

PROJECT DATA:

ZONE:

R 1-3

OCCUPANCY GROUP:

R-3/U

CONSTRUCTION TYPE:

V-B

APN#:

296-19-062

YEAR BUILT:

1962

LOT SIZE

7,150 SF

BUILDING SETBACKS:

FRONT - 20'

REAR - 20'

SIDE - 5' MIN

(E) RESIDENCE DOES NOT HAVE FIRESPRINKLERS

LOT COVERAGE:

N/A

	EXISTING	PROPOSED	TOTAL:
HOUSE	1,778.43	+ 202.47	1,980.9
GARAGE	407.20		407.20
COVERED OUTDOOR PATIO	178.83		178.83
COVERED ENTRY PORCH	18		18
TOTAL:	2,382.46		

FLOOR AREA:

45% OF LOT AREA
7,160 X 0.45 = 3,217.5SF

	EXISTING	PROPOSED	TOTAL:
HOUSE 1ST FLR	1,778.43	+ 202.47	1,980.9
HOUSE 2ND FLR	0	+582.92	582.92
COVERED ENTRY PORCH	18		18
GARAGE	407.20		407.20
TOTAL:	2,203.63		2,989.02

MAX HEIGHT:

25' TO TOP OF ROOF

PARKING REQUIREMENTS:

2 CAR GARAGE EXISTS AND WILL REMAIN

FLOOD ZONE:

NO

PROTECTED TREES:

N/A

(E) SINGLE FAMILY RESIDENCE
REMODEL & 2ND STORY ADDITION

APN#: 296-19-062

PROJECT ADDRESS
3470 MAURICIA AVE, SANTA CLARA,CA 95051

OWNERS: Maria & Yuri Ardulov

PROJECT DESCRIPTION:

ADD NEW 2ND FLOOR TO ACCOMODATE NEW MASTER SUITE WITH NEW BATH AND CLOSETS, NEW STAIR.
ADD SQUARE FOOTAGE AT LOWER LEVEL TO EXPAND LIVING ROOM. RE-BUILD EXISTING FRONT ROOM,
ADD NEW BATH AND CLOSET

PLANNING/BUILDING DEPARTMENT:

CITY OF SANTA CLARA
1500 Warburton Ave, Santa Clara, CA
95050

CONSULTANTS:

STRUCTURAL ENGINEER
TBS

TITLE 24 report
Igor Pichko, CEA/CEPE
(424) 247-7658
www.title24coz.com

PARCEL MAP:

GENERAL NOTES:

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CA AND CITY OF SANTA CLARA:

CRC 2019 EDITION CBC 2019 EDITION CPC 2019 EDITION
CMC 2019 EDITION CEC 2019 EDITION CFC 2019 EDITION
CAL GREEN 2019 CA ENERGY 2019

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FACE OF STUD, UNLESS OTHERWISE NOTED. "CLF" MEANS CLEAR DIMENSION FROM FACE OF FINISH. NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL: BETWEEN 8am AND 6:00pm, MON-FRI, AND BETWEEN 9am AND 5:00 pm. THE MOST RESTRICTIVE WORK HOURS SHALL GOVERN. WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN ADVANCE AND THE LOCAL BUILDING OFFICIAL. IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL, STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. SUPPORT: PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION.

MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS REQUIRED BY THE SCOPE OF WORK AND AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED, INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVISION SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.

DRAWING INDEX:

T-00 TITLE SHEET

GN1

GN2

A-01 SITE PLAN

A-02 (E) FLOOR PLAN

A-03 (E) ELEVATIONS

A-04 (E) BUILDING SECTION

A-05 (E) ROOF PLAN

A-06 DEMO PLAN

A-07 (N) FLOOR PLANS

A-08 (N) ELEVATIONS

A-09 (N) BUILDING SECTIONS

A-10 (N) ROOF PLAN

A-11 (N) WINDOW & DOOR SCHEDULE

A-12 (N) CLERESTORY PLAN

A-13 CAL GREEN

STREET VIEW:

VICINITY MAP:

SATELLITE VIEW:

B

BARMINA
DESIGN

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ARDULOV RESIDENCE

3470 MAURICIA AVE
SANTA CLARA, CA, 95051
APN#: 296-19-062

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

12/14/21

SHEET NUMBER:

T-00



Santa Clara Valley Urban Runoff Pollution Prevention Program

THIS PROJECT ADDS ONLY 202.47 SF

Date Form Completed: _____

Completed by: _____

Provision C.3 Data Form

Which Projects Must Comply with Stormwater Requirements?

All projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application.

All restaurants, auto service facilities, retail gasoline outlets, and uncovered parking lot projects (stand-alone or part of another development) that use the top two impervious surface categories (asphalt and concrete) that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site must also fill out this worksheet.

Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-paving, and single family homes that are not part of a larger plan of development are NOT required to complete this worksheet.

What is an Impervious Surface?

An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to: rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, and any other continuous watertight pavement or covering. Pavement pavement, underlain with previous soil or previous storage material (e.g., drain rock), that infiltrates rainfall at a rate equal to or greater than surrounding unpaved areas OR that stores and infiltrates the water quality design volume specified in Provision C.3.1 of the Municipal Regional Stormwater Permit (MRP), is not considered an impervious surface.

For More Information

For more information regarding selection of Best Management Practices for stormwater pollution prevention or stormwater treatment contact:

1. Project Information

Project Name: **ARDULOV RESIDENCE** APN # **296-19-002**

Project Address: **3470 MAURICIA AVE, SANTA CLARA**

Cross Streets: **CLAREMONT**

Applicant/Developer Name: **YURI ARDULOV (OWNER)**

Project Phases: **1** of **1** Engineer: **NOT YET SELECTED**

Project Type (Check all that apply): ☐ New Development ☒ Redevelopment

☐ Private ☐ Public

☒ Residential ☐ Commercial ☐ Industrial ☐ Mixed Use ☐ Institutional

☐ Restaurant ☐ Uncovered Parking ☐ Retail Gas Outlets ☐ Auto Services (SRC code): _____

Other: _____

Project Description: **NEW ADDITION AND FLOOR TO ACCOMMODATE NEW MASTER SUITE WITH NEW BATH AND CLOSETS, NEW STAIR, ADD SQUARE FOOTAGE AT LOWER LEVEL TO EXPAND LIVING ROOM, REBUILD EXISTING FRONT PORCH, AND ADD CLOSET**

Project Watershed/Receiving Water (creek, river or bay): _____

6. Selection of Specific Stormwater Control Measures:

Site Design Measures

☐ Minimize land disturbed (e.g., protect trees and soil)

☐ Minimize impervious surfaces (e.g., reduction in post-project impervious surface)

☐ Minimum-impact street or parking lot design (e.g., parking on top of or under buildings)

☐ Cluster structures (prevent runoff from top of or under buildings)

☐ Disconnect downspouts (direct runoff from roofs, sidewalks, patios to landscaped areas)

☐ Pervious pavement

☐ Green roof

☐ Other self-irrigating area (e.g., landscaped areas)

☐ Self-sealing areas

☐ Intercept trees

☐ Rainwater harvesting and use (e.g., rain barrel, cistern for designated use)

☐ Preserved open space (e.g., meadow, field, circle area)

☐ Other _____

Non-Structural Measures

☐ Wall attachments, drain to sanitary sewer?

☐ Covered dumpster area, drain to sanitary sewer?

☐ Sanitary sewer connection or accessible cleanout for swimming pool/spa/fountain?

☐ Periodical landscaping (minimize irrigation, runoff, pesticides and fertilizers, promotes treatment)

☐ Outdoor material storage protection

☐ Covers, drains for loading docks, maintenance bays, fueling areas

☐ Maintenance (prevent overclogging, catch basin cleaning, good housekeeping)

☐ Storm drain labeling

☐ Other _____

Non-LID Treatment Methods

☐ Proprietary high flow rate tree box filter

☐ Proprietary high flow media filter (sand, compost, or proprietary media)

☐ Vegetated filter strip

☐ Extended detention basins

☐ Vegetated area

☐ Other _____

Flow Duration Controls for Hydrodynamic Management (HM)

☐ Extended detention basin ☐ Underground tank or vault ☐ Detention basin with outlet control ☐ Other _____

¹See SCVURPPP C.3 Handbook for definitions.

²Optimal site design measures, done in compliance with Provision C.3.1 treatment requirements.

³Subject to sanitary sewer authority requirements.

⁴These treatment measures are only allowed if the project qualifies as a "Special Project."

⁵These treatment measures are only allowed as part of a multi-step treatment process (i.e., for pretreatment).

2. Project Size

Impervious Area (IA)	Total Site Area Described: 202.47 SF			
	Pre-project (Existing IA) (A)	Post-project (Existing IA + IA added) (B)	New IA (C)	Total Post-Project IA (D)
Roof	2,168.03	2,168.03	0	2,168.03
Surface Parking	336.51	336.51	0	336.51
Streets, alleys, etc.	0	0	0	0
Total Impervious Area	2,504.54	2,504.54	0	2,504.54
Total area and replaced impervious area	2,504.54	2,504.54	0	2,504.54
Detention Area (DA)	3,364	3,364	0	3,364
Detention Area (DA) (B)	0	0	0	0
Detention Area (DA) (C)	0	0	0	0
Total Detention Area (DA) (D)	0	0	0	0
Total Area (IA+DA)	2,504.54	2,504.54	0	2,504.54

3. Stormwater Management General Permit Applicability:

a. Is #2.b. equal to 1 acre or more?

☐ Yes, applicant must obtain coverage under the State Construction General Permit (see www.cdwr.ca.gov/state_construction_general_permit for details).

