

RHEE RESIDENCE ADDITION

2068 HOOVER DRIVE
SANTA CLARA, CA 95051

PROJECT TEAM

PROPERTY OWNER:
**SIMON RHEE AND
HELEN HYE JUNG**
2068 HOOVER DRIVE
SANTA CLARA, CA 95051
TEL:
EMAIL:

ARCHITECT:
BYOUNG CHOI
765 SAN ANTONIO ROAD #56
PALO ALTO, CA 94303
TEL: (510) 847-9237
EMAIL: architect0410@gmail.com

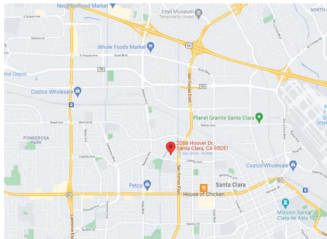
TABULATION

ASSESSOR'S PARCEL NUMBER:	216-10-076	
ZONE DISTRICT:	R-1.6L-SINGLE FAMILY	
SITE AREA:	6,000	SQ. FT.
SPRINKLER:	NO	
EXISTING:		
LIVING SPACE:	1,400	SQ. FT.
GARAGE:	472	SQ. FT.
TOTAL:	1,872	SQ. FT.
PROPOSED ADDITION:		
NEW 2ND FLOOR:	338 SF	SQ. FT.
NEW 1ST FLOOR:	172 SF	SQ. FT.
TOTAL PROPOSED:	510 SF	SQ. FT.
TOTAL LIVING SPACE:	2,010 (1,400 + 610)	SQ. FT.
TOTAL GARAGE:	472 (EXISTING)	SQ. FT.
TOTAL FLOOR AREA:	2,482 SF (2,010+472)	SQ. FT.
PERCENTAGE OF 2ND FLOOR AREA:		
2ND FLOOR +2ND FLOOR STAIR:	429 SF	SQ. FT.
TOTAL 1ST FLOOR:	2,145 SF	SQ. FT.
TOTAL 2ND / 1ST FLOOR ALLOWABLE 2ND FLOOR:	429 (2,145 - 19,72%)	88.00%
SITE COVERAGE:	2,154(1ST FLOOR AREA + PORCH) / 6,000 SF (LOT COVERAGE) = 35.90 %	
ALLOWED SITE COVERAGE:	40%	
BUILDING SETBACK:		
FRONT:	20 FT	
SIDE YARD (INTERIOR):	5 FT	
REAR YARD:	20 FT	
TYPE OF CONSTRUCTION:	Y-B	
OCCUPANCY:	RSU	
C.R.C.	2019	
C.M.C.	2019	
C.P.C.	2019	
C.E.C.	2019	
C.P.C.	2019	
CALIFORNIA ENERGY CODE	2019	
CAL GREEN CODE	2019	

SCOPE OF WORK

* THIS PROJECT IS RESIDENTIAL ADDITION TO EXISTING.
1. NEW 2ND FLOOR ADDITION ABOVE EXISTING GARAGE.

