

4 New 2 Story
Residential Sub-Devide

OWNER
Dory Marhamat
1075 Pomeroy St
Santa Clara, CA. 95051
phone: 408-

DESIGNER
Nghi Thanh Le
875 O'Farrell St. #104A
San Francisco, CA 94109
phone 415.515.2256
fax 415.775.5342
email lenghiarch@hotmail.com

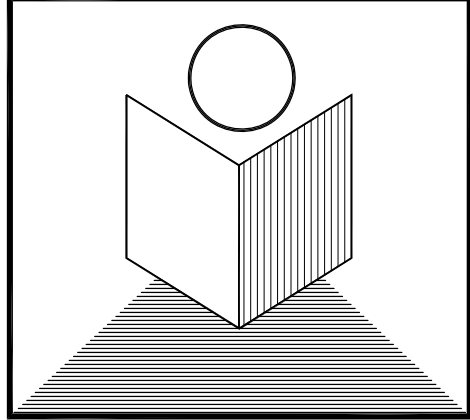


PROPOSED PERSPECTIVE

PROJECT DISCRPTION:
- DEMOLITION EXISTING HOME
- CONSTRUCTING 4 NEW SINGLE FAMILY HOMES

General Notes:

- All construction shall comply in addition to 2013 California Residence Code, California Engery Code, 2013 CBC, 2013 CEC, 2013 CMC, 2013 CPC, 2013 California Green Code, and all local codes and ordinances
- Fireblock at ceiling, floors, furred down ceilings, showers, soffits and concealed draft openings not to exceed 10 feet maximum.
- The base for wall tile in tub and shower areas, wall and ceiling panels in shower areas shall be cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1178, C1288, C1325
- Smoke detectors in new construction shall be powered by building wiring current with battery backup.
- Provide a fire warning system (Smoke Detectors) for each story and within each existing bedroom
- Light fixtures in tub or shower enclosures or other wet/damp loctions shall be labeled "suitable for damp locations".
- Provide Class A fire-rated roofing.
- All dimensions shall be field verified and coordinated with all work of all trades
- Ceiling heights are to finished surfaces.
- Offset studs where required so that finish wall surfaces will be flush.
- All dimensions are to column gird lines, face of studs, face of concrete, and face of cmu.
- Contractor shall verify size and locations of all mechanical equipment as well as power, water and drain installation with equipment manufacturers before proceeding with the work.
- Coordinate utilities shown on arch. dwgs. with mech, plumbing and elec.dwgs. Provide service to all utilities outltests shown on arch. drawings.
- All dimensions shall be field verified and coordinate with all the of the trades.
- Finish materials for all baths, showers, walls at shower enclosures should have a smooth, hard nonabsorbent surface such as tiles/ceramic tiles, portland cement...
- Structural observation shall be required by the Engineer for structural conformance to the approved plans.
- Special inspections are required for: drilled piers, concrete over 2500 psi.
- All construction to provide a waterproof, weather tight building.
Contractor shall flash and caulk as necessary to achieve this requirement.
- Fire sprinkler sytem required. The sprinkler system design will be submitted to and approved by the Fire Department prior to installation.
- Sprinkler sys NFPD 13D is required for this project. Sprinkler contractor/owner provides drawings to Fire Department for approval prior to start the job**



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story
Residential
Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

Project Data :Address: 1075 Pomeroy St.
APN: 290-69-079

Building Code: 2013 CRC, CEC (Engergy), CBC, CEC, CMC, CPC, CGC (Green)
Planning Code : City of Santa Clara
Zoning: R3-18 (PD)
Lot Size: 12,400 sq.ft.
Type of Construction: Type VB
Occupancy Group: R-3/U
Heights: 02 Story
Maximum Height: Proposed: TYPE A: 24'-1"
TYPE B: 24'-0"

FLOOR AREA			
Floor Area	Type A	Type B	Allowed
FIRST FLOOR	578.0 sqft	638.0 sqft	
SECOND FLOOR	1092.0 sqft.	1145.0 sqft.	
FLOOR AREA	1670.0 sqft.	1783.0 sqft.	
<i>GARAGE (excluded)</i>			
	430.0 sqft	455 sqft	

PARKING:
- 2 FOR EACH UNITS FOR TOTAL OF 8 & 2 ADDITION PARKING SPACES

PROJECT DATA		
	PROPOSED	REQUIRED
LOT SIZE	12,400 sqft	8,500.0 sqft
LOT WIDTH	100'-0"	70'-0"
BUILDING HEIGHT	21'-0"" TO 24'-0¾"	25'-0"
SIDE SETBACK	10'-0"	10'-0"
REAR SETBACK	15'-0"	15'-0"
FRONT SETBACK	15'-0" - 18'-0¾"	20'-0"
MAX. BUILDING COVERAGE	33.38%	35%

ABBREVIATIONS

ACST	ACOUSTICAL	LAM.	LAMINATED
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	LVR.	LOUVER
ACST	ARCHITECTURAL	L.P.	LOW POINT
ARCH.	ASPHALT	M.C.	MEDICINE CABINET
ASPH.		MECH.	MECHANICAL
		MIN.	MINIMUM
BI-FD. DR.	BI FOLDING DOOR	MIR.	MIRROR
BLDG.	BUILDING	M.T.	MARBLE TILE
BLK.	BLOCK	M. or MET.	METAL
BLKG.	BLOCKING		
BM.	BEAM	(N)	NEW
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
C. or CARP.	CARPET/PAD	O/	OVER
CAB. or CAB'T.	CABINET	OBS.	OBSCURE
CB	CATCH BASIN	O.C.	ON CENTER
CEM.	CEMENT	OP'G.	OPENING
CER.	CERAMIC		
C.I.	CAST IRON	PERF.	PERFORATED
C.I.	CONSTRUCTION JOINT	PL.	PLATE
CL.	CLOSET	P.LAM.	PLASTIC LAMINATE
CLG.	CEILING	P.L.	PROPERTY LINE
CLR.	CLEAR	PLAS.	PLASTER
C.O.	CLEAN OUT	PWD.	PLYWOOD
COL.	COLUMN	P.	POINT
CONC.	CONCRETE	QTY.	QUANTITY
CONT.	CONTINUOUS	R.	RISER
C.T.	CERAMIC TILE	RAD.	RADIUS
CL.	CENTER LINE	RET. AIR	RETURN AIR
DET. or DTL.	DETAIL	R.O.	ROUND
D.H.	DOUBLE HUNG	R.D.	ROOF DRAIN
DIAG.	DIAGONAL	REF.	REFRIGERATOR
DM.	DIMENSION	REG.	REGISTER
DISP.	DISPOSAL	REINF.	REINFORCED
DR.	DOOR	REQ'D.	REQUIRED
DWS.	DRAWINGS	RM.	ROOM
		R.O.	ROUGH OPENING
(E) or EXIST.	EXISTING	RWD.	REDWOOD
E.G.	EXISTING GRADE	R.W.L.	RAIN WATER LEADER
EXP.JT.	EXPANSION JOINT	SECT.	SECTION
EL.	ELEVATION	SC.DR.	SOLID CORE DOOR
EQ.	EQUAL	SK.	SINK
EXP.	EXPOSED	SH.	SHELF
EXT.	EXTERIOR	SHV.	SHELVING
		SHT.	SHEET
F.D.	FLOOR DRAIN	S.V.	SHEET VINYL
FIN.	FINISH	S.H.	SINGLE HUNG
F.F.L.	FINISH FLOOR LINE	SHWR.	SHOWER
F.O.C.	FACE OF CONCRETE	SM.	SIMILAR
F.O.P.	FACE OF PLYWOOD	S.M.	SHEET METAL
F.O.S.	FACE OF STUD	SL.	SLIDING
F.O.W.	FACE OF WALL	SL.GL.DR.	SLIDING GLASS DOOR
FR. DR.	FRENCH DOOR	SQ.	SQUARE
FTG.	FOOTING	ST/ST	STAINLESS STEEL
FX.	FIXED	STD.	STANDARD
		STL.	STEEL
GUAGE	GUAGE	STG.	STORAGE
GALV.	GALVANIZED	STR. or STRUC.	STRUCTURAL
G.B. or GYP. BD.	GYPSSUM BOARD	S.A.D.	SEE ARCHITECTURAL DWGS
GL.	GALVANIZED IRON	S.K.D.	SEE KITCHEN DWGS
GLU. LAM.	GLUE LAMINATED	S.S.D.	SEE STRUCTURAL DWGS
G.S.M.	GALVANIZED SHEET METAL		
		T.	TREAD
HC. DR.	HOLLOW CORE DOOR	T.B.	TOWEL BAR
HWOD.	HARDWOOD	TEMP. GL.	TEMPERED GLASS
HW.	HARDWARE	T.O.	TOP OF
HGT. or HT.	HEIGHT	THK.	THICKNESS
H.M.	HOLLOW METAL	TPD.	TOILET PAPER DISPENSER
HOR.	HORIZONTAL	TYP.	TYPICAL
H.P.	HIGH POINT	U.N.D.	UNLESS NOTED OTHERWISE
H.W.H.	HOT WATER HEATER		
		V.	VENT
I.G.	INSULATED GLASS	VERT.	VERTICAL
INS.	INSULATION	V.I.F.	VERIFY IN FIELD
INT.	INTERIOR		
		W/	WITH
JST.	JOIST	WC	WATER CLOSET
J.	JUNCTION BOX	WD.	WOOD
		WIDW.	WINDOW
		WP.	WEATHERPROOF
		YD.	YARD

