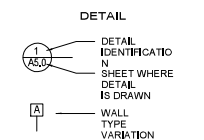


| | |
|---------|--------------------|
| A.F.F. | ABOVE FINISH FLOOR |
| AL/ALUM | ALUMINUM |
| ANG | ANGLE |
| APPROX | APPROXIMATE |

| | |
|------|------------|
| DET | DETAIL |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DWG | DRAWING |
| EA | EACH |
| ELEV | ELEVATION |
| ELEC | ELECTRICAL |
| EQ | EQUAL |
| EXH | EXHAUST |
| (E) | EXISTING |
| EXT | EXTERIOR |
| EXP. | EXPANSION |

BUILDING SECTION



OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA



LAWRENCE E. STONE - AGGESSOR
Catholic inq for assessment purposes ely
Compiled under R. & T. Code, Sec. 27
Effective Fall Year 2020-2021

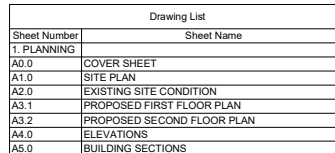
GENERAL NOTES

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS
AND SERVICES REQUIRED TO COMPLETE ALL WORK SHOWN OR IMPLIED, BUT NOT LIMITED
2. TO THE FOLLOWING: 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA
ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE AND AMENDMENTS,
2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA
ELECTRICAL CODE, 2019 CALIFORNIA FIRE CODE, AND 2019 CALIFORNIA RESIDENTIAL
3. 2019 TIT 24 BUILDING CODE, 2019 CALIFORNIA ENGINEERING AND ARCHITECTURAL BUILDING
CODES, ORDINANCES, AND REGULATIONS AS ADOPTED BY THE CITY OF SANTA CLARA.
DIMENSIONS ON DRAWINGS ARE SHOWN TO CENTERLINE OF COLUMNS AND TO FACE OF
4. WALLS OR PARTS THEREOF, UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE,
DETAILS NOTED AS "TYPICAL" SHALL APPLY AT ALL SIMILAR CONDITIONS UNLESS
OTHERWISE NOTED.
5. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS
AND CONDITIONS ON THE JOB SITE PRIOR TO COMMENCING WORK AND SHALL REPORT
ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO START OF
CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND
PROCEDURES EMPLOYED IN THE PERFORMANCE OF WORK ON OR ABOUT THE JOB SITE.
THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY
7. SUBCONTRACTORS.
THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE.
8. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE
THE STABILITY OF THE STRUCTURE DURING ALL STAGES OF CONSTRUCTION.
9. WHETHER OR NOT DETAILED ON DRAWINGS, THE CONTRACTOR SHALL PROVIDE AND
INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, AND SUPPORTING BRACKETS
NECESSARY FOR THE STRUCTURE TO BE STABLE DURING ALL STAGES OF CONSTRUCTION
10. OF SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT.
CONTRACTOR TO VERIFY THAT SMOKE DETECTORS ARE INSTALLED ON ALL BEDROOMS,
11. BATHS, ALWAYS COMMON TO ALL BEDROOMS, AND AT SECOND FLOOR CEILING ABOVE
STAIRS.
12. CONTRACTOR TO INSTALL ALL FIXTURES, AND FINISHES PER OWNER'S SELECTION OF
MATERIALS AND COLOR. ALL INSTALLATIONS SHALL BE PER MANUFACTURER'S STANDARD
13. INSTALLATION.
14. THE TEMPORARY LABEL (NRC) WHICH STATES THE LISTED ULVALUE FOR ALL
PENETRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION,
15. AND THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR IN THE FIELD.

1. EXTEND LIVING ROOM ON THE GROUND FLOOR 200 S.F. OF AREA
2. ADD SECOND FLOOR TO THE EXISTING ONE STOREY STRUCTURE
3. IMPLEMENT CALGREEN MEASURES AS ADOPTED BY THE CITY OF SATI CLARA
4. INSTALL ALL ASSOCIATED MECHANICAL, PLUMBING & ELECTRICAL AND OTHER REQUIRED UTILITY HOOK-UPS.