VICINITY MAP

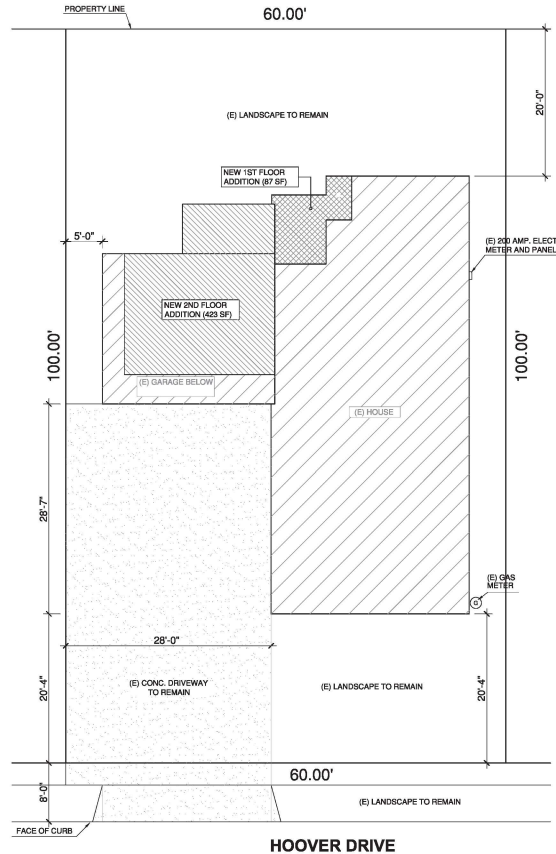


SYMBOL & ABBREVIATIONS

	SECTION	D.R.L.	DOOR DOWN SPOUT
	SHEET NUMBER	ELECT.	ELECTRICAL
	DETAIL	F.P.	FIRE PLACE
	SHEET NUMBER	GYP.	GYPSUM
	COLUMN GRID	H.	HEIGHT
	EXISTING DOOR	INT.	INTERIOR
	DOOR NUMBER	INS.	INSULATION
	DOOR SCHEDULE	MED.	MEDICAL
	DOOR TYPE	NTS	NOT TO SCALE
	INTERIOR ELEVATIONS INDICATOR	REF.	REFRIGERATOR
	EXISTING	SL.	SLIDING
	REVISED	SH	SINGLE HUNG
	NEW	S.S.	SANITARY SEWER
	BOARD	S.S.D.	SEE STRUCT. DWG
	BUILDING	TEMP.	TEMPERED
	BETWEEN	TYP.	TYPICAL
	CALCULATION	WD.	WOOD
	CEILING	WI.	WITH
	CABINET	WIN.	WINDOW
	CLEAN OUT		
	CONCRETE		

DRAWING INDEX

A-0	TITLE SHEET, SITE PLAN & NOTE
A-1	EXISTING/DEMO. FLOOR PLAN / PROPOSED 1ST FLOOR PLAN
A-2	PROPOSED 1ST FLOOR PLAN PROPOSED ROOF PLAN
A-3	AREA CALCULATION
A-4.1	EXISTING ELEVATIONS
A-4.2	NEW ELEVATIONS
A-4.3	SECTIONS



SITE PLAN

PLUMBING NOTES:

- CLEANOUT PER SECTION 707 & 719 C.P.C. CLEAN-OUT TO BE INSTALLED AT THE KITCHEN SINKS.
- ALL CLEAN-OUTS TO BE EXTENDED TO THE EXTERIOR WHEN LOCATED MORE THAN 5' FROM THE CRAWL HOLE.

SITE DRAINAGE NOTES:

- PROVIDE MINIMUM 5% LOT DRAINAGE AWAY FROM THE ADDITIONS TO REMAIN ON THE PARCEL.

CONSTRUCTION NOTES:

- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 5 PM, SATURDAYS FROM 9 AM TO 5 PM.

CALGREEN NOTES:

- "THE CONTRACTOR MUST COMPLY WITH THE CALGREEN CODE AND THE LOCAL CONSTRUCTION WASTE MANAGEMENT PLAN REQUIREMENTS. THIS INCLUDES TRACKING AND DOCUMENTING THAT 80% OF CONSTRUCTION WASTE MUST BE RECYCLED IN ACCORDANCE WITH THE CALGREEN CODE AND LOCAL REQUIREMENTS. TURNOVER DOCUMENTATION AND VERIFICATION OF COMPLIANCE TO THE INSPECTOR AT THE COMPLETION OF THE PROJECT."
- "THE CONTRACTOR SHALL PROVIDE WATTLERS, OR OTHER MEASURES ACCEPTABLE TO LOCAL AUTHORITIES, AS REQUIRED TO CONTROL STORMWATER RUNOFF DURING CONSTRUCTION."
- GAS-FIRED FIREPLACE: ADD THE FOLLOWING NOTE TO PLANS, "INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE."
- "ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY."



