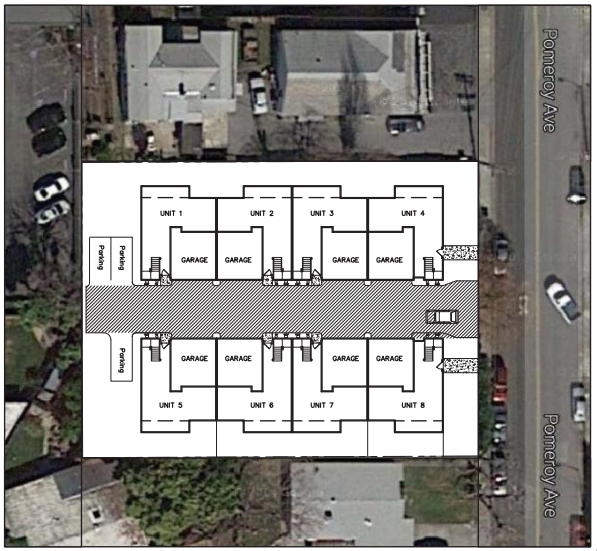
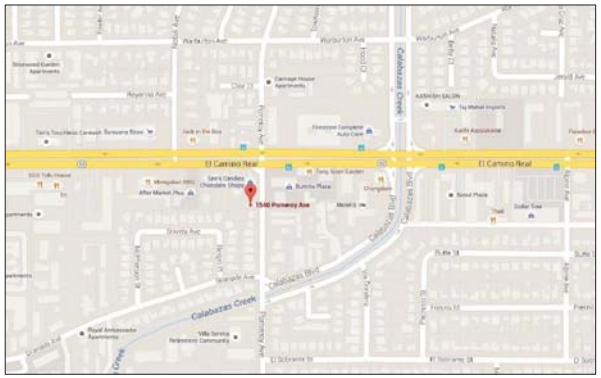
PROPOSED RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE. SANTA CLARA, CA



NORTH

AERIAL EXHIBIT



NORTH

VICINITY MAP

1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

RIGDECREST GROUP , INC
OMID SHAKERI (408) 666-6556

EXISTING GROSS LOT AREA: 21,000 SQ. FT.
APN: 290-02-097 & 096

BUILDING OCCUPANCY: R-3 / U
CONSTRUCTION TYPE: V-B
NUMBER OF STORIES: 2 STORIES
FIRE SPRINKLER: YES (PER 2016 NFPA 13 STANDARD)

PROJECT SCOPE:

8 TWO STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH

UNITS 3 - 4 - 7 - 8 : 4 BEDROOMS

UNITS 1 - 2 - 5 - 6 : 3 BEDROOMS

PARKING PROVIDED: 19 CARS

2 COVERED (IN GARAGE) FOR EACH UNIT
3 GUEST PARKING

BUILDING AREA TABLE

SQUARE FOOTAGE SUMMARY FOR EACH UNIT	
FIRST FLOOR	835 SQ. FT.
SECOND FLOOR	1,045 SQ. FT.
GARAGE AREA	385 SQ. FT.
TOTAL LIVING AREA	1,880 SQ. FT.

FAR	70 %
LOT COVERAGE	46 %

AUTOMATIC RESIDENTIAL FIRE SPRINKLERS TO BE INSTALLED (UNDER SEPARATE PERMIT)

PROJECT SUMMARY

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A1.1 PROJECT DATA
A1.2 SITE PLAN
A1.3 EXISTING SITE PLAN
A1.4 FIRE PREVENTION EXHIBIT
A2.1 FLOOR PLANS
A2.2 FLOOR PLANS
A2.3 TYPICAL FLOOR PLAN (4 Bedrooms)
A2.4 TYPICAL FLOOR PLAN (3 Bedrooms)
A3 EXTERIOR ELEVATIONS

C1 CIVIL COVER SHEET
C2 UTILITY PLAN
C3 GRADING & DRAINAGE
C4 STORM WATER CONTROL PLAN
C5 STORM DRAIN PLAN
C6 DETAILS
TM TENTATIVE PLAN

L1 LANDSCAPE PLANTING PLAN
L2 LANDSCAPE IRIIGATION PLAN
L3 LANDSCAPE NOTES & SPECIFICATIONS
L4 COMMON AREA DETAILS

SHEET INDEX

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408.674.2077

SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 4-11-2016
SCALE: -
DRAWN CB
JOB NO. 14-349
SHEET NO. A1.1
OF SHEETS

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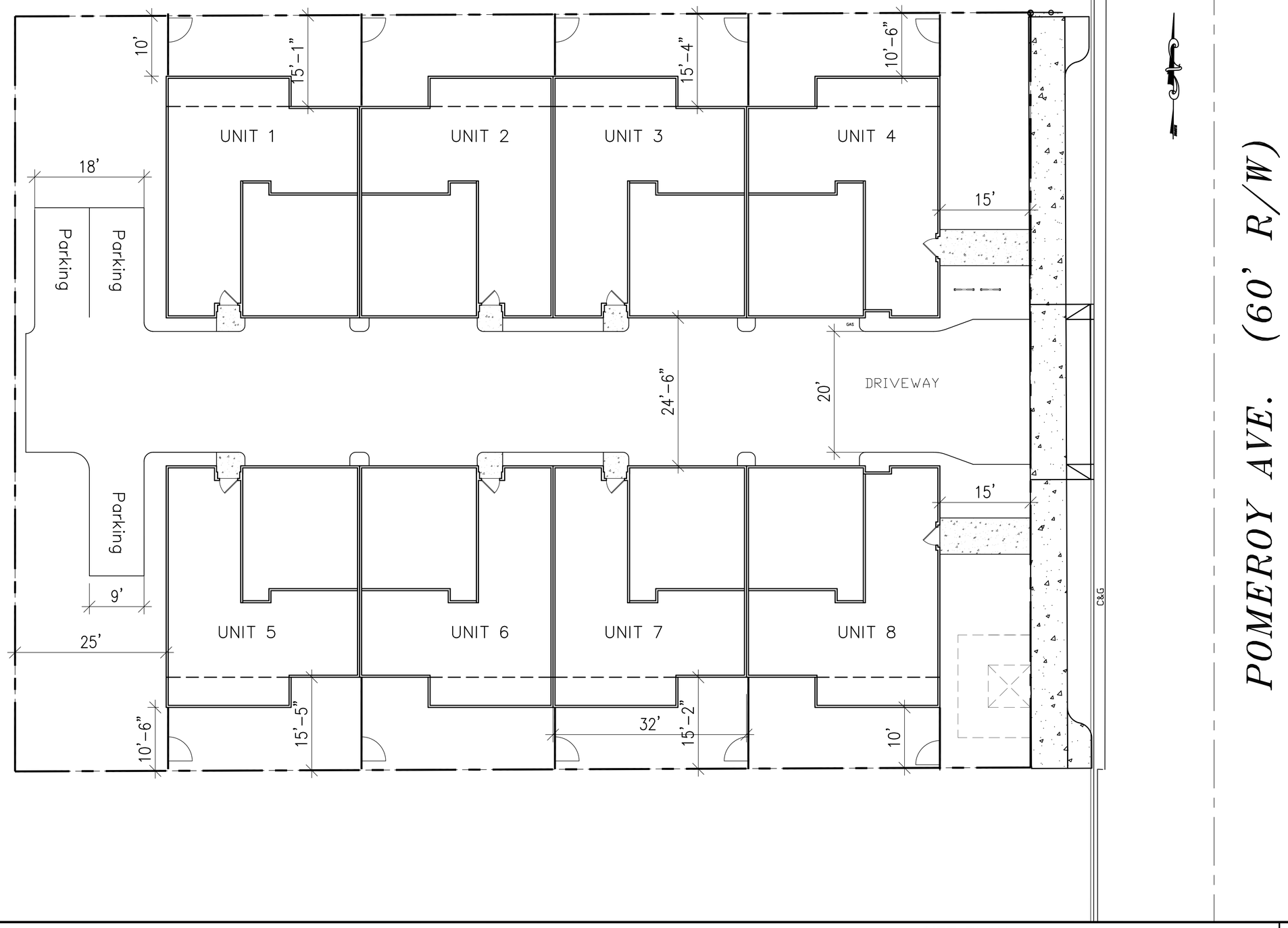

SITE PLAN

1/8" = 1'-0"

REVISIONS	BY

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408.674.2077
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ROCHLIN, CA 95765

SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 8-1-2018
SCALE: 1/8"=1'-0"
DRAWN CB
JOB NO -
SHEET NO. A1.2
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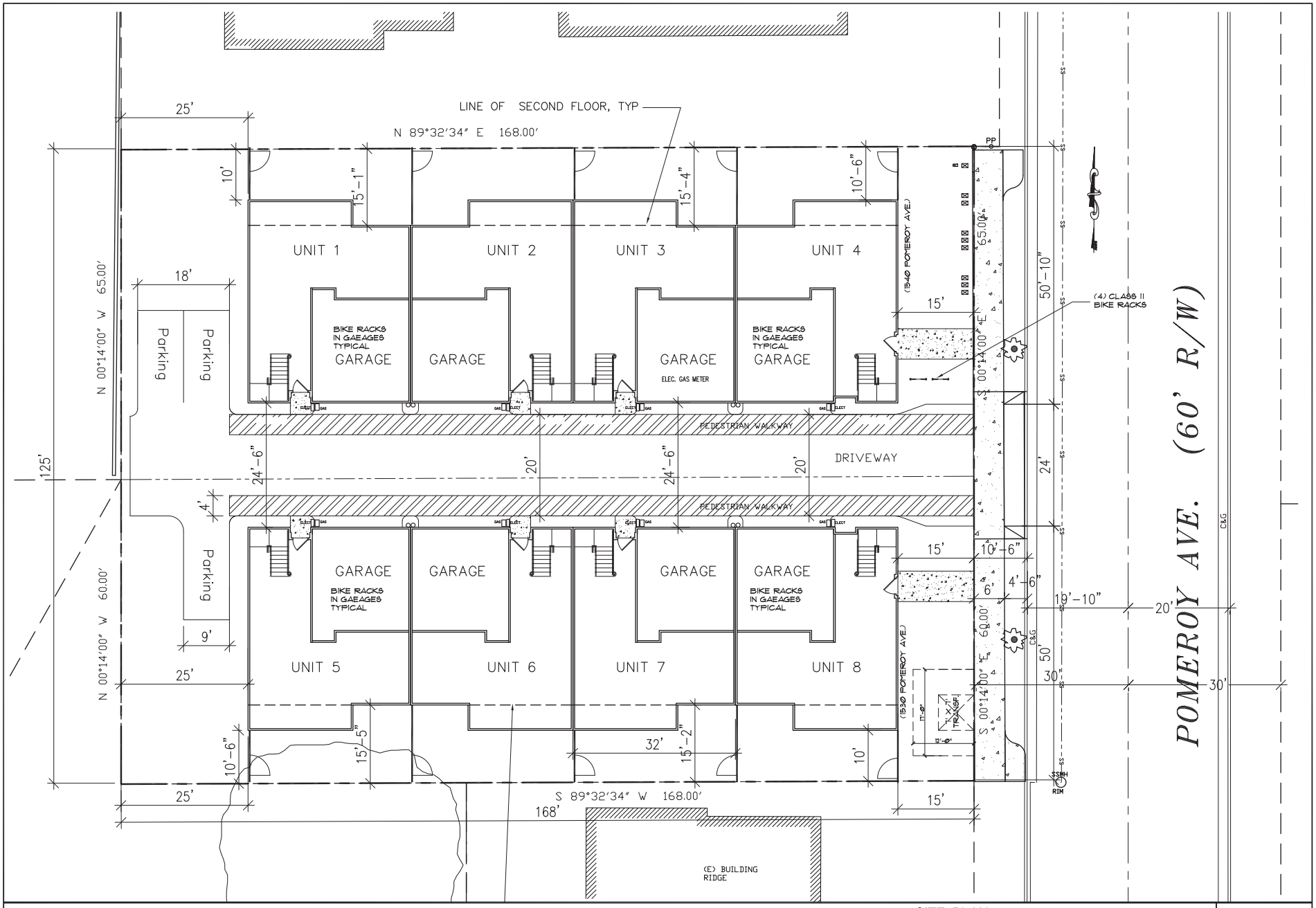

SITE PLAN

1/8" = 1'-0"

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ROCKLIN, CA 95765

SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 11-6-2017
SCALE: 1/8"=1'-0"
DRAWN: CB
JOB NO: -
SHEET NO. A1.2
OF SHEETS

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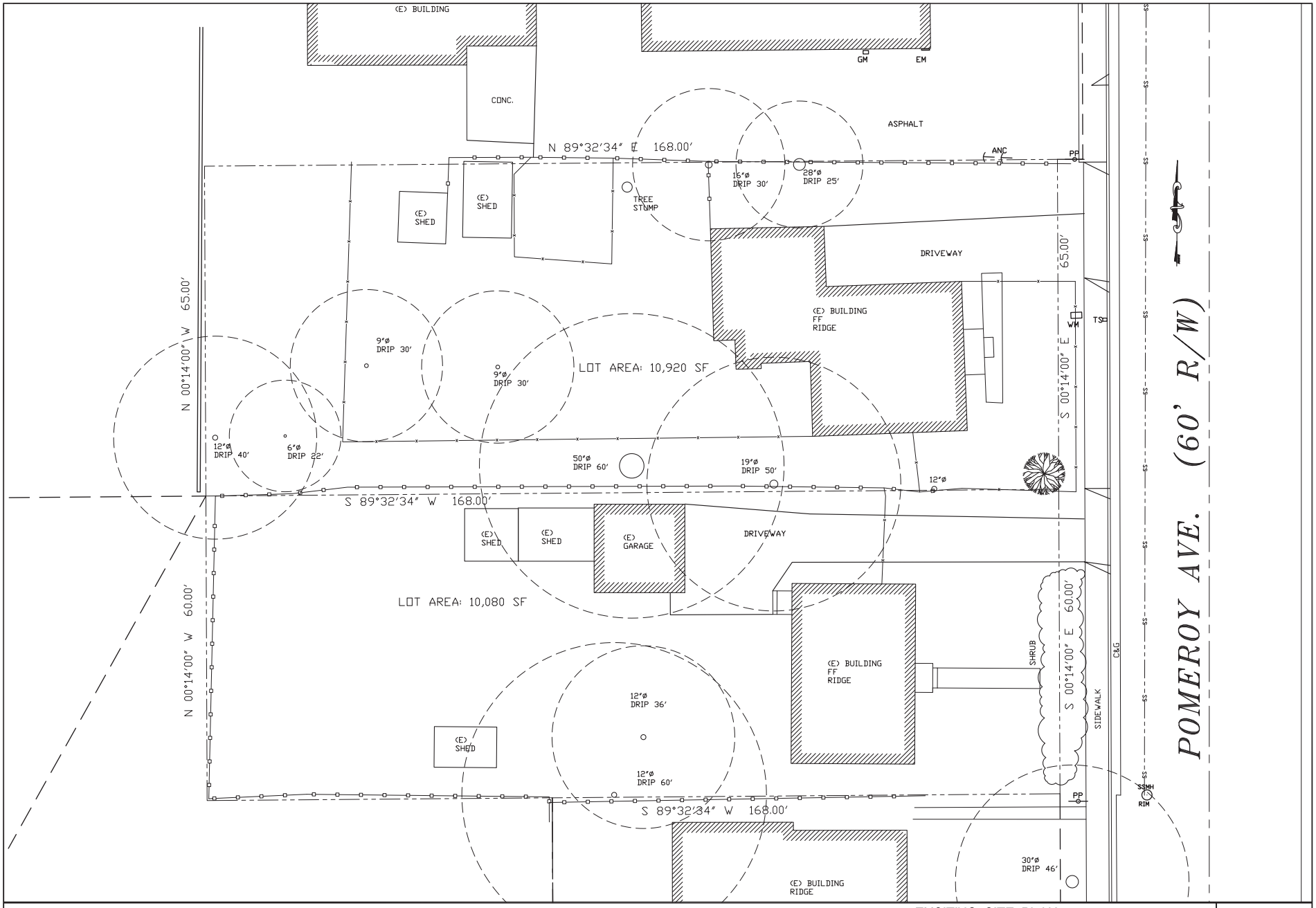

