

723 SCOTT BLVD ADDITION & REMODEL

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
CALIFORNIA BUILDING CODE, 2019 EDITION
CALIFORNIA RESIDENTIAL CODE, 2019 EDITION
CALIFORNIA PLUMBING CODE, 2019 EDITION
CALIFORNIA MECHANICAL CODE, 2019 EDITION
CALIFORNIA ELECTRICAL CODE, 2019 EDITION
2019 CALIFORNIA REFERENCED STANDARDS CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
CITY OF SANTA CLARA MUNICIPAL CODE
COUNTY OF SANTA CLARA CODES AND ORDINANCES

DESCRIPTION OF WORK:

CONSTRUCT A 597 SQ FT ADDITION TO THE REAR OF THE RESIDENCE. REMODEL OF THE EXISTING RESIDENCE.

PROJECT DATA:

COUNTY: SANTA CLARA
APN#: 269-30-046
YEAR BUILT: 1947
ZONING: RT-6L
OCCUPANCY: R-3/U
CLIMATE ZONE: 4
TYPE OF CONSTRUCTION: V-B
SEISMIC CATEGORY: "D"
SPRINKLERS: NO
STORIES: 1
BEDROOMS: (E) 2 (N) 3
BATHROOMS: (E) 1 (N) 2
(E) RESIDENCE: 936 SQ FT
RESIDENCE ADDITION: 597 SQ FT
(N) LIVING AREA: 1533 SQ FT
LOT SF: 6,441 SQ FT

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S4 CUSTOM DETAILS

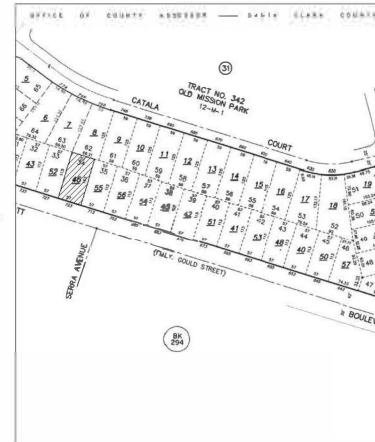
CONTRACTOR MUST RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 FOUND ON SHEET G1.0, OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE PRESCRIBED BY THE CITY OF SANTA CLARA OR COUNTY OF SANTA CLARA.

DRAFTER- CHRIS KLIMEN CAD SERVICES
CHRIS KLIMEN
510.928.1359

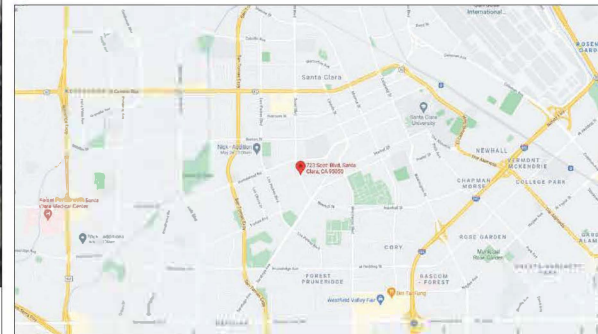
CIVIL ENGINEER- SLING ENGINEERING INC.
PETER SUNG
510.475.7800

ENERGY CONSULTANT - GREEN SOLUTIONS
EDUARDO TIJERINA
661.300.0690

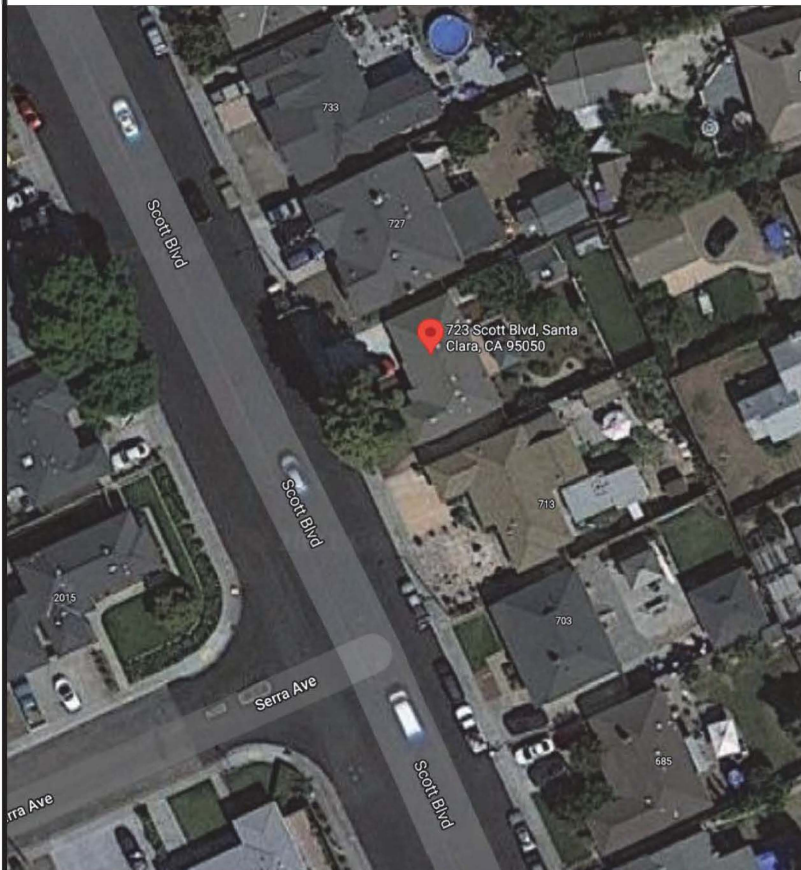
GENERAL CONTRACTOR - GREEN BAY REMODELING
ELAD BATTO
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ASSESSORS PARCEL MAP



VICINITY MAP



LOCAL MAP

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
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08/27/21	T-24 REVISIONS



ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

OWNER
PH - (415) 723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

Drawings by

Chris Klimen
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PH: 510.928.1359