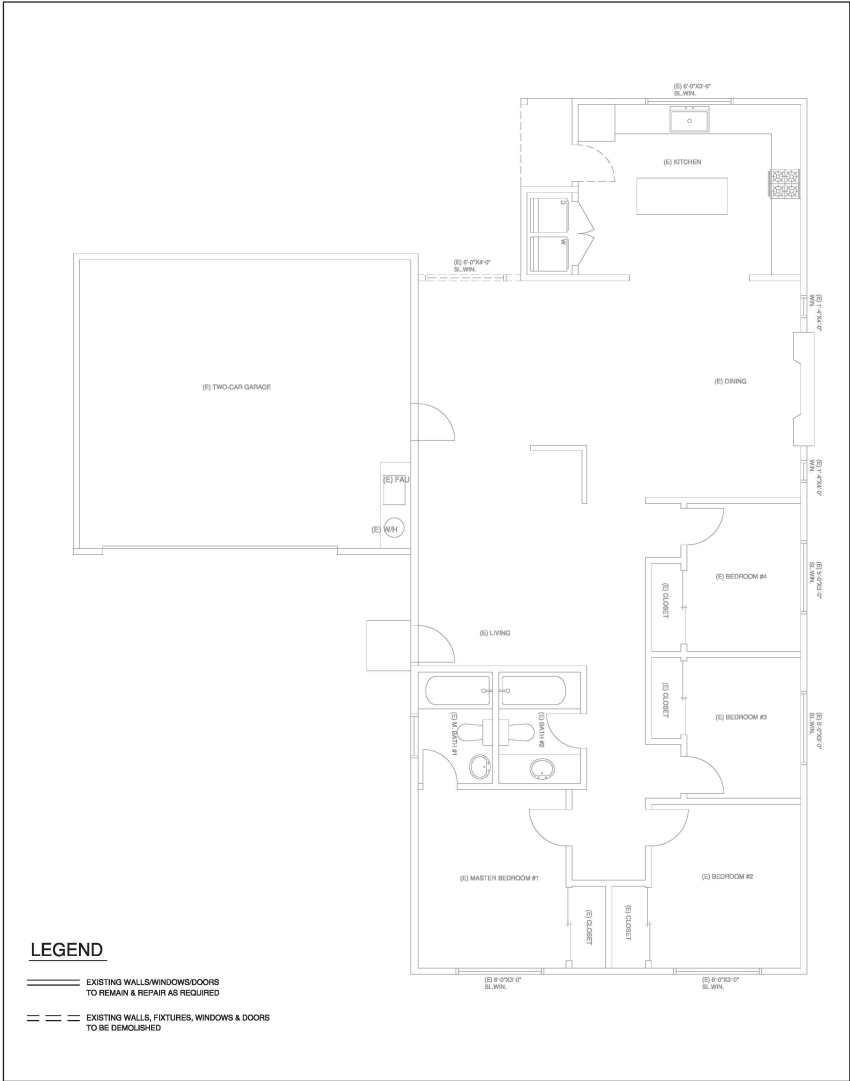
RHEE RESIDENCE ADDITION

TITLE SHEET & SITE PLAN

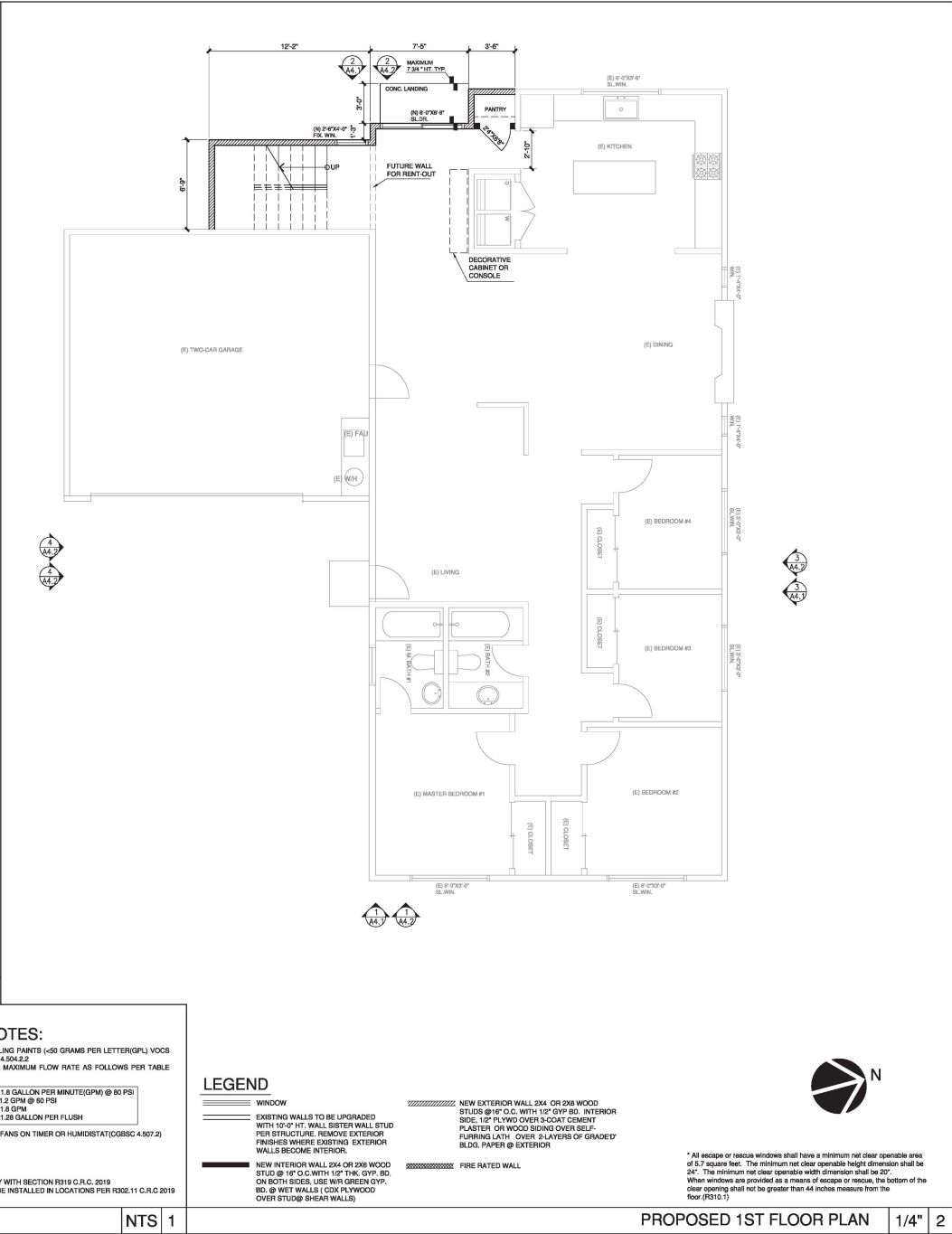
REVISIONS

DATE	-
DRAWN	BC
CHE NO.	
JOB NO.	1112021
SCALE	AS SHOWN
SHEET NO.	

A-0



EXISTING / DEMOLITION 1ST FLOOR PLAN		1/8"	2								
NOTES:	ARCHITECTURAL NOTES:	GREEN CODE NOTES:									
1. PROVIDE W/IR GREEN GYP. BD. @ AROUND SHOWER AND TUBS. ALL ESCAPE WINDOWS TO COMPLY 2013 CALIFORNIA RESIDENTIAL CODE, SECTION R310. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS. SHOWER AND TUB/SHOWER WALLS TO BE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. CRC R07 AND R702.3.6. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC.) MUST BE 3 FEET WAY FROM DOORS, WINDOWS, OPENING ANY LIGHTS, OR ATTIC VENTS. CMC 304.5 WATER CLOSETS TO BE MAXIMUM 1.28 GALLONS PER FLUSH. CPC 402.2 SHOWERS AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. CPC 418.0.	* TYPICAL ALL PLUMBING WALLS, BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2X6 @ #2 STUDS @ 16" O.C. * ALL PLUMBING WALLS TO BE 2X6 @ 16" O.C. * ALL WALLS TO BE SMOOTH FINISH * CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER. * CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER) * CONTRACTOR TO VERIFY ALL OWNERS APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION. * DESIGN BUILT CABINET TO FIT * CONTRACTOR TO