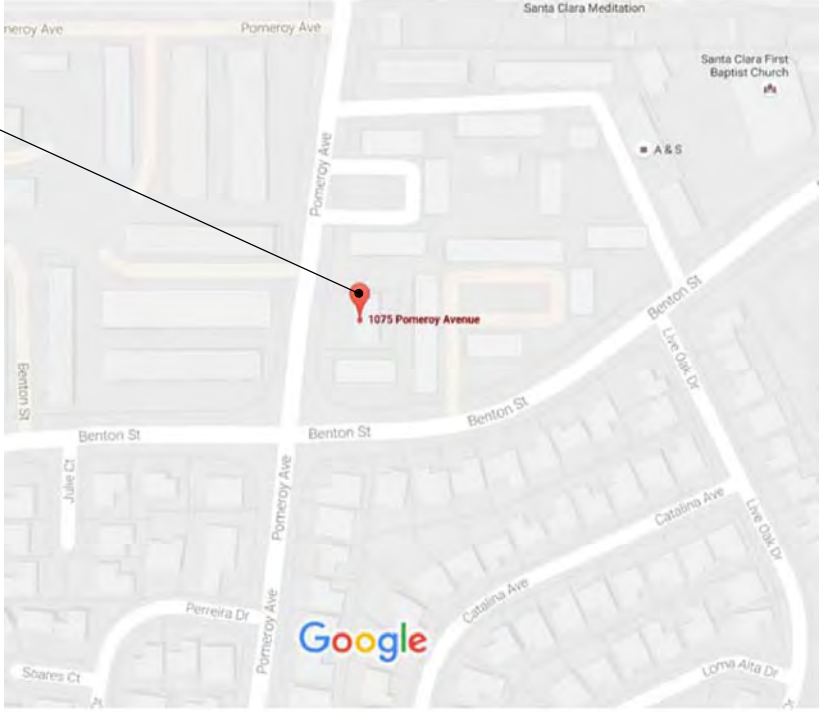
SYMBOLS

LINE OF ITEM ABOVE OR BEYOND (SEE NOTE)	-----
ELEVATION REFERENCE POINT	
BUILDING SECTION	
WALL SECTION or ELEVATION	
DETAIL	
GUIDE TO INTERIOR ELEVATIONS	
ROOM NUMBER	
EQUIPMENT NUMBER	
NORTH ARROW	
REVISION	
DOOR REFERENCE	
WINDOW REFERENCE	
COLUMN REFERENCE GRIDS	
CENTERLINES, FLOOR LINES IN EXTERIOR ELEVATIONS, PROJECTED LINES	
PROPERTY LINES, BOUNDARY LINES	
BREAKS IN DRAWINGS	
SECTION LINES AND SECTION REFERENCES	

Sheet Index

- A0 Title Sheet-Location Map, Title 24, General Notes, Abbreviations
- A1A Proposed Master/Site Plan Plan
- A1B Proposed Site Elevations
- A2 Proposed Floor Plans - **Type A**
- A3 Proposed Floor Plans - **Type B**
- A4 Proposed Building Elevations - **Type A**
- A5 Proposed Building Elevations - **Type A**
- A6 Proposed Building Elevations - **Type B**
- A7 Proposed Building Elevations - **Type B**
- A8 Proposed Building Sections - **Type A**
- A9 Proposed Building Sections - **Type B**
- L0 Impervious Surface Calculation
- L1 Proposed Landscape Plan
- C0 Tentative Map
- C1 Grading & Drainage Plan
- C2 Utility Plan
- C3 Standard Details

PROJECT LOCATION



Title Sheet

no.	revisions	date
	PD Submittal	01/23/2018

date issued: 01/23/2018

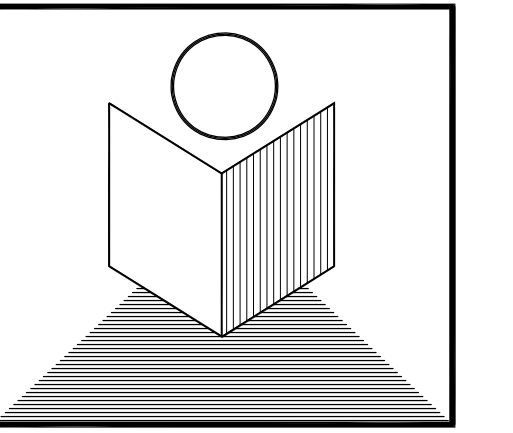
drawn by: NGHI THANH LE

job#: 1650-2018

drawing number

A0

of sheets



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

PROPOSED SITE PLAN

SCALE: $\frac{1}{8}" = 1'-0"$

no.	revisions	date
1	PD Submittal	01/23/2018

date issued: 01/23/2018

drawn by: NGHI THANH LE

job#: 1650-2018

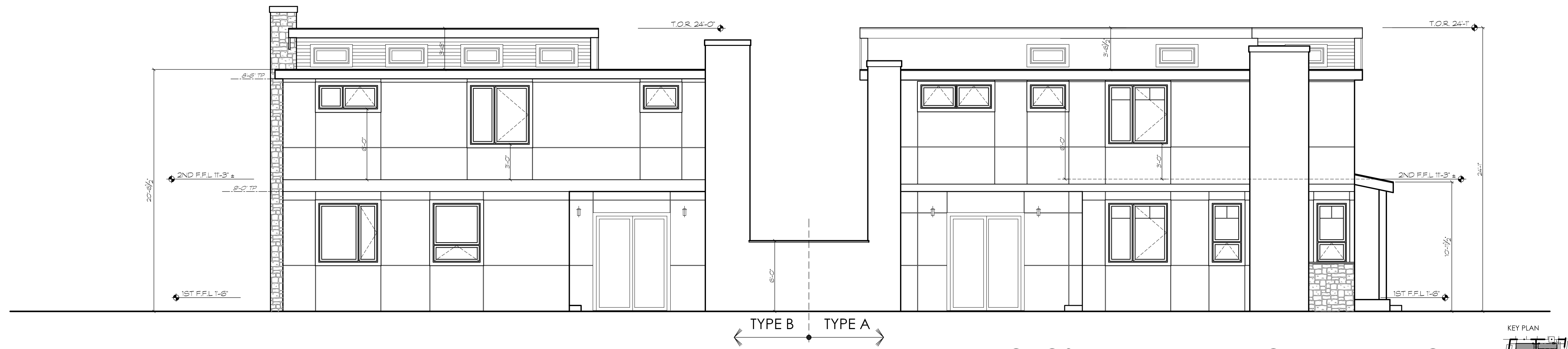
drawing number

A1A

of sheets

Copyright © 2018 T.N. DESIGN - SF

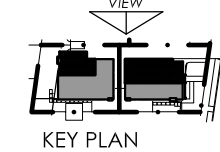




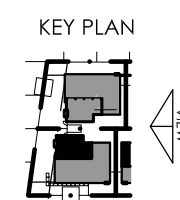
1
A1B
PROPOSED TYPE A & B NORTH ELEVATION
SCALE: 3/16" = 1'-0"



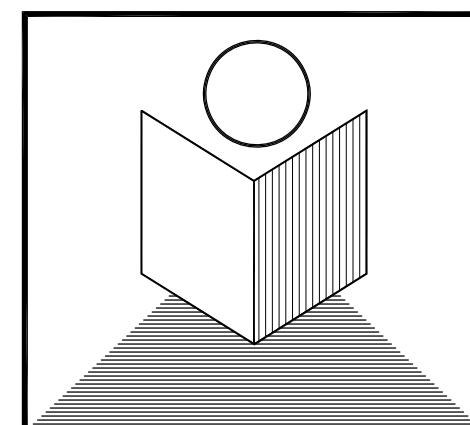
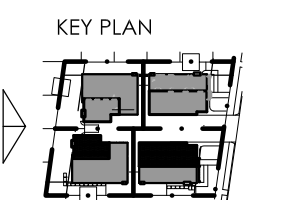
2
A1B
PROPOSED TYPE A & B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3
A1B
PROPOSED TYPE A & A1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4
A1B
PROPOSED TYPE A & A1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