Date: MAY 14 2021

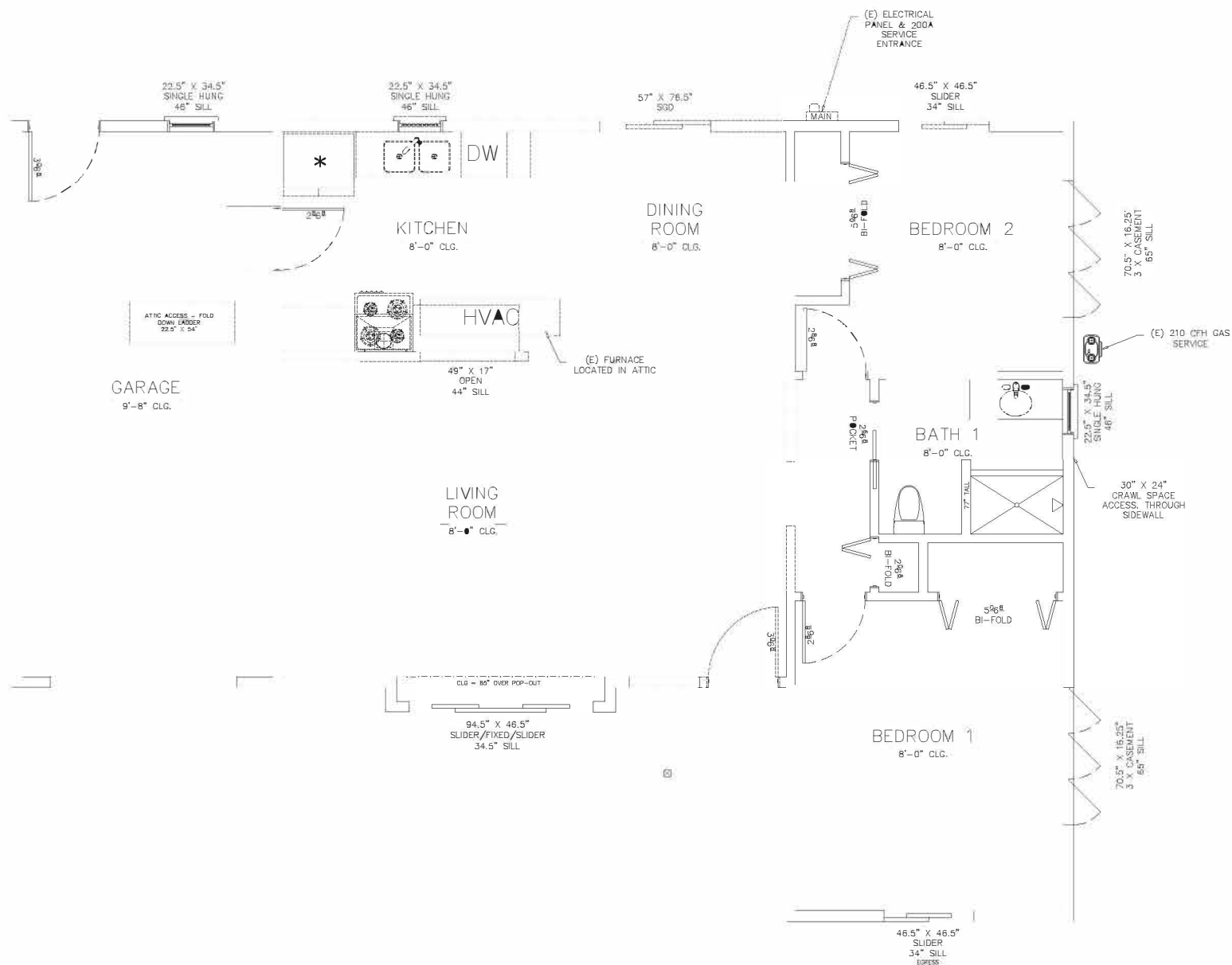
Project / Job # G0001421

Peter Christopher Klimen

SEAL: ILLU. SEAL BY PETER CHRISTOPHER KLIMEN
0001-1000-0001-0001

SITE DATA
SHEET INDEX

A0.1



(E) FLOOR PLAN & DEMOLITION PLAN
 SCALE: 1/2"=1'-0"

Revision History

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Drawn by:

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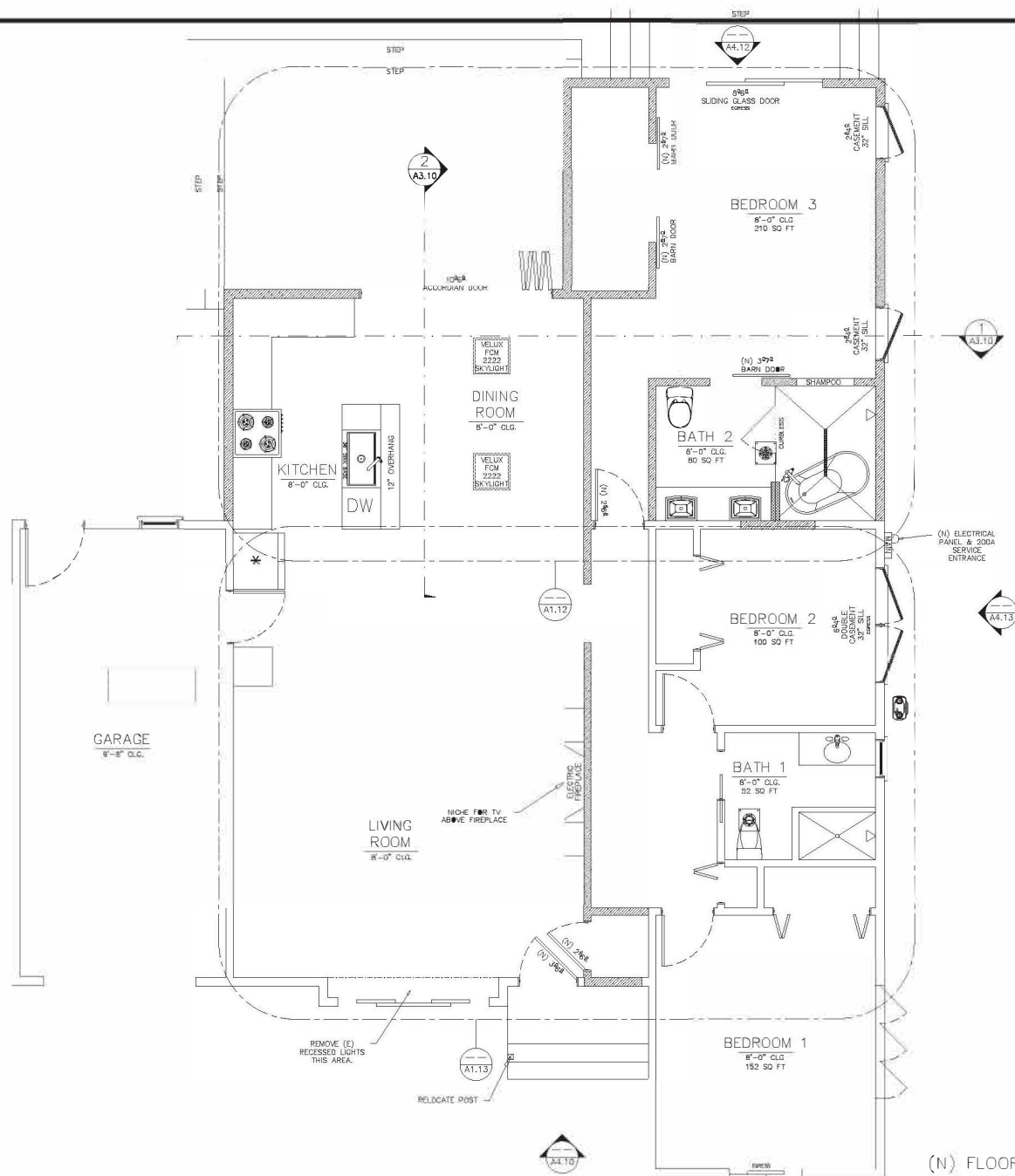
Project / Job # G0001421

Peter Christopher Klimen

DESIGNED BY PETER CHRISTOPHER KLIMEN
 DRAWING NUMBER 01A-11 DATE 09/27/21

EXISTING
 FLOOR PLAN
 & DEMOLITION
 PLAN

A1.10



(N) FLOOR PLAN
SCALE: 3/8"=1'-0"

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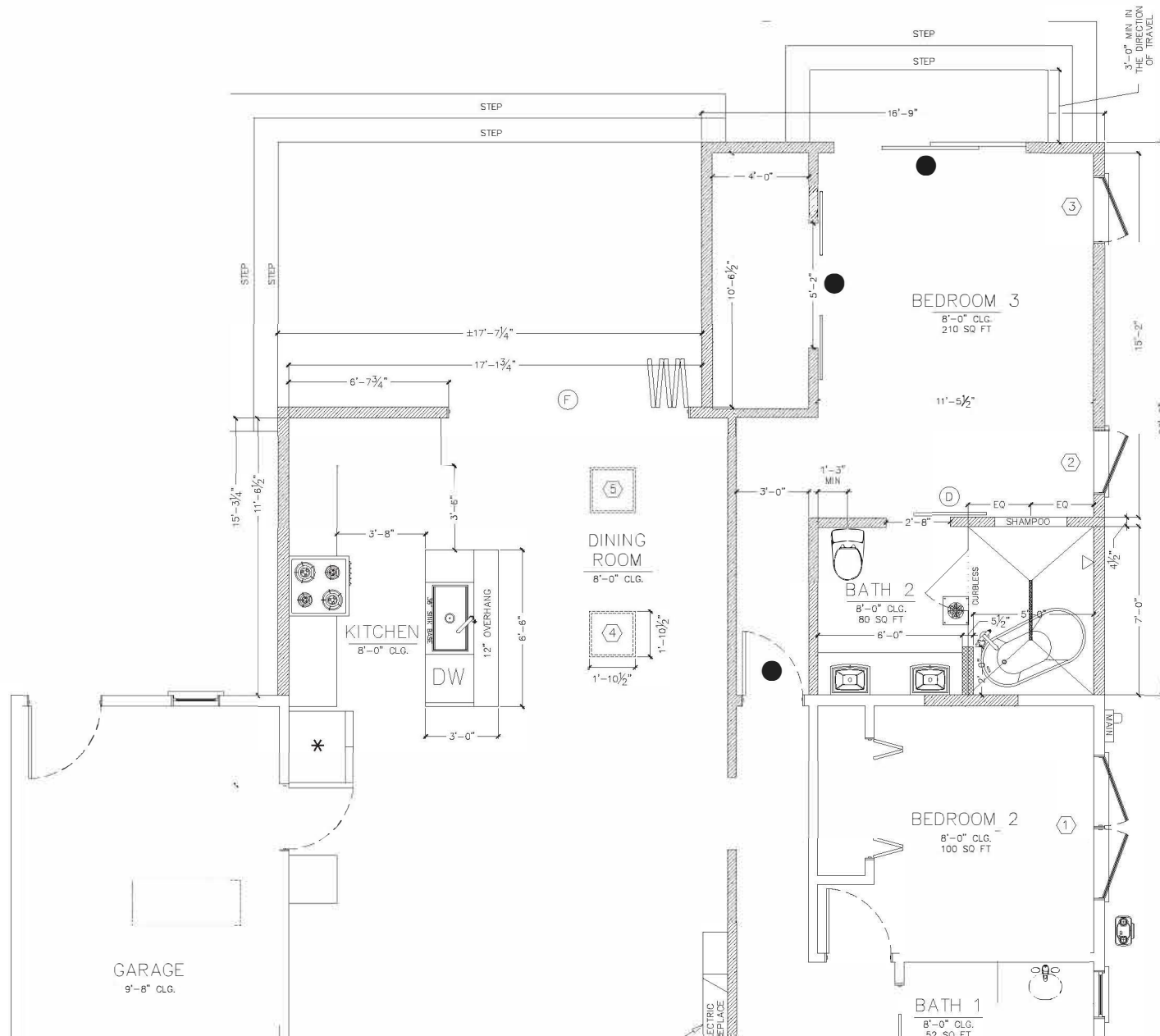
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Date: MAY 14, 2021
Project / Job #: GB061421

