

RESOLUTION NO. 18-8578

**A RESOLUTION OF THE CITY OF SANTA CLARA,
CALIFORNIA, APPROVING THE VESTING TENTATIVE
PARCEL MAP FOR THE PROPERTY LOCATED AT 575
BENTON STREET, SANTA CLARA**

SCH#2015032076

CEQ2015-01188 (Mission Town Center FEIR Addendum #1)

PLN2017-12489 (General Plan Amendment)

PLN2017-12574 (Application for Rezoning)

PLN2017-12575 (Vesting Tentative Parcel Map)

PLN2017-12837 (Development Agreement)

BE IT RESOLVED BY THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on February 9, 2017, Prometheus Real Estate Group ("Applicant") made an application for the development of a 5.7-acre site located at 575, 611, 625, 645, 675 Benton Street, 3340, 3370, 3390, 3410 The Alameda; 1188, 1250 Sherman Street; 602 Fremont Street, a 5.7-acre site located at the intersection of Benton Street and El Camino Real, which is currently occupied by several commercial, light industrial buildings, associated parking lots, and residential units ("Project Site");

WHEREAS, the application proposes to rezone the Project Site to a Planned Development (PD) Zone to allow the construction of a residential/mixed use development comprised of 355 apartment units, approximately 20,000 square feet (sf) of retail space and potentially an additional 2,364 square feet of commercial space within the 8 live-work units, approximately 6,000 sf of amenity space including leasing space, amenity roof deck, and pet spa and a parking garage ("Project") as shown on the Development Plan, attached hereto as Exhibit "Development Plans" and incorporated herein by this reference;

WHEREAS, the Project approvals will include a General Plan Amendment from Santa Clara Station High Density Residential to Santa Clara Station Very High Density Residential on a 5.7-acre site; a rezoning of the Project Site from Light Industrial (ML), Single Family (R1-6L), Duplex (R2-7L), and Thoroughfare Commercial (CT) to a Planned Development (PD) zone; the

vacation and sale of a portion of Fremont Street east of the Alameda and a portion of Sherman Street north of Benton Street; along with the adoption of a Development Agreement Ordinance;

WHEREAS, consistent with the proposed uses under the Development Plans, the proposal will create and remove property lines on 5.7-acre project site, as shown on Exhibit "Vesting Tentative Parcel Map" and conditioned in Exhibit "Conditions of Approval - Map", attached hereto and incorporated herein by this reference;

WHEREAS, pursuant to Section 17.05.220 of the Code of the City of Santa Clara ("SCCC"), a parcel map is required for divisions of land into four or fewer parcels;

WHEREAS, on April 3, 2018, the Subdivision Committee determined that the application was complete and that the parcel map should be reviewed by the City Council in conformance with Section 17.05.400 of the SCCC as a Vesting Tentative Parcel Map along with the project;

WHEREAS, Section 17.05.400(d) of the SCCC requires that the City Council hold a public hearing before considering the approval of a Vesting Tentative Parcel Map for the division of land;

WHEREAS, Section 17.05.400(d) of the SCCC further requires that notice of the public hearing before the City Council be given by providing notice to all property owners within three hundred (300) feet of the proposed Tentative Parcel Map area by mail;

WHEREAS, notice of the public hearing on the Vesting Tentative Parcel Map was published in the *Santa Clara Weekly*, a newspaper of general circulation for the City, on June 13, 2018;

WHEREAS, on June 15, 2018, notices of the public hearing on the Vesting Tentative Parcel Map were mailed to all property owners within 1,000 feet of the proposed Tentative Parcel Map, according to the most recent assessor's roll;

WHEREAS, before considering the Vesting Tentative Parcel Map, the City Council reviewed and considered the information contained in the Addendum #1 to the Mission Town Center Final Environmental Impact Report for the Project (SCH #2015032076); and,

WHEREAS, on June 26 and July 17, 2018, the City Council reviewed the Vesting Tentative Parcel Map and conducted a public hearing, at which time all interested persons were given an opportunity to provide testimony and the City Council considered all verbal and written evidence.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the City Council hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. Tentative Parcel Map Findings. The City Council finds and determines that:

A. The proposed subdivision is substantially consistent with the objectives, policies, general land use and programs specified in the City's General Plan in that the proposed Vesting Tentative Parcel Map is to allow the development of up to 355-unit apartment and approximately 20,000 square feet of retail project in conjunction with a proposal for a General Plan Amendment to allow a residential/mixed use project in the Santa Clara Station Focus Area.

B. The design and improvements of the proposed subdivision are consistent with the City's General Plan in that the Santa Clara Station Very High Density Residential designation allows for the proposed density in the Santa Clara Station Focus Area.

C. This site is physically suitable for the proposed type, density and intensity of development in that the Project Site is located in an urbanized area. The proposed project is a mixed-use development project and located in a transit, bicycle and pedestrian friendly location that would further enhance the City's General Plan development priorities for this area. The Santa Clara Transit Center is located approximately 500 feet to the southeast of the project site.

D. The design of the subdivision and type of improvements are not likely to cause serious public health problems in that the site is surrounded by residential and commercial uses, including Santa Clara Police Department headquarters and Santa Clara University, and the development and does not propose the use of hazardous chemicals or materials.

E. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage. The Mission Town Center FEIR Addendum #1 found that the proposed project could have a number of significant environmental impacts, but identified mitigation measures to reduce most of these impacts to less than significant levels. Based on the conclusions in the Mission Town Center FEIR Addendum #1, implementation of the proposed project would result in Significant Unavoidable project-level impacts with regard to cultural historic resources, and traffic, and Significant Unavoidable cumulative impacts with regard to cultural historic resources, and traffic. All other significant impacts of the project would be mitigated to a less than significant level by the mitigation measures included in the Mission Town Center FEIR Addendum #1.

F. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision, in that the project is designed to avoid encroachments and conflicts with public easements in the site design.

3. That based on the findings set forth in this resolution, the Addendum #1 of the Mission Town Center FEIR and the evidence in the City Staff Report, the City Council approves the tentative parcel map for the Project Site as set forth herein.

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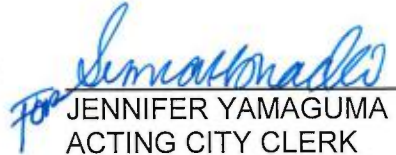
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4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON 17th DAY OF JULY, 2018, BY THE FOLLOWING VOTE:

AYES:	COUNCILORS:	Davis, Kolstad, O'Neill, and Watanabe
NOES:	COUNCILORS:	None
ABSENT:	COUNCILORS:	None
ABSTAINED:	COUNCILORS:	None

ATTEST:


JENNIFER YAMAGUMA
ACTING CITY CLERK
CITY OF SANTA CLARA

Attachments incorporated by reference:

1. Development Plans
2. Vesting Tentative Parcel Map
3. Conditions of Approval – Map



El Camino Real Mixed-Use

Santa Clara, California

April 6, 2018

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



ARCHITECTS ORANGE
144 NORTH ORANGE ST. ORANGE, CA 92666 714.639.9860
#2016-297 WWW.ARCHITECTSORANGE.COM 04.06.2018



CLIENT:
Prometheus Real Estate Group
1900 South Norfolk Street, Suite 150
San Mateo, CA 94403
Contact: Marilyn Ponte
E-mail: mponte@prometheusreg.com
Phone: (650) 931-3457

LEAD ARCHITECT:
Architects Orange
144 N. Orange Street
Orange, CA 92866
Contact: Tobin Symmank
E-mail: Tobins@Architectsorange.com
Phone: (714) 639-9860

DESIGN ARCHITECT
Studio T Square
304 12th Street, Suite 2A
Oakland, CA 94607
Contact: Chek Tang
E-mail: ctang@studiot-sq.com
Phone: (510) 451-2850

LANDSCAPE ARCHITECT:
PLACE
735 NW 18th Avenue
Portland, OR 97209
(503) 334-2080
Attn: Craig McGlynn

CIVIL ENGINEER:
Civil Engineering Associates
224 Airport Parkway
Suite 525
San Jose, CA 95110
(408) 453-1066
Attn: Shane Adrian

Multi-family residential project wrapped around a multi-level parking garage.
Type III-A Sprinklered construction (Residential).
Type I-A Sprinklered construction (Commercial & Parking Garage).

ADDRESS: 575 Benton Street, Santa Clara, CA (230-07-053)
A.P.N's: 230-07-002, 230-07-004, 230-07-009, 230-07-010,
230-07-013, 230-07-029, 230-07-031, 230-07-034,
230-07-038, 230-07-053, 230-07-059, 230-07-060

SITE AREA:	5.75 AC (250,291 SF)
EXISTING ZONING:	PD (PLANNED DEVELOPMENT)
PROPOSED ZONING:	PD (PLANNED DEVELOPMENT)
EXISTING USE:	SANTA CLARA STATION AREA
PROPOSED USE:	SANTA CLARA STATION REGIONAL MIXED USE
DENSITY:	61.7 DU/AC
BUILDING HEIGHT:	MAXIMUM HEIGHT OF BUILDINGS IS 86 FEET AND SUBJECT TO FEDERAL AVIATION ADMINISTRATION (FAA) REGULATIONS PART 77 HEIGHT RESTRICTIONS.

Parking Summary:				12/20/2014		Accessible Stalls:		12/20/2014	
Start Type	Limit Count	Stm/Min/Max	Sorts/Rate	Accessed	Leaving	Leaving	Leaving	Leaving	Leaving
1-Uniform	100	1:00	200	472	2%	8:43	10:10	10:10	10:10
2-Uniform	100	1:00	200	84	2%	8:43	10:10	10:10	10:10
3-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
4-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
5-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
6-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
7-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
8-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
9-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
10-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
11-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
12-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
13-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
14-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
15-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
16-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
17-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
18-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
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134-Uniform	100	1:00	200	100	2%	8:43	10:10	10:10	10:10
135-Uniform	100								

- A-1.1 General Information
- A-1.2 Existing Site Photos
- A-1.3 Contextual Site Plan
- A-1.4 Site Plan Circulation
- A-1.5 Solid Waste Plan

A-2.1	Site/Building Plan Level 1
A-2.2	Building Plan Level 2
A-2.3	Building Plan Level 3
A-2.4	Building Plan Level 4
A-2.5	Building Plan Level 5
A-2.6	Building Plan Level 6
A-2.7	Building Plan Level 7
A-2.8	Garage Plans

- A-3.1 Building Elevations & Perspective
- A-3.2 Building Elevations & Perspective
- A-3.3 Building Elevations & Perspective
- A-3.4 Building Elevations & Perspective

A-4.1 Building Sections

A-5.1	Unit Plans
A-5.2	Unit Plans
A-5.3	Unit Plans
A-5.4	Unit Plans

City of Santa Clara Municipal Code
and Ordinances
2016 CA Building Code
2016 CA Electrical Code
2016 CA Mechanical Code
2016 CA Plumbing Code
2016 Green Building Standards
2016 Energy Efficiency Standards

Bicycle Parking	CalGreen		
Bicycle Parking Type	Ratio	Count	Bicycles Required
Residential - Short Term (per Unit)	5%	66	3
Residential - Long Term (per Unit)	50%	355	178
Total Residential Bicycles Required			181
Total Residential Bicycles Provided			250

Live/Work Commercial Area			
Unit Type	Unit Count	SF per Unit	Square Feet
A2-1/W	1	249	249
A2-1-1/W	4	314	1,256
B1-1/W	3	245	735
B1-1-1/W	3	330	990
B2-1-1/W	1	398	398
Total / Subtotal			3,628

Project Data		16/06/2017	
Summary		Dwelling Unit Info	
		Units	Unit SF
PRODUCTIVE USE	60,000	101	7,04
TOTAL RESIDENTIAL UNITS	101	101	7,04
TOTAL LIVE WORKING UNITS	81,000	101	6,19
PL. TRL. 3.0	13,900	A1.3	9,00
		A1.4	1,48
LEASING OF SPACE	1,500	A2.0	750
PUBLIC AMENITY SPACE		A2.1	750
		A2.1.1	750
THE ALAMODO CORRIDOR	0,270	A2.1.1.1	0,270
STREET CLOSURE	0,270	A2.1.1.1	0,270
ONE-WAY STREET CLOSURE	0,270	A2.1.1.1	0,270

Res. Bldg Area - On-Grade (GSF)

SAT OVERGRADE TYPE BA CONST	
LINE 1	25.000
LINE 2	25.000
LINE 3	25.000
LINE 4	25.000
LINE 5	25.000

Sub-TOTAL GROSS AREA	296,519
Reg. Bldg Area - Podium (GSF)	

Line 1 TYPE 1A	34 588
Line 2 TYPE 1A	57 575
Line 3 TYPE 1A	57 575
Line 4 TYPE 1A	70 450
Line 5 TYPE 1A	61 958
Line 6 TYPE 1A	58 530
SUBTOTAL GROSS AREA	195,396
TOTAL BUILDING AREA	476 412

Parking Structure (GSF)	100
-------------------------	-----

TIME & CONST	
Layer 1	26.700
Layer 2	28.770
Layer 3	26.760
Layer 4	26.700
Layer 5	26.700
Layer 6	26.700
Layer 7	26.700
TOTAL GROSS AREA	
	280.967

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A-6.1	Fire Access Diagram
L-1.0	LandscapeSite Plan
L-2.0	Materials Plan
L-2.1	Materials Plan - Roof Deck
L-3.0	Planting Plan
L-3.1	Planting Plan - Roof Deck
L-3.2	Plant Schedule
L-4.0	Private Recreation Plan (Includes Roof Deck)
L-5.0	Concept Imagery
L-5.1	Concept Imagery
L-6.0	ECR Street Sections
C1	Existing Parcel Map
C2	Conceptual Site Plan
C3	Existing Conditions
C4	Utility Relocation & Demolition Plan
C5	Grading and Drainage Plan
C6	Street Sections
C7	Conceptual Utility Plan
C8	Fire Access Plan
C9	Bus Stop Relocation Plan
C10	Storm Water Management Plans
C11	Storm Water Calculations and Details

TM1	Tentative Map
TM2	Tentative Map

	Dwelling Unit Info		
	Unit	Inst SF	Qty
1 BR/1 BA TOTAL 12 UNITS	B1	704	22
	B2	814	11
	A1	818	8
	A1.2	934	8
	A1.4	1481	1
	A2	750	24
	A2.1	650	8
	A2.1A.1	711	16
	A3	760	8
	A4	772	1
	B3	801	8
	B4	829	8
2 BR/2 BA TOTAL 15 UNITS	B5	975	28
	B5.1	1000	1
	B5.2	1000	1
	B7	1140	1
	B2	1150	1
	B3.1	1258	1
	B3.2	1258	1
	B3.1A.1	1258	1
	E2	1268	1
	E2.1	1268	1
	E2.2	1268	1
	E3	1272	1
E3.1	1295	8	
E3.2	1295	12	
E3.3	1295	1	
E3.4	1295	1	
E3.5	1295	1	
E3.6	1295	1	
E3.7	1295	1	
E3.8	1295	1	
E3.9	1295	1	
E3.10	1295	1	
E3.11	1295	1	
E3.12	1295	1	
E3.13	1295	1	
E3.14	1295	1	
E3.15	1295	1	
E3.16	1295	1	
E3.17	1295	1	
E3.18	1295	1	
E3.19	1295	1	
E3.20	1295	1	
E3.21	1295	1	
E3.22	1295	1	
E3.23	1295	1	
E3.24	1295	1	
E3.25	1295	1	
E3.26	1295	1	
E3.27	1295	1	
E3.28	1295	1	
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E3.92	1295	1	
E3.93	1295	1	
E3.94	1295	1	
E3.95	1295	1	
E3.96	1295	1	
E3.97	1295	1	
E3.98	1295	1	
E3.99	1295	1	
E3.100	1295	1	
Total		330	

Building Coverage (S.F.)	
Building Area	2002-2004
Building Envelope	112,564 sq. ft.
Garage Footprint	20,000 sq. ft.
Total Coverage	132,564 sq. ft.

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PLACE



GENERAL INFORMATION
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A-1.1



1. LOOKING NORTH-EAST TOWARDS SANTA CLARA POLICE DEPT. BLDG.



2. LOOKING NORTH-EAST TOWARDS SANTA CLARA POLICE DEPT. PARK'G



3. HISTORIC HOMES ON THE NORTH-WEST SIDE OF THE PROPOSED PROJECT



4. HISTORIC HOMES ON THE NORTH-WEST SIDE OF THE PROPOSED PROJECT



SITE PLAN VIEWS



5. RESIDENTIAL S.F.D. HOMES LOOKING WEST FROM THE PROPOSED PROJECT



6. BENTON ST AND ALAMADA (SOUTH-WEST CORNER OF SITE)



7. LOOKING WEST FROM SITE



8. EXISTING S.F.D. HOMES LOOKING SOUTH FROM SITE

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PLACE



EXISTING SITE PHOTOS

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A-1.2



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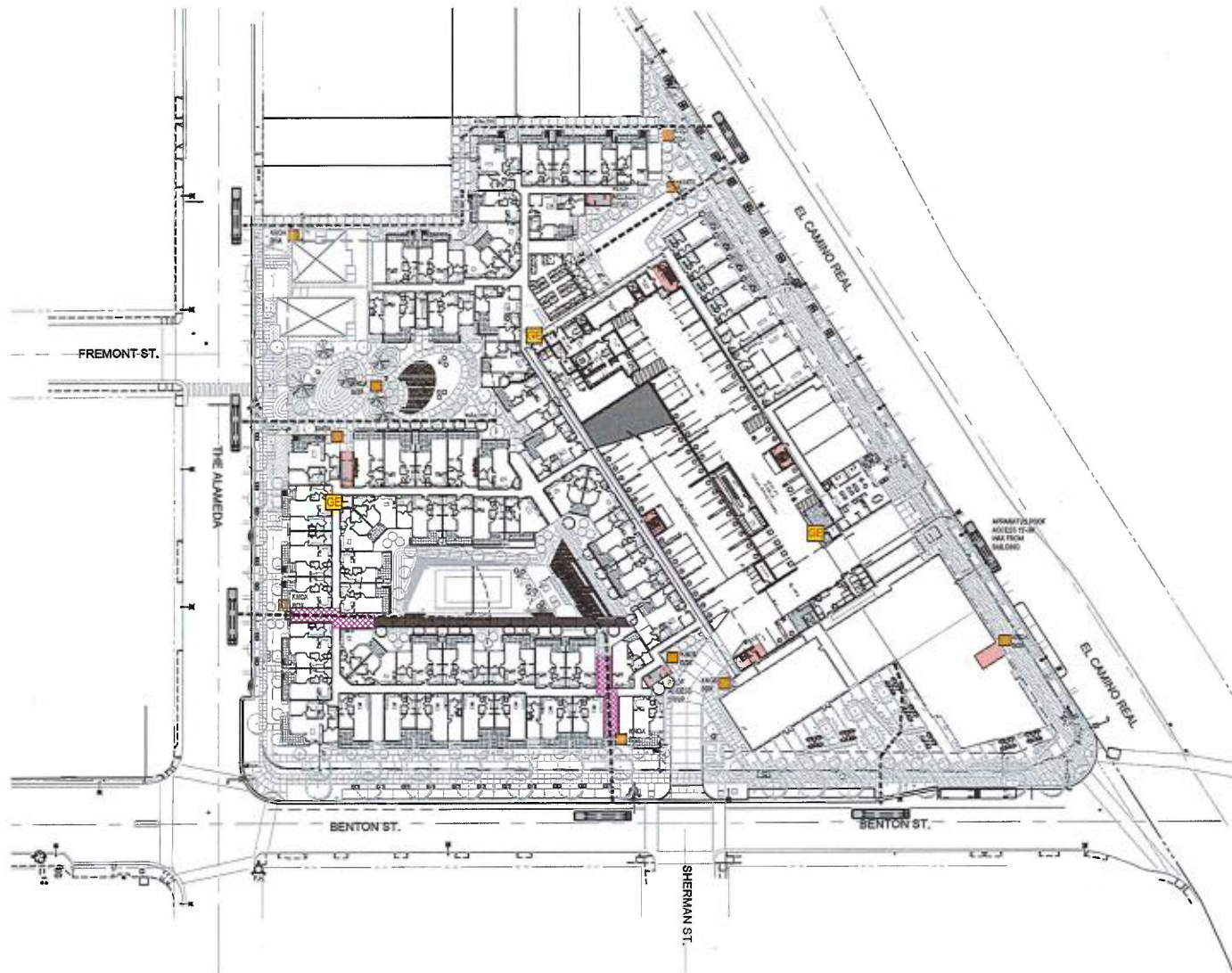