T.N. DESIGN
875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

**4 New 2 Story
Residential
Sub-divide Prj**

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: 290-69-079

**PROPOSED
SITE ELEVATIONS**
SCALE: 3/16" = 1'-0"

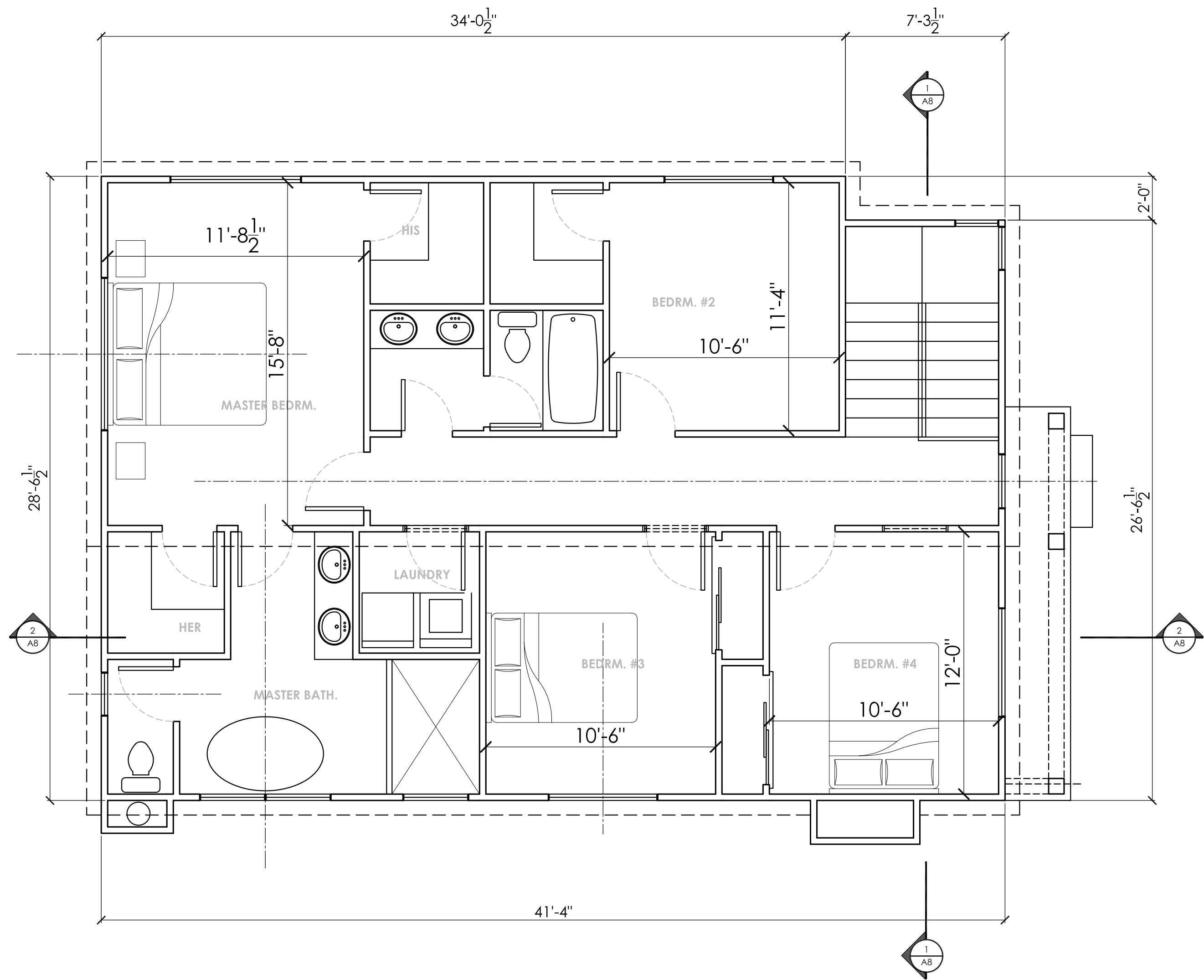
no.	revisions	date
	PD Submittal	01/23/2018

date issued: 01/23/2018
drawn by: NGHI THANH LE
job#: 1650-2018

drawing number

A1B

of sheets
Copyright © 2018 T.N. DESIGN - SF



2
A2
PROPOSED TYPE A 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- INDICATES (N) 1HR WALL
- INDICATES (N) AREA
- INDICATES HEAT REGISTER
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE ALARM

ASHRAE 62.2 COMPLIANCE NOTES:

- ALL BATHROOM FANS ARE 20 CFM MIN.
- KITCHEN HOOD FAN IS 100 CFM. MIN.
- HVAC FILTER IS MERV 6 MIN., 1" THICK W/ MAX. 0.1" W.C. PRESSURE DROP

EGRESS WINDOW REQ.:

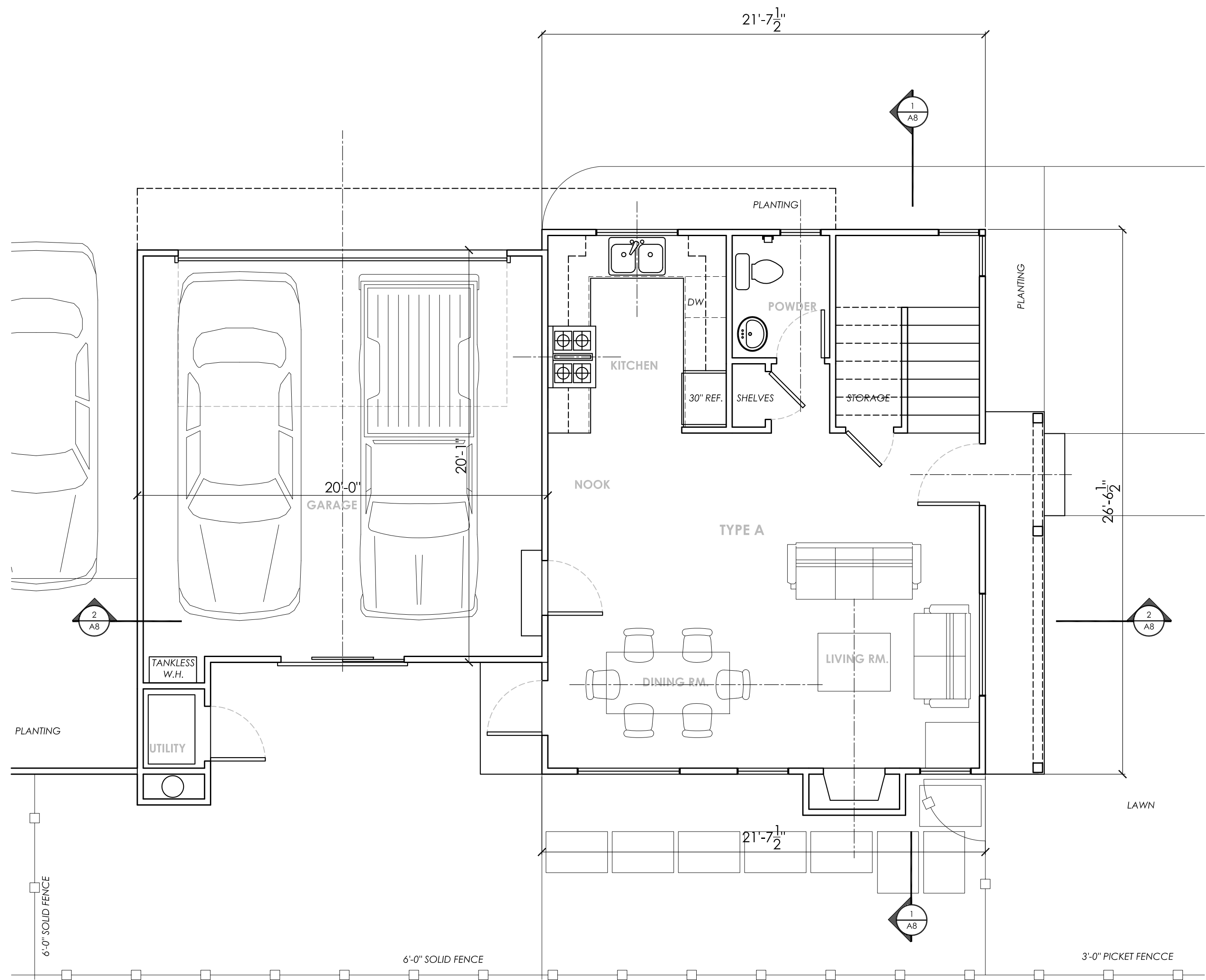
- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SQUARE FEET IN OPENING AREA
- MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
- **IN ORDER TO MEET THE REQUIRED 5.7 SQFT TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION**

