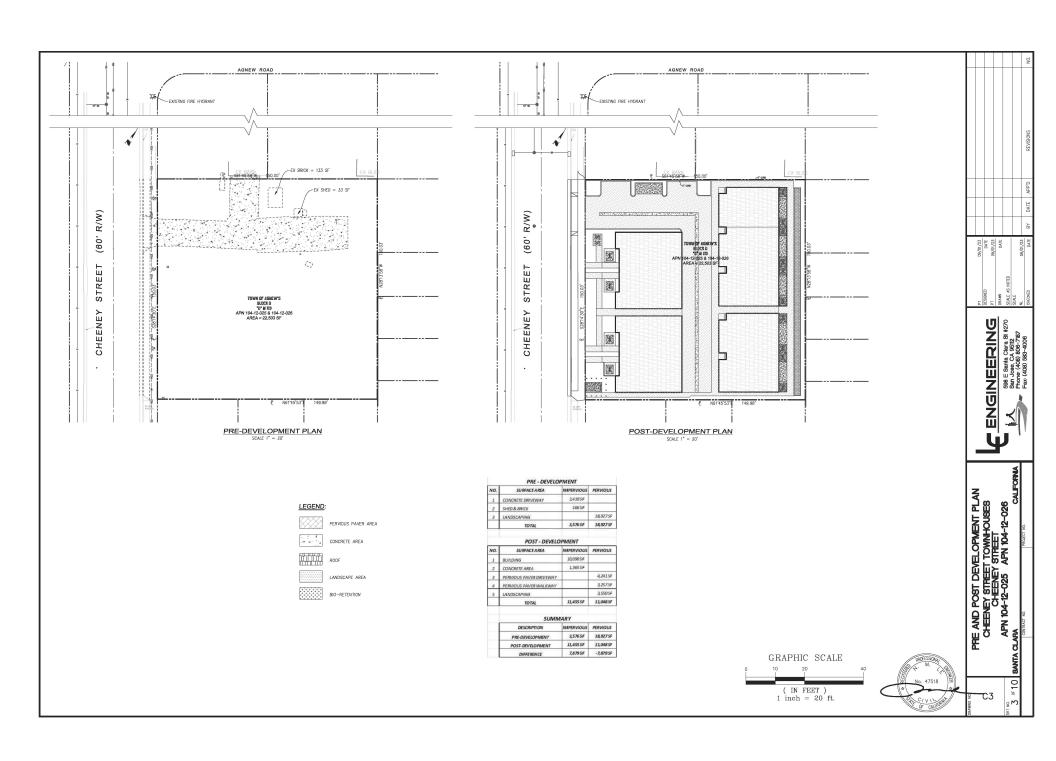


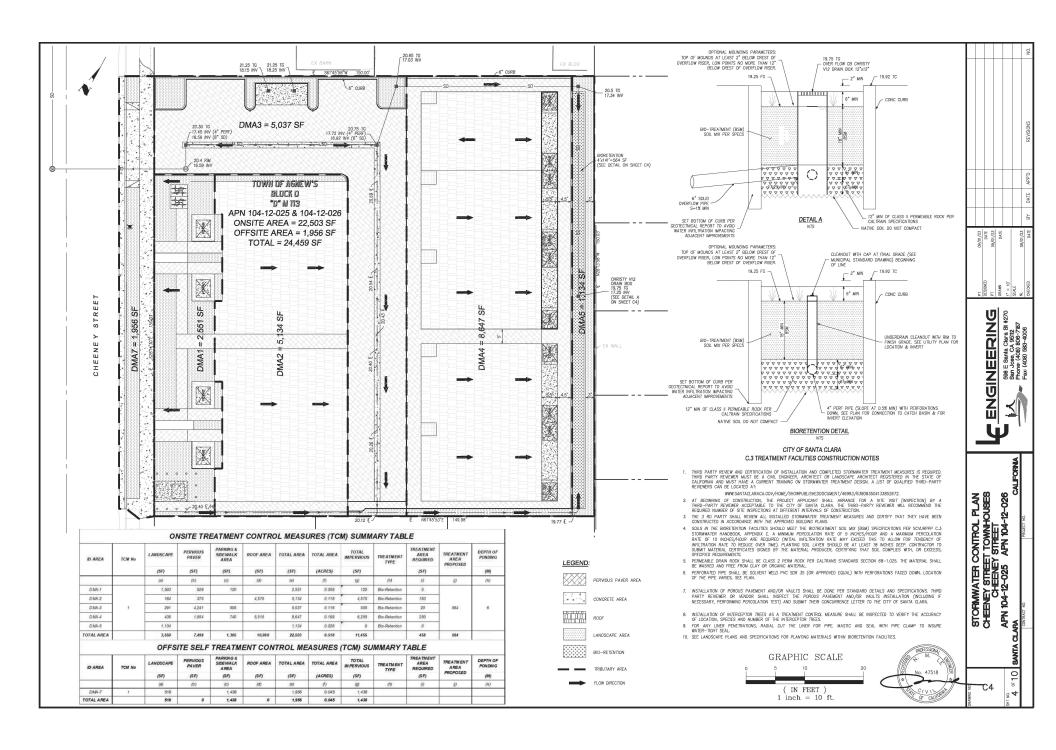
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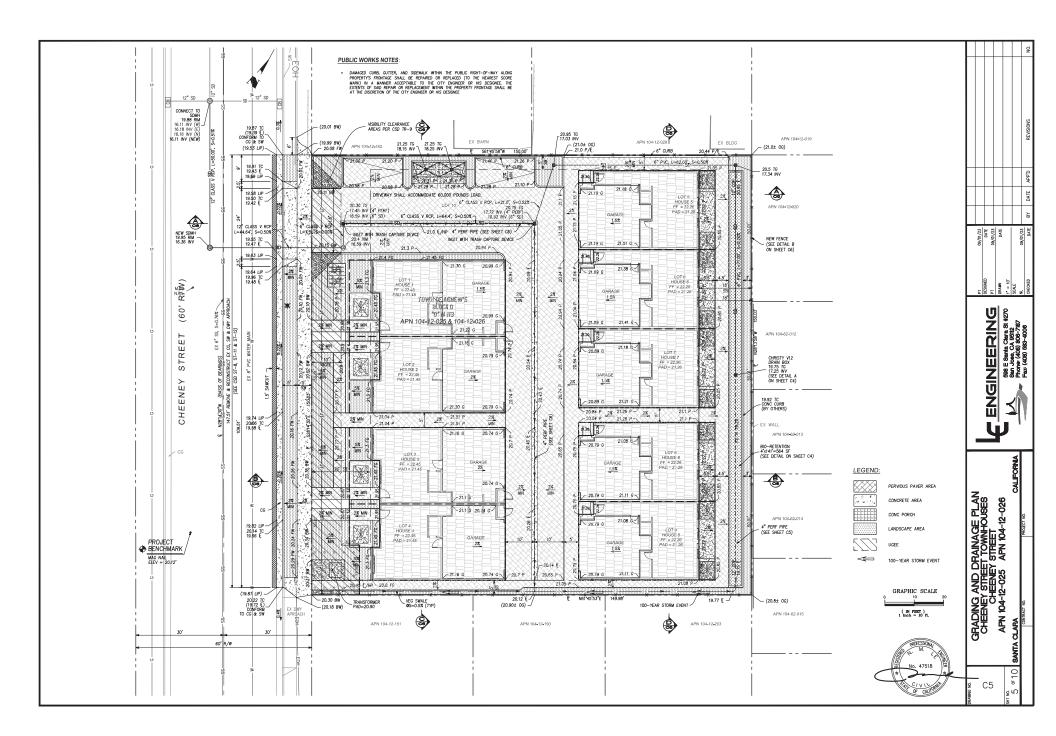