EXSITING SITE PLAN

1/8" = 1'-0"

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EXSITING SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 3-18-2017
SCALE: 1/8"=1'-0"
DRAWN: CB
JOB NO: -
SHEET NO. A1.3
OF SHEETS

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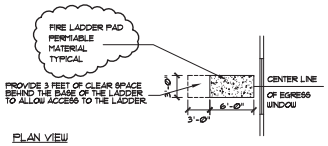
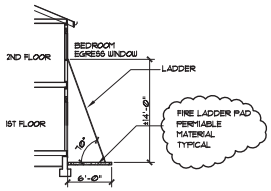


PLAN VIEW

INDICATES LADDER PAD LOCATION

SEE SITE PLAN SHEET A1.1
FOR PADS LOCATION



Exterior Emergency Escape and Rescue Opening Access:

When exterior emergency escape and rescue openings are required by code, they shall be accessible by ladder as follows:

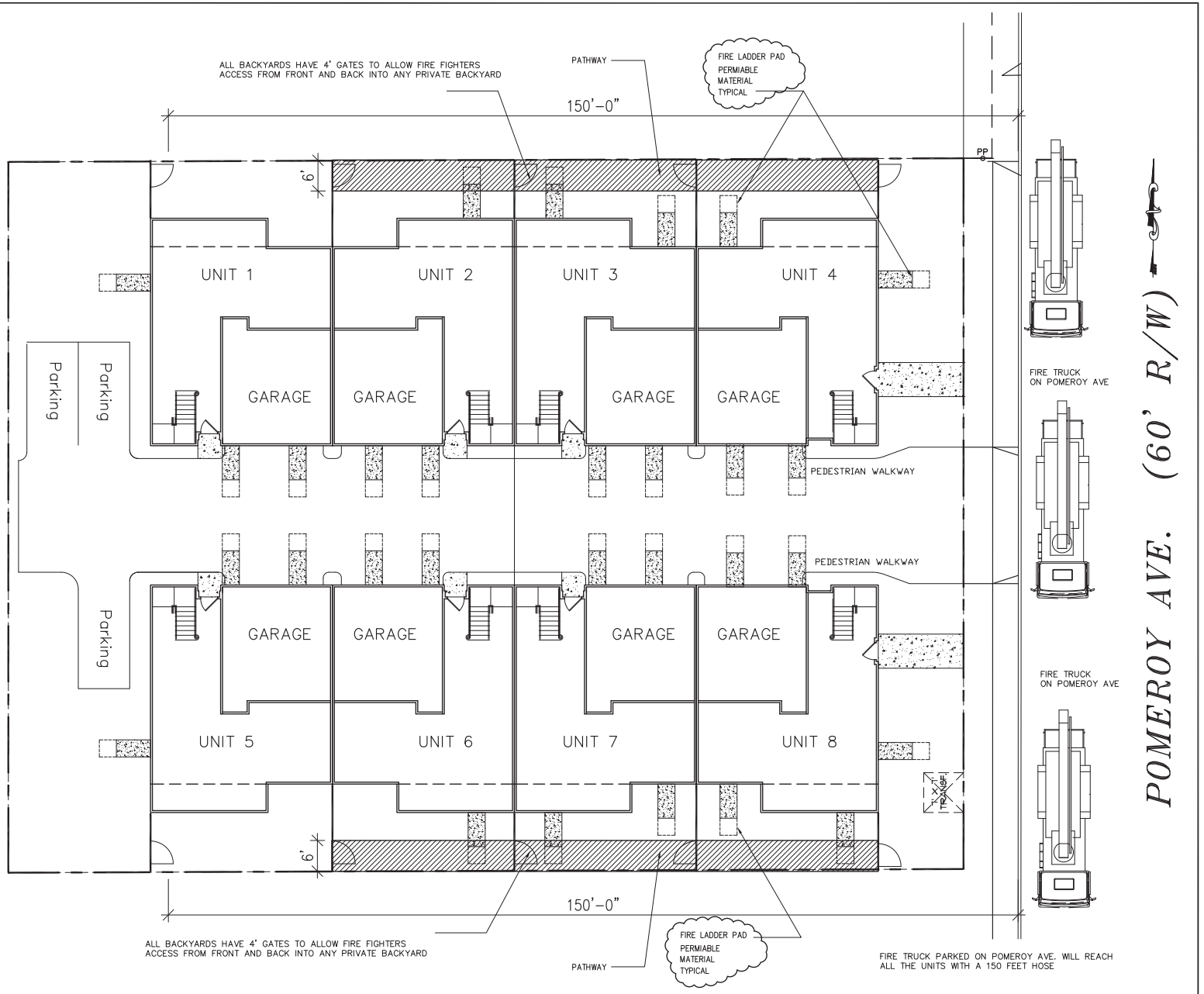
1. Provide straight access (compliant stairs may be used) 4 feet wide to court(s) harboring rescue windows. Illustrate that a 35 foot extension ladder folded to it's carrying size of 14'-0" long by 2'-3" wide by 1'-0" thick, carried by a 3 person team can be maneuvered into all locations with rescue windows.

2. All rescue windows must be accessible. A Stable, Slip Resistant, Level Fire Ladder location (Pad) capable of supporting the weight of the ladder, the firefighter in gear, equipment, and the person to be rescued (no less than 1,000 pounds total). Pads may be of grass, gravel or other permeable materials capable of supporting the ladder without slipping. This Fire Ladder Pad shall be no less than 6'-0" wide by 7'-0" deep and shall allow the unobstructed raising of the ladder free of overhead obstacles. The extended ladder angle must be at least 70° from horizontal or 4:1 slope unless otherwise approved. Provide elevation and plan views with ladder details.

FIRE DEPARTMENT MITIGATION WILL BE AS FOLLOWS:

A- INCREASE THE SPRINKLER DENSITY FOR THE RESIDENTIAL PORTION ONLY FROM A 0.1 GPM/SQ. FT. TO A 0.15 GPM/SQ. FT. TO INCLUDE THE ATTIC SPACES WHERE COVERAGE IS REQUIRED.

B- PROVIDE A FULL VOICE EVACUATION SYSTEM THROUGHOUT THE BUILDING.



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FIRE PREVENTION EXHIBIT

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 11-6-2017
SCALE: 1/8"=1'-0"
DRAWN: CB
JOB NO: -
SHEET NO. A1.4
OF SHEETS

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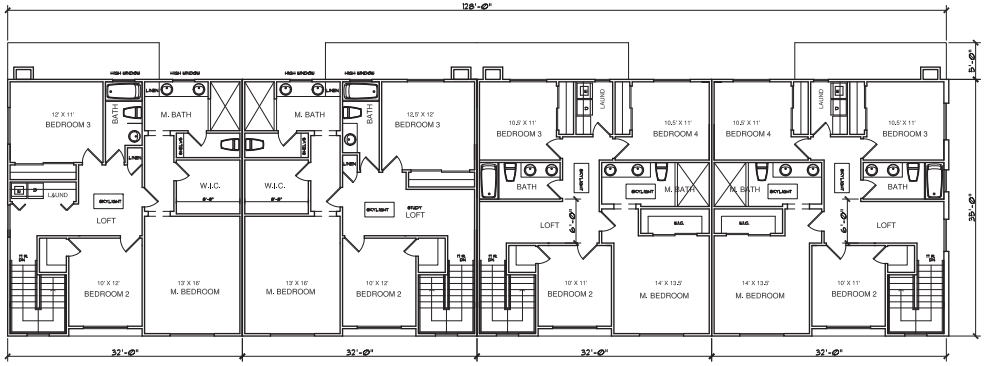
FIRE LADDER EXHIBIT | FIRE PREVENTION EXHIBIT | 1/8" = 1'-0"

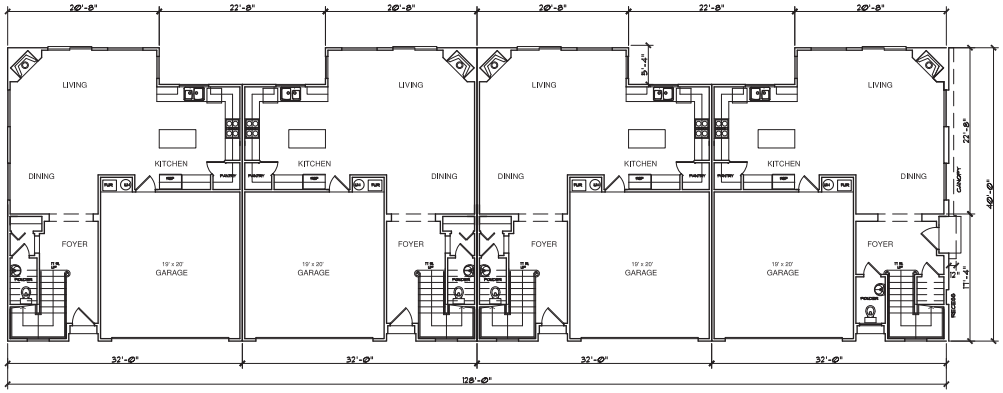


UNIT 1
3 BEDROOMS

UNIT 2
3 BEDROOMS

UNIT 3
4 BEDROOMS

UNIT 4
4 BEDROOMS



UNIT 1

UNIT 2

UNIT 3

UNIT 4

FLOOR PLANS | 1/8"=1'-0"

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FLOOR PLANS

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 3-18-2017
SCALE: 1/4"=1'-0"
DRAWN CB
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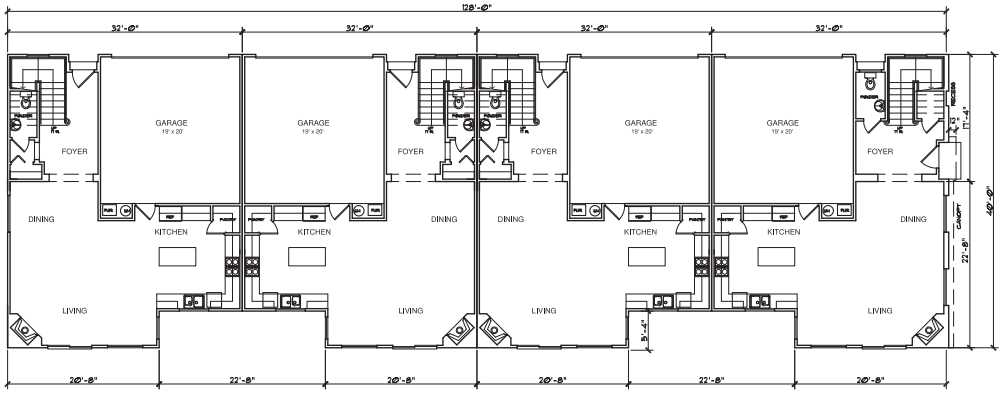
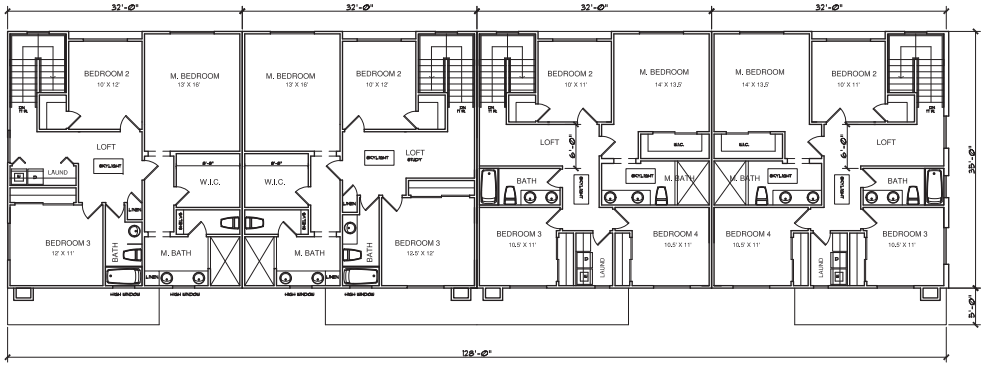


UNIT 5 UNIT 6 UNIT 7 UNIT 8



UNIT 5
3 BEDROOMS

UNIT 6
3 BEDROOMS

UNIT 7
4 BEDROOMS

UNIT 8
4 BEDROOMS

FLOOR PLANS | 1/8"=1'-0"

