

BUSHELL RESIDENCE

462 MURIEL COURT
SANTA CLARA, CA 95051

DERN
architecture + development

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SAM AND JULIE BUSHELL
462 MURIEL COURT
SANTA CLARA, CA 95051

ABBREVIATIONS				PROJECT GENERAL NOTES		PROJECT DATA		SHEET INDEX																																															
A.B. ANCHOR BOLT ABV. ABOVE AC. AIR CONDITIONING ACOUS. ACoustICAL ADJ. ADJUTANT ADJUST. ADJUSTABLE AL. ALUMINUM ALT. ALTERNATE AMP. AMPERAGE AVG. AVERAGE B.D. BOARD BLDG. BUILDING BLDG. BLOCKING BLT-IN BUILT-IN B.M. BEAM B.N. BOUNDARY NAILING B.R. BEARING B.S. BAR SINK CABT. CABINET CALC. CALCULATION CMBR. CAMBER C.H.C. CEILING HEIGHT CHNGE. CHANGE C.I. CEILING JOIST C.L. CENTER LINE CL. CEILING C.R. CLEAR C.NTR. COUNTER CONTR. CONTRAST C.O. CASED OPENING C.P. CONCRETE CONT. CONTINUOUS C.R. CURTAIN ROD C.R. CASEMENT WINDOW C.T. CERAMIC TILE D.T. DRYER D.F. DOUBLE D.F. DOUGLAS FIR D.A. OR D DAG. DIAGONAL DM. DIMENSION DISP. DISPOSAL D.P. DEEP D.R. DOOR D.RP. DROP D.S. DOWNSPOUT D.L. DETAIL D.W. DOWNSPOUT D.W. DRAIN D.W. DRAWER E.B. EACH ELEV. ELEVATION E.N. EDGE NAILING EQ. EQUAL EVL. EXHAUST EXT. EXTERIOR EW. EACH WAY F.A.U. FORCED AIR UNIT F.G. FINISH GRADE F.G. FIXED GLASS F.G. FUEL GAS F.N.F. FINISH FLOOR F.L. FLOOR JOIST F.L. FLUOR F.L. FLUORESCENT F.L. FLOOR MATERIAL CHNGE. CHANGE F.M. FIELD NAILING FND. FOUNDATION F.O.C. FACE OF CURB F.O.M. FACE OF MASONRY F.O.S. FACE OF STUDS F.R.D. FRENCH DOOR FTG. FOOTING	GA. GALV. S.B. GYPSUM BOARD G.D. GARBAGE DISPOSAL G.A. GROUND-FAULT CIRCUIT-INTERRUPTER G.I. GALVANIZED IRON GL. GLASS GRD. GRADE GVP. GYPSUM GLB. GLUE/LAMINATED B.E. ORDER TRUSS H.C. HOLLOW CORE H.D. HOLD DOWN ANCHOR HOR. HEADER HGT. HEIGHT HNGR. HANGER INSUL. INSULATION INT. INTERIOR LAV. LAVATORY LAM. LAMINATED L.F. LINEAL FEET/FOOT LL. LOG LIGHTER LUM. LUMINOUS LVR. LOUVER MAR. MARBLE CONC. CONCRETE MAX. MAXIMUM CONC. CONCRETE M.B. MACHINE BOLT M.C. MEDICINE CABINET MAN. MANUFACTURER MIN. MINIMUM MNR. MINOR M-H. MICRO LAM M.D. MASONRY OPENING MTD. MOUNTED MTL. METAL N.G. NOT IN CONTRACT N.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O.A. OVER OBS. OBSOLETE O.C. OR ON CENTER O.H. OVERHEAD OPENING OSA. ORIENTED STRAND BOARD P.B. PUSH BUTTON P.C. PORTLAND CEMENT P.C. P.C. PCE. PIECE PH. PHONE PL. PLASTER P.L.T. PLASTER P.WOOD PLYWOOD PR. PAIR PSF. POUNDS/SQUARE FOOT PSI. POUNDS/SQUARE INCH PARALL. PARALLEL P.T.D.F. PRESSURE TREATED DOUGLAS FIR POLY VINYL CHLORIDE	R. RISER RAD. RADIAL/RADIUS S.A.S. RETURN AIR GRILLE RECPT. RECEPTACLE REF. REFERENCE REFR. REFRIGERATOR REINP. REINFORCING RE-SAWN RE-SAWN RELOD. REQUIRED REV. REVISED R.J. REVISION/REVERSE ROOF ROOF ROUN. ROUGH IN ROUN. ROUGH OPENING ROS. ROUGH SAWN ROOF ROOF R.R. REDWOOD RWD. REDWOOD S. SINK S.C. SOLID CORE SCH. SCHEDULE SCRD. SCREENED SEC. SECOND SECT. SECTION SEL. SELECT SEL.STR. SELECT SER. SERVICE SHT. SHEET SHT. SHEET SHTG. SHEATHING SHWR. SHOWER SL. SLIDING SPR. SPLASH SPL. SILL PLATE NAILING S.F. SHEET 4 P S.S. SERVICE SINK STD. STANDARD S.V. SHEET VINYL STRUCT. STRUCTURAL SW. SWITCH T.B. TOP BOTTOM T.C. TRASH COMPACTOR TEMP. TEMP. T.G. TONGUE & GROOVE T.J. TRUSS JOIST T.O.C. TOP OF CURB T.O.M. TOP OF MASONRY T.O.S. TOP OF WALL T.O.W. TOP OF WALL TV. TELEVISION UNFIN. UNFINISHED UN. UNLESS NOTED UN. UNLESS NOTED UN. UNLESS NOTED VAN. VANTY VEN. VENT VERT. VERTICAL V.G. VERTICAL GRAIN V.P. VAPOR BARRIER V.P. VERTICAL GRAIN V.P. VAPOR BARRIER V.P. VAPORPROOF W. WASHER W. WITH W.C. WATER CLOSET W. WOOD W.D. WINDOW W.H. WATER HEATER W.D. WITHOUT W.P. WEATHER PROOF W.R. WAREHOUSE WT. WEIGHT	<p>REGULATORY REQUIREMENTS:</p> <p>1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES. THIS INCLUDES THE 2022 CALIFORNIA BUILDING CODE & ALL CODES, ORDINANCES AND LAWS ADOPTED BY THE CITY OF SANTA CLARA, CA.</p> <p>2. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201 2007 EDITION, GOVERNS THIS WORK U.O.N.</p> <p>3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND SHALL BASE HIS BID ON EXISTING CONDITIONS. SUBMIT WRITTEN EXCEPTIONS OR OBJECTIONS, WITH ANALYSIS AND RECOMMENDATIONS TO THE OWNER PRIOR TO SUBMITTING BID COSTS.</p> <p>4. ALL MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE OR OVERRIDING LOCAL MECHANICAL CODES.</p> <p>5. ALL PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE OR OVERRIDING LOCAL PLUMBING CODES.</p> <p>6. ALL ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE OR OVERRIDING LOCAL ELECTRICAL CODES.</p> <p>7. ALL SHEET METAL WORK AND FLASHING SHALL CONFORM TO S.M.A.C.N.A. STANDARDS.</p> <p>8. CITY AMENDMENTS: CITY OF SANTA CLARA CODE</p> <p>9. ALL BUILDING STANDARDS CONSTRUCTION, MATERIALS AND PRODUCTS SHALL CONFORM TO THE MOST CURRENT STANDARDS AND DETAILS AS OUTLINED IN THE SPECIFICATIONS, EXCEPT AS EXPLICITLY SUPERSEDED HEREIN.</p> <p>SUBSTITUTIONS:</p> <p>1. REQUEST FOR SUBSTITUTION WILL BE RECEIVED FROM THE GENERAL CONTRACTOR ONLY.