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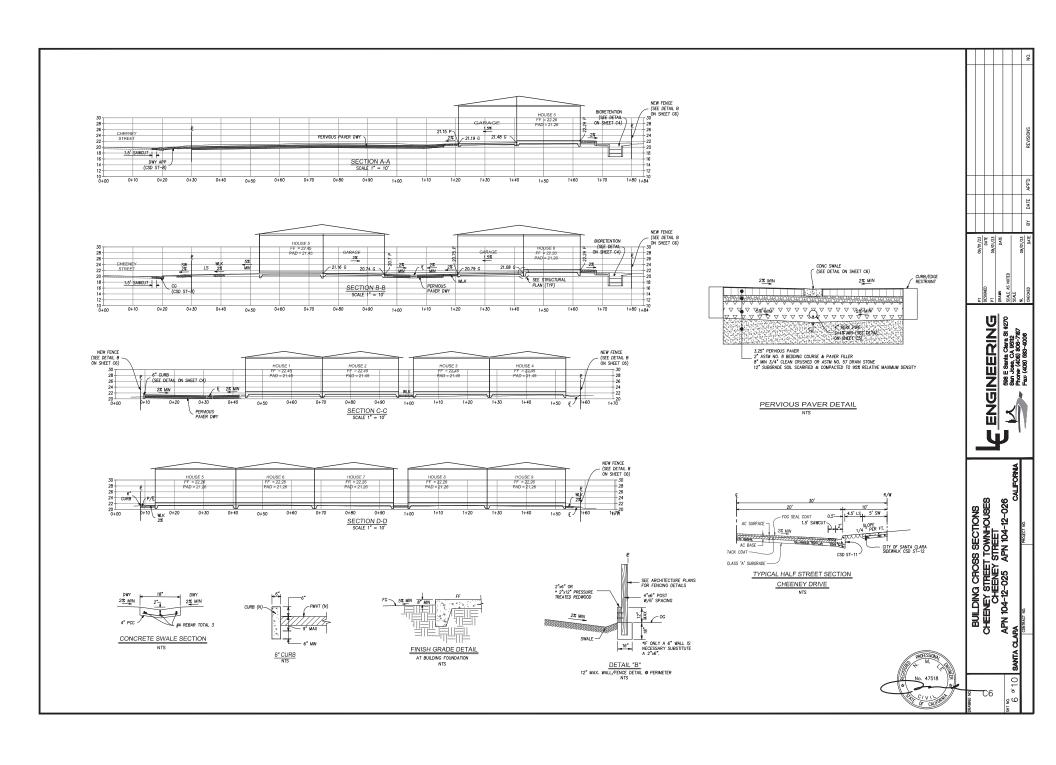
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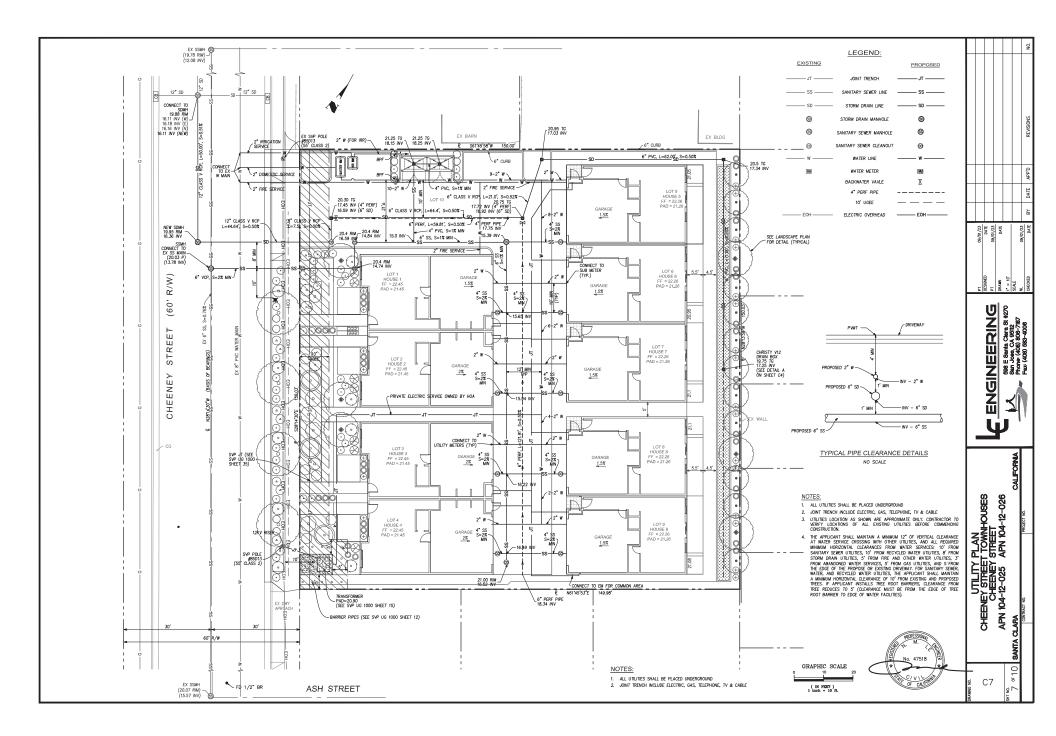