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FLOOR PLANS

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 3-18-2017
SCALE: 1/4"=1'-0"
DRAWN: CB
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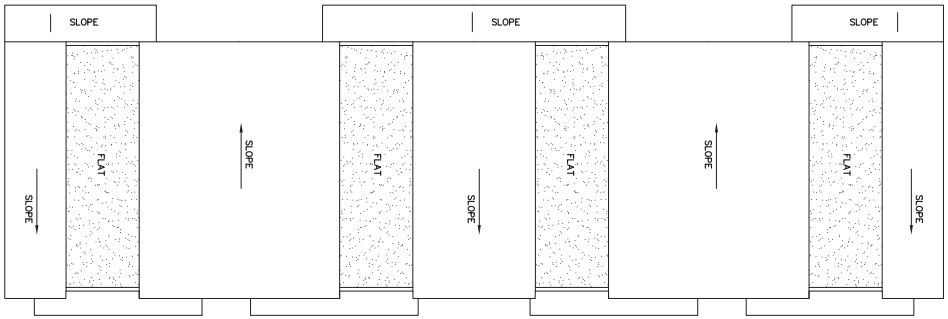
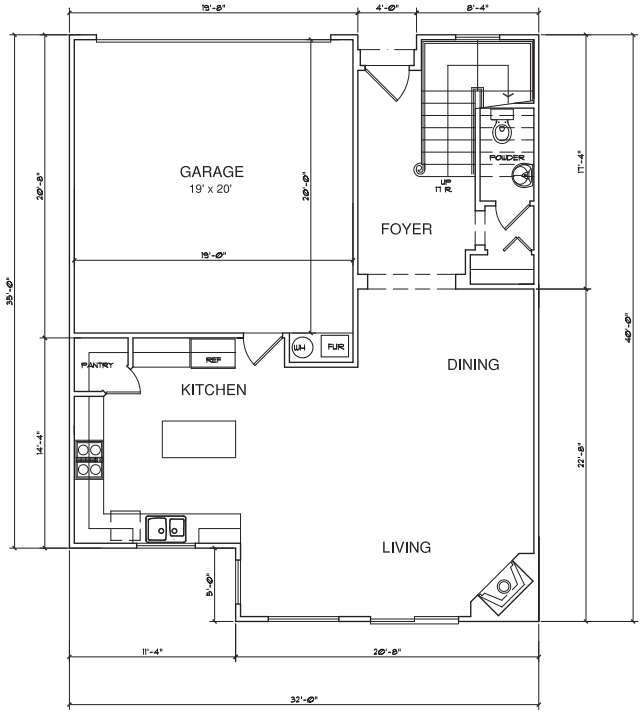
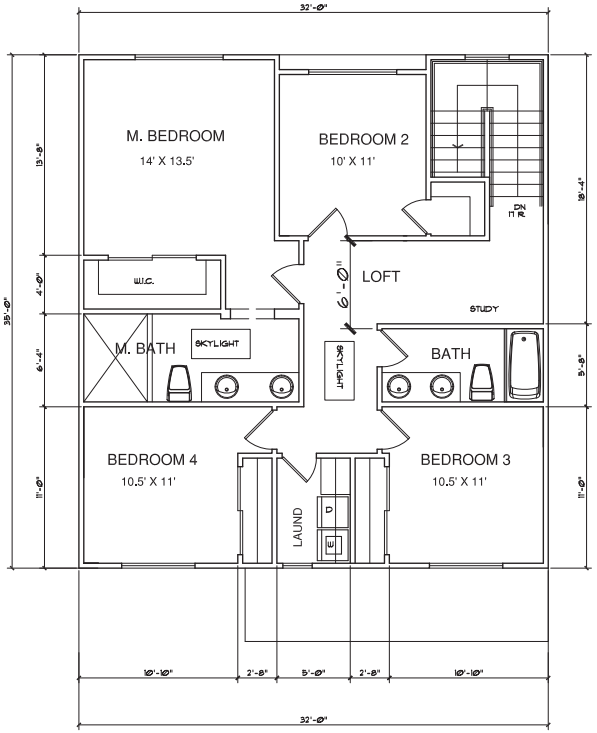


ROOF PLAN 1/8" = 1'-0"



FIRST FLOOR PLAN: 835 S.F.
GARAGE: 385 S.F.

UNITS 3 - 4 - 7 - 8 : 4 BEDROOMS
TOTAL FLOOR PLAN 1.880 S.F.



SECOND FLOOR PLAN: 1,045 S.F.
4 BEDROOMS

TYPICAL FLOOR PLAN 1/4" = 1'-0"

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ROCKLIN, CA 95765

TYPICAL FLOOR PLAN
ROOF PLAN

RESIDENTIAL PROJECT AT:
1141 WESTMONT AVENUE
CAMPBELL, CA

DATE: 3-18-2017
SCALE: NOTED
DRAWN: CB
JOB NO: -
SHEET NO. A2.3
OF SHEETS

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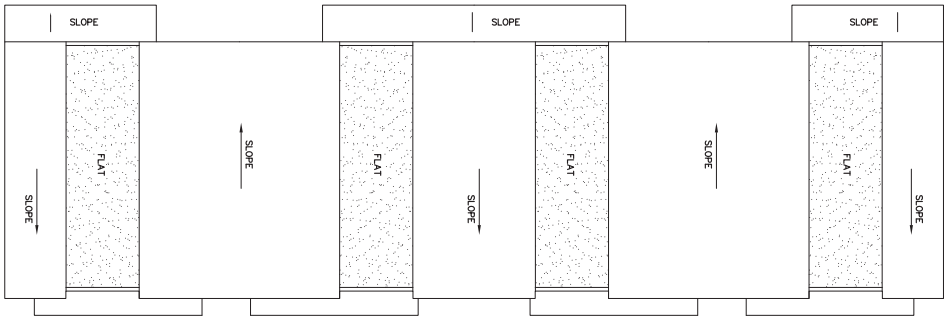
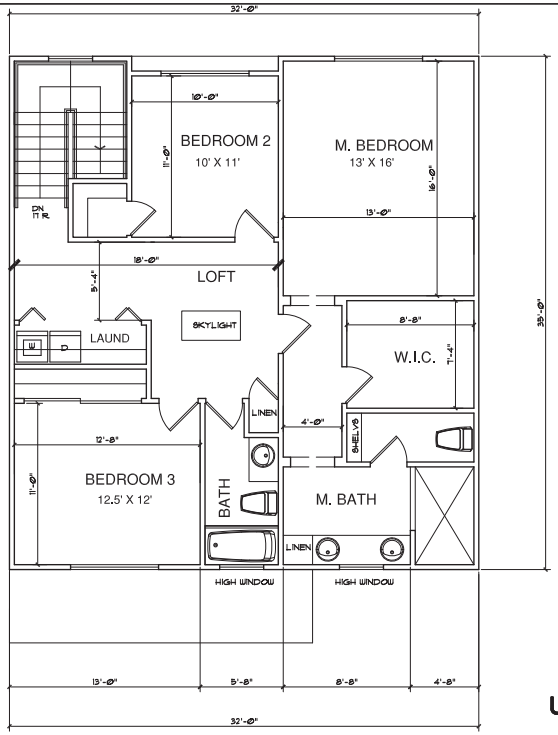
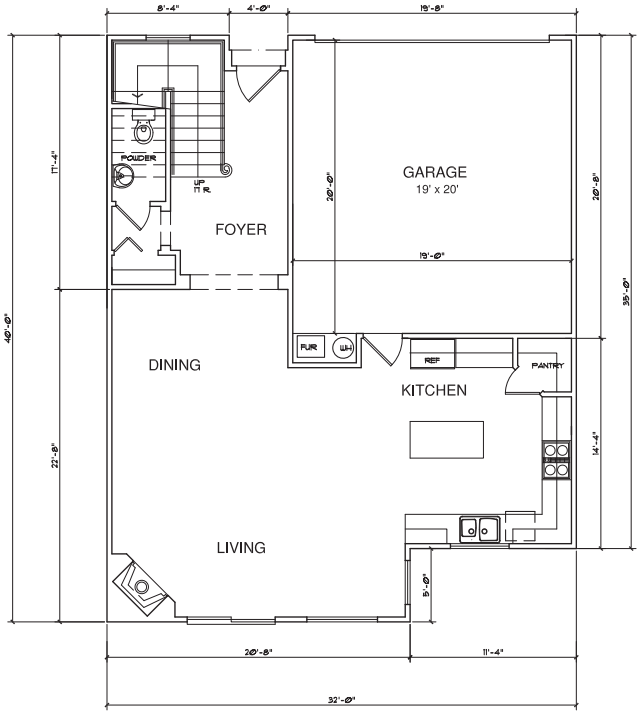


ROOF PLAN 1/8" = 1'-0"





UNITS 1 - 2 - 5 - 6 : 3 BEDROOMS

TOTAL FLOOR PLAN 1.880 S.F.

SECOND FLOOR PLAN: 1,045 S.F.

3 BEDROOMS

FIRST FLOOR PLAN: 835 S.F.
GARAGE: 385 S.F.

TYPICAL FLOOR PLAN 1/4" = 1'-0"

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TYPICAL FLOOR PLAN
ROOF PLAN

RESIDENTIAL PROJECT AT:
1141 WESTMONT AVENUE
CAMPBELL, CA

DATE: 3-18-2017
SCALE: NOTED
DRAWN: CB
JOB NO: -
SHEET NO. A2.4
OF SHEETS

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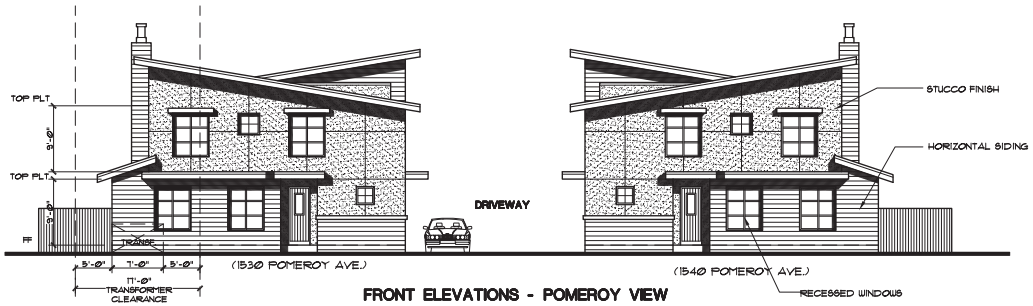
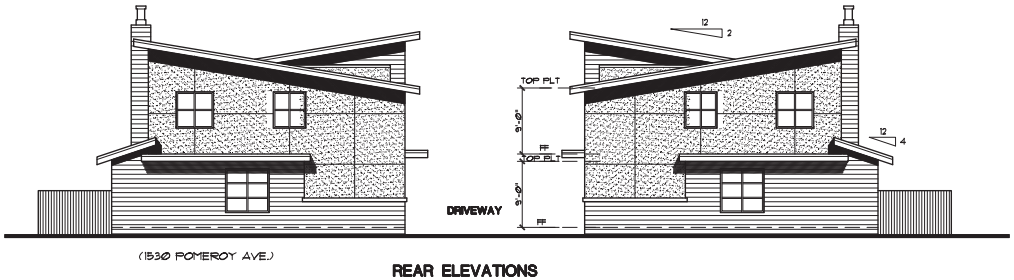
DRIVEWAY ELEVATIONS



FRONT ELEVATIONS - POMEROY VIEW

BACKYARD ELEVATIONS



REAR ELEVATIONS

EXTERIOR ELEVATIONS | 1/8"=1'-0"

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EXTERIOR ELEVATIONS

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 3-18-2017
SCALE: 1/4"=1'-0"
DRAWN: CB
JOB NO: -
SHEET NO. A3
OF SHEETS

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IMPROVEMENT PLANS

NINE (9) LOT SUBDIVISION

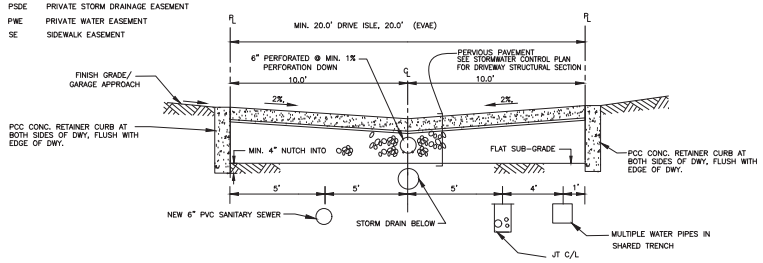
1530/1540 POMEROY AVE. SANTA CLARA, CA 95051

ABBREVIATIONS

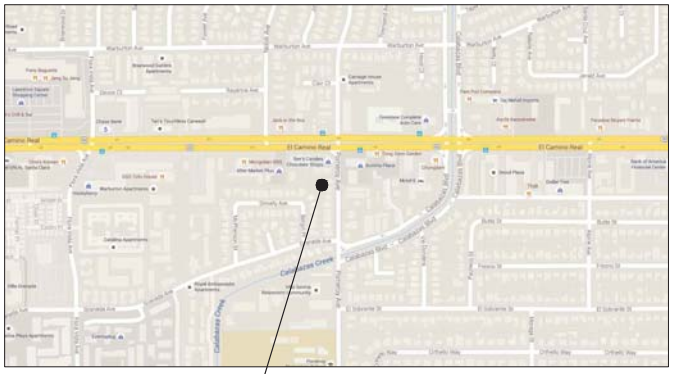
	DESCRIPTION		DESCRIPTION
AB	AGGREGATE BASE	LND'G	LANDING
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	L/S	LANDSCAPE
BC	BACK OF CURB	MON	MONUMENT
BFL	BACKFLOW PREVENTOR	(N)	NEW
BW	BOTTOM OF WALL	O.R.	OVERLAND RELEASE
C&G	CURB AND GUTTER	PB	PULL BOX
℄/℄	CENTERLINE	PG&E V	PG&E VAULT
CLSW	CENTERLINE SWALE	P/L	PROPERTY LINE
CO	CLEANOUT	PP	POWER POLE
CP	CONTROL POINT	PPP	PLASTIC PERFORATED PIPE
DI	DROP INLET	PSE	PUBLIC SERVICE EASEMENT
D-S	DOWN-SPOUT	PVC	POLYVINYL CHLORIDE
DTL	DETAIL	R/W	RIGHT OF WAY
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SB	SETBACK
EP	EDGE OF PAVEMENT ELEVATION	SD	STORM DRAIN
EUC	EUCALYPTUS TREE	SDMH	STORM DRAIN MANHOLE
(E),EX	EXISTING	STD	STANDARD
FF	FINISH FLOOR	SS	SANITARY SEWER
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOWLINE	TC	TOP OF CURB
FNC	FENCE	TF	TOP OF FOUNDATION
FOC	FACE OF CURB	TG	TOP OF GRATE
GB	GRADE BREAK	TOS	TOP OF SLAB
GUY	GUY WIRE	TP	TOP OF PAVEMENT
HP	HIGH POINT	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	(TYP)	TYPICAL
INV	INVERT	VCP	VITRIFIED CLAY PIPE
JP	JOINT POLE	WL	WHITE LINE STRIPE
JB	JUNCTION BOX (UTILITY)	WLK	WALKWAY
LIP	LIP OF GUTTER	WM	WATER METER
		WV	WATER VALVE

EASEMENT ABBREVIATIONS:

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
UGEE	UNDERGROUND ELECTRICAL EASEMENT
PIEE	PRIVATE INGRESS/ EGRESS EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PWE	PRIVATE WATER EASEMENT
SE	SIDEWALK EASEMENT



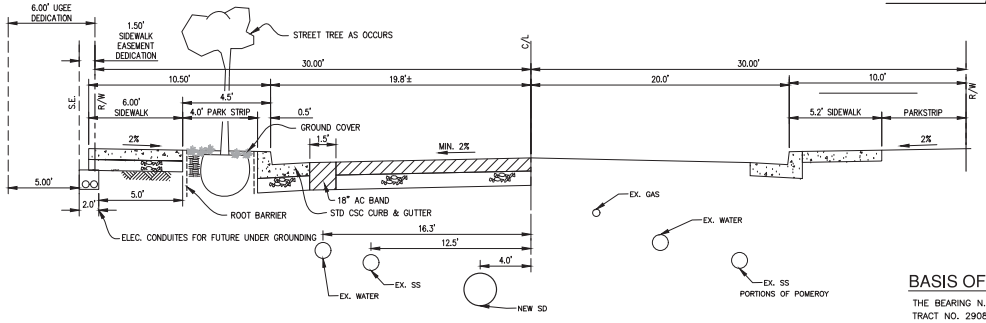
PRIVATE STREET TYPICAL SECTION
NTS



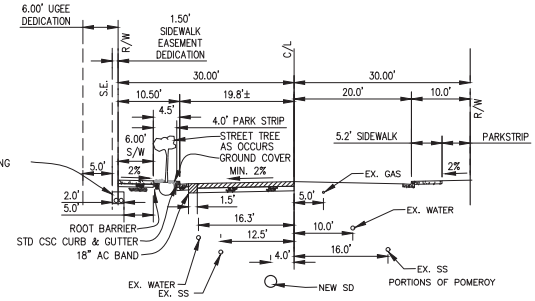
LOCATION MAP
N.T.S.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STREET CENTER LINE
		DISTINCTIVE BORDER LINE
		EASEMENT LINE
		LOT LINE
		BUILDING FOOTPRINT
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUD	SUD	SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH (UNDERGROUND)
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
SSMH	SSMH	SANITARY SEWER MANHOLE
SDMH	SDMH	STORM DRAIN MANHOLE
		SURVEY CITY MONUMENT
		ELECTROLIER
WM	WM	WATER METER
		TREE WITH TRUNK
		STREET TREE
x x	x x	6' WOODEN FENCE
x102.23	102.23	SPOT ELEVATION
		TREE PROTECTION FENCE 5' TALL CHAIN LINK
		EARTHSWALE
		CONCRETE SWALE
		INLET/ JUNCTION BOX
		AREA DRAIN
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		DOWN-SPOUT



TYPICAL POMEROY AVENUE STREET SECTION (60.00' R-O-W)
NTS



TYPICAL POMEROY AVENUE STREET SECTION (60.00' R-O-W)
SCALE: 1" = 10'

SHEET INDEX:

C-1	COVER SHEET
C-2	UTILITY PLAN
C-3	GRADING AND DRAINAGE PLAN
C-4	STORMWATER CONTROL PLAN
C-5	STORM DRAIN MAIN IN POMEROY
C-6	DETAILS

BASIS OF BEARINGS:

THE BEARING N. 0°14'00" W. OF THE CENTERLINE OF POMEROY AVE., AS SHOWN UPON CERTAIN TRACT NO. 2908, RECORDED IN BOOK 140 OF MAPS AT PAGE 31, WAS TAKEN AS BASIS OF BEARINGS FOR THIS SURVEY MAP.