VERIFY W/ OWNERS INTERIOR DESIGNER FOR MATERIAL, SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION. * ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE WOOD MOLDING. * ADD 3/8" COX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL.	1. USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LETTER (GPL) VOCs REGARDLESS OF SHEEN). CGBC 4.504.2.2 UNDER THE PRESCRIPTIVE USE A MAXIMUM FLOW RATE AS FOLLOWS PER TABLE 4.503.1. <table><tr><td>SHOWERHEADS</td><td>< 1.8 GALLON PER MINUTE (GPM) @ 80 PSI</td></tr><tr><td>LAUNDRY FAUCET</td><td><1.2 GPM @ 80 PSI</td></tr><tr><td>KITCHEN AND UTILITY FAUCETS</td><td><1.8 GPM</td></tr><tr><td>WATER CLOSET</td><td><1.28 GALLON PER FLUSH</td></tr></table> 3. INSTALL ENERGY STAR BATHROOM FANS ON TIMER OR HUMIDISTAT (CGBC 4.507.2)		SHOWERHEADS	< 1.8 GALLON PER MINUTE (GPM) @ 80 PSI	LAUNDRY FAUCET	<1.2 GPM @ 80 PSI	KITCHEN AND UTILITY FAUCETS	<1.8 GPM	WATER CLOSET	<1.28 GALLON PER FLUSH
SHOWERHEADS	< 1.8 GALLON PER MINUTE (GPM) @ 80 PSI										
LAUNDRY FAUCET	<1.2 GPM @ 80 PSI										
KITCHEN AND UTILITY FAUCETS	<1.8 GPM										
WATER CLOSET	<1.28 GALLON PER FLUSH										
NOTES	CITY NOTES										
	1. BUILDING ADDRESS TO COMPLY WITH SECTION R19.9 C.R.C. 2019 2. REQUIRED FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER R302.11 C.R.C. 2019										
NOTES		NTS	1								



