

SHEET INDEX	SCOPE OF WORK	PROJECT DATA	REV. DATE NO.																																													
A-0 COVER SHEET A-0.1 PARKING ANALYSIS PREVIOUSLY APPROVED - REFERENCE ONLY A-0.2 EXISTING FLOOR PLAN PREVIOUS RESTAURANT USE - FOR REFERENCE A-1 SITE PLAN & VICINITY MAP A-2 FLOOR PLAN ATTACHED: - APPLICATION - STATEMENT OF JUSTIFICATION / OPERATIONS INFORMATION - MENU	CUP APPLICATION: RESTAURANT USE IS CURRENTLY APPROVED AND ALLOWED CUP IS A REQUEST FOR THE NEW FULL SERVICE RESTAURANT TO HOLD "47" ALCOHOL LICENSE TO COMPLIMENT MEALS TENANT IMPROVEMENT CONSTRUCTION PLANS CURRENTLY UNDER REVIEW UNDER SEPERATE PERMIT #BLDG 2018-49652	APN'S:104-16-112 Owner/ Tenant:Applicant: VRSV One Inc., dba BurgerIM 6089 Sunstone Drive San Jose ca 95123 Attn: Sravya Pathi 408-766-9438 Vivek 925-899-5824 vivek3883@yahoo.com CUP APP CONTACT:Acute Consulting, Inc. 29 Orinda Way #1267 Orinda, CA 94563 925-818-4132 Useable Area:2341 SQ. FT. TENNANT SPACE INTERIOR 426 SQ. FT. EXTERIOR PATIO AREA 2,767 SQ. FT. TOTAL Construction Type:TYPE V-B, 1 STORY Fully Sprinklered:YES Previous Use:MEXICALI GRILL Proposed Use:RESTAURANT & BAR Occupancy Classification:GROUP A-2 Occupancy Load:INTERIOR = 82 (# of seats = 58) EXTERIOR PATIOS = 28 (# of seats = 24) Total # of seats:72 SEATS <table><thead><tr><th>FUNCTION</th><th>OCCUPANCY</th><th>AREA</th><th>LOAD FACTOR</th><th>LOAD</th></tr></thead><tbody><tr><td>KITCHEN/ STORAGE</td><td>B</td><td>634</td><td>200</td><td>4</td></tr><tr><td>BAR/ SERVICE AREA</td><td>A-2</td><td>400</td><td>200</td><td>2</td></tr><tr><td>RESTROOMS/ HALLWAY</td><td>ACCESSARY</td><td>303</td><td>-</td><td>0</td></tr><tr><td>DINING/ BAR AREA</td><td>A-2</td><td>904</td><td>15</td><td>60</td></tr><tr><td>FIXED SEATING</td><td>N/A</td><td>100</td><td>-</td><td>16</td></tr><tr><td>TOTAL OCCUPANT LOAD INTERIOR</td><td></td><td>2341</td><td></td><td>82</td></tr><tr><td>TOTAL OCCUPANT LOAD PATIO</td><td></td><td>426</td><td></td><td>28</td></tr><tr><td>TOTAL OCCUPANT LOAD:</td><td></td><td>2,767</td><td></td><td>110</td></tr></tbody></table>	FUNCTION	OCCUPANCY	AREA	LOAD FACTOR	LOAD	KITCHEN/ STORAGE	B	634	200	4	BAR/ SERVICE AREA	A-2	400	200	2	RESTROOMS/ HALLWAY	ACCESSARY	303	-	0	DINING/ BAR AREA	A-2	904	15	60	FIXED SEATING	N/A	100	-	16	TOTAL OCCUPANT LOAD INTERIOR		2341		82	TOTAL OCCUPANT LOAD PATIO		426		28	TOTAL OCCUPANT LOAD:		2,767		110	MAXWELL A. BEAUMONT ARCHITECT NO. C 24621 2-28-19 RENEWAL DATE BEAUMONT & ASSOCIATES MAXWELL A. BEAUMONT, ARCHITECT EMERYVILLE, CALIFORNIA (510) 701-7368 DESIGN4DINING@AOL.COM DESIGN 4 DINING 1966 Tice Valley Blvd, Suite #142 WALNUT CREEK, CA, 94595 510-701-7368 DESIGN4DINING@AOL.COM D. MANCINI, /ACD / FSD BURGERIM 3151 Mission College Blvd, Santa Clara 95054 DATE: 2-11-18 A-0
FUNCTION	OCCUPANCY	AREA	LOAD FACTOR	LOAD																																												
KITCHEN/ STORAGE	B	634	200	4																																												
BAR/ SERVICE AREA	A-2	400	200	2																																												
RESTROOMS/ HALLWAY	ACCESSARY	303	-	0																																												
DINING/ BAR AREA	A-2	904	15	60																																												
FIXED SEATING	N/A	100	-	16																																												
TOTAL OCCUPANT LOAD INTERIOR		2341		82																																												
TOTAL OCCUPANT LOAD PATIO		426		28																																												
TOTAL OCCUPANT LOAD:		2,767		110																																												
APPLICABLE CODES	VICINITY MAP	APN: 104-16-112																																														
The following codes, as amended by State of California and local jurisdiction, are applicable to this project. 2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA FIRE CODE (CFC) 2016 CALIFORNIA ENERGY CODE AKA ENERGY EFFICIENCY STANDARDS (EES) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAW (CURFFL) 2016 CALIFORNIA ACCESSIBILITY TITLE (TITLE-24) 2016 CALIFORNIA RESIDENTIAL CODE (CRC) 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)																																																

