



Home Inspection Report



1226 Jackson Street, Santa Clara

Ordered by: Jim Downey
J. Thomas Realty
3268 Lynn Oaks Drive
San Jose, CA 95117

Inspected by:

Luis Sevilla
April 4, 2018

Table of Contents

Report Overview	3
Structure	12
Roofing	14
Exterior	15
Electrical	18
Heating System	20
Cooling/Heat Pump System	21
Insulation/Ventilation	22
Plumbing	23
Interior	25
Photographs	28
Maintenance Advice	35

Report Overview

A GENERAL DESCRIPTION OF THE STRUCTURE

This is a one story single family dwelling. Based on the information provided, the structure was built in 1904. Ongoing maintenance is required and improvements to the systems of the home will be needed over time.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

! - IMMEDIATE RECOMMENDED IMPROVEMENTS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported by photographs. If more than one photograph is available for a particular item, additional photographs can be found at the end of the report in the section entitled 'Photographs'. Please contact HomeGuard if you have any questions.

Structure

1. Foundation cracking and/or movement was observed at the foundation walls in the basement. The rate of movement cannot be predicted during a one-time inspection. A thorough evaluation of this condition is beyond our qualifications. For additional information we recommend a licensed foundation specialist be retained. (See Photo 12)
2. The wood members at the crawl space under the front stairs and front left area show evidence of water damage. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 34)
3. One or more beams are damaged or cracked at the crawl space. We recommend repair or replacement, in accordance with present standards. It is recommended that a qualified licensed contractor be consulted for these repairs (See Photo 31)



Photo 12



Photo 34

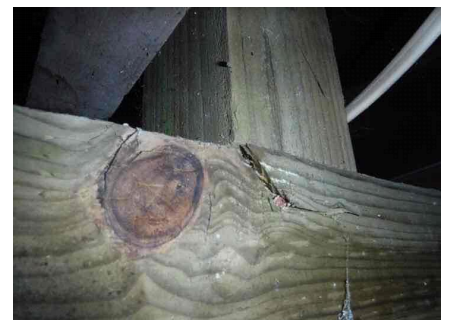


Photo 31

Structure

4. Personal storage was blocking access to the basement/crawl space area. Therefore, the area is considered inaccessible and was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 22)



Photo 22

5. Water stains were evident in the garage ceiling sheathing. This could indicate leakage through the roof covering. We recommend the services of a licensed roofing contractor to further evaluate this condition. (See Photo 18)



Photo 18

Roofing

6. Loose downspouts at the right should be repaired or replaced. (See Photo 7)



Photo 07

Exterior

7. The wood borders between the slab sections of the patio have deteriorated. These voids create a trip hazard and should be filled in or replaced with treated wood or mortar. (See Photo 11)



Photo 11

Exterior

8. The cracked and heaved section of the patio presents a trip hazard. This condition should be corrected for improved safety.rear (See Photo 10)



Photo 10

9. Personal storage was blocking access to the interior of the garage. Therefore, the area is considered inaccessible and was not fully inspected. With access and an opportunity for complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 17)



Photo 17

10. Water damage was noted at the front deck(s). We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 1)



Photo 01

11. Cracked or broken exterior window glass at the rear should be replaced. (See Photo 8)



Photo 08

12. Portions of the exterior of the structure or property at the rear were inaccessible due to owner storage. Reportable conditions may be hidden from inspection. We recommend this area be cleared to allow for further inspection. (See Photo 9)

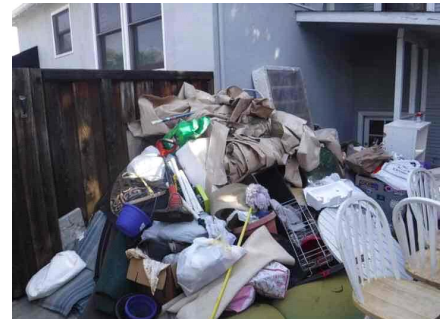


Photo 09

Exterior

13. Water damage was observed to the rafters at the rear garage structure. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 25)



Photo 25

14. Wood/soil contact at the base of the wood siding at various locations should be eliminated. If rotted or damaged siding is found consult a licensed structural pest control operator regarding repairs. (See Illustration 3S) (See Photo 4)



Photo 04

15. Water damage was observed to the wood siding at several locations exterior walls. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 6)



Photo 06

16. Water damage was observed to the exterior trim at several locations. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)



Photo 03

17. The missing trim at the right should be replaced and caulked. (See Photo 5)



Photo 05

Exterior

18. Less than two drowning prevention safety features were noted. State law requires that during the course of our inspection we observe at least two of seven drowning prevention safety features outlined in the Health and Safety Code.

They are as follows:

(1) An enclosure that isolates the swimming pool or spa from the private single-family home.

(2) A removable mesh fencing in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.

(3) An approved safety pool cover.

(4) Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa.

(5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on all private single-family home's doors providing direct access to the swimming pool or spa.

(6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water.

(7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory.

The owner is advised to contact the appropriate trades to rectify this condition.

19. The steps at the rear appear to be non-conforming. This could create a potential fall hazard. We recommend the services of a licensed general contractor. (See Illustration 3R) (See Photo 38)



Photo 38

20. Missing hardware was noted at the rear french door. We recommend that hinges, knobs, latches and strike plates be adjusted or replaced to restore full operation. (See Photo 20)



Photo 20

21. Some of the front deck boards were noted to be incomplete. We recommend the boards to be repaired or replaced. (See Photo 2)



Photo 02

Electrical

22. Running splices, which are improper connections outside of a junction box, were observed in the attic and crawlspace. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage. (See Photo 29)



Photo 29

23. We found exposed wiring at the garage walls below 7' feet. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Illustration 4E) (See Photo 19)

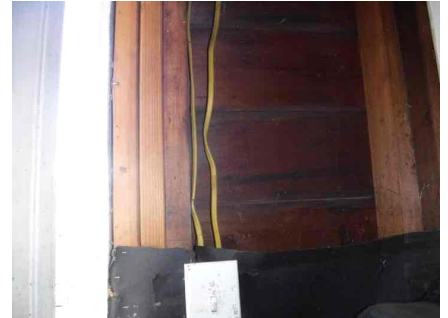


Photo 19

24. Exposed electrical connections or open junction boxes at the crawlspace should be corrected. All electrical connections should be made inside approved junction boxes fitted with proper cover plates. (See Photo 33)



