

A REMODEL FOR Stephen & Beverlee Fradera



2523 Elliot Street Santa Clara, CA 95051

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOTIFY THE OFFICE OF MICHELLE MINER DESIGN AND REQUESTS ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MICHELLE MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MICHELLE MINER DESIGN PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MICHELLE MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MICHELLE MINER DESIGN.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

SCOPE OF WORK

ADD 1088 S.F. TO EXISTING LIVING SPACE
CONVERT 58 S.F. OF GARAGE TO LIVING
RAISE ALL WALLS TO 8' PLATE HEIGHT
MOVE AND REMODEL KITCHEN, MOVE BATHS
EXISTING HOUSE IS 4 BEDROOMS 2 BATHS
NEW HOUSE IS 5 BEDROOMS 4 BATHS

ANALYSIS

ASSESSOR'S PARCEL #	216-11-067
LOT AREA:	7579 S.F.
ZONING:	R1-6L
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
FLOOD ZONE	NO
HISTORIC	NO
EXISTING	
EXISTING LIVING:	1598 S.F.
EXISTING GARAGE:	498 S.F.
TOTAL EXISTING	2096 S.F.
PROPOSED	
EXISTING LIVING:	1598 S.F.
EXISTING GARAGE TO REMAIN:	440 S.F.
EXISTING GARAGE TO BE LIVING:	58 S.F.
NEW LIVING	1088 S.F.
TOTAL SQUARE FOOTAGE	3185 S.F.
ALLOWABLE COVERAGE	3181.6 S.F.

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GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MICHELLE MINER DESIGN PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN 1/8" 10'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE • LANDSCAPED AREA • SLOPE GRADE 2% MIN. • PAVED AREAS.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.G. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRILLPILE OF ANY ORCHARD OR PROTECTED TREES ON SITE.

ADDRESS MARKERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 4" WIDE PER CIRC R318.

DUCT OPENINGS TO BE COVERED AND PROTECTION OF MECHANICAL EQUIPMENT TO BE PROVIDED DURING CONSTRUCTION

VOC COMPLIANCE - CALCULUS, RESIDUES, ADHESIVES, SHALL BE COMPLIANT WITH PER LIMITS FOR ROG AND OTHER COMPOUNDS (TABLE 4.304.3)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.304.3)

ADHESIVES AND COATINGS SHALL BE COMPLIANT WITH PER LIMITS FOR ROG AND OTHER TOXIC COMPOUNDS

VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC EMISSION LIMITS PER CHPS

PARTICLEBOARD, MDP, HARDWOOD PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (TABLE 4.304.3)

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

BATHROOM EXHAUST FANS SHALL TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL.

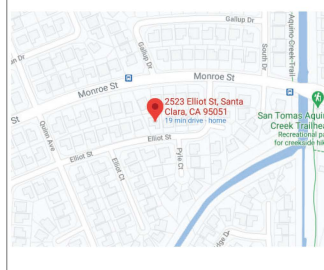
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CERTAIN PORTLAND CONCRETE MORTAR OR SIMILAR METHOD APPROVED TO THE ENFORCING AGENCY.

CONSTRUCTION WASTE MANAGEMENT:
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION
WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR
2. A CONSTRUCTION WASTE MANAGEMENT PLAN PER SECTION 4.408.3. OR
3. A WASTE MANAGEMENT COMPLIANT PER SECTION 4.408.3. OR
4. THE WASTE STREAM REDUCTION ALTERNATIVE PER SECTION

OPERATION AND MAINTENANCE MANUAL

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

VICINITY MAP



APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

- 2019 CALIF. FIRE CODE
- 2019 CALIF. BLDG CODE
- 2019 CALIF. RESIDENTIAL CODE
- 2019 CALIF. PECH CODE
- 2019 CALIF. PLUMBING CODE
- 2019 CALIF. ELEC. CODE
- 2019 CALIF. ENERGY CODES
- 2019 CALIF. GREEN BUILDING CODES
- ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

