







HUNTER STORM

# GATEWAY CROSSINGS

10121 Miller Ave, Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 998-8425

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

SHEET TITLE  
ILLUSTRATIVE  
SITE PLAN

SHEET NUMBER

GEN.2

Has been used for construction purposes and is not to be used for any other purpose without the written consent of the architect.

**MVE**  
+ PARTNERS

1900 Main Street, Suite 800  
Irvine, California 92614  
949.859.3388  
www.mve-architects.com

PROJECT DATA

PROJECTED USE:	MULTI-FAMILY RESIDENTIAL (R-2)
NUMBER OF TOTAL UNITS:	1600 UNITS
TOTAL EXISTING GROSS AREA	23.84 ACRES
TOTAL EXISTING NET AREA:	21.40 ACRES
TOTAL PROPOSED NET AREA:	21.37 ACRES
PROPOSED RESIDENTIAL AREA:	45.84 ACRES
PROPOSED COMMERCIAL AREA:	4.52 ACRES
PROPOSED RESIDENTIAL DENSITY:	74.8 DU/AC

RESIDENTIAL UNIT DATA

UNIT COUNT		UNIT MIX		
BUILDING 1	317 DU	UNIT TYPE	UNIT COUNT	PERCENTAGE
BUILDING 2	399 DU	STUDIO	230 DU	14%
BUILDING 3	371 DU	1-BEDROOM	633 DU	40%
BUILDING 4	513 DU	1BD + DEN	127 DU	8%
TOTAL	1600 DU	2-BEDROOM	562 DU	35%
		2BD + DEN	48 DU	3%
		TOTAL	1600 DU	100%

ALL DENS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

HOTEL DATA

ROOM COUNT	FOOD AND BEVERAGE	AMENITY (spa, fitness, hotel bar and etc. )	CONFERENCE
225	5,500 +/- SF	4,400 +/- SF	6,300 +/- SF

VALUES SHOWN IN THIS CHART IS NOT IN ADDITION TO THE TOTAL VALUE SHOWN IN THE COMMERCIAL AREA INFORMATION.

PROJECT PROGRAM

COMMERCIAL/ RETAIL AREA INFORMATION

HOTEL	182,000 +/- S.F.
RETAIL	15,000 +/- S.F.
TOTAL COMMERCIAL/RETAIL AREA	197,000 +/- S.F.

GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/ RETAIL AREA CALCULATIONS.

GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.

ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

RESIDENTIAL BUILDING AREA INFORMATION

	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
TYPE IA CONSTRUCTION	281,148 +/- S.F.	327,151 +/- S.F.	309,268 +/- S.F.	575,160 +/- S.F.
WOOD TYPE IIIA CONSTRUCTION	344,521 +/- S.F.	439,448 +/- S.F.	387,835 +/- S.F.	316,826 +/- S.F.
TOTAL BUILDING AREA	625,669 +/- S.F.	766,599 +/- S.F.	697,103 +/- S.F.	891,986 +/- S.F.

BICYCLE PARKING

CLASS I BICYCLE PARKING			CLASS II BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO	LOCATION	BICYCLE SPACES	RATIO
BUILDING 1	108 SPACES	1 space /3 DU	RESIDENTIAL	107 SPACES	1 space /15 DU
BUILDING 2	132 SPACES	1 space /3 DU	RETAIL	5 SPACES	1 space /6,000 SF
BUILDING 3	129 SPACES	1 space /3 DU	PARK	4 SPACES	
BUILDING 4	171 SPACES	1 space /3 DU			
HOTEL	8 SPACES	1 space /30 rooms			
RETAIL	1 SPACES	1 space /30 employees			
TOTAL	549 SPACES				

NOTE: CLASS I BICYCLE PARKING PROVIDED IN SECURED ROOM OF EACH BUILDING

VEHICLE PARKING

BUILDING 1 VEHICLE PARKING

VISITOR		RESIDENTIAL (1.40 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
3	48	10	32	391	11	8
51		444				

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 2 VEHICLE PARKING

VISITOR		RESIDENTIAL (1.48 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
4	58	12	34	542	2	10
62		590				

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 3 VEHICLE PARKING

VISITOR		RESIDENTIAL (1.36 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
3	55	12	36	453	3	10
58		504				

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 4 VEHICLE PARKING

VISITOR		RESIDENTIAL (1.36 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
4	63	14	41	621	21	13
67		697				

VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

HOTEL VEHICLE PARKING

ADA	UNIVERSAL
7	285
292	

\* 67 PARKING SPACES PROVIDED FOR CAFE, RESTAURANT AND MEETING ROOM AND SHARED WITH EMPLOYEES. (RETAIL PARKING 1/ 200 SF, MEETING ROOM 1/4 SEATS)

\* 225 PARKING SPACES PROVIDED FOR GUESTS. (1/ KEY)

PARKING STALL SIZE:

UNIVERSAL 8'-6" X 18'-0"

ADA 9'-0" X 18'-0"

COMPACT 8'-0" X 16'-0"

MOTORCYCLE 3'-0" X 6'-0"

DRIVE AISLE WIDTH :25'

ADDITIONAL 14 PARALLEL PARKING STALLS PROVIDED FOR RETAIL AND PARK USE AT INTERNAL STREET.

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GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE:

