

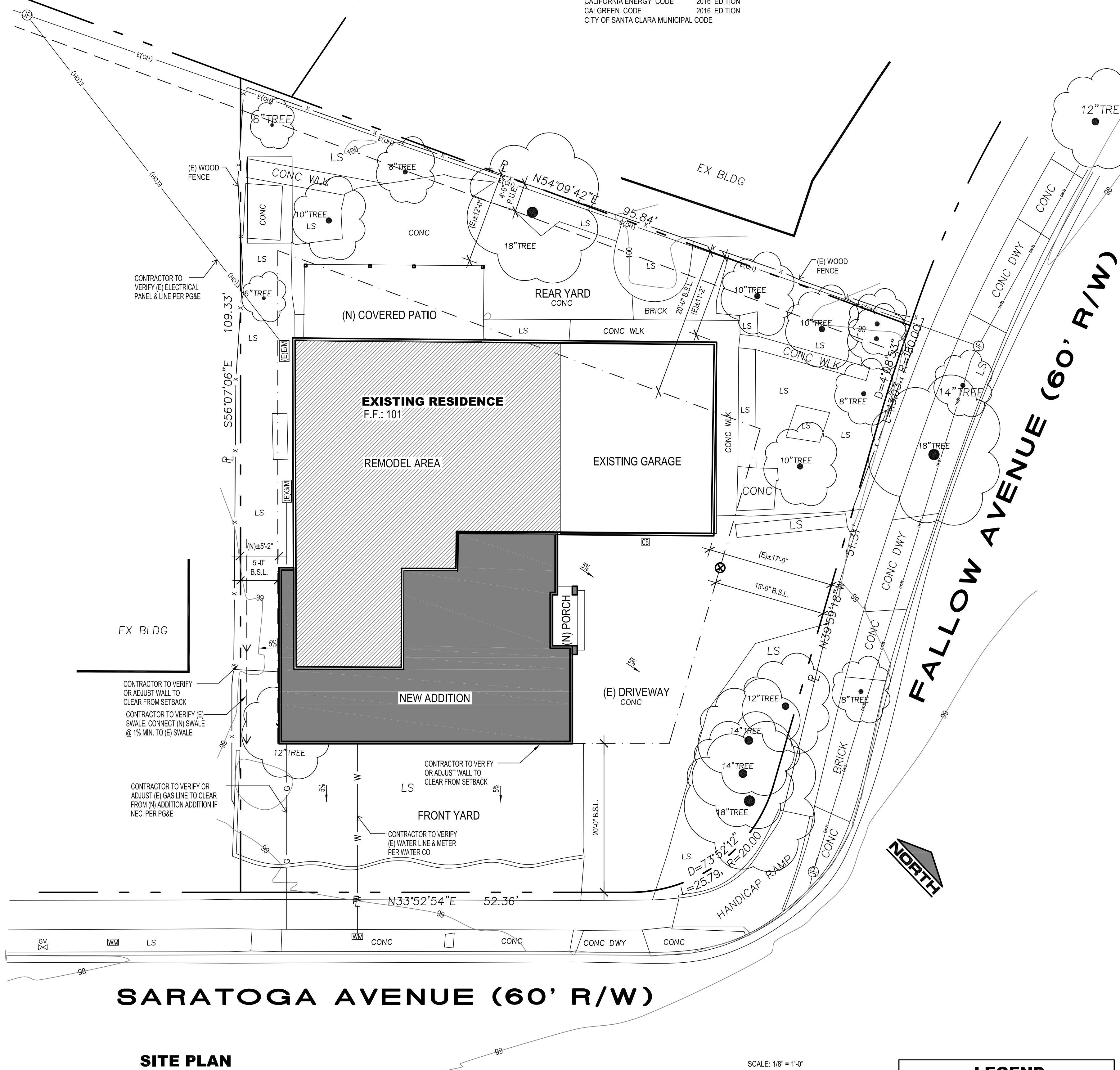
AN ADDITION & REMODEL FOR

JIN RONG LIU

594 SARATOGA AVE., SANTA CLARA 95050

APN# 269-32-001

THIS PROJECT SHALL COMPLY WITH
CALIFORNIA RESIDENTIAL CODE 2016 CRC
CALIFORNIA FIRE CODE 2016 CFC
CALIFORNIA MECHANICAL CODE 2016 CMC
CALIFORNIA PLUMBING CODE 2016 CPC
CALIFORNIA ELECTRIC CODE 2016 CEC
CALIFORNIA ENERGY CODE 2016 EDITION
CALGREEN CODE 2016 EDITION
CITY OF SANTA CLARA MUNICIPAL CODE



SITE PLAN NOTES

- A. **GENERAL:**
- SEE OWNER FOR UP-GRADE HARDSCAPE FINISH FOR DRIVEWAY, WALKWAY & PATIO
 - ALL METAL ANCHORS, FASTENERS, CONNECTORS, ETC. THAT WILL BE IN CONTACT WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED GALVANIZED OR OTHER APPROVED CORROSION RESISTANT MATERIAL.
- B. **BUILDING SETBACK:**
- CONTRACTOR TO VERIFIED BUILDING SETBACK AND ADJUST WALL TO MEET MINIMUM SETBACK.
 - PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LICENSED LAND SURVEYOR OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS COMPLY WITH THE APPROVED PLANS, WHICH NOTE SHALL REPRESENT A CONDITION WHICH MUST BE SATISFIED TO REMAIN IN COMPLIANCE WITH THIS DESIGN REVIEW APPROVAL.
- C. **GRADING & DRAINAGE:**
- CONTRACTOR TO VERIFY (S) SWALE, CONNECT (N) SWALE TO (E) SWALL @ 1% MIN.
 - ARROWS INDICATE DIRECTION OF SURFACE DRAINAGE.
 - GROUND IS TO SLOPE AWAY FROM FOUNDATION 5% FOR A DISTANCE OF 10 FT AWAY FROM THE BUILDING; IF 10 FT, CANNOT BE MET, PROVIDE SWALES, PROVIDE 2% SLOPE IF IMPERVIOUS SURFACE IS USED, CRC R401.3, NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY, NO DRAINAGE ONTO NEIGHBORING PROPERTIES, ALL DRAINAGE TO LANDSCAPE.
 - DIRECT ROOF RUNOFF SHALL BE:
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREAS
 - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS;
 - DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
 - CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES
 - CONNECT ALL DOWNSPOUTS TO 3" SOLID DRAIN LINE AROUND PERIMETER OF HOUSE DRAIN TO CURB OR PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE.
- D. **UTILITIES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES @ JOB SITE.
 - THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PG & E, PACIFIC BELL, & CABLE TV INSTALLATION AS REQUIRED, VALVE BOXES & MANHOLES, & STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- F. **CONSTRUCTION SITE:**
- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
 - NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
 - A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
 - ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OR THE PROJECT IN A NEAT AND SAFE MANNER.

PROJECT DATA

ASSESSOR'S PARCEL #: 269-32-001
PROJECT ADDRESS: 594 SARATOGA AVE., SANTA CLARA 95050
PROPERTY OWNER: MR. & MRS. JINRONG LIU (408)888-9057
PROJECT CONTACT PERSON: TRI HONG (408)829-6083 tthdesign@hotmail.com
PROJECT SCOPE OF WORK: 19034 BONNET WAY, SARATOGA, CA. 95070
314 SQ.FT. ADDITION w/ 1 BEDROOM & 3 BATHROOMS, PROJECT ALSO INCLUDE 706 SQ.FT. REMODEL KITCHEN, GREATROOM AND BATHROOM.
OCCUPANCY: R3-U
CONSTRUCTION: V-B
ZONING: R-1-6L
EXISTING USE: ONE STORY SINGLE FAMILY RESIDENCE
PROPOSED USE: ONE STORY SINGLE FAMILY RESIDENCE
GROSS/NET LOT SIZE: 7,419.54 SQ.FT. (0.17 ACRE)
FLOOR AREA CALCULATION:
LOT COVERAGE 40% MAX.: 0.40 x (7,419.54 SQ.FT.) = 2,967.82 SQ.FT.
NEW ADDITION: 767.42 SQ.FT.
EXISTING LIVING: 1,220 SQ.FT.
PROPOSED LIVING AREA: 1,967.42 SQ.FT.
EXISTING GARAGE: 512 SQ.FT.
(E) SUNRM CONVERTED TO COVERED PATIO: 234 SQ.FT.
NEW PORCH: 24 SQ.FT.
LOT COVERAGE: 2,757.42 SQ.FT. (37.16%)
TOTAL REMODEL AREA: 706.28 SQ.FT.