☐ No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:

a. Is #2.d. equal to 10,000 sq. ft. or more, or 5,000 sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and stand-alone uncovered parking?

☐ Yes, C.3. source control, site design and treatment requirements apply.

☐ No, C.3. source control and site design requirements may apply - check with local agency.

b. For redevelopment projects, is #2.g. equal to 50% or more?

☐ Yes, C.3. requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire site.

☐ No, C.3. requirements only apply to the impervious area created and/or replaced.

5. Hydrodynamic Management (HM) Applicability:

a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?

☐ Yes (continue) ☐ No - exempt from HM, go to page 3.

b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map? (www.cdwr.ca.gov/hm_applicability)

☐ Yes, the project must implement HM requirements.

☐ No, the project is exempt from HM requirements.

¹The "New" and "Replaced" IA is based on the total area of the site and no specific locations on site. "Replaced" means to have existing IA in place. "Replaced" means to reconstruct IA where existing IA is removed. "New" IA is the quantity of IA that exceeds "Replaced" IA on the site.

²Include detention and infiltration areas in landscaping.

7. Stormwater Treatment Measure (STM) Sizing for Projects with Treatment Requirements

Stormwater Treatment Measure (STM)	Hydraulic Sizing Criteria Unit

Key:

1a. Volume - WEF Method

1b. Volume - CANSO BMP Handbook Method

2a. Flow - Factored Flood Flow Method

2b. Flow - CANSO BMP Handbook Method

2c. Flow - Uniform Intensity Method

3. Combination Flow and Volume Design Basis

8. Alternative Certification: Was the treatment system sizing and design reviewed by a qualified third-party professional that is not a member of the project team or agency staff?

☐ Yes ☐ No ☐ No Third-party Reviewer _____

9. Operation & Maintenance Information

A. Property Owner's Name: **YURI ARDULOV**

B. Responsible Party for Stormwater Treatment/Hydrodynamic Control O&M:

a. Name: _____

b. Address: _____

c. Phone/E-mail: _____

This section is to be completed by Municipal staff.

O&M Responsibility Mechanism

Indicate how responsibility for O&M is assumed. Check all that apply:

☐ O&M Agreement

☐ Other mechanism that assigns responsibility (describe below): _____

This section is to be completed by Municipal staff. This is an optional section that agencies should modify per their internal review and tracking process.

Community Development Department

Planning Division: _____

Building Division: _____

Return form to: _____

Public Works Department

Engineering: _____

Other (Specify): _____

Date entry performed by: _____

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APN#: 296-19-002

SITE:
C3DataForm920
18_fillable_S

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

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MVB

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[Signature]

ARDULOV RESIDENCE

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APN#: 296-19-062

1ST FLOOR

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

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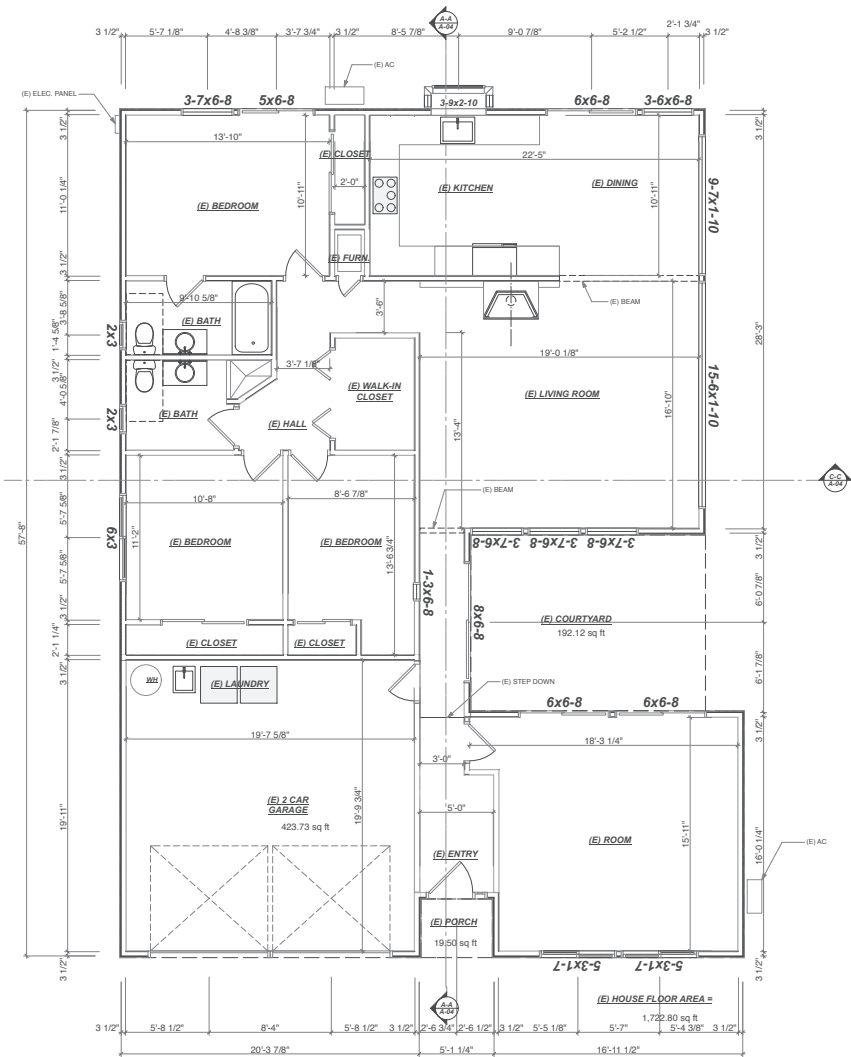
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A-02



EXISTING

1ST FLOOR

1/4" = 1'-0"



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APN#: 296-19-062

SOUTH ELEV
SOUTH, EAST
ELEV E, WEST
ELEV W, E ELEV
NORTH

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

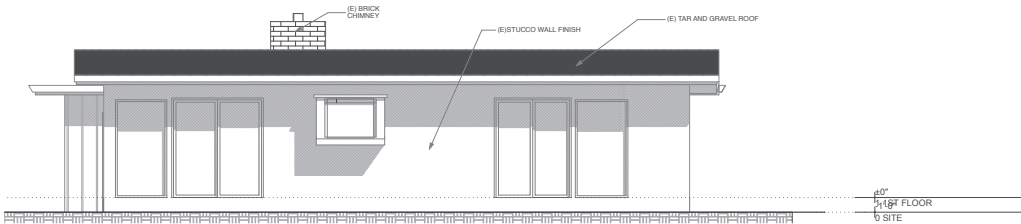
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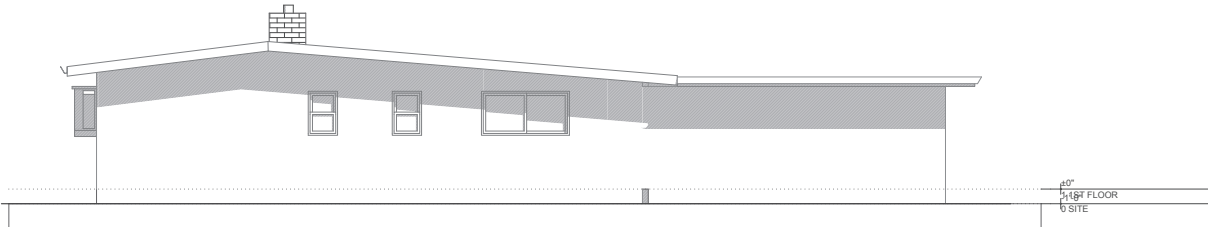
A-03



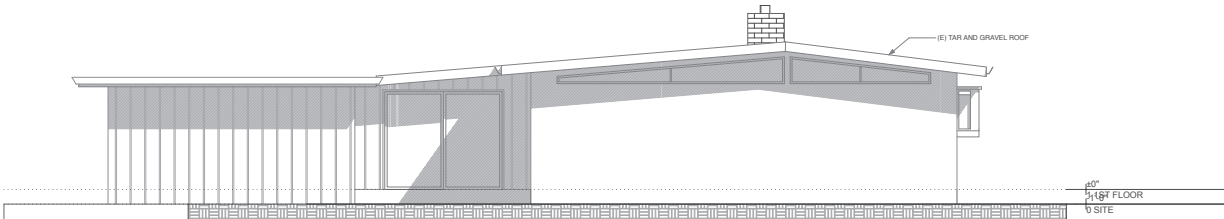
EXISTING E ELEV NORTH 1/4" = 1'-0"



EXISTING SOUTH ELEV SOUTH 1/4" = 1'-0"



EXISTING EAST ELEV E 1/4" = 1'-0"



EXISTING WEST ELEV W 1/4" = 1'-0"



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A-A A-A, C-C C-C

CLIENT NAME:

Maria & Yuri Ardulov

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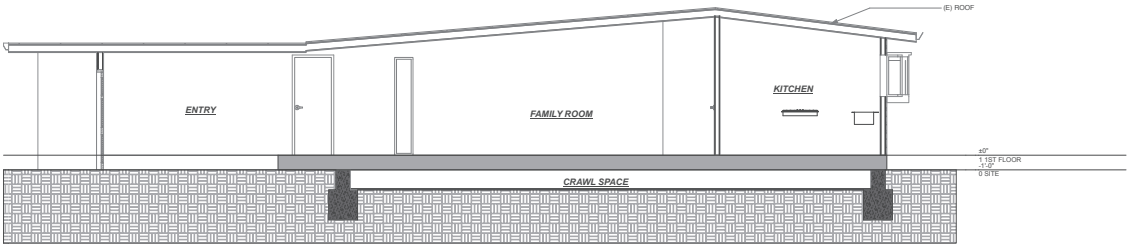
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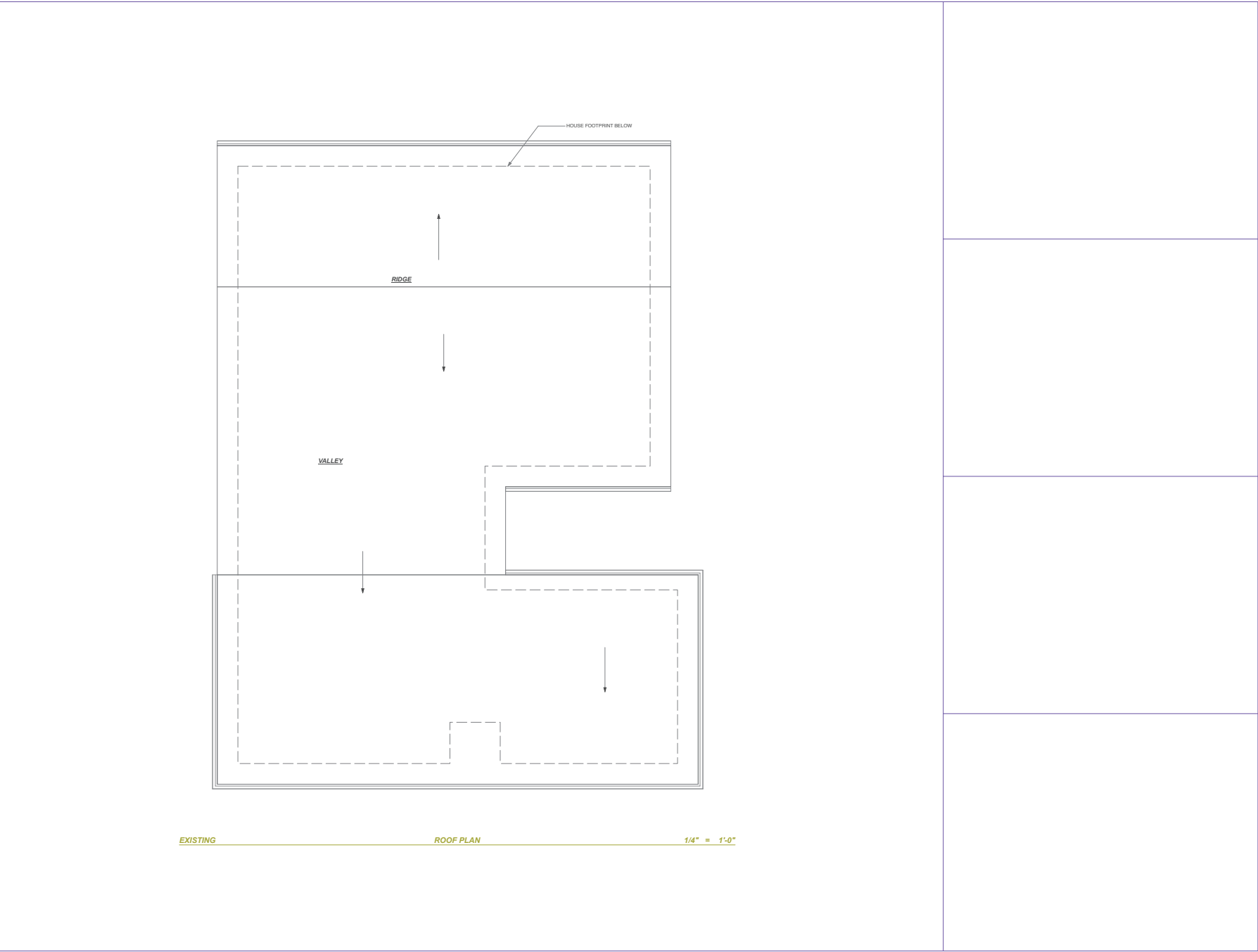
A-04



EXISTING C-C C-C 1/4" = 1'-0"



EXISTING A-A A-A 1/4" = 1'-0"



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APN#: 296-19-062

ROOF PLAN

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

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ARDULOV RESIDENCE

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1ST FLOOR,
2ND FLOOR
PLAN

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

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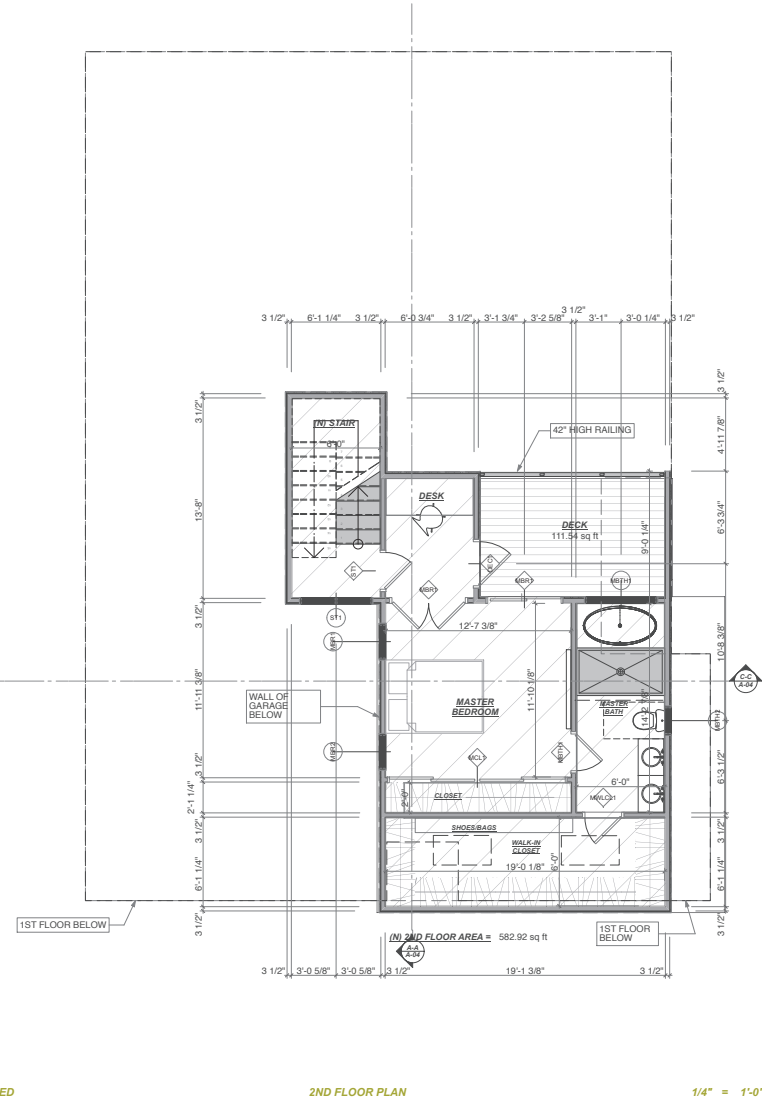
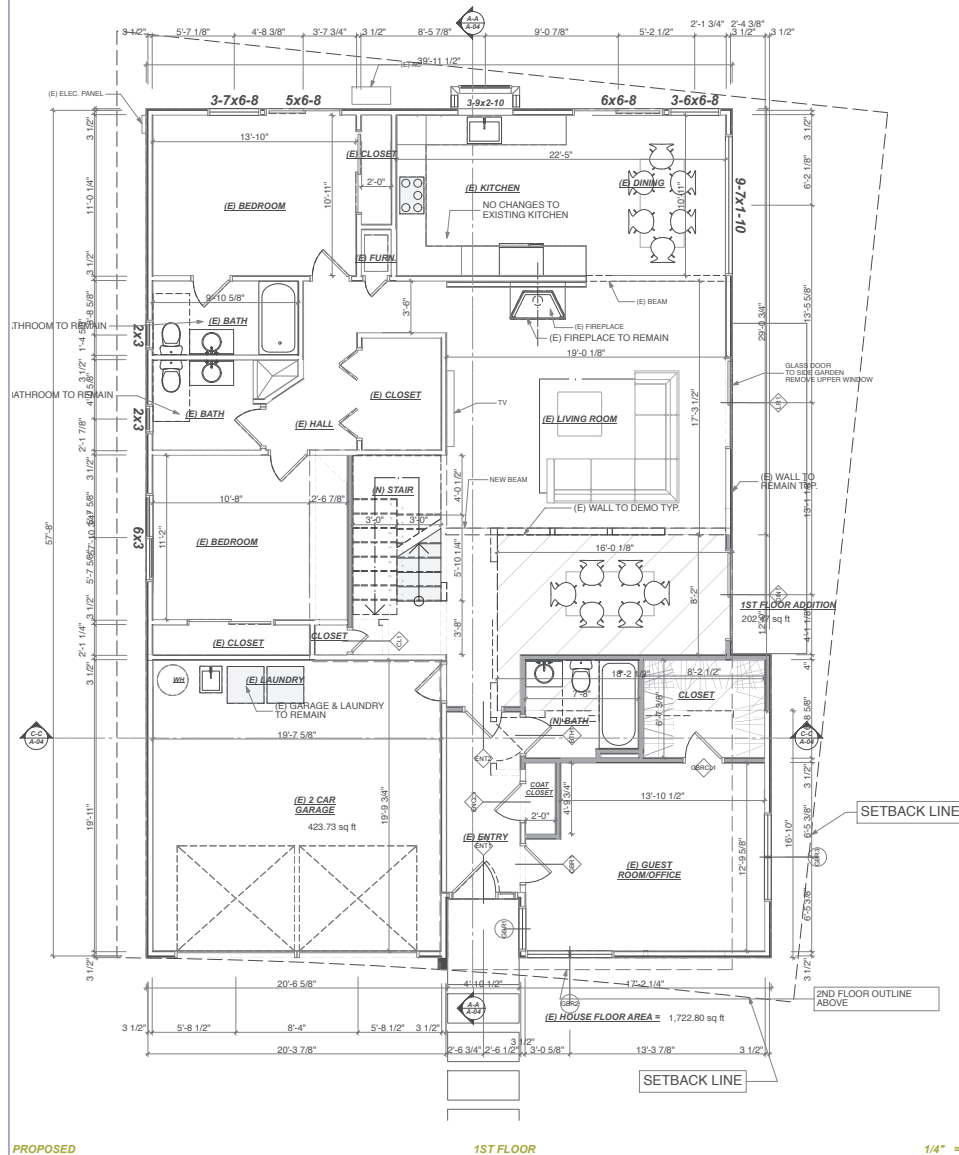
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GENERAL ELEVATION NOTES:

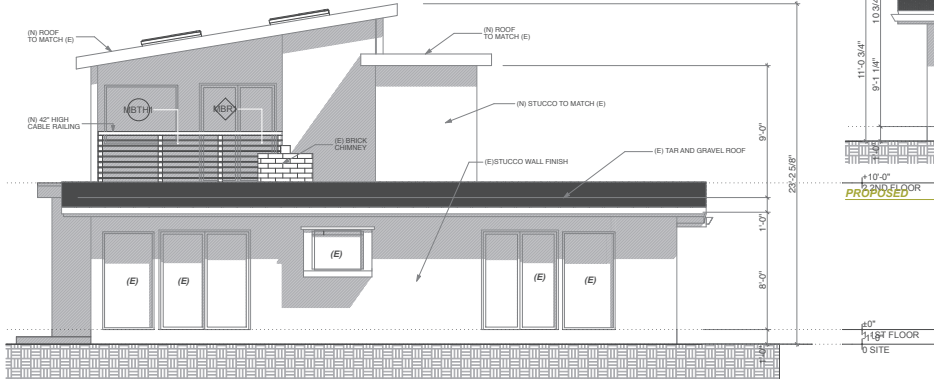
PROVIDE CONTINUOUS MIN 26 GA. CORROSION-RESISTANT WEEP SCREEN WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-12 INCHES 3/4 INCH BELOW THE FOUNDATION PLATE LINE OF EXTERIOR STUD WALLS AND SHALL BE OF THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. WEEP SCREENS SHALL BE PLACED A MINIMUM OF 8" ABOVE THE EARTH OR 4" ABOVE PAVED AREAS.

- ROOFING ASSEMBLY AND APPLICATION SHALL BE IN ACCORDANCE WITH USE 1503 STANDARDS AND CLASSIFIED FOR R-3 OCCUPANCY. MIN (CLASS C OR BETTER)

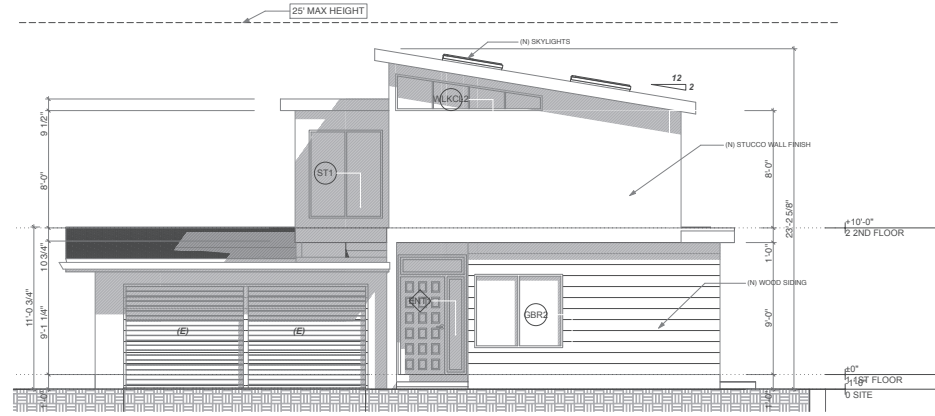
- FLASHING SHALL BE MINIMUM 26 GA. GALVANIZED SHEET METAL, OR APPROVED EQUAL AT ALL VALLEYS AND WHERE FLASHING/COUNTER FLASHING OR COPING OCCUR. LEAD FLASHING MAYBE USED WITH TILE ROOF.

- GRADE ADJACENT TO HOUSE (WITHIN 5') SHALL BE SLOPED AWAY AT 2% MIN

(N) STUCCO WALL FINISH TO BE THREE COATS MIN. WHEN APPLIED OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER

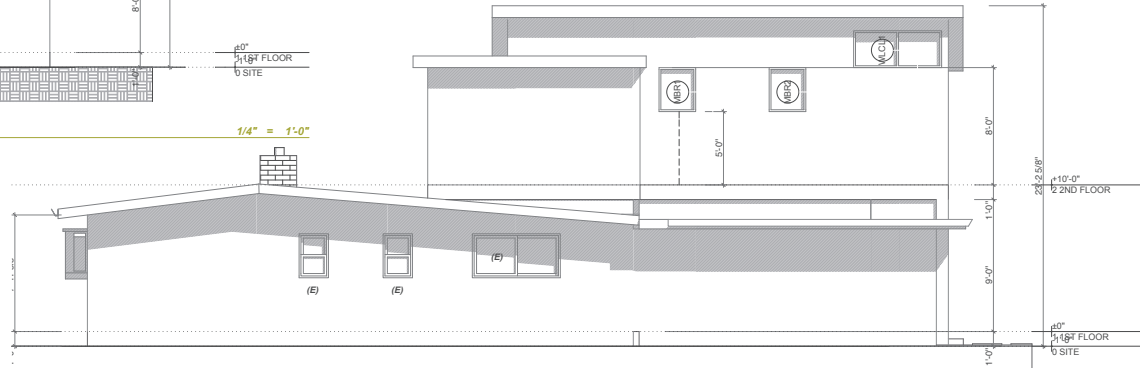


PROPOSED SOUTH ELEV SOUTH 1/4" = 1'-0"

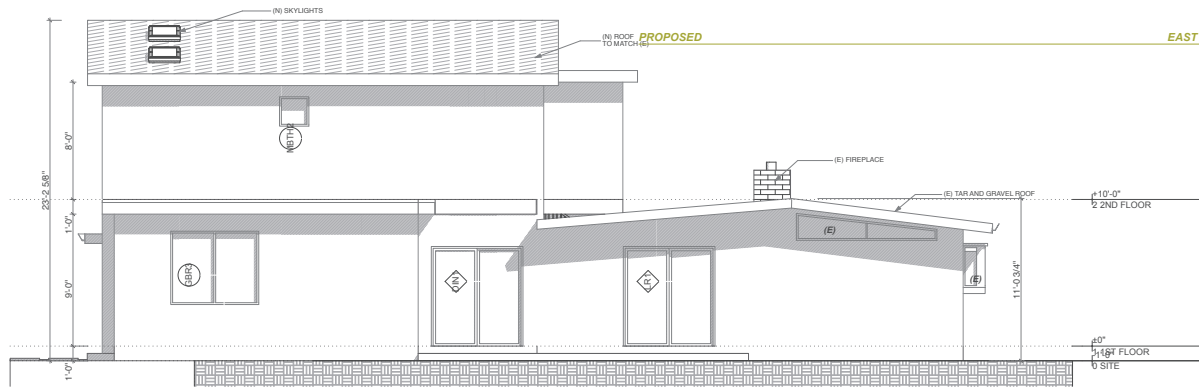


E ELEV NORTH
FRONT STREET ELEVATION

1/4" = 1'-0"



EAST ELEV E 1/4" = 1'-0"



PROPOSED WEST ELEV W 1/4" = 1'-0"