</p> <p>2. PRODUCTS IN THE CONSTRUCTION DOCUMENTS IDENTIFIED BY NAME, BRAND OR MODEL OF A MANUFACTURER'S ARTICLE SHALL BE PROVIDED UNLESS A WRITTEN REQUEST FOR SUBSTITUTION IS ACCEPTED BY THE ARCHITECT. IN THE EVENT THAT THE CONTRACTOR MAKES A SUBSTITUTION WITHOUT PRIOR APPROVAL FROM THE ARCHITECT, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE SUBSTITUTION AND REPLACE IT PER SPECIFICATIONS WITHOUT ANY ADJUSTMENT TO THE CONTRACT AMOUNT OR TIME.</p> <p>3. THE PRODUCTS DESCRIBED IN THE CONSTRUCTION DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE, AND QUALITY TO BE MET BY ANY PROPOSED SUBSTITUTION. THE BURDEN OF PROOF OF THE MERIT OF THE PROPOSED SUBSTITUTION IS UPON THE PROPOSER. THE OWNER'S DECISION OF THE APPROVAL OR DISAPPROVAL SHALL BE FINAL.</p> <p>4. THE REQUEST SHALL INCLUDE ANY CHANGE REQUIRED IN OTHER ELEMENTS OF THE WORK DUE TO THE SUBSTITUTION.</p> <p>SUBMITTALS:</p> <p>1. SCHEDULE SUBMITTALS TO EXPEDITE PROJECT AS TO CAUSE NO DELAY IN THE WORK OR IN THE WORK OF THE OWNER OR ANY SEPARATE CONTRACTOR. SUBMITTALS NOT SPECIFICALLY REQUESTED SHALL BE RETURNED WITHOUT REVIEW.</p> <p>2. SHOP DRAWINGS SHALL BE DRAWN AT A SCALE SUFFICIENT FOR CLARITY AND COORDINATION AND SHALL SHOW NECESSARY WORKING AND ERECTION DIMENSIONS.</p> <p>3. CIRCLE ALL DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND PROVIDE A BRIEF WRITTEN EXPLANATION TO CLARIFY AND SUPPORT REASONS FOR PROPOSED DEVIATION.</p> <p>4. THE CONTRACTOR SHALL PROVIDE THE OWNER A PROJECT SCHEDULE OUTLINING THE WORK TO BE DONE, AND THE MATERIALS BEING ORDERED ON A DETAILED BASIS PRIOR TO BEGINNING THE WORK.</p> <p>5. CONTRACTOR SHALL ALLOW 5 DAYS FOR ARCHITECT AND OWNER TO REVIEW SUBMITTALS.</p> <p>6. ALL SUBMITTALS SHALL BE ACCOMPANIED BY A LETTER OF SUBMITTAL, HAS BEEN REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO BEING SENT TO ARCHITECT AND OWNER FOR REVIEW.</p> <p>7. SUBMITTALS SENT FOR ARCHITECT AND OWNER REVIEW THAT DO NOT HAVE THE STAMP OF THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW.</p> <p>PROTECTIONS:</p> <p>1. BY ACCEPTING THESE DRAWINGS THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS FOR ALL PERSONS AND PROPERTY, CONTINUOUSLY DURING CONSTRUCTION OF THIS PROJECT, AND NOT LIMITED TO NORMAL WORKING HOURS.</p> <p>2. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING WORK, EQUIPMENT, MATERIALS AND FINISHES. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR.</p> <p>3. THE CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE BUILDING, THE OWNER'S PREMISES AND THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FROM ACCUMULATIONS OF WASTE, MATERIALS AND RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS OR THEIR WORK.</p> <p>4. CONTRACTOR SHALL VERIFY LOCATION OF TRANSFORMERS AND UNDERGROUND UTILITIES WITH APPLICABLE UTILITY COMPANIES.</p> <p>5. CONTRACTOR SHALL PROTECT FROM DAMAGE AND KEEP CLEAN ALL COMMON AREAS OF THE PROJECT.</p> <p>PERFORMANCE REQUIREMENTS:</p> <p>1. DO NOT SCALE DRAWINGS.</p> <p>2. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CHECKED BY THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS PRIOR TO BEGINNING WORK AND PRIOR TO ORDERING ANY MATERIALS, ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. SHOULD THERE BE ANY DISCREPANCIES, ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND WANT TO RECEIVE WRITTEN INSTRUCTIONS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.</p> <p>3. THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUBCONTRACTORS, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDING AND PERFORMING THEIR WORK, AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.</p> <p>4. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THE DRAWINGS.</p> <p>5. OTHERS, SUBCONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.</p> <p>6. PROVIDE STRUCTURAL BRACING FOR ALL WALL MOUNTED EQUIPMENT.</p> <p>7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, COORDINATION, AND EXECUTION OF CONSTRUCTION MEANS, METHODS AND PROCEDURES.</p> <p>8. PATCH AND REPAIR ALL DISTURBED AREAS TO MATCH ADJACENT SYSTEMS, MATERIALS, AND FINISHES, UNLESS OTHERWISE NOTED.</p> <p>9. INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURERS WRITTEN RECOMMENDATIONS.</p> <p>10. ALL INTERIOR DIMENSIONS SHOWN IN FLOOR PLANS ARE FACE OF FINISH, U.O.N.</p> <p>11. ALL EXTERIOR DIMENSIONS ARE SHOW FACE OF FRAMING, U.O.N.</p> <p>12. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.</p> <p>13. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE 1/4" THICK GLASS UNLESS OTHERWISE NOTED.</p> <p>14. FIRE EXTINGUISHERS SHALL BE LOCATED ACCORDING TO CODE REQUIREMENTS AND MEET ALL APPLICABLE CODES.</p> <p>15. WHERE NEW WALLS ALONG WITH EXISTING WALLS, RESULTANT WALL SURFACES SHALL FORM A SMOOTH AND CONTINUOUS PLANE.</p> <p>16. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH FROM THE BUILDING AND THE PREMISES ALL SURPLUS MATERIALS AND DEBRIS, AND CLEAN ALL NEW WORK TO THE OWNERS SATISFACTION, INCLUDING BUT NOT LIMITED TO CLEANING INTERIOR GLASS, CLEANING ALL MILLWORK, INSIDE AND OUTSIDE OF CABINETS, AND CLEANING AND WAXING ALL HARDWARE.