PROJECT

RHEE RESIDENCE ADDITION

EXISTING / DEMO. 1ST FLOOR PLAN
PROPOSED 1ST FLOOR PLAN & NOTES

DRAWING TITLE

REVISIONS

DATE

DRAWN

JOB NO.

JOB NO. 1112021

SCALE: AS SHOWN

SHEET NO.

A-1

A-2



PROJECT

RHEE RESIDENCE
ADDITION

2088 HOOVER DRIVE
SANTA CLARA, CA 95051

DRAWING TITLE

AREA CALCULATION

REVISIONS

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DATE

DRAWN

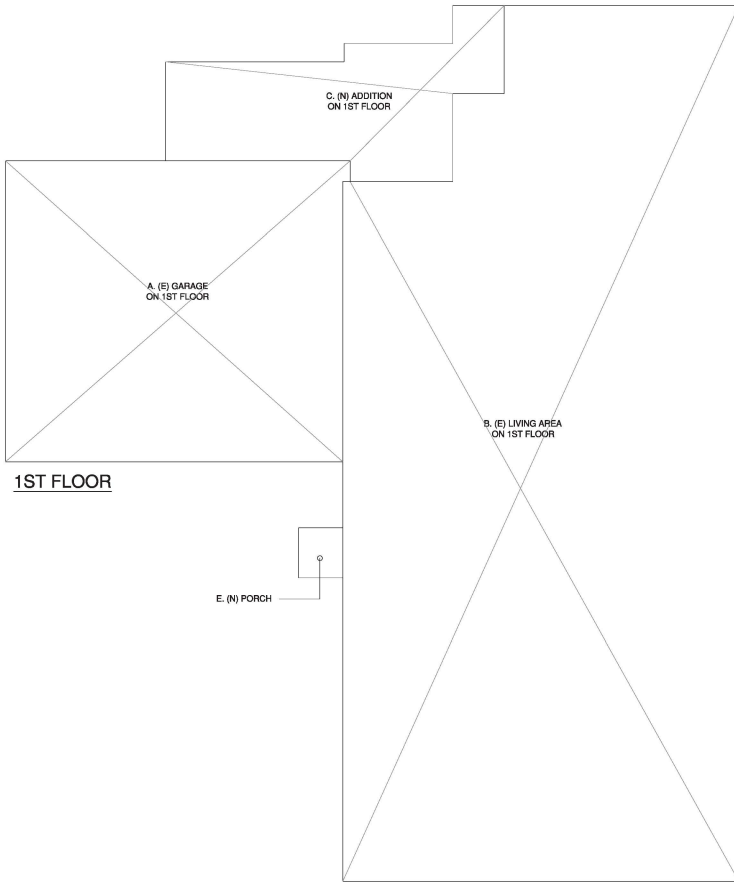
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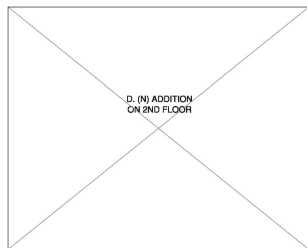
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A-3