Peter Christopher Klimen
DESIGN/SHOWN BY: PETER CHRISTOPHER KLIMEN
DRAWN/CLIMEN@ATT.NET DATE: 09/27/21

PROPOSED FLOOR PLAN

A1.11



Revision History	
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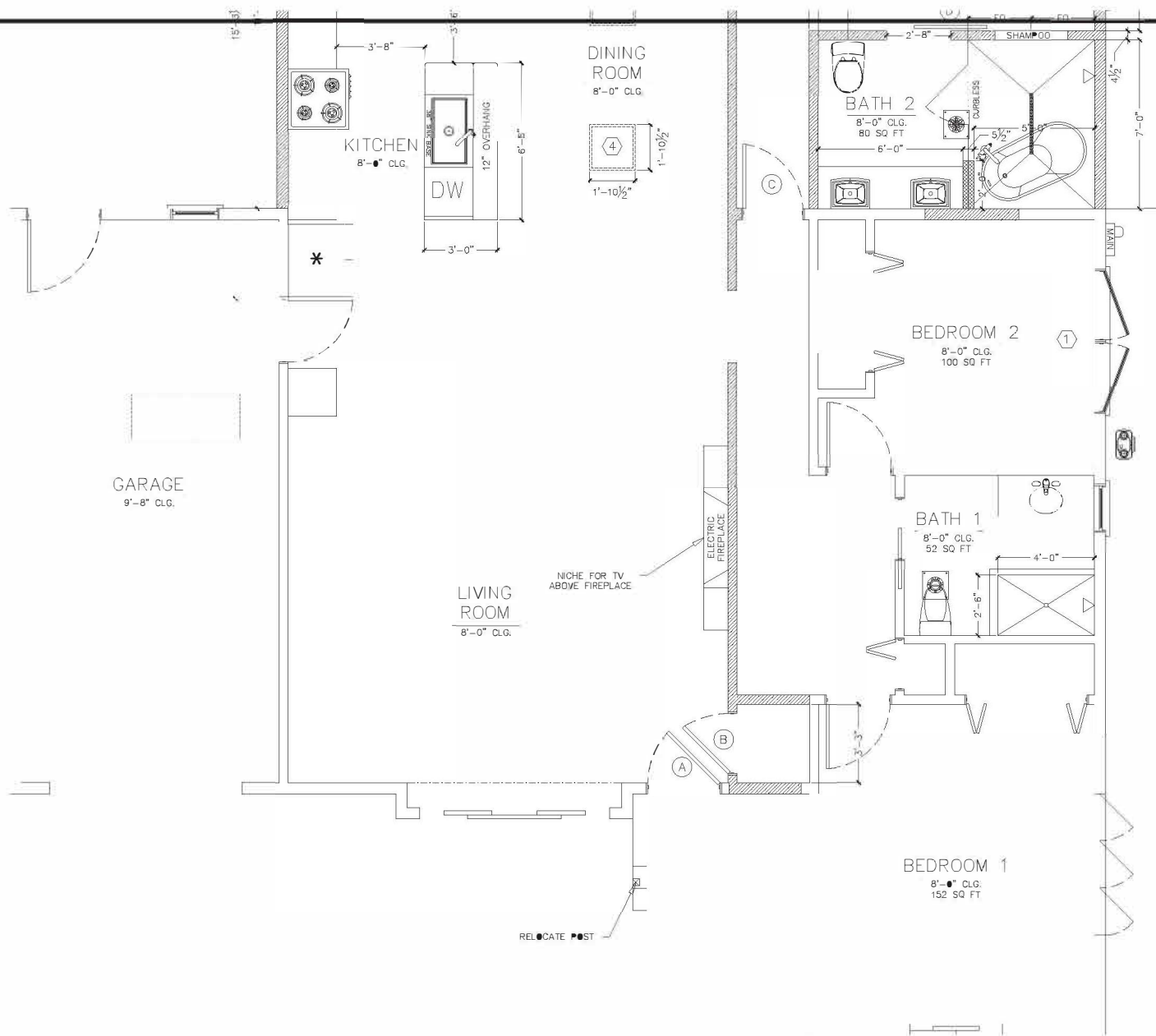
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 Project / Job #: GB061421
 Peter Christopher Klimen

 DIGITALLY SIGNED BY: PETER CHRISTOPHER KLIMEN
 P.KIMEN@GMAIL.COM DATE: 2021-05-14

ENLARGED
PROPOSED
FLOOR PLAN -
REAR

A1.12

(N) FLOOR PLAN
SCALE: 1/2"=1'-0"



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Project / Job # GB06

Peter Christopher Klimen
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EMAIL: KLIMEN@ATT.NET DATE: 2003.01

ENLARGED
PROPOSED
FLOOR PLAN -
FRONT

A1.13

(N) FLOOR PLAN
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE

MARK	ROOM	WIDTH	HEIGHT	TYPE	R.O. WIDTH	R.O. HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE SEE KEY	MANUFACTURER	NOTES
A	ENTRY	3'-0"	6'-6"	SWING							EXTERIOR GRADE
B	LIVING ROOM	2'-6"	6'-6"	SWING							
C	BEDROOM 3	2'-6"	6'-8"	SWING							
D	BEDROOM 3	3'-0"	7'-0"	BARN							
E	BEDROOM 3	5'-4"	7'-0"	BARN PAIR							
F	DINING ROOM	10'-0"	6'-8"	ACCORDION							TEMPERED/SAFETY GLASS
G	BEDROOM 3	8'-0"	6'-8"	SGD							TEMPERED/SAFETY GLASS

WINDOW SCHEDULE

MARK	ROOM	WIDTH	HEIGHT	TYPE	R.O. WIDTH	R.O. HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE COLOR	MANUFACTURER	NOTES
1	BEDROOM 2	6'-0"	4'-0"	DOUBLE CASEMENT							
2	BEDROOM 3	2'-8"	4'-0"	CASEMENT							
3	BEDROOM 3	2'-8"	4'-0"	CASEMENT							
4	DINING ROOM	1'-10 1/2"	1'-10 1/2"	SKYLIGHT						VELUX	MODEL: FCM 2222 TEMPERED/SAFETY GLASS
5	DINING ROOM	1'-10 1/2"	1'-10 1/2"	SKYLIGHT						VELUX	MODEL: FCM 2222 TEMPERED/SAFETY GLASS

KEY:

VERIFY DOOR & WINDOW SIZES BEFORE PLACING ORDER. FOLLOW MANUFACTURERS R.O. DIMENSIONS FOR ALL DOOR & WINDOW OPENINGS. NEW WINDOWS TO HAVE MAXIMUM U FACTOR & MAXIMUM SHGC VALUES AS SPECIFIED IN THE T-24 REPORT.

BP	BI-PASS	T	TEMPERED/SAFETY GLASS	SL	SLIDER
BF	BI-FOLD	TS	OVERHEAD SECTIONAL	SGD	SLIDING GLASS DOOR
SC	SOLID CORE	OS	OBSCURE	SH	SINGLE HUNG
HC	HOLLOW CORE	E	EXISTING TO REMAIN	DBLH	DOUBLE HUNG
THR	THR RATED FIRE DOOR	FR	FRENCH DOOR	AW	AWNING
	W/SELF CLOSING HINGES	SW	SWING	BISL	BIDIRECTIONAL SLIDER

SAFETY GLAZING IS REQUIRED FOR AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:

• WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.

• WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

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Date: MAY 14, 2021

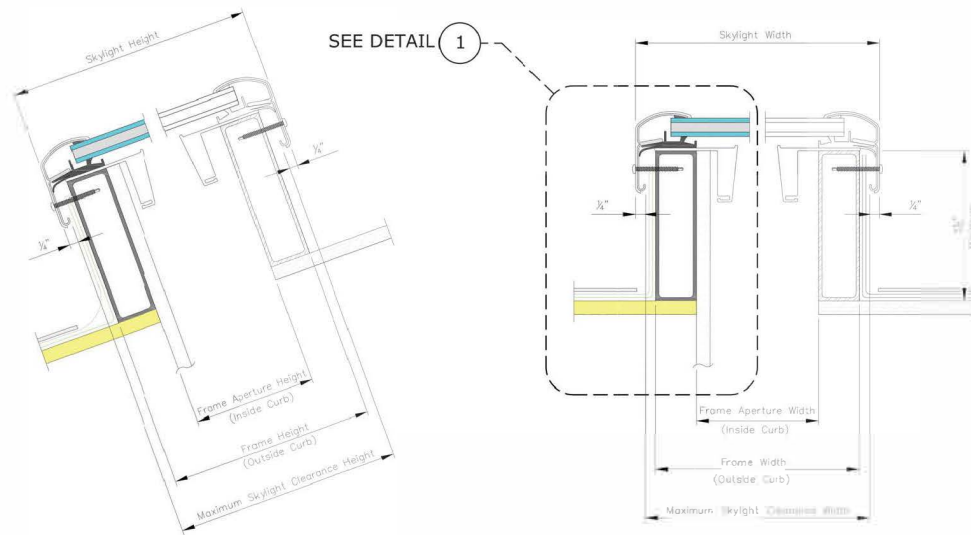
Project/Job#: G0001421

Frederick Christopher Klimen

REGISTERED ARCHITECT - STATE OF CALIFORNIA
 (00000000) (00000000) (00000000)

DOOR &
 WINDOW
 SCHEDULE

A1.15



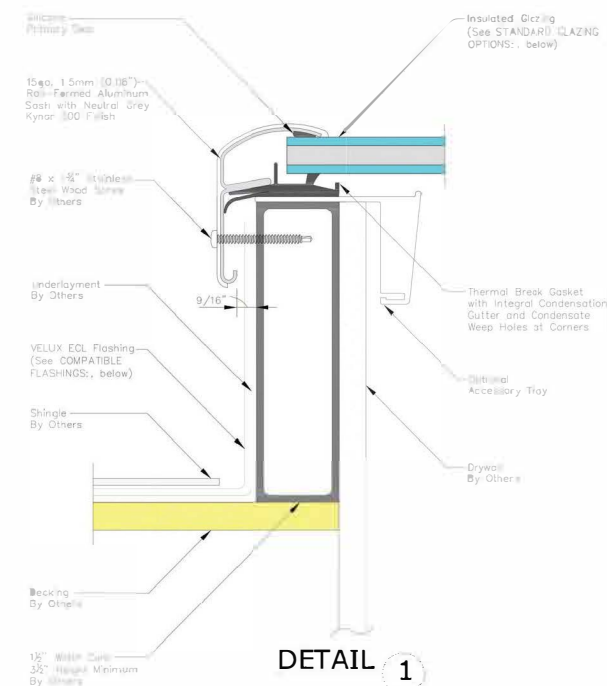
VERTICAL CROSS SECTION

HORIZONTAL CROSS SECTION

PRODUCT DIMENSIONS									
METRIC UNITS (MM) (METERS)					IMPERIAL UNITS (INCHES)				
Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Height	Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Height
1430	445	368	465	893	55 1/2	14 1/2	11 3/4	18 1/2	35 3/8
1446	445	368	485	913	57 1/8	14 1/2	11 3/4	19 1/8	36 1/8
2232	648	532	688	1273	25 1/2	25 1/2	21 1/2	27 1/2	50 3/8
2234	648	532	688	1273	25 1/2	25 1/2	21 1/2	27 1/2	50 3/8
2234	648	532	688	1273	25 1/2	25 1/2	21 1/2	27 1/2	50 3/8
2246	648	532	688	1273	25 1/2	25 1/2	21 1/2	27 1/2	50 3/8
2270	648	532	688	1273	25 1/2	25 1/2	21 1/2	27 1/2	50 3/8
3030	831	775	882	1587	32 3/4	32 3/4	28 1/4	34 1/4	64 5/8
3046	831	775	882	1587	32 3/4	32 3/4	28 1/4	34 1/4	64 5/8
3055	831	775	882	1587	32 3/4	32 3/4	28 1/4	34 1/4	64 5/8
3434	952	876	994	1881	37 1/2	37 1/2	32 1/2	39 1/2	74 3/8
3446	952	876	994	1881	37 1/2	37 1/2	32 1/2	39 1/2	74 3/8
4822	1297	1181	1392	2564	51 1/8	51 1/8	44 1/8	52 1/8	106 1/8
4816	1297	1181	1392	2564	51 1/8	51 1/8	44 1/8	52 1/8	106 1/8
4816	1297	1181	1392	2564	51 1/8	51 1/8	44 1/8	52 1/8	106 1/8

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DETAIL 1

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04 and 14)
- Tempered LowE3 (05 and 15)
- Impact (06 and 16)
- White Laminated (08)

*Tempered Exterior Pane used with all options

COMPATIBLE FLASHINGS:

- ECL Step flashing
- ECWT tie flashing

VELUX
Sky-Global Product Management
FCM - Fixed Curb Mounted Skylight

VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1-800-98-VELUX
www.VELUXUSA.com

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Revision History

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ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

OWNER:
PH - O
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

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PH: 510.928.1359
Date: MAY 14 2021
Project/Job#: G0001421
Peter Christopher Klimen
DESIGN/ISSUED/ATT.NET DATE: 05/27/21

SKYLIGHT DETAILS

A1.16



(E) ROOF PLAN
SCALE: 3/8"=1'-0"

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PH: 510.928.1359

Date: MAY 14, 2021
Project / Job #: GB061421

Peter Christopher Klimen
DESIGN DRAWN BY: PETER CHRISTOPHER KLIMEN
EMAIL: PKLIMEN@ATT.NET DATE: 05/27/21

EXISTING
ROOF PLAN

A2.10



ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
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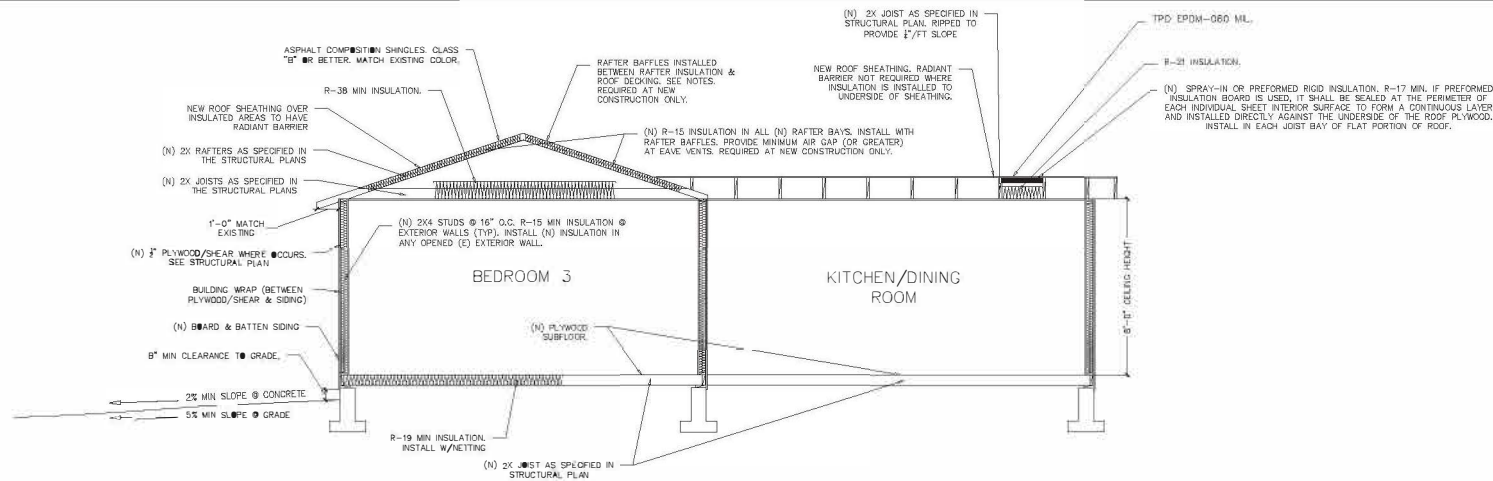
DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE=2002/01