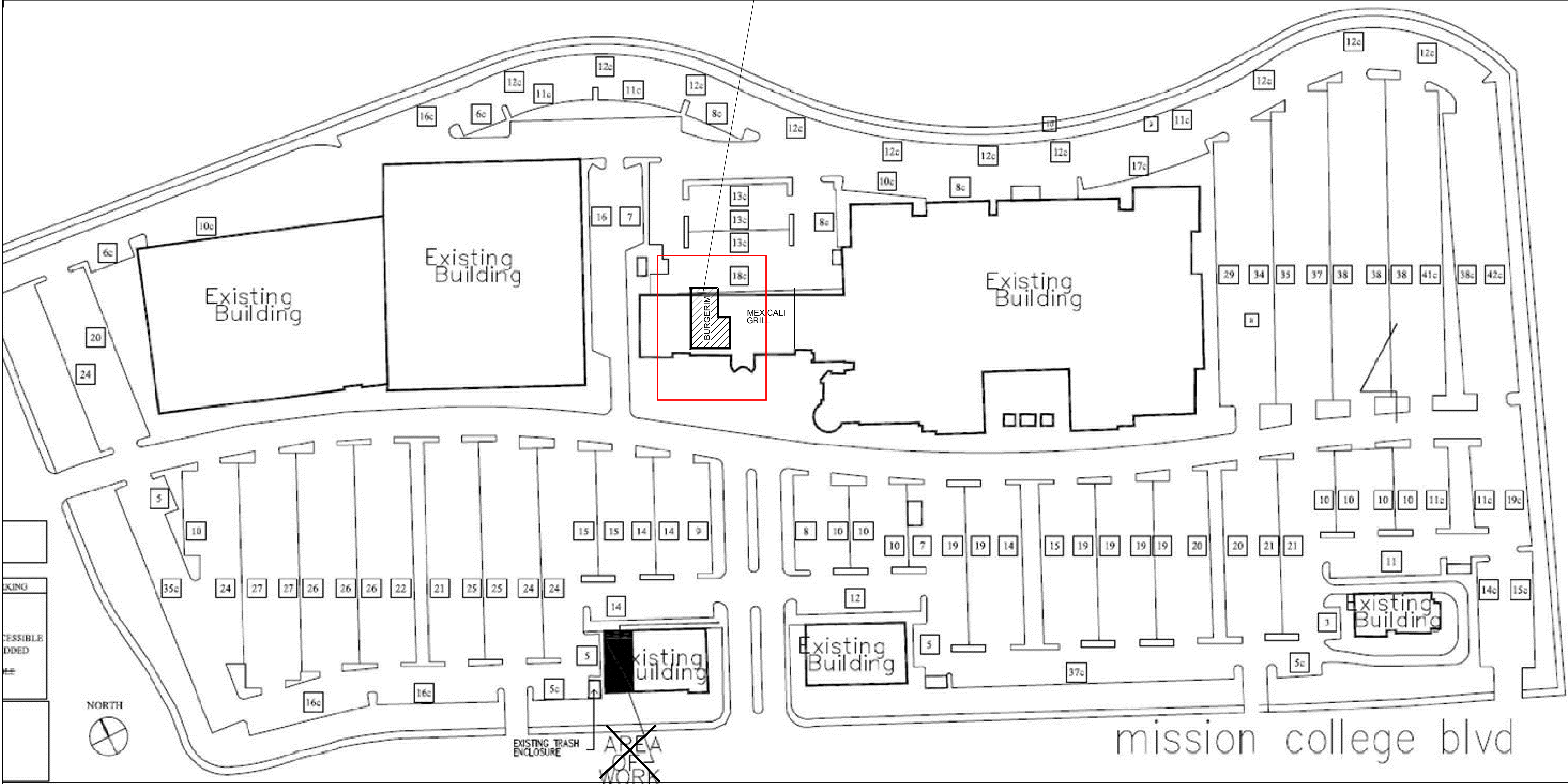
Mercado Center Existing Parking Analysis								
Unit	Name	Area (SF)	Area Ratio	Parking Req'd per Area	Seats	Seating Ratio	Parking Req'd per Seats	Parking Spaces Required (Rounded)
3001	In-N-Out Burgers	3,500	200	17.50	98	1:3	32.67	33
3111	AMC				3,246	1:4	811.50	812
3113	Starbucks	1,356	200	6.78	47	1:3	15.67	16
3119	Jamba Juice	1,294	200	6.47	20	1:3	6.67	7
3125	World Wrapps	1,326	200	6.63	52	1:3	17.33	17
3127	Tomatina	3,304	200	16.52	138	1:3	46.00	46
3133	Krispy Kreme	1,460	200	7.30	23	1:3	7.67	8
3139	Panda Express	1,980	200	9.90	36	1:3	12.00	12
3147	VACANT	3,584	200	17.92				18
3149 A	Mexicali	5,146	200	25.73	219	1:3	71.67	72
3149 B	BurgerIM	2,767	200	13.84	72	1:3	24	24
3155	Subway	1,240	200	6.20	26	1:3	8.67	9
3159	Silicon Valley Eye	2,238	300	7.46				7
3161	Kinko's	4,325	200	21.63				22
3175	Smoke Eaters	2,675	200	13.38	112	1:3	37.33	37
3201	TJMaxx	50,000	200	250.00				250
3255	Wal-Mart Stores	44,706	200	223.53				224
Total Parking Spaces Required								1,615
Total Parking Spaces Provided								1,675
Parking Overage								60