Photo 33

25. Ungrounded "3-prong" outlets at several locations should be improved. A grounded cable or ground wire could be installed at these outlets, the outlet labeled as ungrounded or the original "2-prong" receptacle could be reinstalled. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 4O) (See Photo 14)



Photo 14

26. A ground fault circuit interrupter (GFCI) outlet at the laundry did not function or did not trip when tested with an outside source and/or the test button. This outlet and circuit should be investigated and repaired. (See Photo 13)



Photo 13

Insulation/Ventilation

27. The attic is equipped with ventilation fan(s). The fan(s) is disconnected. We recommend it be connected and tested. (See Photo 30)



Photo 30

Plumbing

28. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 23)



Photo 23

29. The tub cold water faucet handle is loose and leaking at the master bathroom. We recommend all leaks be repaired. (See Photo 27)



Photo 27

30. There is evidence of heavy corrosion and rust, but no leakage on the exterior of the exposed and accessible metal drain piping in the exterior left. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered. (See Photo 36)



Photo 36

Interior

31. One or more of the windows are not fully serviceable because their lift mechanism sash cords or springs are missing or damaged. We recommend these windows be repaired and their full functional use restored. (See Photo 24)



Photo 24

32. There is no "exterior vented" exhaust fan for the gas appliances installed in the kitchen. It is recommended that all gas appliances be vented to the exterior. (See Photo 28)



Photo 28

33. Personal storage was blocking access to the interior of the bathroom sink cabinets, closets and living areas. Therefore, the area is considered inaccessible and was not fully inspected. With access and a opportunity for complete inspection, conditions in need of attention may be discovered. The personal belongings should be removed so the area may be examined. (See Photo 21)



Photo 21

The Scope of the Inspection

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

PLEASE NOTE: Work performed by others will be reinspected, upon request, for a fee of \$195.00 for each trip out to the property.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

Sections of this building appear to have been remodeled. We recommend consultation with the owner or local municipality to determine whether the necessary permits were obtained, inspections performed and final signatures received.

BINDING ARBITRATION PROVISION

Any controversy or claim arising out of or relating to the inspection performed by HomeGuard Incorporated shall be settled by final and binding arbitration filed by the aggrieved party with and administered by the American Arbitration Association (hereafter referred to as "AAA") in accordance with its Construction Arbitration Rules in effect at the time the claim is filed. The Rules, information and forms of the AAA may be obtained and all claims shall be filed at any office of the AAA or at Corporate Headquarters, 335 Madison Avenue, Floor 10, New York, New York 10017-4605. Telephone: 212-716-5800, Fax: 212-716-5905, Website: <http://www.adr.org/>. The arbitration of all disputes shall be decided by a neutral arbitrator, and judgment on the award rendered by the arbitrator may be entered in any court having competent jurisdiction thereof. Any such arbitration will be conducted in the city nearest to the property that was inspected by HomeGuard Incorporated having an AAA regional office. Each party shall bear its own costs and expenses and an equal share of the administrative and arbitrators' fees of arbitration. This arbitration Agreement is made pursuant to a transaction involving interstate commerce, and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE THROUGH A COURT AND TO HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY AND ALL DISPUTES DECIDED THROUGH ARBITRATION. BY SIGNING THIS AGREEMENT, THE PARTIES ARE GIVING UP ANY RIGHT THEY MIGHT HAVE TO SUE EACH OTHER.

Structure

ITEM DESCRIPTIONS:

Attic (Access)	• Attic Method Of Inspection: Entered The Attic • Location: Closet
Roof Structure	• Plywood or Orientated Strand Board • Rafters • Spaced Plank
Ceiling Structure	• Joist
Wall Structure	• Wood Frame
Floor Structure	• Board and Plank Subfloor • Cripple Wall • Wood Columns • Wood Floor Beams • Wood Joist
Crawlspace/Basement (Access)	• Location: Basement • Location: Exterior
Foundation	• Poured Concrete

COMMENTS:

The sill appeared to be adequately secured (anchor bolts or straps) to the foundation, unless noted otherwise.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Foundation cracking and/or movement was observed at the foundation walls in the basement. The rate of movement cannot be predicted during a one-time inspection. A thorough evaluation of this condition is beyond our qualifications. For additional information we recommend a licensed foundation specialist be retained. (See Photo 12)
- ! 2. The wood members at the crawl space under the front stairs and front left area show evidence of water damage. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 34)
- ! 3. One or more beams are damaged or cracked at the crawl space. We recommend repair or replacement, in accordance with present standards. It is recommended that a qualified licensed contractor be consulted for these repairs (See Photo 31)
- ! 4. Personal storage was blocking access to the basement/crawl space area. Therefore, the area is considered inaccessible and was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 22)
- ! 5. Water stains were evident in the garage ceiling sheathing. This could indicate leakage through the roof covering. We recommend the services of a licensed roofing contractor to further evaluate this condition. (See Photo 18)
6. The attic is equipped with one or more thermostatically controlled automatic fans. These activate when the temperature reaches a pre-set level. Due to the temperature at the time the fans were not active. We recommend observing the fans during warmer weather for evaluation of their operation.
7. Larger than normal cracking and/or movement was observed to the concrete floor of the basement. The rate of movement cannot be predicted during a one-time inspection. For additional information a concrete contractor or structural engineer should be consulted to further evaluate this condition.
8. Minor cracks were observed in the foundation walls of the house. This type of cracking usually occurs during the curing process of the foundation as is typical of most houses. If further information is desired in regards to these cracks, the appropriate trades should be engaged.
9. There is some accumulation of dirt over the crawl space concrete post base. This condition is conducive to rot and wood boring insect activity. We recommend a minimum clearance of six inches be maintained between the soil and the bottom of the wood line

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- Insulation within the roof attic cavity obstructed the view of some structural members, plumbing and electrical components.