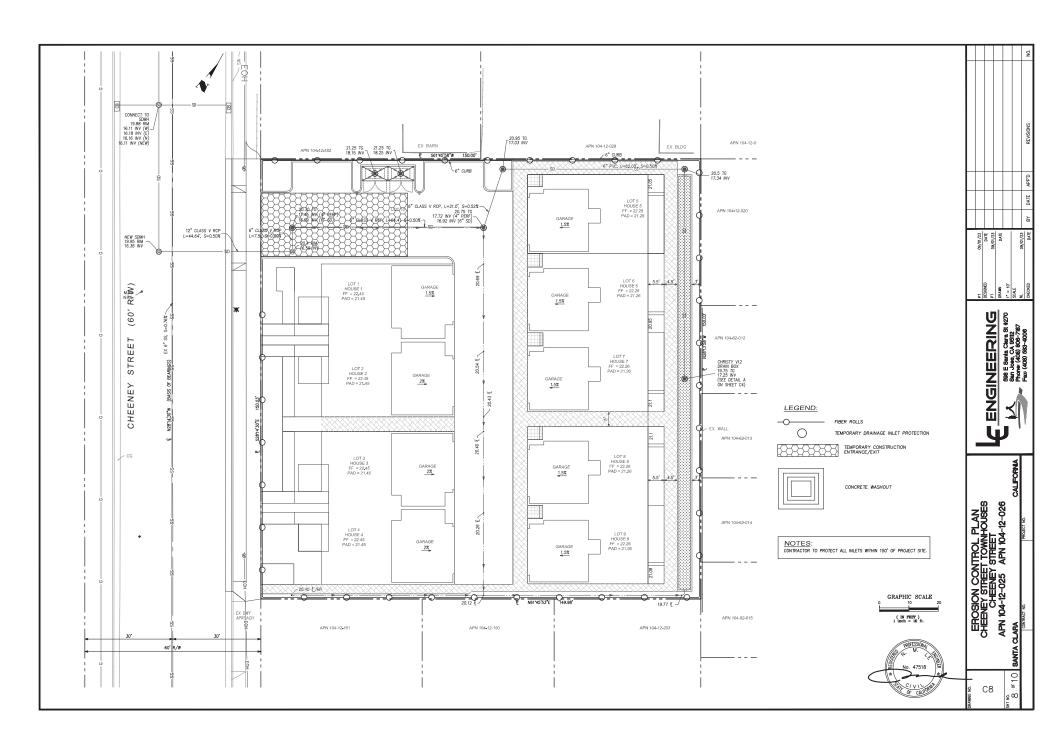


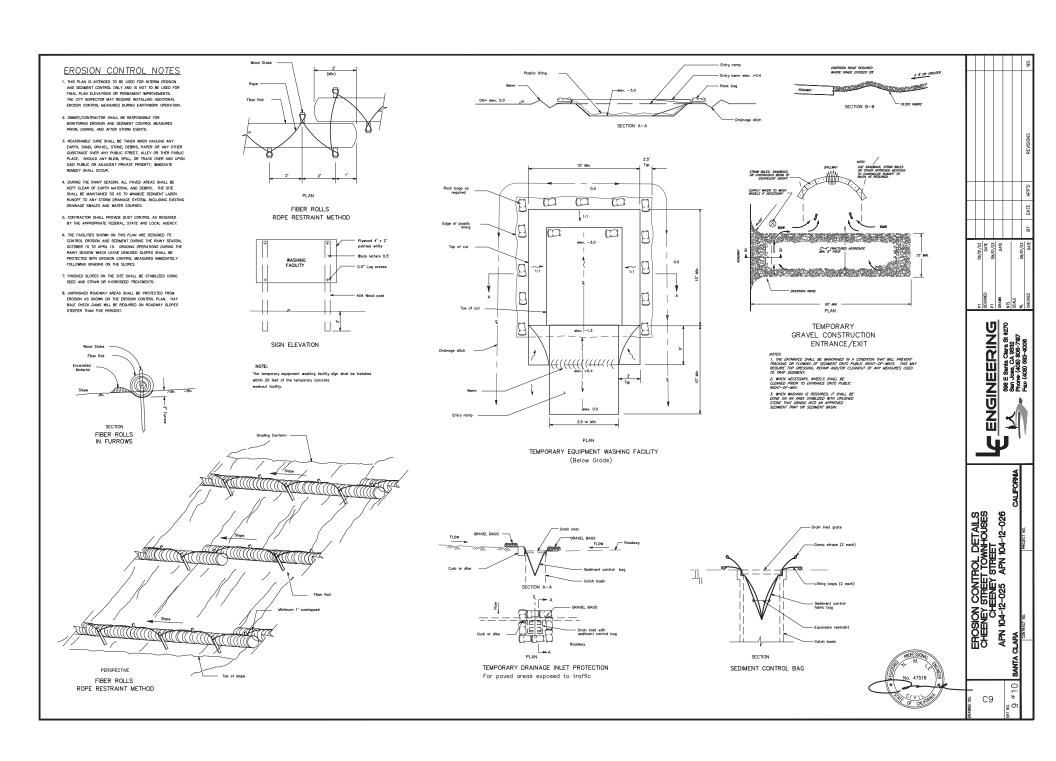












Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- □ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water based paints, vehicle fluids, broken asphalt and concrete, wood, and
- $\hfill\square$ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste
- ☐ Keep site free of litter (e.g. lunch items, cigarette butts).
- ☐ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking

Equipment Management & **Spill Control**



- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking,
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazrd to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24

Earthmoving



Grading and Earthwork

- ☐ Schedule grading and excavation work during dry weather ☐ Stabilize all denuded areas, install and
- maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Conteminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells - Buried barrels, debris, or trash
- ☐ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not distrurbed by construction

Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Managemen

- ☐ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area: (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil, (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin. tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work

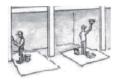


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ☐ Protect storm drain inlets during saw
- ☐ If saw cut slurry enters a catch basin, clean it up immediately.
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all

Painting & Paint Removal



Painting Cleanup and Remova

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of
- from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. certified contractor.

excess liquids as hazardous waste.

☐ Sweep up or collect paint chips and dust

☐ Chemical paint stripping residue and chips Lead based paint removal requires a state-



Pollution Prevention Program

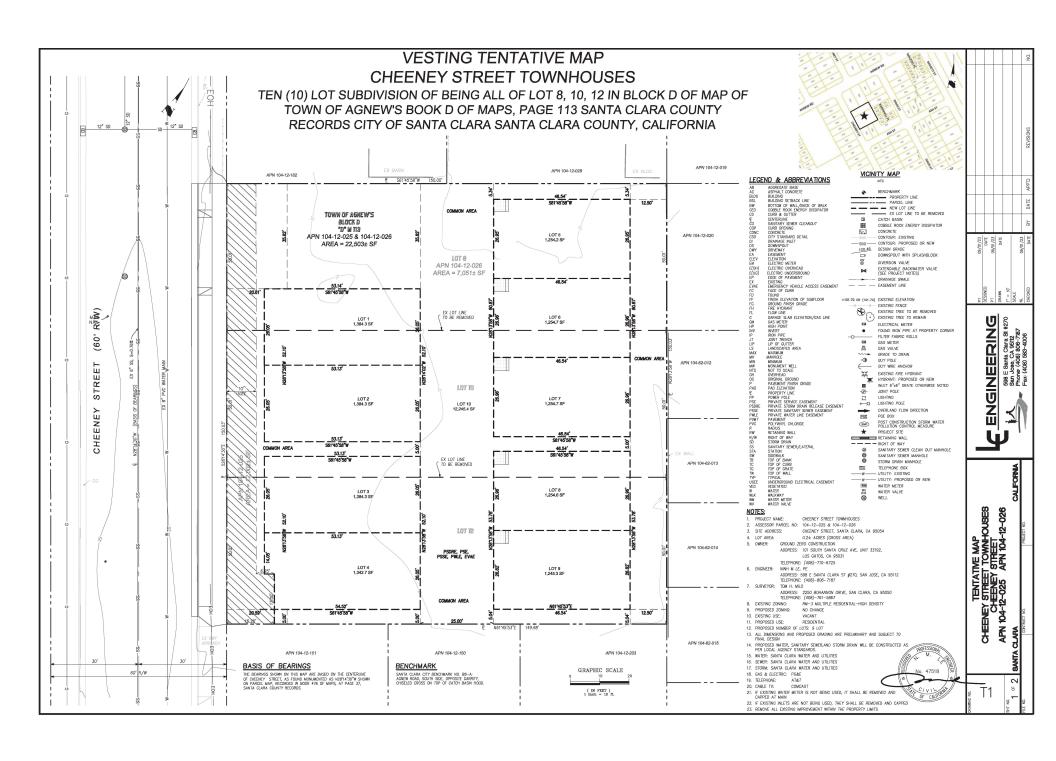
Storm drain polluters may be liable for fines of up to \$10,000 per day!