1ST FLOOR



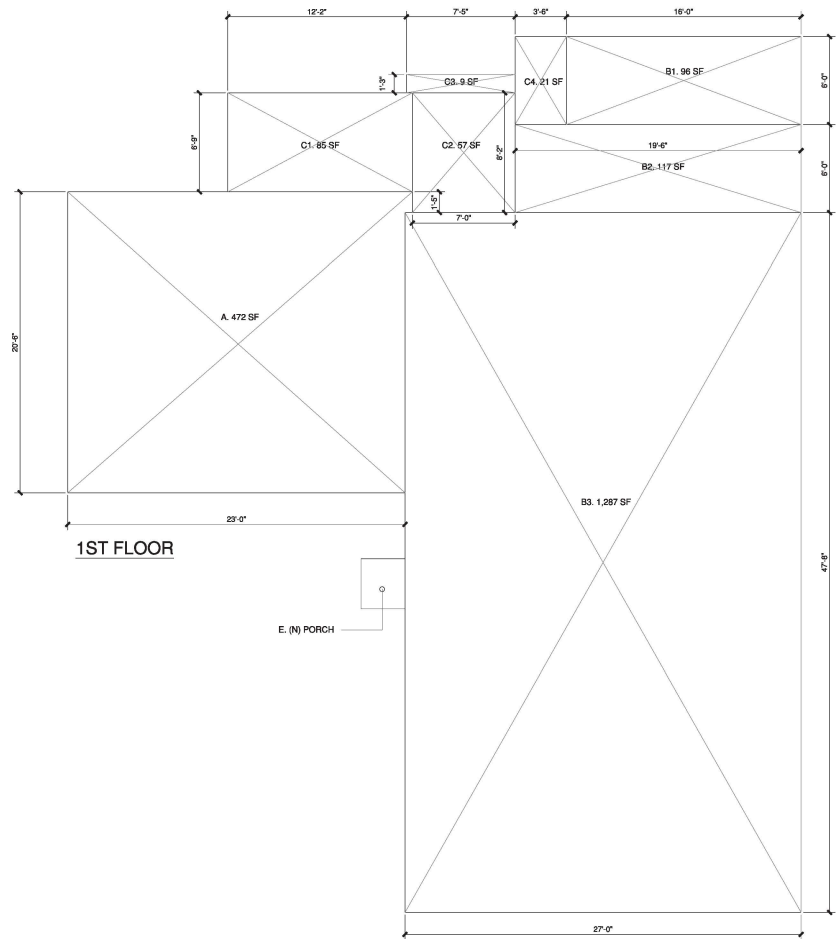
2ND FLOOR

(N) FLOOR AREA

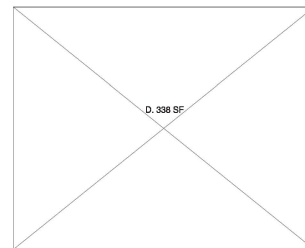
A	472 SF.
B	1,500 SF.
C	172 SF.
D	338 SF.
TOTAL	2,482 SF.

(N) LOT COVERAGE

A	472 SF.
B	1,500 SF.
C	172 SF.
E	10 SF.
TOTAL	2,154 SF.



1ST FLOOR



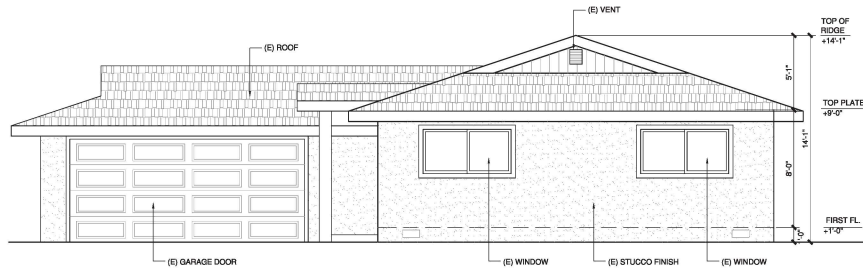
2ND FLOOR

(N) FLOOR AREA

A	472 SF.
B1	96 SF.
B2	117 SF.
B3	1287 SF.
C1	85 SF.
C2	57 SF.
C3	9 SF.
C4	21 SF.
D	338 SF.
TOTAL	2,482 SF.