FIRE/SAFETY REQ.:

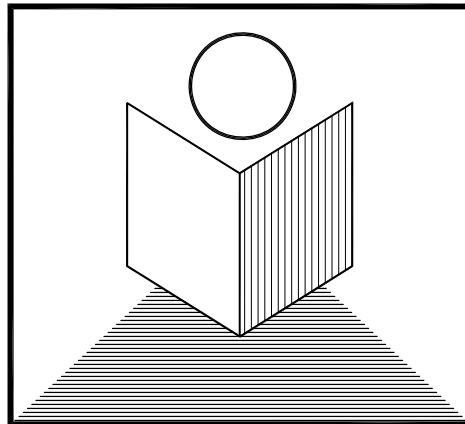
- FIRE ALARMS SHOULD BE LISTED AS COMPLYING WITH UL217 AND BE INSTALLED & MAINTAINED IN ACCORDANCE WITH NFPA 72 & MANUF. INSTRUCTION
- CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA720 AND THE MANF. INSTRUCTIONS

PLUMBING NOTES:

1. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
2. THE MAX. FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI.
3. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
4. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED



1
A2
PROPOSED TYPE A 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



T.N. DESIGN
875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

PROPOSED TYPE A FLOOR PLANS

SCALE: 1/4" = 1'-0"

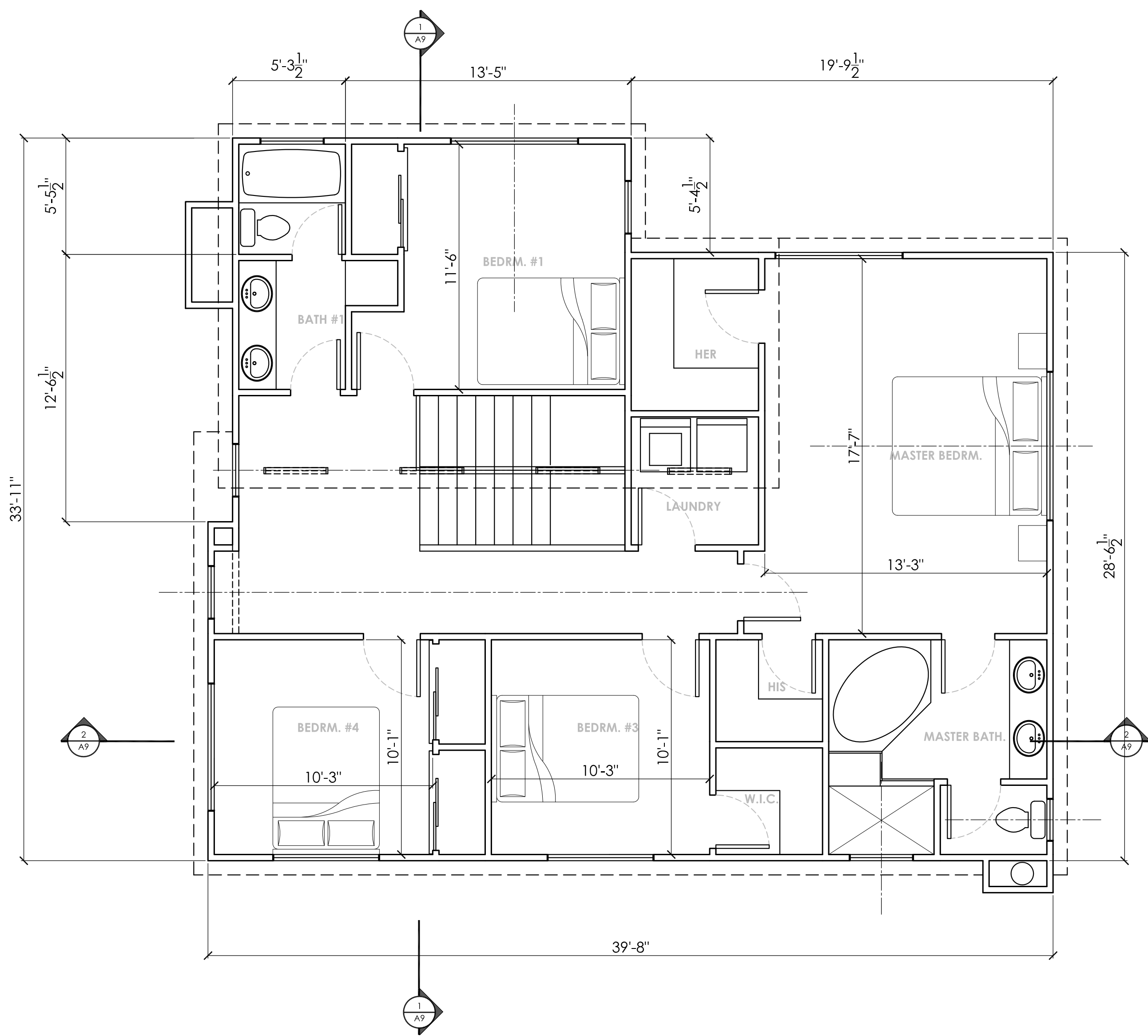
no.	revisions	date
	PD Submittal	01/23/2018
1		
2		

date issued: 01/23/2018

drawn by: NGHI THANH LE

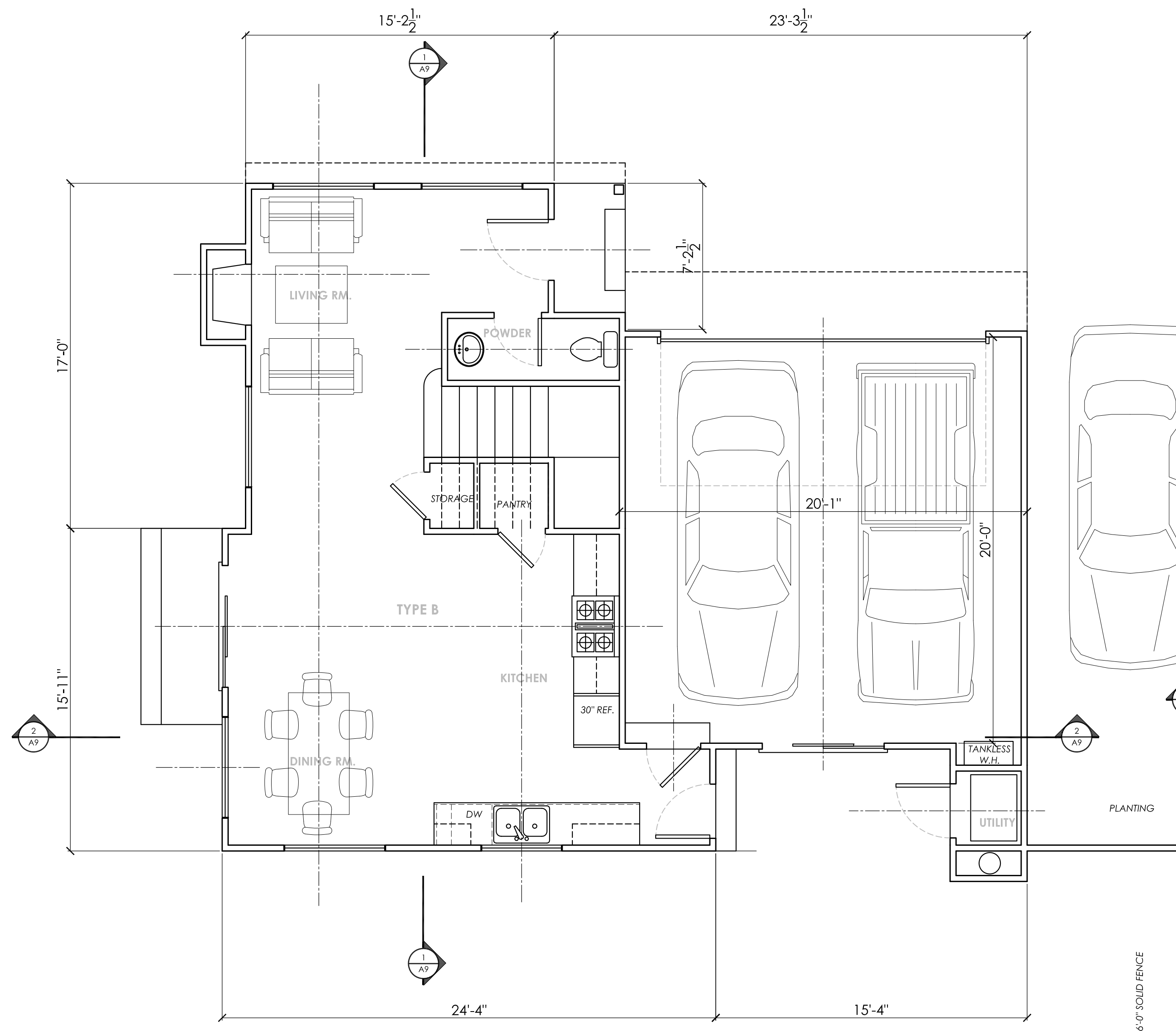
job#: 1650-2018

drawing number



2
A3
PROPOSED TYPE B 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- INDICATES (N) 1HR WALL
- INDICATES (N) AREA
- INDICATES HEAT REGISTER
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE ALARM