</p> <p>17. ALL BUILDING MATERIALS SHALL BE THE MOST NONTOXIC AND THE LOWEST POLLUTING AVAILABLE. THE BUILDING SHALL BE VENTILATED DURING CONSTRUCTION AND AFTER THE OCCUPANCY.</p> <p>18. NAIL UP ALL L-BOLTS FOR REVIEW PRIOR TO WIRING. VERIFY ALL LOCATIONS OF POWER OUTLETS, PHONE JACKS, TV, LIGHT FIXTURES AND SWITCHES W/ OWNER PRIOR TO WIRING.</p> <p>19. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS (INCLUDING BUT NOT LIMITED TO: TILE, TILE TRIM, PAINT, ROOFING, SIDING, WOOD TRIM, WOOD BASE, COUNTERTOPS AND HARDWARE, TO THE OWNER FOR APPROVAL PRIOR TO ORDERING MATERIALS.</p> <p>20. THE CONTRACTOR SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.</p> <p>21. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. DEFINITIONS: "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. "ALONG" MEANS TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.</p> <p>22. BUILDING ADDRESS: TO BE POSTED IN A CONSPICUOUS PLACE AND LIGHTED EXTERNALLY. NUMBERS SHALL BE OF CONTRASTING COLOR TO BACKGROUND COLOR.</p>		<p>LOCAL SUBSCRIPTION: CITY OF SANTA CLARA, CA</p> <p>ASSESSOR'S PARCEL NUMBER: 294-31-024</p> <p>PROJECT ADDRESS: 462 MURIEL COURT SANTA CLARA, CA 95051</p> <p>CONING: R1-4L - SINGLE FAMILY</p> <p>OCCUPANCY GROUP: R-1 SINGLE FAMILY RESIDENTIAL</p> <p>CONSTRUCTION TYPE: TYPE V-B (NON-SPRINKLERED)</p> <p>NO. OF STORIES: EXISTING: 3-STORY PROPOSED: 2-STORY</p> <p>AREA: LOT SIZE / AREA: 10,248 SF</p> <p>EXISTING (E) FIRST FLOOR 1,635 SF (E) SECOND FLOOR 774 SF (E) GARAGE 458 SF 2,867 SF</p> <p>PROPOSED FIRST FLOOR 2,229 SF SECOND FLOOR 1,045 SF 2,248 SF 3,732 SF</p> <p>FAR EXISTING HOUSE: 28% FAR PROPOSED HOUSE: 36.4%</p>		<table><thead><tr><th>SHEET NUMBER</th><th>SHEET NAME</th></tr></thead><tbody><tr><td></td><td></td></tr></tbody></table>		SHEET NUMBER	SHEET NAME																																													
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<p>ARCHITECTURAL</p> <table><thead><tr><th>A0.1</th><th>PROJECT DATA AND INFORMATION</th><th>X</th></tr></thead><tbody><tr><td>A0.2</td><td>CAL GREEN REQUIREMENTS</td><td>X</td></tr><tr><td>A0.3</td><td>CAL GREEN REQUIREMENTS</td><td>X</td></tr><tr><td>A0.4</td><td>MF-1R MANDATORY RESIDENTIAL</td><td>X</td></tr><tr><td>A1.1</td><td>EXISTING SITE PLAN</td><td>X</td></tr><tr><td>A1.2</td><td>PROPOSED SITE PLAN</td><td>X</td></tr><tr><td>A1.3</td><td>EXISTING AREA VS. PROPOSED AREA</td><td>X</td></tr><tr><td>A2.1</td><td>EXISTING FIRST FLOOR</td><td>X</td></tr><tr><td>A2.2</td><td>PROPOSED FIRST FLOOR</td><td>X</td></tr><tr><td>A2.3</td><td>EXISTING SECOND FLOOR</td><td>X</td></tr><tr><td>A2.4</td><td>PROPOSED SECOND FLOOR</td><td>X</td></tr><tr><td>A3.2</td><td>PROPOSED ROOF PLAN</td><td>X</td></tr><tr><td>A4.1</td><td>EXISTING EXTERIOR ELEVATIONS</td><td>X</td></tr><tr><td>A4.2</td><td>EXISTING EXTERIOR ELEVATIONS</td><td>X</td></tr><tr><td>A4.3</td><td>PROPOSED EXTERIOR ELEVATIONS</td><td>X</td></tr><tr><td>A4.4</td><td>PROPOSED EXTERIOR ELEVATIONS</td><td>X</td></tr></tbody></table>						A0.1	PROJECT DATA AND INFORMATION	X	A0.2	CAL GREEN REQUIREMENTS	X	A0.3	CAL GREEN REQUIREMENTS	X	A0.4	MF-1R MANDATORY RESIDENTIAL	X	A1.1	EXISTING SITE PLAN	X	A1.2	PROPOSED SITE PLAN	X	A1.3	EXISTING AREA VS. PROPOSED AREA	X	A2.1	EXISTING FIRST FLOOR	X	A2.2	PROPOSED FIRST FLOOR	X	A2.3	EXISTING SECOND FLOOR	X	A2.4	PROPOSED SECOND FLOOR	X	A3.2	PROPOSED ROOF PLAN	X	A4.1	EXISTING EXTERIOR ELEVATIONS	X	A4.2	EXISTING EXTERIOR ELEVATIONS	X	A4.3	PROPOSED EXTERIOR ELEVATIONS	X	A4.4	PROPOSED EXTERIOR ELEVATIONS	X		
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<p>CODE REFERENCE</p> <p>ALL CONSTRUCTION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODE, CDR TITLE 24:</p> <p>APPLICABLE BUILDING CODES:</p> <p>2022 CALIFORNIA BUILDING CODE (CBC)</p> <p>2022 CALIFORNIA MECHANICAL CODE (CMC)</p> <p>2022 CALIFORNIA PLUMBING CODE (CPC)</p> <p>2022 CALIFORNIA ELECTRICAL CODE (CEC)</p> <p>2022 CALIFORNIA ENERGY CODE</p> <p>2022 CALIFORNIA FIRE CODE</p> <p>2022 CALIFORNIA GREEN BUILDING CODE</p> <p>2022 CALIFORNIA STANDARDS CODE</p> <p>2022 CALIFORNIA STANDARDS CODE</p> <p>CITY AMENDMENTS: CITY OF SANTA CLARA CODE</p>																																																							
<p>SCOPE OF WORK</p> <p>ADDITION TO AND REMODEL THE EXISTING HOUSE AT THE FIRST FLOOR AND SECOND FLOOR LEVELS.</p>																																																							
<p>REFERENCE MAP</p>		<p>GENERAL NOTES LEGEND</p> <p>KEY NOTE REFERENCE</p> <p>REVISION</p> <p>CENTERLINE</p> <p>EXISTING FULL HEIGHT WALL</p> <p>PROPOSED FULL HEIGHT WALL</p> <p>DETAIL OR PLAN ENLARGEMENT</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>SECTION REFERENCE SECTION NUMBER SHEET NUMBER</p> <p>INTERIOR ELEVATION REFERENCE SHEET NUMBER ELEVATION NUMBER</p> <p>KITCHEN 20x10 SF</p> <p>ROOM NAME AND SQUARE FOOTAGE</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>COLUMN LINES</p>																																																					