Roofing

ITEM DESCRIPTIONS:

Roof	• Composition shingle • Method of inspection: From The Ground.
Chimney	• Metal Behind Siding • Method of inspection: From The Ground.
Gutters and Downspouts	• Downspouts Discharge Location: Above Grade • Installation Of Gutters/Downspouts: Partial • Metal

COMMENTS:

It is recommended that the seller of the home be consulted regarding any available warranties.
We recommend reviewing a roof inspection report performed by a licensed roof inspector on this structure.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Loose downspouts at the right should be repaired or replaced. (See Photo 7)**
- The gutters are in serviceable condition but only portions of the roof are so equipped, depending upon the soil condition and drainage patterns it may be beneficial to add more gutters and downspouts. (See Illustration 2K)
 - The roof was inspected from the ground level only. Most of the roof could not be reached without jeopardizing the safety of the inspector or the integrity of the roof material. Our comments are based only upon a limited visual inspection. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.
 - Due to the height of the chimney and/or presence of a spark arrestor which was not removed during our examination, the interior of the chimney was not inspected. We recommend the advise and servicing of a licensed masonry contractor or fireplace specialist.
 - The downspouts discharge water adjacent to the structure. Water should be directed to flow at least 5 feet away from the building at the point of discharge. The installation of underground drainage where applicable will help control surface drainage.
 - We did not go on the surface of the roof. The chimney could not be reached without jeopardizing the safety of the inspector or the integrity of the roof material. Our comments are based only upon a limited visual inspection. For further evaluation of the condition of the chimney, we recommend you consult a licensed masonry contractor.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

- The roof was inspected from ground level only.

Exterior

ITEM DESCRIPTIONS:

Lot Topography	• Level grade
Driveway	• Concrete
Walkway & Sidewalks	• Concrete • Gravel
Retaining Walls/Abutments	• None
Fencing/Gates	• Wood
Porch/Deck, Patio Covers	• Concrete • Wood
Stairs/Railings/Landings	• Wood
Exterior Walls	• Wood Siding
Fascia, Eaves and Rafters	• Open Rafters • Wood
Windows	• Metal • Wood
Doors	• French • Metal • Wood
Garage/Carport	• Detached
Garage Door	• Wood
The Swimming Pool Safety Act	• See Below

COMMENTS:

Hot Tub/Spa: This home features a hot tub/spa. HomeGuard Incorporated does not perform hot tub/spa inspections. However, our inspection includes a noninvasive physical examination of the pool or spa and dwelling for the purpose of identifying which, if any, of the seven drowning prevention safety features listed in subdivision (a) of Section 115922 of the Health and Safety Code are present. We are not qualified to determine the condition, proper installation, or if any of the anti-drowning safety items meet the American Society for Testing and Materials (ASTM). If the owner desires to have these items tested or professionally evaluated, we recommend contacting the appropriate trades.

Personal storage was blocking access to the interior of the garage. Therefore, the area is considered inaccessible and was not fully inspected. With access and an opportunity for complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 17)

Portions of the exterior of the structure or property at the rear were inaccessible due to owner storage. Reportable conditions may be hidden from inspection. We recommend this area be cleared to allow for further inspection. (See Photo 9)

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The wood borders between the slab sections of the patio have deteriorated. These voids create a trip hazard and should be filled in or replaced with treated wood or mortar.rear (See Photo 11)
- ! 2. The cracked and heaved section of the patio presents a trip hazard. This condition should be corrected for improved safety.rear (See Photo 10)
- ! 3. Water damage was noted at the front deck(s). We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 1)
- ! 4. Cracked or broken exterior window glass at the rear should be replaced. (See Photo 8)
- ! 5. Water damage was observed to the rafters at the rear garage structure. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 25)
- ! 6. Wood/soil contact at the base of the wood siding at various locations should be eliminated. If rotted or damaged siding is found consult a licensed structural pest control operator regarding repairs. (See Illustration 3S) (See Photo 4)
- ! 7. Water damage was observed to the wood siding at several locations exterior walls. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 6)
- ! 8. Water damage was observed to the exterior trim at several locations. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)
- ! 9. The missing trim at the right should be replaced and caulked. (See Photo 5)
- ! 10. The steps at the rear appear to be non-conforming. This could create a potential fall hazard. We recommend the services of a licensed general contractor. (See Illustration 3R) (See Photo 38)
- ! 11. Missing hardware was noted at the rear french door. We recommend that hinges, knobs, latches and strike plates be adjusted or replaced to restore full operation. (See Photo 20)

! 12. Some of the front deck boards were noted to be incomplete. We recommend the boards to be repaired or replaced.
(See Photo 2)

13. Loose or damaged latch mechanism or hinges at the side gate should be repaired, adjusted or replaced as necessary.
14. The loft installed in the garage was not designed or constructed to support heavy loads. Storage of light items would be appropriate but the storage of heavy files, books, etc. is discouraged.
15. The concrete driveway is badly cracked. The cracks could be sealed for a better appearance and to prevent moisture intrusion. Replacement will ultimately be necessary.
16. Vegetation growing on or within 6" of exterior walls should be kept trimmed away from siding, window trims and the eaves.
17. The gaps in the exterior trim/siding should be caulked as necessary.
18. The gate and/or latch mechanism at the left and right needs repair and/or adjustment to keep from rubbing and to assist in smoother function.
19. There are minor sized cracks in the exterior stucco that should be patched and sealed as part of preparation for the next painting. Flexible patching materials are recommended rather than rigid patching compounds.
20. Portions of the exterior are weathered/peeling, exposed and subject to damage. We recommend thorough scraping, sanding, caulking and priming prior to applications of a high quality exterior finish.
21. The exterior door at the garage side door rubs on the frame/jamb. We recommend all rubbing doors be trimmed, planned or adjusted to improve operation.
22. Obvious repairs and/or modifications have been made to several locations walls. The owner may have information about the original conditions, the repairs or remodeling work and any permits that were required.
23. The stairs at the the rear has settled relative to the house proper. While still functional they should be monitored for further settlement. Exterior caulking at the edge of the porch/patio will help to limit moisture intrusion to the area where it abuts the building. For additional information we recommend a licensed soils and drainage contractor or engineer be consulted.
24. This home features a safety cover that appears to meet current standards. We are not qualified to determine the condition, proper installation, or if any of the anti-drowning safety items meet the American Society for Testing and Materials (ASTM). If the owner desires to have these items tested or professionally evaluated, we recommend contacting the appropriate trades.