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SOUTH ELEV
SOUTH, EAST
ELEV E, WEST
ELEV W, E ELEV
NORTH

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A-A A-A, C-C C-C

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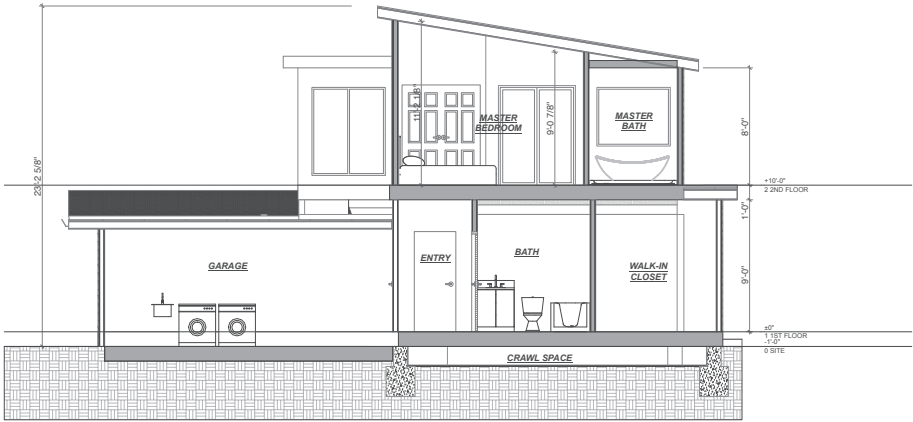
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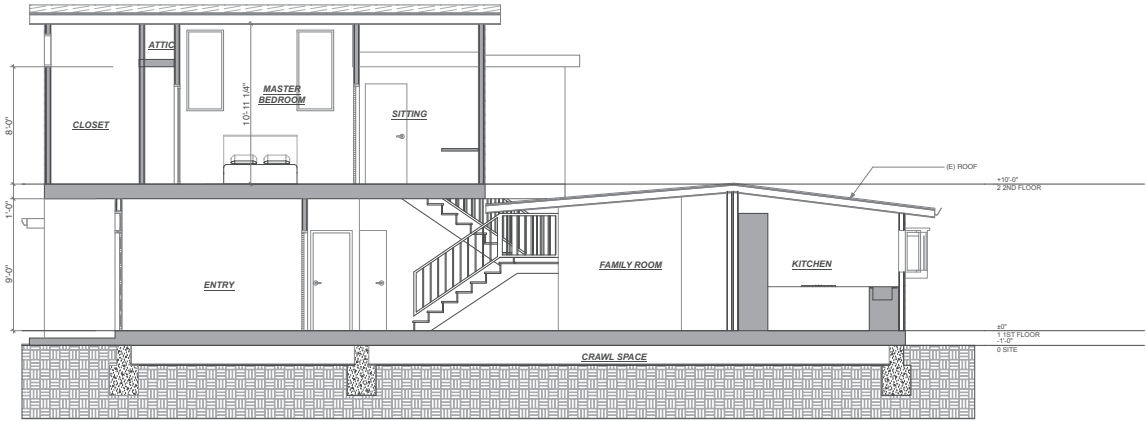
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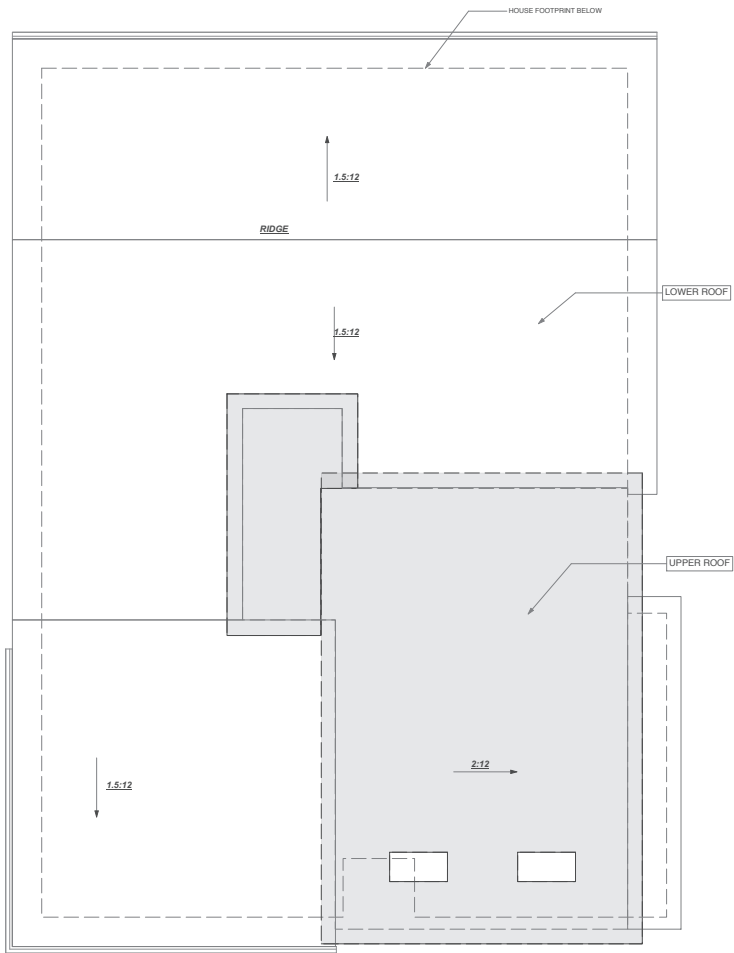
A-09



PROPOSED C-C C-C 1/4" = 1'-0"



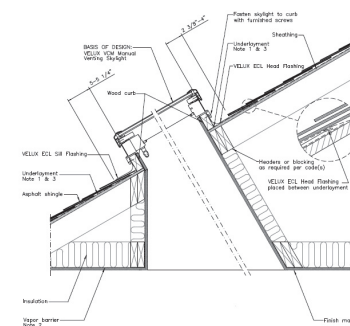
PROPOSED A-A A-A 1/4" = 1'-0"



PROPOSED ROOF PLAN 1/4" = 1'-0"

ROOF PLAN NOTES:

- ALL ROOF SLOPES ARE NOTED
- INSTALLATION SHALL BE IN ACCORDANCE WITH MFG'S INSTRUCTIONS AND APPLICABLE BUILDING CODE
- TYP: SLOPED ROOF - ASPHALT SHINGLE OVER GRACE ICE & WATER SHIELD OVER 1/2" CDX PLYWD OVER 2X RAFTERS @ 16" O.C.
- DOWNSPOUTS/GUTTERS:
 - GUTTERS @ SLOPED ROOFS SHALL BE 5" OGEE 26 GA GALVANIZED (UNFINISHED)
 - DOWNSPOUTS AT HALF-ROUND GUTTERS SHALL BE 3" ROUND 26 GA GALVANIZED (UNFINISHED)
 - DOWNSPOUTS AT FASCIA GUTTERS SHALL BE TO BE ALULMINUM 2-1/2" X 3-1/2" PRE-FINISHED BLACK
 - SPLASH BLOCKS REQUIRED AT ALL DOWNSPOUTS
 - ALL FLASHING AND COLLARS SHALL BE 26 GA GALVANIZED SHEET METAL PAINTED TO MATCH ROOFING
 - GANG ALL PLUMBING VENTS WHERE POSSIBLE AND DRIFT TO LOCATIONS NOT VISIBLE FROM ENTRY



SKYLIGHT DETAIL TYP.

SKYLIGHT SCHEDULE

ID	ROOM NAME	MANUFACTURER	2D Symbol	Width (B)	Length (A)	GLAZING	NOTES
SK1				4'-0"	2'-0"		
SK2				4'-0"	2'-0"		



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ARDULOV RESIDENCE

3470 MAURICIA AVE
SANTA CLARA, CA, 95051
APN#: 296-19-062

ROOF PLAN,
SKYLIGHT
SCHEDULE,
SKYLIGHT
DETAIL TYP.

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

MVB

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12/14/21

SHEET NUMBER:

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WINDOW SCHEDULE												
ID	ROOM NAME	WINDOW TYPE/ OPERATION	MANUFACTURER	W x H Size	Window sill height	Window head height	2D Symbol	3D Front View	GLAZING	TEMPERED/ EGRESS	FRAME	NOTES:
GBR1				2'-0"x6'-0"	1'-10"	6'-10"						
GBR2				6'-0"x6'-0"	1'-10"	6'-10"						
GBR3				6'-0"x6'-0"	2'-10"	7'-10"						
MBR1				2'-0"x6'-0"	5'-0"	10'-0"						
MBR2				2'-0"x6'-0"	5'-0"	10'-0"						
MBTH1				5'-0"x4'-0"	2'-8"	8'-8"						
MBTH2				2'-0"x2'-0"	5'-0"	7'-0"						
BT1				5'-0"x6'-0"	0'-8"	6'-8"						
WLKGL2				10'-0"x2'-0"	0'-0"	2'-0"						

Tempered glass to be provided:

- a) Glass in any door;
- b) Glass in any kind of shower, bathtub area, hot tub, steam room, sauna or whirlpool area where the bottom edge of the glass is less than 60 inches above a standing surface and drain outlet;
- c) Glass in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom edge of the glazing is less than 60" above a walking surface;

d) Glass in fixed or operable panels that meets all of the following conditions:

- * Bottom edge is less than 18" above floor
- * Top edge is greater than 36" above floor
- * Total area of glass is greater than 9 sq. ft. (1296 sq.in.)
- * One or more walking surfaces within 36" horizontally of the glazing;

e) Glass in walls used as a barrier for indoor or outdoor swimming pools or spas when both of the following exist:

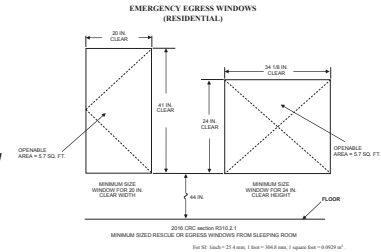
The bottom edge of the glazing is less than 60" above a pool side of the glazing
The glazing is within 5 feet of a swimming pool or spa deck area;

f) Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

GENERAL WINDOW SCHEDULE NOTES:

1. All windows to be weather-stripped per Title 24 energy requirements.
2. All hardware and screen frames to match window frame fin. and color.
3. All windows to be factory finished with double glazed LOW-E glass unless otherwise noted.
4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.
5. For window operation see provided exterior elevations & window schedule.
6. Shop drawings to be provided to the designer/homeowner prior to placement of order.

The contractor is to review all glazing prior to ordering. Refer to SECTION R308.4 GLAZING.



Basement, habitable attics and every sleeping room shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard or rear court. The emergency door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools.

The intent of this section is that windows be available so that rescue can be effected from the exterior or, alternatively, by which one may escape from that window to the exterior of the building without having to travel through the building itself.

- Escape or rescue windows shall have a minimum net clear opening area of 5.7 square feet. (Except at grade floor, shall have a minimum net clear opening of 5 square feet.)
- The minimum net clear opening height dimension shall be 24 inches.
- The minimum net clear opening width dimension shall be 20 inches.
- Finished sill height shall not be more than 44 inches above the floor.