PLACE



A-1.3
 CONTEXTUAL SITE PLAN
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- VEHICULAR CIRCULATION
- PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE PEDESTRIAN CIRCULATION
- PUBLIC OPEN SPACE
- PRIVATE OPEN SPACE

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PLACE



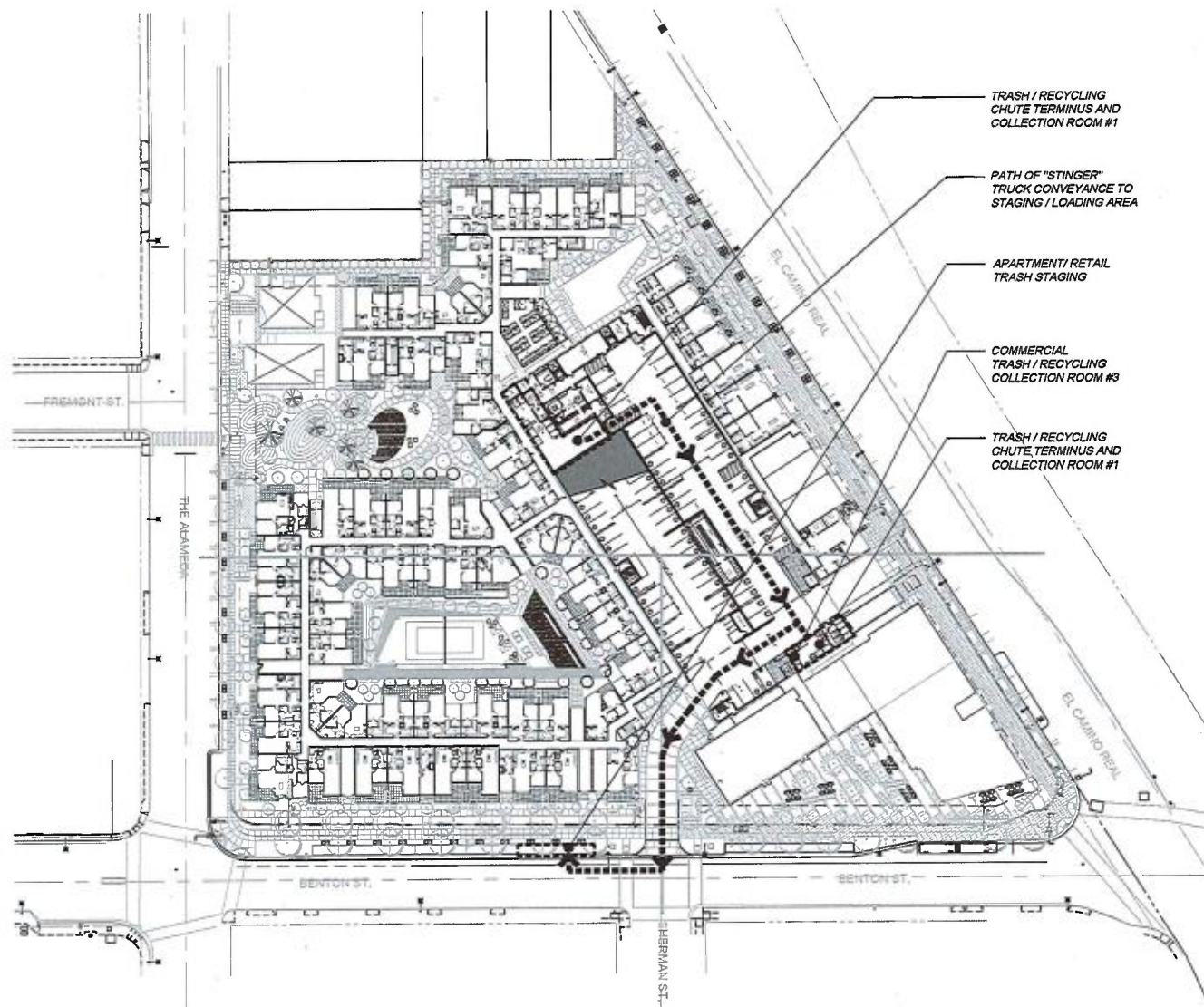
SCALE: 1" = 40'

10' 20' 30' 40'

SITE CIRCULATION
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A-1.4



RESIDENTIAL TRASH NARRATIVE

Residents will dispose of trash / waste and recycling via chutes for refuse and recycling (1 each) which are provided in a room at two locations on each level. Trash chutes convey trash to bins located in rooms on the first garage level (Chute Terminus and Collection Room), as shown on this sheet. Vertical Trash Compactors are provided within these rooms to directly compact refuse material only (Recyclables will not be compacted). Management personnel will bring bins (compacted for solid waste; uncompacted for recyclables) out of the Collection rooms for "stinger" truck "train-ing". The stinger truck will then transport bins to the staging area upon arrival of the trash truck on the designated pick-up day(s).

RESIDENTIAL TRASH COLLECTION SUMMARY

- NOTE: LARGE ITEMS DISPOSED OF BY RESIDENTS THAT WILL NOT FIT IN CHUTES WILL BE COLLECTED BY MANAGEMENT AND PRIVATELY REMOVED OFF-SITE.
- NOTE: ROLL AWAY BINS AND COMPACTOR WILL BE PROVIDED BY MANAGEMENT.
- BINS TO HAVE BOTTOM POCKET CHANNELS TO ALLOW FOR CONVENTIONAL DUMPING EQUIPMENT.
- ALL TRASH / RECYCLING CHUTE ACCESS DOORS ARE TO BE HANDICAP ACCESSIBLE ON ALL LEVELS.
- NOTE: 3 CUBIC YARD ROLL-AWAY BINS WILL BE DELIVERED TO COMPACTOR AT A FREQUENCY DERIVED FROM ONE (1) 3 CUBIC YARD BIN PER EVERY 12 DWELLING UNITS, OR A WEEKLY BIN CAPACITY CONSISTENT WITH REFERENCED CODE.
- TRASH CHUTES TO HAVE THE ABILITY TO BE CLOSED WHILE SERVICING BINS.

NOTE: A CONCRETE LOADING PAD AREA WILL BE PROVIDED IN FRONT OF THE SOLID WASTE COLLECTION AREAS (COLLECTION ROOMS AND STAGING / PICK-UP AREA) IN ACCORDANCE WITH THE CONSTRUCTION REQUIREMENTS OF THE CITY OF SANTA CLARA.

SOLID WASTE CALCULATIONS - RESIDENTIAL							
No. UNITS	Lbs/Week/Unit	Total Generation, Uncompacted (lbs)	Waste Bin Capacity, Bin/cubic yd (uncompacted)	Total Cubic Yards, Uncompacted	Total Bins Required @ 3 CY each	Pick-ups per Week	Total Bins Required @ 3 CY each
100	24	2400	108	22.2	8	8	8
RECYCLING CALCULATIONS - RESIDENTIAL							
No. UNITS	Lbs/Week/Unit	Total Generation, Uncompacted (lbs)	Waste Bin Capacity, Bin/cubic yd (uncompacted)	Total Cubic Yards, Uncompacted	Total Bins Required @ 3 CY each	Pick-ups per Week	Total Bins Required @ 3 CY each
100	7	700	45	15.6	5	5	5

A total of two trash termination/collection rooms will be provided for this project as follows:

Trash Room #1 with 3 bins for solid waste and 3 bins for Recyclables.
Trash Room #3 with 3 bins for solid waste and 3 bins for Recyclables.

COMMERCIAL TRASH NARRATIVE

Commercial disposal of trash / waste and recycling will be taken through the back-corridor to the Commercial trash location in the multi parking structure. Management personnel will bring the solid waste bins and recycle bins out of the Collection room 3 for "stinger" truck "train-ing". The stinger truck will then transport bins to the staging area upon arrival of the trash truck on the designated pick-up day(s).

SOLID WASTE DISPOSAL - RETAIL*									
Area	Water Density	Disposal Rate	Total	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr
12,000	87	1740	18	1740	331	18	1740	331	18
RECYCLED DIVERSION - RETAIL*									
Area	Density	Disposal Rate	Total	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr
12,000	100	1000	10	1000	194	10	1000	194	10
SOLID WASTE DISPOSAL - FULL SERVICE RESTAURANT*									
Area	Water Density	Disposal Rate	Total	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr
10,000	87	1740	20	1740	331	20	1740	331	20
RECYCLED DIVERSION - FULL SERVICE RESTAURANT*									
Area	Density	Disposal Rate	Total	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr	ba/yr
10,000	100	1000	20	1000	194	20	1000	194	20

* Source: California Integrated Waste Management Board - Publication 143-06-006 (2008)

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PLACE



SCALE: 1" = 40'

0 40 80 120

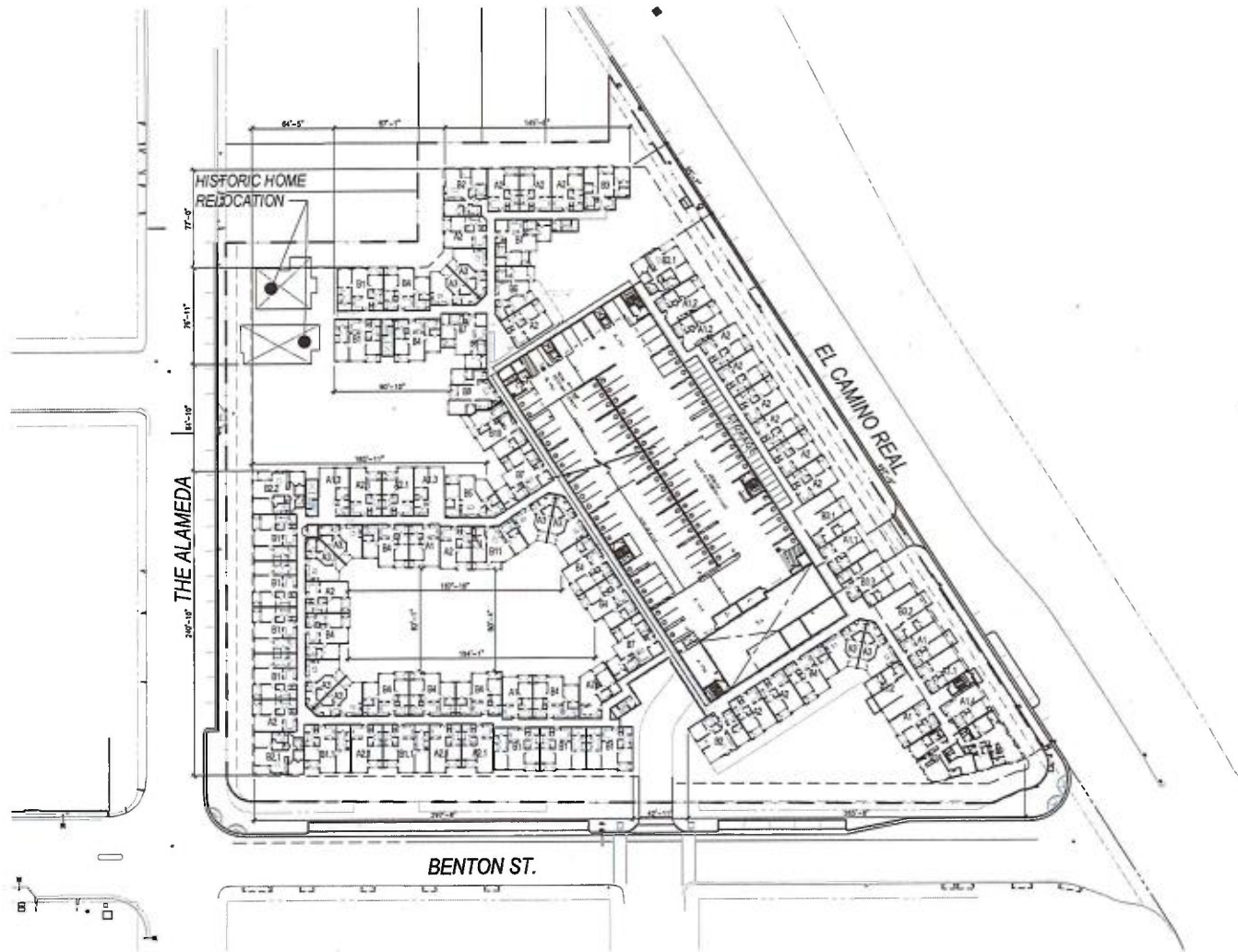


A-1.5

WASTE MANAGEMENT PLAN

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PLACE



SCALE: 1" = 40'

A-2.2
2nd Floor BUILDING PLAN

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K2015-287 WWW.ARCHITECTSORANGE.COM 04.08.2016





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PLACE



SCALE: 1" = 40'



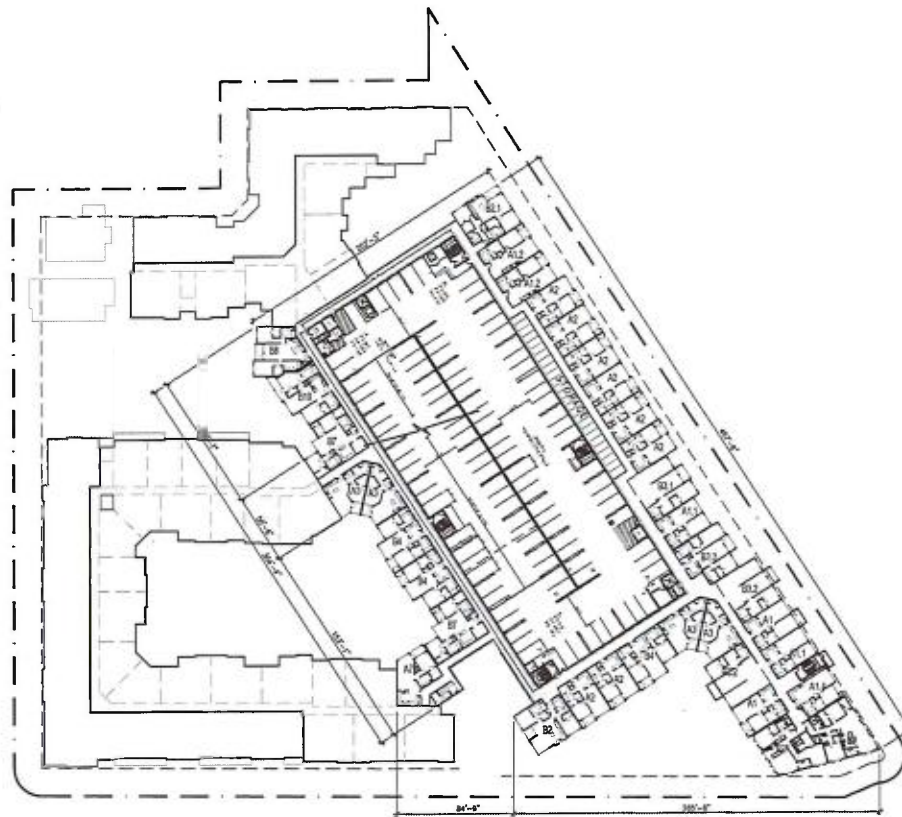
A-2.3

3rd Floor BUILDING PLAN

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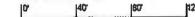
EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 40'



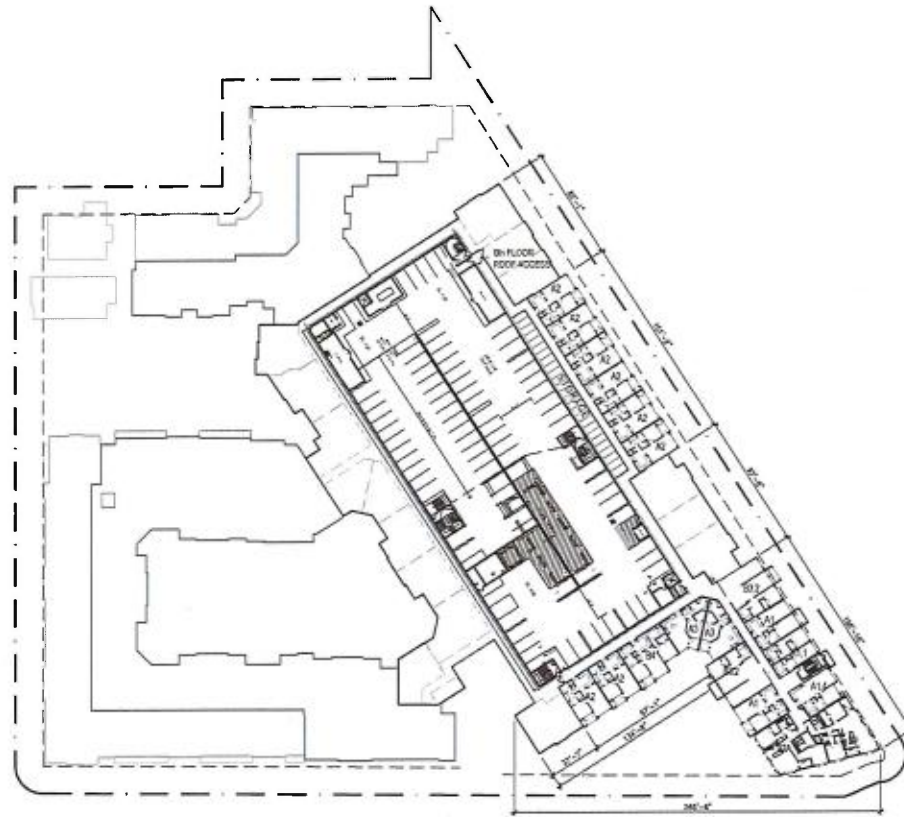
A-2.5

5th Floor BUILDING PLAN

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PLACE



SCALE: 1" = 40'

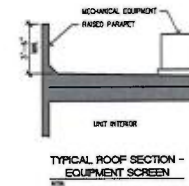
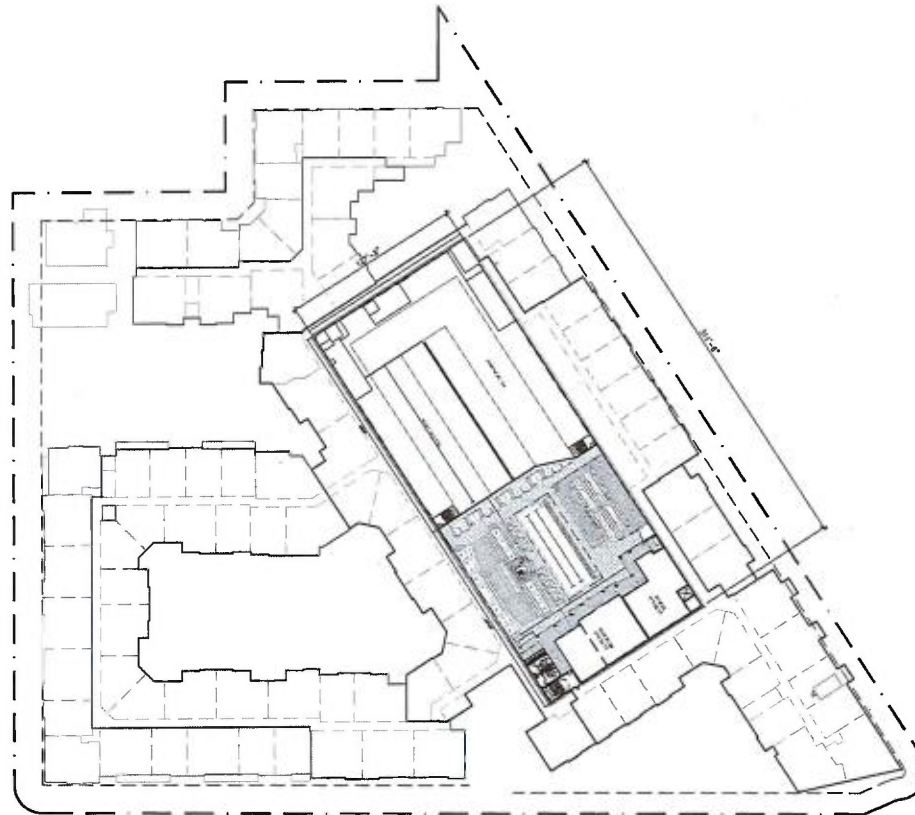