1
A3
PROPOSED TYPE B 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ASHRAE 62.2 COMPLIANCE NOTES:

- ALL BATHROOM FANS ARE 20 CFM MIN.
- KITCHEN HOOD FAN IS 100 CFM. MIN.
- HVAC FILTER IS MERV 6 MIN., 1" THICK W/ MAX. 0.1" W.C. PRESSURE DROP

EGRESS WINDOW REQ.:

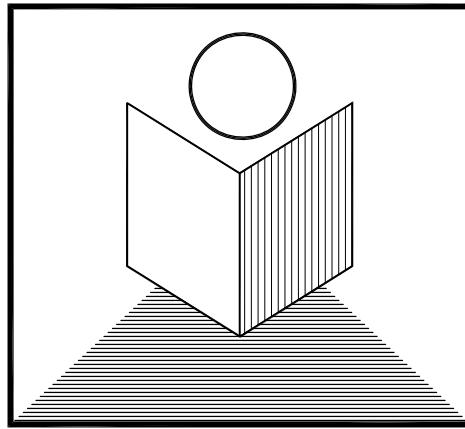
- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SQUARE FEET IN OPENING AREA
- MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
- **IN ORDER TO MEET THE REQUIRED 5.7 SQFT TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION**

FIRE/SAFETY REQ.:

- FIRE ALARMS SHOULD BE LISTED AS COMPLYING WITH UL217 AND BE INSTALLED & MAINTAINED IN ACCORDANCE WITH NFPA 72 & MANUF. INSTRUCTION
- CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA720 AND THE MANF. INSTRUCTIONS

PLUMBING NOTES:

1. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
2. THE MAX. FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI.
3. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
4. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED



T.N. DESIGN
875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

PROPOSED TYPE B FLOOR PLANS

SCALE: 1/4" = 1'-0"

no.	revisions	date
	PD Submittal	01/23/2018
1		
2		

date issued: 01/23/2018

drawn by: NGHI THANH LE

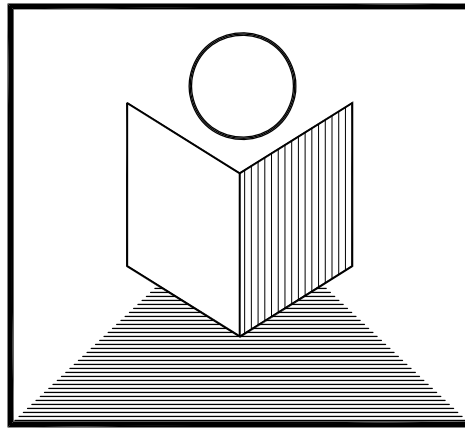
job#: 1650-2018

drawing number

A3

of sheets

Copyright © 2018 T.N. DESIGN - SF



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story
Residential
Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: 290-69-079

TYPE A
BUILDING
ELEVATIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	PD Submittal	01/23/2018

date issued: 01/23/2018

drawn by: NGHI THANH LE

job#: 1650-2018

drawing number

A4

of sheets

Copyright © 2018 T.N. DESIGN - SF



- 1/2" CEMENT BOARD O/ 2 COATS OF STUCCO
- ASPHALT SINGLE ROOF - "CLASS A"
- SOLID GARAGE DOOR - STAIN
- 1X4 WD TRIM - PAINT
- DOUBLE PANE ALUMINUM FRAME WINDOW
- SOLID WOOD ENTRY DR. - STAIN
- 1X4 WD SIDING - STAIN
- 8X8 WD COLUMN/POST - PAINT
- STUCCO CHIMNEY GAS FIREPLACE
- 1X8 FASCIA W/ PAINT
- TORCH DOWN/BUILT-UP ROOF - "CLASS A"
- EXTERIOR DOOR
- STONE VENEER
- 4" HEIGHT & 1/2" THICK MIN. BUILDING ADDRESS LOCATION
- EXTERIOR LIGHTING W/ FROSTED/OR TRANSLUCENT GLASS
- 1X8 BELLY BAND - PAINT
- 6'-0" STUCCO FENCE - MATCH HOUSE

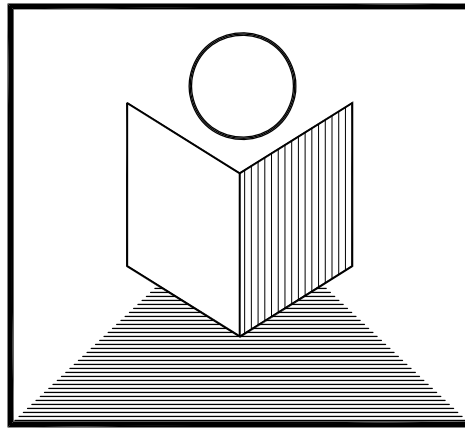
1
A4
PROPOSED TYPE A WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- 'THRU-CURB' DRAINS ARE NOT ALLOWED.



2
A4
PROPOSED TYPE A NORTH ELEVATION
SCALE: 1/4" = 1'-0"



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

TYPE A BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
	PD Submittal	01/23/2018