SHEET TITLE  
PROJECT DATA

SHEET NUMBER  
GEN.3

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MVE

+ PARTNERS

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HUNTER STORM

# GATEWAY CROSSINGS

10121 Main Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 996-8425

DATE: 09-10-2010

PROJECT #: 10121

SCALE: AS INDICATED



SHEET TITLE  
CONTEXT PLAN

SHEET NUMBER  
C1.00



NTERRA GROUP  
1295 E DORNE AVE. #230  
MORGAN HILL, CA 95037



# COLEMAN & CHAMPIONS WAY DETAILED SCOPE OF WORK

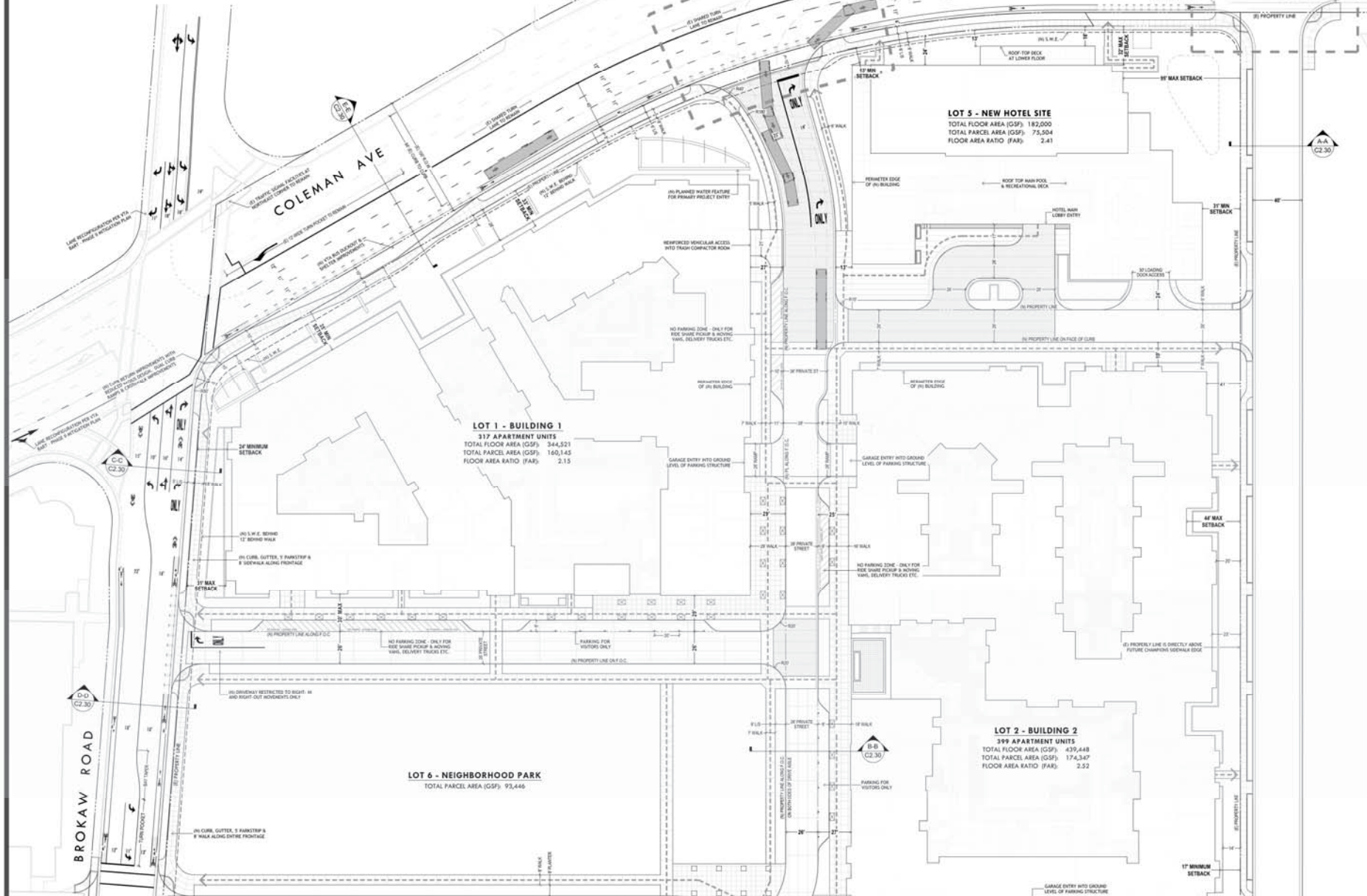
- PROJECT WILL CONSTRUCT FIRST PHASE OF (N) INTERSECTION IN ORDER TO PROVIDE EMERGENCY VEHICLE ACCESS TO BUILDING 1, BUILDING 2 AND THE PROPOSED HOTEL BUILDING. THE SCOPE OF THIS WORK MAY INCLUDE:
- NEW CURB RETURNS & INTERSECTION CONSTRUCTION AT COLEMAN. ACCESS TO BE LIMITED TO RIGHT-IN / RIGHT-OUT MOVEMENTS ONLY.
  - NO SIGNALIZATION WORK. SIGNALIZATION & COLEMAN WIDENING SOUTHBOUND ARE TRIGGERED BY ADJACENT PROJECT'S TRIP COUNTS.
  - FULL LENGTH OF CHAMPIONS WAY TO BE CONSTRUCTED & CONNECT TO CHAMPIONS DRIVE OR TERMINATE AT A CURB OR BAY. FINISHING TURNING OF THE ADJACENT PROJECT.

## (N) 3-WAY UNCONTROLLED INTERSECTION

(N) PRIMARY DRIVEWAY TO BE RIGHT-IN/ RIGHT-OUT FOR SOUTHBOUND TRAFFIC ON COLEMAN. (N) NORTHBOUND LEFT-TURN POCKET TO PROVIDE ACCESS INTO SITE, BUT NO LEFT-TURN EGRESS NORTHBOUND FROM SITE IS ALLOWED.

## COLEMAN AVE

(N) CHAMPIONS WAY INTERSECTION  
(N) STREET INTERSECTION AS PART OF THE ADJACENT COLEMAN HIGHLINE PROJECT. REFER TO DETAILED SCOPE NOTES NEAR THE UPPER LEFT CORNER OF PAGE.



HUNTER STORM

10121 Main Ave, Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06-10-2019  
PROJECT #: AS INDICATED  
SCALE: AS INDICATED



SHEET TITLE  
DETAILED  
SITE PLAN

SHEET NUMBER  
C2.21

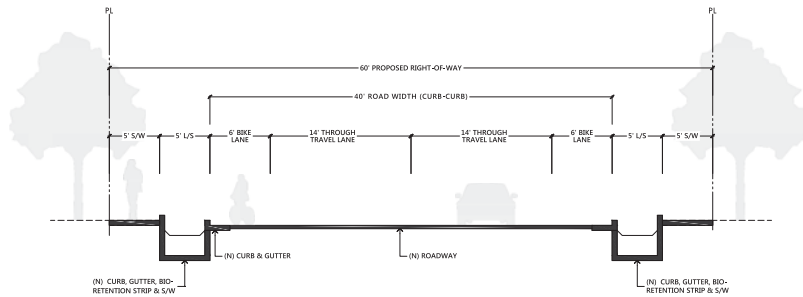


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1295 E DUREN AVE. #200  
MORGAN HILL CA 95037

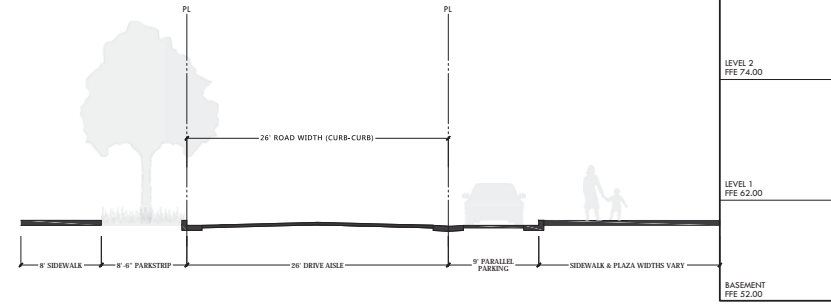




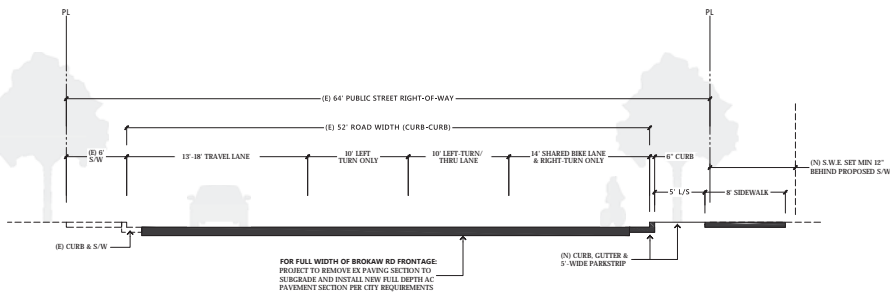




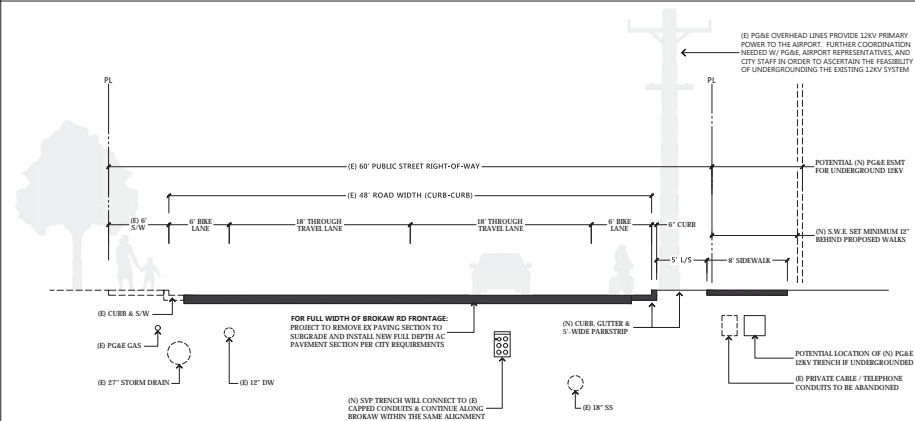
SECTION A-A: CHAMPIONS WAY (FUTURE STREET)