EXISTING 1 WOOD BURN FIREPLACE.

SETBACKS	REQUIRED	PROPOSED	COMPLIANT
FRONT	20'-0"	20'-0"	YES
LEFT SIDE	5'-0"	±5'-2"	YES
RIGHT SIDE	20'-0"	±17'-0"	NO
REAR	20'-0"	11'-2"	NO

CONSULTANTS LIST

DESIGNER
TDH DESIGN
19034 BONNET WAY
SARATOGA, CA. 95070
408.829.6083
tthdesign@hotmail.com
ENERGY CONSULTANT
CARSTAIRS ENERGY CALC.
904 EVERT COURT
PASO ROBLES, CA 93446
805.904.9048
timmycarstairs@YAHOO.COM

STRUCTURAL ENGINEER
WESLEY LIU ENGINEERING
7246 SHARON DRIVE #0
SAN JOSE, CA 95129
408.973.1639
wesleyliu@YAHOO.COM
CIVIL ENGINEER
LC ENGINEERING
1291 OAKLAND ROAD
SAN JOSE, CA 95112
408.806.7187
NLE@LCENGINEERING.NET

MANUFACTURER CONTACT
• "Gaf Roofing": (877) 423-7663 www.gaf.com/
• "Velux Skylight": (800) 888-3550 www.veluxusa.com
• "Grace Construction" Flashing (866) 333-3726 www.gcpat.com

GENERAL NOTES

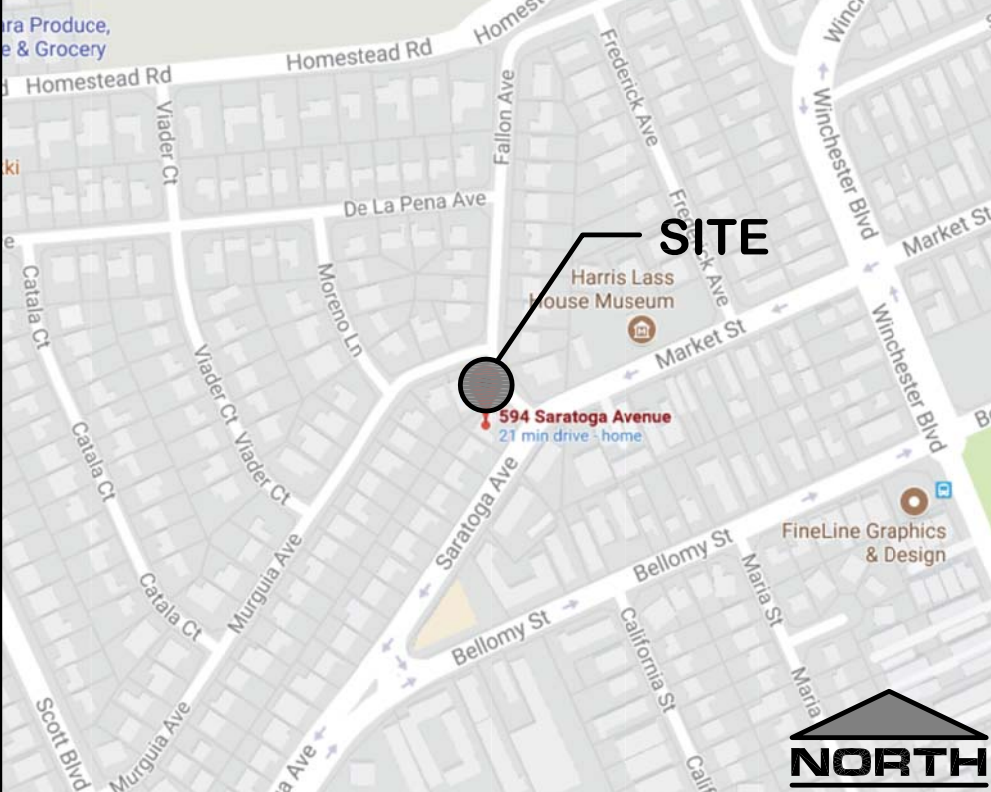
- ALL WRITTEN DIMENSIONS SHALL OVER TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF TDH DESIGN PRIOR TO COMMENCING.
- LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE TO BE VERIFIED PRIOR TO CONSTRUCTION BIDDING.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE TITLE 24 ENERGY REPORT QUALITY INSULATION IS REQUIRED PER SUBMITTED ENERGY CALCULATIONS, AND EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) MUST BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
- BUILDER/CONTRACTOR:
 - RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
 - SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR METHOD & MANNER OF ALL WATERPROOFING. BUILDER/CONTRACTOR SHALL REFER TO SOIL REPORT, GRADING & DRAINAGE PLAN, AND ALL WATERPROOFING WORK TO BE PERFORMED BY NHQ CERTIFIED WATERPROOFING COMPANY.
 - SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHER STRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS BUT FORTH BY THE EXECUTIVE DIRECTOR.
 - SHALL PROVIDE THE LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.

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VICINITY MAP



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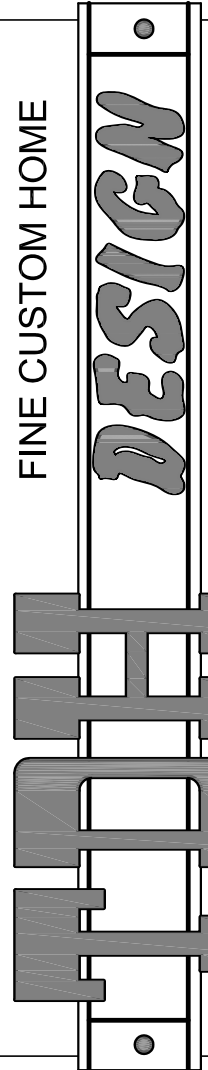
SITE PLAN