No Added Dining Is Proposed

REFERENCE ONLY
PARKING ANALYSIS PLAN
PREVIOUSLY APPROVED UNDER PERMIT #BLDG 2018-49652

NOTE: MEXICALI GRILL INITIALLY HAD 290 SEATS, NOW HAS 218 SEATS DUE TO REMODEL.

PROJECT LOCATION



MERCADO CENTER EXISTING PARKING SPACES

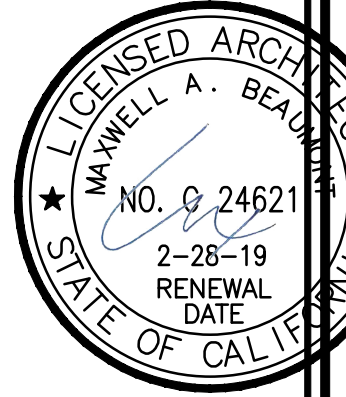
NTS

TOTAL EXISTING PARKING AT COMMON SHOPPING CENTER PARKING

PARKING AVAILABLE: 1,675 SPACES
PARKING REQUIRED: 1,615 SPACES

ACCESSIBLE PARKING AVAILABLE: 35 SPACES
ACCESSIBLE PARKING REQUIRED: 35 SPACES

VAN ACCESSIBLE PARKING AVAILABLE: 5 SPACES
VAN ACCESSIBLE PARKING REQUIRED: 5 SPACES



BEAUMONT & ASSOCIATES
MAXWELL A. BEAUMONT, ARCHITECT
EMERYVILLE, CALIFORNIA
(510) 701-7368
DESIGN4DINING@AOL.COM

DESIGN 4 DINING
1966 Tice Valley Blvd, Suite #142
WALNUT CREEK, CA 94595
510-701-7368
DESIGN4DINING@AOL.COM
D. MANCINI / ACD / FSD