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462 MURIEL COURT
SANTA CLARA, CA 95051

REVISION
No. Description Date

DATE
4/14/2023

DEVELOPMENT REVIEW

SHEET TITLE
PROJECT DATA AND INFORMATION

SHEET NO.
A0.1

[illegible]



BUSHELL RESIDENCE

462 MURIEL COURT
SANTA CLARA, CA 95051

REVISION		
No.	Description	Date

DA+D PROJECT NUMBER
2003

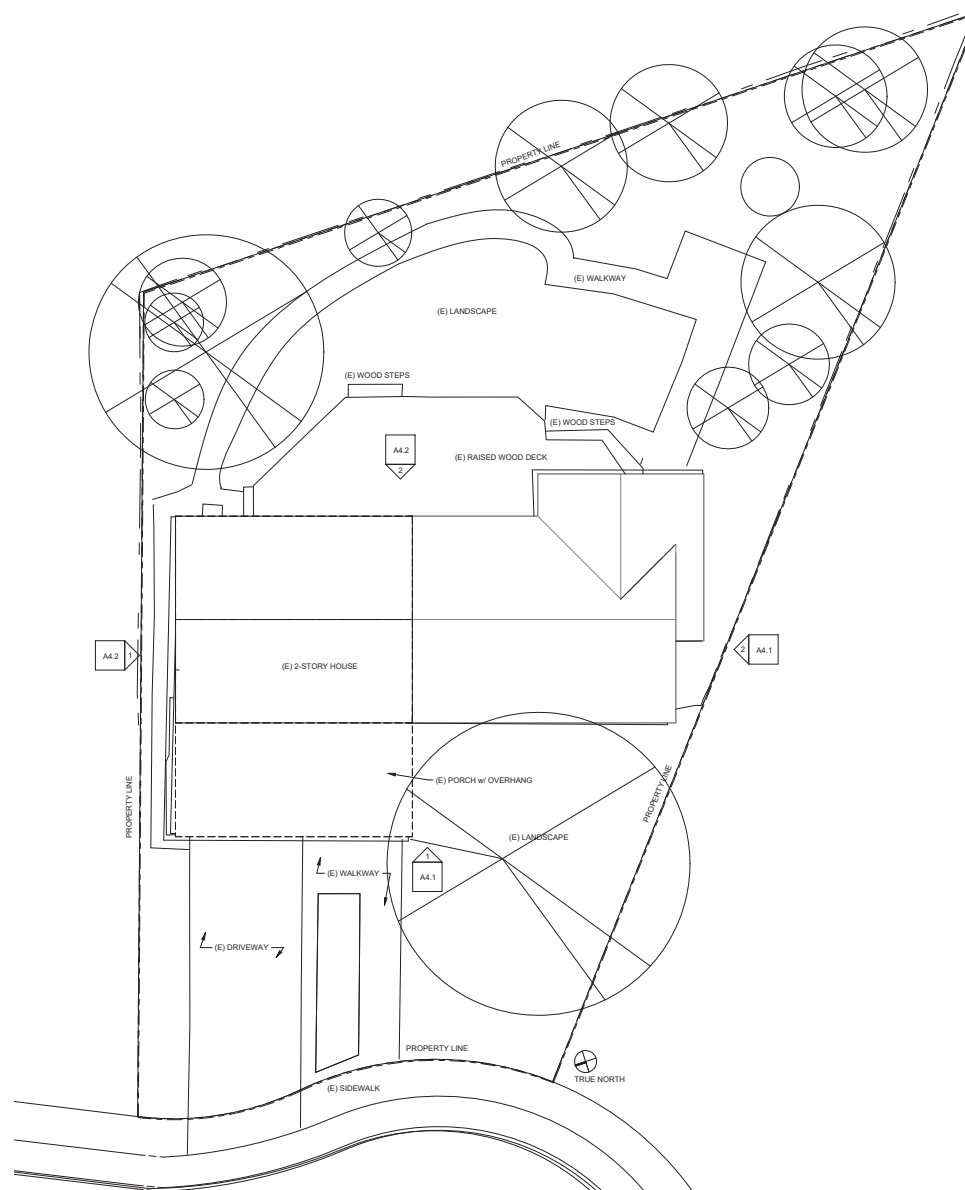
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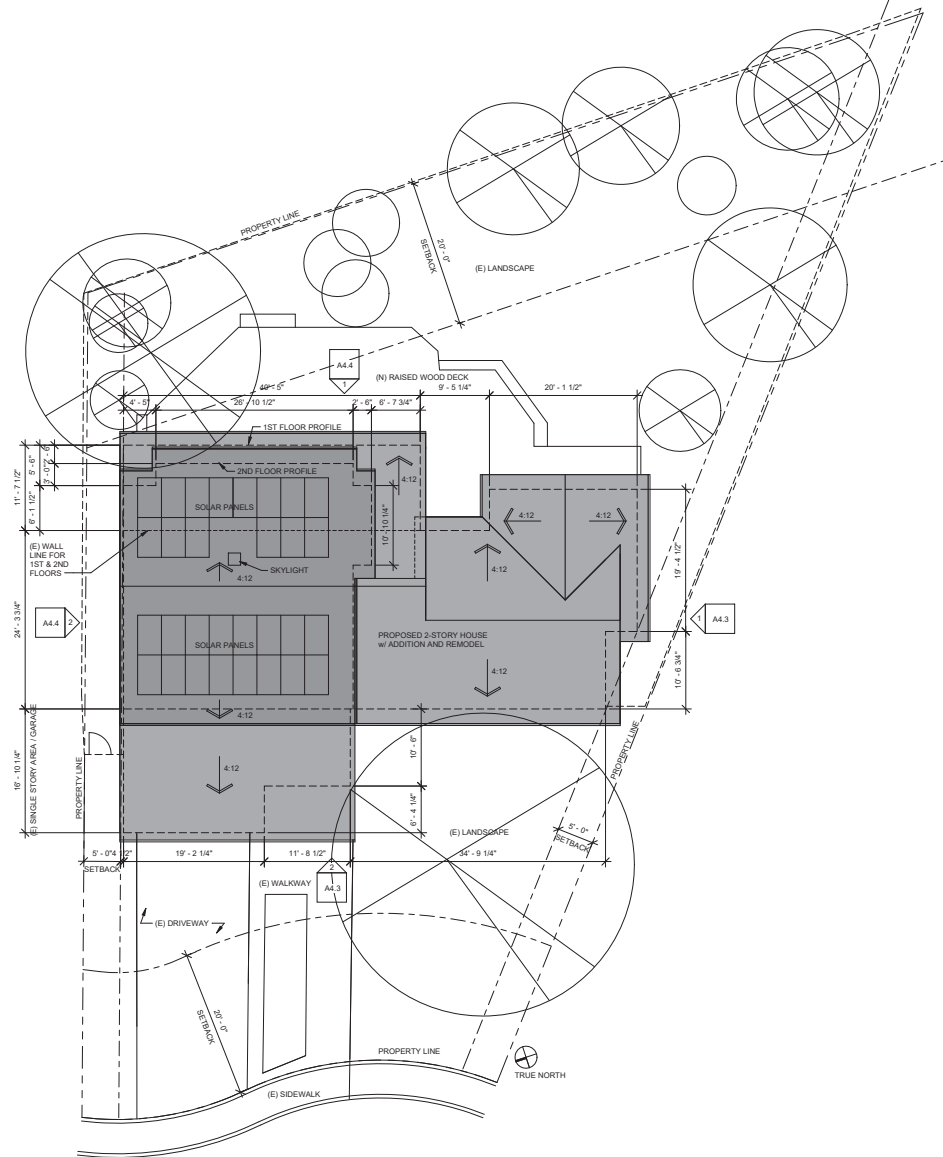
ISSUE
DEVELOPMENT REVIEW

SHEET TITLE
EXISTING SITE PLAN

SHEET NO.

A1.1





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architecture + development

ARCHITECT
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REVISION	No.	Description	Date
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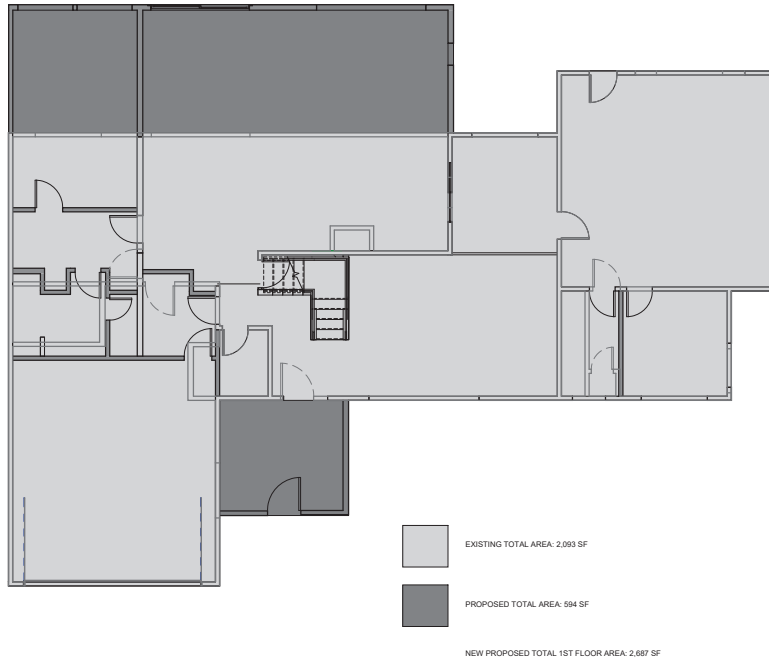
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DATE
4/14/2023