DOOR SCHEDULE											
ID6	ROOM NAME	DOOR TYPE	MANUFACTURER	W x H Size	2D Symbol	3D Front View	GLAZING	FRAME MATERIAL	HARDWARE/ LOCK	THRESHOLD	NOTES:
BTH1				2'-0"x6'-0"							
CL1				1'-0"x6'-0"							
DIC1				3'-0"x6'-0"							
DIN1				6'-0"x6'-0"							
ENCL1				2'-0"x6'-0"							
ENT1				3'-0"x6'-0"							
ENT2				2'-0"x6'-0"							
GBR1				2'-0"x6'-0"							
GBRCL1				2'-0"x6'-0"							
LR1				6'-0"x6'-0"							
MBR1				6'-0"x6'-0"							
MBTH1				2'-0"x6'-0"							
MCCL1				12'-0"x6'-0"							
MWCL1				2'-0"x6'-0"							
BT1				2'-0"x6'-0"							

"Garage doors shall be tested in accordance with either ASTM E 330 or ANSI/DASMA 108, and shall meet the acceptance criteria ANSI/DASMA 108".

SEE SHEET T-24 FOR MIN. ENERGY VALUES OF FENESTRATION
DO NOT REMOVE LABELS BEFORE PROJECT IS SIGNED OFF

GENERAL DOOR SCHEDULE NOTES:

1. All Exterior doors to be weather-stripped per Title 24 energy requirements.
2. All exterior glazed doors to be tempered, factory finished double glazed.
3. All doors between heated and unheated areas shall be weather-stripped per energy calculations.
4. For swing of all doors see provided floor plans.
5. Shop drawings to be provided to the designer prior to placement of order.
4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.

The contractor is to review all glazing prior to ordering. refer to SECTION R308 GLAZING.



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SANTA CLARA, CA, 95051
APN#: 296-19-062

Window List,
Door List,

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:
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ARDULOV RESIDENCE

3470 MAURICIA AVE
SANTA CLARA, CA, 95051
APN#: 296-19-062

CLERESTORY
LEVEL

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

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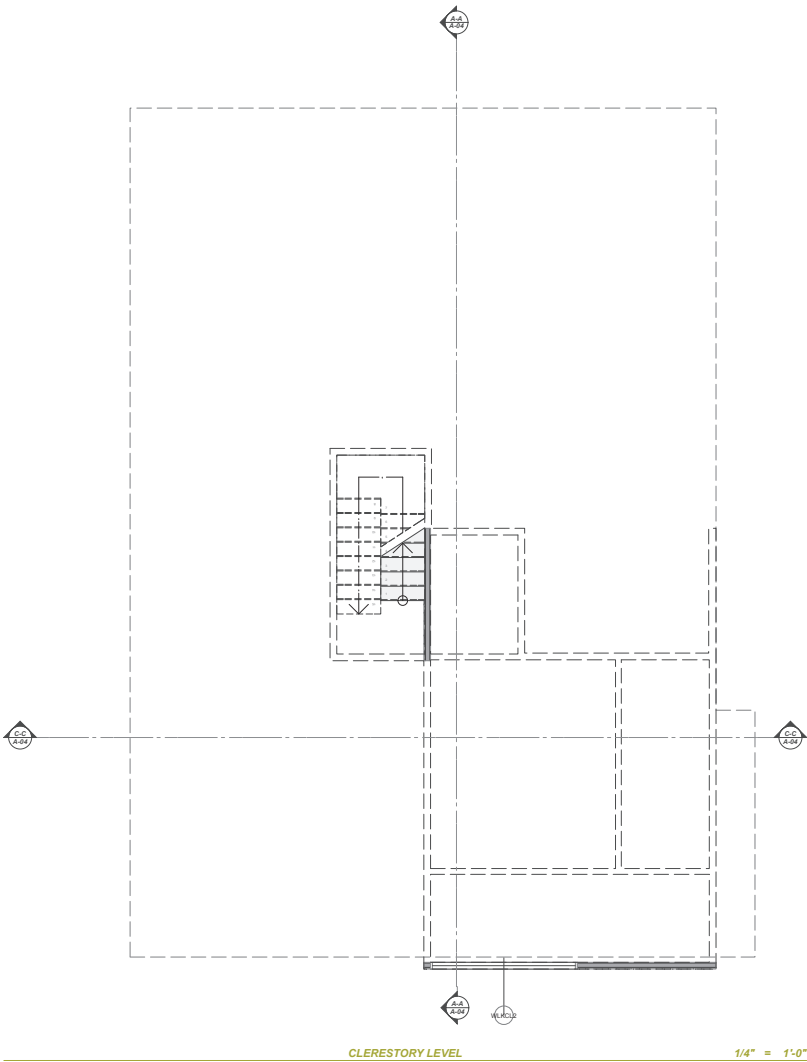
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A-12



1/4" = 1'-0"



City of Santa Clara

Building Division
1500 Warburton Ave
Santa Clara, CA 95050
www.santaclara.gov

Building Division: 408-615-2440
Email: Building@santaclara.gov
Permit Center: 408-615-2420
Email: PermitCenter@santaclara.gov
Automated Inspection Scheduling System: 408-615-2400

2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC)

RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.:

BLD20

ADDRESS:

3470 MAURICIA AVE, SANTA CLARA

Feature or Measure	Yes
SITE DEVELOPMENT (CGC 4.106)	
Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage during construction per CGC 4.106.2.	<input checked="" type="checkbox"/>
Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings per CGC 4.106.3.	<input checked="" type="checkbox"/>
Electric vehicle (EV) charging for new construction. Provide capability for future electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages, 10% of total parking spaces, as specified, for multifamily dwellings; and in new hotels and motels per CGC 4.106.4. EV spaces for hotels/motels shall comply with accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.	<input checked="" type="checkbox"/>
ENERGY EFFICIENCY (CGC 4.201)	
California Energy Code. The building's construction shall meet or exceed the requirements of the 2019 California Building Energy Efficiency Standards per CGC 4.201.1.	<input checked="" type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
INDOOR WATER USE (CGC 4.303)	
Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).	<input checked="" type="checkbox"/>
Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).	<input checked="" type="checkbox"/>
Showerheads. The flow rate for single showerhead and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 psi, and shall be certified to the performance criteria of the U.S. EPA WaterSense Specification (CGC 4.303.1.3).	<input checked="" type="checkbox"/>
Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 80 psi, and not less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).	<input checked="" type="checkbox"/>
Lavatory faucets in common and public use areas. The flow rate shall not exceed 0.5 gallons per minute at 80 psi (CGC 4.303.1.4.2).	<input checked="" type="checkbox"/>
Mixing Faucets. The flow rate shall not deliver more than 0.2 gallons per cycle (CGC 4.303.1.4.3).	<input checked="" type="checkbox"/>
Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 80 psi (CGC 4.303.1.4.4).	<input checked="" type="checkbox"/>
Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code per CGC 4.303.2.	<input checked="" type="checkbox"/>

BLD Permit No.:

OUTDOOR WATER USE (CGC 4.304)	
Outdoor potable water use in landscape areas. Residential developments shall comply with the City Water Service and Use Rules and Regulations, Item No. 24, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1.	<input checked="" type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)	
Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in solebottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the City per CGC 4.406.1.	<input checked="" type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.408)	
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of nonhazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management (CGC 4.408.1).	<input checked="" type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION (CGC 4.410)	
An operation and maintenance manual shall be provided to the building occupant or owner per CGC 4.410.1.	<input checked="" type="checkbox"/>
Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for depositing, storage and collection of nonhazardous materials for recycling per CGC 4.410.2.	<input checked="" type="checkbox"/>
ENVIRONMENTAL QUALITY (CGC 4.503)	
Gas fireplace. Any installed gas fireplaces shall be a direct-vent sealed-combustion type per CGC 4.503.1.	<input checked="" type="checkbox"/>
Woodstoves. Any installed woodstove or pellet stove shall comply with U.S. EPA new Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits per CGC 4.503.1.	<input checked="" type="checkbox"/>
POLLUTANT CONTROL (CGC 4.504)	
Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metal, or other methods acceptable to the City to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input checked="" type="checkbox"/>
Paints, stains and other coatings shall comply with VOC limits per CGC 4.504.2.2.	<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	<input checked="" type="checkbox"/>
Verification. Documentation shall be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input checked="" type="checkbox"/>
Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of CGC 4.504.3.	<input checked="" type="checkbox"/>
Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4.	<input checked="" type="checkbox"/>
Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall comply with the formaldehyde requirements of CGC 4.504.4.	<input checked="" type="checkbox"/>
INTERIOR MOISTURE CONTROL (CGC 4.506)	
Concrete slab foundations. Vapor retarder and capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" shall be provided per CGC 4.506.2 and CRC R506.2.3.	<input checked="" type="checkbox"/>
Moisture content of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.506.3.	<input checked="" type="checkbox"/>

BLD Permit No.:

ENVIRONMENTAL COMFORT (CGC 4.507)	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1 Manual D-2016 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3 Manual S-2014 or equivalent.	
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)	
Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1.	
Special inspection. Special inspectors employed by the City must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2.	
VERIFICATION (CGC 703)	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance per CGC 703.1.	

Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2019 California Green Building Standards Code.	
Name: MARIA BARMINA	Name:
Signature:	Signature:
Date: 12/14/21	Date:
Company: BARMINA DESIGN	License:
Address: 5753 GREENRIDGE ROAD	Address:
City: CASTRO VALLEY State: CA Zip: 94552	City: State: Zip:



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APN#: 296-19-062

CAL GREEN

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

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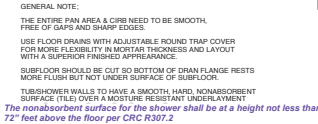
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EXHAUST FAN NOTES

PROVIDE local exhaust at all rooms with a tub, shower, spa or similar fixture) with a fan capable of exhausting a minimum of 50 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3/4 son or less for noise. The rating must be based on a Water Column of .25 or greater. See Manual Section 4.6.5, 4.6.7

PROVIDE kitchen hood vented directly to the outside exhausting a minimum of 100 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3 sone or less for noise. The rating must be based on a Water Column of .25 or greater. Exception: If the fan exhausts in excess of 400 C.F.M., the 3 sone rating is not required. See Manual Section 4.6.5, 4.6.7, California Energy Code 150(o), ASHRAE 62.2

- WATER RESISTANT GYP. BACKING BOARD SHALL NOT BE USED IN THE FOLLOWING AREAS:

A) WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.