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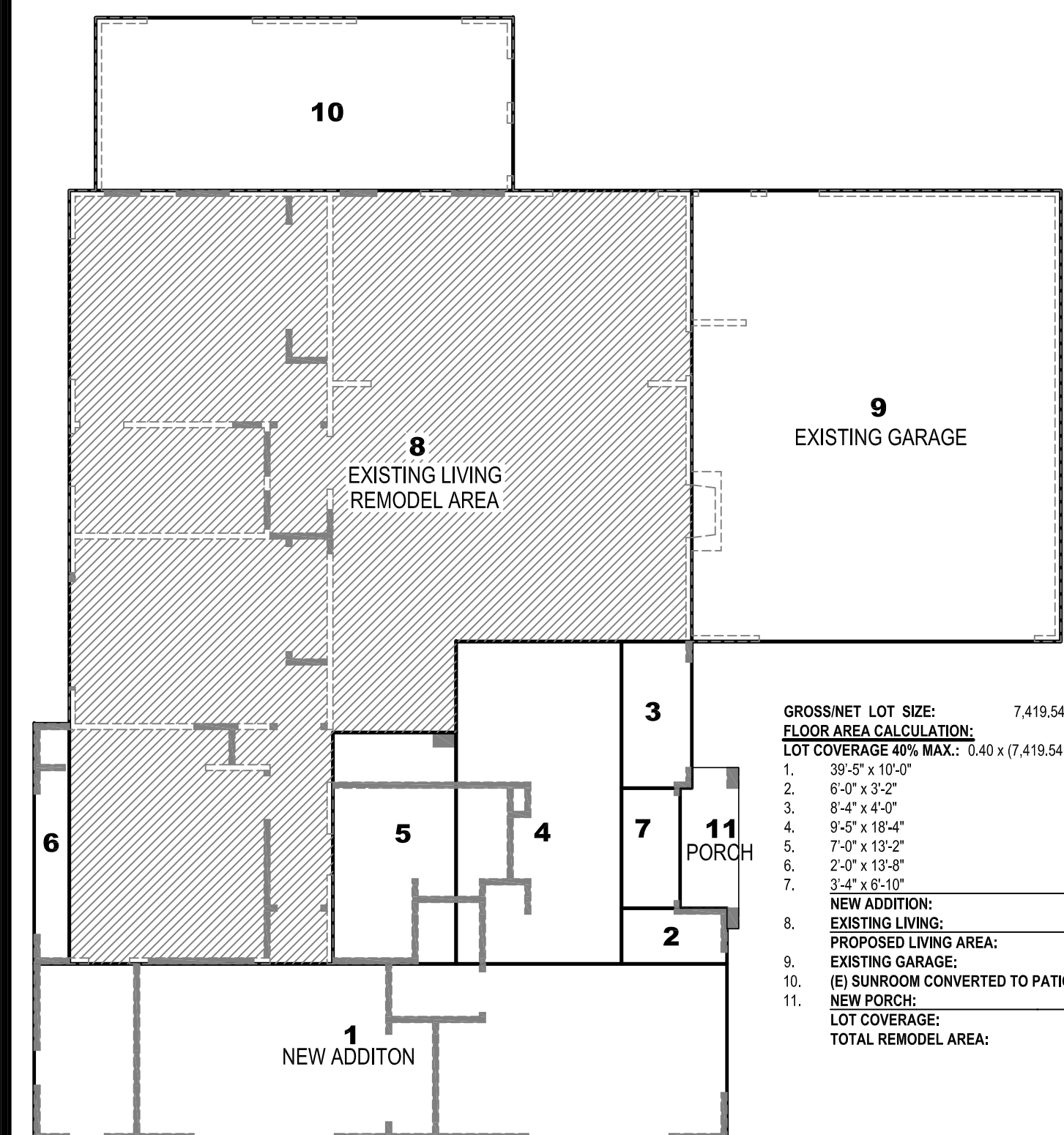
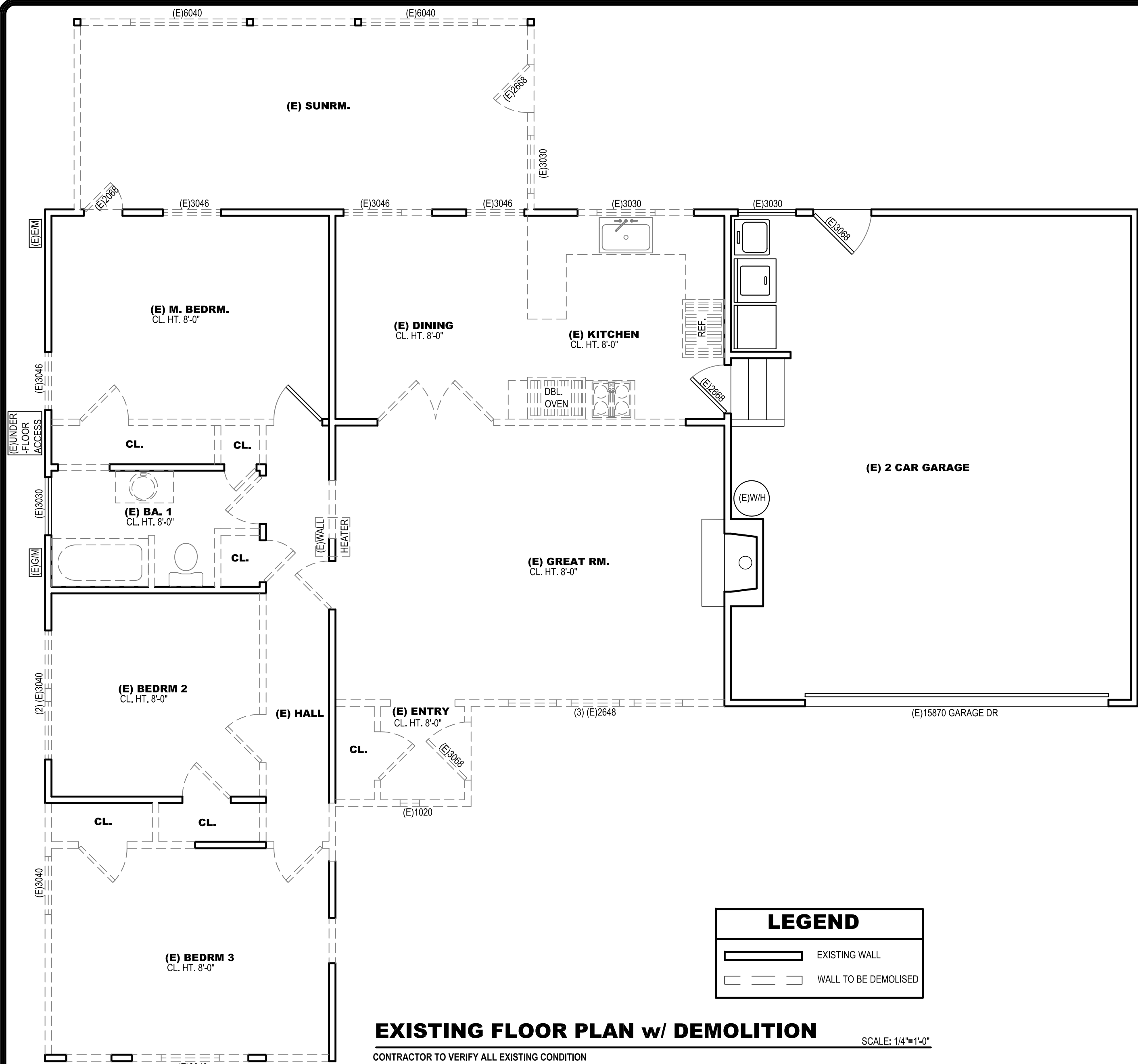
594 SARATOGA AVE., SANTA CLARA 95050
APN# 269-32-001

FINE CUSTOM HOME



(408) 829-6083
19034 BONNET WAY • SARATOGA, CA 95070

DRAWN LOC HUA
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SCALE AS SHOWN
JOB 2217
SHEET A-1



GROSS/NET LOT SIZE: 7,419.54 SQ.FT. (0.17 ACRE)

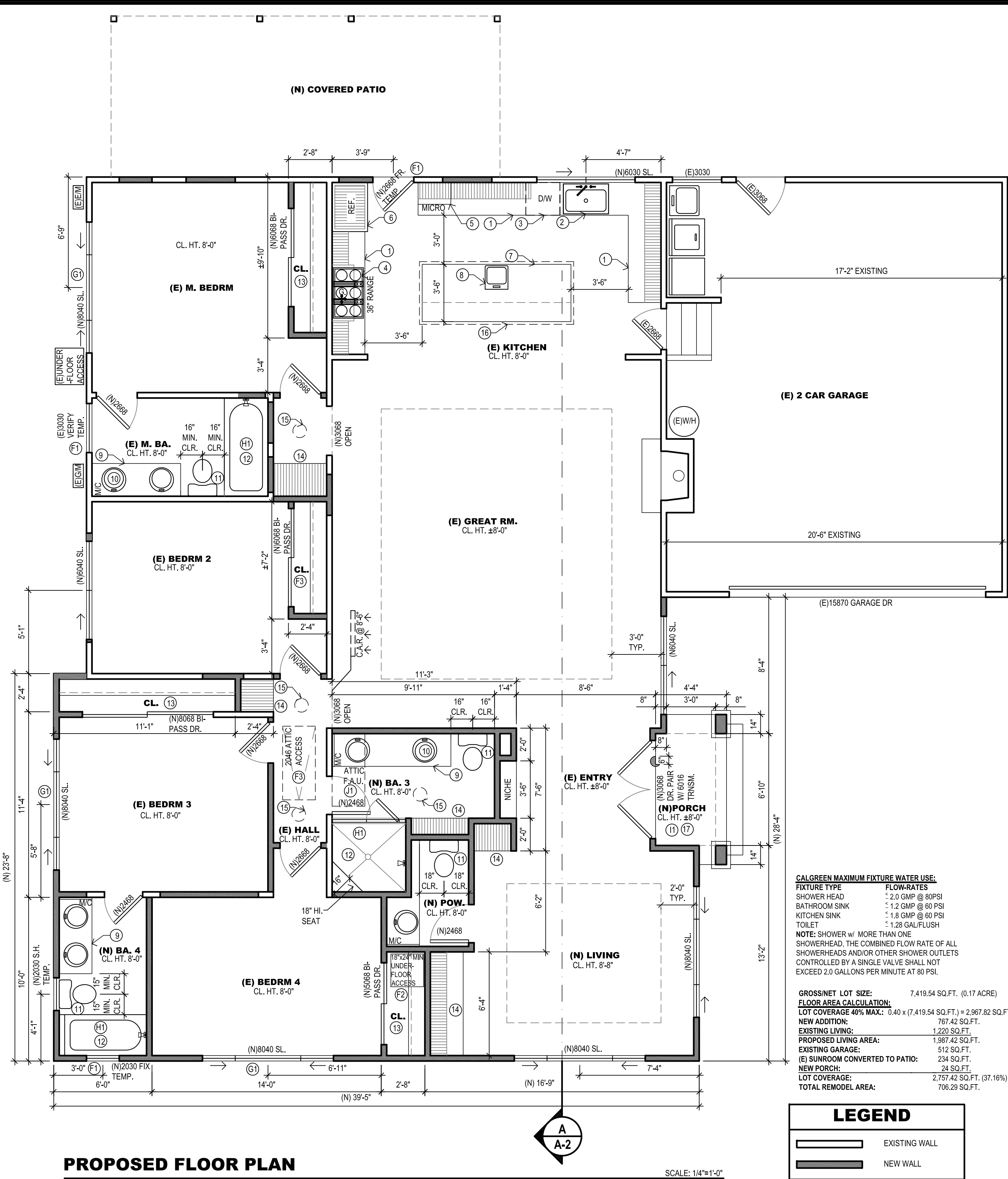
FLOOR AREA CALCULATION:

LOT COVERAGE 40% MAX.: 0.40 x (7,419.54 SQ.FT.) = 2,967.82 SQ.FT.

1.	39'-5" x 10'-0"	394.17
2.	6'-0" x 3'-2"	19
3.	6'-4" x 4'-0"	33.33
4.	9'-5" x 18'-4"	172.64
5.	7'-0" x 13'-2"	92.17
6.	2'-0" x 13'-8"	33.33
7.	3'-4" x 6'-10"	22.78
NEW ADDITION:		767.42 SQ.FT.
EXISTING LIVING:		1,220 SQ.FT.
PROPOSED LIVING AREA:		1,987.42 SQ.FT.
EXISTING GARAGE:		512 SQ.FT.
(E) SUNROOM CONVERTED TO PATIO:		234 SQ.FT.
NEW PORCH:		24 SQ.FT.
LOT COVERAGE:		2,767.42 SQ.FT. (37.16%)
TOTAL REMODEL AREA:		706.29 SQ.FT.

FLOOR PLAN NOTES

- F. GENERAL:
- BUILDER/CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR METHOD & MANNER OF ALL WATERPROOFING.
 - ALL NEW EXTERIOR WALLS WRAP WITH CDX PLYWOOD TYPICAL THROUGHOUT-VERIFY WITH OWNER
 - ALL NEW EXTERIOR WALLS GREATER THAN 12FT HIGH SHALL BE 2x6
 - WINDOW, DOOR, SUN TUNNEL & SKYLIGHT SIZE SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.) INSTALLED w/ CERTIFYING LABEL ATTACHED, SHOWING U-VALUE.
1. TEMPERED GLAZING REQUIRED:
- ALL NEW BATHROOM WINDOWS, FRENCH DOOR & SLIDING GLASS DOOR.
 - WHEN EDGE OF GLASS IS LESS THAN 24" FROM DOOR EDGE AND LESS THAN 60" ABOVE GROUND.
 - WHEN GLASS IS MORE THAN 9 SQ. FT. AND EDGE OF GLASS IS LESS THAN 18" ABOVE FLOOR/GROUND AND TOP EDGE IS MORE THAN 36" ABOVE GROUND AND WITHIN 36" OF WALKING SURFACES.
2. UNDERFLOOR ACCESS: 18"x24" MIN. w/ WEATHER-STRIP OR SEAL TO PREVENT DRAFTS.
3. ATTIC ACCESS: 22"x30" MIN. w/ WEATHER-STRIP OR SEAL TO PREVENT DRAFTS.
- G. BEDROOMS:
1. ESCAPE WINDOW OR DOOR:
- 20-IN MIN. CLEAR WIDTH
 - 24-IN MIN. CLEAR HEIGHT
 - 5.7 SQ. FT. MIN. OPENABLE AREA
 - 5 SQ. FT. MIN. OPEN AREA FOR GRADE-FLOOR OPENINGS.
 - OPENING IS TO BE MEASURED 44 INCHES MAX. ABOVE FINISHED FLOOR.



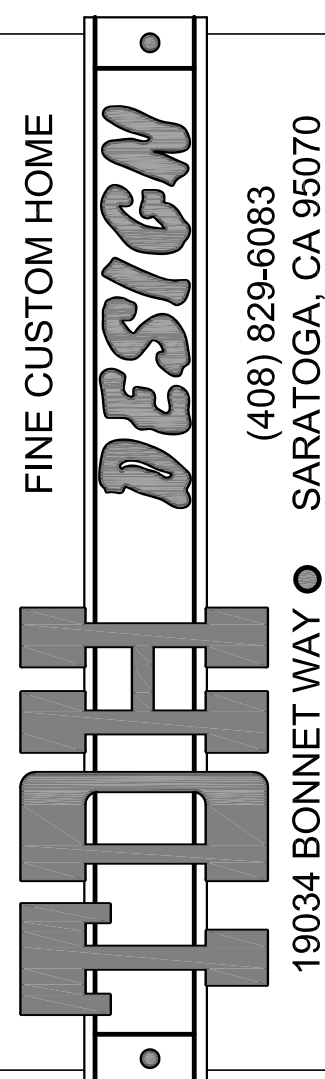
- H. BATHROOMS:
1. TUBSHOWER:
- SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 8 FEET ABOVE THE FLOOR.
 - ANY NEW OR REPLACED MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120" F. ANY NEW OR REPLACED WATER-FILLER VALVE IN BATHTUBS/WHIRLPools SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120" F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS.
 - SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6)
 - WATER-RESISTANT GYPSUM BACKING BOARD NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
 - TEMPERED GLAZING: PROVIDE WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET & WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- I. OUTDOOR:
1. LANDINGS & THRESHOLDS
- THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).
 - LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/4" INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 1/2" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
 - 2% MIN. PER FT. SLOPE TO DRAIN. PROVIDE DURADEK TILED WATERPROOFING MEMBRANE FOR BALCONY FLOOR.
- J. APPLIANCES:
1. ATTIC FURNACE:
- LOCATE MINIMUM 22X30 ACCESS OPENING WITHIN 20'-0" OF FURNACE.
 - PROVIDE MINIMUM 24" WIDE SOLID FLOORING FROM ACCESS OPENING TO FURNACE WORKING PLATFORM.
 - MINIMUM 30" DEEP WORKING PLATFORM. NOT REQUIRED IF FURNACE CAN BE SERVICED AT ACCESS OPENING.
 - PROVIDE LIGHT, SWITCH & OUTLET @ UNIT.

- KITCHEN:
- KITCHEN CABINET w/ GRANITE COUNTER TOP
 - SINGLE SINK w/ FOOD DISPOSER
 - DISHWASHER
 - 36" GAS RANGE w/ DECORATIVE HOOD- VENT TO OUTSIDE
 - MICROWAVE OVEN & ESPRESSO MACHINE
 - REFRIGERATOR / FREEZER - PLUMB FOR ICE MAKER
 - ISLAND w/ EATING BAR GRANITE COUNTER TOP & WOOD BRACES
 - VEGETABLE SINK w/ FOOD DISPOSER
- BATHROOM:
- VANITY w/ MARBLE TOP
 - LAVATORY
 - WATER CLOSET
 - MARBLE SLAB TUB/SHOWER w/ SEAT (PROVIDE 1 SHAMPOO NICHE)
- OTHER SPACES:
- CLOSET ORGANIZER
 - BUILT-IN SHELVES/CABINET
 - TUNNEL (TGF 021)
 - SKYLIGHT CEILING OPENING w/ GYP. BD. SHAFT (PROVIDE GLS DIFFUSER @ KITCHEN)
 - CONCRETE SLAB & STEPS. (TILE @ ENTRY PORCH) RISER (MAX. 7.75") & TREAD (MIN. 10")