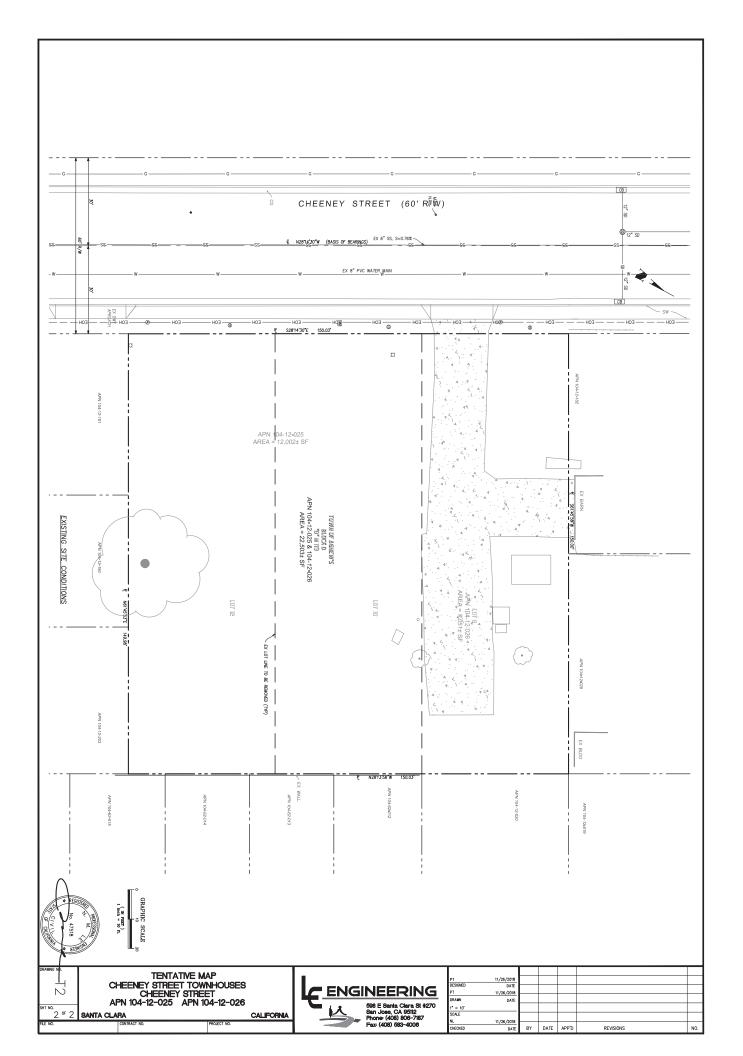


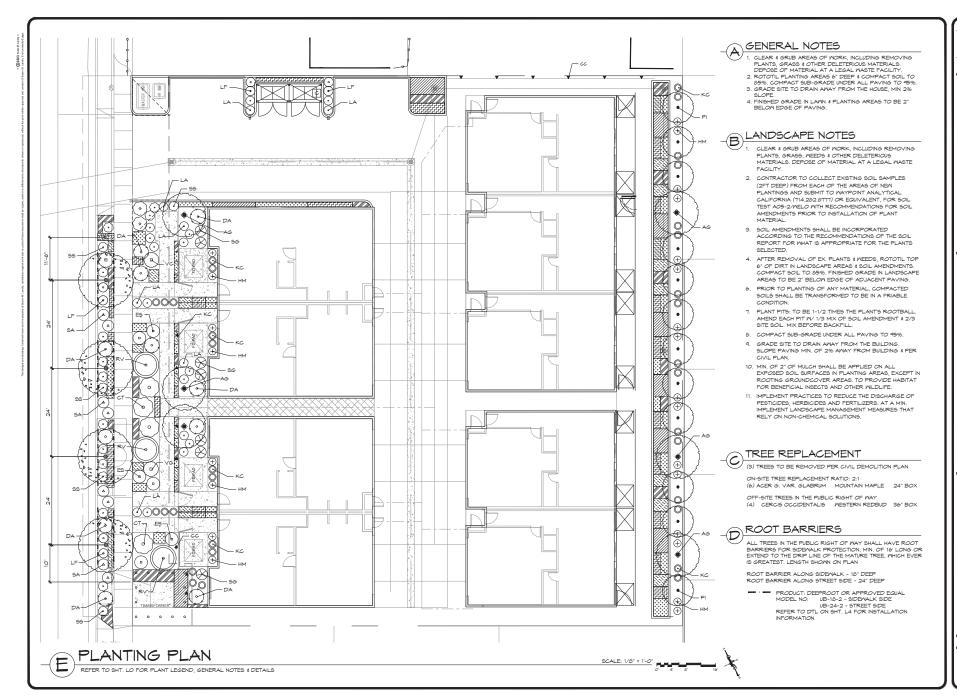
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CONSTRUCTION BEST MANAGEMENT PRACTICES CHEINEY STREET TOWNHOUSES CHEINEY STREET APN 104-12-025 APN 104-12-026

C10







Submittals:

RESPONSE TO CITY COMMENT LETTER



STUDIES SERVICE OF CALLOO

Seen M. Londry Landscape Prchitect Phone: 408.644.6936 Email: Environmental.Edges@yahho

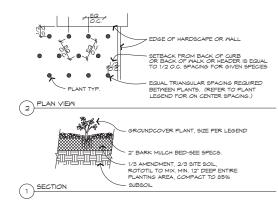
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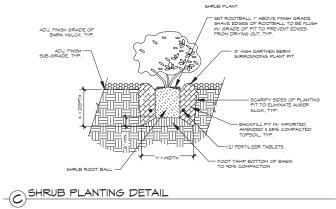
Planting Plan

Date: 15 APR 24

Sheet:



GROUND COVER PLANTING DETAIL



PLANT LEGEND

_	SYM.	QTY.	ABR.	BOTANICAL	COMMON NAME	SIZE
		4	00	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX
	•	3	AG	ACER G. VAR. GLABRUM	MOUNTAIN MAPLE	24" B <i>O</i> X
	+	15	PI	PRUNUS ILICIFOLIA	HOLLEY LEAF CHERRY	15 GAL
	\odot	2	CM	CEANOTHUS MARITIMUS	MARITIME CEANOTHUS	1 GAL
	\odot	4	СТ	CEANOTHUS THYRSIFLORUS	CREEPING BLUEBLOSSOM	1 GAL
	\odot	11	DA	DIPLACUS AURANTIACUS	BUSH MONKEY FLOWER	1 GAL
	lacksquare	6	E5	ERIOPHYLLUM STAECHADIFOLIUM	SEASIDE WOOLLY SUNFLOWER	R 1 GAL
	•	33	KC	KECKIELLA CORYMBOSA	KECKIELLA	1 GAL
	•	24	НМ	HEUCHERA MAXIMA	ALUM ROOT	1 GAL
	\odot	8	LF	LEPECHINIA FRAGRANS	FRAGRANT PITCHER SAGE	5 GAL
	•	21	LA	LUPINUS ALBIFRONS	SILVER LUPINE	5 GAL
	\odot	3	RV	RIBES VIBURNIFOLIUM	CATALINA CURRANT	1 GAL
	\otimes	7	56	SALVIA 'GREEN CARPET'	GREEN CARPET SAGE	1 GAL
	•	11	55	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL
	•	8	SA	SALVIA APIANA	WHITE SAGE	5 GAL
	\odot	3	VC	VENEGASIA CARPESIOIDES	CANYON SUNFLOWER	5 GAL