BURGERIM
3151 MISSION COLLEGE BLVD.
SANTA CLARA, CA 95054

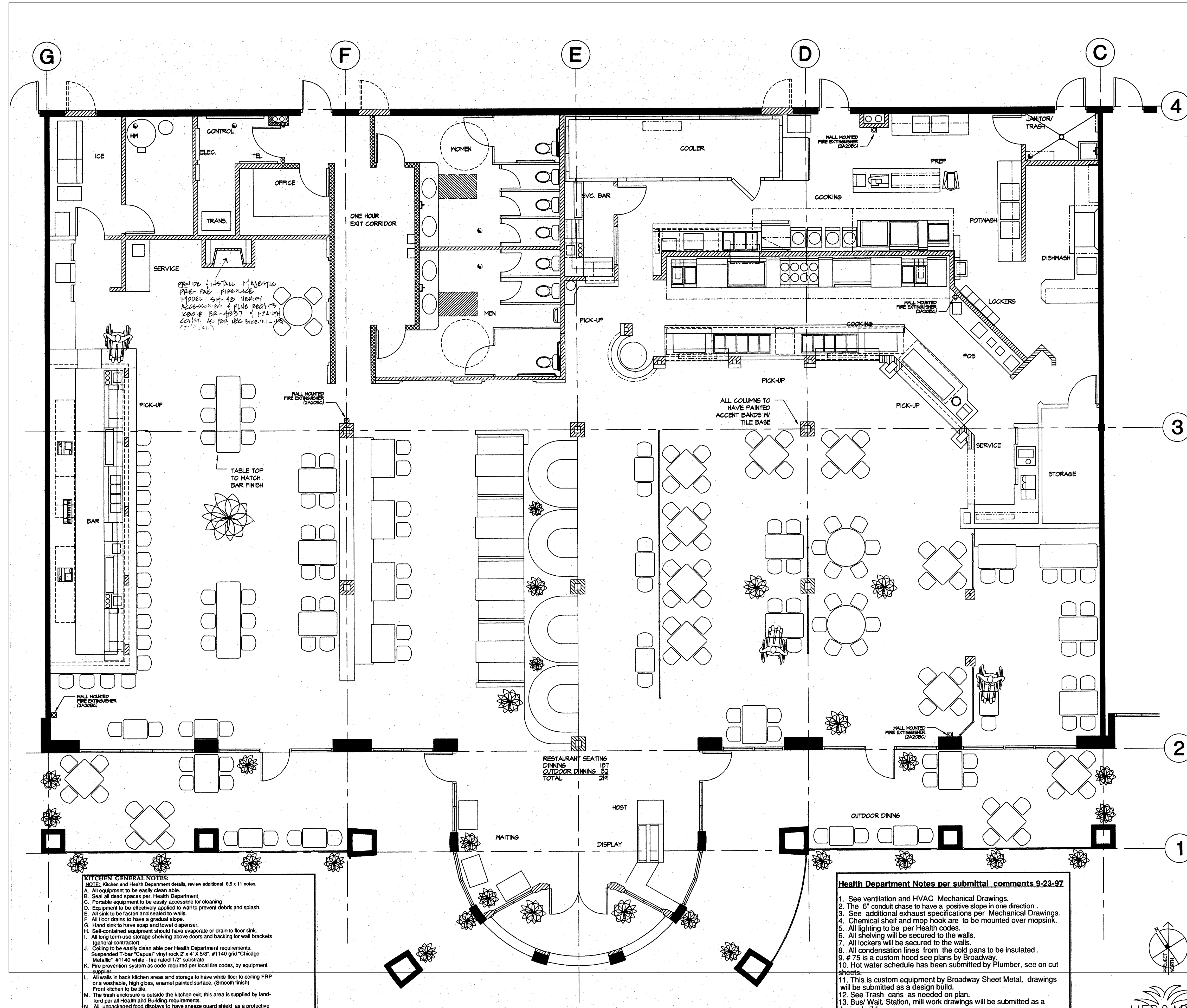
DWG DATE:
10/25/17

DRAWN BY:
MSD



A-0.1

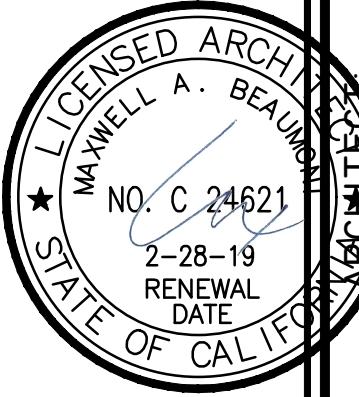
REFERENCE ONLY - EXISTING FLOOR PLAN - TI UNDER PERMIT #BLDG 2018-49652



ORIGINAL MEXICALI GRILL FLOOR PLAN

SCALE: 3/8" = 1'-0"

REV. DATE	NO.
OWNER REVIEW 11/6/17	1
LL REVIEW 11/20/17	2
HEATH DEPT 12/28/17	3
PLANNING DEPT 1/11/18	4



BEAUMONT & ASSOCIATES
MAXWELL A. BEAUMONT, ARCHITECT
EMERYVILLE, CALIFORNIA
(510) 701-7368
DESIGN4DINING@AOL.COM

DESIGN 4 DINING
2363 BOULEVARD CIRCLE, UNIT #18
WALNUT CREEK, CA. 94595
510 701-7368 F. 925-935-7860
DESIGN4DINING@AOL.COM
DAVID M. JACD / FSD