! 25. Less than two drowning prevention safety features were noted. State law requires that during the course of our inspection we observe at least two of seven drowning prevention safety features outlined in the Health and Safety Code.

They are as follows:

- (1) An enclosure that isolates the swimming pool or spa from the private single-family home.
- (2) A removable mesh fencing in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
- (3) An approved safety pool cover.
- (4) Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa.
- (5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on all private single-family home's doors providing direct access to the swimming pool or spa.
- (6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water.
- (7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory.

The owner is advised to contact the appropriate trades to rectify this condition.

26. One or more panes of glass have "BB" sized holes. We recommend all broken glass be replaced.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions, site stability and property surface drainage runoff.
- Interior finishes (floors, walls, ceilings) and/or insulation restricted the inspection of the garage.

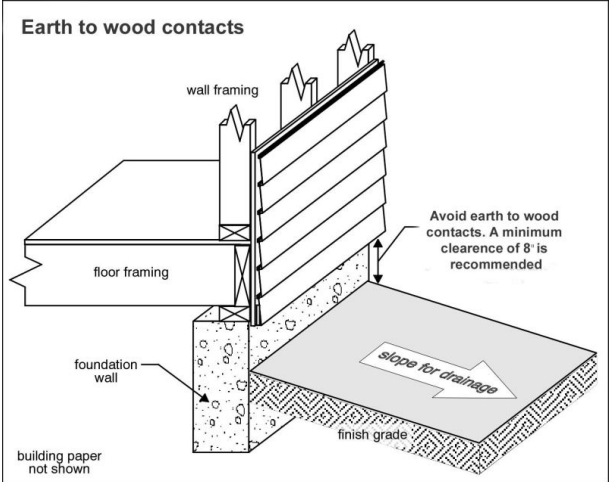


Illustration 3S

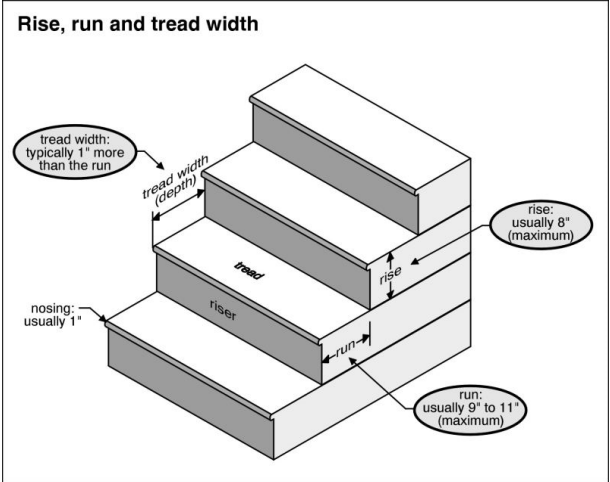


Illustration 3R

Electrical

ITEM DESCRIPTIONS:

Service	• 120/240 volt main service
Service Entrance	• Overhead Service Wires
Service Ground	• Copper Ground Wire • Water Pipe Connections
Main Disconnect	• Breakers • Main Service Rating: 200 Amps
Main Distribution Panel	• Breakers • Location: Exterior Side • Panel Rating (Amps): 200
Branch/Auxillary Panel	• Breakers • Location: Basement • Panel Rating (Amps): 100
Distribution Wiring	• Copper Wire • Knob & Tube wiring noted (Unknown if in use)
Outlets, Switches & Lights	• Grounded
Ground Fault Circuit Interrupters	• Basement • Exterior • Laundry

COMMENTS:

Dedicated 240 volt circuits have been provided for all 240 volt appliances within the home.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Running splices, which are improper connections outside of a junction box, were observed in the attic and crawlspace. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage. (See Photo 29)
- ! 2. We found exposed wiring at the garage walls below 7' feet. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Illustration 4E) (See Photo 19)
- ! 3. Exposed electrical connections or open junction boxes at the crawlspace should be corrected. All electrical connections should be made inside approved junction boxes fitted with proper cover plates. (See Photo 33)
- ! 4. Ungrounded "3-prong" outlets at several locations should be improved. A grounded cable or ground wire could be installed at these outlets, the outlet labeled as ungrounded or the original "2-prong" receptacle could be reinstalled. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 4O) (See Photo 14)
5. Several of the interior outlets and/or switches are loose in their boxes. We recommend a general tightening and "tune-up" of all of the loose receptacles.
6. The main and/or branch electrical panel is crowded with wiring. A larger panel would be desirable, especially if future remodeling or upgrades are considered.
7. One or more of the lights in several locations are inoperative. This may be due to turned off switches which were not located during our inspection. If the bulb has not failed or the lights switched off, the circuit should be investigated and repaired.
8. One or more switches at the basement are missing knobs. We recommend them be replaced.
- ! 9. A ground fault circuit interrupter (GFCI) outlet at the laundry did not function or did not trip when tested with an outside source and/or the test button. This outlet and circuit should be investigated and repaired. (See Photo 13)
10. Knob and tube wiring was noted in one or more areas of this building. However we are unable to determine if the wiring is in use during this inspection. This is an outdated system, but is not necessarily hazardous simply because it is old. However, primarily because the knob and tube circuits are generally not grounded, and because of its age we recommend further evaluation of the wiring by appropriate trades.

MAINTENANCE ITEMS & GENERAL INFORMATION

11. One or more of the main electrical panel circuit breakers were noted to be turned off at the time of our inspection. The breakers do not appear to be tripped and the exact reason for them being turned off was not determined during this inspection. For additional information we recommend consultation with the owner or a licensed electrician.
12. Arc fault circuit breakers were noted in the main or branch electric circuit panel. Arc fault breakers help protect against fires caused by arcing wires and are designed to trip by sensing a short that causes a massive amount of electricity to pass through the circuit.

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler

systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.
- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage may have restricted access to some electrical components.
- Exterior light fixtures on motion or light sensors were not tested.