STORM WATER C.3 PLANT LIST

SYM.	ABR.	BOTANICAL NAME	COMMON NAME	SPACING		
	CB	CAREX BARBARAE	VALLEY SEDGE	2' O.C.		
	Вб	BOUTELOUA G. BLONDE AMBITION	BLONDE AMBITION GRAMA	16" O.C.		
	JP	JUNGUS PATENS	COMMON RUSH	16" O.C.		
	MR	MUHLENBERGIA RIGENS	DEERGRASS	3' O.C.		
F7-7-71	SB	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	6" O.C.		

PLANT LEGEND NOTES:

- 1. THE PLANT QUANTITIES SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER THE QUANTITY
- 1. HE FLANT GONTHIES SHOWN ON THE PLANTING FLANT TARE PRECEDENCE OVER THE GUARTHY LISTED IN THE PLANT LEGEND.

 2. PLANT SYMBOLS IN LEGEND ARE NOT TO SCALE AND MAY APPEAR SMALL THEN SHOWN N ON PLAN.

 3. REFER TO DTIL 15-2 STIL L4 FOR TREE PLANTINGS, DTL. C, THIS SHT. FOR SHRUBS PLANTINGS & DTL. B, THIS SHT. FOR GROUND COVER PLANTINGS

Submittals:

RESPONSE TO CITY COMMENT LETTER





Cheeney Street Townhouses 4349 Cheney Street Santa Clara, CA

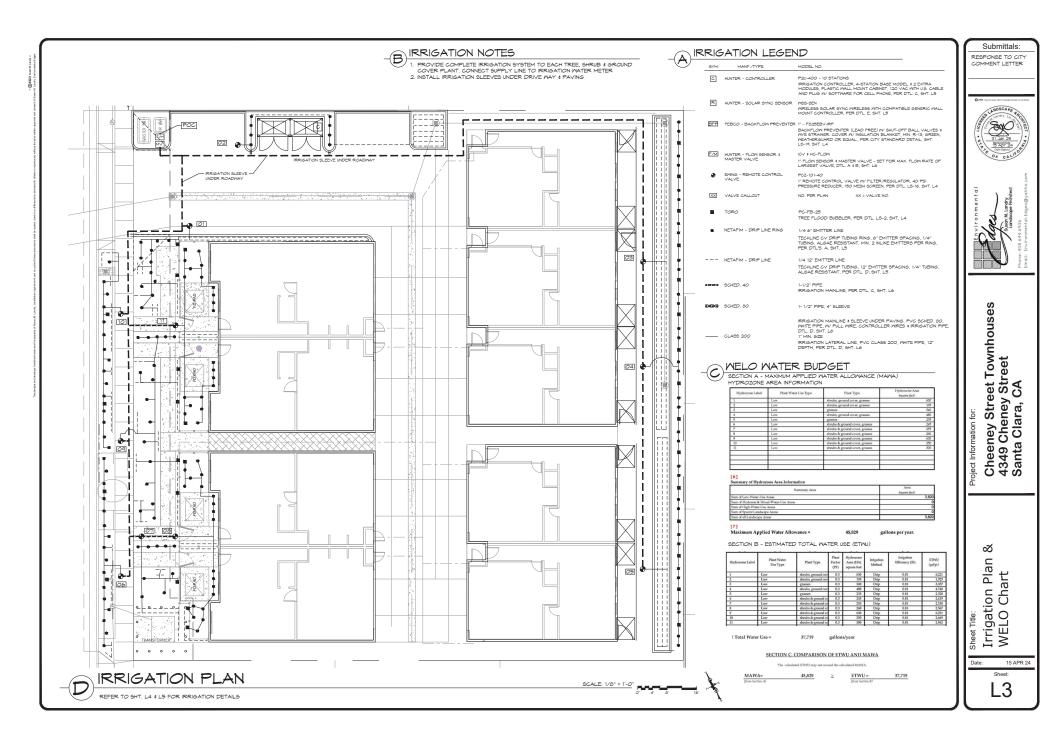
Project Information for:

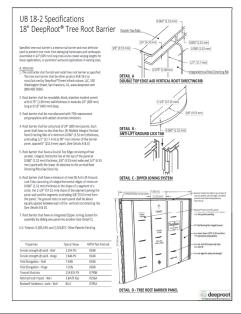
Plant Legend & Planting Details

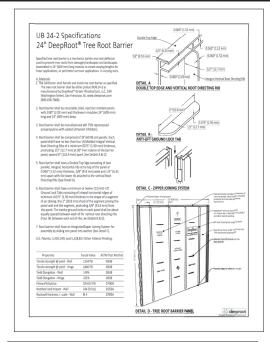
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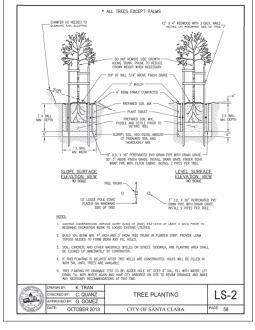
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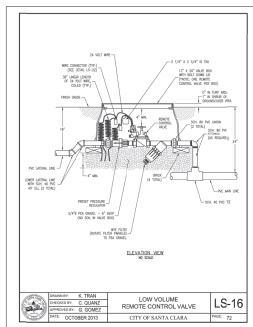
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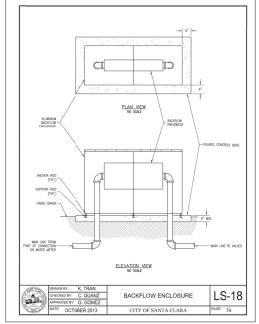