6th Floor BUILDING PLAN

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A-2.6



EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 40'



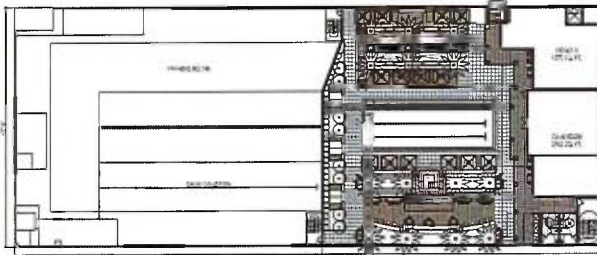
7th Floor Amenity Roof Deck

ARCHITECTS ORANGE
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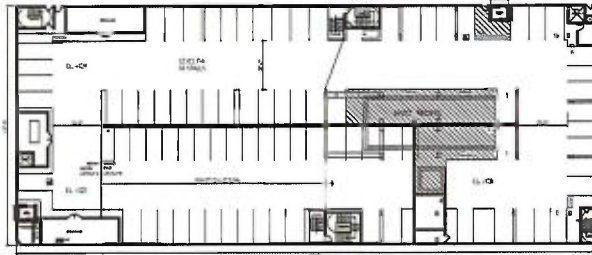


A-2.7

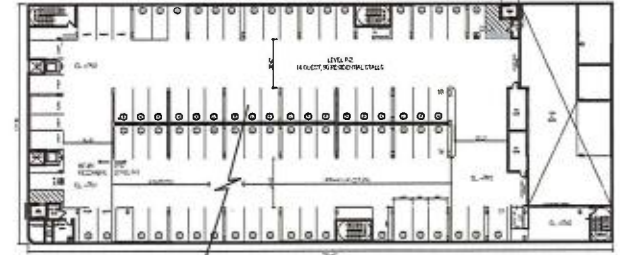
AMENITY DECK P-7



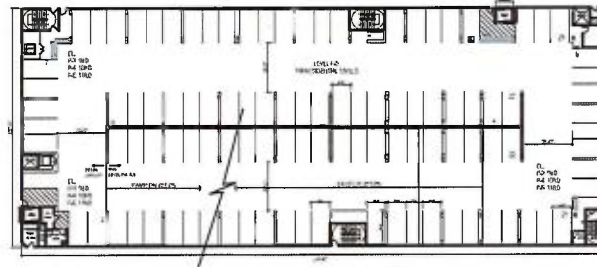
PARKING GARAGE P-6



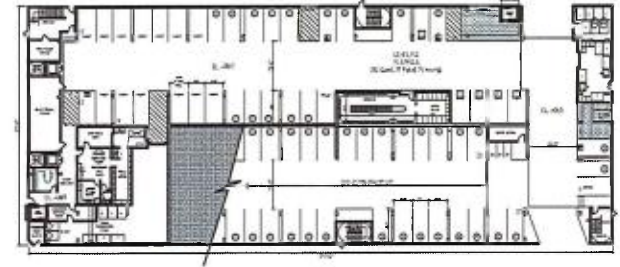
PARKING GARAGE P-2



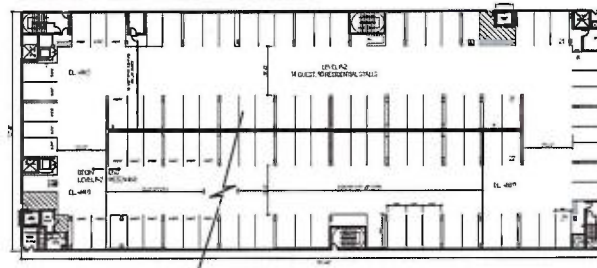
PARKING GARAGE P-5



PARKING GARAGE P-1



PARKING GARAGE P-3 THRU 4



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PLACE



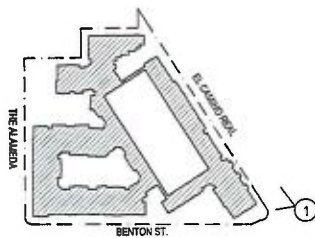
SCALE: 1/30" = 1'-0"

GARAGE PLANS

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A-2.8



KEY PLAN

SCALE: 1" = 150'

- | | |
|--------------------------|-----------------------|
| ① BRICK VENEER | ⑥ HORIZONTAL SIDING |
| ② EXTERIOR PLASTER | ⑦ WOOD PATTERN SIDING |
| ③ CORRUGATED METAL PANEL | ⑧ VINYL WINDOW |
| ④ PORCELAIN TILE | ⑨ BALCONIES |
| ⑤ VERTICAL SIDING | ⑩ GLASS STOREFRONT |

MATERIALS

④



RENDERING - RETAIL ON ECR & BENTON ST.

①



NORTH EAST ELEVATION - EL CAMINO REAL

SCALE: 1" = 20'

②

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 20'

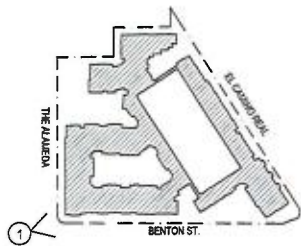


A-3.1

BUILDING ELEVATIONS

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KEY PLAN

SCALE: 1" = 150'

3

- | | |
|--------------------------|-----------------------|
| ① BRICK VENEER | ⑥ HORIZONTAL SIDING |
| ② EXTERIOR PLASTER | ⑦ WOOD PATTERN SIDING |
| ③ CORRUGATED METAL PANEL | ⑧ VINYL WINDOW |
| ④ PORCELAIN TILE | ⑨ BALCONIES |
| ⑤ VERTICAL SIDING | ⑩ GLASS STOREFRONT |

MATERIALS

4



RENDERING - BENTON ST.

1



SOUTH EAST ELEVATION - BENTON

SCALE: 1" = 20'

2

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 20'

10' 20' 40' 80'



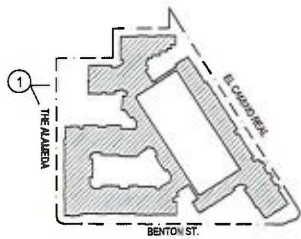
A-3.2

BUILDING ELEVATIONS

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KEY PLAN

SCALE: 1" = 150'

3

- | | |
|--------------------------|-----------------------|
| ① BRICK VENEER | ⑥ HORIZONTAL SIDING |
| ② EXTERIOR PLASTER | ⑦ WOOD PATTERN SIDING |
| ③ CORRUGATED METAL PANEL | ⑧ VINYL WINDOW |
| ④ PORCELAIN TILE | ⑨ BALCONIES |
| ⑤ VERTICAL SIDING | ⑩ GLASS STOREFRONT |

MATERIALS

4



RENDERING - COURTYARD ON THE ALAMEDA

1



SOUTH WEST ELEVATION - THE ALAMEDA

SCALE: 1" = 20'

2

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 20'

1" 12" 24" 48" 96"



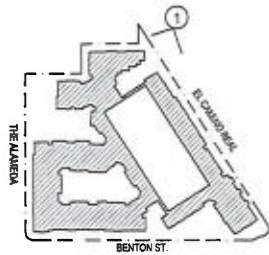
A-3.3

BUILDING ELEVATIONS

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KEY PLAN

SCALE: 1" = 150'

3

- | | |
|--------------------------|-----------------------|
| ① BRICK VENEER | ⑥ HORIZONTAL SIDING |
| ② EXTERIOR PLASTER | ⑦ WOOD PATTERN SIDING |
| ③ CORRUGATED METAL PANEL | ⑧ VINYL WINDOW |
| ④ PORCELAIN TILE | ⑨ BALCONIES |
| ⑤ VERTICAL SIDING | ⑩ GLASS STOREFRONT |

MATERIALS

4



RENDERING - NORTH EAST VIEW

1



NORTH WEST ELEVATION

SCALE: 1" = 20'

2

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 20'
10' 20' 40' 80'

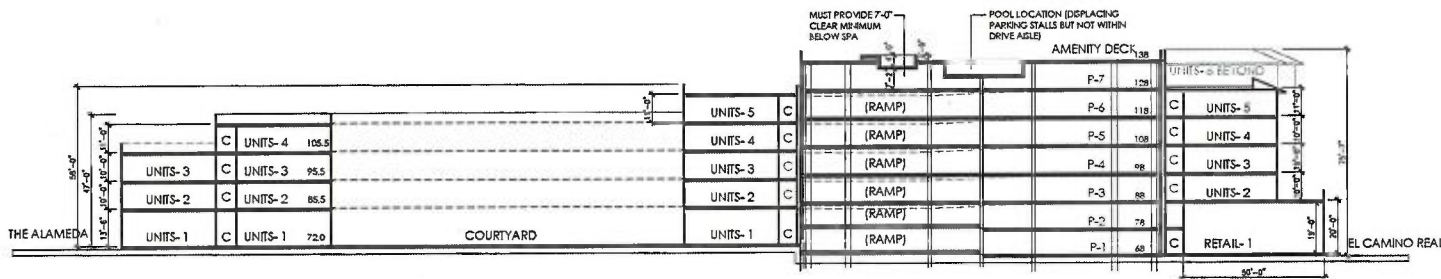


A-3.4

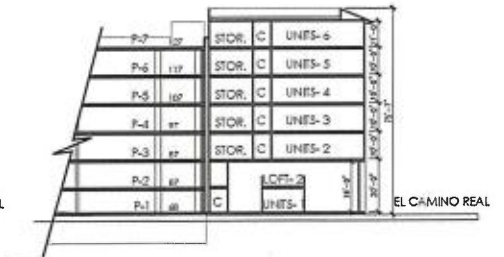
BUILDING ELEVATIONS

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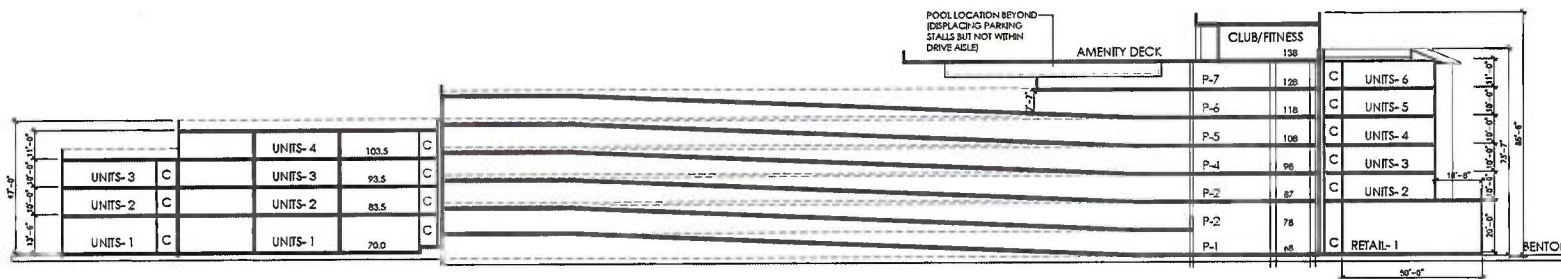




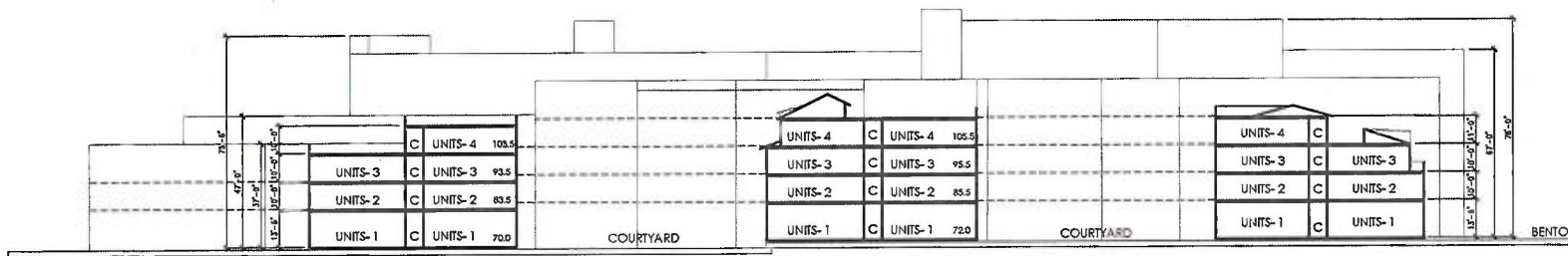
A GARAGE SECTION @ EL CAMINO REAL



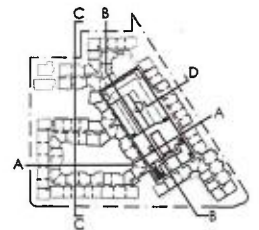
D SECTION @ EL CAMINO REAL



B GARAGE SECTION @ BENTON



C BUILDING SECTION THROUGH COURTYARDS @ BENTON



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PLACE



SCALE: 1" = 20'

BUILDING SECTIONS

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A-4.1



EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1/8" = 1'-0"

UNIT PLANS

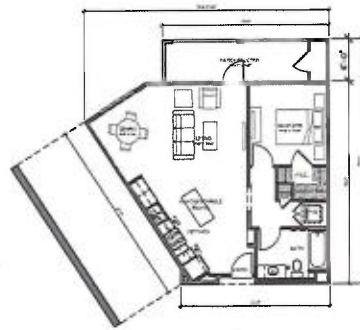
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A-5.1



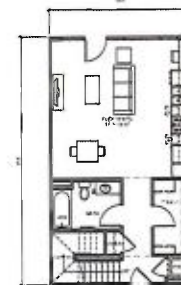
UNIT A5
1 BEDROOM-1 BATH
(# OF UNITS: 1)
UNIT AREA: 885 SQ. FT.
PATIO/BALCONY: 50 SQ. FT.



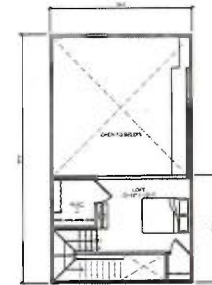
UNIT A6
1 BEDROOM-1 BATH
(# OF UNITS: 1)
LIVABLE AREA: 800 SQ. FT.
PATIO/BALC: 112 SQ. FT.



UNIT A7
1 BEDROOM-1 BATH
(# OF UNITS: 1)
LIVABLE AREA: 907 SQ. FT.
PATIO/BALCONY: 58 SQ. FT.



UNIT A10-L1
1 BEDROOM-1 BATH
(# OF UNITS: 4)
LIVABLE AREA: 679 SQ. FT. +139 SQ. FT. LOFT
= 818 SQ. FT. TOTAL



UNIT A10-L2
1 BEDROOM-1 BATH
(# OF UNITS: 4)
LIVABLE AREA: 139 SQ. FT. LOFT



UNIT B1
2 BEDROOM-2 BATH
(# OF UNITS: 25)
UNIT AREA: 1175 SQ. FT.
PATIO/BALCONY: 48 SQ. FT.



UNIT B1-LW
2 BEDROOM-2 BATH
(# OF UNITS: 1)
UNIT AREA: 1175 SQ. FT.
PATIO/BALCONY: 82 SQ. FT.



UNIT B1.1
2 BEDROOM-2 BATH
(# OF UNITS: 2)
UNIT AREA: 1298 SQ. FT.
PATIO/BALCONY: 48 SQ. FT.



UNIT B1.1-LW
2 BEDROOM-2 BATH
(# OF UNITS: 1)
UNIT AREA: 1298 SQ. FT.
PATIO/BALCONY: 82 SQ. FT.



UNIT B2
2 BEDROOM-2 BATH
(# OF UNITS: 1)
UNIT AREA: 1150 SQ. FT.
PATIO/BALCONY: 81 SQ. FT.

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PLACE



SCALE: 1/8" = 1'-0"

UNIT PLANS

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A-5.2



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PLACE



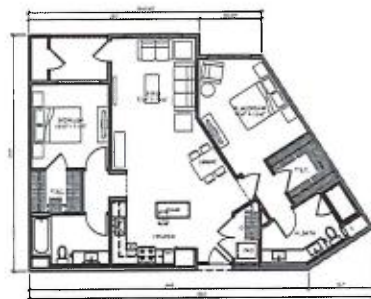
SCALE: 1/8" = 1'-0"

UNIT PLANS

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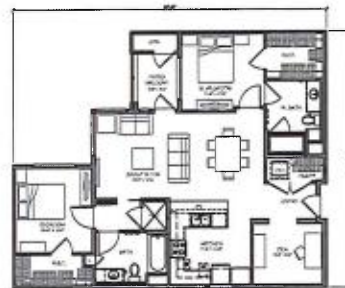
A-5.3



UNIT B5
2 BEDROOM - 2 BATH
(# OF UNITS: 3)
UNIT AREA: 1287 SQ. FT.
PATIO/BALCONY: 50 SQ. FT.



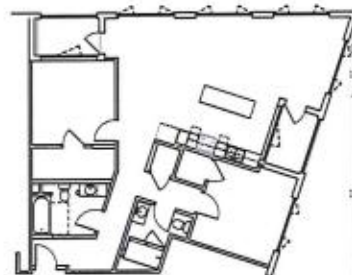
UNIT B6
2 BEDROOM - 2 BATH
(# OF UNITS: 3)
UNIT AREA: 996 SQ. FT.
PATIO/BALCONY: 58 SQ. FT., 53 SQ. FT.



UNIT B7
2 BEDROOM - 2 BATH
(# OF UNITS: 15)
LIVABLE AREA: 1281 SQ. FT.
PATIO/BALCONY: 49 SQ. FT.



UNIT B8
2 BEDROOM - 2 BATH
(# OF UNITS: 6)
UNIT AREA: 1133 SQ. FT.
PATIO/BALCONY: 61 SQ. FT.



UNIT B9
2 BEDROOM - 2 BATH
(# OF UNITS: 5)
UNIT AREA: #####
BALC: #####



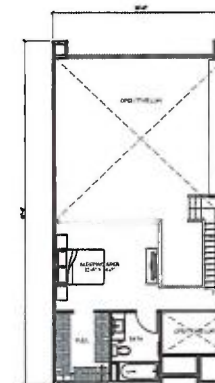
UNIT B10
2 BEDROOM - 2 BATH
(# OF UNITS: 6)
UNIT AREA: 1198 SQ. FT.
PATIO/BALCONY: 101 SQ. FT.



UNIT B11
2 BEDROOM - 2 BATH
(# OF UNITS: 3)
LIVABLE AREA: 1136 SQ. FT.
PATIO/BALC: 112 SQ. FT.



UNIT B12-L1 A
1 BEDROOM - 1 BATH
(# OF UNITS: 3)
LIVABLE AREA: 1114 SQ. FT. + 362 SQ. FT. LOFT
= 1476 SQ. FT. TOTAL



UNIT B12-L2 A
1 BEDROOM - 1 BATH
LIVABLE AREA: 362 SQ. FT.