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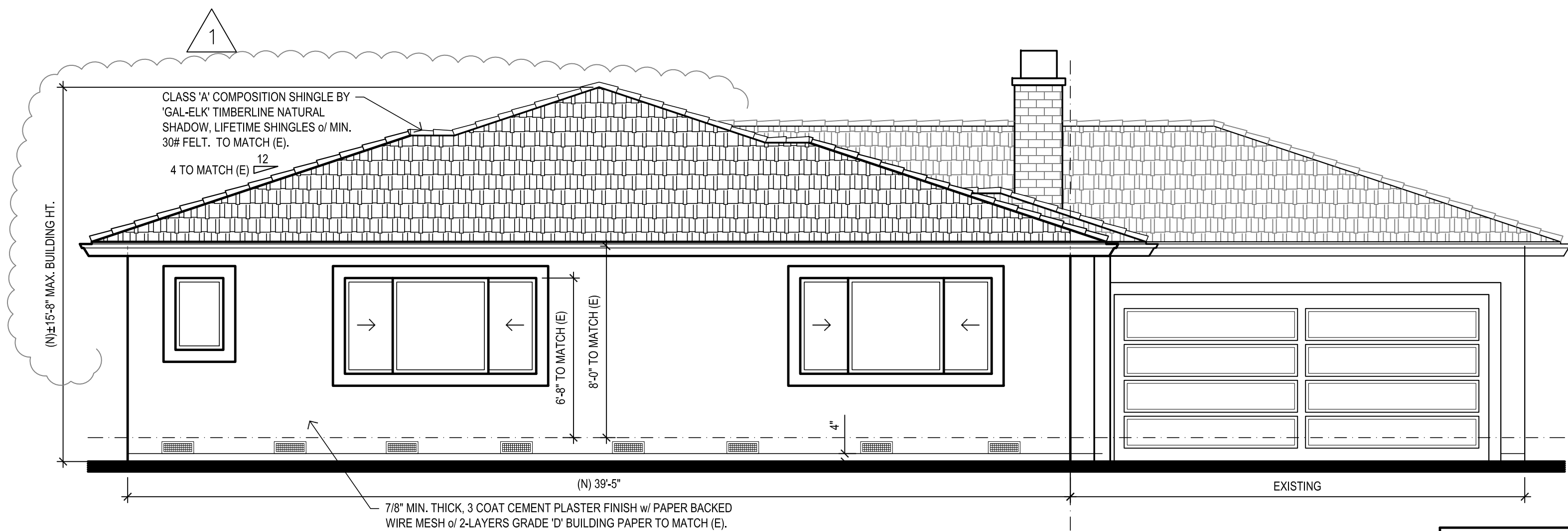
EXISTING FLOOR PLAN w/ DEMOLITION & PROPOSED FLOOR PLAN

AN ADDITION & REMODEL FOR
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584 SARATOGA AVE., SANTA CLARA 95050
APN# 88832-001



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SIGNATURE
DATE SEPT. 2017
SCALE AS SHOWN
JOB 2217
SHEET

A-2



PROPOSED FRONT ELEVATION

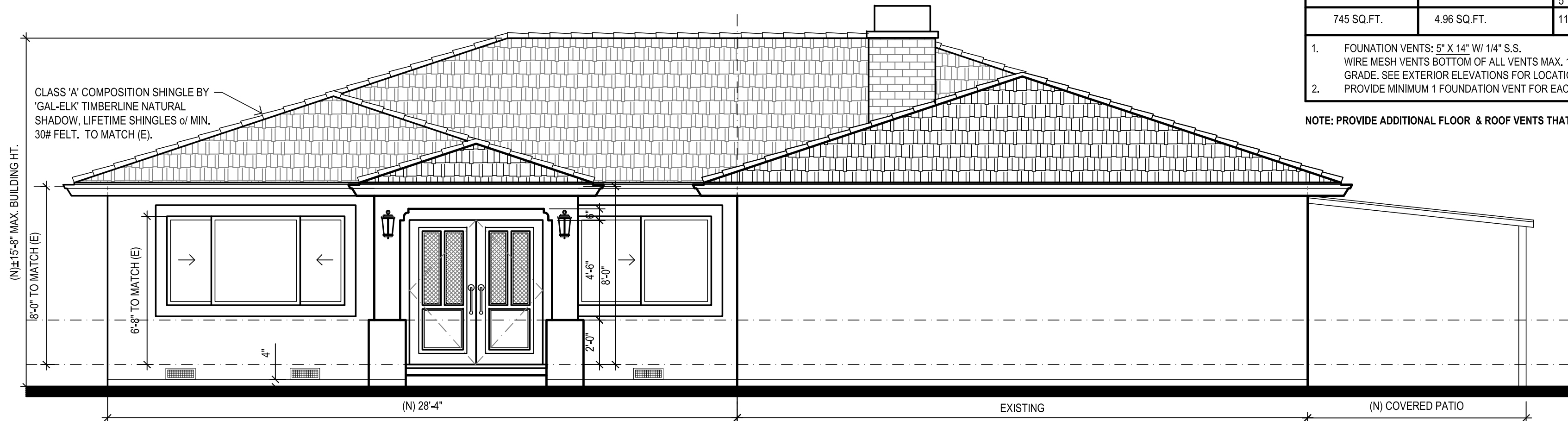
SCALE: 1/4"=1'-0"

UNDERFLOOR VENT CALC.

UNDERFLOOR AREA	x 1/150 = REQ'D. FREE VENT	MIN. VENTS PROVIDED
745 SQ.FT.	4.96 SQ.FT.	5" x 14" VENT = 0.486 SQ.FT.
		11 VENTS = 5.35 SQ.FT.

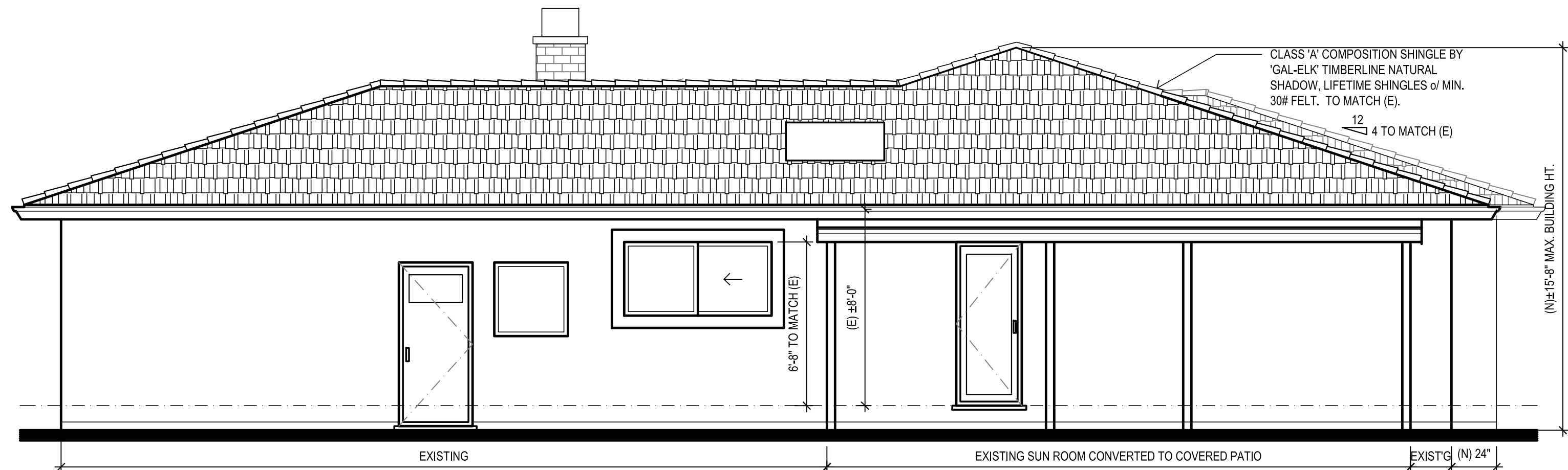
1. FOUNDATION VENTS: 5" X 14" W/ 1/4" S.S. WIRE MESH VENTS BOTTOM OF ALL VENTS MAX. 12" ABOVE EXTERIOR ADJ. GRADE. SEE EXTERIOR ELEVATIONS FOR LOCATION.
2. PROVIDE MINIMUM 1 FOUNDATION VENT FOR EACH CAR PARKING.

NOTE: PROVIDE ADDITIONAL FLOOR & ROOF VENTS THAT COVERED BY NEW ADDITION.