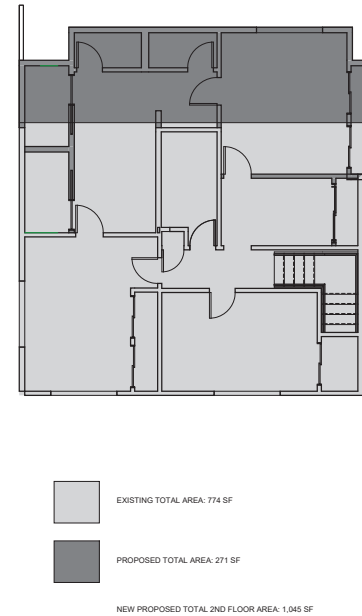
ISSUE
DEVELOPMENT REVIEW

SHEET TITLE
PROPOSED SITE
PLAN

SHEET NO.
A1.2



EXISTING VS. PROPOSED AREA - LEVEL
① 1
3/16" = 1'-0"



EXISTING VS. PROPOSED AREA - LEVEL
② 2
3/16" = 1'-0"

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ISSUE
DEVELOPMENT REVIEW

SHEET TITLE
EXISTING AREA VS.
PROPOSED AREA

SHEET NO.

A1.3



BUSHELL RESIDENCE

462 MURIEL COURT
SANTA CLARA, CA 95051

REVISION	No.	Description	Date
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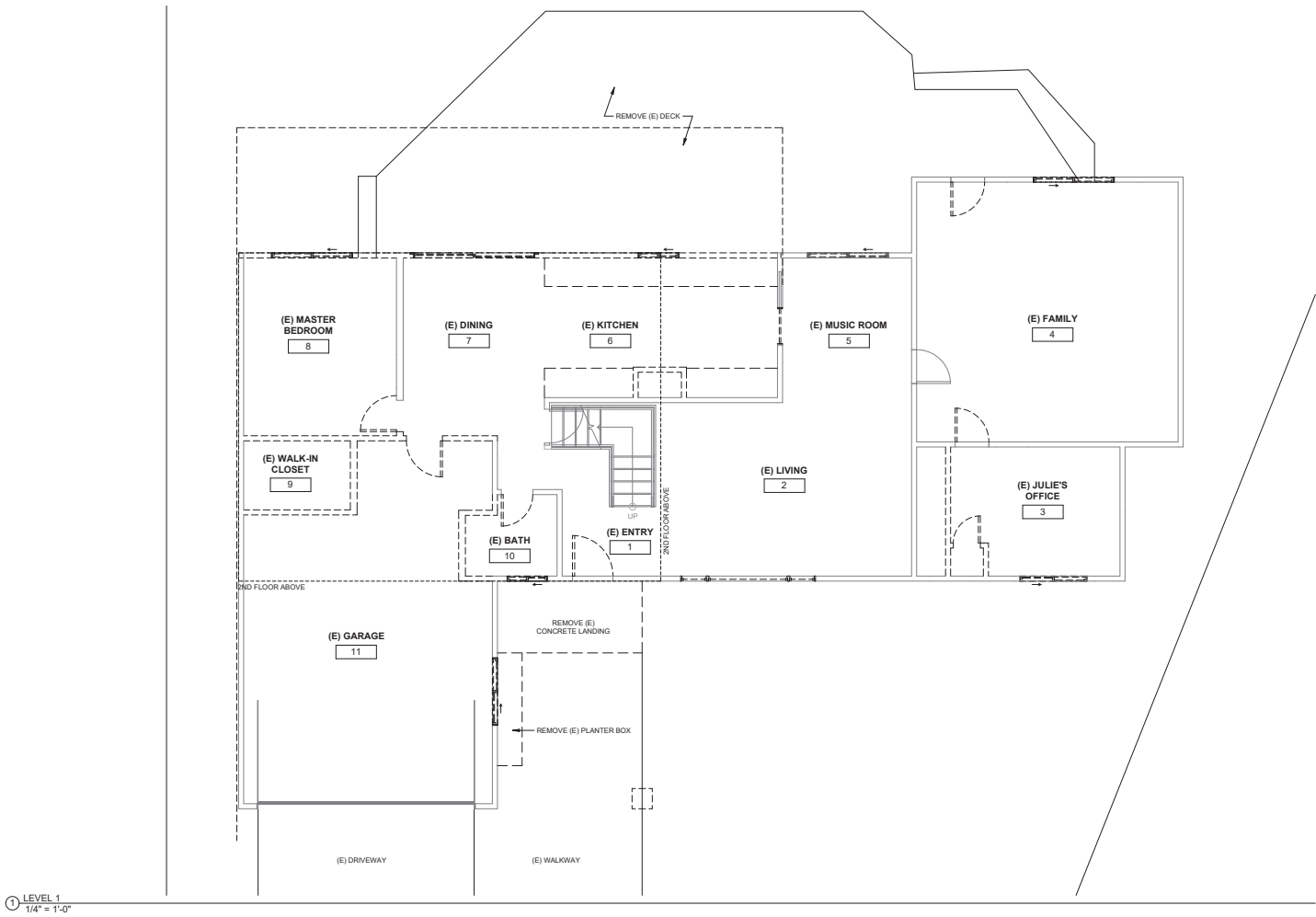
DAVID PROJECT NUMBER
2003