REFERENCED CITY OF SANTA CLARA B.M

BM # E-13 CHISLED CROSS ON SE BOLT IN TRAFFIC LIGHT BASE, AT NW CORNER OF EL CAMINO REAL & POMEROY AVE. EL.: 91.06' (NAVD8

APPROVED: Rajeev Batra
Director of Public Works/ City Engineer, City of Santa Clara

Engineering Department — Date

REVIEWED:

Land and Property Development Division — Date

Water and Sewer Utilities — Date

Street Department — Date

Silicon Valley Power — Date

Traffic Division — Date

SMP ENGINEERS CIVIL ENGINEERS
1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:
ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051
COVER SHEET

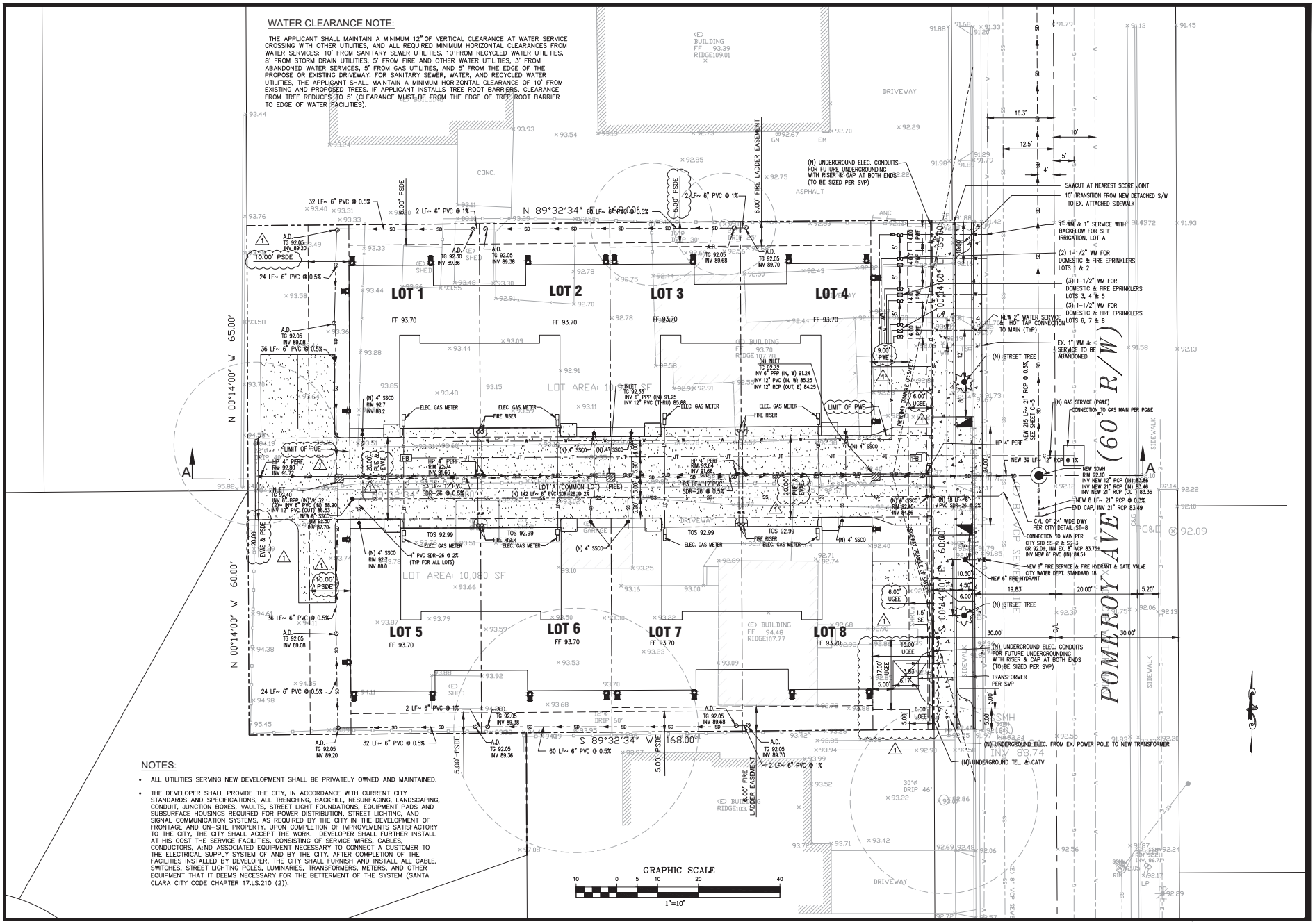
Revisions:
1 1/2/2018
PLAN CHECK COMMENTS DATED 12/8/2017

REGISTERED PROFESSIONAL ENGINEER SAEID RAZAVI EXPIRES 12-31-2018 No. C52724 CIVIL STATE OF CALIFORNIA

Date: 5/15/2018
Scale:
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

WATER CLEARANCE NOTE:

THE APPLICANT SHALL MAINTAIN A MINIMUM 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES: 10' FROM SANITARY SEWER UTILITIES, 10 FROM RECYCLED WATER UTILITIES, 8' FROM STORM DRAIN UTILITIES, 5' FROM FIRE AND OTHER WATER UTILITIES, 3' FROM ABANDONED WATER SERVICES, 5' FROM GAS UTILITIES, AND 5' FROM THE EDGE OF THE PROPOSE OR EXISTING DRIVEWAY. FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES, THE APPLICANT SHALL MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF APPLICANT INSTALLS TREE ROOT BARRIERS, CLEARANCE FROM TREE REDUCES TO 5' (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES).



NOTES:

- ALL UTILITIES SERVING NEW DEVELOPMENT SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THE DEVELOPER SHALL PROVIDE THE CITY, IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS, ALL TRENCHING, BACKFILL, RESURFACING, LANDSCAPING, CONDUIT, JUNCTION BOXES, VAULTS, STREET LIGHT FOUNDATIONS, EQUIPMENT PADS AND SUBSURFACE HOUSINGS REQUIRED FOR POWER DISTRIBUTION, STREET LIGHTING, AND SIGNAL COMMUNICATION SYSTEMS, AS REQUIRED BY THE CITY IN THE DEVELOPMENT OF FRONTAGE AND ON-SITE PROPERTY. UPON COMPLETION OF IMPROVEMENTS SATISFACTORY TO THE CITY, THE CITY SHALL ACCEPT THE WORK. DEVELOPER SHALL FURTHER INSTALL AT HIS COST THE SERVICE FACILITIES, CONSISTING OF SERVICE WIRES, CABLES, CONDUCTORS, AND ASSOCIATED EQUIPMENT NECESSARY TO CONNECT A CUSTOMER TO THE ELECTRICAL SUPPLY SYSTEM OF AND BY THE CITY. AFTER COMPLETION OF THE FACILITIES INSTALLED BY DEVELOPER, THE CITY SHALL FURNISH AND INSTALL ALL CABLE, SWITCHES, STREET LIGHTING POLES, LUMINARIES, TRANSFORMERS, METERS, AND OTHER EQUIPMENT THAT IT DEEMS NECESSARY FOR THE BETTERMENT OF THE SYSTEM (SANTA CLARA CITY CODE CHAPTER 17.LS.210 (2)).

SMP ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:

ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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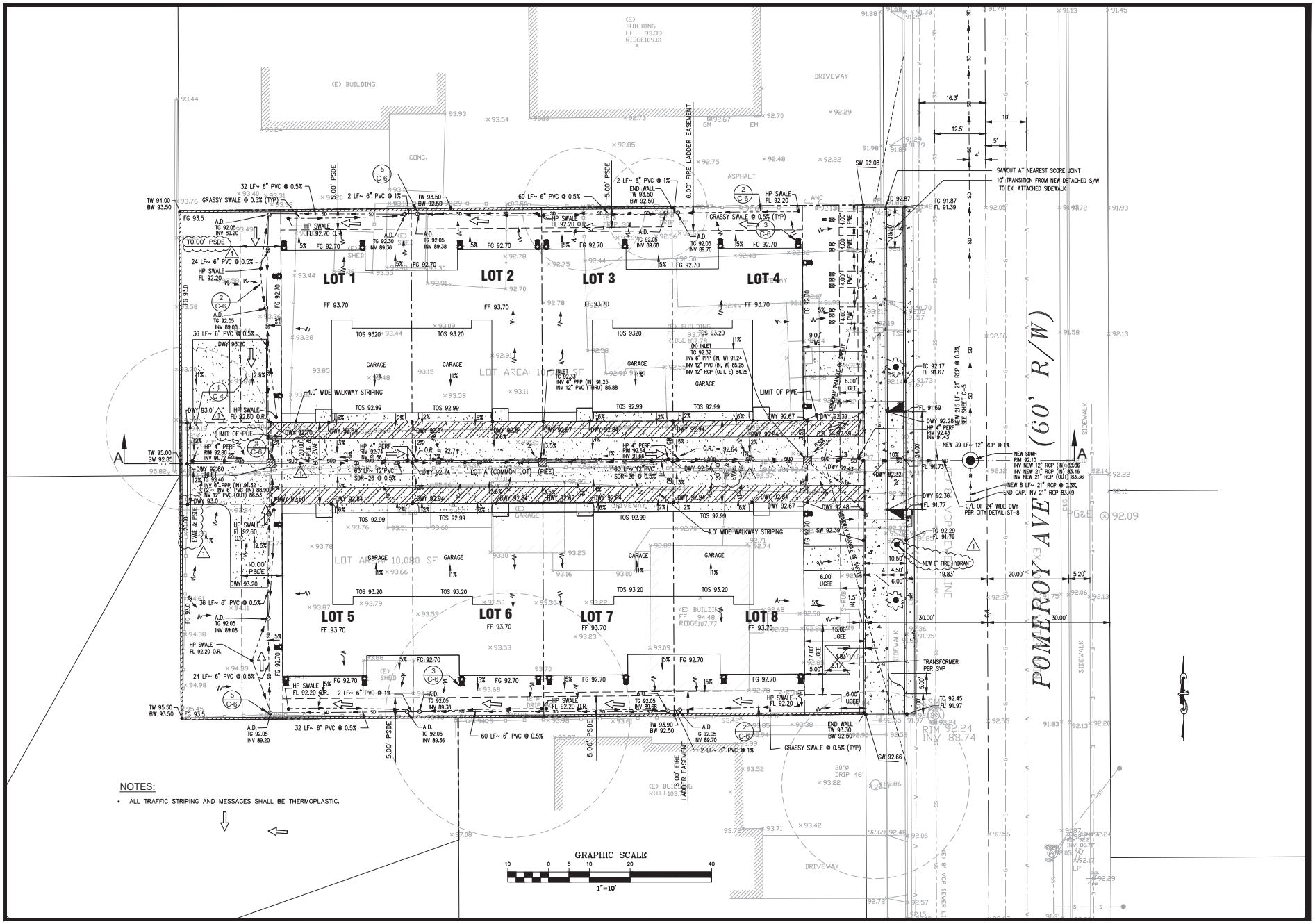
IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051
UTILITY PLAN

Revisions:

REGISTERED PROFESSIONAL ENGINEER
SAID TO RAZAVI
EXPIRES 12-31-2018
No. C52724
CIVIL
STATE OF CALIFORNIA

Date: 5/15/2018
Scale: 1" = 10'
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet: 2 OF 6
C-2



SMP
ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:

ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051

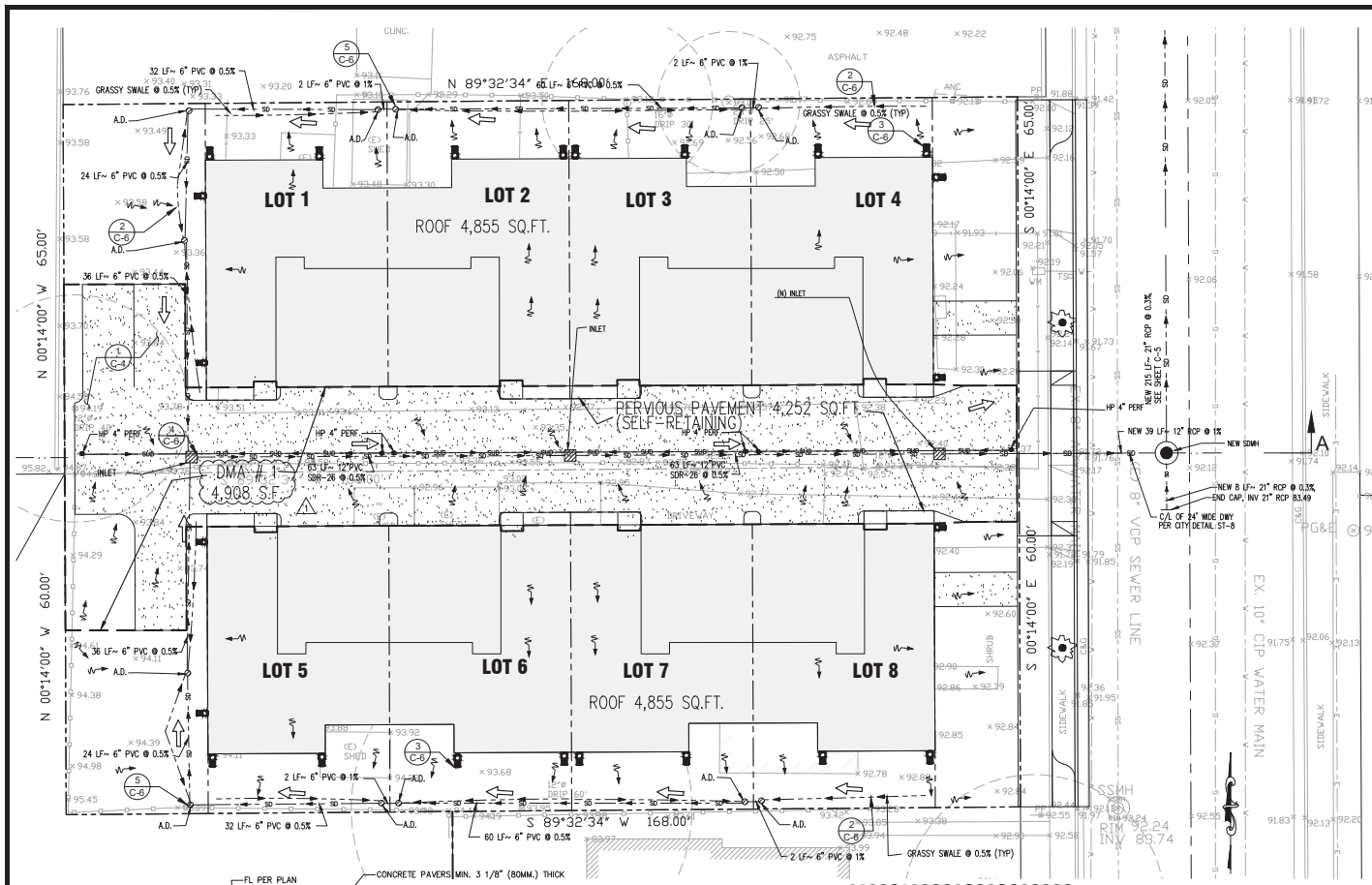
GRADING AND DRAINAGE PLAN

Revisions:

REGISTERED PROFESSIONAL ENGINEER
SAID TO RAZAVI
EXPIRES 12-31-2018
No. C62724
CIVIL
STATE OF CALIFORNIA

Date: 5/15/2018
Scale: 1" = 10'
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet: 3 OF 6
C-3



Compliance with NPDES Permit Provision C.3:

The San Francisco Bay Regional Water Quality Control Board (SFRWQCB) incorporated updated requirements into Santa Clara County's National Pollution Discharge Elimination System (NPDES) Permit in August 06. These updated stormwater quality control requirements are predominantly in the category of new development discharge controls. The Permit requires that permanent, post-construction stormwater quality control measures be implemented as part of development projects.

Updated stormwater quality control measures include:
- Source Control Measures
- Site Design Measures
- Treatment Control Measures

Beginning August 15, 2006, all projects creating or replacing 10,000 sq. ft. or more of impervious surface area must design and install a permanent post-construction stormwater treatment facility on the site. The system must be design and installed according to numeric sizing criteria.

All projects, regardless of size that create or replace impervious surface may be required to install stormwater quality controls to the maximum extent practicable.

This project proposes to implement appropriate source control and site design measures. The project creates/replaces LESS THAN 10,000 SQFT of impervious surface area, therefore, it is not required to provide stormwater treatment facilities based on numeric sizing criteria. However, the project proposes to implement stormwater treatment measures to maximize the removal of pollutants to the maximum extent practicable.

1 Source Control Measures:

- Covered material storage and Garage.

2 Site Design Measures:

- Pervious pavement driveways, walkways and parking stalls with underdrain,
- Maximized landscaping areas to promote on-site infiltration as much as possible.
- Disconnected Roof downspouts & splash blocks that deflect the water away from the building and flow to on-site landscaped areas and Earthswales.

3 Stormwater Treatment Measures:

NOT APPLICABLE

Pervious Walkways and Driveway Maintenance:

The maintenance activity schedule presented below is based on recommendations provided in the California Stormwater BMP Handbook–New and Redevelopment, and the Interlocking Concrete Pavement Institute Manual (Second Edition).

The following maintenance activities should be performed on an ongoing basis:
a) Keep landscaped areas well maintained;
b) Prevent soil being washed onto pavement;

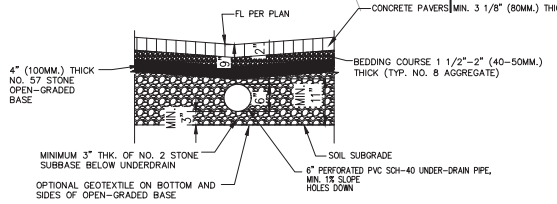
The following maintenance activities should be performed 2–3 times per year:

a) Vacuum clean surface using commercially available sweeping machines at the following times:

- End of Winter (April)
- Mid-Summer (July/August)
- After Autumn-leaf fall(November)

The following maintenance activities should be performed on as-needed (infrequent) basis, maximum 15–20 years:

a) If routine cleaning does not restore infiltration rates, then reconstruction of part of the whole of a previous surface may be required;
b) The surface area affected by any observed hydraulic failure should be lifted for inspection of the internal materials to identify the location and the extent of the blockage;
c) Surface materials should be lifted and replaced after brush cleaning. Geotextiles may need complete replacement;
d) Subsurface layers may need cleaning and replacing;
e) Removed silts may need to be disposed of as controlled weeds;
f) Repair ruts or deformations in pavement exceeding ½–inch or 13 mm;
g) Replace broken paver units that impair the structural integrity of the surface;
h) Replenish aggregate surface joint materials.



1 *PERVIOUS CONCRETE PAVERS DRIVEWAY & UNDER-DRAIN DETAIL*

NTS

HATCH KEY:

- IMPERVIOUS AREA (ROOF)
- PERVIOUS PAVERS (SELF RETAINING)
- LANDSCAPE AREA

LEDGEND

- DRAINAGE MANAGEMENTY AREA (DMA)

GRAPHIC SCALE

10 0 5 10 20 40

1"=10'

1

SIZING FOR VOLUME BASED TREATMENT

Step 1: Drainage Area and % Impervious	DMA # = 1; A= 4908 s.f.; Impervious Area = 656 s.f.; Pervious Pavement Area = 4252 s.f.	% Imperviousness (I)= 13.37%
Step 2: Calculate Correction Factor	MAPsite = 14; MAPgage = 13.9; Pf(gage) = 0.512 in	Correction Factor= 1.0072
Step 3: Calculate Mean Storm Event at the Site	Pf(site)= Pf(gage) x Correction Factor; Pf(site): 0.51588 in	
Step 4: Calculate the Watershed Runoff Coefficient (Cw)	Cw= 0.858*I^2 + 0.778*I + 0.04; Cw: 0.131566; Regression Factor (a) a = 1.953 (48 hour draw down)	
Step 5: Calculate Maximized Detention Storage Volume (Po)	Po = a x Cw x Pf(site); Po: 0.13318 in; Design Volume = Po x A x 1ft/12in; **Design Volume = 54.4718 ft^3**	

SELF RETAINING (PERVIOUS PAVEMENT)

	Porosity of Rock*	Min. Storage Depth Required (in)	Pervious ≥ 1/2 Impervious**
Step 6: Calculate Min. Storage Depth Required.	0.40	0.38	Yes

Minimum Storage Depth = Design Volume (c.f.) / Pervious Pavement Area (s.f.) / rock porosity x 12 in/1 ft

* Porosity of Class II Permeable = 0.4 based on SCVULRP training.

** If ratio = "No" increase size of pervious pavement.

PRE-CONSTRUCTION VS. POST-CONSTRUCTION IMPERVIOUS AREA COMPARISON

PRE-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	MATERIAL
2 EX. HOUS AND DETACHED GARAGE	2,598	0.060	12.4%	ROOFING
SHEDS	600	0.014	2.9%	ROOFING
AC DWY	1,187	0.027	5.7%	AC
WALKWAYS, PORCH, PATIOS	285	0.007	1.4%	CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	**4,670**	**0.107**	**22.2%**	**IMPERVIOUS**
TOTAL PROJECT PERVIOUS AREA	**16,330**	**0.375**	**77.8%**	**PERVIOUS**
TOTAL SITE AREA	**21,000**	**0.482**	**100.0%**	
POST-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	**AREA (SQFT.)**	**AREA (ACRES)**	**PERCENTAGE**	**MATERIAL**
LOT 1 TO 4, ROOF	4,855	0.111	23.1%	ROOFING
LOT 5 TO 8, ROOF	4,855	0.111	23.1%	ROOFING
TRANSFORMER PAD	100	0.002	0.5%	CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	**9,810**	**0.225**	**46.7%**	**IMPERVIOUS**
LOT A PERVIOUS PAVERS DRIVEWAY, STALLS, WALKWAYS	4,252	0.098	20.2%	PAVERS
PROJECT LANDSCAPE/ GROUND	6,938	0.159	33.0%	LANDSCAPE
TOTAL PROJECT PERVIOUS AREA	**11,190**	**0.257**	**53.3%**	**PERVIOUS**
TOTAL SITE AREA	**21,000**	**0.482**	**100.0%**	
PRE VS. POST COMPARISON	**AREA (SQFT.)**	**AREA (ACRES)**	**PERCENTAGE**	
PROJECT IMPERVIOUS AREA INCREASE	**5,140**	**0.118**	**24.5%**	

SMP ENGINEERS CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:

ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051

STORMWATER CONTROL PLAN

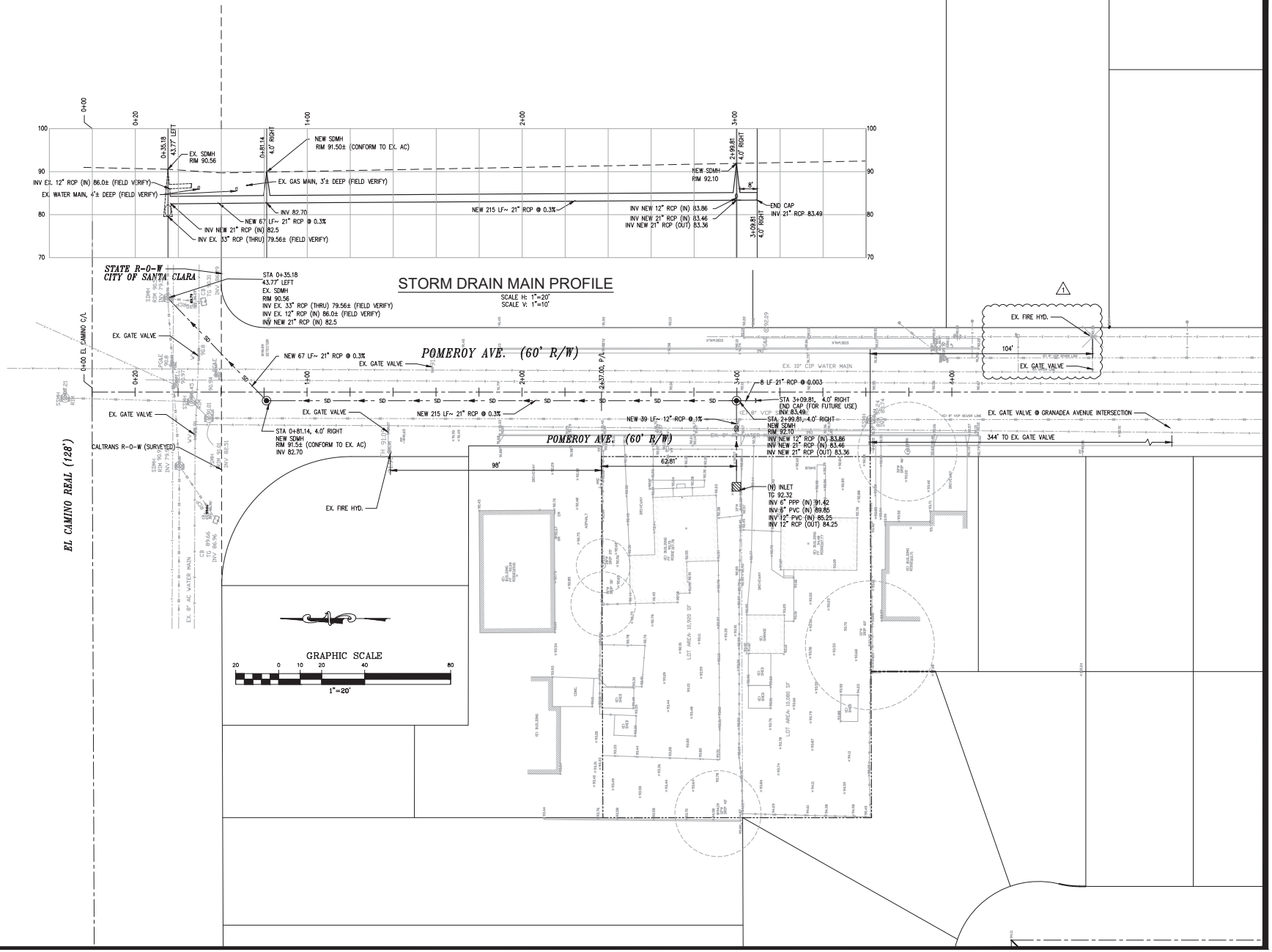
Revisions:

REGISTERED PROFESSIONAL ENGINEER SAEID REZAVI EXPIRES 12-31-2018 No. C52724 CIVIL STATE OF CALIFORNIA

Date: 5/15/2018
Scale: 1" = 10'
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet: 4 OF 6

C-4



SMP
ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:
ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051

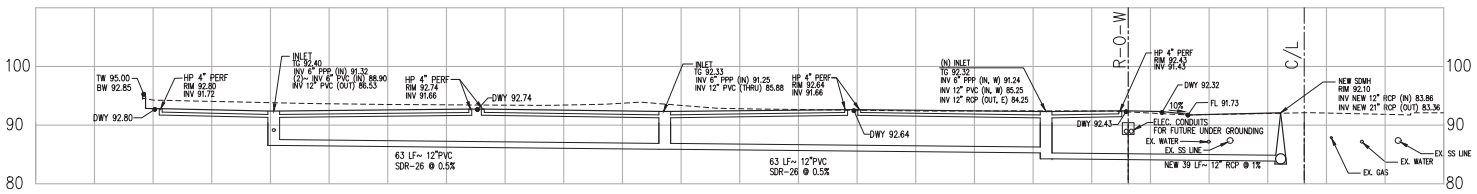
STORM DRAIN MAIN IN POMEROY

Revisions:

REGISTERED PROFESSIONAL ENGINEER
SAETO RAZAVI
EXPIRES 12-31-2018
No. C52724
CIVIL
STATE OF CALIFORNIA

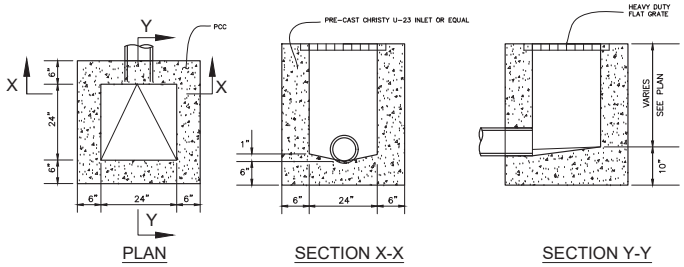
Date: 5/15/2018
Scale: 1" = 20'
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet: 5 OF 6
C-5