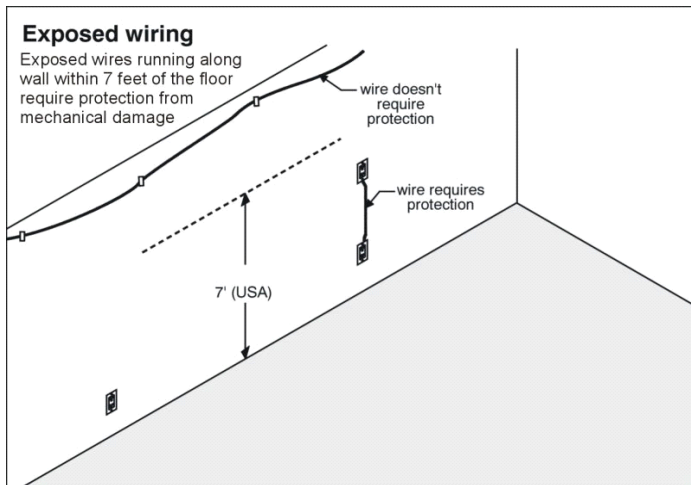


Illustration 4E

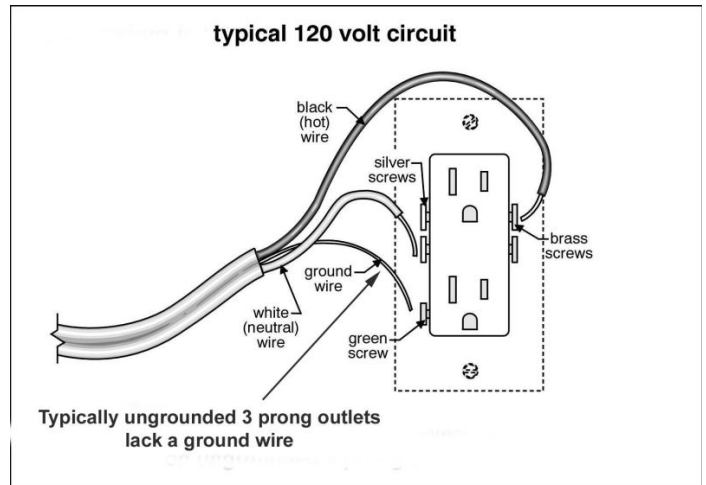


Illustration 4O

Heating System

ITEM DESCRIPTIONS:

Primary Source Heat	• Gas
Heating System	• Age (years): 18 • BTU's: 88,000 • Forced Air • Manufacturer: Bryant
Distribution/Ducting	• Ductwork

COMMENTS:

The furnace was turned on by normal controls and appeared to function.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The air return grill for the heating duct is dirty. We recommend the air return grill be cleaned prior to use.

MAINTENANCE ITEMS & GENERAL INFORMATION

2. There is currently no permanently installed cooling system installed on the property. While not required, it might be desirable depending on weather conditions in the area. If interested parties would like further information on the types of cooling systems available, we recommend consulting with a licensed HVAC contractor for more information.
3. This home is heated with a mid efficiency forced air furnace. In this type of furnace, air is circulated by a blower motor through a heat exchanger, which is heated by the burner unit at the base. An induced draft motor is used to force the exhaust from the furnace to the exterior

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- As per ASHRAE standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.
- Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.
- As per ASHRAE standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company (PG&E) will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- Inspection of the heater and/or air conditioner thermostat is limited to operating the unit(s) on and off function only. Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

Cooling/Heat Pump System

ITEM DESCRIPTIONS:

Cooling System • None

COMMENTS:

LIMITATIONS:

This is a visual inspection to the accessible areas only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time.

Insulation/Ventilation

ITEM DESCRIPTIONS:

Attic/Roof Insulation	• Depth (inches): 8-10" • Fiberglass
Exterior Walls Insulation	• Unknown
Crawlspace Insulation	• None
Attic/Roof Ventilation	• Power Vent • Roof Vents
Crawlspace Ventilation	• Exterior wall vent(s)

COMMENTS:**RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.**

- ! 1.** The attic is equipped with ventilation fan(s). The fan(s) is disconnected. We recommend it be connected and tested. (See Photo 30)

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is beyond the scope of this inspection.
- Any estimates of insulation "R" values or depths are rough average values.

Plumbing

ITEM DESCRIPTIONS:

Main Water Valve	• Location: Exterior Front
Supply Piping	• Copper Pipe
Drain/Waste/Vent	• Cast Iron • Plastic
Cleanout	• Location: Basement • Location: Exterior
Main Gas Valve	• Location: Exterior Front
Water Heaters	• Approximate Age (years): Unknown • Capacity (gallons): Unknown • Location: Basement • Manufacturer: GE
Seismic Gas Shut-off	• Not Present
Excess Flow Gas Shut-off	• Not Present

COMMENTS:

Due to the design of this unit/building, most of the supply piping was inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

Due to the design of this unit/building, most of the drain lines were inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 23)
- ! 2. There is evidence of heavy corrosion and rust, but no leakage on the exterior of the exposed and accessible metal drain piping in the exterior left. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered. (See Photo 36)
- 3. The installation of a sediment trap at the water heater and furnace appliance gas line is recommended.
- ! 4. The tub cold water faucet handle is loose and leaking at the master bathroom. We recommend all leaks be repaired. (See Photo 27)
- 5. The tub was observed to drain slowly at the master bathroom, suggesting that an obstruction may exist. We recommend the drain line be further evaluated by appropriate trades and improved for full use of this area.
- 6. The sink drain was observed to drain slowly at the half bathroom, suggesting that an obstruction may exist. We recommend the drain line be further evaluated by appropriate trades and improved for full use of this area.

MAINTENANCE ITEMS & GENERAL INFORMATION

- 7. The data sheet for the water heater was inaccessible at the time of our inspection therefore, we were unable to determine the general specification such as age, manufacturer, capacity, etc.

DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

- 8. There is no metal pan under the water heater to catch and divert any dripping water to the exterior. We recommend that consideration be given to installing one.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- Water and gas shut-off valves, including but not limited to seismic, excess flow shut-off valves and gas fireplace valves where applicable, were not operated or tested. Identification of these devices is limited to the accessible areas only.
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.
- Water pressure and water quality is not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).