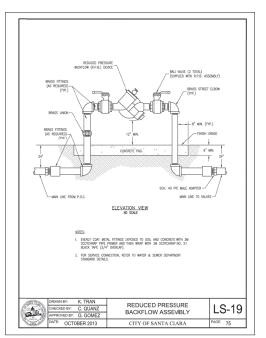














Irrigation Details

15 APR 24

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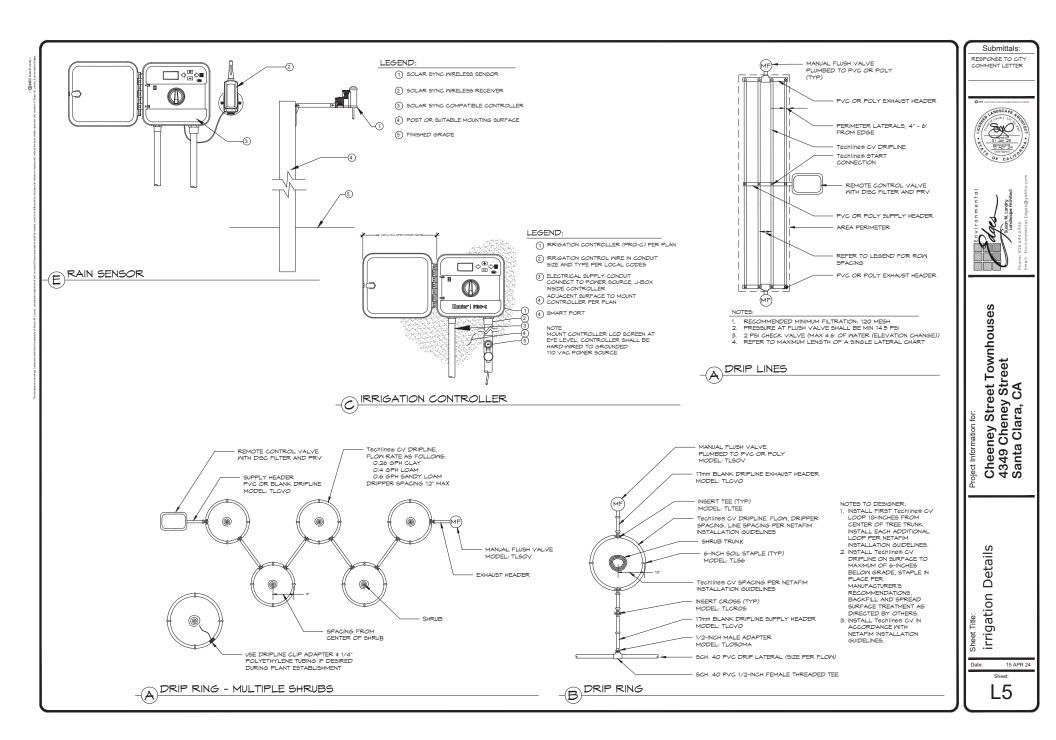
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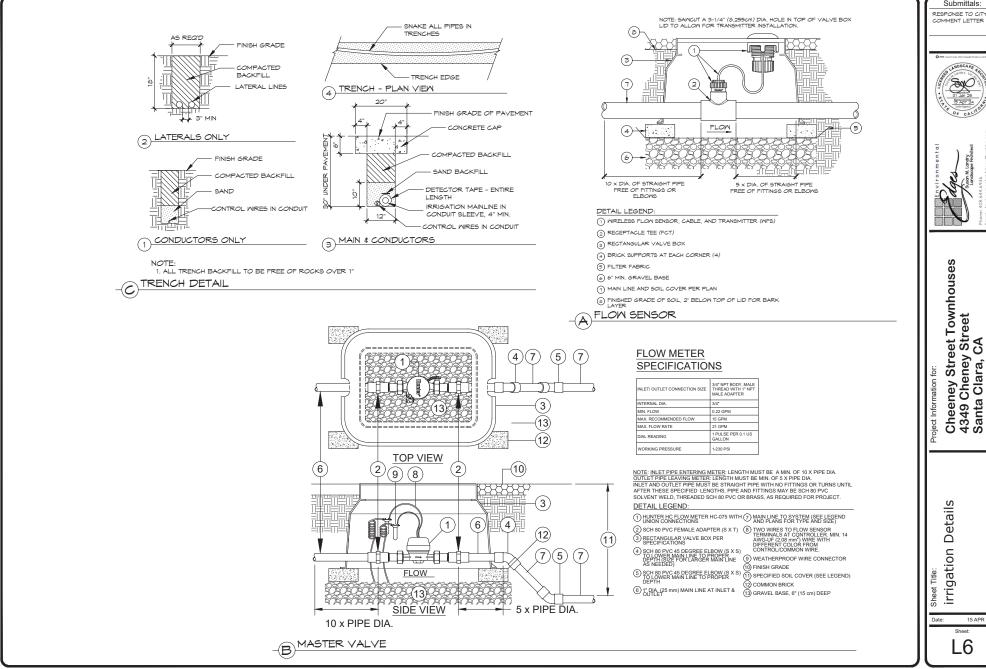
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Date:

Submittals:

RESPONSE TO CITY COMMENT LETTER





Submittals:

COMMENT LETTER





Cheeney Street Townhouses 4349 Cheney Street Santa Clara, CA

15 APR 24

L6

JUNCUS PATENS COMMON RUSH



SALVIA SPATHACEA HUMMINGBIRD SAGE



HEUCHERA MAXIMA ALUM ROOT



CEANOTHUS MARITIMUS MARITIME CEANOTHUS



CERCIS OCCIDENTALIS WESTERN REDBUD



MUHLENBERGIA RIGENS DEERGRASS



SALVIA APIANA WHITE SAGE



LEPECHINIA FRAGRANS FRAGRANT PITCHER SAGE



DIPLACUS AURANTIACUS BUSH MONKEY FLOWER



ACER G. VAR. GLABRUM



SISYRINCHIUM BELLUM BLUE-EYED GRASS



VENEGASIA CARPESIOIDES CANYON SUNFLOWER



LUPINUS ALBIFRONS

RIBES VIBURNIFOLIUM CATALINA CURRANT



KECKIELLA CORYMBOSA KECKIELLA



PRUNUS ILICIFOLIA HOLLY LEAF CHERRY



CAREX BARBARAE VALLEY SEDGE



BOUTELOUA BLONDE AMBITION BLONDE AMBITION GRAMA



SALVIA 'GREEN CARPET' GREEN CARPET SAGE





MOUNTAIN MAPLE



Sheet Title: Plant Material

Cheeney Street Townhouses 4349 Cheney Street Santa Clara, CA

Submittals: RESPONSE TO CITY COMMENT LETTER

15 APR 24



City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

24-1255 Agenda Date: 2/6/2025

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Historical and Landmarks Commission Workplan Fiscal Year 2025/2026

BACKGROUND

The City Manager's Office and City Clerk's Office are implementing an annual workplan process for all Boards, Committees, and Commissions within the City.

DISCUSSION

In accordance with the new annual workplan process, the Historical and Landmarks Commission (HLC) shall develop and approve a yearly workplan by March 2025. Following completion, the workplan will be reviewed and in May the HLC will draft a corresponding Council presentation. At a June or July City Council meeting, the Chair and/or Vice Chair will present the workplan to the City Council. The workplan will be implemented starting in August of each year.

Attachment 1 to this report is the Commission developed workplan to date. Staff will modify the plan for consistency with other Boards and Commissions and update it to include more details, including budget costs and measurable objectives.

RECOMMENDATION

There is no staff recommendation.

ATTACHMENTS

1. Commission Developed 2025 Workplan

2025 Historical and Landmarks Workplan

1. Ordinance Update: Incorporating HRI Neighborhoods

Objective: Revise the existing Historical Resources Inventory (HRI) ordinance to include entire neighborhoods of historical significance.

Actions:

- Conduct a comprehensive survey of neighborhoods with historical significance not yet on the HRI.
- Collaborate with community members and historians to identify key areas and structures.
- Propose updates to the ordinance with Metrics such as 51% approval can lead to historic
 designation. to recognize neighborhoods as historical zones, providing preservation and
 protection measures.
- Hold public hearings to gather community input on ordinance revisions and zoning implications.

Timeline:

Q1-Q2: Survey and community engagement

Q3: Drafting ordinance updates

Q4: Approval process and finalization

2. Maintenance of Existing HRI

Objective: Ensure the preservation and proper maintenance of sites and structures currently listed on the HRI.

Actions:

- Develop a system for regular inspections and assessments and reporting of HRI properties.
- Identify properties in need of repair or restoration and prioritize funding for these projects.
- Engage property owners to inform them of preservation responsibilities and offer guidance.
- Create partnerships with local contractors and preservation experts to provide services at reduced rates for historic properties.

Timeline:

Ongoing throughout the year with a bi-annual review of maintenance needs.

3. Grant Opportunities for Historical Preservation

Objective: Secure financial resources to support the maintenance and restoration of historical properties and landmarks.

Actions:

• Identify local, state, and federal grants for historical preservation, and create a resource list for property owners.

- Develop a streamlined process to help private owners of historical buildings apply for grants and incentives.
- Pursue large-scale grants for community-wide historical initiatives, including the Heritage Park project.

Timeline:

Q1-Q2: Research grant opportunities Q2-Q3: Apply for applicable grants

Q4: Review and report on success and allocate funds

4. Education and Outreach

Objective: Raise public awareness about the historical and cultural importance of local landmarks and encourage community involvement.

Actions:

- Partner with local schools and organizations to create educational programs about local history.
- Host walking tours, lectures, and workshops on the importance of preserving historical landmarks.
- Develop online content and social media campaigns highlighting the stories behind historic neighborhoods and landmarks.
- Distribute educational materials to residents in HRI-designated areas about the importance of preserving their properties.

Timeline:

Ongoing, with quarterly educational events and continuous social media engagement.

5. Establishing a Heritage Park at Civic Center past to Present Silicon Valley

Objective: Create a designated Heritage Park in the Civic Center to celebrate the history and cultural legacy of the community.

Actions:

- Research the opportunity to name a portion of Civic Center as Heritage Park that includes interactive exhibits, memorials, and green spaces.
- Engage with local historians, architects, and community leaders to ensure the park reflects the city's historical and cultural heritage.
- Secure funding for the development of programs at the park through grants, donations, and public-private partnerships.
- Launch a public campaign to raise awareness and gather community input for the park's new function and programs

Timeline:

Q1: Initial planning and design consultation

Q2: Public input and fundraising efforts

Q3-Q4: Begin construction and development, pending approvals and funding

This plan outlines the steps needed to promote historical preservation while fostering community engagement and education. Let me know if you'd like to expand or adjust any details!