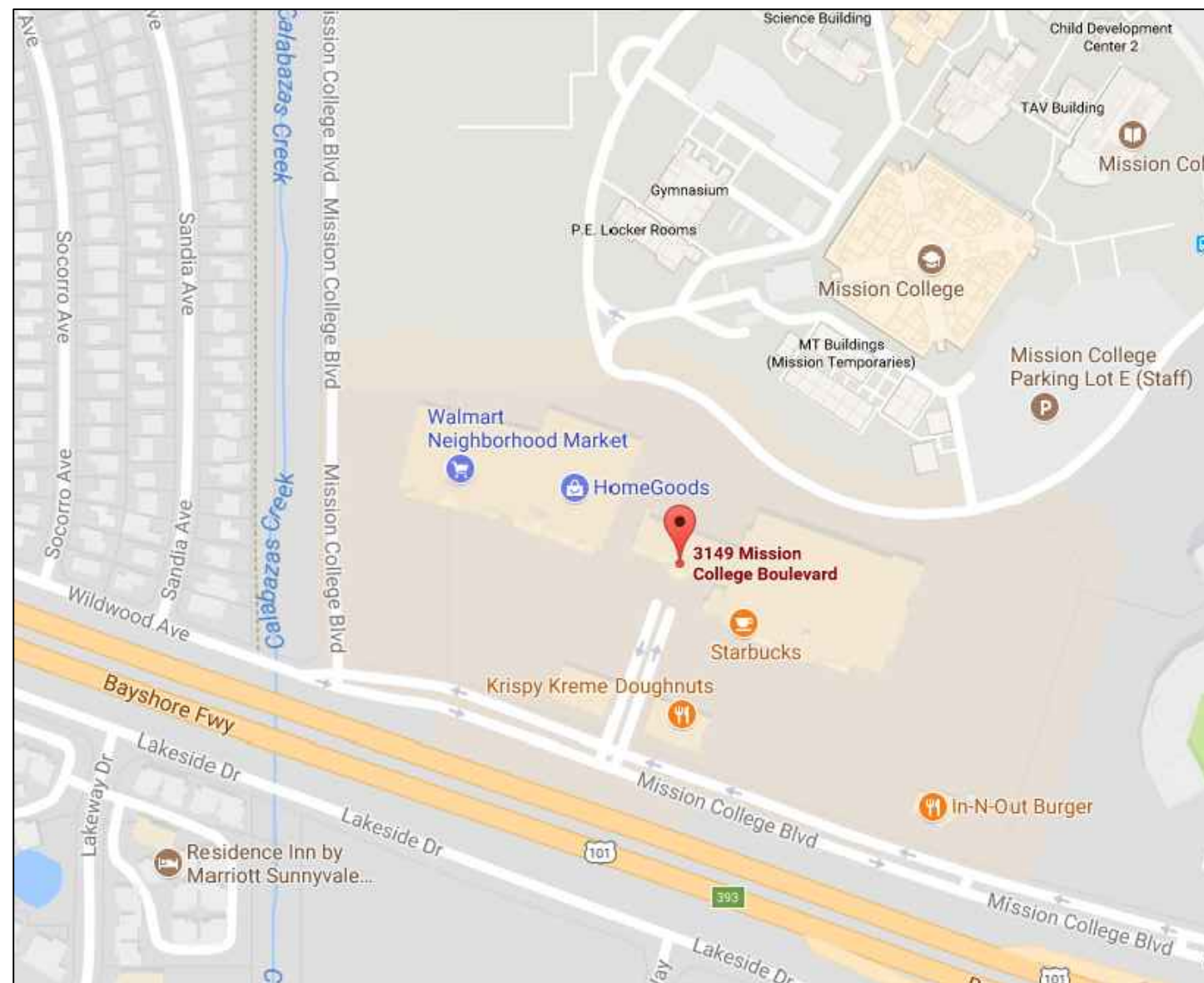
BURGERIM
3151 MISSION COLLEGE BLVD.
SANTA CLARA, CA 95054

DWG DATE:
10/25/17

DRAWN BY:
MSD

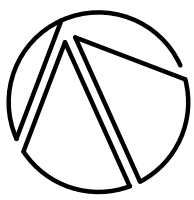
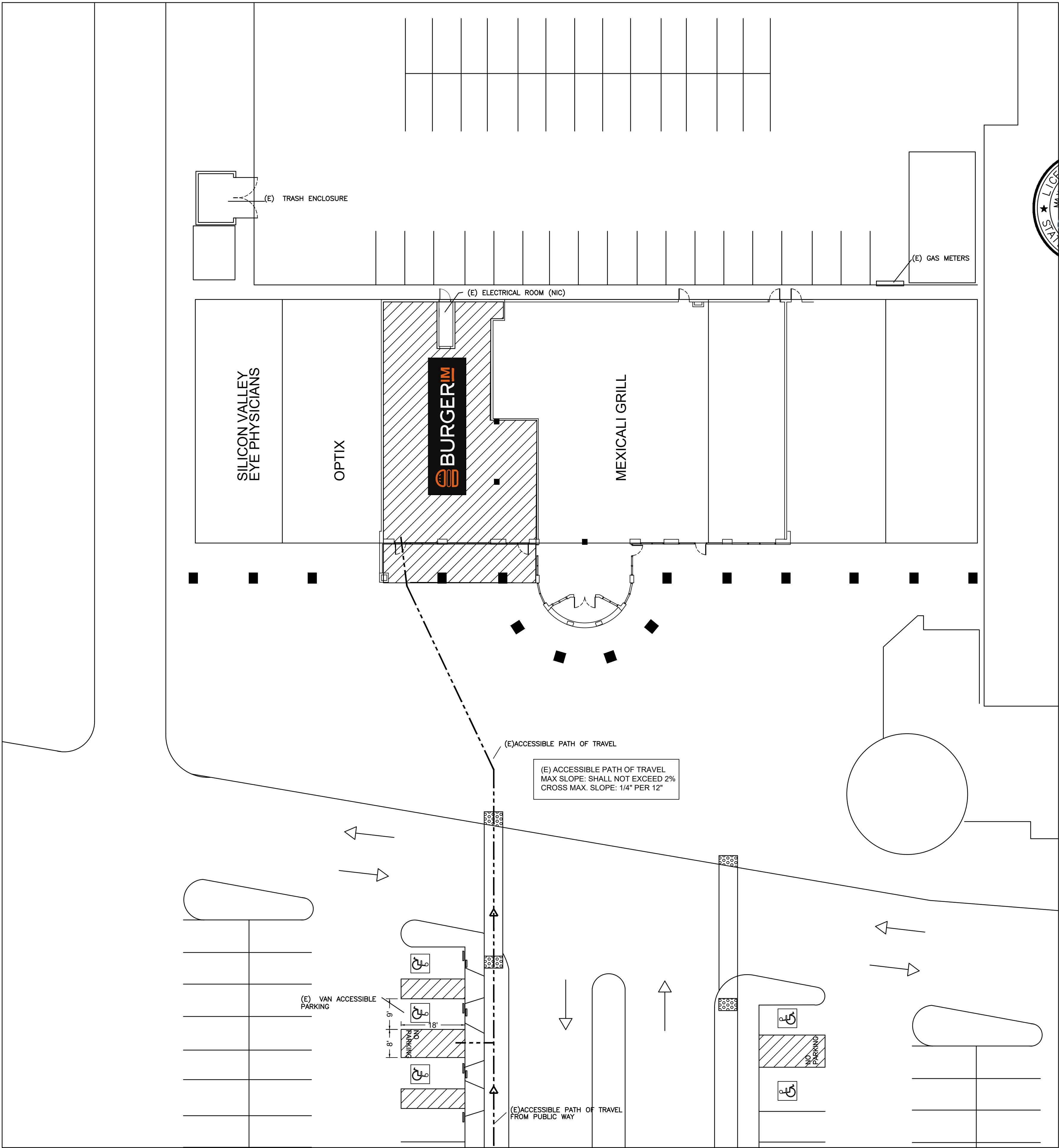