- The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company (PG&E) will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- HomeGuard Incorporated does not determine if any fixtures or toilets are water conserving.

Interior

ITEM DESCRIPTIONS:

Kitchen Appliances Tested	• Built in Electric Oven • Dishwasher • Exhaust Hood • Gas Cooktop • Microwave • Waste Disposer
Wall Finishes	• Drywall/Plaster • Wood
Ceiling Finishes	• Drywall/Plaster
Floors	• Carpet • Concrete • Laminate Flooring • Vinyl • Wood
Doors	• Hollow Core • Pocket
Window Style and Glazing	• Casement • Double Pane • Double/Single Hung • Single Pane • Sliders
Stairs/Railings	• Not Present
Fireplace/Wood Stove	• Cosmetic Gas or Electric
Cabinets/Countertops	• Marble/Granite • Solid Surface
Laundry Facilities/Hookup	• 120 Volt Circuit for Washer • Dryer vent noted • Gas Piping for Dryer • Hot and Cold Water Supply for Washer • Waste Standpipe for Washer
Other Components Inspected	• Carbon Monoxide Detector • Smoke Detector

COMMENTS:

Personal storage was blocking access to the interior of the bathroom sink cabinets, closets and living areas. Therefore, the area is considered inaccessible and was not fully inspected. With access and a opportunity for complete inspection, conditions in need of attention may be discovered. The personal belongings should be removed so the area may be examined. (See Photo 21)

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

INTERIOR

- ! 1. One or more of the windows are not fully serviceable because their lift mechanism sash cords or springs are missing or damaged. We recommend these windows be repaired and their full functional use restored. (See Photo 24)
- 2. The operation of some of the sliding windows is rough. We recommend they be cleaned, lubricated and adjusted for smoother operation.
- 3. The installation of interior wall finishes and/or trim in the laundry is incomplete. We recommend all incomplete interior wall and/or trim be replaced for cosmetic considerations.
- 4. The hardwood flooring in several locations is worn at the more heavily traveled areas, but could probably be refinished with a very satisfactory result. We recommend refinishing before the surfaces are damaged.
- 5. The vinyl, wood and carpet floor covering at several locations is cosmetically damaged, worn or torn.
- 6. It may be desirable to replace the window screens where missing or damaged.
- 7. Various double pane windows were dirty at the time of our inspection, therefore, the condition of the windows was not fully verified. We recommend the windows be cleaned to verify their thermal seal.
- 8. Various interior doors, windows and electrical outlets were partially inaccessible due to storage at the time of our inspection. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. We recommend the storage be removed and these areas further inspected.
- 9. There is evidence of Vermin activity in the structure. It is likely that this infestation is also in inaccessible areas. The owner is advised to contact the appropriate tradesperson for any remedial measures necessary.

KITCHEN

- ! 10. There is no "exterior vented" exhaust fan for the gas appliances installed in the kitchen. It is recommended that all gas appliances be vented to the exterior. (See Photo 28)
- 11. Cracked, deteriorated and/or missing caulk at the kitchen countertop backsplash should be replaced. A flexible caulking material is recommended rather than rigid cementitious grout.
- 12. A slightly larger than normal interior crack was observed at the kitchen wall. For cosmetic consideration we recommend repair of the surface and the underlying material as well.
- 13. One or more of the lights in the kitchen hood are inoperative or removed. We recommend the bulb be replaced and operation verified. If the bulb has not failed, the hood should be investigated and improved as necessary.

BATHROOMS

- 14. Cracked, deteriorated and/or missing caulk at the master bathroom countertop backsplash should be replaced. A flexible caulking material is recommended rather than rigid cementitious grout.

15. The tub in the guest bathroom shows evidence of heavy wear and/or chipping. It may be desirable to refinish or repair it for cosmetic considerations and/or prolong the life of the tub.
16. Cracked, deteriorated and/or missing grout and caulk in the master bathroom shower should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
17. Cracked, deteriorated and/or missing floor tile grout and caulk in the master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual inspection.
18. Cracked, deteriorated and/or missing grout and caulk at the master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
19. The hydro tub was filled to above the water jets and operated to check the intake of the jets. Pumps and lines were not completely accessible. The items tested appear to be in serviceable condition.

MAINTENANCE ITEMS & GENERAL INFORMATION

INTERIOR

20. ENVIRONMENTAL ISSUES:

Issues Based on the age of this home, there is a possibility the structure may contain asbestos such as ceiling texture, insulation on the distribution piping and/or transit piping and siding. This can only be verified by laboratory analysis. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" damaged, crumbling, or in any state that allows the release of fibers. If replacement necessitates the removal of the acoustic ceiling or insulation, a specialist should be engaged. If any sections of this insulation are indeed friable, or become friable over time, a specialist should be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). Due to the age of construction, it is likely that there are other materials within the home that contain asbestos but are not identified by this inspection report.

21. The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture developing between the panes of glass. Due to the known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time.

KITCHEN

22. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission CPSC at www.cpsc.gov for further guidance.

BATHROOMS

23. The tub wall in the guest bathroom is missing or not high enough to provide a proper moisture barrier. We recommend the wall covering be installed to a height above the shower head.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. Due to texturing and painting of interior surfaces there is no possible way of determining point of origin of any gypsum (sheetrock) material without destructive testing. HomeGuard Incorporated does not perform any destructive testing. Smoke detectors and carbon monoxide detectors were not manually tested. The sensors of these units are not tested. Both smoke detectors and carbon monoxide detectors have a limited life span and should be replaced according to the manufactures instructions.

- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.
- The operation of the dishwasher was limited to a filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.
- The washing machine faucets were visually inspected however they were not tested.
- Kitchen appliances were operated unless noted otherwise. However they were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation. No refrigerators whether "built in" or portable are operated, inspected or tested.
- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report. No refrigerators whether "built in" or portable are operated, inspected or tested.