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PLACE



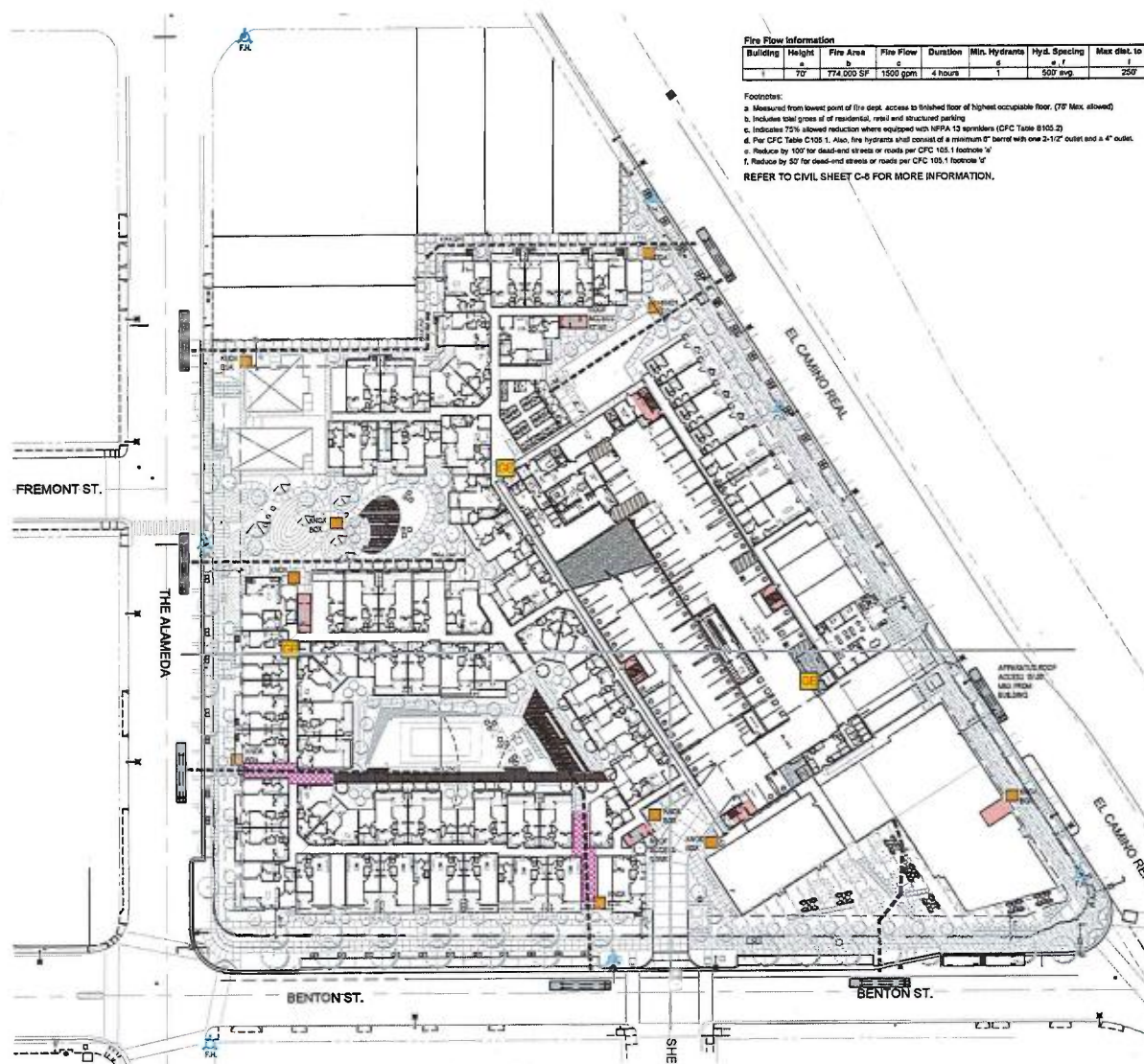
SCALE: 1/8" = 1'-0"

UNIT PLANS

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A-5.4



FIRE ACCESS DIAGRAM

Fire Flow Information

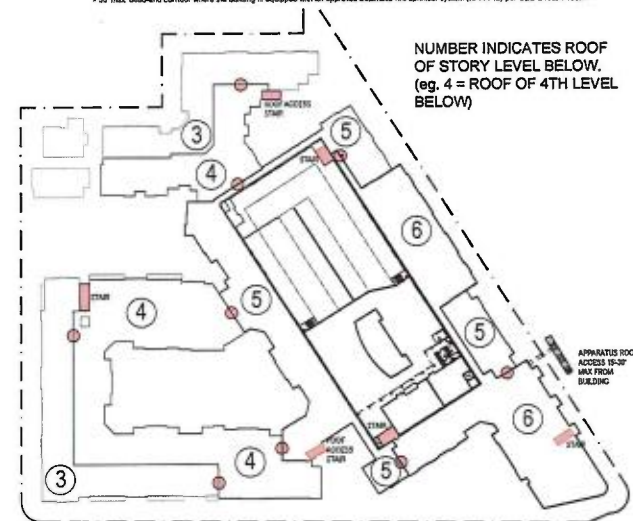
Building	Height	Fire Area	Fire Flow	Duration	Mins. Hydrants	Hyd. Spec'g	Max dist. to Hyd.	Sprinklers
1	70'	774,000 SF	1500 gpm	4 hours	1	500' avg.	250'	NFPA 13

Footnotes:
a. Measured from lowest point of fire dept. access to finished floor of highest occupiable floor. (75' Max. allowed)
b. Includes total gross of residential, retail and structured parking
c. Includes 75% allowed reduction where equipped with NFPA 13 sprinklers (CFC Table 510.2)
d. Per CFC Table C105.1, also, fire systems shall consist of a minimum 4" main with one 2-1/2" outlet and a 4" outlet.
e. Reduce by 100' for dead-end streets or roads per CFC 105.1 footnote 1
f. Reduce by 50' for dead-end streets or roads per CFC 105.1 footnote 1
REFER TO CIVIL SHEET C-5 FOR MORE INFORMATION.

2016 CBC - BUILDING CODE ANALYSIS - HEIGHT AND AREA

Building Use	Occup. Group	Const. Type	Significance (IBC 5.10.1)	Allowable Height (ft.)	Allowable Area (sq. ft.)	Allowable Building Area		Max Bldg Area per Section	Avg. Bldg Area per Story (sq. ft.)
						Tab 508.2	Per Sec. 508.2		
Parking Structure	S-2	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Hotel (Below Podium)	II	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Res. Dwelling Units (Below Podium)	R-2	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Res. Dwelling Units (Above Podium)	R-2	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Leisure Office (Below Podium)	8	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Restaurant/Bar (Above Podium)	A-3	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Residential Dwelling Units	R-2	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000
Residential Dwelling Units	R-2	II-A	NFPA 13	15	15,000	15,000	15,000	15,000	15,000

NOTES:
- Approved sprinklers (NFPA 13) used for Height and Story increase, 1100' area increase
- Frontage Increase (NFPA 13) (0-1 side = 0' increase; 2 sides = 8,000' of increase; 3 sides = 12,000' of increase)
- 2016 CBC Section 510.2 & 510.4 allows multiple stories below a horizontal assembly (podium)
- Highest occupiable floor level is less than 75' above lowest level of fire department access and therefore building is not considered a High-rise per Section 1002
- Building corridors shall comply with the requirements of CBC Section 1002
- Building Exit Passageways shall comply with the requirements of CBC Section 1024
- Where an exit enclosure is extended to an exit discharge or a public way by an exit passageway, the exit enclosure shall be separated from the exit passageway by a fire barrier constructed in accordance with CBC Section 707 or a horizontal assembly constructed in accordance with Section 711, or both.
- 60' max. dead-end corridor where the building is equipped with an approved automatic fire sprinkler system (NFPA 13) per CBC Section 1020.4



ROOF ACCESS DIAGRAM

SCALE: 1" = 60'

- FIRE HOSE PULL LENGTH
- FIRE HYDRANT (PROP & EXT'G)
- GURNEY SIZED ELEVATOR
- 2-HR RATED PASSAGE
- STAIR (ROOF ACCESS WHERE NOTED)
- KNOX BOX
- FIRE APPARATUS
- ROOF LADDER BETWEEN LEVELS

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PLACE



SCALE: 1" = 40' UNLESS NOTED

FIRE ACCESS DIAGRAM

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A-6.1





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PROMETHEUS



PLACE



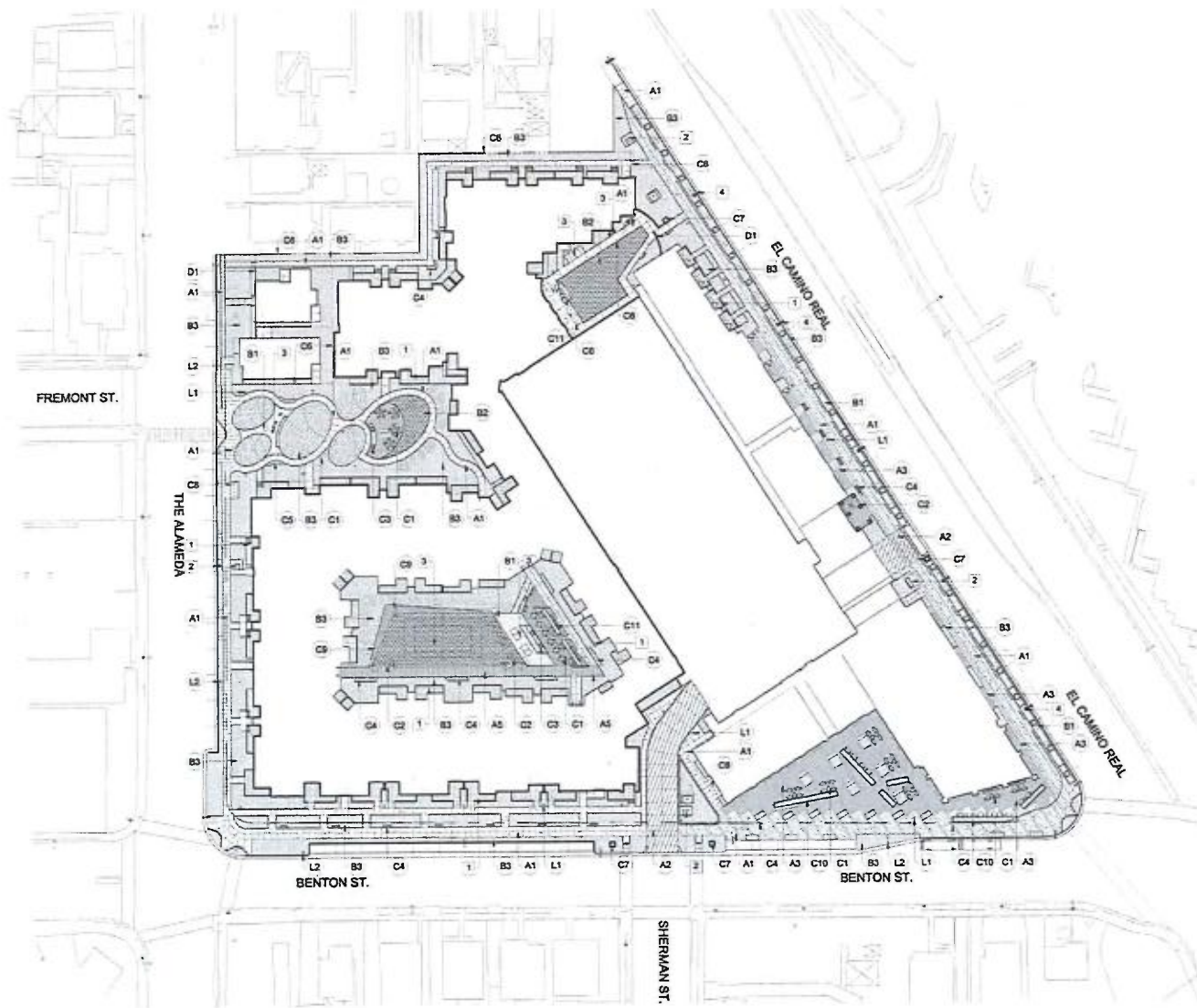
SCALE: 1" = 40'

L-1.0

LANDSCAPE SITE PLAN

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MATERIALS LEGEND

PAVEMENTS AND PLANTING

- A1 CONCRETE - PEDESTRIAN
- A2 CONCRETE - VEHICULAR
- A3 LINEAR CONCRETE UNIT PAVERS - PEDESTRIAN
- A4 LINEAR CONCRETE UNIT PAVERS - VEHICULAR
- A5 WOOD DECKING
- B1 DECOMPOSED GRANITE
- B2 ARTIFICIAL TURF
- B3 PLANTING AREA

SITE FURNISHINGS

- C1 CAFE TABLES, CHAIRS & UMBRELLAS
- C2 LOUNGE FURNISHINGS (TYPES T.B.D.)
- C3 OUTDOOR BBQ W/ COUNTER
- C4 BENCHES (WOOD)
- C5 SEATWALLS (PRECAST CONCRETE)
- C6 SCREEN FENCE & GATES (8' HT. ORNAMENTAL METAL @ P1, 4' HT. AT COURTYARD 'C')
- C7 PYLON MARKER (W/ PROJECT IDENTITY SIGNAGE)
- C8 BICYCLE RACKS (2 SPACES PER RACK)
- C9 LOUNGE NET
- C10 RAISED PLANTERS (2' HT., WEATHERING STEEL)
- C11 BAR-HEIGHT COUNTER AND STOOLS

SITE LIGHTING

- L1 LIGHT FIXTURE - PEDESTRIAN POLE
- L2 STREET LIGHT FIXTURE - CITY STANDARD

- 1 RESIDENTIAL PATIOS - SEE ARCH DWGS.
- 2 TRANSFORMER & PAD - SEE UTIL DWGS.
- 3 RECREATION COURT / GAMES AREA
- 4 EXISTING STREETLIGHT TO REMAIN AT ECR

SCALE: 1" = 40'

0' 40' 80' 120'



L-2.0

MATERIALS PLAN

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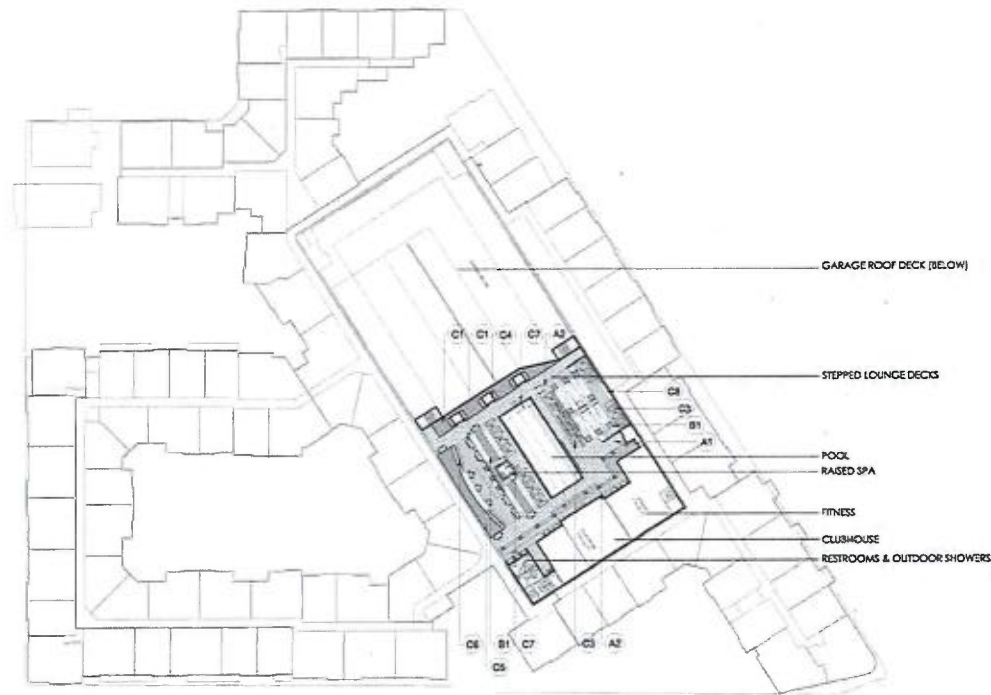


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PLACE





POOL DECK / AMENITY TERRACE (7TH FLOOR)

MATERIALS LEGEND
PAVEMENTS AND PLANTING

- A1 PEDESTAL CONCRETE UNIT PAVERS (LINEAR PLANK PAVERS)
- A2 WOOD DECKING
- B1 RAISED PLANTING BEDS

SITE FURNISHINGS

- C1 DINING TABLES & CHAIRS
- C2 LOUNGE FURNISHINGS (TYPES & LOCATIONS T.B.D.)
- C3 POOL CHAISE LOUNGES & UMBRELLAS
- C4 POOL CABANAS (SHADE TENTS)
- C5 OUTDOOR BBQ W/ COUNTER
- C6 BAR STOOLS & COUNTER
- C7 POOL / SPA ADA LIFT
- C8 BENCH

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PLACE



SCALE: 1" = 40'

L-2.1

MATERIALS PLAN ROOF DECK

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POOL DECK / AMENITY TERRACE (7TH FLOOR)

LANDSCAPE DESIGN CRITERIA AND GENERAL NOTES

- DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES AS WELL AS CITY STANDARD SPECIFICATIONS.
- PLANTING WILL BE DESIGNED TO PROVIDE MAXIMUM SAFETY FOR RESIDENTS. PLANTING WILL BE PROVIDED ALONG WALLS, FENCES, AND AT BUILDING FOUNDATIONS AND WILL BE MAINTAINED AT AN APPROPRIATE HEIGHT FOR CLEAR VISIBILITY.
- THE OVERALL LANDSCAPE CHARACTER WILL HELP DEFINE AND ENHANCE ARCHITECTURAL ELEMENTS THROUGH THE CAREFUL USE OF FLOWER AND LEAF COLOR, TEXTURE, PLANT FORMS AND PLANT MASSES.
- PLANTING WILL BE DESIGNED TO SCREEN UNDESIRABLE VIEWS (AUTOMOBILES, TRASH COLLECTION, STORAGE AREAS, ETC.) AND ADD INTEREST TO THE SITE.
- PLANT MATERIAL SHALL COMPLY WITH THE CITY OF SANTA CLARA REQUIREMENTS AND BE APPROPRIATE FOR THE PROJECT CLIMATE AND SOIL CONDITIONS.
- BROAD PLANT MASSES AND CONSISTENCY OF LANDSCAPE CHARACTER SHALL BE EMPLOYED TO AVOID COMPLEX PLANT MIXES AND VISUAL CONFUSION.
- THE LANDSCAPE WILL PROVIDE A VARIETY OF SPACES FOR PROJECT USERS AND RESIDENTS. THESE AREAS WILL INCLUDE DISTINCTIVE PROGRAM ELEMENTS THAT ALLOW USERS OPTIONS DEPENDING ON THEIR DESIRED ACTIVITY.
- ENTRANCES WILL BE IDENTIFIED AND ACCENTED WITH LANDSCAPE AND SIGNAGE.
- ELEMENTS SUCH AS LANDSCAPE LIGHTING, SITE FURNITURE, AND MOVEABLE PLANT POTS WILL ALSO BE USED TO COMPLEMENT THE OVERALL DESIGN CHARACTER OF THE COMMUNITY.
- ON SITE LIGHTING TO BE PROVIDED BY ORNAMENTAL POLES, WALL SCONES, STEP LIGHTS AND BOLLARDS.
- LANDSCAPE PLANTINGS AND FEATURES SHALL BE EMPLOYED TO MINIMIZE WATER USE, MINIMIZE RUNOFF AND PROMOTE SURFACE INFILTRATION OF STORM WATER.
- ALL PLANTING SHALL BE ARRANGED BY WATER HYDROZONES BASED ON WATER NEEDS.

PLANTING NOTES

- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES INDICATED TO REMAIN.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DENSITY, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- FINISH GRADING SHALL PROVIDE POSITIVE SURFACE DRAINAGE ACROSS PLANTED AREAS AND AWAY FROM BUILDING FOUNDATIONS. REFER TO CIVIL GRADING PLANS FOR ALL EXISTING AND PROPOSED GRADE INFORMATION.
- ALL PLANTING AREAS SHALL HAVE THE EXISTING TOPSOIL TESTED, FILLED AND AMENDED TO CONFORM TO RECOMMENDATIONS MADE BY AN AGRONOMIC SOIL TESTING LAB IN ORDER TO ASSURE HEALTHY PLANT GROWTH. PROVIDE 2" MINIMUM OF BARK MULCH.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.