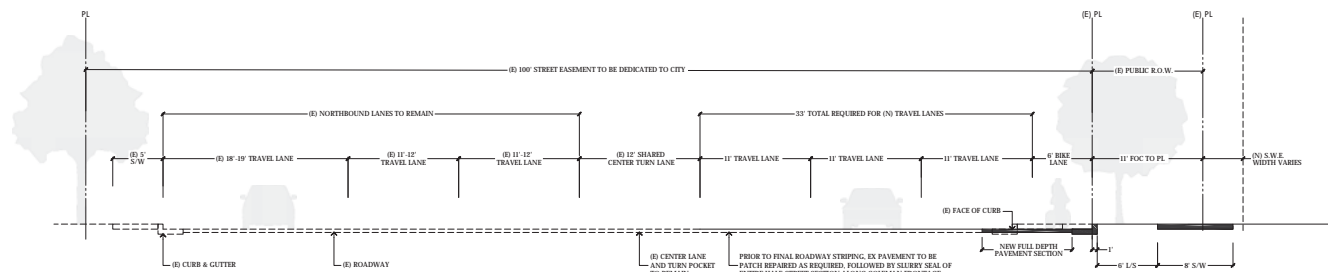
SECTION B-B: TYPICAL PRIVATE STREET ON-SITE



SECTION C-C: BROKAW ROAD SECTION AT COLEMAN INTERSECTION



SECTION D-D: BROKAW ROAD TYPICAL SECTION



SECTION E-E: COLEMAN AVENUE TYPICAL SECTION

LEVEL 3 PFE 86.00
LEVEL 2 PFE 74.00
LEVEL 1 PFE 62.00
BASEMENT PFE 52.00

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**GATEWAY CROSSINGS**

10121 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 996-8425

DATE: 08-16-2018  
PROJECT #:   
SCALE: AS INDICATED

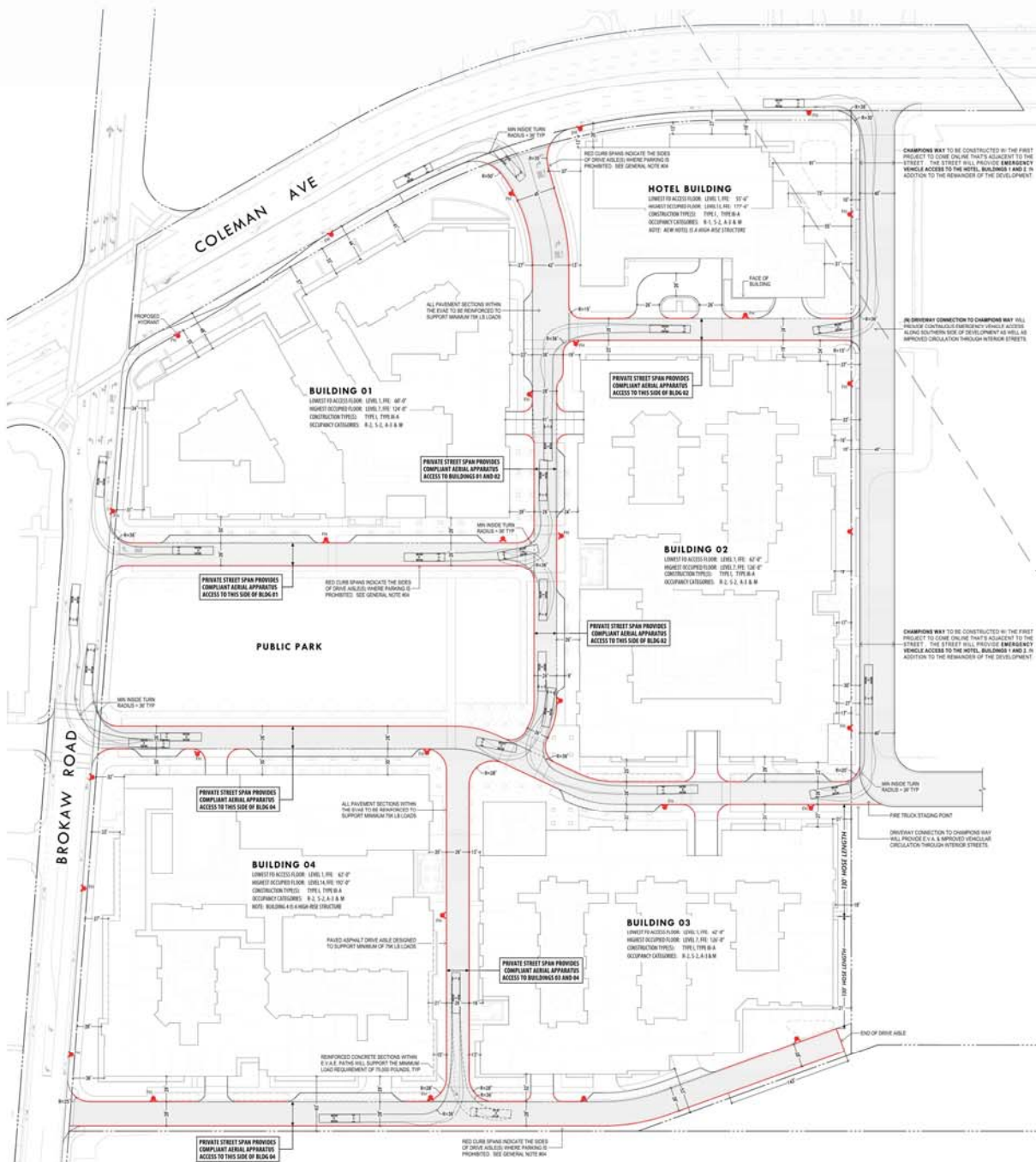


**SHEET TITLE**  
**TYPICAL STREET SECTIONS**

**SHEET NUMBER**  
**C2.30**

**NTERRA GROUP**  
1295 E DUNN AVE. #230  
MORGAN HILL CA 95037





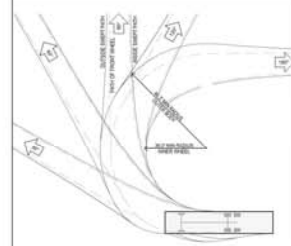
## FIRE FLOW TEST RESULTS



## GENERAL NOTES

- FIRE HYDRANT LOCATIONS SHOWN ARE SCHEMATIC ONLY AND WILL BE FINALIZED AT A LATER STAGE.
- EMERGENCY VEHICLE ACCESS ROADS ARE PROVIDED WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS. APPROVED FIRE DEPARTMENT TURNAROUNDS HAVE BEEN PROVIDED WHEREVER DEAD-END ACCESS ROAD(S) ARE IN EXCESS OF 150 FEET.
- ALL SHADED ROADWAYS INDICATED AS EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 7,500 LBS. E.V.A.E. PATHS SHOWN WITH PAVES WILL BE REINFORCED TURF-BLOCK TO BE PRE-APPROVED BY THE FIRE DEPARTMENT AT THE PERMIT STAGE.
- ALL ON-SITE ROADWAYS AND FIRE APPARATUS ACCESS ROADS (E.V.A.E.) PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 20'-0" AND MINIMUM VERTICAL CLEARANCE OF 13'-6", IN ACCORDANCE WITH THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
- ALL PAVING MATERIALS WITHIN THE SHADED REGIONS SHOWN SHALL BE DESIGNED TO SUPPORT A MINIMUM GROSS VEHICLE WEIGHT OF 7,500 POUNDS.
- CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
- NOTE THAT ALL INTERIOR PODIUM COURTYARDS SHOWN ARE SITUATED ABOVE THE GROUND ELEVATIONS OF EMERGENCY VEHICLE ACCESS (THE "E.V.A.E. GRADE"). REFER TO ARCHITECTURAL ELEVATIONS AND SECTIONS FOR SPECIFIC DETAILS ON COURTYARD ELEVATIONS AND FLOORS.