PROPOSED
ROOF PLAN

A2.11

(N) ROOF PLAN
SCALE: 3/8"=1'-0"



CONSTRUCTION NOTES:

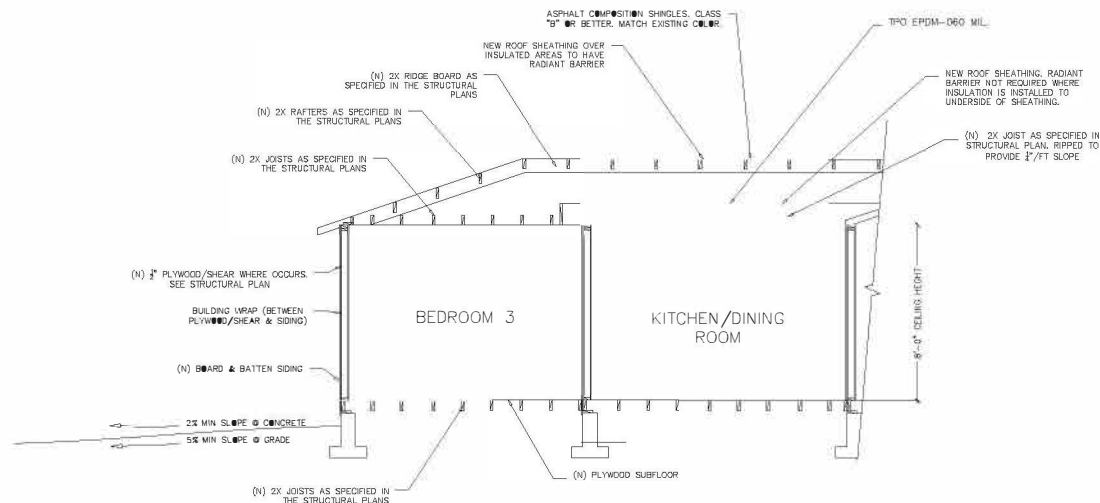
- (N) BOARD & BATTEN SIDING, INSTALL PER MANUFACTURERS INSTRUCTIONS.
- (N) ROOFING @ SLOPED ROOF TO BE COMPOSITION OF CLASS 'B' OR BETTER, COLOR TO MATCH EXISTING.
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I, ASTM D4868 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. UNDERLAYMENT SHALL BE APPLIED SINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 8 FEET.
- (N) ROOFING @ FLAT ROOF TO BE TPO 60-MIL SLOPE ROOF WITH SHEET INSULATION SUITABLE FOR ROOFING INSTALLATIONS TO PROVIDE 1" PER FOOT MINIMUM SLOPE.
- NEW ROOF SHEATHING OVER INSULATED AREAS TO HAVE RADIANT BARRIER. RADIANT BARRIER NOT REQUIRED WHERE INSULATION IS INSTALLED TO UNDERSIDE OF SHEATHING.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR, NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
- INSTALL OWENS-CORNING "RAFT-R-MATE" (OR EQUAL) INSULATION RAFTER Baffles BETWEEN INSULATION & ROOF SHEATHING AT ALL LOCATIONS WHERE INSULATION IS INSTALLED BETWEEN RAFTER BAYS (NEW CONSTRUCTION). INSTALL PER MANUFACTURERS INSTRUCTIONS.
- ANY NEW WOOD FRAMING MEMBERS LESS THAN 8 INCHES FROM THE EXPOSED GROUND SHALL BE PRESSURE TREATED LUMBER.

INSULATION NOTES:

- NEW FLAT PORTION OF CEILING MEETS REQUIREMENTS UNDER SECTION R805.5 AS AN UNVENTED ROOF FRAMING ASSEMBLY; THE AMOUNTS OF PREFORMED RIGID OR SPRAY-IN INSULATION REQUIRED TO ACHIEVE A R-17 VALUE, READILY EXCEED THE REQUIRED AMOUNTS FOR CONDENSATION CONTROL. (R-8 FOR CLIMATE ZONE 4).



SECTION VIEW
 SCALE: 3/8"=1'-0"



SECTION VIEW
 SCALE: 3/8"=1'-0"

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Date MAY 14, 2021

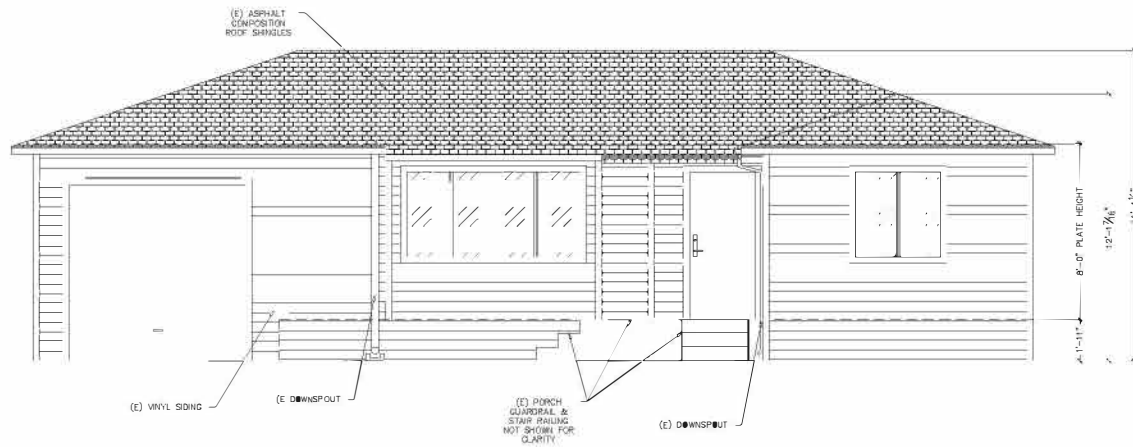
Project / Job # GB061421

Peter Christopher Klimen

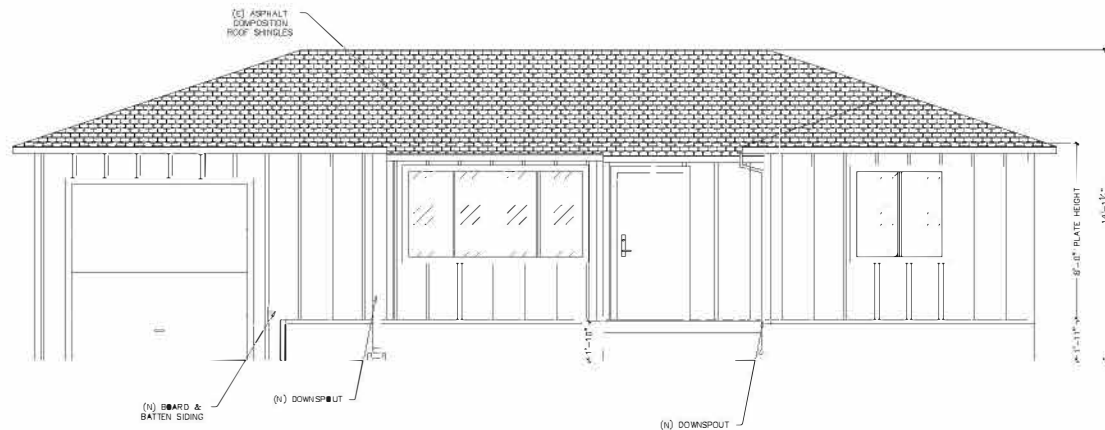
DESIGNED BY PETER CHRISTOPHER KLIMEN
 EMAIL: KLIMEN@ATT.NET DATE: 05/07/21

SECTION VIEWS
 & DETAILS

A3.10



(E) ELEVATION FROM PLAN SOUTH
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN SOUTH
 SCALE: 3/8"=1'-0"