B) ON CEILINGS WHERE FRAMING SPACING EXCEEDS 12" ON CENTER FOR 1/2" THICK OR 16" FOR 5/8" THICK GYP. BOARD.

C) OVER A CLASS I OR II VAPOR RETARDER IN A TUB OR SHOWER COMPARTMENT.

- PROVIDE BACKING FOR ALL ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHOWER ENCLOSURES, TP HOLDER, TOWEL BARS, MEDICINE CABINET, ETC. - CONDUCT WALK-THRU WITH HOMEOWNER PRIOR TO HANGING GYPSUM BOARD TO IDENTIFY LOCATIONS THAT REQUIRE BACKING

PLUMBING

- A gas test is required on piping modifications (10 PSI for 15 minutes). A maximum 15 PSI gauge is required for the gas test. A lower gauge pressure test may be performed when the piping is not under a full shut down.
- Gas lines that run under a shaft shall run through an approved, vented, airtight conduit. CPC 121.12.4
- An approved shutoff valve shall be installed outside each appliance and ahead of the union connected thereto and in addition to any valve on the appliance. CPC121.2.5
- Provide #6mm x 7 long listed gas flexible connector and shut off to feed standard range. CPC121.5.
- A listed gas line is required for the dishwasher drain. CPC 807.4
- The maximum flow rate standards for the sink faucets are 2.5 GPM. CEE110(A)
- **Kitchen Island Venting** Traps for island sinks and similar equipment shall be roughed in to the exterior wall and vented through the roof. The vent shall be installed at least 6" less than the drain board height. The vent is then returned downward and connected to the horizontal sink drain immediately downstream from the vertical fixture vent. The horizontal vent connection shall be made at least 12" above the finished floor level. The sink drain shall be provided with a foot vent between the vertical fixture vent by means of a Y-branch fitting immediately below the floor. This foot vent extends to the nearest partition and thence through the roof to the open air, or may be connected to other vents.

Water Efficient Plumbing Fixtures (California Civil Code 1101.4(a))

The California Civil Code requires that all existing non-compliant plumbing fixtures (based on water efficiency) throughout the house be upgraded whenever a building permit is issued for remodeling improvements. Residential building constructed after January 1, 1994 are exempt from this requirement. The following table shows the fixtures that are considered to be non-complaint and the type of water-conserving plumbing fixture that should be installed:

Type of Fixture	Non-Complaint Plumbing Fixture	Required Water-Conserving Plumbing Fixture (maximum flow-Rates)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 GAL
Showerhead	Greater than 2.5 gallons/minute	1.8 GAL
Faucet- Bathroom	Greater than 2.2 gallons/minute	1.2 GAL
Faucet- Kitchen	Greater than 2.2 gallons/minute	1.2 GAL

The State of California requires **smoke and carbon monoxide alarms** to be installed in all residential buildings. (California Residential Code) Sections R314.3.2 and R314.3.3 require a 10-year lifespan for smoke alarms/detectors:

- Units that are older than 10-years need to be replaced.
 - Battery type units must have a 10-year battery life.
- Smoke, carbon monoxide or multiple-purpose alarms (carbon monoxide and smoke alarms) must be approved and listed by the State Fire Marshal. The devices must be installed per the manufacturer's instructions.

Alarm Location Requirements

Smoke alarms must be installed:
a) in each room used for sleeping purposes

- c) on each level of the dwelling, including basements

Carbon monoxide alarms must be installed:

- a) outside of each sleeping room in the immediate vicinity of the bedroom(s)
- b) on each level of the dwelling, including basements

Bedroom Notes:

1. Bedroom windows shall provide a minimum of 8% of its floor area in natural light and 4% of its floor area in natural ventilation.
2. Each bedroom shall have an egress window with a minimum of 5.7 square feet in openable area, with a minimum opening width of 20" and a minimum opening height of 24"; the window's lowest open edge shall not exceed 44" in height above the finished floor.

The logo for Barmina Design, featuring a large, bold, black letter 'B' inside a square frame, with the words 'BARMINA DESIGN' in a bold, sans-serif font below it.

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JLOV RESIDENCE

LAH - 1111 K
kitchen renovation
on 2014,
window flashing
step 3, widow
flashing detail
STEP 2,
Window flashing
detail STEP 1,
SHOWER PAN
DETAIL (TYP.),
HARDIEBACKE
R CEMENT
BOARD IN
BATH,

3470 MAURICIA AVE
SANTA CLARA, CA, 95051
APN#: 296-19-062

CLIENT NAME:

Maria & Yuri Ardulov

REVISIONS:

DATE	REV #	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

12/14/21

SHEET NUMBER:

GN1

GREEN BUILDING NOTES:

1. **CONSTRUCTION AND DEMOLITION DEBRIS:** 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling. In compliance with [thirty of Santa Clara Regulations](#)
2. **RECYCLING BY OCCUPANTS:** Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill material.
- 3.
- 4.
5. **GRADING AND PAVING:** Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, ditches, or water retention gardens. (CalGreen 4.106.3.)
6. **SMART IRRIGATION CONTROLLER:** Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1.)
7. **INDOOR WATER EFFICIENCY:** Install water-efficient fixtures and fixtures as summarized in CalGreen 4.305.1.
8. **ENERGY EFFICIENCY:** Comply with California Energy Code (Title 24, Part 6.2016)
9. **RODENT PROOFING:** Annular spaces around pipes, electric cables, conduits, or other openings in slab-on-grade slabs at exterior walls be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1.)
10. **MOISTURE CONTENT OF BUILDING MATERIALS:** Verify wall and floor framing does not exceed 19% moisture content prior to enclosure. Materials with visible signs of moisture damage shall not be permitted. Moisture content shall be verified in compliance with the following: (CalGreen 4.505.3.)
- A) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.5.
- B) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each place to be verified.
- C) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulator products which are fully wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for waterlogged insulation products prior to enclosure.
11. **CAPILLARY BREAK FOR CONCRETE SLAB ON GRADE:** Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2.)
- A) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder to direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- B) A slab design specified by a licensed design professional.
12. **FRIDGES PLACES AND WOODSTOVES:** Install only direct vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1.)
13. **DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J, D, AND S** (CalGreen 4.507.2.)
14. **HVAC INSTALLER QUALIFICATIONS:** HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, publiclyally training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 4.507.2.)
15. **COVERING DUCT OPENINGS AND PROTECTING MECHANICAL EQUIPMENT DURING CONSTRUCTION:** Duct openings and other air distribution component openings shall be covered during all phases of construction with tape, plastic, sheetmetal or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1.)
16. **ENERGY STAR COMPLIANT BATHROOM EXHAUST FANS:** Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidity-based control of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1.)
17. **CARPETS:** All carpet must meet one of the following: (CalGreen 4.504.3.)
- A) Carpet and Rug Institute Green Label Plus Program.
- B) California Department of Public Health Standard Practice for the testing of VOCs (Spec Method 15150).
- C) NSF/ANSI 140 (at the GRI level).
- D) Scientific Certifications Systems Sustainable Choice, OR
- E) California Collaborative for High Performance Schools: EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.
18. **RESIDENT FLOORING SYSTEMS:** For 80% of floor area requiring resident flooring, install resident flooring complying with (CalGreen 4.504.4.):
- A) Carpet under the Resident Floor Covering Institute (RFCI) FloorScore program.
- B) Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1.
- C) Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR
- D) Certified under the GreenGuard Children & Schools Program to comply with California Department of Public Health rules.
19. **COMPOSITE WOOD PRODUCTS:** Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Tier 1 Toxic Control Measure for Composite Wood. See CalGreen Table 4.504.5.
20. **INTERIOR PAINTS AND COATINGS:** Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
21. **LOWVOC AEROSOL PAINTS AND COATINGS:** Meet BAAQMD VOC limits (Regulation 5, Rule 40) and Product/Weighted Mix Limits for RCR. (CalGreen 4.504.3.)
22. **LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS:** Meet SCAQMD Rule 116B. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

FLOOR PLAN NOTES:

17. All new habitable rooms except kitchens shall be at least 70 square feet in area and shall have a width of at least 7 feet. In addition, there shall be no bedroom with a minimum of 103 square feet in each dwelling (CRC R304R305). Minimum ceiling height shall be 7 ft. (CRC R305.1) [See CRC R304 and R305 for exceptions.]
18. New or altered enclosed accessible side stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2" gypsum board. (CRC R307.2)
19. New or altered sleeping rooms and any basement must have at least one operable window or door approved for emergency rescue with a minimum net clear opening of 5.7 square feet, except the windows at the grade floor shall have a minimum net area of 5.0 square feet. The minimum net vertical opening dimension shall be 24 inches. The minimum net clear opening with dimension shall be 20 inches. The bottom of the clear opening shall be no more than 44 inches from the floor (CRC R 310.1).
20. Provide 22 inch x 30 inch minimum attic access opening for new attics that exceed 30 sq. ft. and have a vertical height of 30 inches or greater (CRC R807.1). In attics where an appliance is installed, an opening and passageway at least as large as the largest component of the appliance shall be required (CMC 904.10).
21. Safety glazing shall be provided for new glazing in all hazardous locations as follows (CRC R-308):
- Glazing in all fixed and operable panels of swinging, sliding and bi-fold doors (see code exceptions).
 - Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface [see code exceptions].
 - Glazing in an individual fixed or operable panel that meets all of the following conditions [see code exceptions]:
 - The exposed area of an individual pane is larger than 9 square; and
 - The bottom edge of the glazing is less than 18 inches above the floor; and
 - The top edge of the glazing is more than 36 inches above the floor; and
 - One or more walking surfaces are within 36 inches measured horizontally and in a straight line, of the glazing.
 - All glazing in guards and railings regardless of area or height above a walking surface. Included are structural baluster panels and nonstructural infill panels.
 - Glazing in walls, enclosures or fences facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs and showers and indoor and outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface [see exception].
 - Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the exposed surface of the glazing is less than 60 inches above the plane of the adjacent walking surface [see exceptions].
 - Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread [see exceptions].
22. Builder shall leave the NFRC Fenestration Labels on all new doors with glazing and windows until inspected and approved by the Building Inspector.