DATE
4/14/2023

ISSUE
DEVELOPMENT REVIEW

SHEET TITLE
EXISTING FIRST
FLOOR

SHEET NO.
A2.1





BUSHELL RESIDENCE

462 MURIEL COURT
SANTA CLARA, CA 95051

REVISION
No. Description Date

DATE PROJECT NUMBER
2003

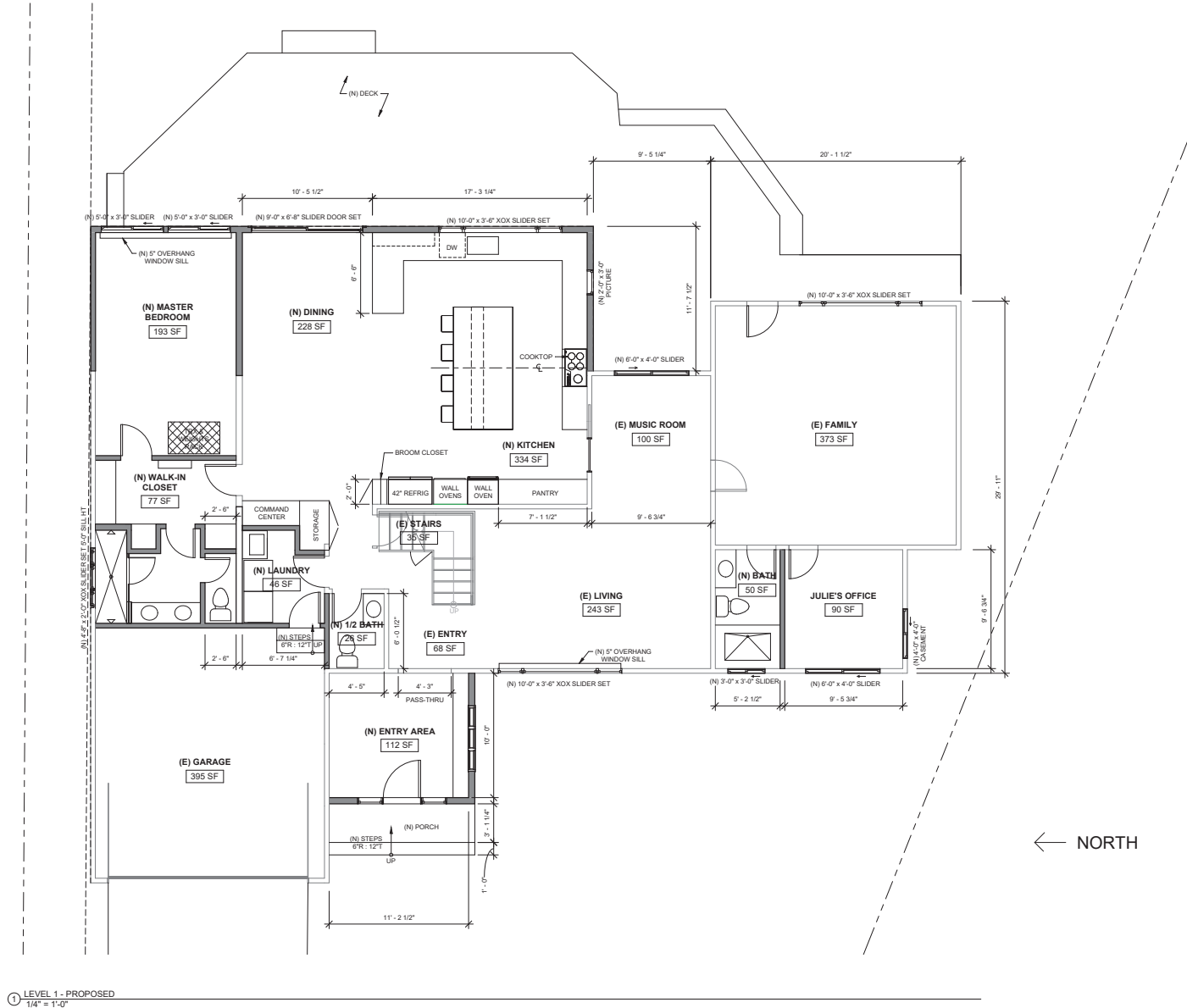
DATE
4/14/2023

ISSUE
DEVELOPMENT REVIEW

SHEET TITLE
PROPOSED FIRST
FLOOR

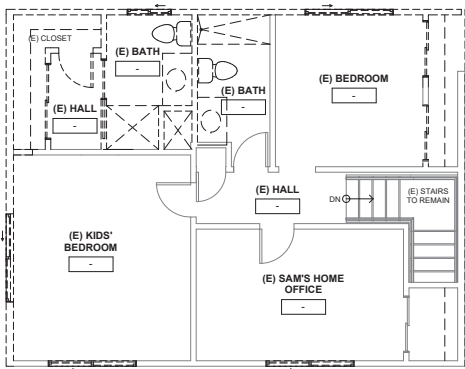
SHEET NO.
A2.2

© DERN A/D



① LEVEL 1 - PROPOSED
1/4" = 1'-0"

← NORTH



① LEVEL 2 - EXISTING
1/4" = 1'-0"

DERN
architecture + development

ARCHITECT
DERN ARCHITECTURE + DEVELOPMENT, PC
110 CASA GRANDE
LOS GATOS, CA 95032
MICHAEL DERN, AIA PRINCIPAL
(415) 307-1283