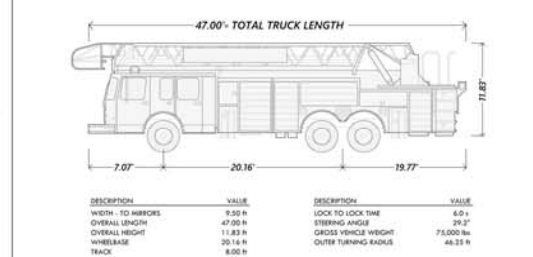
## CSC - LADDER TRUCK

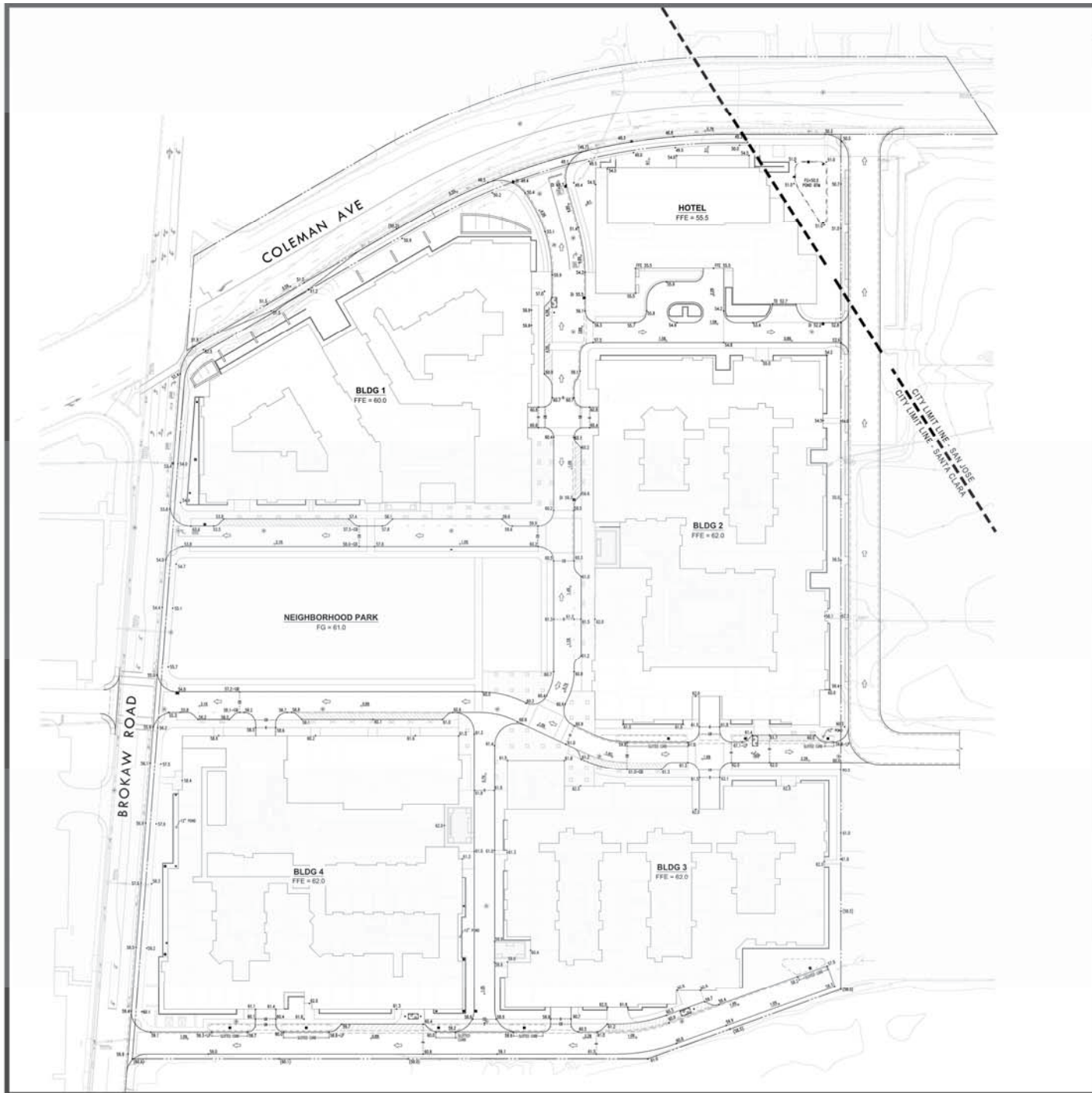


## PLAN LEGEND

- EMERGENCY VEHICLE ACCESS ROAD/EASEMENT
- RED-PAINTED CURB SPANS PER NOTE 4
- PROPOSED FIRE HYDRANT LOCATION PER NOTE 1

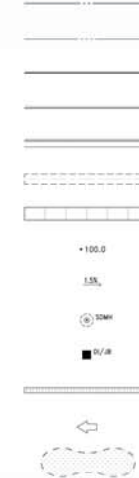
## CITY OF SANTA CLARA - LADDER TRUCK PROFILE





# PLAN LEGEND

## LINETYPE / SYMBOL



## DESCRIPTION

EXISTING PROPERTY LINE  
 EXISTING ADJACENT PROPERTY LINE  
 BUILDING WALL / EDGE  
 NEW 6" CONCRETE VERTICAL CURB  
 NEW CONCRETE CURB AND GUTTER  
 NEW CONCRETE VALLEY GUTTER  
 NEW CONCRETE SIDEWALK  
 FRESH GRADE ELEVATION  
 PROPOSED GROUND SLOPE  
 PROPOSED STORM DRAIN MANHOLE  
 PROPOSED DROP INLET/CATCH BASIN  
 PROPOSED GARAGE TRENCH DRAIN  
 FLOW DIRECTION OF OVERLAND RELEASE  
 PROPOSED BIOTREATMENT POND