1		
2		

date issued: 01/23/2018

drawn by: NGHI THANH LE

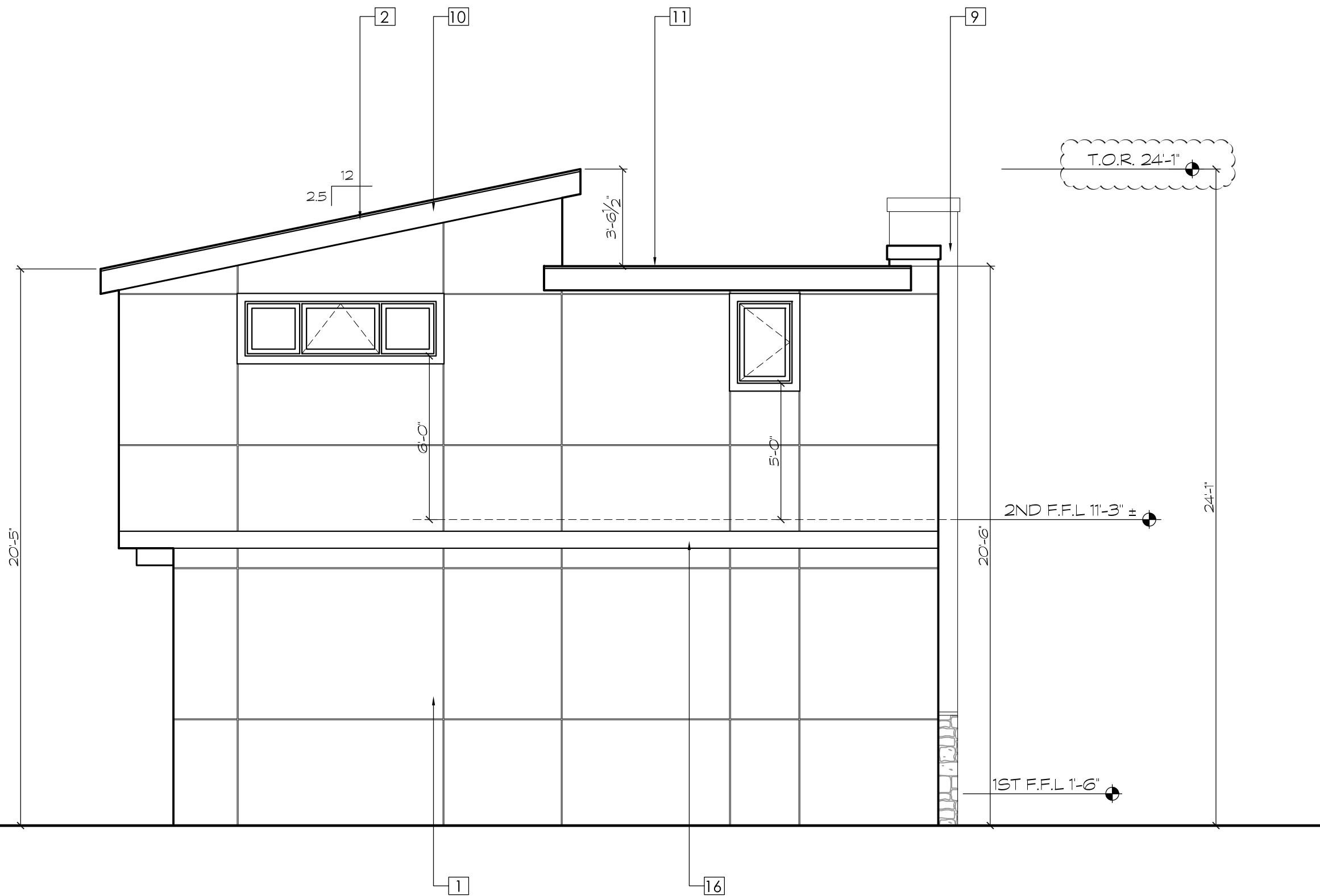
job#: 1650-2018

drawing number

A5

of sheets

Copyright © 2018 T.N. DESIGN - SF



PROPOSED TYPE A EAST ELEVATION

SCALE: 1/4" = 1'-0"

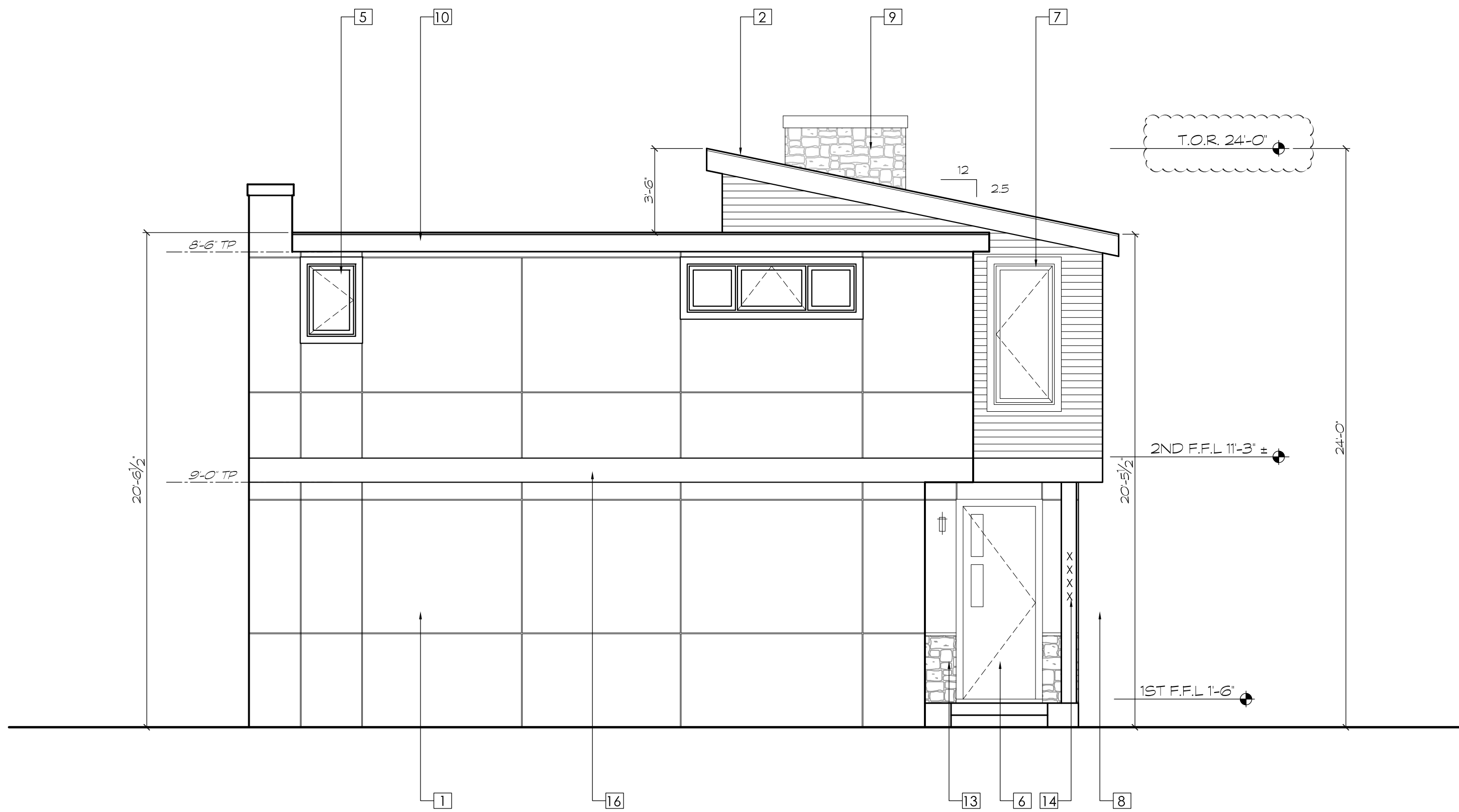
NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POPUP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- "THRU-CURB" DRAINS ARE NOT ALLOWED.

- 1/2" CEMENT BOARD O/ 2 COATS OF STUCCO
- ASPHALT SINGLE ROOF - "CLASS A"
- SOLID GARAGE DOOR - STAIN
- 1X4 WD TRIM - PAINT
- DOUBLE PANE ALUMINUM FRAME WINDOW
- SOLID WOOD ENTRY DR. - STAIN
- 1X4 WD SIDING - STAIN
- 8X8 WD COLUMN/POST - PAINT
- STUCCO CHIMNEY GAS FIREPLACE
- 1X8 FASCIA W/ PAINT
- TORCH DOWN/BUILT-UP ROOF - "CLASS A"
- EXTERIOR DOOR
- STONE VENEER
- 4" HEIGHT & 1/2" THICK MIN. BUILDING ADDRESS LOCATION
- EXTERIOR LIGHTING W/ FROSTED/OR TRANSLUCENT GLASS
- 1x8 BELLY BAND - PAINT
- 6'-0" STUCCO FENCE - MATCH HOUSE



PROPOSED TYPE A SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



- 1/2" CEMENT BOARD O/ 2 COATS OF STUCCO
- ASPHALT SINGLE ROOF - "CLASS A"
- SOLID GARAGE DOOR - STAIN
- 1X4 WD TRIM - PAINT
- DOUBLE PANE ALUMINUM FRAME WINDOW
- SOLID WOOD ENTRY DR. - STAIN
- 1X4 WD SIDING - STAIN
- 8X8 WD COLUMN/POST - PAINT
- STUCCO CHIMNEY GAS FIREPLACE
- 1X8 FASCIA W/ PAINT
- TORCH DOWN/BUILT-UP ROOF - "CLASS A"
- EXTERIOR DOOR
- STONE VENEER
- 4" HEIGHT & 1/2" THICK MIN. BUILDING ADDRESS LOCATION
- EXTERIOR LIGHTING W/ FROSTED/OR TRANSLUCENT GLASS
- 1X8 BELLY BAND - PAINT
- 6'-0" STUCCO FENCE - MATCH HOUSE

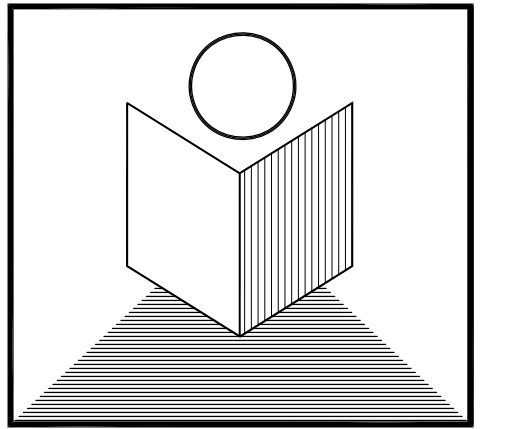
1
A6
PROPOSED TYPE B WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- 'THRU-CURB' DRAINS ARE NOT ALLOWED.