- Fireplace screens or doors were not inspected (unless otherwise noted) and are excluded from this report.
- The interior appears to have been recently painted. Water stains and/or cracks may not be visible at the time of our inspection. If, at a later date, water stains and/or cracks are discovered, we recommend further inspection by the appropriate trades.
- Testing of the oven cleaning function is beyond the scope of this inspection. For proper operation and testing of this function we recommend consultation with the existing homeowner.

Photographs

No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported with photographs. Please contact HomeGuard if you have any questions.



Photo 01



Photo 02

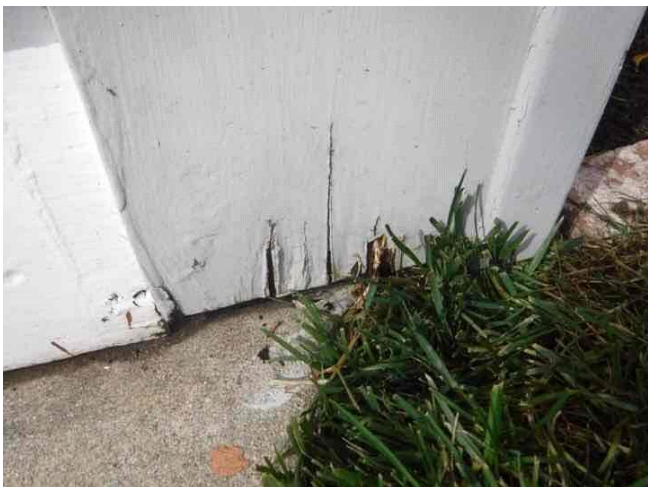


Photo 03

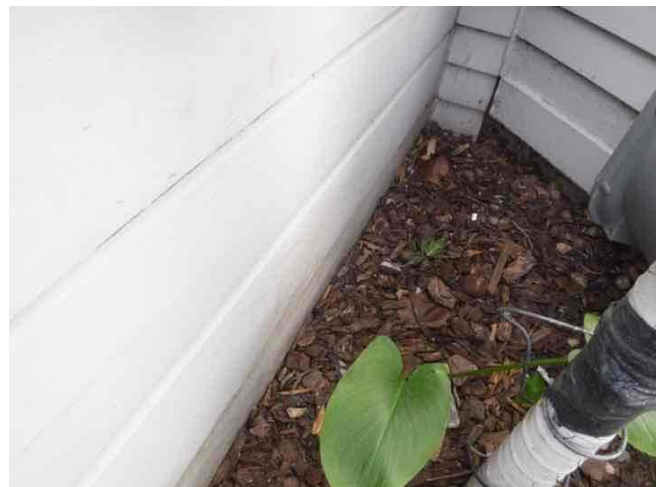


Photo 04



Photo 05

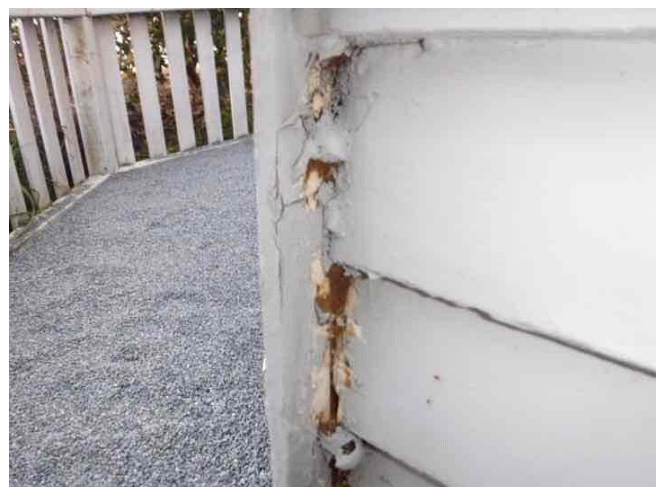


Photo 06



Photo 07



Photo 08

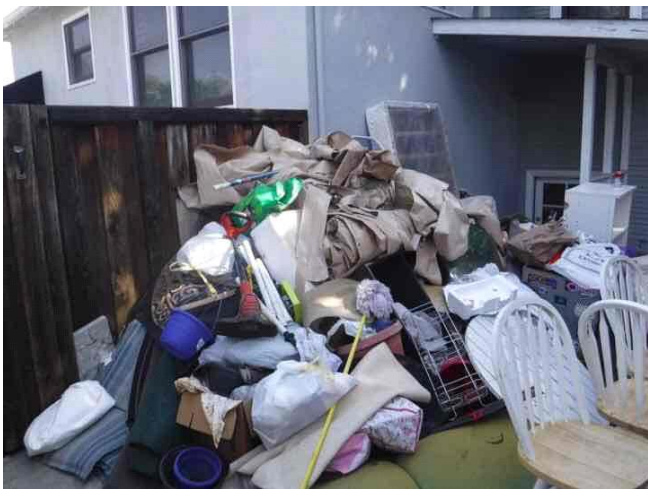


Photo 09



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18

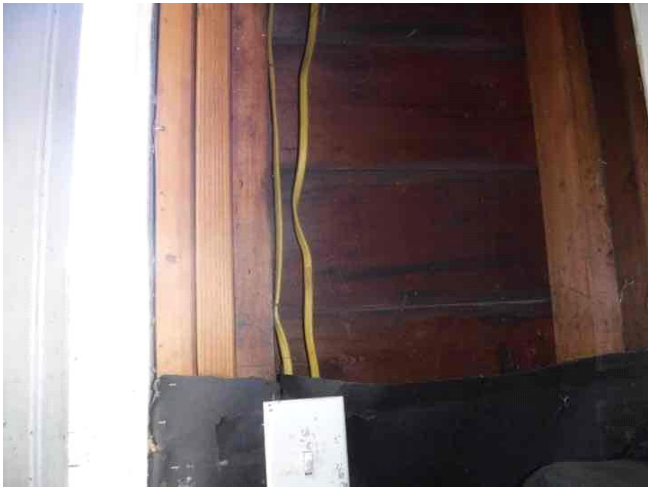


Photo 19



Photo 20



Photo 21



Photo 22



Photo 23

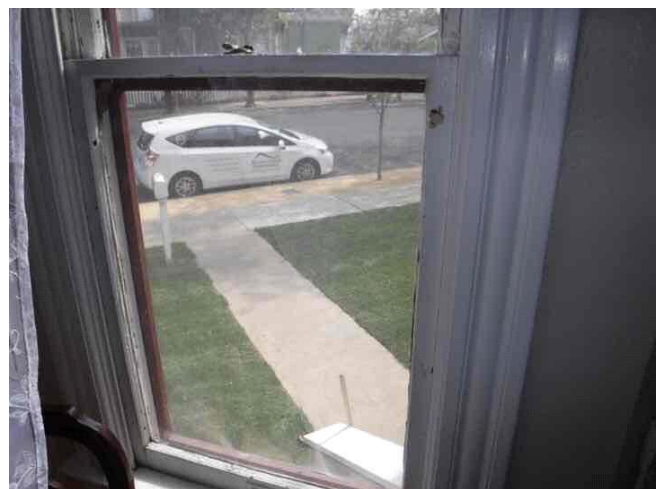


Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31

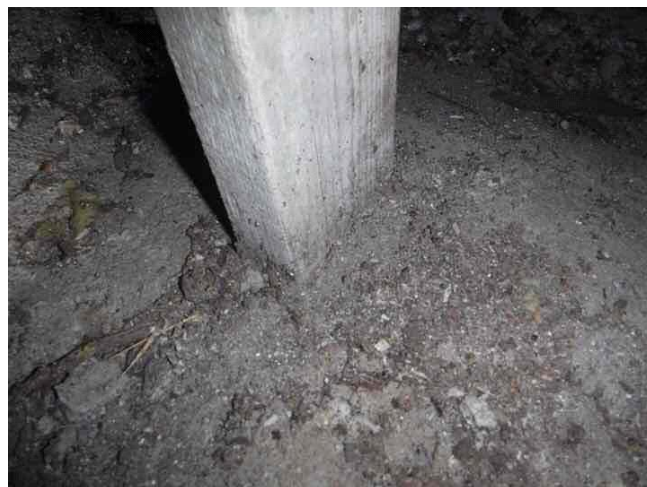


Photo 32



Photo 33



Photo 34

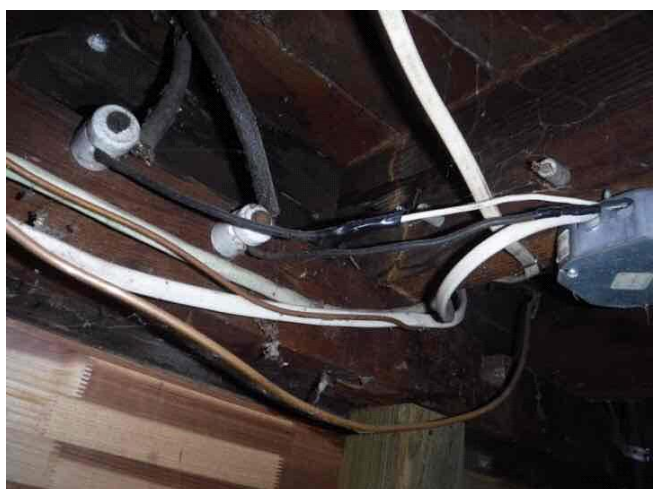


Photo 35



Photo 36

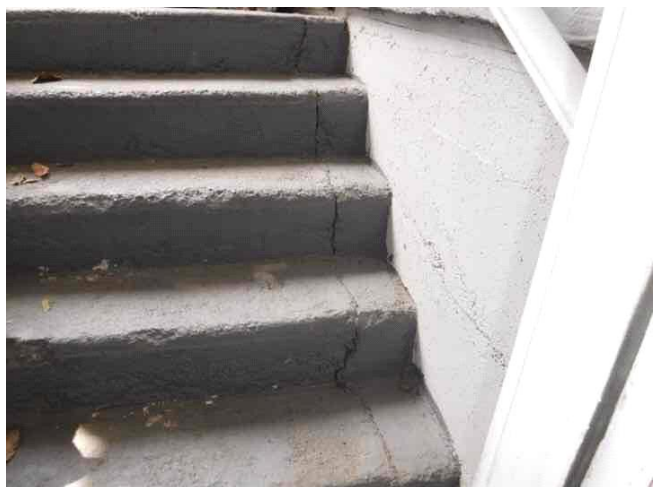


Photo 37



Photo 38

Maintenance Advice

UPON TAKING OWNERSHIP

After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- ☐ Change the locks on all exterior entrances, for improved security.
- ☐ Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- ☐ Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- ☐ Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- ☐ Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- ☐ Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- ☐ Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- ☐ Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- ☐ Install rain caps and vermin screens on all chimney flues, as necessary.
- ☐ Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

- ☐ Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- ☐ Examine heating/cooling air filters and replace or clean as necessary.