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SCALE: AS INDICATED



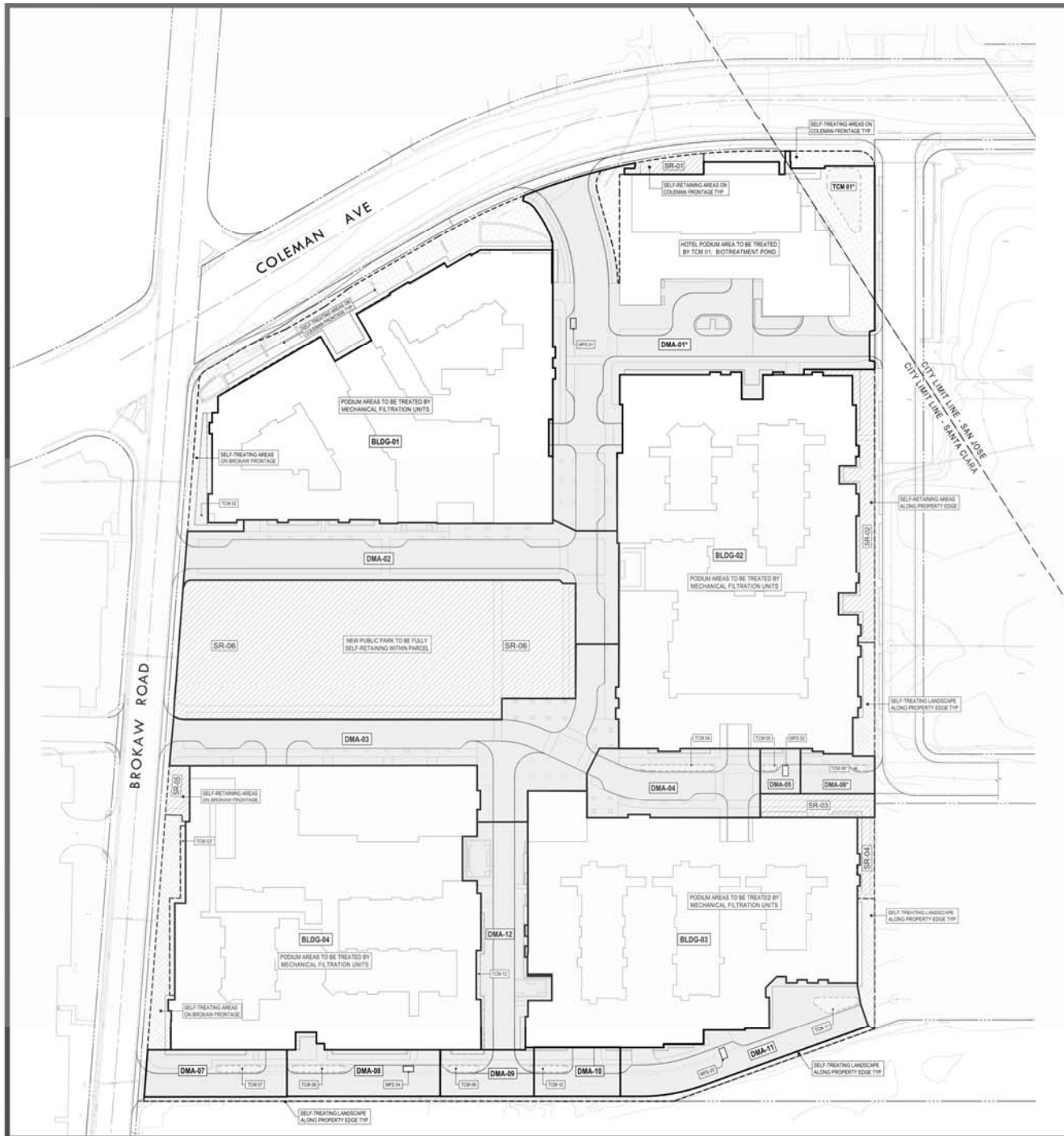
SHEET TITLE  
 PRELIMINARY  
 GRADING PLAN

SHEET NUMBER  
 C3.10



NTERRA GROUP  
 1225 E DUNNE AVE. #200  
 MORGAN HILL, CA 95037





## PLAN LEGEND

- DRAINAGE MANAGEMENT AREA LIMITS**
- AT-GRADE SURFACE AREAS:**  
TREATMENT VIA 100% L.I.D. MEASURES (FLOW-THRU PLANTERS & BIOTREATMENT)
- SELF-TREATING AREAS:**  
100% PERVIOUS AREAS WITH NO IMPERVIOUS SURFACE AREA RUN-ON
- SELF-RETAINING AREAS:**  
100% PERVIOUS AREAS WITH 2:1 MAX RATIO OF IMPERVIOUS SURFACE AREA RUN-ON
- STRUCTURED PODIUM FOOTPRINTS (RESIDENTIAL LOTS):**  
TREATMENT FOR PODIUM DECKS, FLATWORK & ROOF AREAS VIA MECHANICAL FILTRATION SYSTEMS IN ACCORDANCE WITH THE PROVISIONS FOR SPECIAL PROJECT QUALIFICATION.
- STRUCTURED PODIUM FOOTPRINTS (HOTEL LOT):**  
TREATMENT FOR PODIUM DECK, FLATWORK & ROOF AREAS USING 100% L.I.D. MEASURES (BIOTREATMENT)
- TREATMENT CONTROL MEASURES:**  
FLOW-THRU PLANTERS AND BIOTREATMENT PONDS

## TREATMENT NOTES

- DUE TO THE AVAILABILITY OF RECLAIMED WATER TO THE SITE, RAINWATER HARVESTING IS FEASIBLE. STREET & SIDEWALK AREAS WILL BE TREATED VIA LANDSCAPE-BASED TREATMENT MEASURES (BIOTREATMENT PONDS). SPECIAL PROJECT CREDITS UP TO 70% OF TOTAL SITE MAXIMUM WILL BE UTILIZED FOR MECHANICAL TREATMENT OF THE PODIUM STRUCTURES IN ACCORDANCE WITH SCVURPPP GUIDELINES. PERIMETER LANDSCAPE AREAS WILL BE SELF-TREATING OR SELF-RETAINING.
- ALL BIOTREATMENT AREAS (WITH THE EXCEPTION OF DMA 01 AND 06) HAVE BEEN PRELIMINARILY SIZED USING THE GUIDELINES IN THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM DESIGN MANUAL, PER THE 45 SIZING CRITERIA AS A CONSERVATIVE MEASURE.
- POND AREAS MAY BE REVISED AT FURTHER DESIGN STAGES TO UTILIZE COMBINATION FLOW AND VOLUME BASED CALCULATION METHODS THAT ALLOW FOR INCREASED PONDING DEPTHS AND REDUCED SURFACE FOOTPRINTS, PER SCVURPPP GUIDELINES.
- REFER TO THE COMPLETE STORMWATER APPLICATION PACKET FOR SIZING DETAILS INCLUDING ALL FEASIBILITY WORKSHEETS, IMPERVIOUS SURFACE FORMS AND SIZING CALCULATIONS, TO BE SUBMITTED UNDER SEPARATE COVER.

## L.I.D. ACRONYMS

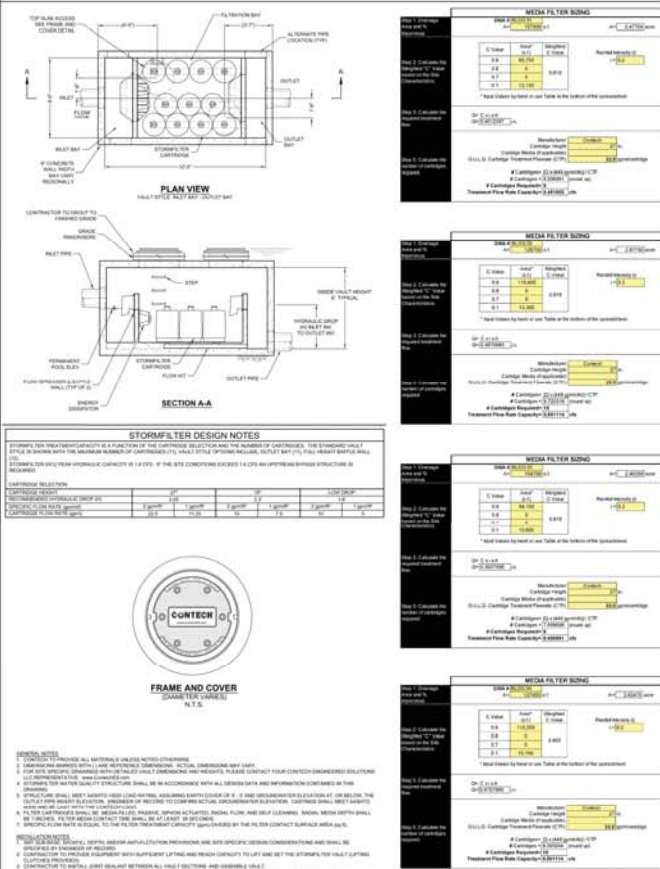
- DMA-01** DRAINAGE MANAGEMENT AREAS
- ST-01** SELF-TREATING AREAS
- SR-01** SELF-RETAINING AREAS
- TCM-01** TREATMENT CONTROL MEASURES
- MFS-01** MEDIA FILTRATION SYSTEMS