PUBLIC & PRIVATE LANDSCAPE MAINTENANCE

- STREET TREES, TREE WELLS AND PARKWAY STRIP PLANTINGS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE PUBLICALLY MAINTAINED LANDSCAPE AREAS.
- ALL OTHER LANDSCAPE AREAS ARE TO BE PRIVATELY MAINTAINED BY THE PROJECT OWNER FOLLOWING INDUSTRY STANDARDS.

IRRIGATION NOTES

- ALL LANDSCAPE AREAS WILL BE PERMANENTLY IRRIGATED USING A PERMANENT AUTOMATIC IRRIGATION SYSTEM.
- IF AVAILABLE, ALL IRRIGATION IMPROVEMENTS WILL UTILIZE SUSTAINABLE, NON-POTABLE RECYCLED WATER AVAILABLE FROM THE SANTA CLARA VALLEY WATER DISTRICT (SCVWD) OR SOUTH BAY WATER RECYCLING (SBWR).
- ALL IRRIGATION IMPROVEMENTS WILL UTILIZE HIGH EFFICIENCY DESIGN AND EQUIPMENT COMPONENTS IN CONFORMANCE WITH CITY, SCVWD AND SBWR REQUIREMENTS.
- IRRIGATION IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY WILL CONFORM WITH THE CITY OF SANTA CLARA'S STANDARDS AND REQUIREMENTS.
- THE IRRIGATION SYSTEM DESIGN WILL COMPLY WITH ABA 1861 REQUIREMENTS. FOLLOW THE STATEWIDE MODEL ORDINANCE GUIDELINES AND CITY REQUIREMENTS WITH THE USE OF WATER-EFFICIENT LANDSCAPE AND LOW WATER USE PLANTS.
- THE IRRIGATION SYSTEM WILL PROVIDE 100% HEAD TO HEAD COVERAGE AND WILL BE DESIGNED TO MINIMIZE OVERSPRAY, ALL REMOTE CONTROL AND QUICK-COUPLED VALVES WILL BE INSTALLED WITHIN SHRUBS / GROUND COVER PLANTING AREAS WHENEVER POSSIBLE.
- IRRIGATION SYSTEM PLANS AND DESIGN WILL BE PROVIDED AT A LATER DATE.
- THE FINAL IRRIGATION PLANS WILL ACCURATELY AND CLEARLY IDENTIFY:
 - LOCATION, TYPE AND SIZE OF THE WATER METERS FOR THE LANDSCAPE.
 - LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM.
 - STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY.
 - FLOW RATE (GALLONS PER MINUTE) AND REMOTE CONTROL VALVE SIZE.
- IRRIGATION SYSTEM FEATURES EMPLOYED TO ACHIEVE WATER CONSERVATION GOALS WILL INCLUDE:
 - SMART IRRIGATION CONTROLLERS CAPABLE OF RESPONDING TO ON-SITE WEATHER CONDITIONS.
 - CONTROLLERS WITH MULTIPLE PROGRAMS.
 - WATERING SCHEDULES EMPLOYING SHORT CYCLES.
 - RAIN SHUT-OFF DEVICES TO PREVENT IRRIGATION AFTER SIGNIFICANT PRECIPITATION.
 - SUB-SURFACE DRIP AND/OR BUBBLER IRRIGATION FOR SHRUBS AND TREES.
 - SUB-SURFACE DRIP IRRIGATION FOR GROUND COVER AREAS.
 - USE OF FLOW REDUCERS TO MITIGATE SPRAY OF BROKEN HEADS NEXT TO SIDEWALKS, STREETS AND DRIVEWAYS.

SHEET NOTES

FOR PLANT SCHEDULE, SEE SHEET L-3.2

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 40'

L-3.1

PLANTING PLAN-ROOF DECK

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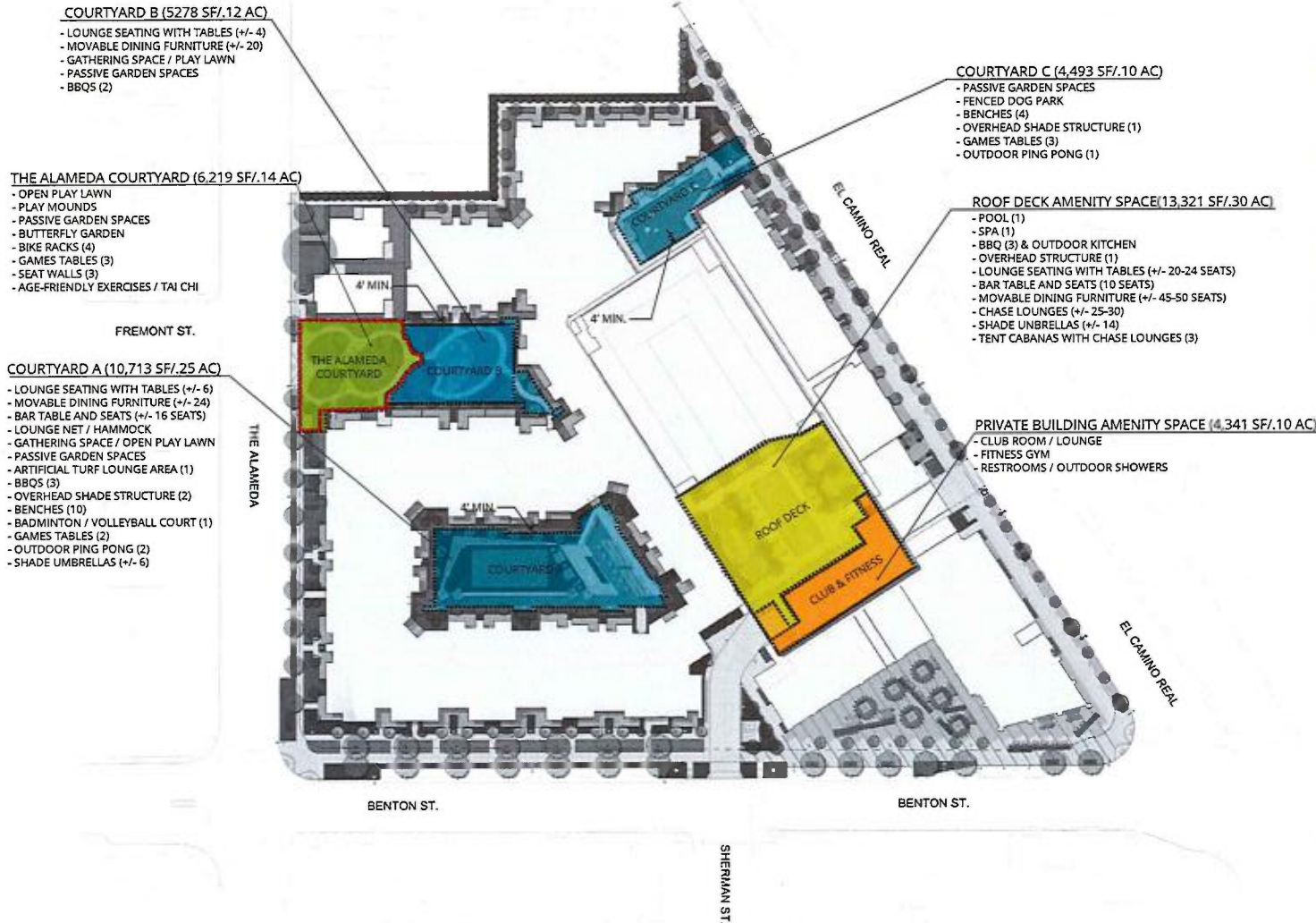
UNDERSTORY PLANTS					
SYMBOL	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	NOTES
STORMWATER TREATMENT / BIOFILTRATION / BIORETENTION PLANTS					
	Carex lasiocarpa	BROADLEAF SEDGE	2' O.C.	1 Gal.	SIZE OF UNDERSTORY PLANTING
	Carex panicea	CALIFORNIA MEADOW SEDGE	2' O.C.	1 Gal.	
	Chenopodium serotinum	CHINA CREST RUSSIA	3' O.C.	1 Gal.	
	Larix laricina	CALIFORNIA GREY PINE	2' O.C.	1 Gal.	
	Fragaria chiloensis	SAND STRAWBERRY	1' O.C.	4" Pot	
	Yucca filifera	PACIFIC COAST HYDRANT PINE	1' O.C.	1 Gal.	
	Polypodium monophyllum	WESTERN SMOKE PINE	2' O.C.	1 Gal.	
	Phlox paniculata	CHINA CORYMBOSA	4' O.C.	3 Gal.	
	Stachys recta	BLUE-STEM GRASS	1' O.C.	1 Gal.	

 PROMETHEUS

L-3.2

PLANTING SCHEDULE
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PARK CREDIT LEGEND / CALCULATIONS

PUBLIC PARK LAND DEDICATION

PUBLIC OPEN SPACE	
- THE ALAMEDA COURTYARD	6,219 SF (.14 AC)
PUBLIC OPEN SPACE TOTAL	6,219 SF (.14 AC)

PRIVATE RECREATION AREAS

PRIVATE LANDSCAPE AMENITY SPACES	
- COURTYARD A	10,713 SF (.25 AC)
- COURTYARD B	5,278 SF (.12 AC)
- COURTYARD C	4,493 SF (.10 AC)
SUB TOTAL	20,484 SF (.47 AC)

PRIVATE ROOF DECK AMENITY SPACE	
- ROOF DECK - 7TH FLOOR	13,321 SF (.30 AC)
SUB TOTAL	13,321 SF (.30 AC)

PRIVATE BUILDING AMENITY SPACE	
- CLUB ROOM / LOUNGE	2,142 SF (.05 AC)
- FITNESS GYM	1,775 SF (.04 AC)
- RESTROOMS / SHOWERS	424 SF (.01 AC)
SUB TOTAL	4,341 SF (.10 AC)

PRIVATE RECREATION TOTAL 38,146 SF (.88 AC)

GRAND TOTAL 44,365 (1.02 AC)

PRIVATE OPEN SPACE CREDITS: QUALIFYING ELEMENTS

CITY OF CREDIT ELEMENT	PROVIDED	SITE LOCATIONS
1 ONE-HALF ACRE OF PLAY FIELD	NO / N/A	N/A
2 CHILDREN'S PLAY APPARATUS	NO / N/A	N/A
3 LANDSCAPED AND FURNISHED PARK-LIKE QUIET AREA	YES	COURTYARDS A, B, C
4 RECREATIONAL COMMUNITY GARDEN	NO / N/A	N/A
5 FAMILY PICNIC AREAS	YES	COURTYARDS A & B
6 GAME, FITNESS OR SPORT COURT AREAS	YES	COURTYARD A, ROOF DECK CLUB & FITNESS BUILDING
7 ACCESSIBLE SWIMMING POOL (MIN SIZE 42' X 75')	NO / N/A	N/A
8 RECREATION CENTER BUILDING AND GROUNDS	YES	ROOF DECK CLUB & FITNESS BUILDING

NOTES:

- DASHED OUTLINES OF PRIVATE RECREATION AREAS REFLECT A BUFFER STRIP / SETBACK OF 4'-0" MIN. BETWEEN BUILDINGS / PRIVATE TERRACES AND PUBLIC PARKLAND / AMENITIES

- THESE SETBACK AREAS HAVE BEEN DEDUCTED FROM THE PARK CREDIT AREA CALCULATIONS

EL CAMINO REAL MIXED USE SANTA CLARA, CA



PLACE



SCALE: 1" = 40'

L-4.0

PRIVATE RECREATION PLAN

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PRIVATE COURTYARDS

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PLACE



SCALE: NTS

N

L-5.0

CONCEPT IMAGERY

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PLAZA & ROOF DECK

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PLACE



SCALE: NTS

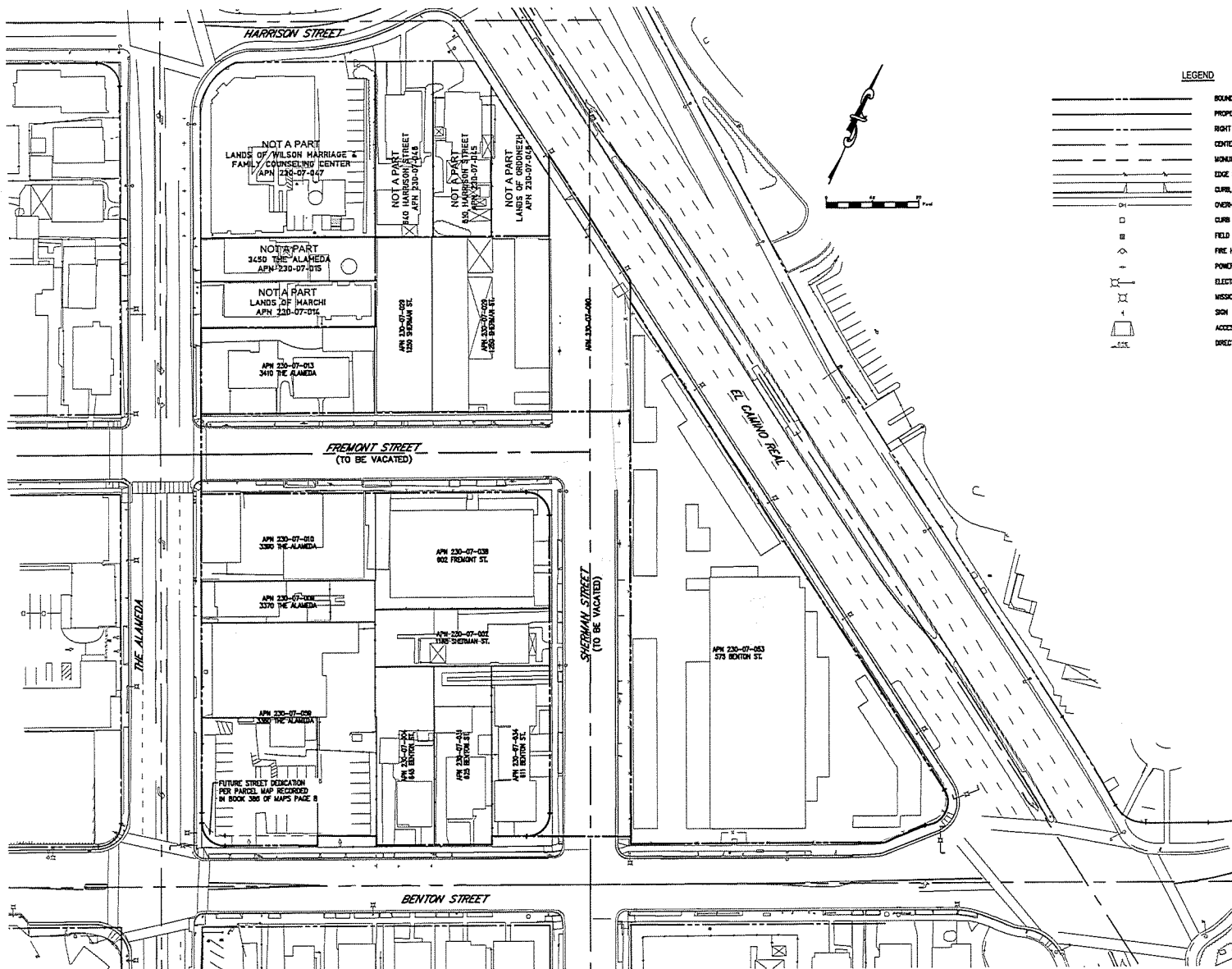
CONCEPT IMAGERY

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L-5.1



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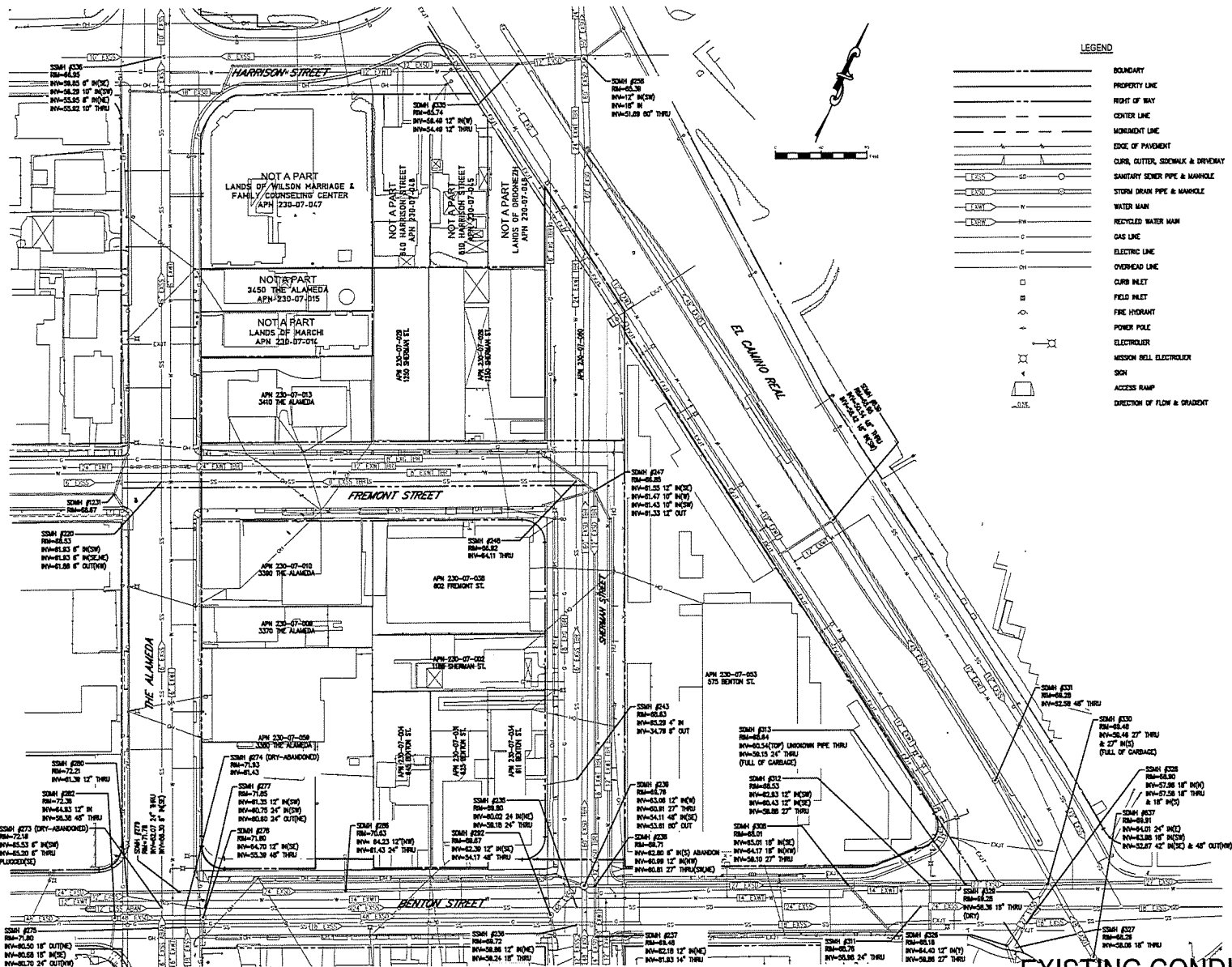


C1 EXISTING PARCEL MAP.dwg Apr 05, 2018

C1
EXISTING PARCEL MAP
 JOB NO. 16-111
 APRIL 6, 2018



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 2020 Gateway Plaza Suite 300
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 T: (408) 453-1066