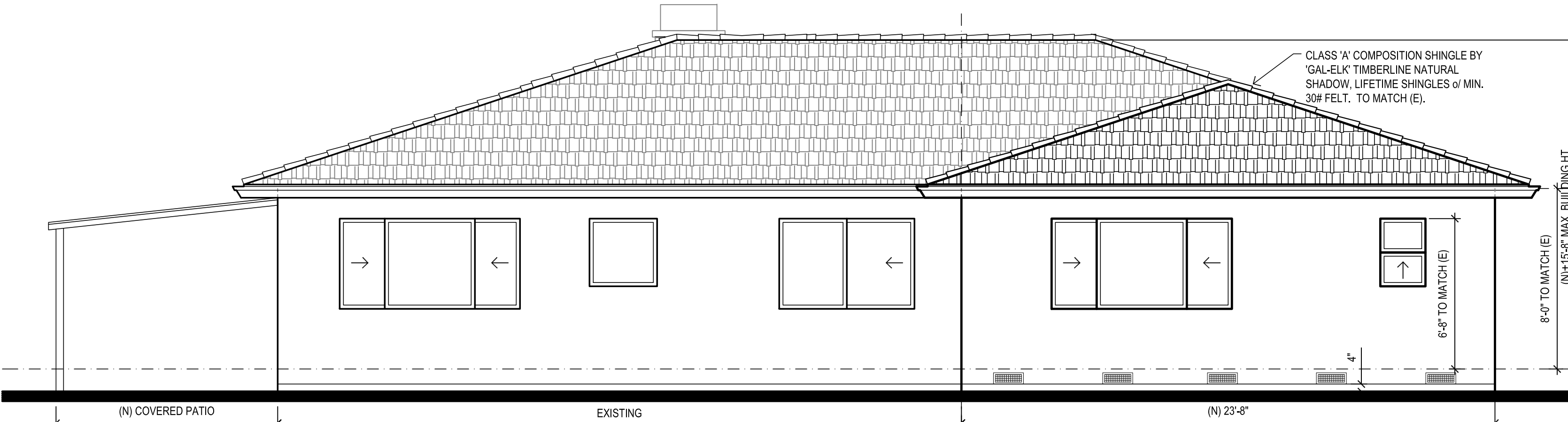
PROPOSED RIGHT SIDE ELEV.

SCALE: 1/4"=1'-0"



(E) REAR ELEV. w/ NEW COVERED PATIO

SCALE: 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



EXISTING FRONT PHOTO



EXISTING RIGHT SIDE PHOTO



EXISTING REAR PHOTO



EXISTING LEFT SIDE PHOTO

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1	P.D.

PROPOSED ELEVATIONS
& EXISTING HOUSE
PHOTOS

AN ADDITION & REMODEL FOR
JIN RONG LIU
584 SARATOGA AVE., SANTA CLARA 95050
APN# 28832-001

FINE CUSTOM HOME
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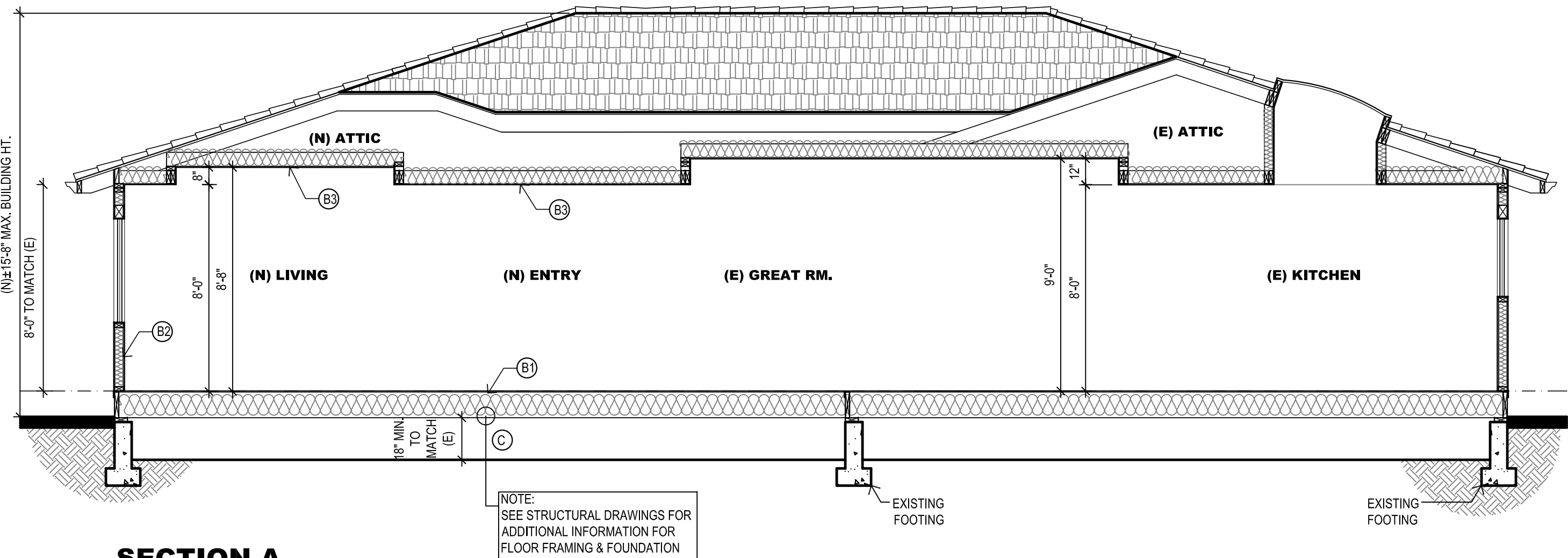
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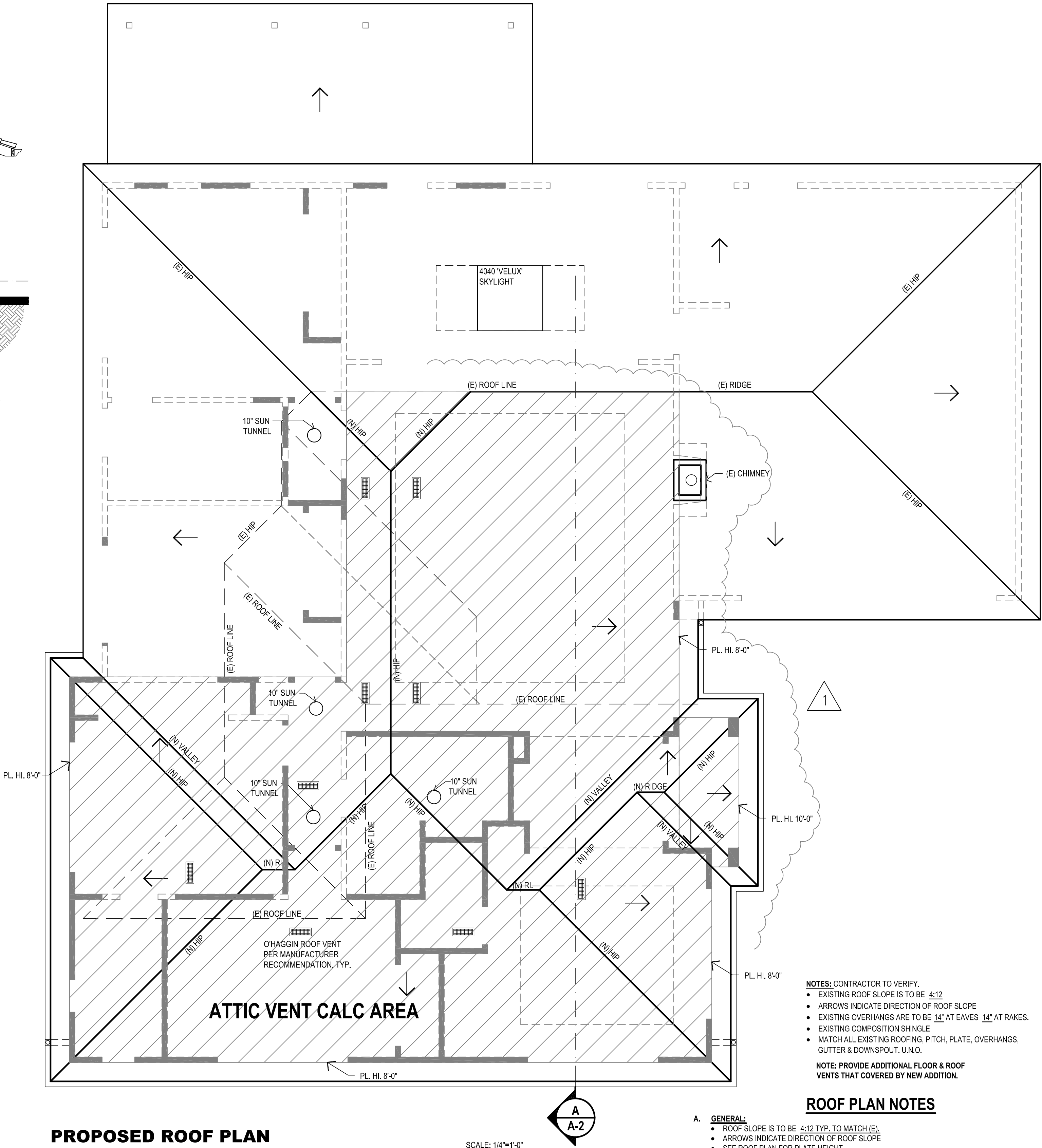
A-3