- ☐ Inspect and clean humidifiers and electronic air cleaners.
- ☐ If the house has hot water heating, bleed radiator valves.
- ☐ Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- ☐ Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- ☐ Repair or replace leaking faucets or shower heads.
- ☐ Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

- ☐ Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- ☐ Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- ☐ Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- ☐ Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- ☐ Survey the basement and/or crawl space walls for evidence of moisture seepage.
- ☐ Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- ☐ Ensure that the grade of the land around the house encourages water to flow away from the foundation.

- ☐ Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- ☐ Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- ☐ Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- ☐ Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- ☐ Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- ☐ Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- ☐ Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- ☐ Replace or clean exhaust hood filters.
- ☐ Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

ANNUALLY

- ☐ Replace smoke detector batteries.
- ☐ Have the heating, cooling and water heater systems cleaned and serviced.
- ☐ Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- ☐ Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- ☐ If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- ☐ If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



Invoice Date: 4/4/2018

Invoice No: LIV573119P

Invoice

Bill To:

Jim Downey
J. Thomas Realty
3268 Lynn Oaks Drive
San Jose, CA 95117

Property Information:

Address: 1226 Jackson Street
Santa Clara CA, 95050
Report No: 446963 TPRWD
Escrow#:

Billing Information:

Inspection:	4/4/2018 Complete	\$635.00
-------------	-------------------	----------

Total Due:	\$635.00
------------	----------

DUE UPON RECEIPT

Please remit to 510 Madera Ave., San Jose, CA 95112

There is a \$25 fee for all returned checks