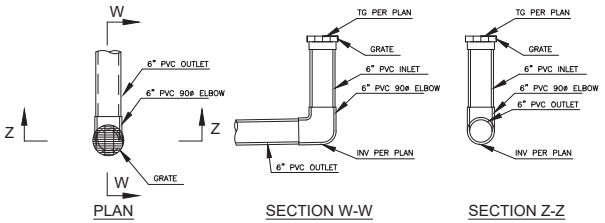


A-A

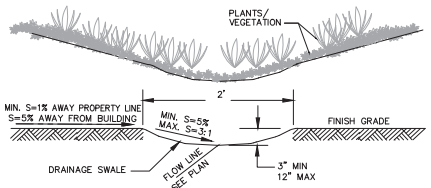
SCALE H: 1"=20'
SCALE V: 1"=10'



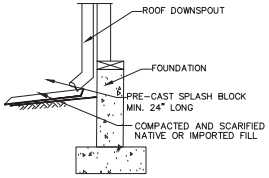
5 ***STORM DRAIN INLET***
NTS



6 ***STORM DRAIN AREA DRAIN***
NTS



2 ***SWALE DETAIL***
NTS



3 ***DISCONNECTED ROOF DOWN-SPOUT DETAIL***
NTS

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ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:
ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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IMPROVEMENT PLANS
NINE LOT SUBDIVISION
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051
DETAILS

Revisions:

REGISTERED PROFESSIONAL ENGINEER
SAEID RAZAVI
EXPIRES 12-31-2018
No. C52724
CIVIL
STATE OF CALIFORNIA

Date: 5/15/2018
Scale: AS NOTED
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet:
6 OF 6
C-6

Tentative Map

NINE (9) LOT SUBDIVISIION

COMMENCING ON THE WESTERLY LINE OF POMEROY AVENUE, DISTANT THEREON 251.79 FEET SOUTHERLY FROM THE INTERSECTION OF SAID LINE OF POMEROY AVENUE WITH THE SOUTHERLY LINE OF SANTA CLARA-SAN FRANCISCO HIGHWAY, AND RUNNING THENCE SOUTHERLY ALONG SAID LINE OF POMEROY AVENUE 60 FEET; THENCE SOUTH 89° 45' WEST 173 FEET; THENCE NORTHERLY AND PARALLEL WITH SAID LINE OF POMEROY AVENUE 60 FEET; THENCE NORTH 89° 45' EAST 173 FEET TO THE POINT OF BEGINNING AND
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF THE SANTA CLARA-SAN FRANCISCO HIGHWAY AS NOW EXISTING 100 FEET WIDE WITH THE WESTERLY LINE OF POMEROY AVENUE; THENCE, RUNNING SOUTHERLY AND ALONG THE WESTERLY LINE OF POMEROY AVENUE 251.79 FEET TO THE TRUE POINT OF BEGINNING; THENCE, WESTERLY AND PARALLEL WITH SAID SOUTHERLY LINE OF SANTA CLARA-SAN FRANCISCO HIGHWAY 173 FEET TO A POINT; THENCE, NORTHERLY AND PARALLEL WITH THE WESTERLY LINE OF POMEROY AVENUE 65 FEET TO A POINT; THENCE, EASTERLY AND PARALLEL WITH THE SOUTHERLY LINE OF SANTA CLARA-SAN FRANCISCO HIGHWAY 173 FEET TO THE WESTERLY LINE OF POMEROY AVENUE; THENCE, SOUTHERLY AND ALONG SAID WESTERLY LINE OF POMEROY AVENUE, 65 FEET TO THE POINT OF BEGINNING. BEING A PORTION OF QUITO RANCHO.

LYING ENTIRELY WITHIN THE

CITY OF SANTA CLARA — SANTA CLARA COUNTY — STATE OF CALIFORNIA

MAY 2018

SMP ENGINEERS
1534 CAROB LANE
LOS ALTOS, CA 94024

BASIS OF BEARINGS:
THE BEARING N. 01°14'00" W. OF THE CENTERLINE OF POMEROY AVE., AS SHOWN UPON CERTAIN TRACT NO. 2908, RECORDED IN BOOK 140 OF MAPS AT PAGE 31, WAS TAKEN AS BASIS OF BEARINGS FOR THIS SURVEY MAP.

REFERENCED CITY OF SANTA CLARA B.M
BM # E-13 CHISLED CROSS ON SE BOLT IN TRAFFIC LIGHT BASE, AT NW CORNER OF EL CAMINO REAL & POMEROY AVE. EL.: 91.06' (NAVD8

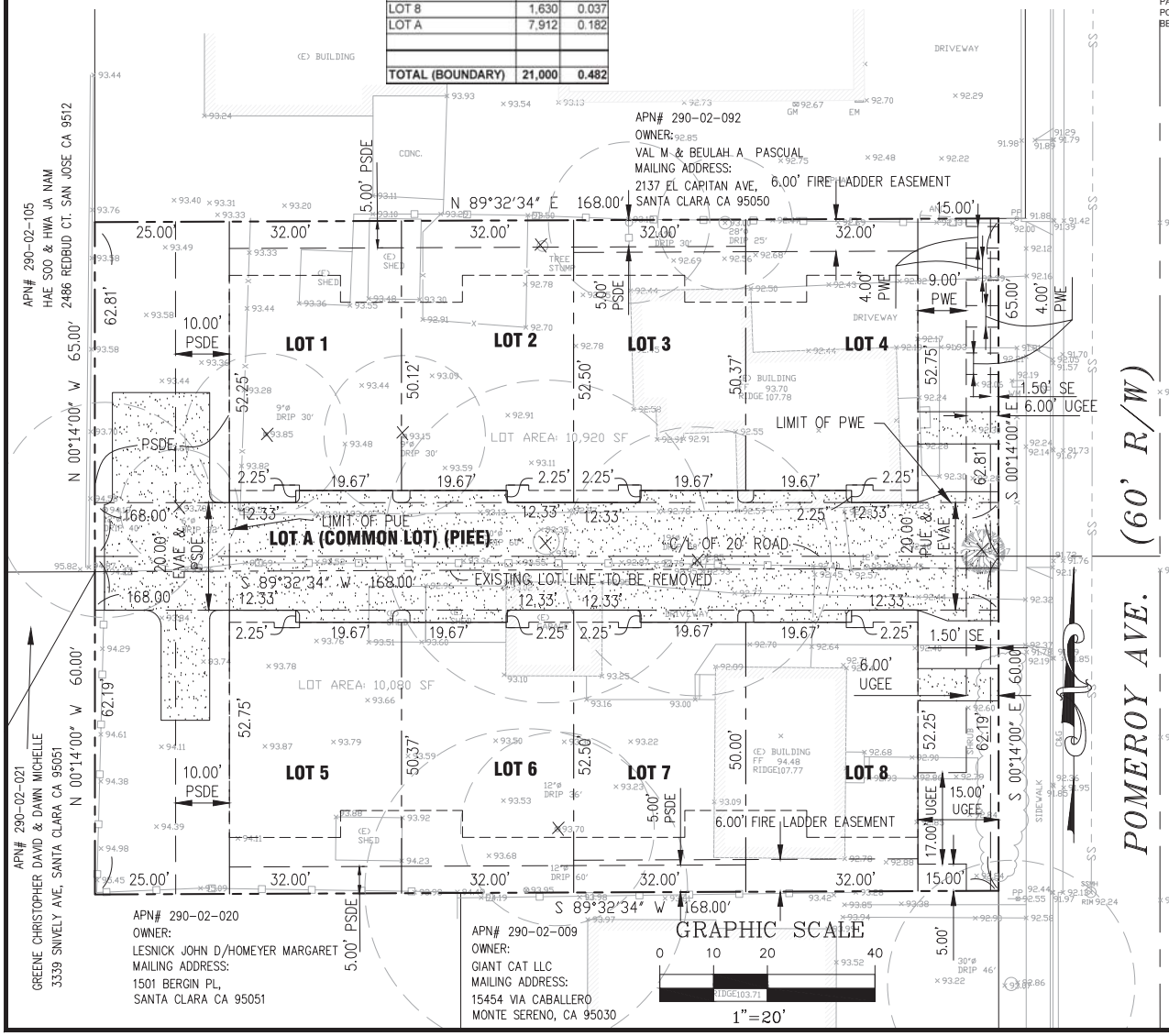
LOT AREA TABLE		
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)
LOT 1	1,630	0.037
LOT 2	1,634	0.038
LOT 3	1,638	0.038
LOT 4	1,642	0.038
LOT 5	1,642	0.038
LOT 6	1,638	0.038
LOT 7	1,634	0.038
LOT 8	1,630	0.037
LOT A	7,912	0.182
TOTAL (BOUNDARY)	21,000	0.482

LEGEND

- STREET CENTER LINE
- DISTINCTIVE BORDER LINE
- PROPOSED LOT LINE
- EXISTING LOT LINE TO BE REMOVED
- EASEMENT LINE
- BUILDING FOOTPRINT

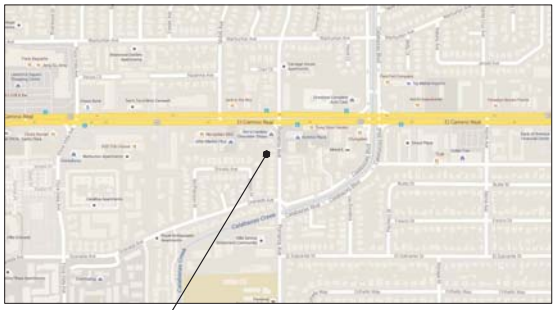
ABRREVIATIONS

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
UGEE	UNDERGROUND ELECTRICAL EASEMENT
PIEE	PRIVATE INGRESS/ EGRESS EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PWE	PRIVATE WATER EASEMENT
SE	SIDEWALK EASEMENT



SHEET INDEX:

TM	TENTATIVE MAP



LOCATION MAP
N.T.S.

GENERAL NOTES AND STATEMENTS:

1. OWNERS AND DEVELOPERS: ECCO Builders, INC.
   Omid Shakeri
   12280 Saratoga-Sunnyvale Rd.
   Suite 109
   Saratoga, CA 95070
2. APPLICANT
   SAME AS ABOVE
3. APN# 290-02-096 and 290-02-097
4. EXISTING ZONE: R3
5. EXISTING USE: RESIDENTIAL
6. PROPOSED USE: RESIDENTIAL
7. FLOODING: FLOOD ZONE X500
8. STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE DONE TO THE SATISFACTION OF PUBLIC WORKS.
9. EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL/ APARTMENTS
10. WATER: CITY OF SANTA CLARA
11. FIRE PROTECTION: CITY OF SANTA CLARA FIRE DEPARTMENT
12. STORM/SANITARY SEWER: CITY OF SANTA CLARA
13. POWER AND GAS: CITY OF SANTA CLARA/PACIFIC GAS AND ELECTRIC
14. TELEPHONE: PACIFIC BELL
15. STREET TREES: NEW STREET TREES WILL BE PLANTED PER CITY SATISFACTION, WITH A MINIMUM OF 10' FROM EXISTING AND NEW CITY WATERS & SANITARY SEWER FACILITIES.
16. AREA OF SUBJECT PROPERTY: 0.482 ACRES (21,000 SQUARE FEET)
17. ALL EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO RECORD OF PARCEL MAP.

SMP ENGINEERS
CIVIL ENGINEERS
1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

Applicant:
ECCO Builders, INC.
Omid Shakeri
12280 Saratoga-Sunnyvale Rd.
Suite 109
Saratoga, CA 95070

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SMP ENGINEERS
CIVIL ENGINEERS

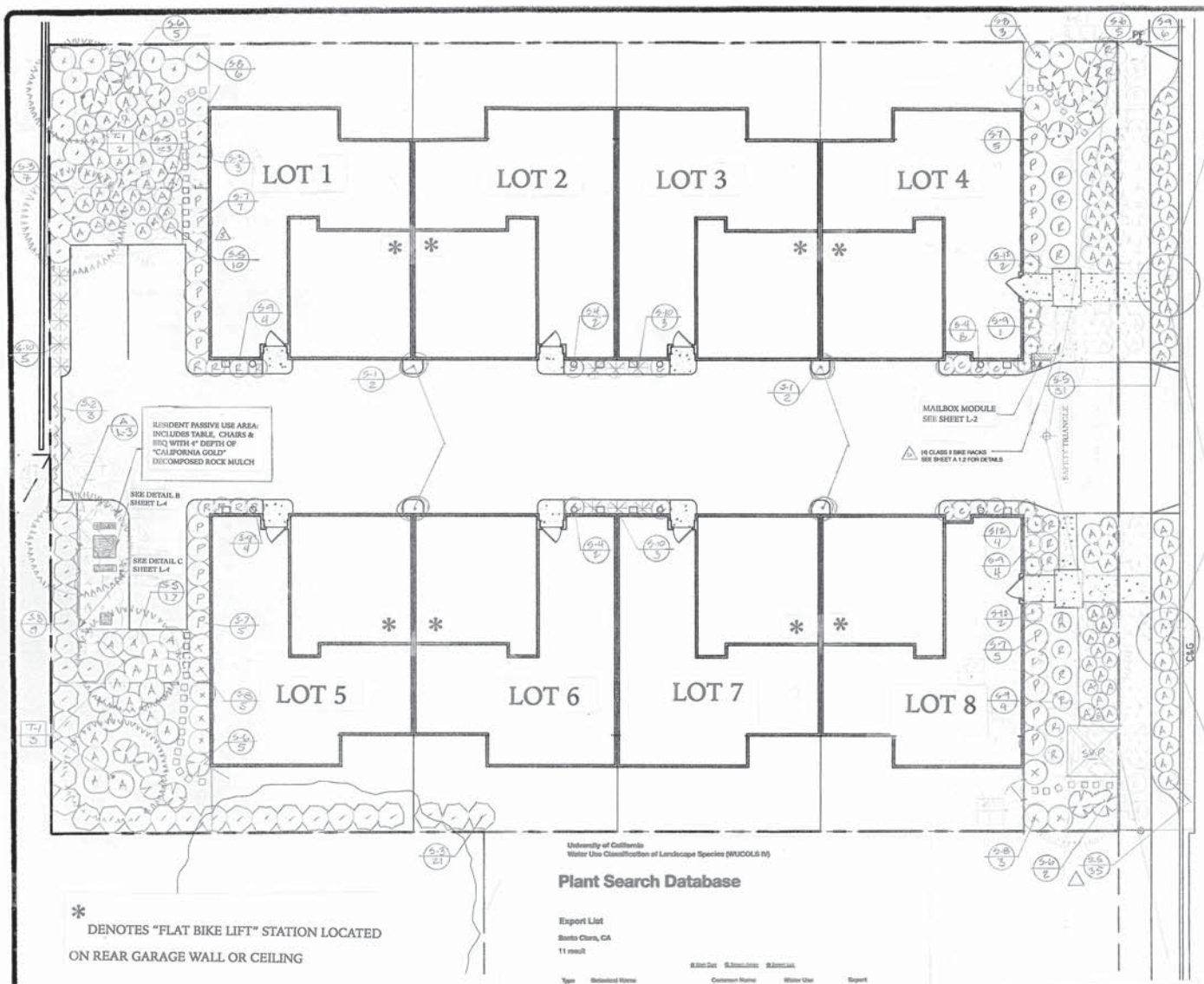
TENTATIVE MAP
1530 and 1540 POMEROY AVE.
SANTA CLARA, CA 95051
APN# 290-02-096 and 290-02-097
TENTATIVE MAP

Revisions:

REGISTERED PROFESSIONAL ENGINEER
SAEID REZAEI
EXPIRES 12-31-2018
No. C52724
CIVIL
STATE OF CALIFORNIA

Date: 5/17/2018
Scale: 1" = 20'
Prepared by: V.G.
Checked by: S.R.
Job #: 216021

Sheet: 1 OF 1
TM



* DENOTES "FLAT BIKE LIFT" STATION LOCATED ON REAR GARAGE WALL OR CEILING

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

_____ DATED _____ 201 7

DESIGN PREPARED UNDER SECTION 7027.5

_____

OF THE BUSINESS AND PROFESSIONS CODE.