EL CAMINO REAL MIXED USE SANTA CLARA, CA

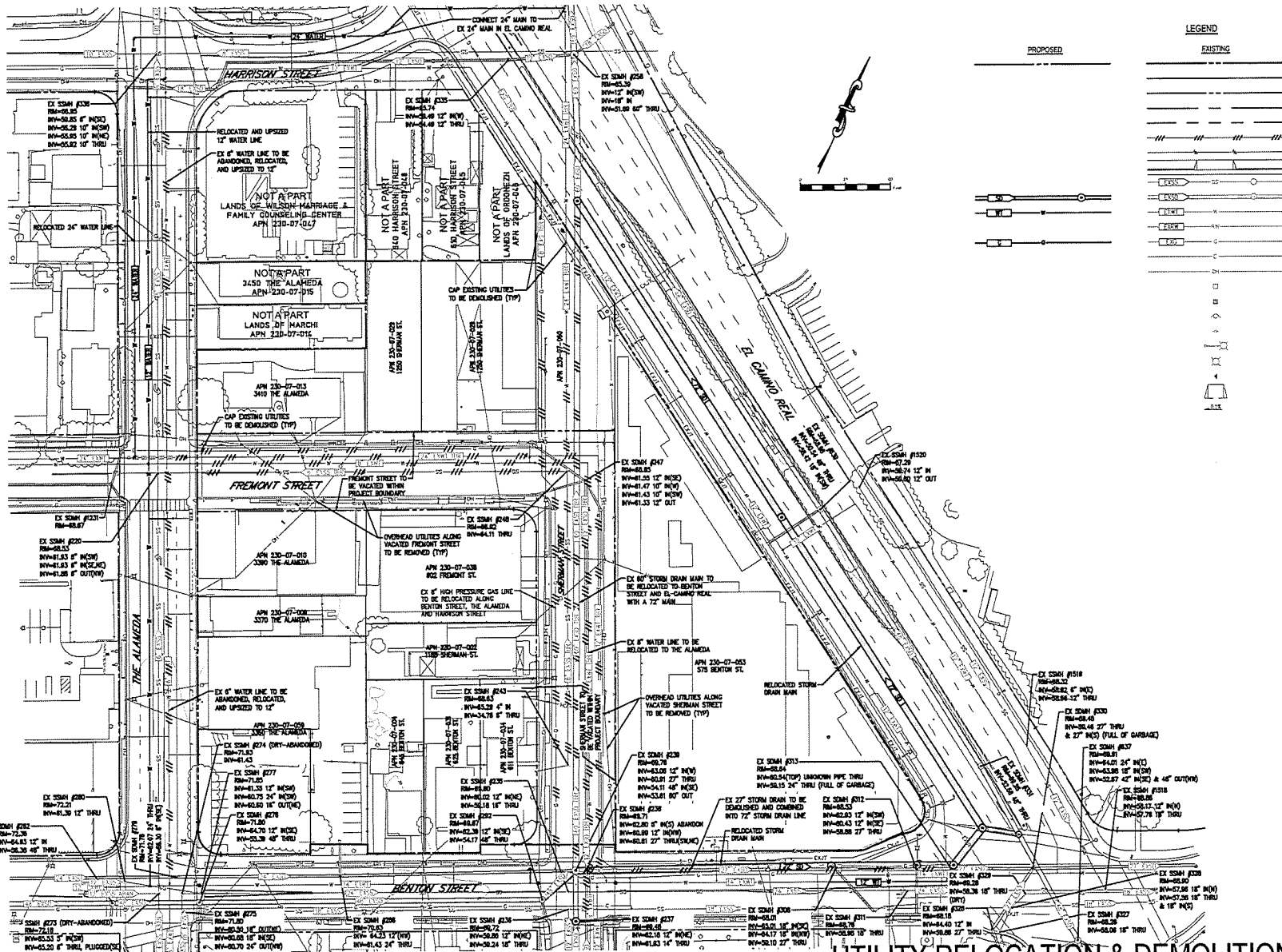


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C3
EXISTING CONDITIONS
JOB NO. 16-111
APRIL 6, 2018



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San Jose, CA 95110
T: (408) 453-7000



EL CAMINO REAL MIXED USE SANTA CLARA, CA

UTILITY RELOCATION & DEMOLITION PLAN

JOB NO. 16-111

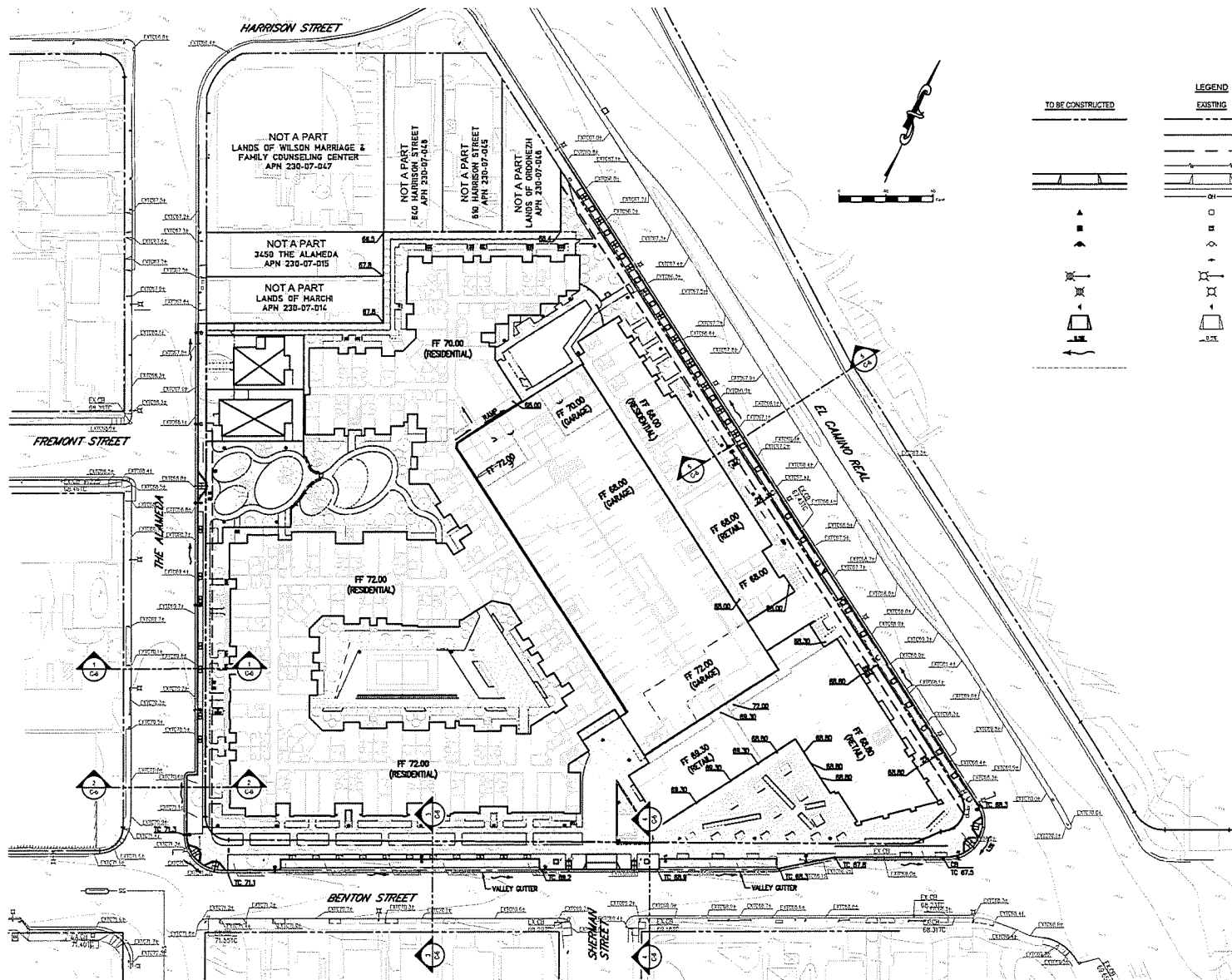
APRIL 6, 2018



EL CAMINO REAL MIXED USE PROJECT



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2005 Gateway Plaza Suite 200
San Jose, CA 95128
T: (408) 433-1000



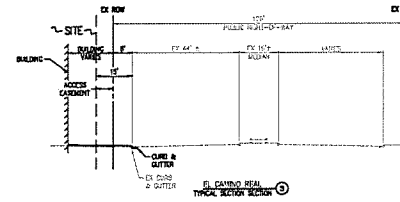
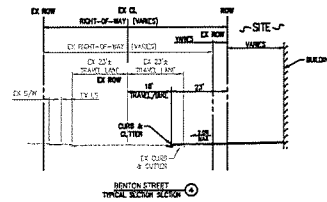
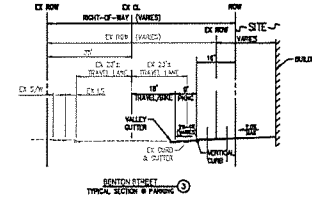
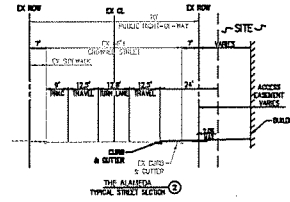
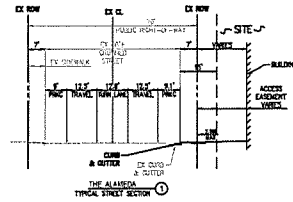
EL CAMINO REAL MIXED USE SANTA CLARA, CA



C5
GRADING & DRAINAGE PLAN
 JOB NO. 16-111
 APRIL 6, 2018



Civil Engineers • Planners • Surveyors
 2055 Gateway Plaza Suite 200
 San Jose, CA 95128
 T: (408) 433-1008



EL CAMINO REAL MIXED USE SANTA CLARA, CA

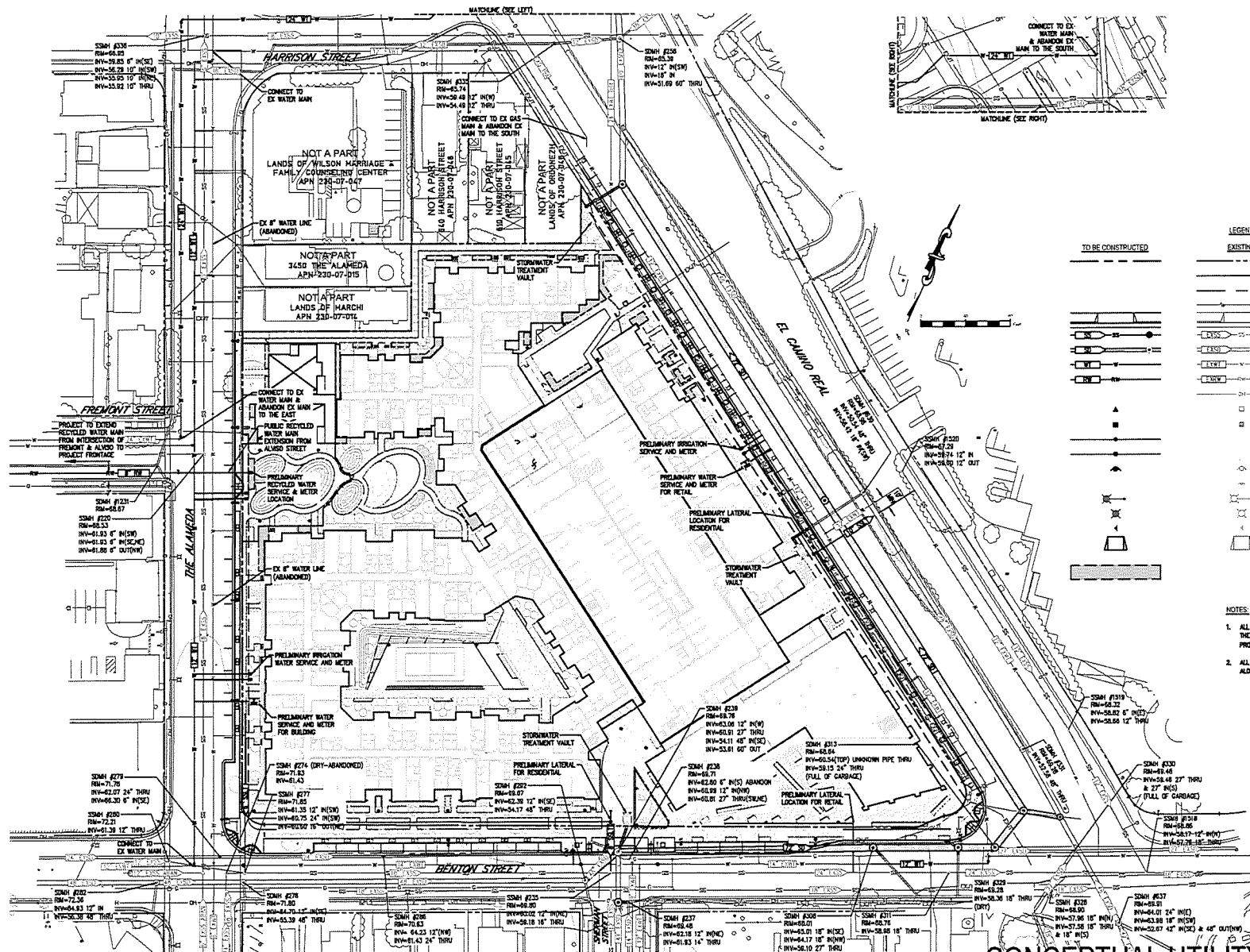


EL STREET SECTIONS May 10, 2018

C6
STREET SECTIONS
JOB NO. 16-111
APRIL 6, 2018



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3050 Gilman Road, Suite 100
San Jose, CA 95135
T: (408) 433-1000



EL CAMINO REAL MIXED USE SANTA CLARA, CA

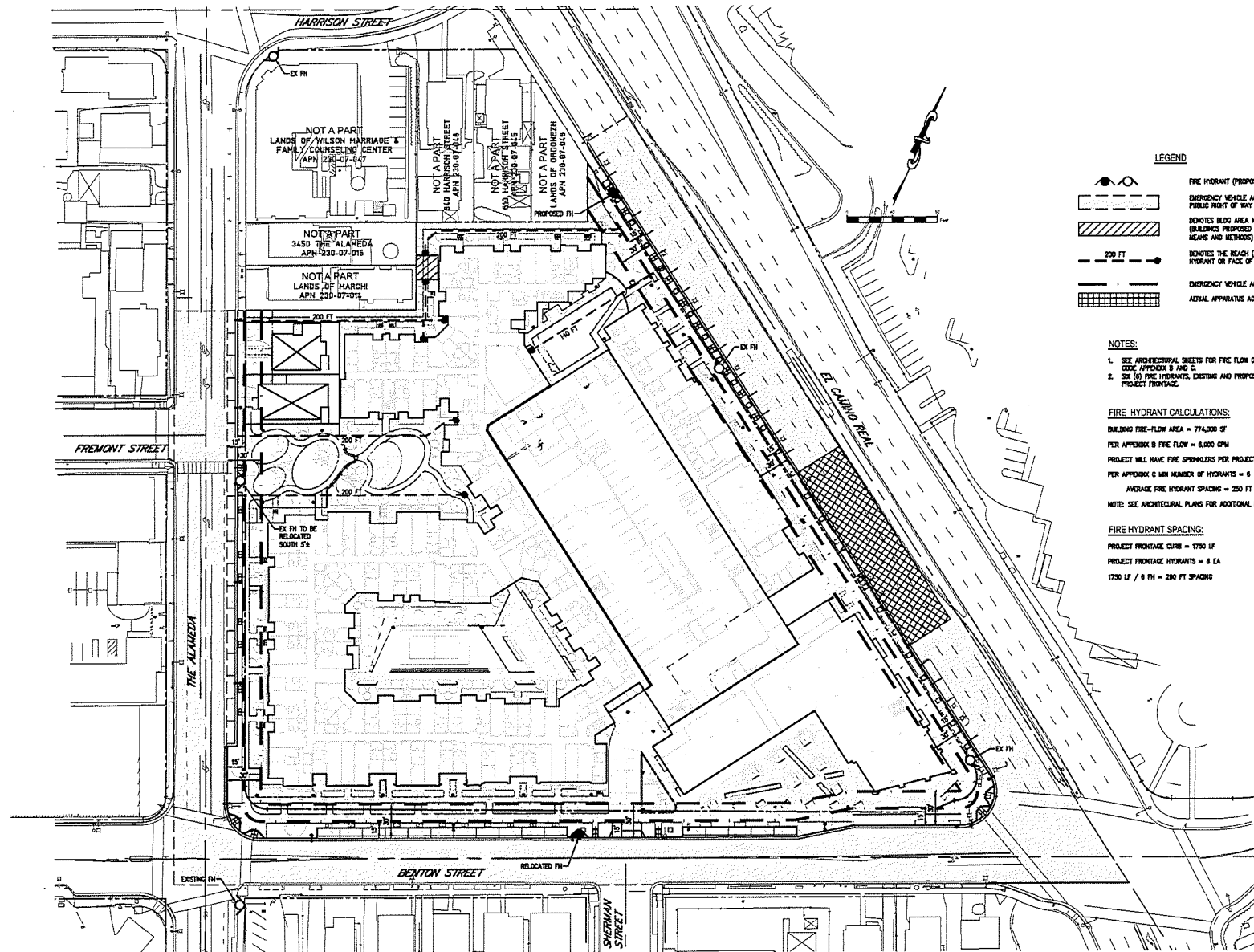
PROMETHEUS

© 2018 PROMETHEUS UTILITY PLAN MAY 10, 2018

C7
CONCEPTUAL UTILITY PLAN
JOB NO. 16-111
APRIL 6, 2018

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LEGEND

- FIRE HYDRANT (PROPOSED AND EXISTING)
- EMERGENCY VEHICLE ACCESS WITHIN PUBLIC RIGHT OF WAY
- DONOTES BLDG AREA NOT REACHABLE BY HOSE WRAP (BUILDINGS PROPOSED TO BE PROTECTED BY ALTERNATE MEANS AND METHODS)
- 200 FT
- DONOTES THE REACH (200' MAX) OF HOSE FROM HYDRANT OR FACE OF CURB
- EMERGENCY VEHICLE ACCESS SETBACK
- AERIAL APPARATUS ACCESS

NOTES:

1. SEE ARCHITECTURAL SHEETS FOR FIRE FLOW CALCULATIONS FROM CA FIRE CODE APPENDIX B AND C.
2. SEE (B) FIRE HYDRANTS, EXISTING AND PROPOSED, ARE SHOWN ON THE PROJECT FRONTAGE.