A-0.2



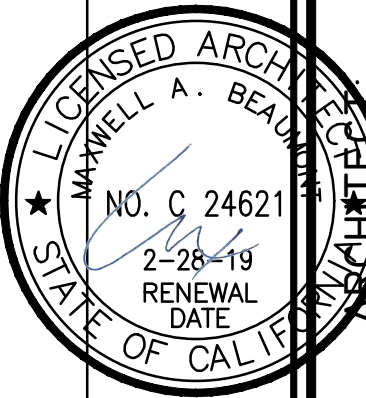
VICINITY MAP

NOTE: REFER TO COVER SHEET FOR PARKING ANALYSIS



SITE PLAN
SCALE: 1 / 16" = 1'-0"

ALL ACCESSIBLE REQUIREMENTS ARE IN COMPLIANCE
SITE PLAN SHOWN FOR REFERENCE ONLY.

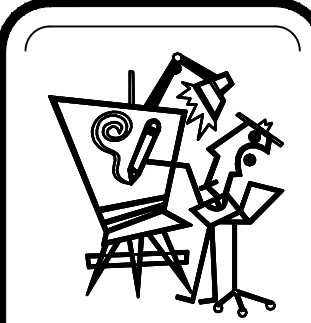


BEAUMONT & ASSOCIATES
MAXWELL A. BEAUMONT, ARCHITECT
EMERYVILLE, CALIFORNIA
(510) 701-7368
DESIGN4DINING@AOL.COM

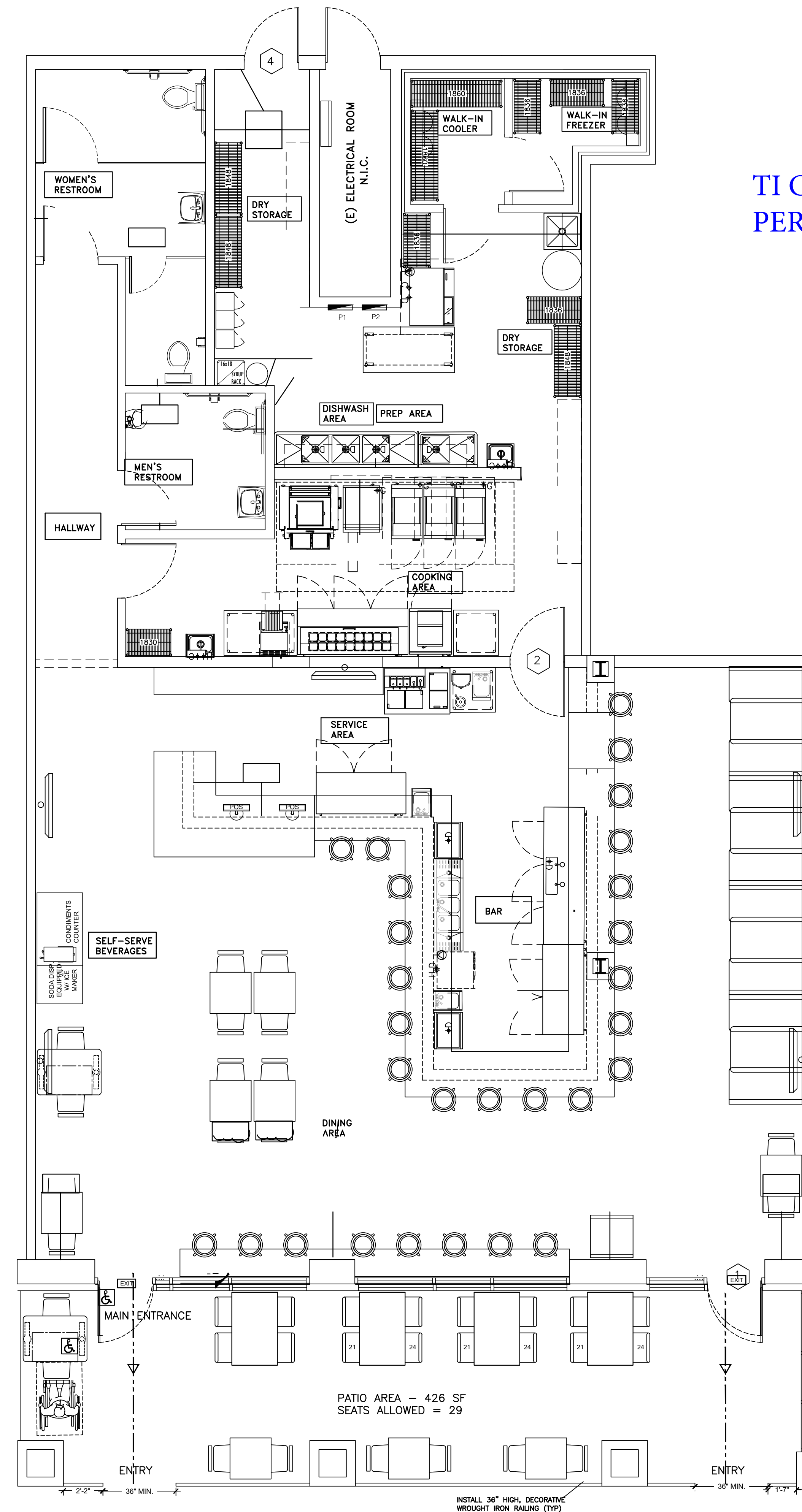
DESIGN 4 DINING
1966 Tice Valley Blvd, Suite #142
WALNUT CREEK, CA 94595
510-701-7368
DESIGN4DINING@AOL.COM