CLIENT
SAM AND JULIE BUSHELL
462 MUIREL COURT
SANTA CLARA, CA 95051



BUSHELL RESIDENCE

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SANTA CLARA, CA 95051

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EXISTING SECOND
FLOOR

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A2.3



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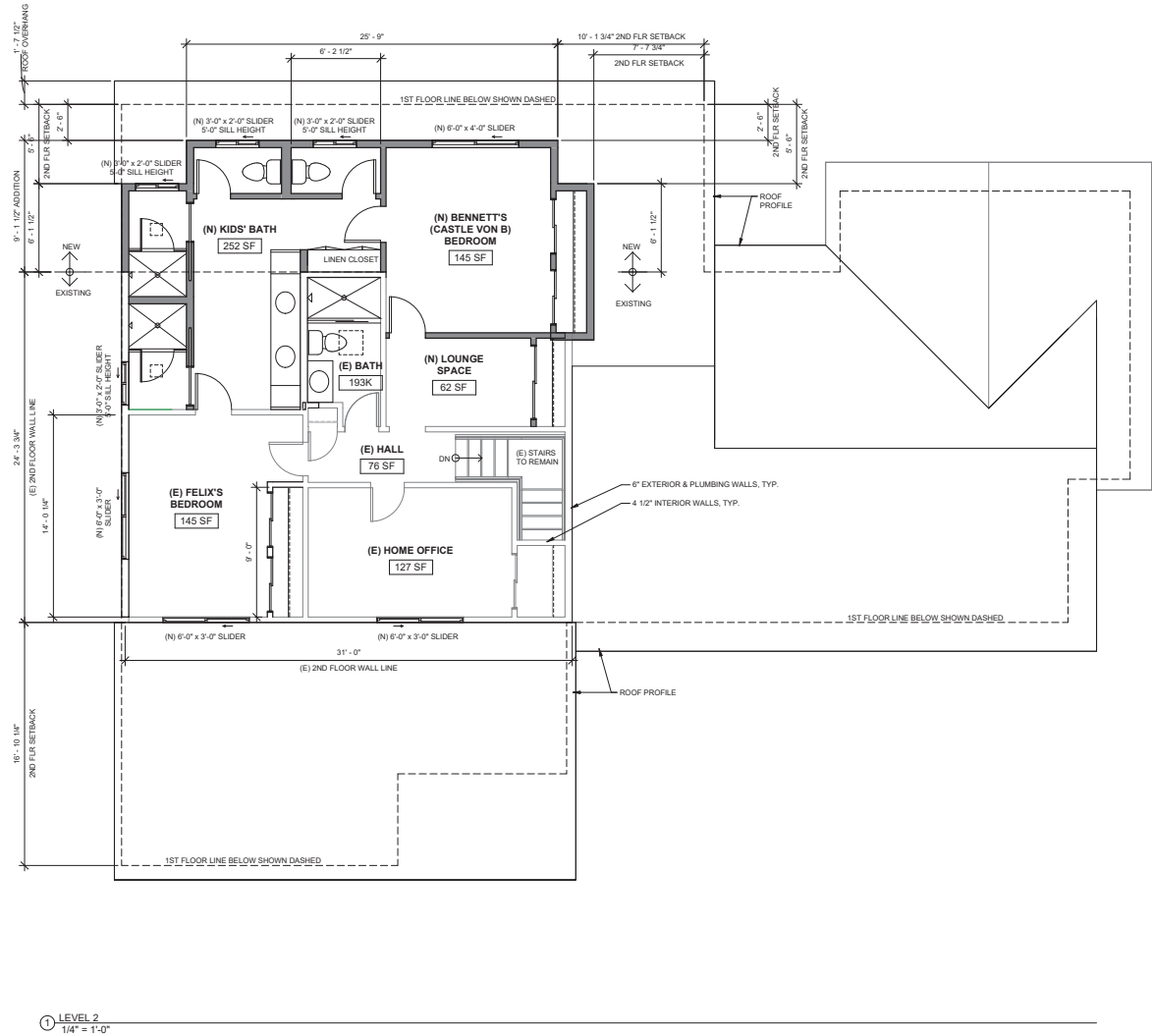
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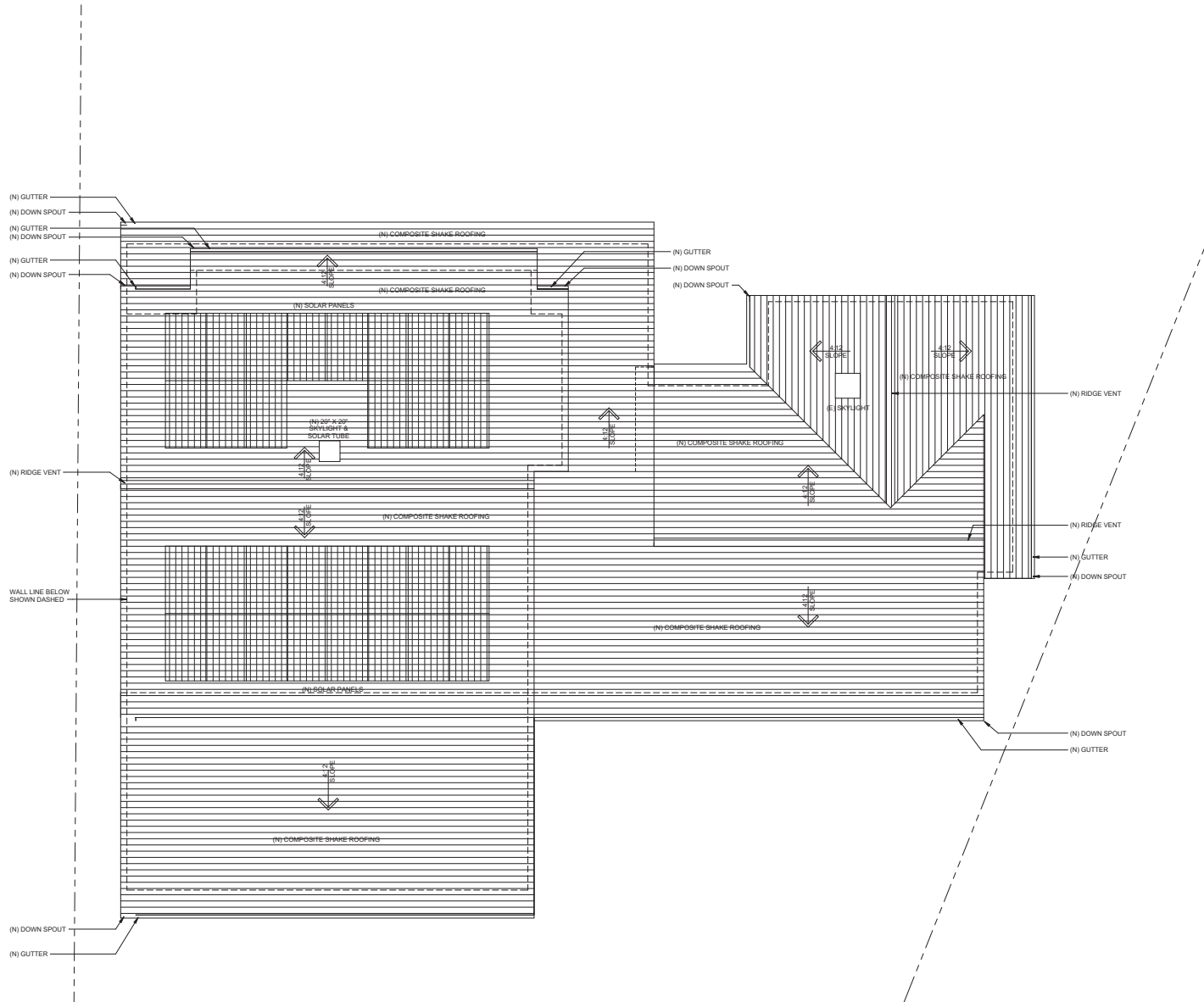
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PROPOSED ROOF
PLAN

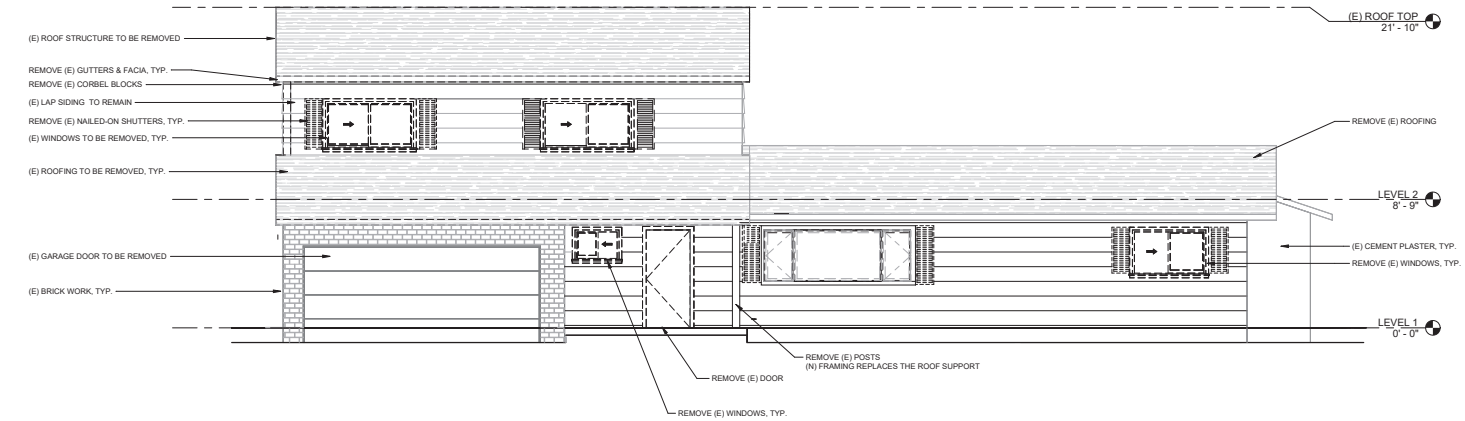
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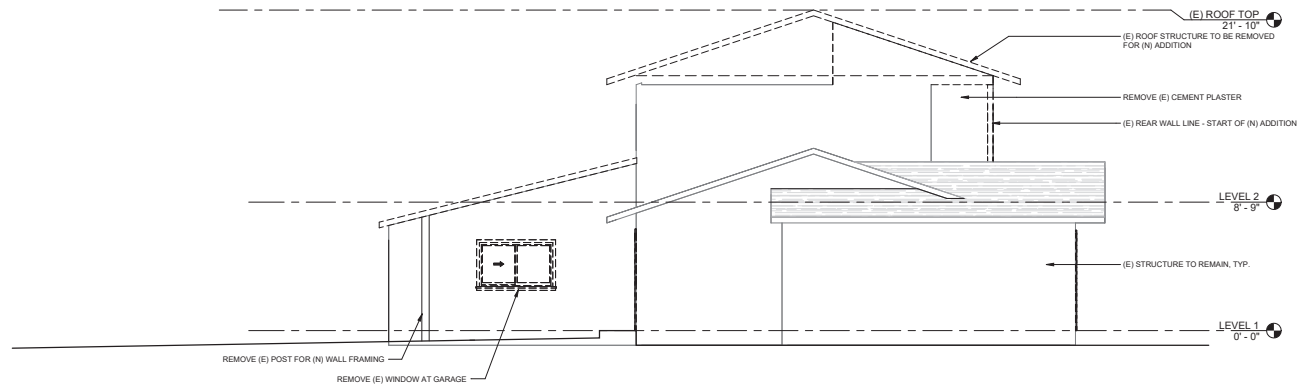
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1 PROPOSED ROOF PLAN
1/4" = 1'-0"