STAIRWAYS, LANDINGS, HANDRAILS & GUARDS

23. There shall be a level landing at each side of all new or altered doors, except exterior landings may be sloped not more than 2%. The landing shall be at least as wide as the door served and 36 inches minimum length measured in the direction of travel. There may one step down of no more than 7½ inches, provided the door does not swing over the landing. (CRC R311.3)
24. For new and altered stairways, stairway rise shall be 4 inches minimum and 7½ inches maximum. The greatest rise height within any flight of stairs shall not exceed the smallest by more than 3/8 inch. RUN shall be 10 inches min. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch. Headroom shall be 80 inches min. WIDTH shall be 36 inches min. (R311.7). [See special requirements for spiral and winding stairways (CRC R311.7.2 and R311.7.10)].
25. The radius of curvature at the tread nosing shall be no greater than 9½ inch. A nosing not less than 3/4 inch but not more than 1-1/4 inches shall be provided on stairways with solid risers.(R311.7.5.3)
26. There shall be a floor or landing at the top and bottom of each stairway. Width and length of landings shall be not less than the width of the door and shall be at least 36 inches in the direction of travel. A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, provided a door does not swing over the stairs (CRC R311.7.6).
27. For new and altered stairways, continuous HANDRAILS shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1-1/2 inches between the wall and the handrails. Handrails shall be 34 – 38 inches above tread nosing (see exceptions in R311.7.8.2) with openings less than 4-3/8 inches above (R312.3). Handrails must have a circular cross-section with an outside diameter of at least 1-1/4 inches and not greater than 2 inches or must otherwise have a grip size that meets the requirements of R311.7.8.3.
28. Guards shall be located along open sided walking surfaces, including stairs, ramps, landings, and decks, that are more than 30 inches above the floor or grade. Required guards shall be not less than 42 inches above the adjacent walking surface except that handrails may be considered as guards at stairways. Openings in guards shall not exceed 4 inches (CRC R312).
29. Window Fall Protection. Where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter sphere where such openings are located within 24 inches of the finished floor (CRC R312.2).
30. New, reconstructed or replaced wood-burning appliances (i.e. fireplaces, wood stoves, etc.) shall be 1) a pellet-fueled wood heater, 2) an EPA-certified wood stove, or 3) a wood-burning appliance approved for use by the Northern Sonoma County Air Pollution Control District, or 4) a fireplace certified by the EPA, should the EPA develop a fireplace certification program(SMC 14.28.040). [See exemption in SMC 14.28.020]

GARAGES & CARPORTS

31. New or altered carports with habitable space above and attached garages shall be protected by a residential fire sprinkler system (CRC R309.3) [See exceptions for additions and alterations.]
32. Openings from a private garage directly into a room used for sleeping purposes are not permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches in thickness, solid or honeycomb core steel doors not less than 1-3/8 inches thick, or 20-minute fire-rated doors. Doors shall be self-closing and self-latching (CRC R302.5.1). [Note see exception when fire sprinklers are installed].
33. New or altered attached garages shall be provided with ½-inch gypsum board for fire separation on walls supporting floor/ceiling assemblies, on walls adjacent to habitable space or attics or if located less than 3 feet from a dwelling on the same lot. Where habitable rooms are located above a garage or carport, 5/8-inch gypsum board shall be installed on the garage ceiling and the walls or columns supporting the ceiling assembly must be protected with ½-inch gypsum board (CRC R302.6).
34. New garage floor surfaces shall be of approved noncombustible material. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway (CRC R309.1).

PLUMBING AND MECHANICAL

35. All hot water piping shall be insulated in accordance with CPC 609.11 and Energy Code 120.3.
36. Plumbing cleanouts in underfloor piping shall be extended to or above the floor or extended outside the building crawlspace unless installed pursuant to all of the requirements of CPC 707.9.
37. All new toilets, urinals, showerhead and interior faucets must be water conserving fixtures (i.e. 2.0 GPM max. shower heads; 1.2 GPM max lavatory faucets; 1.8 GPM max. kitchen faucets; 1.28 gal. per flush water closets).
38. All Noncompliant Existing Plumbing Fixtures as defined in CA Civil Code 1101.1-1101.8, and installed in homes built and available for use prior to January 1, 1994 must be converted to water conserving fixtures [see Noncompliant Existing Plumbing Fixtures Declaration form for exceptions and additional information].
39. Where less than 18 inches of clear height (including ducts and piping) is provided under a new floor, cleanouts shall be extended above the floor or outside of the building. No new or altered underfloor cleanout shall be located more than 20 ft. from an underfloor access door (CPC 707.9).
40. Water closets in new or altered bathrooms shall be located at least 15 inches from a side wall or obstruction and within a space not less than 30 inches in width with 24 inches minimum clearance in front of the toilet. New or altered bathroom doors should not swing into the required clear space (CPC 407.7).
41. Shower compartments and walls above bathtubs with shower heads installed shall be finished with a smooth, nonabsorbent surface to a height of not less than 72 inches above the floor (CRC R307.2). Provide curtain rod or approved enclosure.
42. Shower floor area shall be not less than 1024 sq. inches and not less than 30 inches diameter.
43. Shower control valves and showerheads shall be arranged so that the bather can adjust the valves prior to stepping into the shower spray. (CPC 408.9)
44. New or altered hose bib type faucets shall be provided with approved non-removable backflow prevention devices. (CPC 603.5.7)
45. Provide pressure relief valve with drain to outside for new or relocated water heaters (CPC 608.5).
46. Provide seismic strapping for tank type water heaters (CPC 507.2).
46. New enclosures for gas water heater and/or furnace located within or adjacent to conditioned space shall be provided with a fully weather-stripped, 24-inch minimum wood door and insulated walls. 30 inches of clear unobstructed working space is required along the entire front of the firebox for servicing of the equipment. (CMC 304.1 & Energy Code 150)
47. A gas supply of at least 200,000 Btu/hr shall be provided for all new tank type gas water heaters (Energy Code 150(n)).
48. No wood burning devices (i.e. wood heater, fireplace, etc.) may be installed in new building construction (within buildings). No fireplace or chimney alteration with a cost greater than \$15,000 shall be made unless a gas-fired, electric or EPA Certified device is installed. (BAAQMD Regulation 6 Rule 3)
49. A heating system is required to maintain 68 degrees at 3 feet above floor level and 2 feet from exterior walls in all habitable rooms (R303.9).
50. New or altered space heating, space cooling, water heating, fenestration and insulation shall be installed in accordance with the approved energy documentation and comply with the CA Energy Code.
51. Gas appliance enclosures shall be provided with COMBUSTION AIR openings in accordance with CMC Chapter 7.
52. Gas water heaters and furnaces are not allowed in an area opening into a bedroom or bathroom unless the requirements of CPC 504.1 and CMC 904.1 are met.
53. Vent dryer to the outside of the building, not to the underfloor area. New or altered dryer exhaust ducts shall not exceed a total combined horizontal and vertical length of 14 ft., including two 90-degree elbows. 2 ft. shall be deducted for each elbow in excess of two (CMC 504.4.2.1).
54. New and altered appliances installed in attics shall have the following (CMC 304.1 and CMC 904.10):
- Approved listing for attic installation.
 - 30 inch x 30 inch attic access and passageway to equip.
 - 24-inch-wide solid walkway from attic access to appliance.
 - 30-inch solid working platform in front of servicing locations.
 - A permanent electrical receptacle and high efficiency lighting fixture with a vacancy sensor near the appliance location. (CMC 904.10.4)
 - Water heaters and cooling units shall be provided with a water-tight construction-resistant 1.5 inch minimum height metal pan with a condensate drain to the exterior of the building. (CMC 312.2)
55. For newly constructed residential buildings and for additions over 1,000 square feet of conditioned floor area, show the method of required continuous, airtight mechanical whole-building ventilation to comply with ASHRAE 62.2
56. Each new or altered kitchen and bathroom must have a local ventilation exhaust fan that exhausts indoor air to the exterior. Exhaust fans in bathrooms must be controlled by a humidistat unless part of the whole building ventilation system (CSG 4.506.1). Window operation is not allowed as a permissible method for providing the required ventilation. [Energy-Section 150(n) and CRC R303.3.1]. [See ASHRAE 62.2 for more requirements.]
57. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum 16 ga. gauge sheet steel or other approved material and shall have no openings into the garage (CRC R302.5.2).
58. New or altered appliances and receptacles installed in garages and carports generating a glow, spark, or flame shall be located 18 inches min. above the floor. Provide protective bollard or other impact barrier (i.e. 3 inch dia. steel pipe filled with concrete) when subject to vehicular damage (CMC 308.1).



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