SITE ☐ ☐ ☐ ☐

3066 HARDING AVENUE
SANTA CLARA, CA 95051



PROJECT TITLE: PROPOSED SECOND FLOOR ADDITION & ALTERATION
PROJECT ADDRESS: 3068 Harding Avenue
Santa Clara, CA 95051
PROJECT OWNER: Ravindranath & Pallavi Chennou
3068 Harding Avenue
Santa Clara, CA 95051

| | |
|---------------------------------------|---|
| APN: | 296-37-003 |
| ZONING: | R1-6L |
| OCCUPANCY: | R-3 / U |
| TYPE OF CONSTRUCTION: | V-B |
| FIRE SPRINKLER SYSTEM: | TO BE INSTALLED SEPARATE PER THE FIRE DEPT. |
| NUMBER OF STORIES (Existing 1 Story): | 2 STORY (proposed) |
| EXISTING SITE AREA: | 5,500 S.F. |
| EXISTING FIRST FLOOR LIVING SPACE: | 1,240 S.F. (A) |
| EXISTING ATTACHED GARAGE: | 397 S.F. (B) |

| | |
|-------------------------------------|-----------------|
| PROPOSED NEW LIVING SPACE ADDITION: | 1,281 S.F. (C) |
| FIRST FLOOR ADDITION: | 210 S.F. (C1) |
| SECOND FLOOR ADDITION: | 1,071 S.F. (C2) |

| | |
|------------------------------------|----------------|
| PROPOSED TOTAL LIVING SPACE: (A+C) | 2,511 S.F. (D) |
| PORCH: (OPEN ON 2 SIDES) | 42 S.F. |
| BALCONY ADDITION: | 119 S.F. |

| | |
|---|----------------------|
| TOTAL BUILDING FOOTPRINT: (A+B+C1) | 1,847 S.F. (E) |
| RATIO OF 2nd FLOOR TO 1st FLOOR: (C2 / E) | 1071 / 1847 = 57.98% |
| NEW LOT COVERAGE: 1847 / 5500 = (max. building coverage allowed = 40%) | 33.6% |

MAXIMUM BUILDING HEIGHT: 25' - 0"
FOR SETBACK, SEE SITE PLAN:

3066 HARDING AVENUE
SANTA CLARA, CA 95051

[illegible]

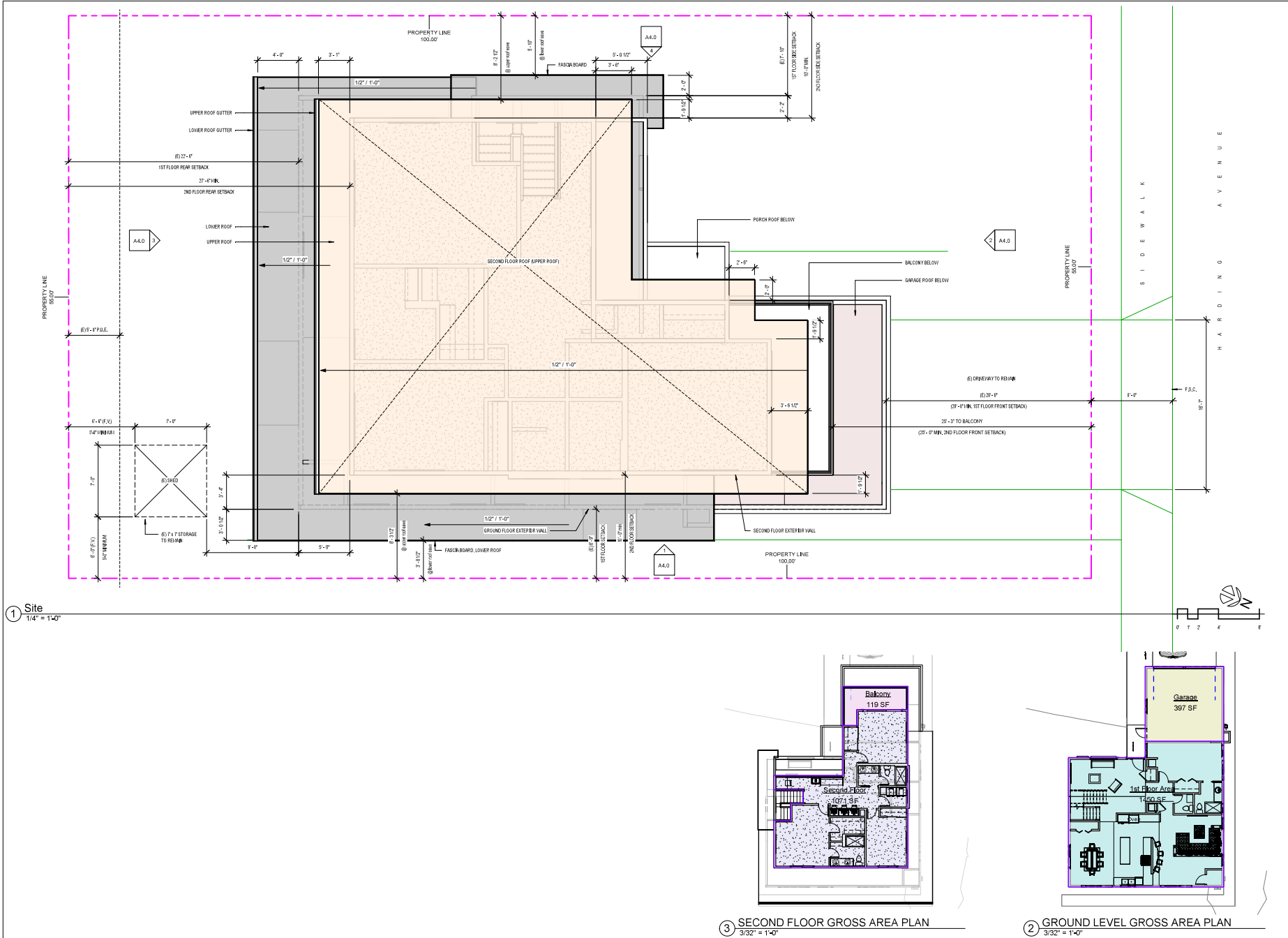
Designer:

Felix Lorenzo

Drawing Title
COVER SHEET

| | |
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| Date | 11/02/2021 |
| Scale | 12" = 1'-0" |
| Drawn by | FFL |
| Job No. | Project Number |
| Sheet number | |

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| REVISIONS | | |
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| No. | Description | Date |
| A | Planning Review | 11/29/2021 |
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Designer: **Felix Lorenzo**

Drawing Title: **SITE PLAN**

Date: 11/02/2021

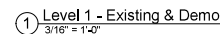
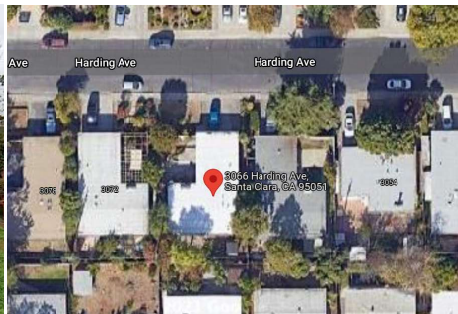
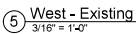
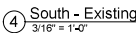
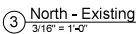
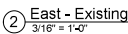
Scale: As indicated

Drawn by: FFL

Job No.: Project Number

Sheet number

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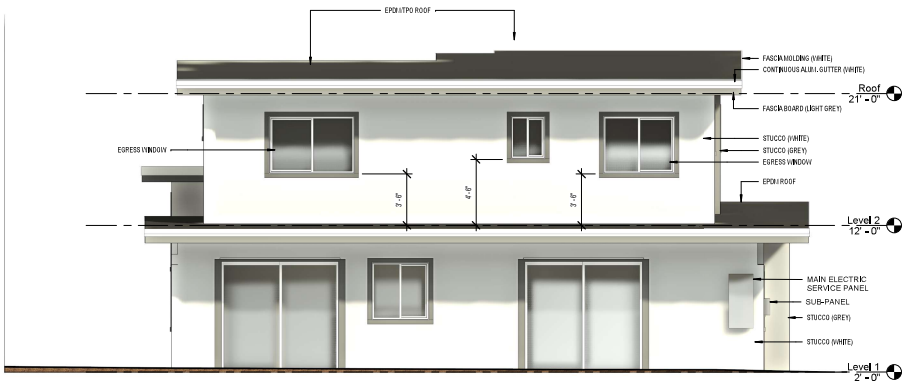




⑥ 3D View 3



① East Elevation
1/4" = 1'-0"



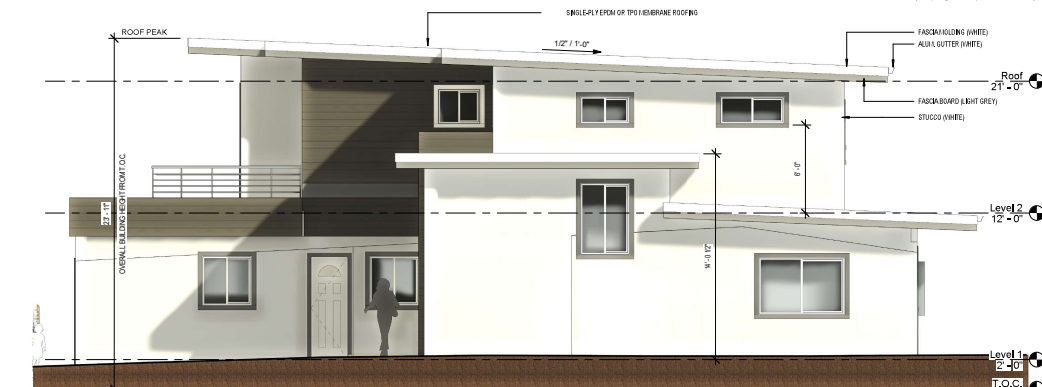
③ South Elevation
1/4" = 1'-0"



② North Elevation
1/4" = 1'-0"



⑦ 3D View 11



④ West Elevation
1/4" = 1'-0"