University of California
Water Use Classification of Landscape Species (WUCOLS IV)

Plant Search Database

Export List

Santa Clara, CA

11 result

Type	Botanical Name	Common Name	Water Use	Export
Gc S V	Bougainvillea spp.	bougainvillea	Low	
Gc S T	Juniperus spp.	juniper	Low	
T A	Lagerstroemia spp., hybrids and cvs.	crape myrtle	Low	
S	Loropetalum chinense & cvs.	fringe flower	Low	
Gc S	Myoporum parvifolium & cvs.	myoporum	Low	
S	Nandina domestica	heavenly bamboo	Low	
S T	Pittosporum tobira and cvs.	mock orange	Low	
T	Prunus cerasifera	Carolina laurel cherry	Low	
S	Rhaphiolepis indica & cvs.	Indian hawthorne	Low	
S	Strelitzia reginae shade in desert	bird of paradise	Moderate/Medium	
S	Xylosma congestum	shiny xylosma	Low	

BAY FRIENDLY STATEMENT:
THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION AND RUN-OFF; PROMOTES SURFACE INFILTRATION WHERE POSSIBLE AND MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

_____ DATED: _____ 2016
JON NELSON

PLANT PALETTE

KEY	COUNT	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS IV RATING	GROWTH H X W
TREES						
T-1	5	24" BOX	LAGERSTROEMIA "TUSCARORA"	CRAPE MYRTLE	LOW	20'-0" X 15'-0" W
T-2	2					
SHRUBS						
S-1	4	5 GAL	JUNIPERUS SCOPULORUM	MEDORA JUNIPER	LOW	10'-0 X 2'-0"
S-2	5	5 GAL	BOUGAINVILLEA "SAN DIEGO" RED	RED BOUGAINVILLEA	LOW	8'-0" X 8'-0" ESPALIER
S-3	55	1 GAL	PRUNUS CAROLINA "COMPACTA"	CAROLINA CHERRY	LOW	10'-0 X 4'-0"
S-4	12	1 GAL	RHAPHIOLEPIS INDICA "CLARA"	INDIAN HAWTHORN	LOW	2'-0" X 3'-0"
S-5	104	1 GAL	MYOPORUM PARVIFOLIUM "PINK"	PINK MYOPORUM	LOW	1'-0" X 3'-0"
S-6	17	5 GAL	LOROPETALUM "RAZZLEBERRY"	FRINGE FLOWER	LOW	3'-0" X 4'-0"
S-7	22	1 GAL	PITTOSPORUM "CREME DE MINT"	VARIGATED TOBIRA	LOW	4'-0" X 4'-0"
S-8	17	1 GAL	XYLOSMA	SHINNY XYLOSMA	LOW	6'-0" X 6'-0"
S-9	25	1 GAL	RHAPHIOLEPIS INDICA "ROSEA"	INDIAN HAWTHORN	LOW	3'-0" X 3'-0"
S-10	11	1 GAL	NANDINA "COMPACTA"	HEAVENLY BAMBOO	LOW	3'-0" X 3'-0"
S-11	0					
S-12	8	5 GAL	STRELITZIA REGINAE	BIRD OF PARADISE	LOW	6'-0" X 6'-0"
☐	STEPPING STONES		12" X 12" GRAY CONCRETE STEPPING STONES			

PLANTING NOTES

[illegible]

PLANT/ IRRIGATION WATER USE & RATIO:

HIGH WATER USE TREES & SHRUBS	0.0%
MEDIUM WATER USE SHRUBS	0.0%
LOW WATER USE SHRUBS & GROUNDCOVER	100.0%
HIGH WATER USE LAWN & ANNUAL FLOWER AREAS	0.0%
DECORATIVE WATER FEATURE AREA	0.0%
TOTAL PLANTED & IRRIGATION USE	100.0%

REVISIONS	BY
REVISED 11.3.2017 DUE TO COFSC COMMENTS 4.18.2017 AND SVP TRANSFORMER PAD LOCATION	
FINALIZED	
PLANNING USE PERMIT DELETED	
REVISED 3.8.2018 ADD BIKE RACKS	

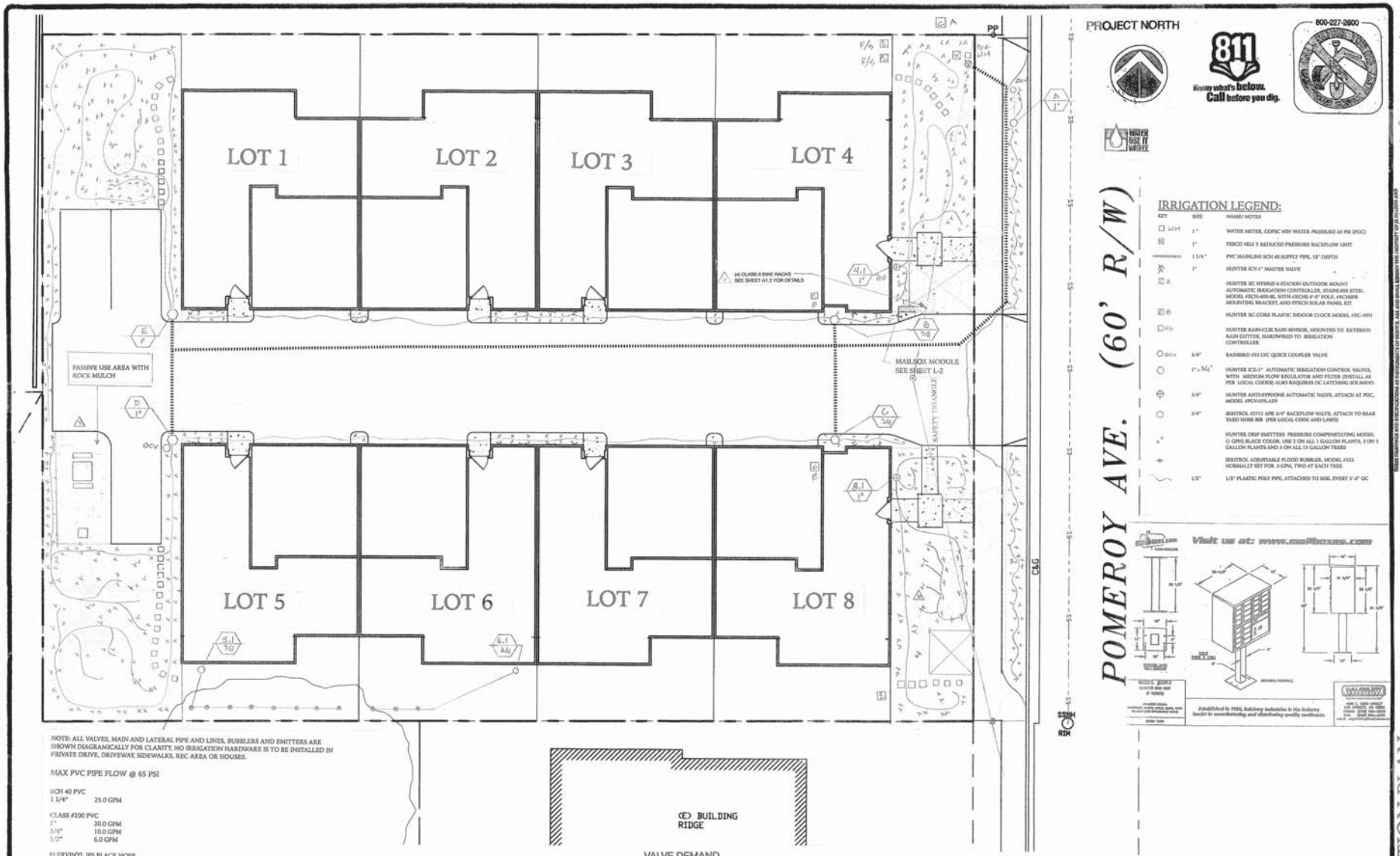
J.R. NELSON & ASSOCIATES; INC.
23585 SUMMIT ROAD 95033
LOS GATOS, CALIFORNIA
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

LANDSCAPE PLAN

DRAWN JRN
CHECKED
DATE 11.13.2016
SCALE 1/8" = 1'-0"
JOB NO. SANTACLARA
SHEET L-1
OF SHEETS

PRINTED ON CLEARPRINT 1000H



NOTE: ALL VALVES, MAIN AND LATERAL PIPE AND LINES, BUBBLERS AND EMITTERS ARE SHOWN DIAGRAMICALLY FOR CLARITY. NO IRRIGATION HARDWARE IS TO BE INSTALLED IN PRIVATE DRIVE, DRIVEWAY, SIDEWALKS, REC AREA OR HOUSES.

MAX PVC PIPE FLOW @ 65 PSI

SCH 40 PVC
1 1/4" 25.0 GPM

CLASS #200 PVC
1" 20.0 GPM
3/4" 10.0 GPM
1/2" 6.0 GPM

FLEXVINYL IPS BLACK HOSE
1/2" 4.0 GPM

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

_____ DATED _____2017

DESIGN PREPARED UNDER SECTION 7027.5

_____

OF THE BUSINESS AND PROFESSIONS CODE.

VALVE DEMAND

VALVE NUMBER	SIZE	DEMAND (GPM)	SQUARE FOOTAGE	DRIP	EXPOSURE
COMMON AREAS					
A	1"	4.0 GPM	368#	YES	SUNNY
B	3/4"	3.0 GPM	180#	YES	MIX
C	3/4"	3.0 GPM	168#	YES	MIX
D	1"	8.0 GPM	1328#	YES	SUNNY
E	1"	7.0 GPM	1028#	YES	SUNNY
PRIVATE AREAS					
4.1	1"	5.0 GPM	738#	YES	SUNNY
8.1	1"	5.0 GPM	604#	YES	MIX
5.1 3/4		4.0 GPM	32 ⊕	6x6 BUBBLER	
6.1 3/4		1.5 GPM	12 ⊕	6x6 BUBBLER	MIX

IRRIGATION LEGEND:

KEY	SIZE	NAME/ NOTES
WM	1"	WATER METER, COFSC MIN WATER PRESSURE 65 PSI (POC)
	1"	FEBCO #825 Y REDUCED PRESSURE BACKFLOW UNIT
	1 1/4"	PVC MAINLINE SCH 40 SUPPLY PIPE, 18" DEPTH
	1"	HUNTER ICV-1" MASTER VALVE
A		HUNTER XC HYBRID 6 STATION OUTDOOR MOUNT AUTOMATIC IRRIGATION CONTROLLER, STAINLESS STEEL MODEL #XCH-600-SS, WITH #HCHS 6'-0" POLE, #HCMPP MOUNTING BRACKET, AND PFSCH SOLAR PANEL KIT
B		HUNTER XC-CORE PLASTIC INDOOR CLOCK MODEL #XC-0601
C		HUNTER RAIN-CLIK RAIN SENSOR, MOUNTED TO EXTERIOR RAIN GUTTER, HARDWIRED TO IRRIGATION CONTROLLER
QCV	3/4"	RAINBIRD #33 LVC QUICK COUPLER VALVE
	1", 3/4"	HUNTER ICZ-1" AUTOMATIC IRRIGATION CONTROL VALVES, WITH MEDIUM FLOW REGULATOR AND FILTER (INSTALL AS PER LOCAL CODES) ALSO REQUIRES DC LATCHING SOLENOID
	3/4"	HUNTER ANTI-SIPHONE AUTOMATIC VALVE, ATTACH AT POC, MODEL #PCV-075-ASV
	3/4"	BRISTOL #2711 APB 3/4" BACKFLOW VALVE, ATTACH TO REAR YARD HOSE BIB (PER LOCAL CODE AND LAWS)
		HUNTER DRIP EMITTERS PRESSURE COMPENSTATING MODEL (1 GPH) BLACK COLOR, USE 2 ON ALL 1 GALLON PLANTS, 3 ON 5 GALLON PLANTS AND 3 ON ALL 15 GALLON TREES
		BRISTOL ADJUSTABLE FLOOD BUBBLER, MODEL #333. NORMALLY SET FOR .5 GPM, TWO AT EACH TREE.
	1/2"	1/2" PLASTIC POLY PIPE, ATTACHED TO SOIL EVERY 5'-0" OC

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REVISIONS	BY
1 PLANNING SET	
2 PLANNING SET	
3 PLANNING SET 12/18/17	
REVISED 3.9.2018 ADD BIKE RACKS	
REVISION TO ADD COSC STREET TREES 3.15.2018	
REVISION 3.28.2018 ANOTHER FLUSH BY COFSC	

J.R. NELSON & ASSOCIATES; INC.
23585 SUMMIT ROAD 95033
LOS GATOS, CALIFORNIA
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

IRRIGATION PLAN

DRAWN	JRN
CHECKED	
DATE	11.13.2016
SCALE	1/8" = 1'-0"
JOB NO.	SANTA CLARA
SHEET	L-2
OF	SHEETS

PRINTED ON CLEARPRINT 1000H

WATER AND LANDSCAPE EFFICIENCY CHECKLIST

IRRIGATION POINTS:

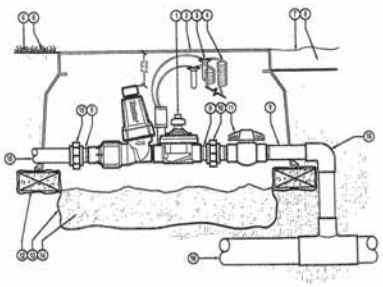
1. MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF POINT OF CONNECTION.. EXISTING POC IS A 3/4" AND 1" SIZE, SYSTEM DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM AT WATER METER.
2. ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
3. IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
4. SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
5. DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
6. AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, DESIGNED WITH NON-VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
7. AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-KLICK SENSOR PROVIDING POSITIVE CLOCK SHUT-OFF IN A RAIN EVENT.
8. EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED A EACH VALVE BOX LOCATION, THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
9. ALL DRIP VALVES HAVE ACCU-SYNC #40 PRESSURE REDUCING VALVES ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS. AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
10. SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT. THIS PROMOTES HEALTHY PLANT GROWTH, AND REDUCES OVERALL WATER USE.
11. A MASTER VALVE IS INSTALLED BETWEEN THE BACKFLOW PREVENTION VALVE AND THE FIRST AUTOMATIC VALVE (E-4) TO REDUCE WATER LOSS DUE TO MAINLINE PIPE DAMAGE.
12. BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN TO ASSURE COMPLIANCE.