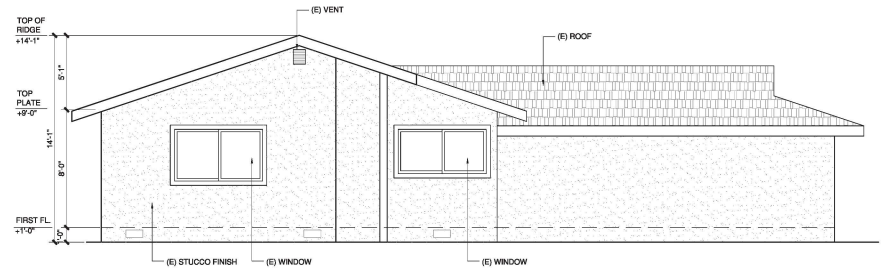
(N) LOT COVERAGE

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B1	96 SF.
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C1	85 SF.
C2	57 SF.
C3	9 SF.
C4	21 SF.
E	10 SF.
TOTAL	2,154 SF.



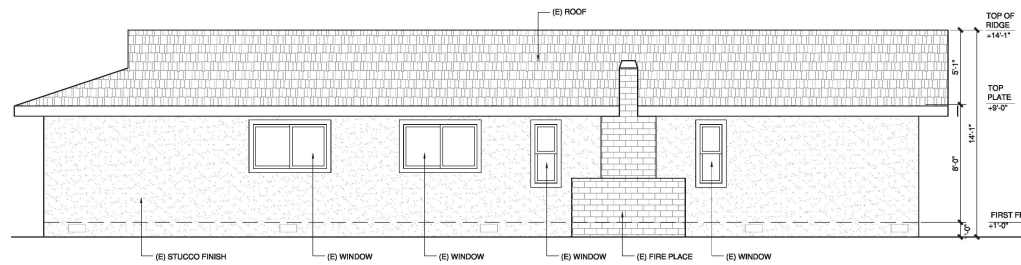
(E) FRONT ELEVATION (EAST)

1/4" 1



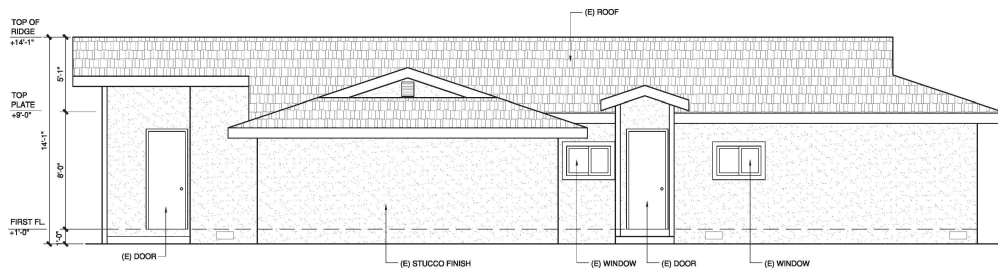
(E) REAR ELEVATION (WEST)

1/4" 2



(E) SIDE ELEVATION (NORTH)

1/4" 3



(E) SIDE ELEVATION (SOUTH)