## ON-SITE TCM SUMMARY TABLE

AREAS		TREATMENT METHOD		SIZING	
DMA NUMBER	TCM NUMBER	MFS NUMBER	BIOTREATMENT	TOTAL IMPERVIOUS AREA FOR DMA (SF)	TCM AREA REQUIRED (SURFACE AREA IN SF)
DMA-01	01		X	13,674 sf	2,390 sf
DMA-02	02		X	35,745 sf	1,430 sf
DMA-03	03		X	41,365 sf	1,863 sf
DMA-04	04	X		13,600 sf	624 sf
DMA-05	05	X		2,372 sf	95 sf
DMA-06	06	X		4,356 sf	174 sf
DMA-07	07	X		8,242 sf	330 sf
DMA-08	08	X		9,422 sf	377 sf
DMA-09	09	X		5,193 sf	208 sf
DMA-10	10	X		4,586 sf	183 sf
DMA-11	11	X		15,365 sf	451 sf
DMA-12	12		X	10,420 sf	457 sf
<b>SELF-RETAINING AREAS</b>				<b>IMPERVIOUS SF TOTAL</b>	<b>PERVIOUS SF REQUIRED</b>
SR-01			X	372 sf	186 sf
SR-02			X	684 sf	342 sf
SR-03			X	1,439 sf	720 sf
SR-04			X	575 sf	288 sf
SR-05			X	378 sf	189 sf
SR-06			X	24,756 sf	12,358 sf
<b>MECHANICAL TREATMENT</b>				<b>IMPERVIOUS SF TOTAL</b>	<b>CATCHMENTS REQUIRED</b>
BLDG-01	01		X	93,750 sf	9 x 27' ea
BLDG-02	02		X	116,400 sf	10 x 27' ea
BLDG-03	03		X	94,100 sf	8 x 27' ea
BLDG-04	04		X	112,250 sf	10 x 27' ea
<b>GRAND TOTAL IMPERVIOUS AREA TREATED</b>				<b>692,604 sf</b>	

\*USES COMBINATION & FLOW VOLUME METHOD. SEE SHEET C3.21 FOR CALCULATIONS

## MEDIA FILTRATION SYSTEM DETAILS & TABLE



## BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> <li>INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES.</li> <li>INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE ALSO DESIRABLE.</li> <li>INSPECT BASIN DURING WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN THE TIMEFRAME, REMOVE &amp; REPLACE TOP 2 INCHES OF FILTER MEDIA.</li> </ul>	<p>POST CONSTRUCTION</p> <p>SEMI-ANNUAL</p> <p>SEMI-ANNUAL</p>
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> <li>MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED.</li> <li>IRRIGATE DURING DRY SEASON (APRIL - OCTOBER) OR WHEN NEEDED TO MAINTAIN VEGETATION.</li> <li>PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES.</li> <li>REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY.</li> <li>REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY.</li> <li>CORRECT ANY EROSION PROBLEMS WITHIN THE SAND/SOIL BED.</li> <li>PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.</li> <li>RE-SEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1-2 INCHES OF MULCH, PREFERABLY IN JUNE AFTER WEEDING.</li> <li>REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT PROPER OPERATION OF BIO TREATMENT PONDS. REMOVE SEDIMENT WHEN BUILD UP REACHES 3 INCHES AT ANY SPOT, IF IT COVERS VEGETATION, OR IF IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE ANY GRASS AREAS DAMAGED IN THE PROCESS.</li> <li>ROTTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED IF TREATMENT AREA DOES NOT DRAIN DOWN WITHIN 48 HOURS.</li> </ul>	<p>AS NEEDED (FREQUENT, SEASONALLY)</p> <p>SEMI-ANNUAL</p> <p>AS NEEDED (INFREQUENT)</p> <p>AS NEEDED (INFREQUENT)</p> <p>AS NEEDED</p>

## BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM)** SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "L" OF THE MUNICIPAL REGIONAL PERMIT (MRP), ADOPTED BY THE REGIONAL WATER BOARD ON NOVEMBER 28TH, 2011. THE **BSM** SHALL ACHIEVE AN INFILTRATION RATE BETWEEN A MINIMUM OF 5-INCHES AND MAXIMUM OF 10-INCHES PER HOUR.
- SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVRPPP), DATED APRIL 8TH, 2014, AVAILABLE AT: [www.scvrpp-pw2k.com/ind\\_wp.shtml](http://www.scvrpp-pw2k.com/ind_wp.shtml)
- BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER. PERCOLATION TESTS SHALL BE PERFORMED BY THE SOILS ENGINEER ON-SITE BEFORE AND AFTER INSTALLATION.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
- SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "D" OF THE C.3. STORMWATER HANDBOOK, DATED APRIL, 2012. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

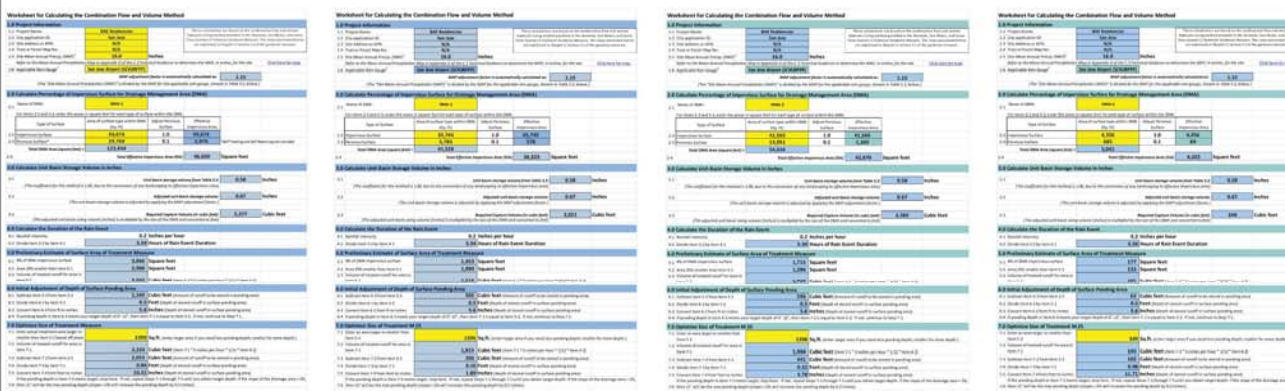
## OVERALL SITE PERMEABILITY TABLE

A. TOTAL SITE AREA	21.40 ACRES	B. TOTAL SITE AREA DISTURBED	21.40 ACRES
GATEWAY CROSSINGS	EXISTING AREA	PROPOSED AREA	TOTAL POST-PROJECT AREA
		REPLACED	NEW
<b>IMPERVIOUS AREA</b>			
ROOF	266,588 sf	266,588 sf	84,082 sf
PARKING	490,383 sf	118,850 sf	0 sf
SIDEWALKS & STREETS	29,459 sf	29,459 sf	195,936 sf
<b>C. TOTAL IMPERVIOUS AREA</b>	<b>786,430 sf</b>	<b>414,897 sf</b>	<b>280,018 sf</b>
<b>D. TOTAL NEW &amp; REPLACED IMPERVIOUS AREA</b>			<b>694,915 sf</b>
<b>PERVIOUS AREA</b>			
LANDSCAPING	145,749 sf	145,749 sf	77,415 sf
PERVIOUS PAVING	0 sf	0 sf	0 sf
OTHER (GREEN ROOF ETC)	0 sf	0 sf	14,100 sf
<b>E. TOTAL PERVIOUS AREA</b>	<b>145,749 sf</b>	<b>145,749 sf</b>	<b>91,515 sf</b>
<b>F. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS</b>			
(REPLACED TOTAL IMPERVIOUS AREA ÷ EXISTING TOTAL IMPERVIOUS AREA) × 100% =			
			<b>52.76 %</b>