PERSONAE

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REVISIONS

REV # DATE BY

DESIGNER'S SIGNATURE

Michelle Miner

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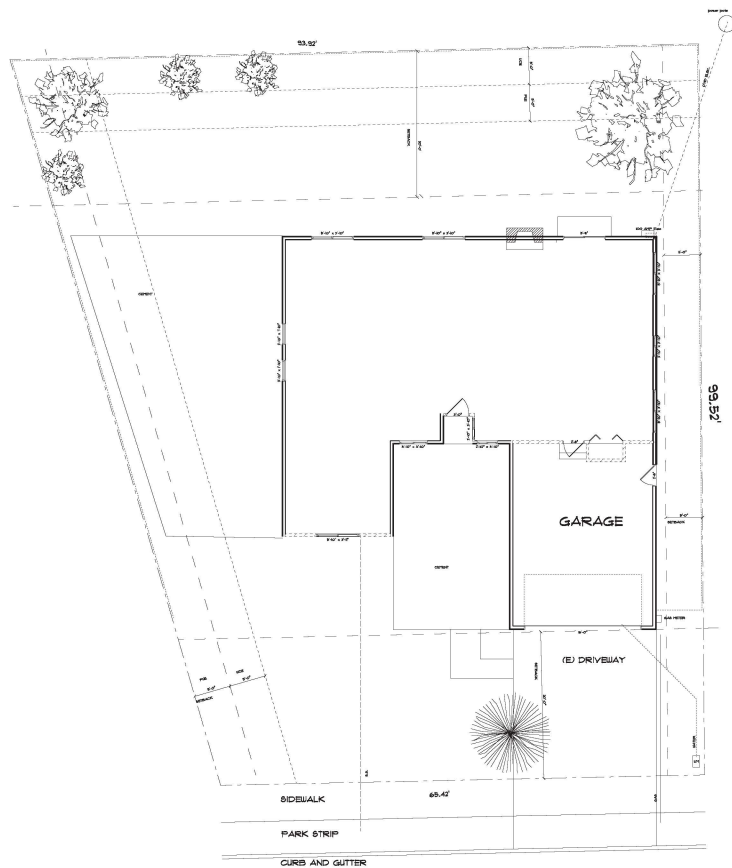
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INDEX - VICINITY MAP - ANALYSIS



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

SITE PLAN NOTES

SITE GRADING AND PAVING WILL MAINTAIN SURFACE WATER AWAY FROM BUILDING.

EXISTING PUBLIC RIGHT OF WAY - ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY THAT CAUSE AN APPROVED THREAT TO THE CONSTRUCTION IN THE PUBLIC STREET PRIOR TO THE COMPLETION OF THE WORK - THE RESPONSIBILITY FOR THIS WORK IS NOT ASSUMED BY THE BUILDING PERMIT ISSUING AGENCY BUT SHALL BE THE RESPONSIBILITY FOR THE PROPERTY OWNER.

WATER METER - CONTRACTOR TO COORDINATE IN 1' PETER WITH LOCAL WATER COMPANY. IF REQUIRED BY INCREASED FUTURE LOAD.

ELECTRICAL METER LOCATION - CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY TO BE ELECTRICAL SERVICE IF APPLICABLE.

UPPER GROUND CONNECTION PER CEC 90-83 IF APPLICABLE.

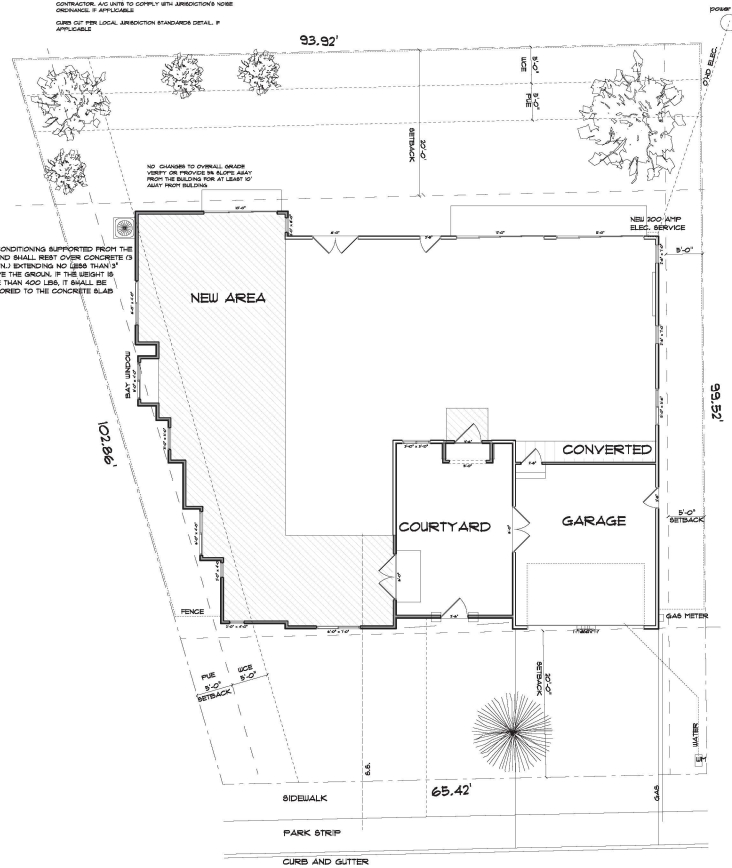
(A) TREES TO REMAIN - PROTECTED AS REQUIRED DURING CONSTRUCTION. DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. REMOVAL OF TREES OR REMOVAL OF EXISTING MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IF PROVIDED FOR ADDITIONAL INFORMATION.