1/4" 4



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EXISTING ELEVATIONS

REVISIONS



DATE

DRAWN

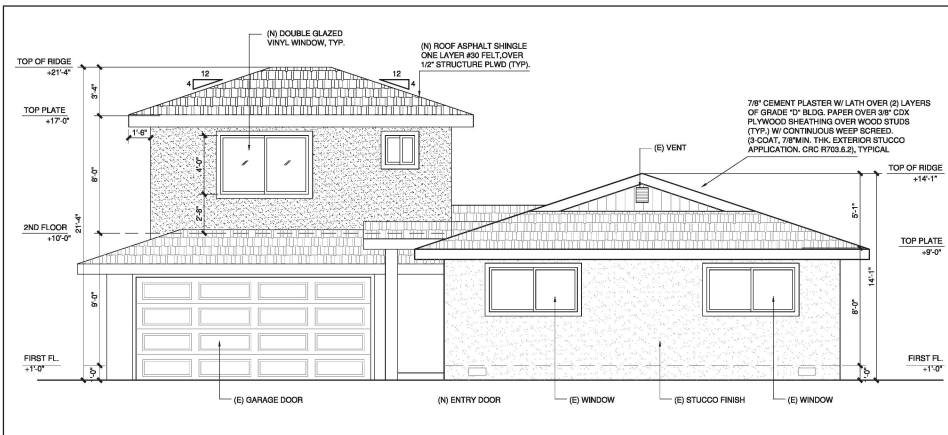
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JOB NO. 1112221

SCALE: AS SHOWN

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A-4.1



1/4"	1
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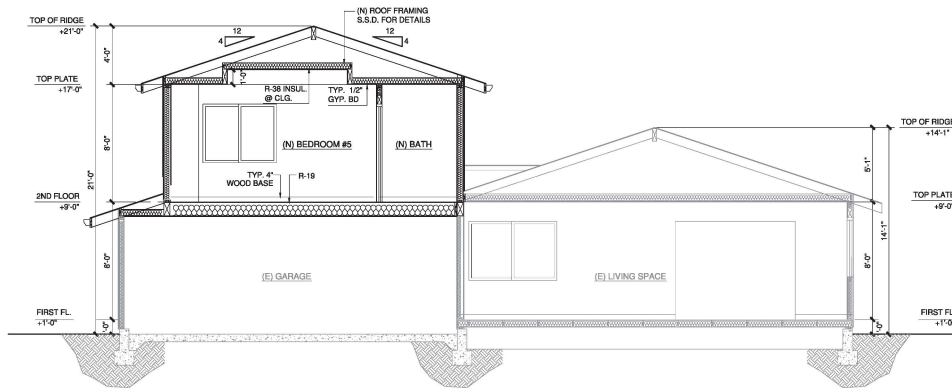
1/4"	2
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1/4"	3
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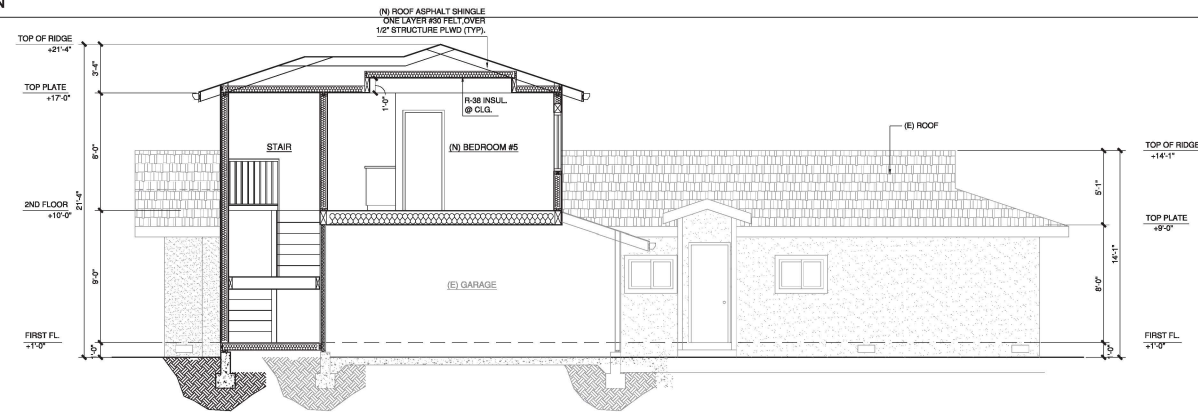


1/4"	4
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SECTION

1/4" 1



SECTION

1/4" 2

PROJECT

RHEE RESIDENCE
ADDITION
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SANTA CLARA, CA 95051

DRAWING TITLE

SECTIONS

REVISIONS

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- △
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DATE -
DRAWN IC
CHKD NO.
JOB NO. 1112021
SCALE: AS SHOWN
SHEET NO.

A-4.3