D. MANCINI /ACD / FSD

BURGERIM
3151 Mission College Blvd, Santa Clara 95054

DATE:
2-11-18



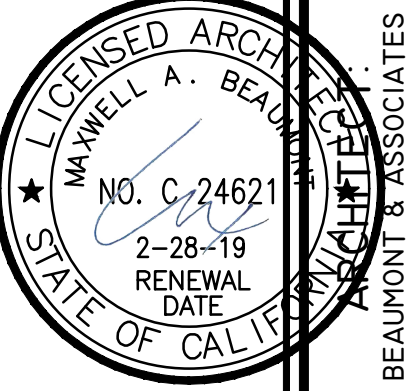
A-1



TI CURRENTLY UNDER REVIEW
PERMIT #BLDG 2018-49652

FLOOR PLAN

SCALE: 1/4" = 1'-0"



BEAUMONT & ASSOCIATES
MAXWELL A. BEAUMONT, ARCHITECT
EMERYVILLE, CALIFORNIA
(510) 701-7368
DESIGN4DINING@AOL.COM

DESIGN 4 DINING
1966 Tice Valley Blvd., Suite #142
WALNUT CREEK, CA. 94595
510-701-7368
DESIGN4DINING@AOL.COM
D. MANCINI, /ACD / FSD

BURGERIM
3151 Mission College Blvd, Santa Clara 95054

DATE
2-11-18



A-2