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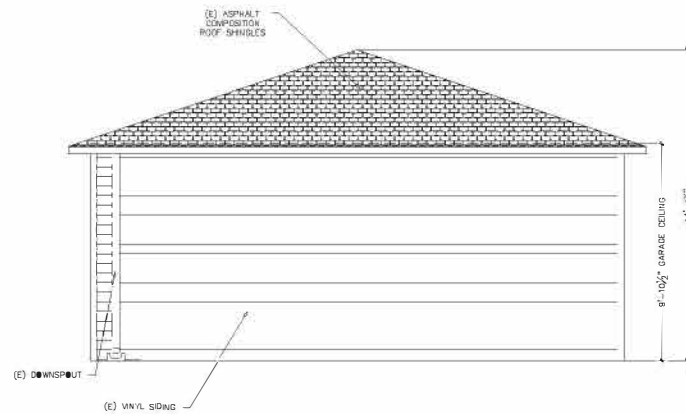
Project / Job # G0001421

Frederick Christopher Klimen

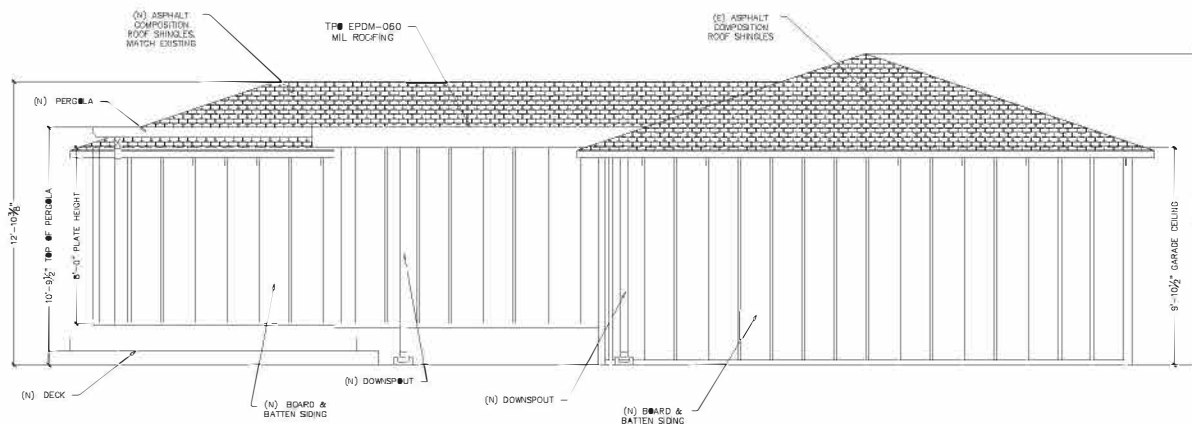
REGISTERED ARCHITECT - STATE OF CALIFORNIA
 EXPIRATION DATE: 12/31/2023

CONSTRUCTION
 NOTES

A4.10



(E) ELEVATION FROM PLAN WEST
SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN WEST
SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

OWNER:

PH - O
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

Drawing By:

Chris Klimen

klimen@att.net

PH: 510.928.1359

Date: MAY 14, 2021

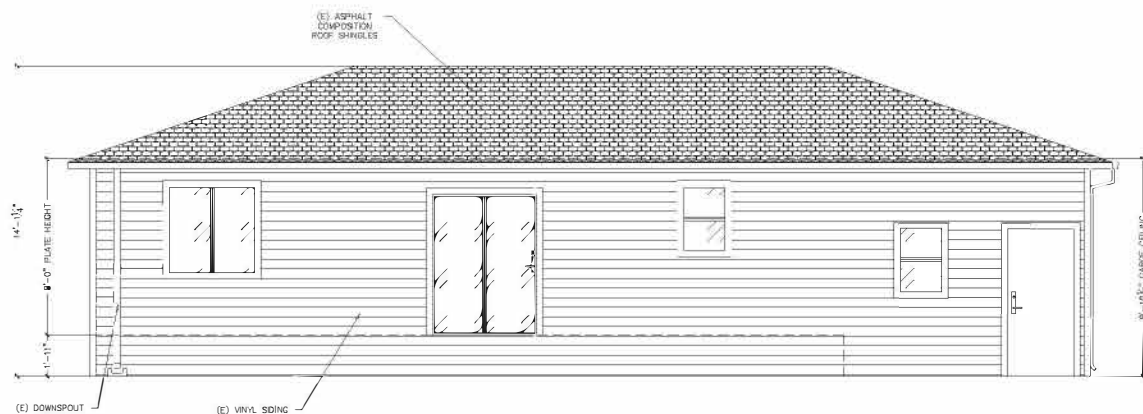
Project / Job # G0001421

Frederick Christopher Klimen

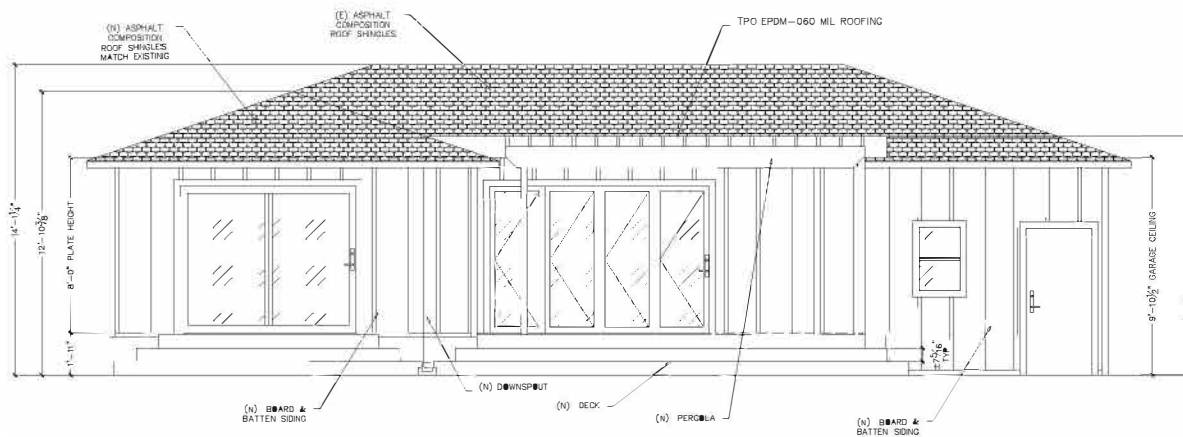
REGISTERED ARCHITECT IN THE STATE OF CALIFORNIA
EXPIRATION DATE 12/31/2023

CONSTRUCTION
NOTES

A4.11



(E) ELEVATION FROM PLAN NORTH
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN NORTH
 SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawing By