HARDSCAPE SLOPE AWAY FROM HOME AT 2% MIN.

NO NEW PERMITS SHALL BE REQUIRED PER CEC 90-83 & 90-84 IF THE FOLLOWING ARE PROVIDED:

(A) ALL NEW CONSTRUCTION SHALL PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH LOCAL CONTRACTOR. ALL WATS TO COMPLY WITH JURISDICTION'S CODES. (B) CONTRACTOR TO PROVIDE FOR ADDITIONAL INFORMATION.

GAZEBO DETAIL PER LOCAL JURISDICTION STANDARDS DETAIL. IF APPLICABLE.



NEW SITE PLAN

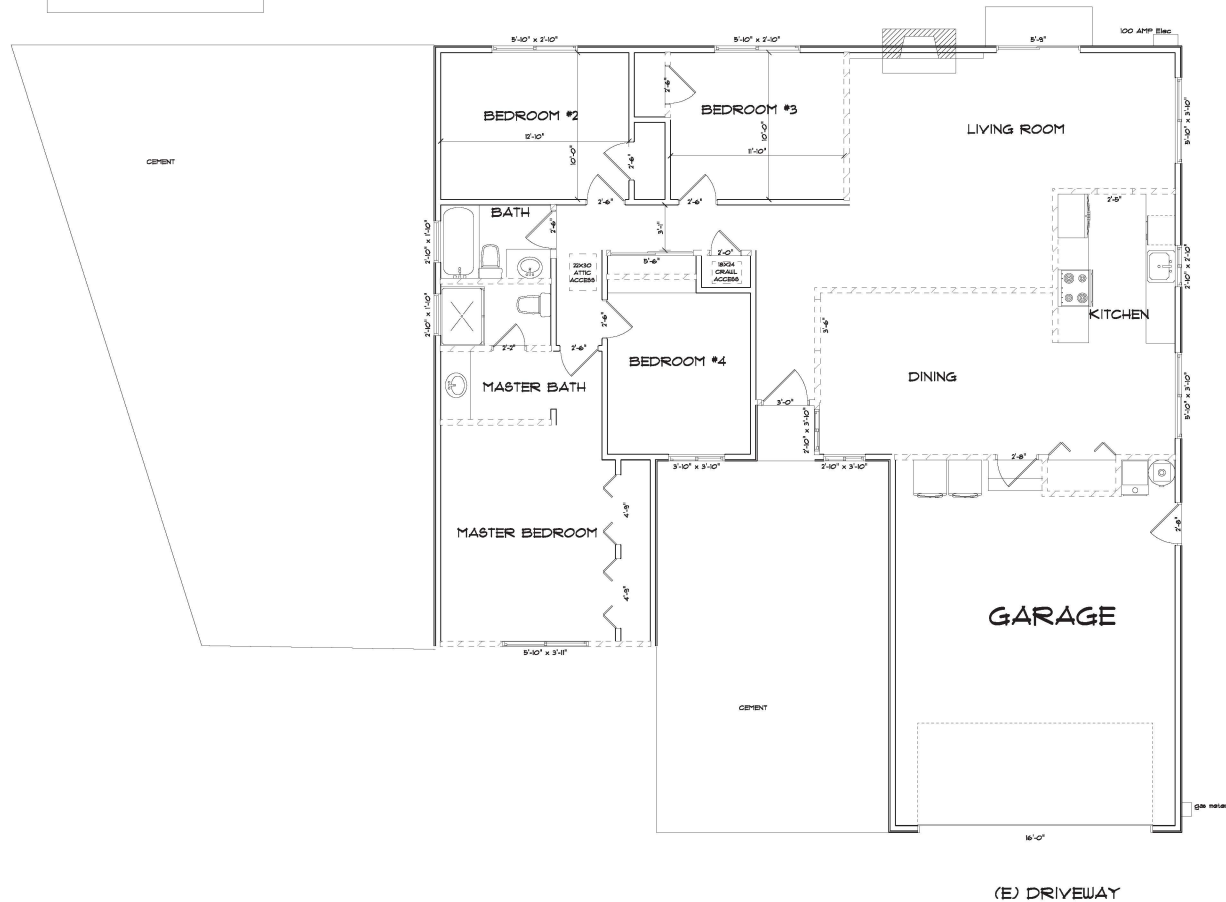
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<i>Michelle Miner</i>		
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DRAWN PM CHECKED PM DATE 5/8/2021 SCALE AS SHOWN JOB NO. PAGE 2/8 SITE PLANS		