RAVINDRANATH & PALLAVI CHENNOJU RESIDENCE
 3066 HARDING AVENUE
 SANTA CLARA, CA 95051

| REVISIONS | | |
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| No. | Description | Date |
| A | Planning Review | 11/29/2021 |
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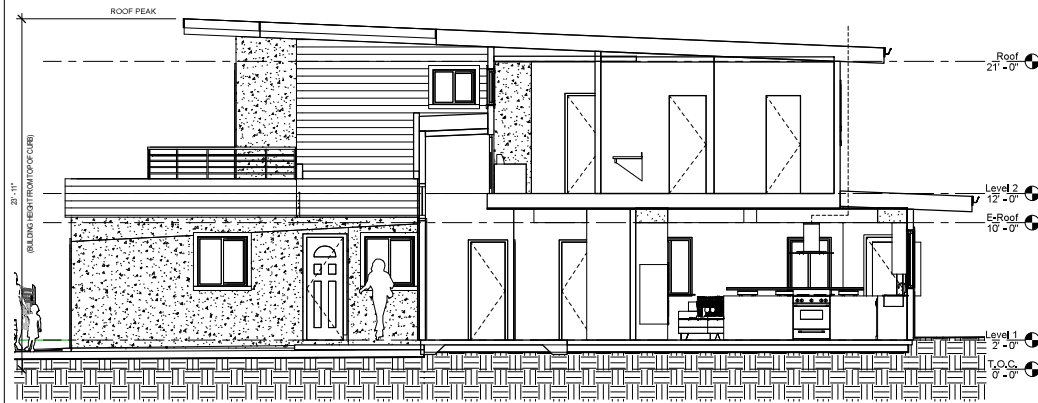
Designer: _____
 Felix Lorenzo

Drawing Title: _____
ELEVATIONS

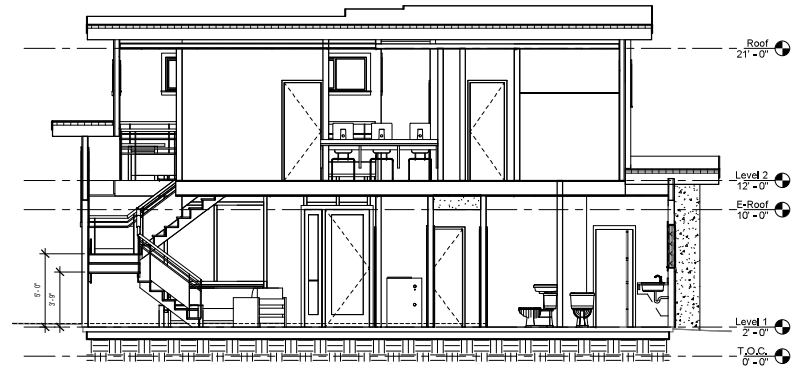
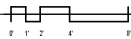
Date: 11/02/2021
 Scale: 1/4" = 1'-0"
 Drawn by: FFL
 Job No.: _____
 Project Number: _____

Sheet number: _____

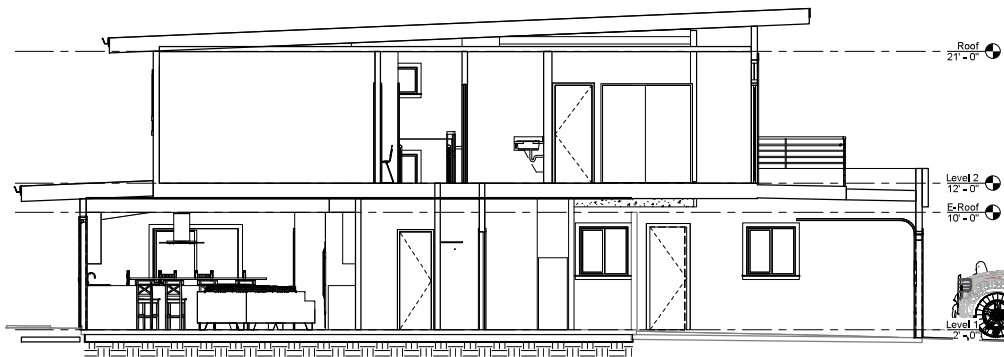
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② Section 2
1/4" = 1'-0"



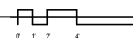
① Section 1
1/4" = 1'-0"



④ Section 4
1/4" = 1'-0"



③ Section 3
1/4" = 1'-0"



RAVINDRANATH & PALLAVI CHENNOJU RESIDENCE
 3066 HARDING AVENUE
 SANTA CLARA, CA 95051

REVISIONS

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Designer: Felix Lorenzo
 Drawing Title: **BUILDING SECTIONS**

Date: 11/02/2021
 Scale: 1/4" = 1'-0"
 Drawn by: FFL
 Job No.: Project Number
 Sheet number

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