SECTION A

SECTION NOTES

- A. **GENERAL:**
- SEE OWNER FOR UP-GRADE WATERPROOFING SYSTEM
 - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION FOR FLOOR FRAMING & FOUNDATION
 - SEE OWNER FOR UP-GRADE CABINETS AND APPLIANCES FINISH
- B. **INSULATION:** PER TITLE 24.
- FLOOR: R-19
 - EXTERIOR WALL: R-13 @ 2x4 STUD WALL
 - CEILING: R-19 @ SLOPE CEILING & R-30 @ FLAT CEILING
- C. **CRAWLSPACE:** 10" MINIMUM CLEAR TO MATCH (E).



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

- NOTES:** CONTRACTOR TO VERIFY.
- EXISTING ROOF SLOPE IS TO BE $\frac{4}{12}$ TYP. TO MATCH (E).
 - ARROWS INDICATE DIRECTION OF ROOF SLOPE
 - EXISTING OVERHANGS ARE TO BE 14" AT EAVES 14" AT RAKES.
 - EXISTING COMPOSITION SHINGLE
 - MATCH ALL EXISTING ROOFING, PITCH, PLATE, OVERHANGS, GUTTER & DOWNSPOUT, U.N.O.

NOTE: PROVIDE ADDITIONAL FLOOR & ROOF VENTS THAT COVERED BY NEW ADDITION.

ROOF PLAN NOTES

- A. **GENERAL:**
- ROOF SLOPE IS TO BE $\frac{4}{12}$ TYP. TO MATCH (E).
 - ARROWS INDICATE DIRECTION OF ROOF SLOPE
 - SEE ROOF PLAN FOR PLATE HEIGHT
 - OVERHANGS ARE TO BE 14" AT EAVES 14" AT RAKES TO MATCH (E).
 - SEE MANF. INSTALLATION AND I.C.C. ES-REPORT
 - PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYP.
 - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED
- B. **ROOFING:** CLASS 'A' COMPOSITION SHINGLE BY GAL-ELK TIMBERLINE NATURAL SHADOW, LIFETIME SHINGLES @ MIN. 30# FELT, ICC-ESREPORT# ICC-ESR-1475. PROVIDE DOUBLE UNDERLAYMENT FOR ROOF SLOPE BETWEEN 2:12 & 4:12. TO MATCH (E).
- C. **FASCIA GUTTER w/ DOWNSPOUTS:** 5" 26 GA. GALV. AS REQUIRED. FIELD VERIFY DOWNSPOUT TO BE CLEAR FROM WINDOW, DOOR, GAS METER, ELECTRICAL METER, WATER HEATER & A/C.
- D. **CHIMNEY:**
- 2" ABOVE ANY ROOF/STRUCTURE WITHIN 10' AND NOT LESS THAN 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
 - SPARK ARRESTER SHALL BE APPROVED, SCREENED, ACCESSIBLE & REMOVABLE FOR CLEANING
 - WOOD FRAMED w/ 26 GA. GALV. CRICKET & FLASHING.
- E. **FLASHING AT ROOF TO WALL CONNECTIONS:** 26 GA. GALV.
- F. **SUN TUNNEL:** 10" VELUX. (ER_0199)
- G. **CRICKET:** 26 GA. GALV. FLASHING

ATTIC VENT CALCULATION

ATTIC SPACE	ATTIC AREA	$\frac{1}{2}$ FREE VENT REQD.	$\frac{1}{4}$ FREE VENT REQD.	50% REQD. LOWER ATTIC	LOWER ATTIC EAVE VENT (3) 3" DIA. HOLES @ FREEZE 1 BLOCKING = 21.21 SQ.IN.	UPPER ATTIC COMP. SHINGLE VENT BY OHAGGIN VENT 1 VENT = 72 SQ.IN.
(A)	1,270 SQ.FT.	8,47 SQ.FT.	1,220 SQ.IN.	610 SQ.IN.	29 BLK/G = 615 SQ.IN.	9 VENTS = 648 SQ.IN.
(B)						

VENT LOCATIONS: SEE MANUFACTURER FOR RECOMMENDATION, TYP.

REVISIONS	BY

SECTION & ROOF PLAN

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DRAWN

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SCALE

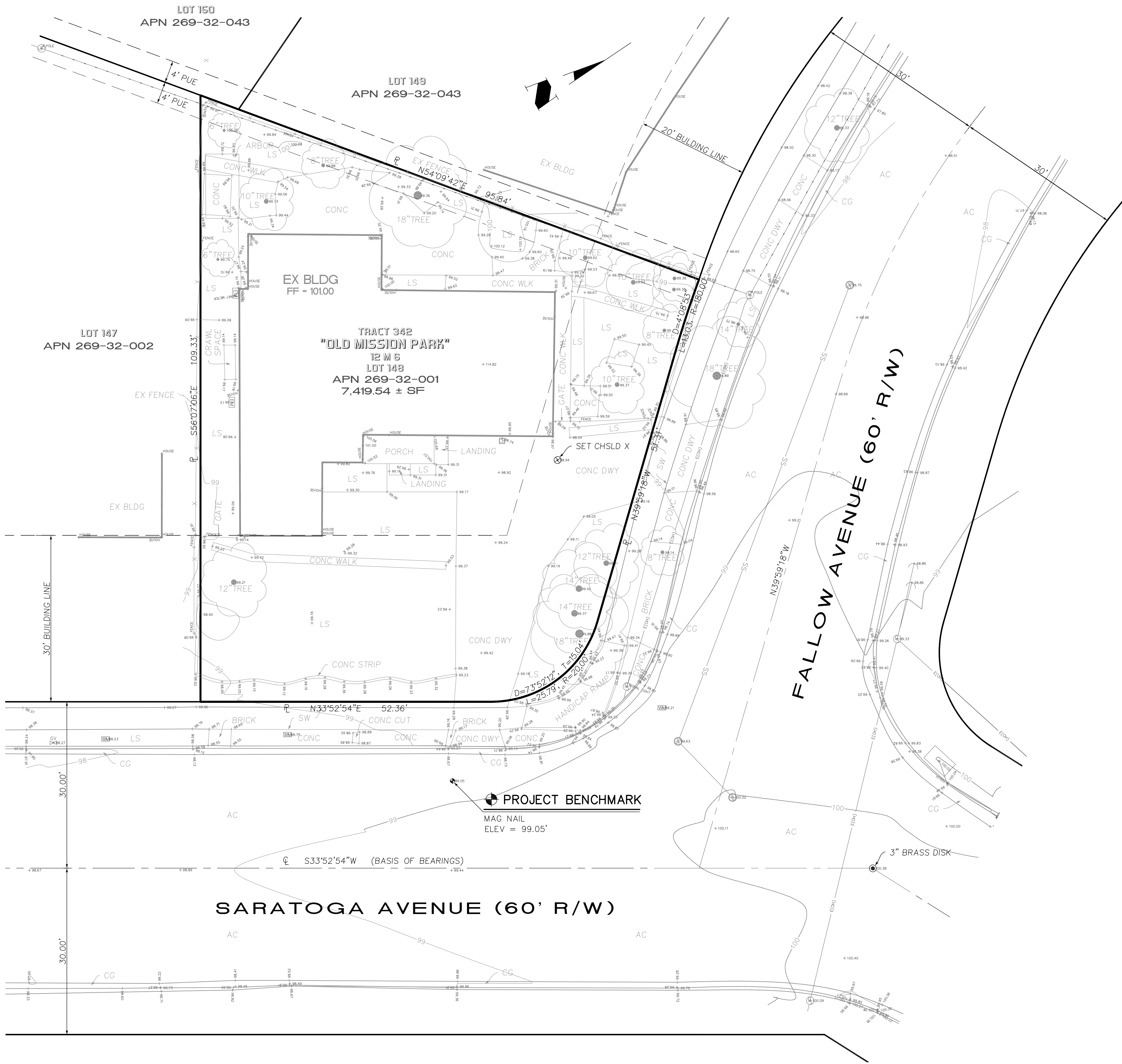
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JOB