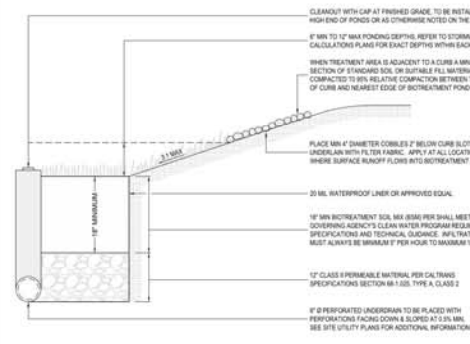
## SOURCE CONTROL MEASURES IMPLEMENTED

- SD-10: SITE DESIGN & LANDSCAPE PLANNING**
- MAXIMIZED TREES AND PLANTING WITHIN NEW HARDSCAPE AREAS AND LANDSCAPED AREAS.
  - VEGETATION/PLANTING FOR ALL LANDSCAPE AREAS WHICH SLOPE DOWN AT A RATIO OF LESS THAN 5:1.
- SD-11: EFFICIENT IRRIGATION**
- RAIN-TRIGGERED SHUTOFF DEVICES FOR IRRIGATION SYSTEMS TO PREVENT OPERATION AFTER RAINFALL.
  - IRRIGATION SYSTEMS DESIGNED SPECIFICALLY TO ACCOMMODATE THE PROJECT'S IRRIGATION WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE**
- ALL CATCH BASINS AND INLETS TO BE STENCILED W/ PROHIBITIVE LANGUAGE REGARDING DUMPING, IN ACCORDANCE WITH CITY & SCVRPPP STANDARDS.

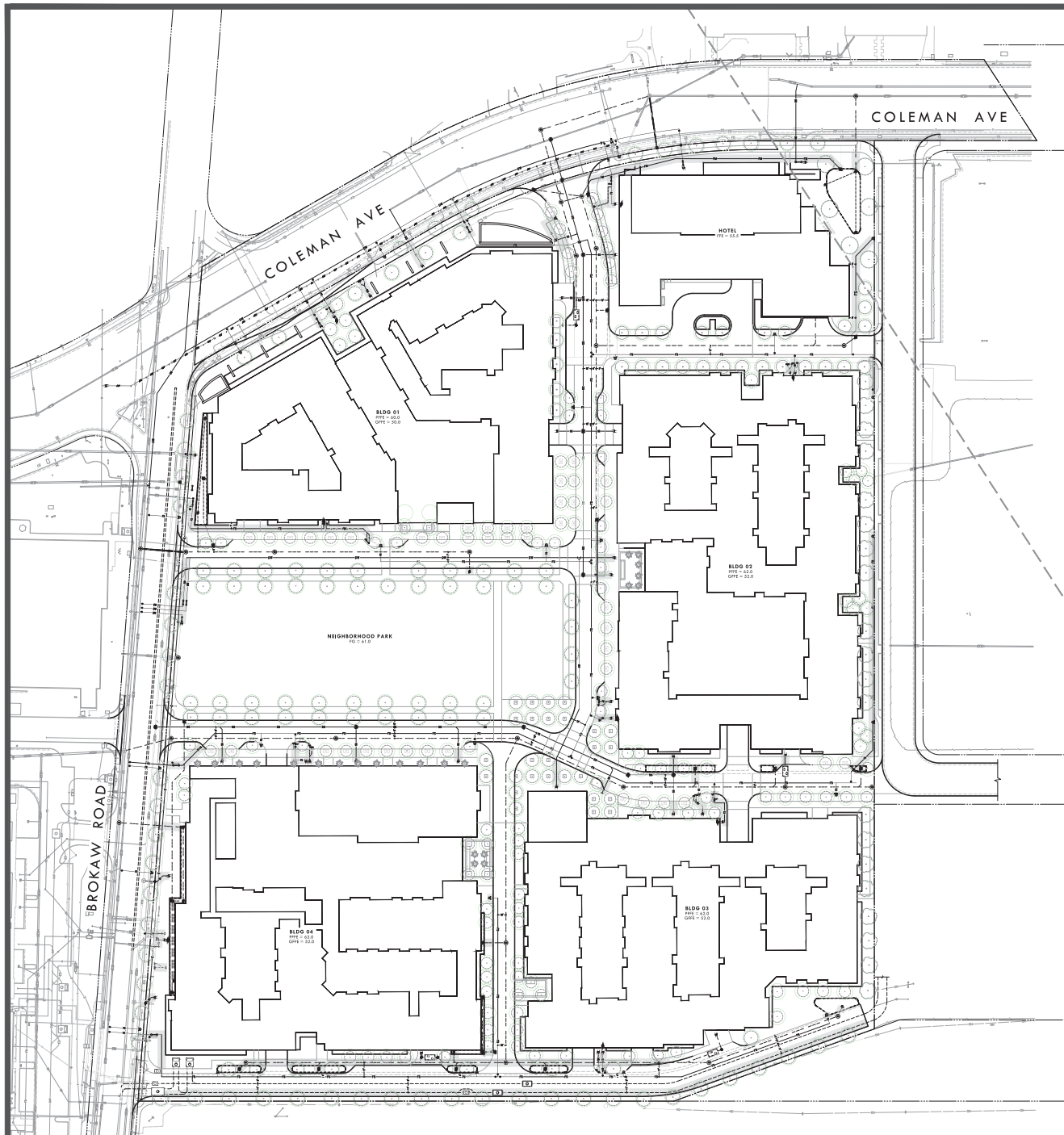
## COMBINATION VOLUME & FLOW SIZING CALCULATIONS FOR TREATMENT CONTROL MEASURES: TCM-01, TCM-02, TCM-03, AND TCM-06



## TYPICAL BIOTRETENTION AREA HALF-SECTION







## GENERAL NOTES

1. THE SHADED REGIONS WHICH OVERLAY UTILITY MAINS AND LATERALS ON THIS PLAN DEPICT A 5-FOOT OFFSET ON EITHER SIDE OF THE UTILITY PIPING, PROVIDING A REPRESENTATION OF 10-FOOT CLEAR SPACE FROM EDGE TO EDGE.
2. THE GREEN CIRCLES REPRESENT 20-FOOT DIAMETER CLEAR ZONES CENTERED ON EACH PROPOSED TREE LOCATION. THESE CIRCLES DEPICT THE REQUIRED 10-FOOT RADIUS OF CLEAR SPACE REQUIRED BETWEEN TREES AND MOST UTILITY LINES.
3. WHERE THE SHADED PIPELINE REGION INTERSECTS A TREE 'GREEN ZONE' RADIUS THIS REPRESENTS AN ENCROACHMENT INTO THE REQUIRED 10-FOOT CLEAR SPACE. A PIPELINE'S SHADED REGION WOULD NEED TO TOUCH OR OVERLAP THE CENTER OF A PROPOSED TREE IN ORDER TO VIOLATE THE MINIMUM 5-FOOT CLEAR SPACE ALLOWED WHEN ROOT BARRIERS ARE INSTALLED IN LIEU OF PROVIDING 10-FOOT CLEAR.