2
A6
PROPOSED TYPE B NORTH ELEVATION
SCALE: 1/4" = 1'-0"



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

TYPE B BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
	PD Submittal	01/23/2018



date issued: 01/23/2018

drawn by: NGHI THANH LE

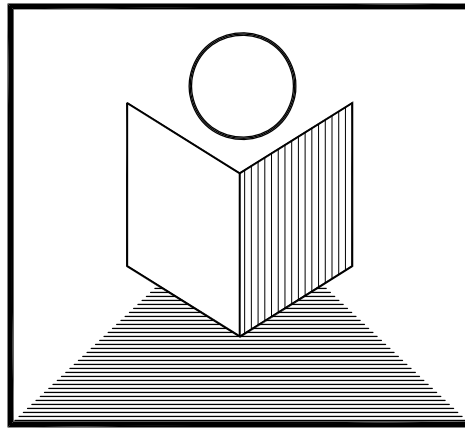
job#: 1650-2018

drawing number

A6

of sheets

Copyright © 2018 T.N. DESIGN - SF



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: **290-69-079**

TYPE B BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	PD Submittal	01/23/2018

2		
---	--	--

date issued: 01/23/2018

drawn by: NGHI THANH LE

job#: 1650-2018

drawing number

A7

of sheets

Copyright © 2018 T.N. DESIGN - SF



PROPOSED TYPE B EAST ELEVATION
SCALE: 1/4" = 1'-0"



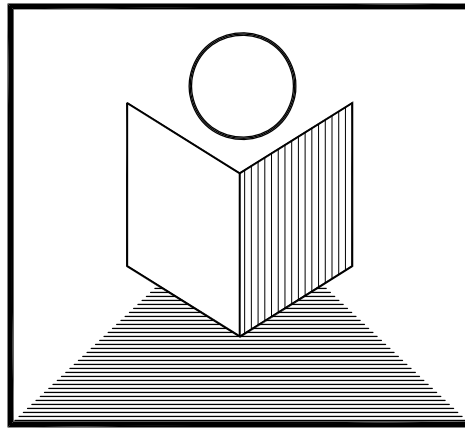
NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- "THRU-CURB" DRAINS ARE NOT ALLOWED.



PROPOSED TYPE B SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- 1/2" CEMENT BOARD O/ 2 COATS OF STUCCO
- ASPHALT SINGLE ROOF - "CLASS A"
- SOLID GARAGE DOOR - STAIN
- 1X4 WD TRIM - PAINT
- DOUBLE PANE ALUMINUM FRAME WINDOW
- SOLID WOOD ENTRY DR. - STAIN
- 1X4 WD SIDING - STAIN
- 8X8 WD COLUMN/POST - PAINT
- STUCCO CHIMNEY GAS FIREPLACE
- 1X8 FASCIA W/ PAINT
- TORCH DOWN/BUILT-UP ROOF - "CLASS A"
- EXTERIOR DOOR
- STONE VENEER
- 4" HEIGHT & 1/2" THICK, MIN. BUILDING ADDRESS LOCATION
- EXTERIOR LIGHTING W/ FROSTED/OR TRANSLUCENT GLASS
- 1X8 BELLY BAND - PAINT
- 6'-0" STUCCO FENCE - MATCH HOUSE





T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story
Residential
Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: 290-69-079

TYPE A
BUILDING
SECTIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	PD Submittal	01/23/2018