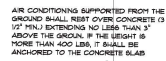
LEGEND

EXISTING WALLS

WALLS TO BE REMOVED



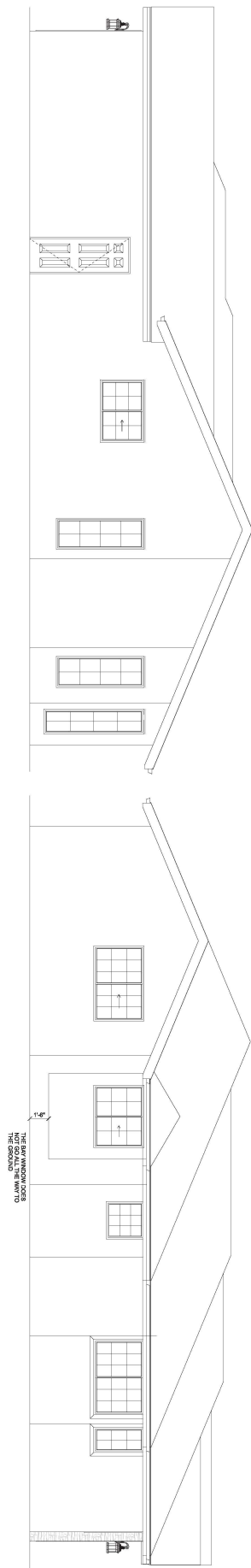
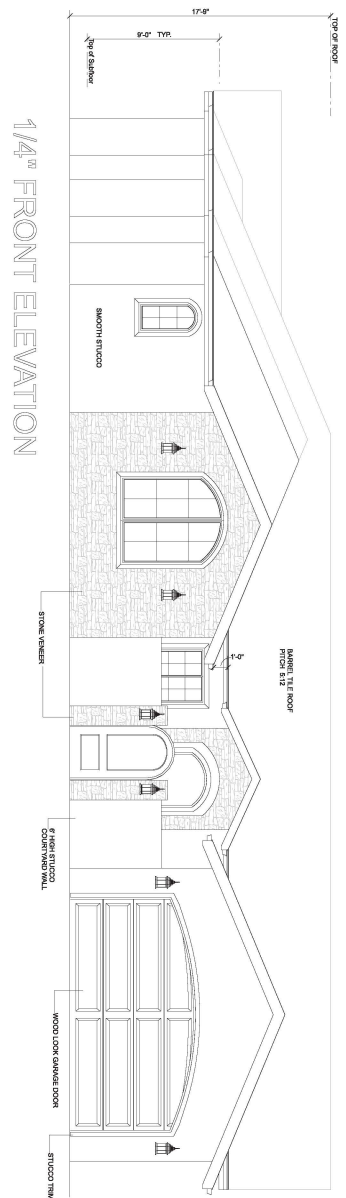
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DRAWN: MM CHECKED: MM DATE: 8/8/2011 SCALE: AS SHOWN JOB NO.:		
PAGE: 5/8 EXISTING FLOOR PLAN		



THE BAY WINDOW DOES NOT GO ALL THE WAY TO THE GROUND

NO CHANGES TO OVERALL GRADE
VERIFY OR PROVIDE 5% SLOPE AWAY
FROM THE BUILDING FOR AT LEAST 10'
AWAY FROM BUILDING

NEW FLOOR PLAN



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REV.	DATE	BY

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EXTERIOR ELEVATIONS