① EXISTING WEST EXTERIOR ELEVATION
1/4" = 1'-0"



② EXISTING SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

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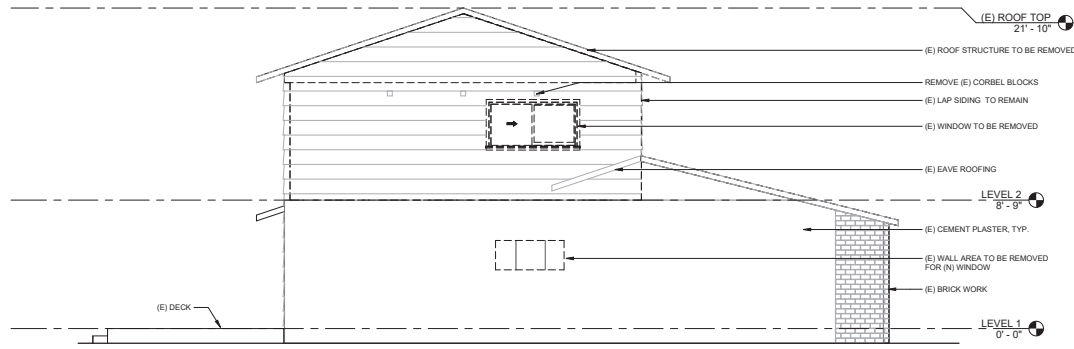
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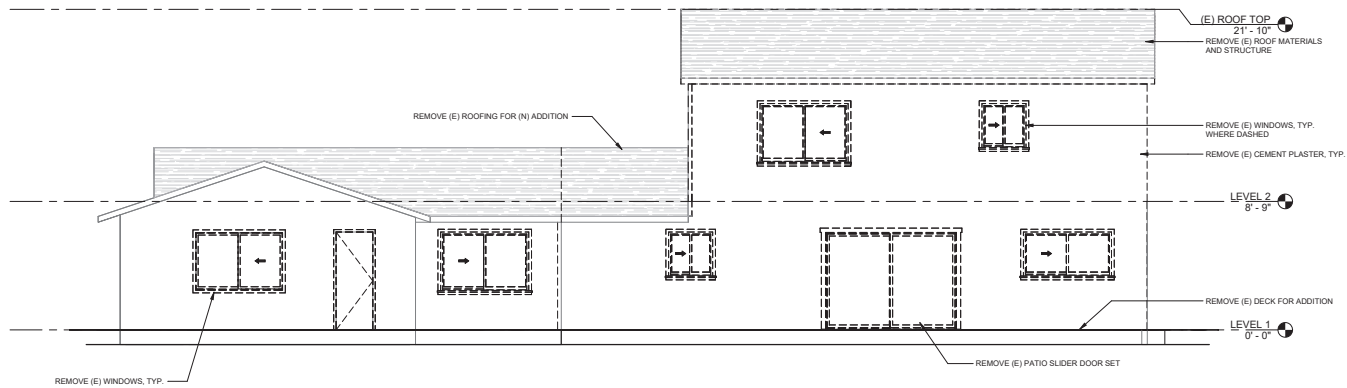
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EXISTING NORTH EXTERIOR
ELEVATION
①
1/4" = 1'-0"



EXISTING EAST EXTERIOR ELEVATION
②
1/4" = 1'-0"



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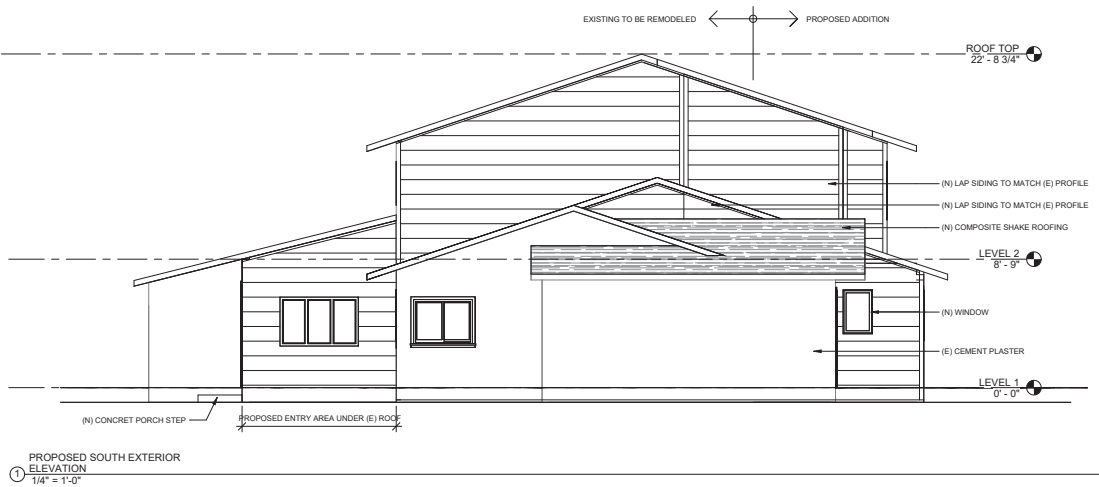
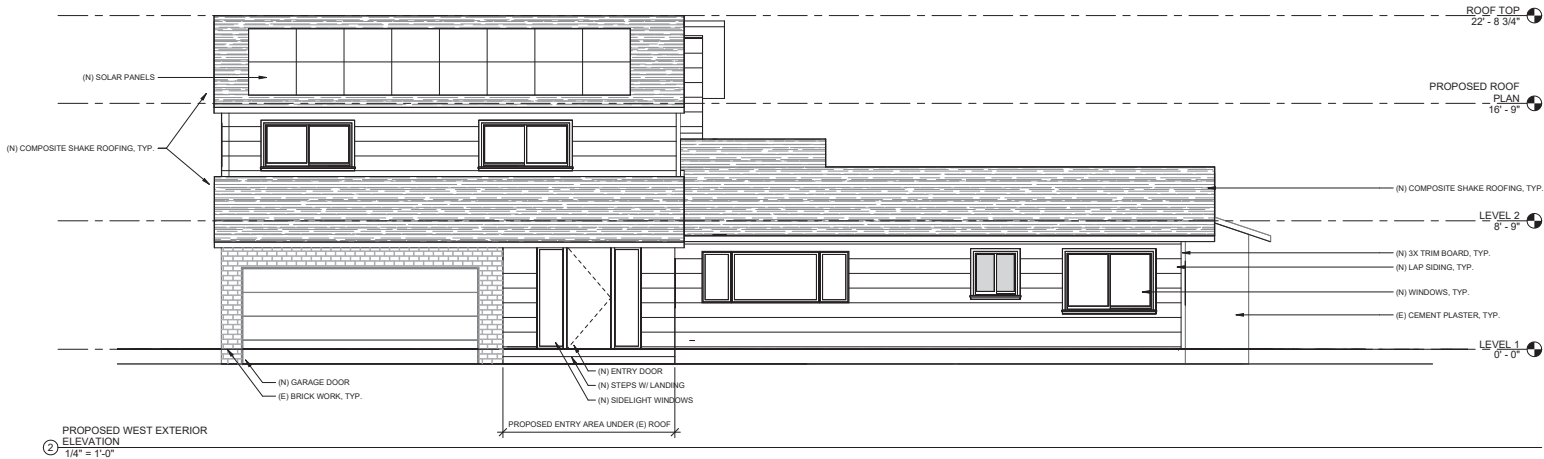
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