Chris Klimen
 klimen@att.net

PH: 510.928.1359

Date: MAY 14, 2021

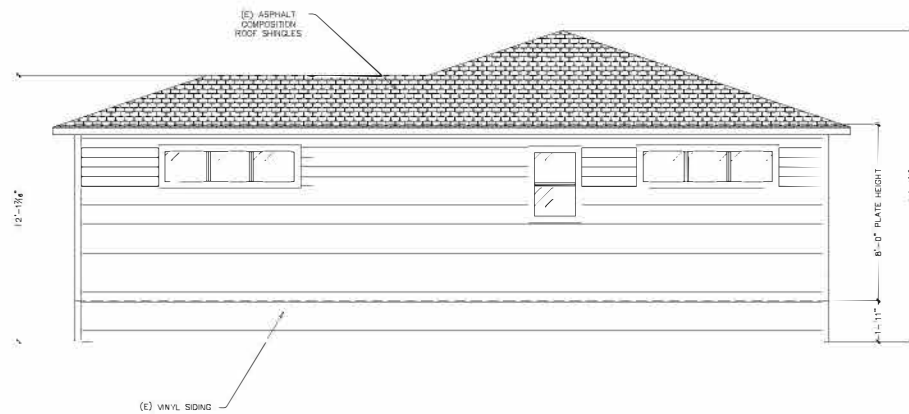
Project / Job # G0001421

Peter Christopher Klimen

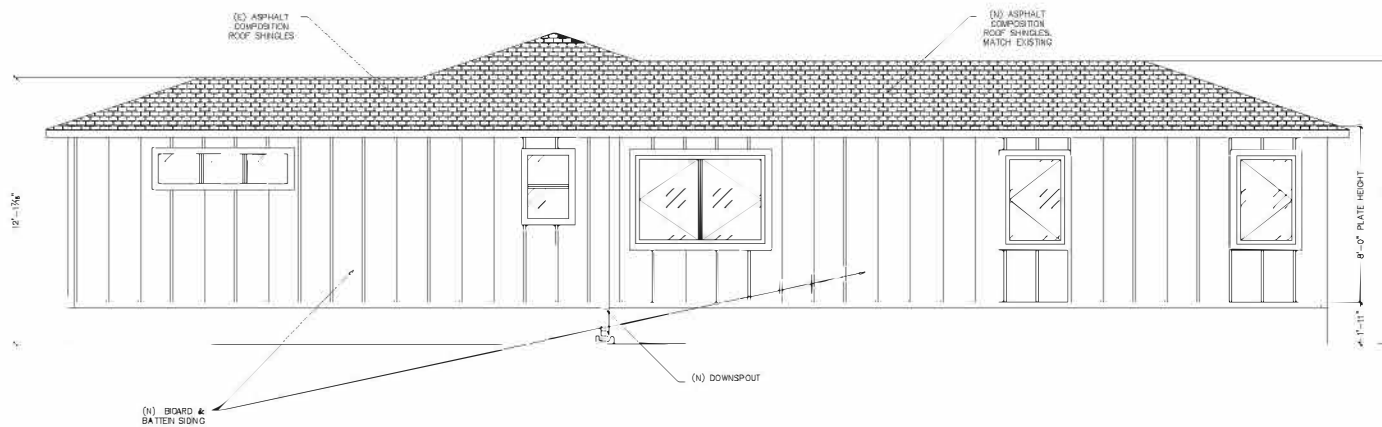
DESIGNED BY: PETER CHRISTOPHER KLIMEN
 DRAWING DATE: 05/14/21

CONSTRUCTION NOTES

A4.12



(E) ELEVATION FROM PLAN EAST
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN EAST
 SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:

PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawing By:

Chris Klimen

klimen@att.net

PH: 510.828.1358

Date: MAY 14 2021

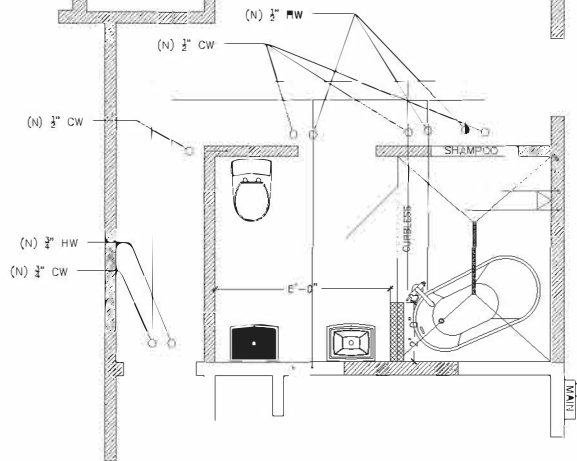
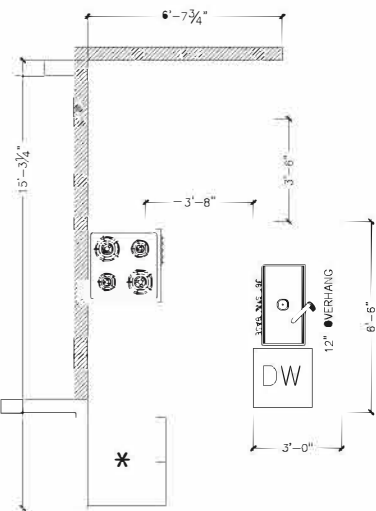
Project / Job # G0001421

Peter Christopher Klimen
 510.828.1358

CONSTRUCTION
 NOTES

A4.13

STEP
 STEP
 STEP
 STEP



CONNECT TO
 (E) 3/4 inch COLD
 CONNECT TO
 (E) 3/4 inch HOT

NICHE FOR TV
 ABOVE FIREPLACE

ELECTRIC
 FIREPLACE

(N) SUPPLY PLAN
 SCALE: 1/2"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:

PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawn by:

Chris Klimen
 klimen@att.net

PH: 510.828.1359

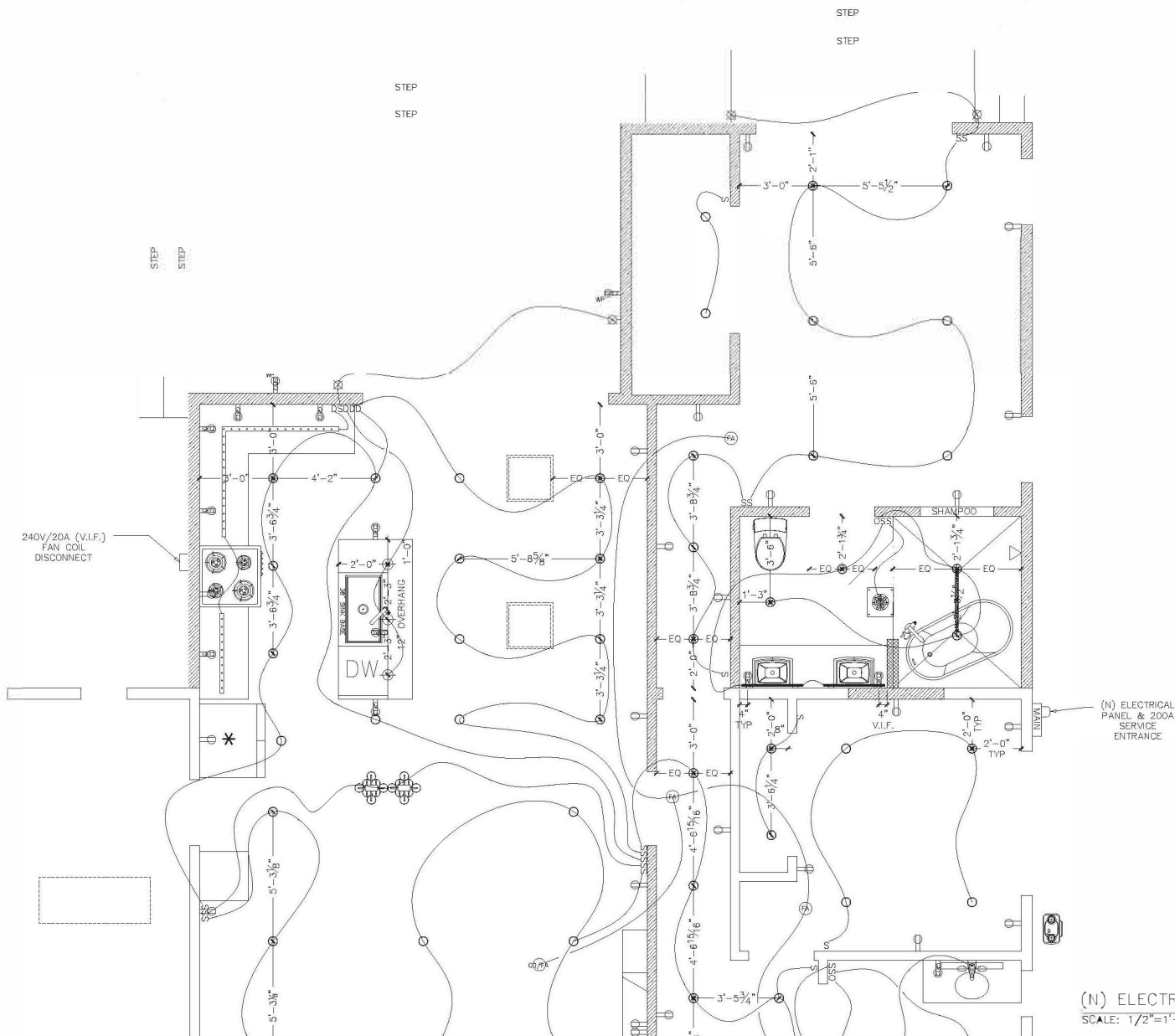
Date: MAY 14 2021

Project / Job # G0001421

Peter Christopher Klimen
 (SIGNED) DESIGN BY PETER CHRISTOPHER KLIMEN
 (SEAL) PLUMBING CITY STATE DATE 09/28/21

PLUMBING PLAN
 SUPPLY

P1.11



(N) ELECTRICAL PLAN
SCALE: 1/2"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & SCHEDULES
07/15/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



ADDITION & REMODEL
723 SCOTT BLVD
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OWNER:

PH - O
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

Drawn by
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PH 510.828.1359

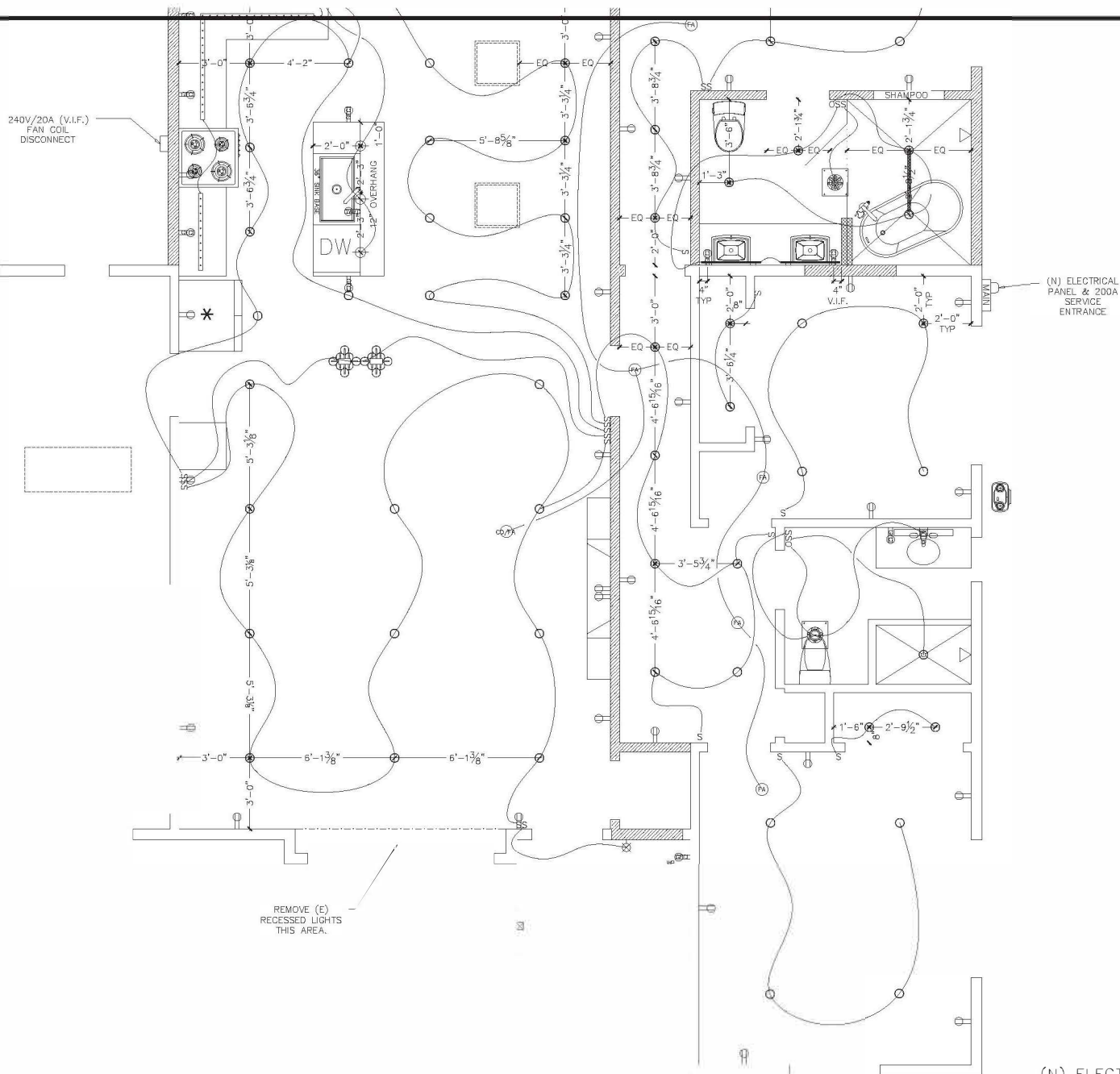
Date MAY 14, 2021

Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
ENR@KLIMENQ.UTT.NET DATE 05/01/21

ELECTRICAL
PLAN - REAR

E1.10



(N) ELECTRICAL PLAN
SCALE: 1/2"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOM PLANS
07/15/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



ADDITION & REMODEL
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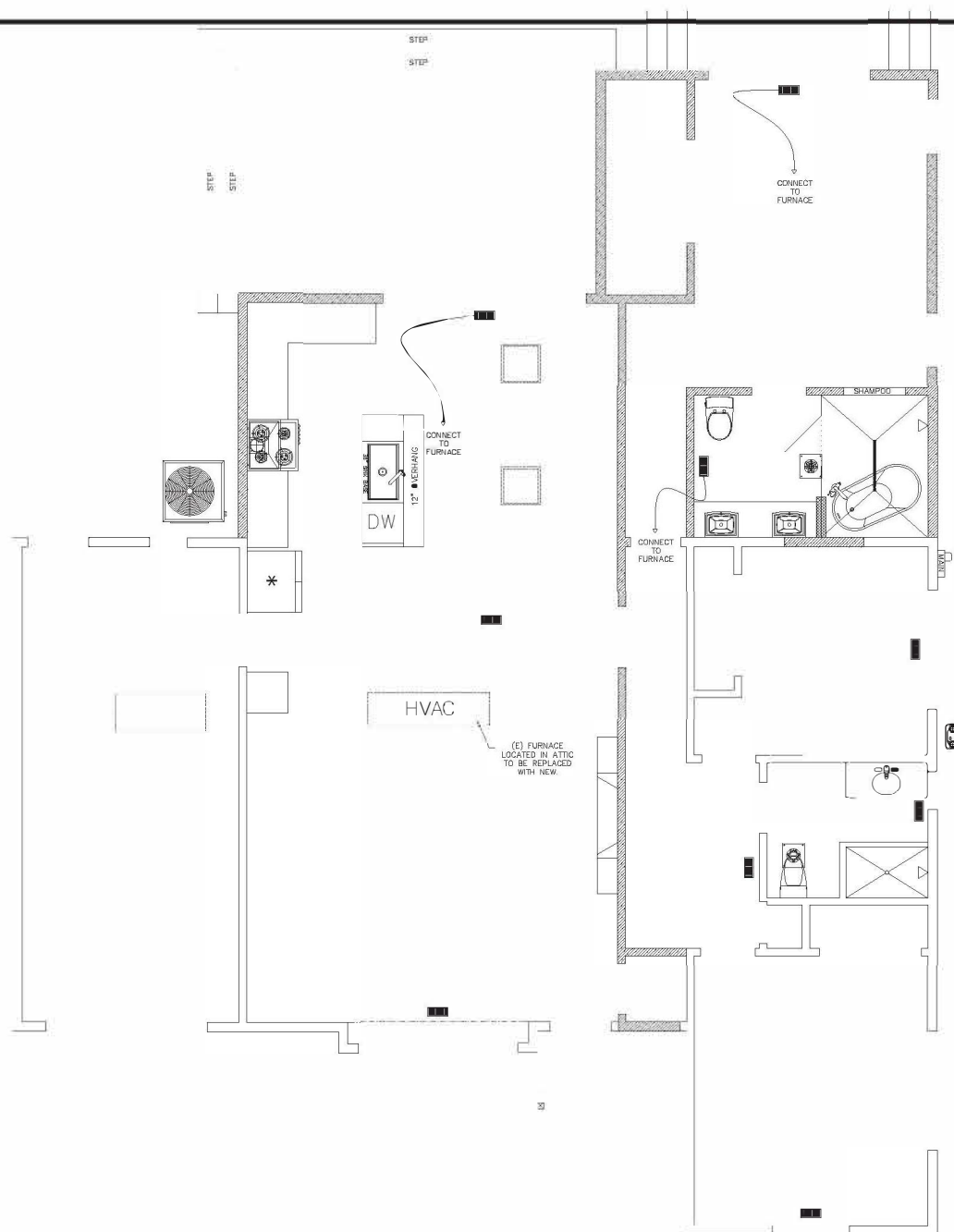
OWNER:
PH - 0
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

Drawn by
Chris Klimen
klimen@att.net
PH 510.828.1359
Date MAY 14 2021
Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
DRAWN BY CHRIS KLIMEN
DATE 05/14/21

ELECTRICAL
PLAN - FRONT

E1.11



MECHANICAL NOTES:
• CONSULT THE T-24 REPORT FOR NEW MECHANICAL SYSTEM SPECIFICATIONS & EFFICIENCY REQUIREMENTS.
• ALL NEW DUCTING TO HAVE R-8 MINIMUM INSULATION.

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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ADDITION & REMODEL
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Drawn by:

Chris Klimen
klimen@att.net

PH: 510.828.1359

Date: MAY 14, 2021

Project / Job # GB061421

Peter Christopher Klimen
DESIGN/SHOWN BY: PETER CHRISTOPHER KLIMEN
EMAIL: PKLIMEN@ATT.NET DATE: 06/01/21

MECHANICAL
PLAN

M1.10

(N) MECHANICAL PLAN
SCALE: 3/8"=1'-0"