FIRE HYDRANT CALCULATIONS:

BUILDING FIRE-FLOW AREA = 774,000 SF
 PER APPENDIX B FIRE FLOW = 6,000 GPM
 PROJECT WILL HAVE FIRE SPRINKLERS PER PROJECT SUMMARY
 PER APPENDIX C MIN NUMBER OF HYDRANTS = 8
 AVERAGE FIRE HYDRANT SPACING = 250 FT
 NOTE: SEE ARCHITECTURAL PLANS FOR ADDITIONAL FIRE CODE INFORMATION

FIRE HYDRANT SPACING:

PROJECT FRONTAGE CURB = 1750 LF
 PROJECT FRONTAGE HYDRANTS = 8 EA
 1750 LF / 8 FH = 219 FT SPACING

EL CAMINO REAL MIXED USE SANTA CLARA, CA

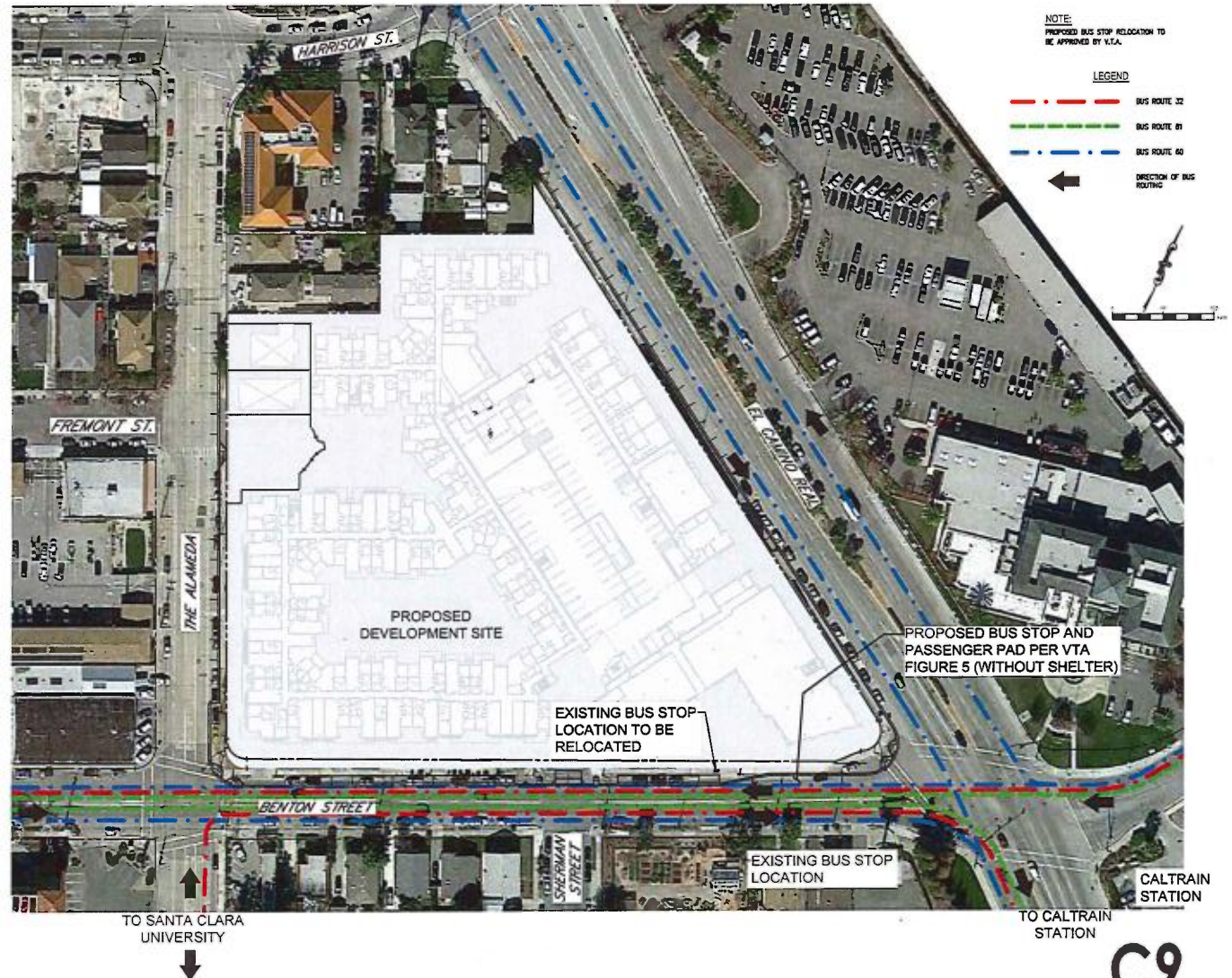
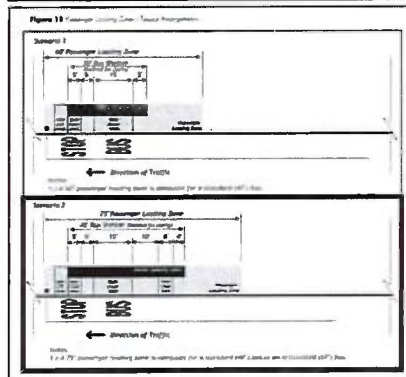
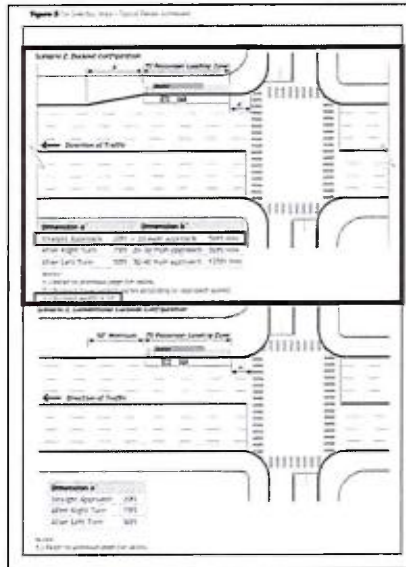
PROMETHEUS

02 FIRE ACCESS PLAN.dwg 10/06/2018

C8
FIRE ACCESS PLAN
 JOB NO. 16-111
 APRIL 6, 2018

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EL CAMINO REAL MIXED USE SANTA CLARA, CA



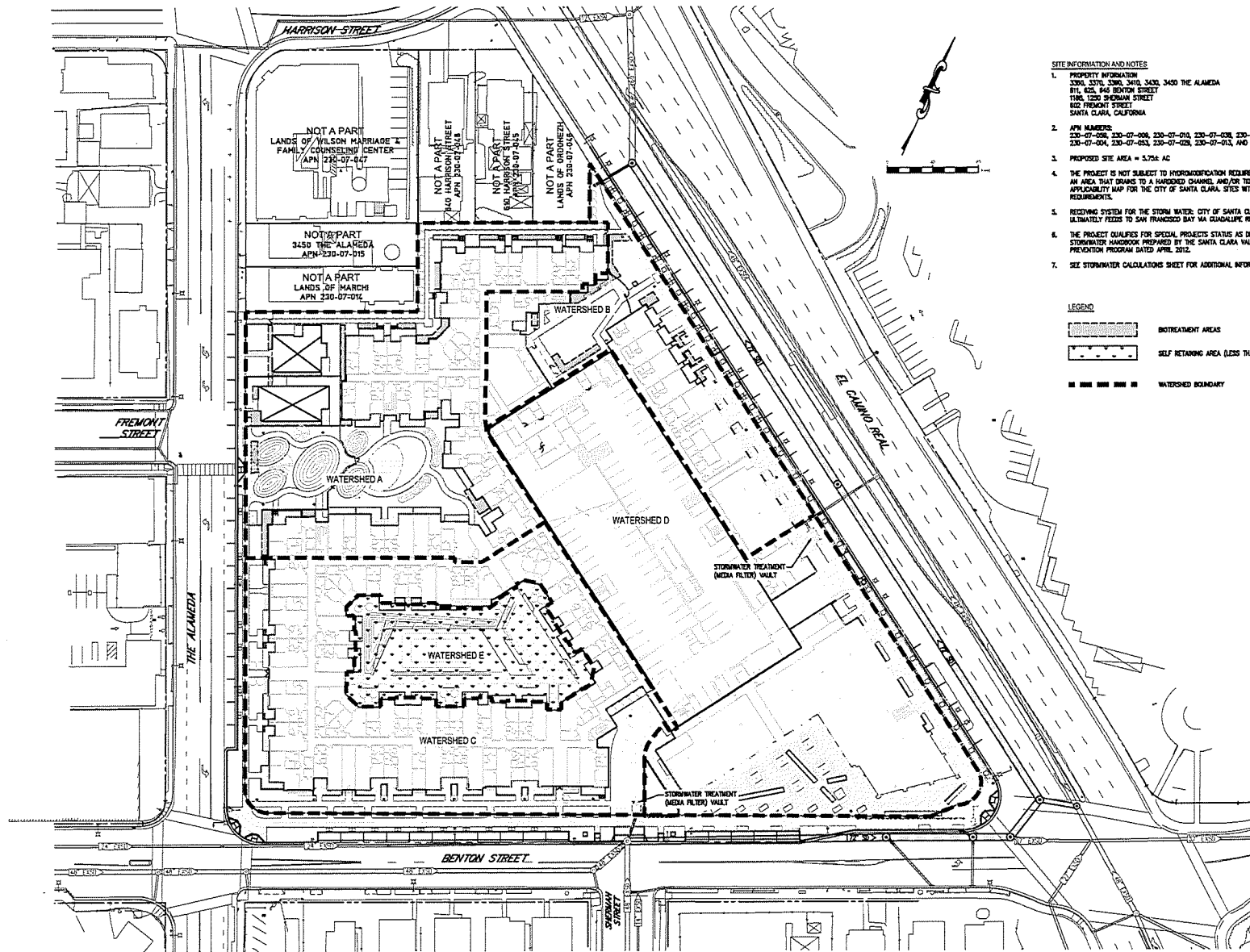
02 BUS STOP RELOCATION PLAN.dwg APR 26, 2018

C9
BUS STOP RELOCATION PLAN
 APRIL 6, 2018

JOB NO. 16-111



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SITE INFORMATION AND NOTES

1. PROPERTY INFORMATION
2300, 2370, 2380, 2410, 2420, 3400 THE ALAMEDA
811, 825, 845 BENTON STREET
1100, 1250 SHERMAN STREET
802 FREMONT STREET
SANTA CLARA, CALIFORNIA
2. APN NUMBERS
230-07-008, 230-07-009, 230-07-010, 230-07-011, 230-07-012, 230-07-013, 230-07-014,
230-07-015, 230-07-016, 230-07-017, 230-07-018, 230-07-019, 230-07-020, 230-07-021, AND 230-07-022
3. PROPOSED SITE AREA = 5.756 AC
4. THE PROJECT IS NOT SUBJECT TO HYDROMODIFICATION REQUIREMENTS. THE PROJECT IS LOCATED WITHIN AN AREA THAT DRAINS TO A HARDENED CHANNEL AND/OR TIDAL AREA AS SHOWN ON THE MAP. APPLICABILITY MAP FOR THE CITY OF SANTA CLARA SITES WITHIN THESE AREAS ARE EXEMPT FROM HM REQUIREMENTS.
5. RECEIVING SYSTEM FOR THE STORM WATER: CITY OF SANTA CLARA PUBLIC STORM DRAIN SYSTEM WHICH ULTIMATELY FEEDS TO SAN FRANCISCO BAY VIA GUADALUPE RIVER.
6. THE PROJECT QUALIFIES FOR SPECIAL PROJECTS STATUS AS DEFINED IN APPENDIX J OF THE CJS STORMWATER HANDBOOK PREPARED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM DATED APRIL 2015.
7. SEE STORMWATER CALCULATIONS SHEET FOR ADDITIONAL INFORMATION.

LEGEND

- BIOTREATMENT AREAS
- SELF-RETAINING AREA (LESS THAN 2:1 RATIO OF SUPERVIOUS TO PERVIOUS AREA)
- WATERSHED BOUNDARY

EL CAMINO REAL MIXED USE SANTA CLARA, CA

C10
STORMWATER MANAGEMENT PLAN

JOB NO. 16-111

APRIL 6, 2018



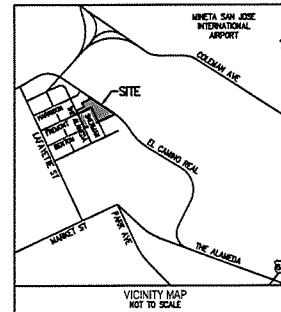
C10 STORMWATER MANAGEMENT PLAN.dwg Apr 06, 2018



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VESTING TENTATIVE MAP EL CAMINO REAL MIXED USE

CITY OF SANTA CLARA, SANTA CLARA COUNTY, CALIFORNIA



GENERAL NOTES

- OWNER: J.J. VISO PROPERTIES, LLC
186 CONVENT ROAD
LOS ALTOS, CA 94024
- THE CITY OF SANTA CLARA
1500 WASHINGTON AVENUE
SANTA CLARA, CA 95050
- DEVELOPER: PROMETHEUS REAL ESTATE GROUP, LLC
1600 SOUTH NORRIS STREET, SUITE 150
SAN JOSE, CA 95128
- ENGINEER: CIVIL ENGINEERING ASSOCIATES, INC.
224 AIRPORT PARKWAY, SUITE 525
SAN JOSE, CA 95110
- EXISTING ZONING: PLANNED DEVELOPMENT (PD)
PREVIOUS ZONING: M-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY)
CT (THOROUGHFARE COMMERCIAL)
RD-1 (DUPLEX)
 - EXISTING CP DESIGNATION: SANTA CLARA STATION HIGH DENSITY RESIDENTIAL/MIXED USE
 - EXISTING USE: INDUSTRIAL / COMMERCIAL / RESIDENTIAL
 - PROPOSED ZONING: PD (PLANNED DEVELOPMENT)
 - PROPOSED USE: RESIDENTIAL APARTMENTS AND RETAIL USE
 - PROPOSED IMPROVEMENTS: DEMOLISH EXISTING BUILDINGS AND PARKING LOTS TO CONSTRUCT APARTMENT BUILDINGS AND PARKING GARAGE. THE BUILDING WILL INCLUDE RETAIL SPACES, CONSTRUCT STREET INFRASTRUCTURE AND PROVIDE UTILITY SERVICES INCLUDING STORM, SANITARY SEWER, WATER AND JUMP TRENS TO SERVE THE PROJECT.
 - VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 86453 OF THE SUBDIVISION MAP ACT.
 - TENTATIVE PARCEL MAP: THIS VESTING TENTATIVE MAP CONFORMS TO THE REQUIREMENTS OF THE CITY OF SANTA CLARA CITY CODE.
 - BOUNDARIES: BOUNDARY INFORMATION IS BASED ON RECORD AND FIELD DATA, "ALTA/ACSM LAND TITLE SURVEY - 1250 SHERMAN STREET".
 - EASEMENTS: PUBLIC UTILITY EASEMENTS, PUBLIC ACCESS EASEMENTS, AND PRIVATE ACCESS EASEMENTS WILL BE PROVIDED AS NEEDED FOR THE PROJECT.
 - TITLE: BOUNDARIES AND EASEMENTS DEPICTED HEREON HAVE BEEN TRANSCRIBED FROM THE DOCUMENTS REFERENCED BELOW. PORTIONS OF THESE MAY HAVE BEEN REDIRECTED TO FIT TOGETHER. THIS MAY NOT BE COMPLETE OR ACCURATE. SEE COMMENTARY BELOW.
TITLE REPORTS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY:
COMMITMENT NO. NC5-786189-02, DATED JUNE 27, 2018.
 - BASES OF BEARINGS: THE BEARING OF NORTH EXTENDS EAST ALONG THE MONUMENT LINE OF FREIGHT STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 308 OF MAPS AT PAGE 8, SANTA CLARA COUNTY RECORDS WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.
 - BEYOND: CITY OF SANTA CLARA NUMBER K-4 AT BENTON STREET AND SHERMAN STREET, SOUTHEAST CORNER, TOP OF LETTER "C" IN WORD "CAL" ON TOP OF CATCH BASIN HOOD, 7 FEET EAST OF RETURN ON BENTON STREET, ELEVATION = 88.15.
 - FORM: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 080502027H, DATED MAY 16, 2008, AS BEING LOCATED IN FLOOD ZONE "X".
AREAS OF 100-YEAR ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
 - ASSESSMENT PARCEL NO.: 230-07-002, -004, -008, -010, -013, -028, -031, -034, -038, -053, -059 & -060

- STORM SEWER: SERVED BY CITY OF SANTA CLARA
- WATER: PROVIDED BY CITY OF SANTA CLARA
- SANITARY SEWER: PROVIDED BY CITY OF SANTA CLARA
- FIRE PROTECTION: PROVIDED BY CITY OF SANTA CLARA
- GAS: PROVIDED BY PG&E
- ELECTRIC: PROVIDED BY SILICON VALLEY POWER
- TELEPHONE: PROVIDED BY AT&T
- CABLE TV: PROVIDED BY COMCAST
- EXISTING LOTS: 12 EXISTING APNs AND PORTIONS OF 2 CITY OWNED STREETS
- PROPOSED LOTS: 4 LOTS (1 APARTMENT BUILDING, 2 RESIDENTIAL HOMES, 1 PUBLIC PARK)
- TOTAL AREA: 5.756 ACRES
- MULTIPLE SUBDIVISION MAPS MAY BE FILED PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP.
- THIS SUBDIVISION WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF SANTA CLARA.
- DEMOLITION PERMITS MAY BE ISSUED PRIOR TO ISSUANCE OF FINAL BUILDING PERMITS AND RECONSTRUCTION OF THE FINAL MAP.
- ALL DIMENSIONS DEPICTED HEREON ARE APPROXIMATE AND ARE SUBJECT TO REVISION AT SUBDIVISION MAP(S) STAGE.
- TOPOGRAPHY PROVIDED BY GEOCADD AERIAL SURVEYS, INC. DATED OCTOBER 15, 2014.
- ANY EXISTING SANITARY SEWER LATERALS PROPOSED TO BE REUSED MUST BE RELEASED BY CITY OF SANTA CLARA AND APPROVED BY THE CITY BEFORE REUSE. A SANITARY LATERAL CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE, IF ONE DOES NOT ALREADY EXIST WITHIN TWO (2) FEET OF THE PROPERTY LINE. ANY TRENCHING WITHIN THE DRAINAGE OF ALL TREES SHALL BE HAND DUG AND SO NOTED ON THE PLANS. ALL UTILITIES SERVING THE SITE SHALL BE UNDERGROUND.
- ALL EXISTING BUILDINGS ARE TO BE REMOVED EXCEPT AS NOTED.
- ALL EXISTING EASEMENTS ARE TO BE VACATED UNLESS NOTED OTHERWISE.
- PORTIONS OF FREIGHT STREET, SHERMAN AVENUE AND APN 230-07-060 WITHIN THE PROJECT TO BE VACATED.