2217

SHEET

A-4



LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	⊙	AREA DRAIN
AC	ASPHALT CONCRETE	+	BENCHMARK
AD	AREA DRAIN	—	BOUNDARY
AE	ANCHOR EASEMENT	⊞	CATCH BASIN
BB	BUBBLER BOX	⊞	COBBLE ROCK ENERGY DISSIPATOR
BLDG	BUILDING	—	CONCRETE
BLK	BLOCK	—550—	EXISTING CONTOUR AFTER GRADING
BSL	BUILDING SETBACK LINE	—550—	ORIGINAL GROUND PRIOR TO GRADING
BW	BOTTOM OF WALL/BACK OF WALK	—100.46—	DESIGN GRADE
CG	CURB & GUTTER	⏏	DOWNSPOUT WITH SPLASHBLOCK
CL	CENTERLINE	⏏	DRAINAGE EMITTER
CLF	CHAIN LINK FENCE	⏏	DIVERSION VALVE
CO	SANITARY SEWER CLEANOUT	⏏	BACKWATER VALVE
COP	CURB OPENING	—	DRAINAGE SWALE
CONC	CONCRETE	—	EASEMENT LINE
CSD	COUNTY STANDARD DETAIL	—+101.70—	EXISTING ELEVATION
CVE	CONSERVATION EASEMENT	⊞	EXISTING FENCE
DE	DRAINAGE EMITTER	⊞	EXISTING TREE TO BE REMOVED
DI	DRAINAGE INLET	⊞	EXISTING TREE TO REMAIN
DS	DOWNSPOUT	⊞	FOUND IRON PIPE AT PROPERTY CORNER
DWY	DRIVEWAY	⊞	FIBER ROLLS
EA	EASEMENT	⊞	GAS METER
EB	ELECTRIC BOX	⊞	GAS VALVE
ELEV	ELEVATION	⊞	GRADE TO DRAIN
EM	ELECTRIC METER	⊞	GUY POLE
E(OH)	ELECTRIC OVERHEAD	⊞	GUY WIRE ANCHOR
E(UG)	ELECTRIC UNDERGROUND	⊞	HIGH POINT
EP	EDGE OF PAVEMENT	⊞	HYDRANT: EXISTING
EX	EXISTING	⊞	HYDRANT: PROPOSED
EVA	VEHICLE ACCESS EASEMENT	⊞	INLET
FC	FACE OF CURB	⊞	JOINT POLE
FD	FOUND	⊞	LIGHTING
FF	FINISH ELEVATION OF SUBFLOOR	⊞	LIGHTING POLE
FG	GROUND FINISH GRADE	⊞	LOW POINT
FH	FIRE HYDRANT	⊞	MAIL BOX
FL	FLOW LINE	⊞	MONUMENT WELL
G	GARAGE SLAB ELEVATION/GAS LINE	⊞	OVERLAND FLOW DIRECTION
GPE	GENERAL PUBLIC EASEMENT	⊞	PGE BOX
GSB	GRADING SETBACK	⊞	POST CONSTRUCTION STORM WATER
GM	GAS METER	⊞	POLLUTION CONTROL MEASURE
HP	HIGH POINT	⊞	PROJECT SITE
INV	INVERT	⊞	ROCK RETAINING WALL
LD	LANDING	⊞	RIGHT OF WAY
LIP	LIP OF GUTTER	⊞	SANITARY SEWER CLEAN OUT MANHOLE
LS	LANDSCAPED AREA	⊞	SANITARY SEWER MANHOLE
MAX	MAXIMUM	⊞	STORM DRAIN MANHOLE
MH	MANHOLE	⊞	SUMP PUMP
MIN	MINIMUM	⊞	ELECTRICAL BOX
MW	MONUMENT WELL	⊞	TELEPHONE BOX
N&S	NAIL AND SILVER	⊞	TELEVISION BOX
NTS	NOT TO SCALE	⊞	TEST PIT
OH	OVERHEAD	⊞	TOP OF FILL
OG	ORIGINAL GROUND	⊞	TOE OF FILL
P	PAVEMENT FINISH GRADE	⊞	TOP OF CUT
PAD	PAD ELEVATION	⊞	TOE OF CUT
PE	PATHWAY EASEMENT	⊞	TOE OF BANK
PEE	PEDESTRIAN EQUESTRIAN EASEMENT	⊞	TOE OF GRATE
PERF	PERFORATED	⊞	TPF
PL	PROPERTY LINE	⊞	TW
PP	POWER POLE	⊞	TYP
PROP	PROPOSED	⊞	USAB
PSE	PUBLIC SERVICE EASEMENT	⊞	USAO
PUE	PUBLIC UTILITY EASEMENT	⊞	USAR
PVMT	PAVEMENT	⊞	VO
PVC	POLYVINYL CHLORIDE	⊞	W
R	RADIUS	⊞	WCE
RW	RETAINING WALL	⊞	WLK
REM	REMOVE	⊞	WM
R/W	RIGHT OF WAY	⊞	WOE
SD	STORM DRAIN	⊞	WV
SDE	STORM DRAIN EASEMENT	⊞	
SE	SLOPE EASEMENT	⊞	
SME	SLOPE MAINTENANCE EASEMENT	⊞	
SS	SANITARY SEWER/LATERAL	⊞	
SSE	SANITARY SEWER EASEMENT	⊞	
STA	STATION	⊞	
STD	STANDARD CITY DETAIL	⊞	
SW	SIDEWALK	⊞	
TB	TOP OF BANK	⊞	
TC	TOP OF CURB	⊞	
TEMP	TEMPORARY	⊞	
TOC	TOP OF COVER	⊞	
TOE	TOP OF BANK	⊞	
TG	TOP OF GRATE	⊞	
TPF	TREE PROTECTION FENCE	⊞	
TW	TOP OF WALL	⊞	
TYP	TYPICAL	⊞	
USAB	WATER LINE	⊞	
USAO	CABLES OR CONDUIT	⊞	
USAR	ELECTRIC POWER LINES	⊞	
VO	VALLEY GUTTER	⊞	
W	WATER	⊞	
WCE	WIRE CLEARANCE EASEMENT	⊞	
WLK	WALKWAY	⊞	
WM	WATER METER	⊞	
WOE	WIRE OVERHANG EASEMENT	⊞	
WV	WATER VALVE	⊞	

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 269-32-001
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF SARATOGA AVENUE AS FOUND MONUMENTED AS S33°52'54"W SHOWN ON TRACT NO. 342 "OLD MISSION PARK", RECORDED IN BOOK 12 OF MAPS, AT PAGE 6, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438
10/11/17
DATE



APPLICANT :

ROAD NAME : SARATOGA AVENUE

FILE NO : .

BOUNDARY SURVEY AND TOPOGRAPHIC MAP
LANDS OF
594 SARATOGA AVENUE
APN 269-32-001

California
Santa Clara
1 OF 1

598 E Santa Clara St, #270
San Jose, CA 95122
Phone: (408) 806-7187
Fax: (408) 583-4006

DRAWING NO.
10/10/17
DATE

DESIGNED
10/10/17
DATE

CT
10/10/17
DATE

DRAWN
10/10/17
DATE

SCALE
1" = 10'

CHECKED
10/10/17
DATE

PROJECT NO.
CONTRACT NO.

REVISIONS

APPD
DATE

BY
DATE

NO.