date issued: 01/23/2018

drawn by: NGHI THANH LE

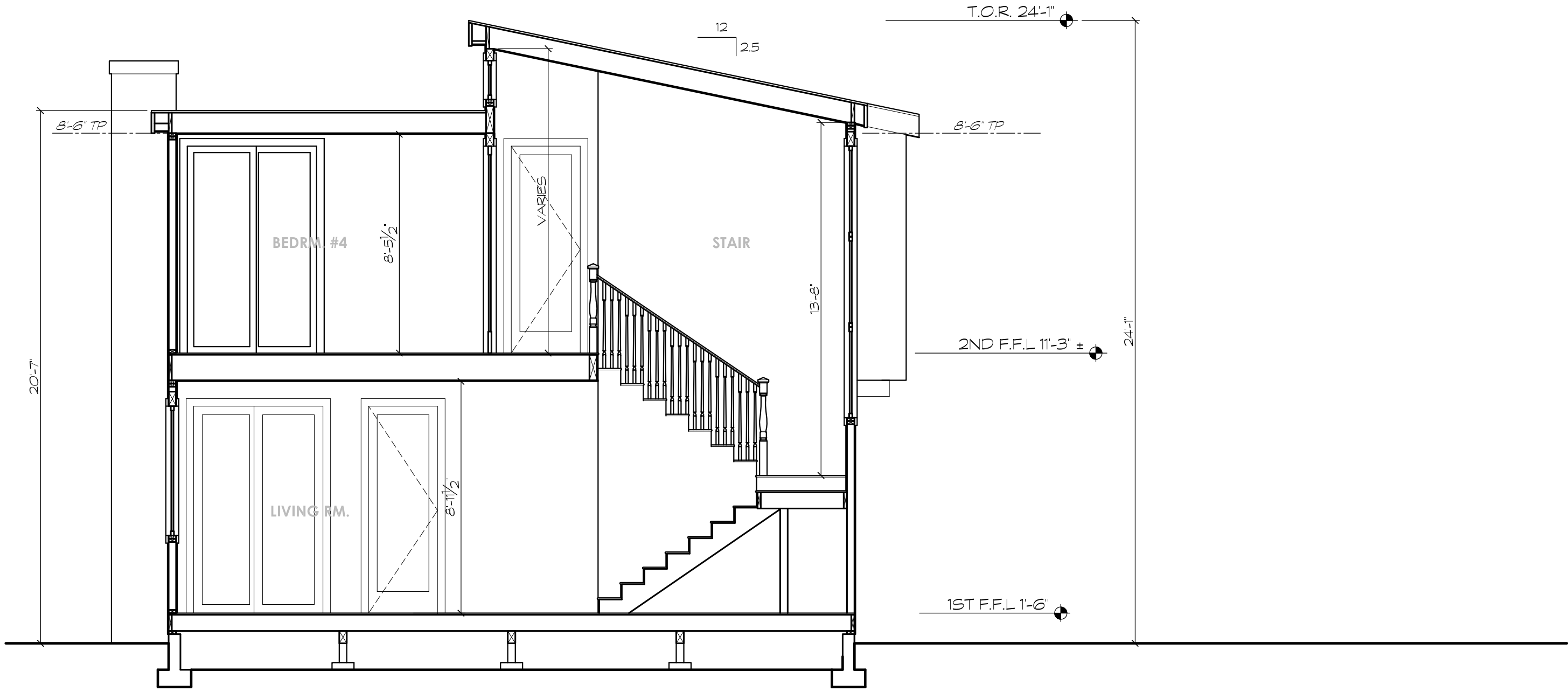
job#: 1650-2018

drawing number

A8

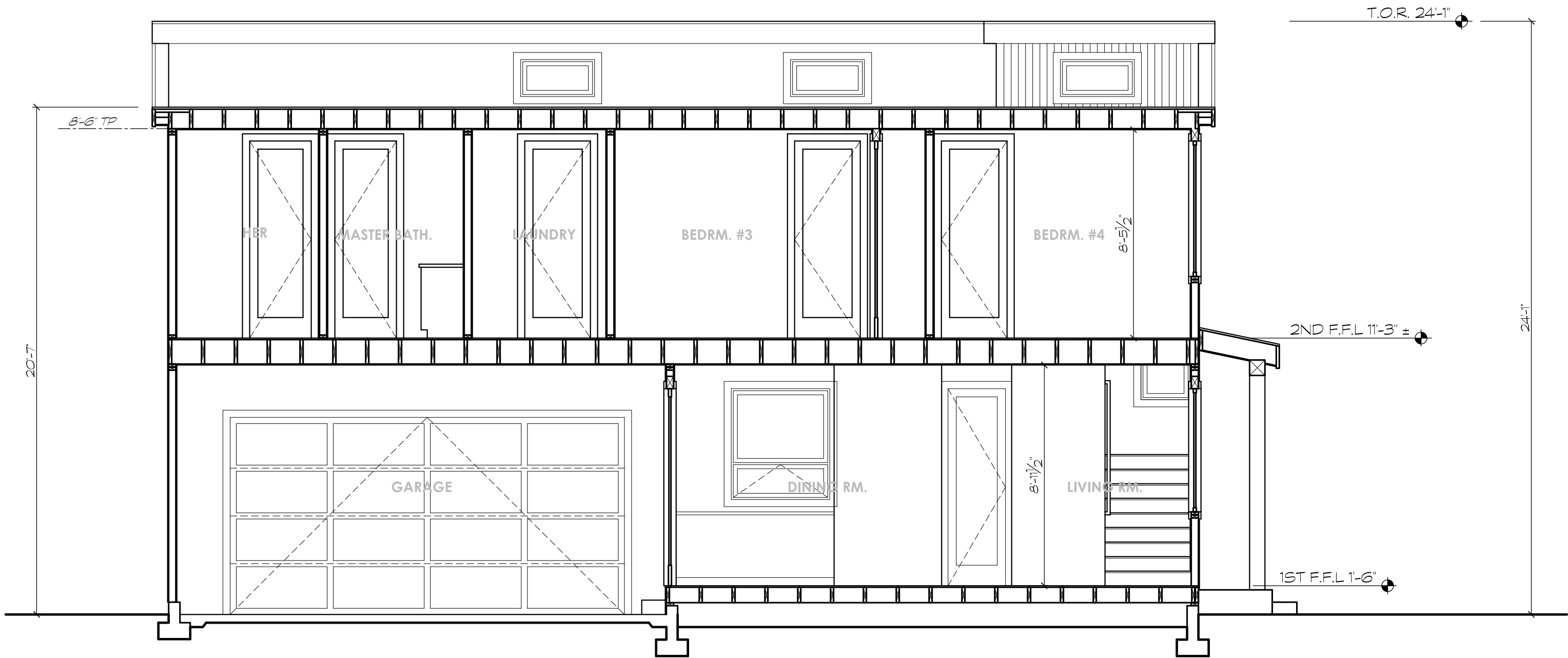
of sheets

Copyright © 2018 T.N. DESIGN - SF

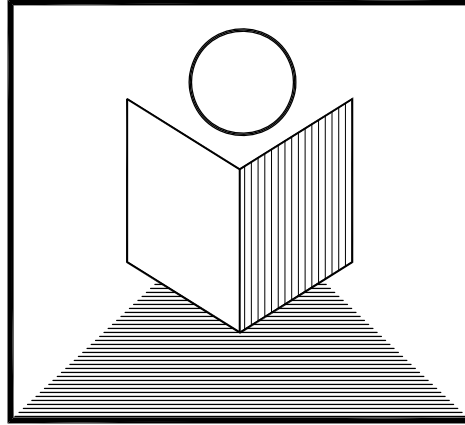


1
A8
PROPOSED TYPE A SECTION A-A
SCALE: 1/4" = 1'-0"

NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- 'THRU-CURB' DRAINS ARE NOT ALLOWED.



2
A8
PROPOSED TYPE A SECTION B-B
SCALE: 1/4" = 1'-0"



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109

Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: 290-69-079

TYPE B BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	PD Submittal	01/23/2018



date issued: 01/23/2018

drawn by: NGHI THANH LE

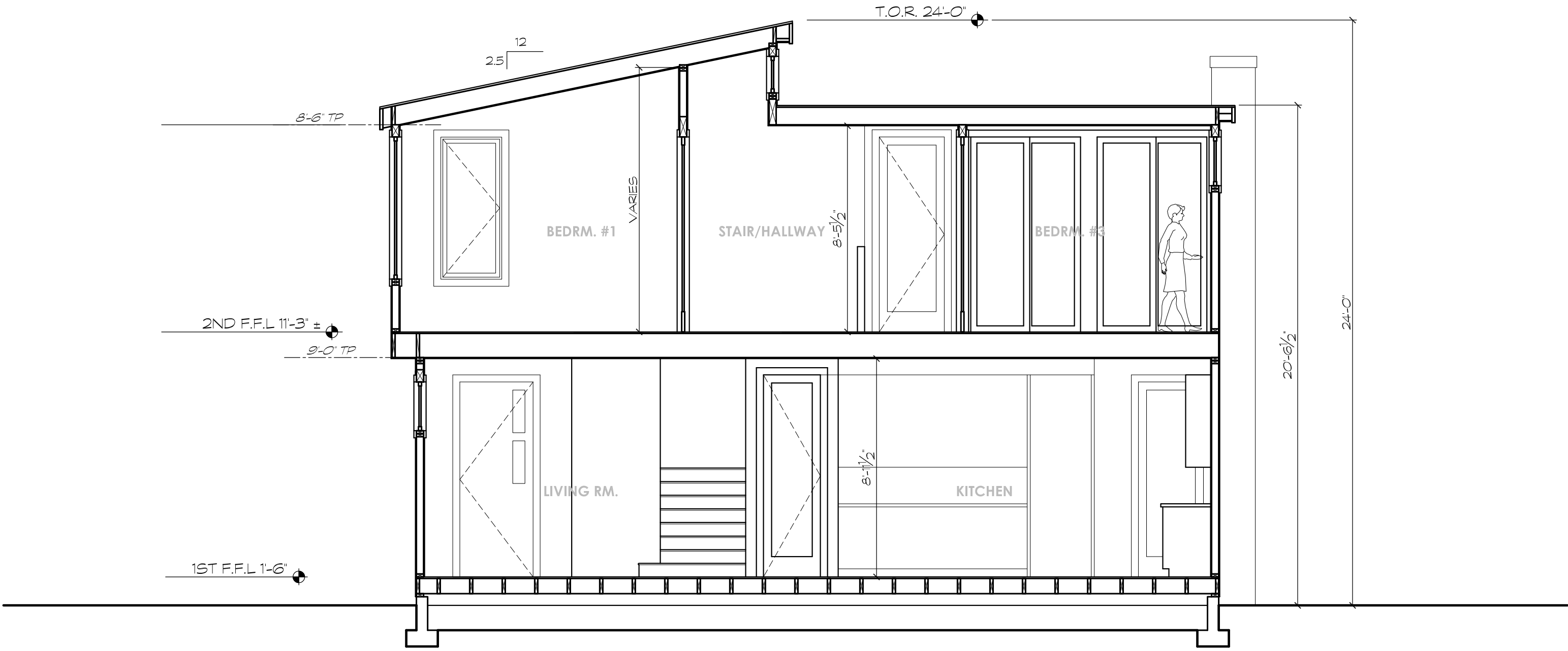
job#: 1650-2018

drawing number

A9

of sheets

Copyright © 2018 T.N. DESIGN - SF



- 7/8" STUCCO FINISH - 3 COATS
- ASPHALT SINGLE ROOF - "CLASS A"
- SOLID GARAGE DOOR - STAIN
- 1X4 WD TRIM - PAINT
- DOUBLE PANE ALUMINUM FRAME WINDOW
- SOLID WOOD ENTRY DR. - STAIN
- 1X4 WD SIDING - STAIN
- 8X8 WD COLUMN/POST - PAINT
- STONE VENEER CHIMNEY GAS FIREPLACE
- 1X8 FASCIA W/ PAINT
- TORCH DOWN/BUILT-UP ROOF - "CLASS A"
- EXTERIOR DOOR
- STONE VENEER
- 4" HEIGHT & 1/2" THICK MIN. BUILDING ADDRESS LOCATION
- EXTERIOR LIGHTING W/ FROSTED/OR TRANSLUCENT GLASS
- 1x8 BELLY BAND - PAINT
- 6'-0" STUCCO FENCE - MATCH HOUSE

1 A9 PROPOSED TYPE B SECTION A-A

SCALE: 1/4" = 1'-0"

- NOTE:
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
 - THRU-CURB DRAINS ARE NOT ALLOWED.



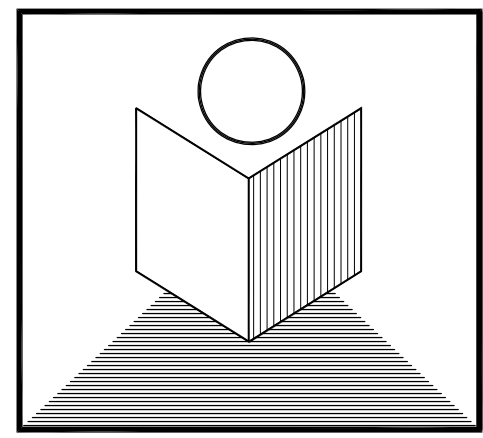
2 A9 PROPOSED TYPE B SECTION B-B

SCALE: 1/4" = 1'-0"



IMPERVIOUS SURFACE:	4361 SQFT. (35.17%)
PERVIOUS SURFACE:	3066 SQFT. (24.73%)
GRASS & PERVIOUS AREA:	4973 SQFT. (40.11%)

PROPOSED IMPERVIOUS SURFACE CAL
SCALE: 3/16" = 1'-0"



T.N. DESIGN

875 O'FARRELL STREET, #104A
SAN FRANCISCO, CA. 94109
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

4 New 2 Story Residential Sub-divide Prj

1075 Pomeroy St.
Santa Clara, CA. 95051
APN: 290-69-079

PROPOSED IMPERVIOUS SURFACE CAL.

SCALE: 3/16" = 1'-0"

no.	revisions	date
1	PD Submittal	01/23/2018
2		

date issued: 01/23/2018
drawn by: NGHI THANH LE
job#: 1650-2018
drawing number

L0