LEGEND

---	BOUNDARY
---	PROPERTY LINE
---	RIGHT OF WAY
---	CENTER LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EDGE OF PAVEMENT
---	CURB, GUTTER, SIDEWALK & DRIVEWAY

EL CAMINO REAL MIXED USE SANTA CLARA, CA

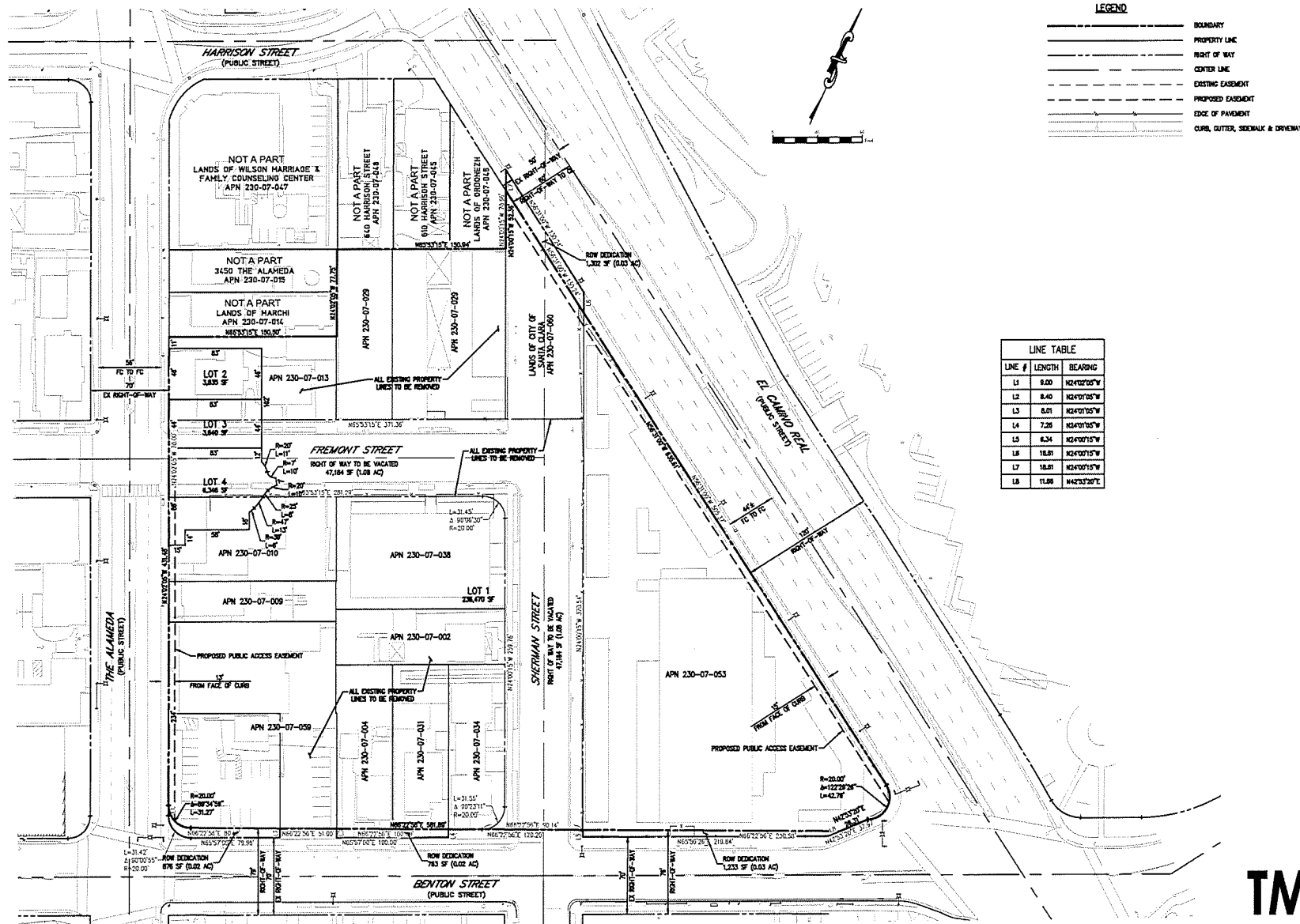


TM1 TENTATIVE MAP.dwg Apr. 26, 2018

TM1
TENTATIVE MAP
JOB NO. 16-111
APRIL 6, 2018



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EL CAMINO REAL MIXED USE SANTA CLARA, CA



TM2 TENTATIVE MAP May 10, 2018

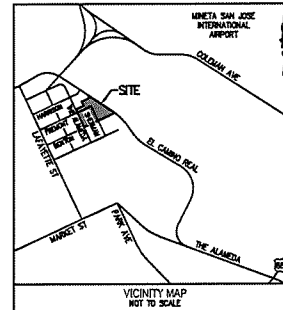
TM2
TENTATIVE MAP
JOB NO. 16-111
APRIL 6, 2018



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San Jose, CA 95131
P: (408) 433-1988

VESTING TENTATIVE MAP EL CAMINO REAL MIXED USE

CITY OF SANTA CLARA, SANTA CLARA COUNTY, CALIFORNIA

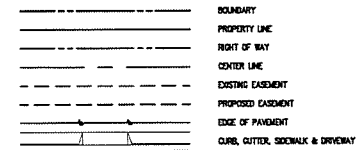


GENERAL NOTES

- OWNER: J.L. VISO PROPERTIES, LLC
106 CONINGTON ROAD
LOS ALTOS, CA 94024
THE CITY OF SANTA CLARA
1550 HAMBURGH AVENUE
SANTA CLARA, CA 95050
- SUBOWNER: PROMETHEUS REAL ESTATE GROUP, LLC
1900 SOUTH HORTON STREET, SUITE 150
SAN BARTOLOME, CA 94060
- ENGINEER: CIVIL ENGINEERING ASSOCIATES, INC.
224 AIRPORT PARKWAY, SUITE 320
SAN JOSE, CA 95110
- EXISTING ZONING: PLANNED DEVELOPMENT (PD)
PREVIOUS ZONING: R1-4 (SINGLE FAMILY)
R1-4 (SINGLE FAMILY)
C1 (THOROUGHFARE COMMERCIAL)
R2-7.5 (DUPLEX)
 - EXISTING CP DESIGNATION: SANTA CLARA STATION HIGH DENSITY RESIDENTIAL/MIXED USE
 - EXISTING USE: INDUSTRIAL / COMMERCIAL / RESIDENTIAL
 - PROPOSED ZONING: PD (PLANNED DEVELOPMENT)
 - PROPOSED USE: RESIDENTIAL APARTMENTS AND RETAIL USE
 - PROPOSED IMPROVEMENTS: DEMOLISH EXISTING BUILDINGS AND PARKING LOTS TO CONSTRUCT APARTMENT BUILDINGS AND PARKING GARAGE. THE BUILDING WILL INCLUDE RETAIL SPACES, CONSTRUCT STREET INFRASTRUCTURE AND PROVIDE UTILITY SERVICES INCLUDING STORM, SANITARY SEWER, WATER AND JOINT TRENCH TO SERVE THE PROJECT.
 - VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66453 OF THE SUBDIVISION MAP ACT.
 - TENTATIVE PARCEL MAP: THIS VESTING TENTATIVE MAP CONFORMS TO THE REQUIREMENTS OF THE CITY OF SANTA CLARA CITY CODE.
 - BOUNDARY: BOUNDARY INFORMATION IS BASED ON RECORD AND FIELD DATA, "ALTA/ACSM LAND TITLE SURVEY - 1250 SHERMAN STREET".
 - EASEMENTS: PUBLIC UTILITY EASEMENTS, PUBLIC ACCESS EASEMENTS, AND PRIVATE ACCESS EASEMENTS WILL BE PROVIDED AS NEEDED FOR THE PROJECT.
 - TITLE: BOUNDARIES AND EASEMENTS DEPICTED HEREON HAVE BEEN TRANSCRIBED FROM THE DOCUMENTS REFERENCED BELOW. PORTIONS OF THESE MAY HAVE BEEN REDIRECTED TO FIT TOGETHER. THIS MAY NOT BE COMPLETE OR ACCURATE. SEE COMMENTARY BELOW.
TITLE REPORTS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. 165-707189-02, DATED JUNE 27, 2018.
 - BASES OF MEASUREMENT: THE BEARING OF NORTH IS 87°30'15" EAST ALONG THE MONUMENT LINE OF FRONT STREET AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 306 OF MAPS AT PAGE 8. SANTA CLARA COUNTY RECORDS WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.
 - BECKHORN: CITY OF SANTA CLARA NUMBER K-4 AT BENTON STREET AND SHERMAN STREET, SOUTHEAST CORNER, TOP OF LETTER "C" IN WORD "CAL" ON TOP OF CATCH BASIN HOOD, 7 FEET EAST OF RECORD ON BENTON STREET. ELEVATION = 86.18.
 - FINAL: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 0606000027A, DATED MAY 18, 2008, AS BEING LOCATED IN FLOOD ZONE "X".
AREAS OF 0.26 ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
 - ASSESSOR'S PARCEL NO.: 330-07-002, -004, -006, -010, -013, -026, -031, -034, -036, -053, -058 & -060

- STORM SEWER: SERVICED BY CITY OF SANTA CLARA
- WATER: PROVIDED BY CITY OF SANTA CLARA
- SANITARY SEWER: PROVIDED BY CITY OF SANTA CLARA
- FIRE PROTECTION: PROVIDED BY CITY OF SANTA CLARA
- GAS: PROVIDED BY PG&E
- ELECTRIC: PROVIDED BY SILESON VALLEY POWER
- TELEPHONE: PROVIDED BY AT&T
- CABLE TV: PROVIDED BY COMCAST
- EXISTING LOTS: 12 EXISTING APNs AND PORTIONS OF 2 CITY OWNED STREETS
- PROPOSED LOTS: 4 LOTS (1 APARTMENT BUILDING, 2 RESIDENTIAL HOMES, 1 PUBLIC PARK)
- TOTAL AREA: 0.756 ACRES
- MULTIPLE SUBDIVISION MAPS MAY BE FILED PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP.
- THIS SUBDIVISION WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF SANTA CLARA.
- DEMOLITION PERMITS MAY BE ISSUED PRIOR TO ISSUANCE OF FINAL BUILDING PERMITS AND RECORDANCE OF THE FINAL MAP.
- ALL DIMENSIONS DEPICTED HEREON ARE APPROXIMATE AND ARE SUBJECT TO REVISION AT SUBDIVISION MAP(S) STAGE.
- TOPOGRAPHY PROVIDED BY GEOCADD AERIAL SURVEYS, INC. DATED OCTOBER 15, 2014.
- ANY EXISTING SANITARY SEWER LATERALS PROPOSED TO BE REUSED MUST BE TELEVIEWED BY CITY OF SANTA CLARA AND APPROVED BY THE CITY BEFORE REUSE. A SANITARY LATERAL CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE. IF ONE DOES NOT ALREADY EXIST WITHIN TWO (2) FEET OF THE PROPERTY LINE, ANY TRENCHING WITHIN THE DRILLAGE OF ALL TREES SHALL BE HAND DUG AND SO NOTED ON THE PLANS. ALL UTILITIES SERVING THE SITE SHALL BE UNDERGROUND.
- ALL EXISTING BUILDINGS ARE TO BE REMOVED EXCEPT AS NOTED.
- ALL EXISTING EASEMENTS ARE TO BE VACATED UNLESS NOTED OTHERWISE.
- PORTIONS OF FRONT STREET, SHERMAN AVENUE AND APN 330-07-060 WITHIN THE PROJECT TO BE VACATED.

LEGEND



EL CAMINO REAL MIXED USE SANTA CLARA, CA



TM1 TENTATIVE MAP.dwg Nov 27, 2017

TM1

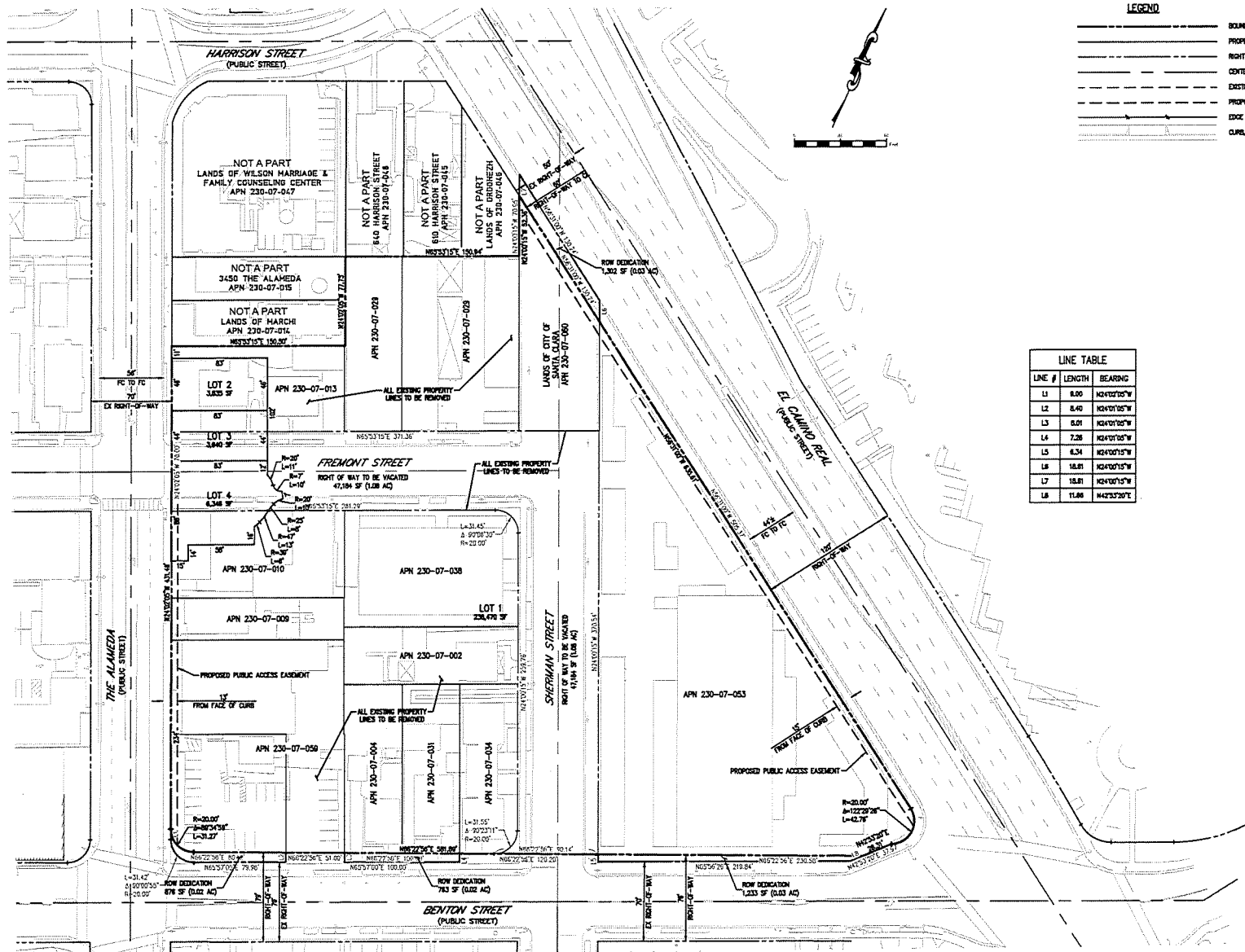
TENTATIVE MAP

JOB NO. 16-111 NOVEMBER 27, 2017

**Civil
Engineering
Associates**

Civil Engineers • Planners • Surveyors

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San Jose, CA 95110
T: (408) 433-1980



LEGEND

	BOUNDARY
	PROPERTY LINE
	RIGHT OF WAY
	CENTER LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EDGE OF PAVEMENT
	CURB, CUTTER, SIDEWALK & DRIVEWAY

LINE TABLE		
LINE #	LENGTH	BEARING
L1	8.00	N24°10'10"W
L2	8.40	N24°10'10"W
L3	8.01	N24°10'10"W
L4	7.28	N24°10'10"W
L5	8.34	N24°10'10"W
L6	18.81	N24°10'10"W
L7	18.81	N24°10'10"W
L8	11.88	N23°52'20"E

EL CAMINO REAL MIXED USE SANTA CLARA, CA



TM2 TENTATIVE MAP May 27, 2017

TM2

TENTATIVE MAP
JOB NO. 16-111 NOVEMBER 27, 2017



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2025 Gateway Place Suite 500
San Jose, CA 95110
Tel: (408) 453-1088

CONDITIONS OF TENTATIVE PARCEL MAP APPROVAL

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

- C1. The project shall comply with the Conditions of Rezone and Architectural Review Approval.

ENGINEERING

- E1. Obtain site clearance through Engineering Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Engineering Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Engineering Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was added to the City's Sanitary Sewer Hydraulic Model (SSHM) to determine if there is enough SS conveyance capacity in the SS trunk system to accommodate the proposed development. The SSHM output indicates that there should be enough SS conveyance capacity to accommodate the proposed development (RMC Report dated May 5, 2015). The SSHM output may change based on pending development applications and future projects. The SSHM output does not guarantee or in any way reserve or hold SS conveyance capacity until developer has Final Approval for the project. For purposes of this condition, "Final Approval" shall mean the final vote of the City Council necessary for all entitlements to be approved, unless a legal challenge is brought to the Council decisions, in which case the Final Approval shall mean the final disposition of the legal challenge.
- E4. Parts of the sidewalk and driveway along El Camino Real will encroach into private property. Property owner will be required to dedicate a sidewalk easement for the sidewalk and driveway portions within private property and pay the easement preparation fee. For more information regarding the easement dedication process and fee please call Hung Luu of our staff at (408) 615-3047.
- E5. An Encroachment Agreement is needed for any non-standard private improvements in the public right of way and City easements.
- E6. All work with the El Camino Right of Way will require an Encroachment Permit from Caltrans.
- E7. Provide a 72" new storm drain main on Benton Street outside the sidewalk and along the alignment of the existing 27" storm drain main and along El Camino Real to connect to the new manhole south of

Harrison Street. The 72" storm drain main is required to maintain the capacity of the existing 60" storm drain main on Sherman which is proposed to be removed. The new 72" storm drain line will replace the existing 27" storm drain line along Benton Street. The new 72" storm drain line will need to be in operation before the existing 60" storm drain main along Sherman Street is vacated.

- E8. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E9. Proposed trees shall be 5' minimum clear of sidewalks. Provide root barrier if trees are planted such that the drip line of the mature trees covers the sidewalk. Root barriers shall be 12' long x 2' deep, and centered on trees.
- E10. Sanitary sewer and storm drain mains and laterals to be removed shall be removed to City standards.
- E11. Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or 10' clear of the tree trunk whichever is greater.
- E12. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E13. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E14. Dedicate, as required on-site easements for new public utilities and/or sidewalk by means of a parcel/Final map or approved instrument at time of development.
- E15. Show and comply with City's Driveway Triangle of Safety requirement at all existing and proposed driveways and City's intersection visibility requirements at all intersections including the intersections of El Camino Real/Benton and Alameda. Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and intersections in order to allow an unobstructed view of oncoming traffic. Contact Traffic Engineering at (408) 615-3000 for further information.
- E16. Submit public improvement plans prepared in accordance with City Engineering Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E17. After City Council approval of the Tentative Subdivision, submit 10 copies of the Final Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees. The City approved Final Map shall be recorded by developer prior to building permit issuance.
- E18. File and record parcel map for proposed development and pay all appropriate fees prior to Building Permit issuance.
- E19. Obtain release of all applicable covenants and pay appropriate processing fees.
- E20. Obtain Council approval of a resolution ordering vacation of the portion of street right-of-way proposed to be abandoned, through the Engineering Department, and pay all appropriate processing fees, prior to start of construction within said proposed to be abandoned street right-of-way. Street Vacation Notification to nearby properties and Public hearing shall be required for Fremont Street and Sherman Street vacation.
- E21. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, through Engineering Department, and pay all appropriate fees, prior to start of construction.
- E22. All proposed on-site driveways and paths shall accommodate fire truck/engine turning template.
- E23. All proposed walkway, sidewalk, driveways and curb ramps shall be ADA compliant.
- E24. Provide ADA walkways connecting the buildings to public sidewalks.
- E25. Two ADA City Standard curb ramps per corner shall be provided at the northwest and southwest corners of El Camino Real/Benton, southwest and southeast corners of Benton/Sherman, northeast

corner of Benton/The Alameda, and northwest and southwest corners of The Alameda/Fremont intersection. Two ADA City Standard curb ramps shall be provided at north side of Benton at Sherman and one curb ramp east side of The Alameda at Fremont. New curb ramps shall be City Standard ST-14 or ST-15.

- E26. Standard crosswalks shall be provided to connect/align with existing and new curb ramps. Existing continental style crosswalk at the south side of The Alameda/Fremont intersection shall be removed and replaced with standard crosswalk.
- E27. The northwest corner of the intersection of El Camino Real/Benton shall be squared off so that the west side face of curb on Benton aligns with the east side face of curb and to reduce crossing distance for pedestrians. Modify and upgrade the traffic signal system at the northwest corner of El Camino Real/Benton to current standards. Restripe crosswalks to align with the new curb ramps and to make the crossing distance shorter.
- E28. Provide space for loading/unloading zones on-site.
- E29. Provide space for trash pick-up on-site
- E30. All proposed driveways shall be City standard driveways per ST-8 or ST-9
- E31. Two ADA City Standard curb ramps per corner shall be provided at the northwest and southwest corners of El Camino Real/Benton.
- E32. Two ADA curb ramps shall be provided at the southeast and southwest corners of Benton/Sherman. One ADA curb ramp each shall be provided at both the northeast and northwest corners of Benton/Sherman for crossing across Benton Street.
- E33. Provide bulbout at the northeast corner of The Alameda and Benton St. Two ADA curb ramps shall be provided at the northeast corner of Benton/The Alameda.
- E34. Provide one curb ramp at the southeast corner of Alameda and Fremont St for crossing across Alameda St. and one curb ramp at the northwest corner.
- E35. Remove existing high visibility crosswalk south of Fremont St. across Alameda St. and replace with standard crosswalk.
- E36. All proposed traffic striping, messages, and symbols shall be thermoplastic.
- E37. Seal pavement cracks and slurry seal entire Benton Street from El Camino Real to The Alameda prior to final striping.
- E38. Remove existing PCC pavement on The Alameda between Harrison and Benton St. and replace with AC pavement.
- E39. Development shall comply with and implement EIR and TIA identified mitigation measures.
- E40. Provide bus duckout/bus pad, passenger pad, and bench per VTA standards along Benton St. property frontage just west of El Camino Real.
- E41. Provide 4' 6" wide Class II bicycle lane not including the gutter pan width along Benton Street.
- E42. Provide minimum 11'6" wide vehicle lanes along Benton St.