PLANTING ITEMS

13. PROJECT IS NOT DESIGNED WITH ANY FORM OF NOXIOUS OR INVASIVE TREES, SHRUBS OR GROUNDCOVER.
14. HEAVY AMOUNTS OF WOOD MULCH CHIPS IN LANDSCAPE AREAS, 3" DEPTH IN GENERAL PLANTING BEDS . THIS DEPTH OF MULCH WILL REDUCE WEED GROWTH AND IRRIGATION WATER EVAPORATION AT EMITTER SITE.
15. HEAVY USE OF SOIL ADMENDMENTS IN PLANTING AREAS ALLOWS FOR BETTER PLANT GROWTH AND REDUCED AMOUNTS OF IRRIGATION WATER. THE MIX SHOWN ON PLAN IS DOUBLE THE AMOUNT OF ORGANIC MATERIAL REQUIRED BY THE CURRENT STATE STANDARD.

    SOIL ADMENDMENT WILL BE: 6 CUBIC YARDS OF NITROFIED REDWOOD COMPOST PER 1,000 SQUARE FEET OF LANDSCAPED AREA. THIS WILL BE ROTOTILLED INTO THE TOP 6 " OF TOPSOIL.
16. ALL PLANTING IS DERIVED FROM THE MOST CURRENT WULCOS IV SOFTWARE AND FROM THE LATEST EAST BAY MUNICIPAL UTILITY DISTRICT PLANTING RECOMMENDATIONS TITLED "LOW WATER USE PLANTINGS".
17. LANDSCAPE PLANTINGS FEATURE NO LAWN SOD OR ANNUAL FLOWER COLOR, DECORATIVE WATER FEATURES OR VEGETABLE GARDENS.
18. ALL FERTILIZER REQUIRED WILL BE ORGANIC, SLOW RELEASE VARIETY. THIS WILL REDUCE THE NITROGEN SPIKE AND SUBSEQUENT INCREASED IRRIGATION TO WATER RAPIDLY GROWING PLANTINGS.
19. ALL PLANTINGS USED ARE RELATIVELY LOW WATER USE MATERIAL. PLANT PALETTE WATER RATIO IS 100% LOW WATER USE PLANTINGS NO HIGH USE NURSERY MATERIAL INCLUDED SUCH AS FLOWER/ GARDEN OR WATER FEATURE USE INCORPORATED IN DESIGN OF THIS PROJECT.

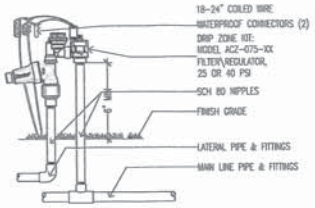
LEGEND:
1. HUNTER REMOTE CONTROL VALVE (ICZ) PER PLAN
2. IRRIGATION VALVE BOX PER PLAN HEAT STAMP LID WITH "RCV" IN 2" LETTERS
3. WATERPROOF CONNECTORS (2)
4. 18"-24" COILED WIRE TO CONTROLLER
5. FINISHED GRADE IN TURF
6. ADJACENT TURF
7. ADJACENT MULCH
8. FINISHED GRADE IN PLANTER BED
9. SCH. 80 T.O.E. NIPPLE - WATCH SIZE TO VALVE AND UNION LENGTH AS NEEDED
10. PVC SLIP UNION
11. BALL VALVE - LINE SIZED
12. BRICK SUPPORTS (4)
13. FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
14. 3/4" WASHED GRAVEL - 4" MIN. DEPTH
15. IRRIGATION LATERAL
16. MAINLINE LATERAL AND FITTINGS



A REMOTE CONTROL VALVE (ICZ) WITH ISOLATION VALVE
Hunter
NOT TO SCALE

ATTENTION: THESE SCHEDULES ARE BASED ON EVAPORATION RATES FOR AN AVERAGE SEASONAL YEAR (THAT RARELY ACTUALLY HAPPENS). THE WATER NEEDS OF THE PLANTS WILL USUALLY BE LESS OR GREATER THAN THIS DUE TO THE ACTUAL WEATHER AND RAINFALL OF THAT SEASON. THEREFORE THE IRRIGATION SCHEDULES SHOULD BE ADJUSTED BY THE LANDSCAPE MAINTENANCE EXPERIENCE OR BY OTHERS SKILLED AT DETERMINING PLANT WATERING NEEDS. THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL TAKE UNDER CONSIDERATION THE ACTUAL WEATHER AND EVAPORATION RATES AND SITE CONDITIONS PRESENT IN THE USED INDIVIDUAL ALL OF THIS IS COMPLETE AND LUTTER INCORRECT AND SHOULD ONLY BE TAKEN WITH A CERTAIN GRAIN OF SALT THE IRRIGATION CALCULATIONS SHOWN ON THIS PLANSET ARE ONLY BEING DONE AS A DIRECT RESULT OF A GOVERNMENTAL AGENCY EXPANDING ITS POWER ON A PUBLIC THAT NEITHER WANTS OR NEEDS IT.

NOTE: EACH ANTI-SYPHON VALVE SHALL HAVE EACH OWN 3/4" TXT SCH 80 BALL VALVE LOCATED UPSTREAM OF EACH ANTI-SYPHON VALVE TO ACT AS A POSITIVE SHUT-OFF.

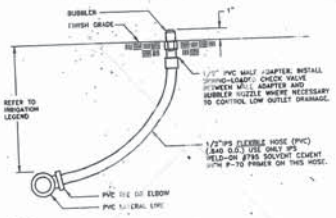


NOTE
ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.

B ACZ-075 VALVE
SCALE: 1.5" = 1'-0" Hunter IRRIGATION DETAIL

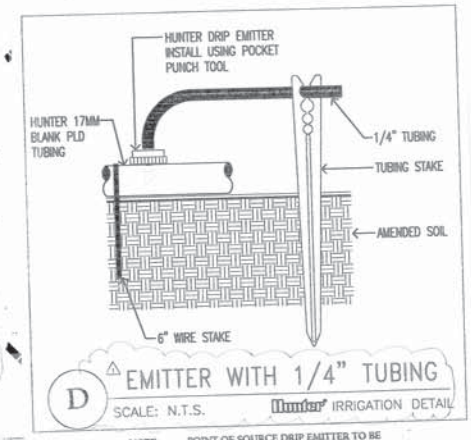
FRONTYARD HOMEOWNER
AUTO OPERATED DRIP VALVE

NOTES:
1. INSTALL BUBBLER WITHIN PLANTING BASIN ON EDGE OF ROOTBALL AT A MAXIMUM OF 12" FROM TREE TRUNK OR SHRUB STEM.



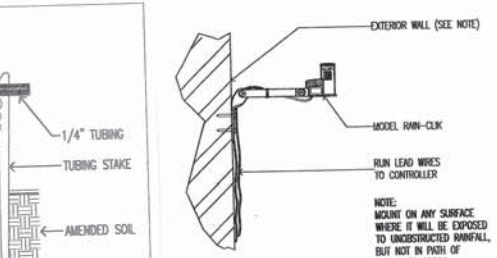
C BUBBLER DETAIL
NOT TO SCALE

△ IRRITROL #533 ADJ BUBBLER



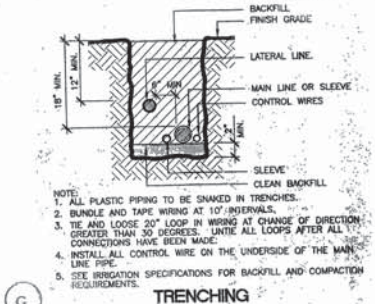
D △ EMITTER WITH 1/4" TUBING
SCALE: N.T.S. Hunter IRRIGATION DETAIL

NOTE: △ POINT OF SOURCE DRIP EMITTER TO BE HUNTER #HE-10-B SELF-PIERCING BARB 1 GALLON PER HOUR (GPH) FLOW "BLACK"



NOTE:
MOUNT ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY.

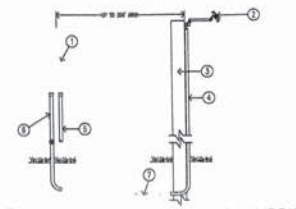
E RAIN-CLIK
SCALE: 3" = 1'-0" Hunter IRRIGATION DETAIL



NOTE:
1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES.
2. BUNDLE AND TAPE WIRING AT 10' INTERVALS.
3. TIE AND LOOSE 20" LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30 DEGREES. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
4. INSTALL ALL CONTROL WIRE ON THE UNDERSIDE OF THE MAIN LINE PIPE.
5. SEE IRRIGATION SPECIFICATIONS FOR BACKFILL AND COMPACTION REQUIREMENTS.

G TRENCHING

△ TO BE USED IN PRIVATE/ COMMON SPACE LANDSCAPE AREAS ONLY



1. HUNTER XC HYBRID CONTROLLER
2. MODEL: SPXCH
3. SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION THAT MAXIMIZES DIRECT SUNLIGHT
4. CONDUIT FROM SOLAR PANEL TO CONTROLLER OR TO A POINT 12" BELOW GRADE
5. CONDUIT FOR VALVE CONTROL WIRE
6. CONDUIT FOR CONTROLLER POWER SOURCE
   POWER WIRE, 18-20AWG(WIRE TYPE TO MEET INSTALLATION CODE REQUIREMENTS), FROM MODULE TO SENSOR. MAXIMUM TOTAL WIRE DISTANCE 61M (200 FEET)
7. SOLAR PANEL FOR XC HYBRID

H SOLAR PANEL FOR XC HYBRID
SCALE: 1" = 1'-0" Hunter IRRIGATION DETAIL

REVISIONS	BY
△ 1/5/2017 RCL COPY OF COMPLETE FINAL CHECK	
△ REVISED 3.9.2018 ADD BIKE RACKS	
△ REVISION 3.28.2016 ANOTHER FUBAR BY COPSC.	

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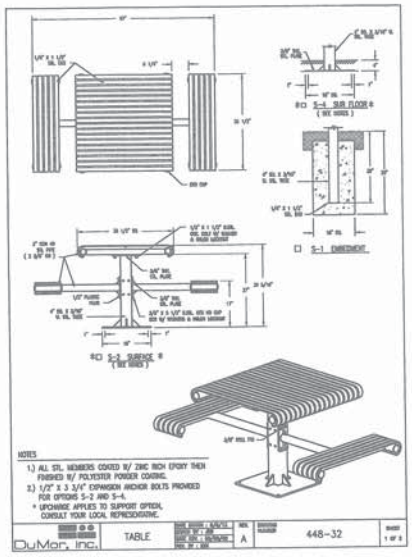
J.R. NELSON & ASSOCIATES; INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM

LANDSCAPE NOTES

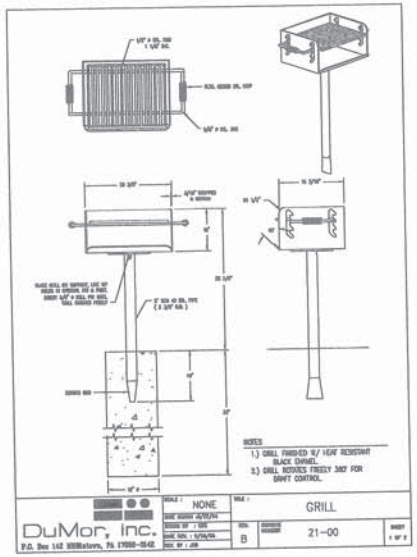
NEW RESIDENTIAL PROJECT AT:
RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DRAWN	JRN
CHECKED	
DATE	10.9.2016
SCALE	
JOB NO.	CAMPBELL
SHEET	L-3
OF	SHEETS

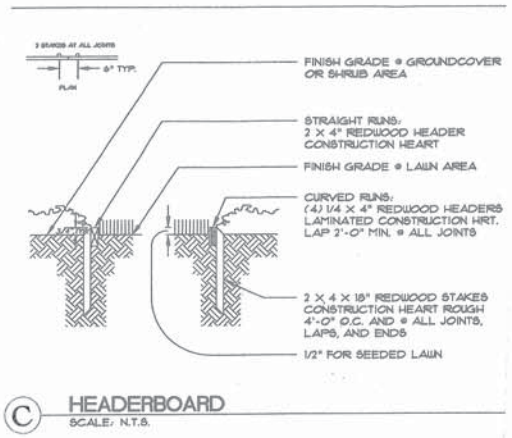
PRINTED ON CLEARPRINT 1000H



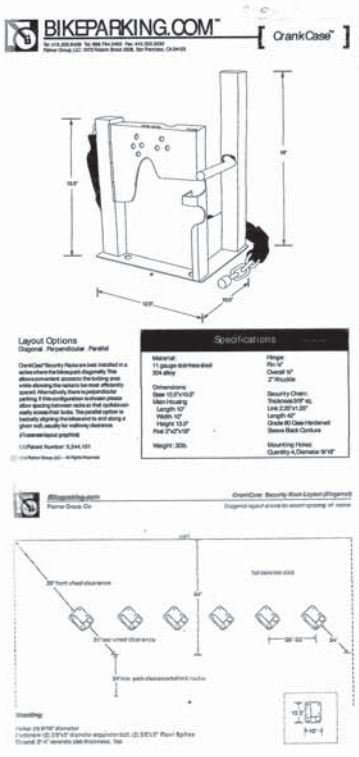
B TABLE & BENCH



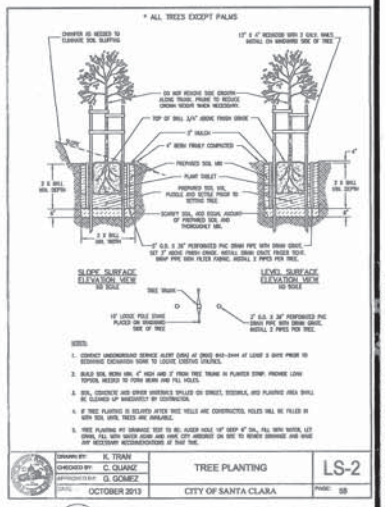
A BBQ



C HEADERBOARD
SCALE: N.T.S.



D CLASS 2 BIKE RACKS



F CITY OF SANTA CLARA STREET TREE DETAIL

REVISIONS	BY
REVISED 3.8.2018 ADD BIKE RACKS	
ADD STREET TREE DETAIL DETAIL "F" 3.15.2018	

I.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM

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PASSIVE USE AREA NOTES

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DRAWN	JRN
CHECKED	
DATE	12/18/2017
SCALE	NS
JOB NO.	
SHEET	L-4
OF	SHEETS

PRINTED ON CLEARPRINT 1000H