HUNTER STORM

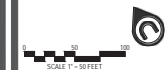
10121 Miller Ave, Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 996-8425

## GATEWAY CROSSINGS

DATE: 08-16-2018

PROJECT #:

SCALE: AS INDICATED



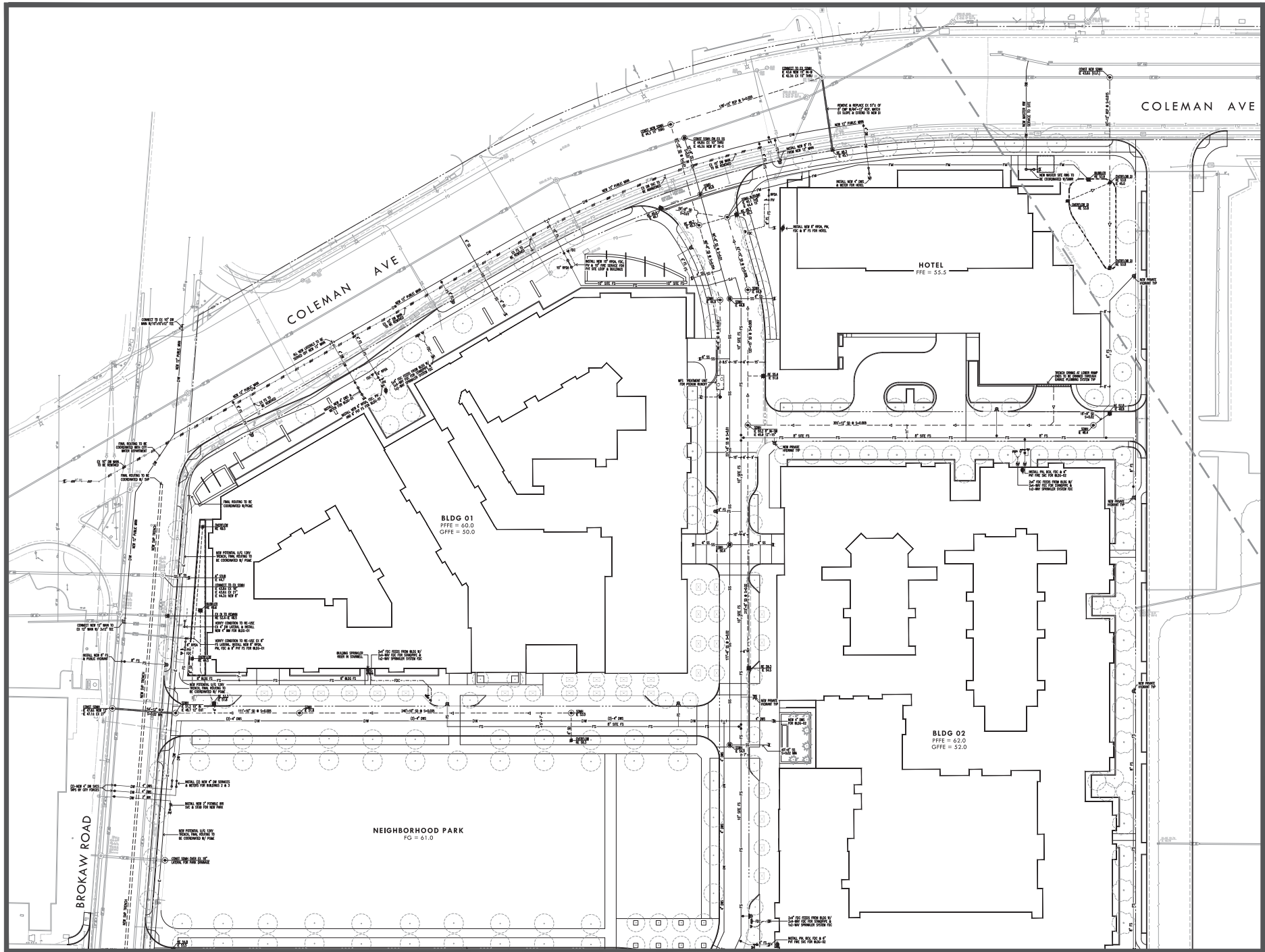
SHEET TITLE  
COMPOSITE SITE  
UTILITY & TREE  
OVERLAY PLAN

SHEET NUMBER

C4.10



NTERRA GROUP  
1295 E DUNNE AVE. #230  
MORGAN HILL CA 95037



HUNTER STORM

# GATEWAY CROSSINGS

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DATE: 08-16-2018

PROJECT #:

SCALE: AS INDICATED



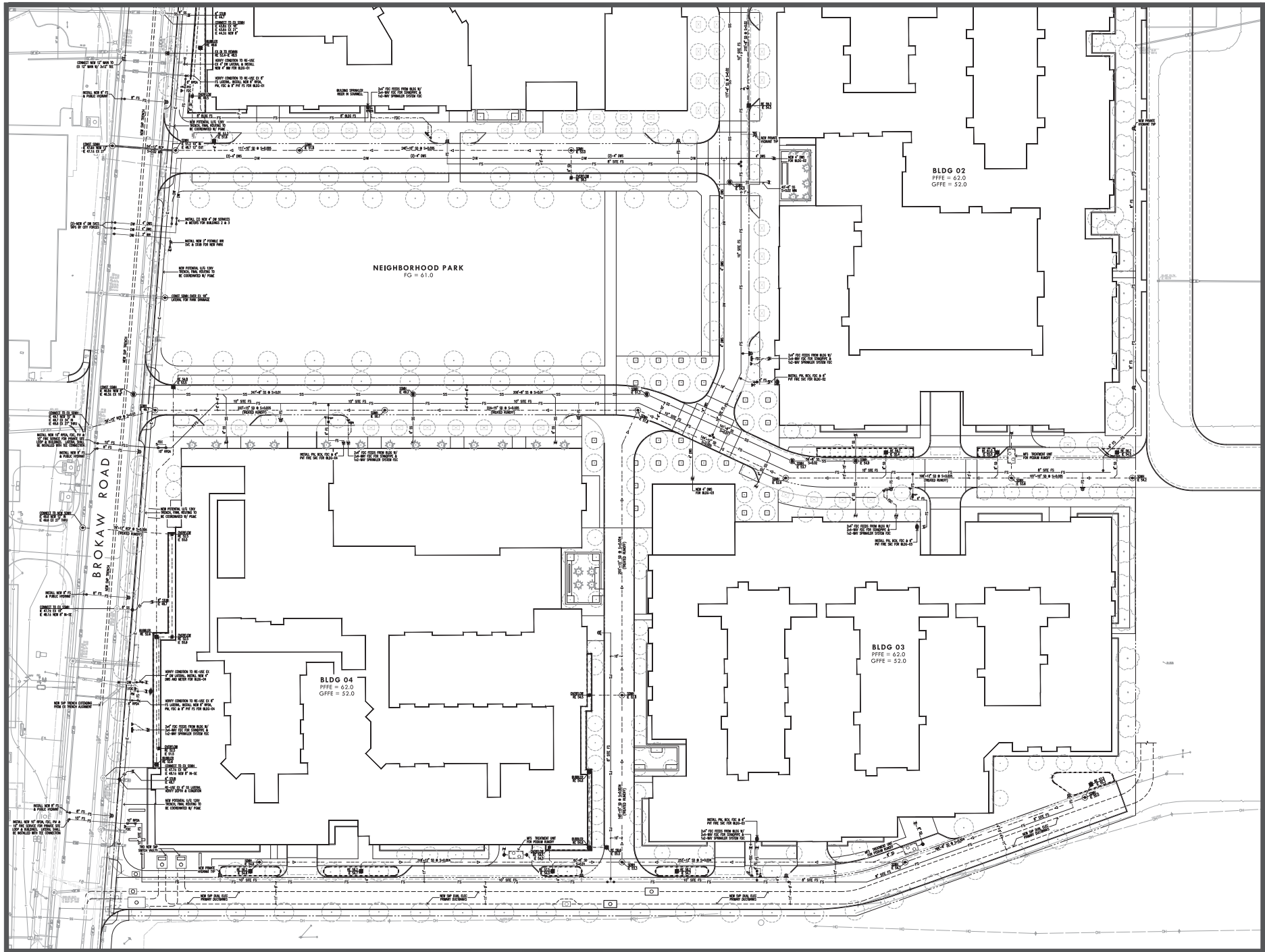
SHEET TITLE  
**PRELIMINARY  
UTILITY PLAN**

SHEET NUMBER  
**C4.11**



**NTERRA GROUP**  
1295 E DUNNE AVE #230  
MORGAN HILL CA 95037





HUNTER STORM

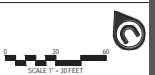
# GATEWAY CROSSINGS

10121 Miller Ave, Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 996-8425

DATE: 08-16-2018

PROJECT #:

SCALE: AS INDICATED

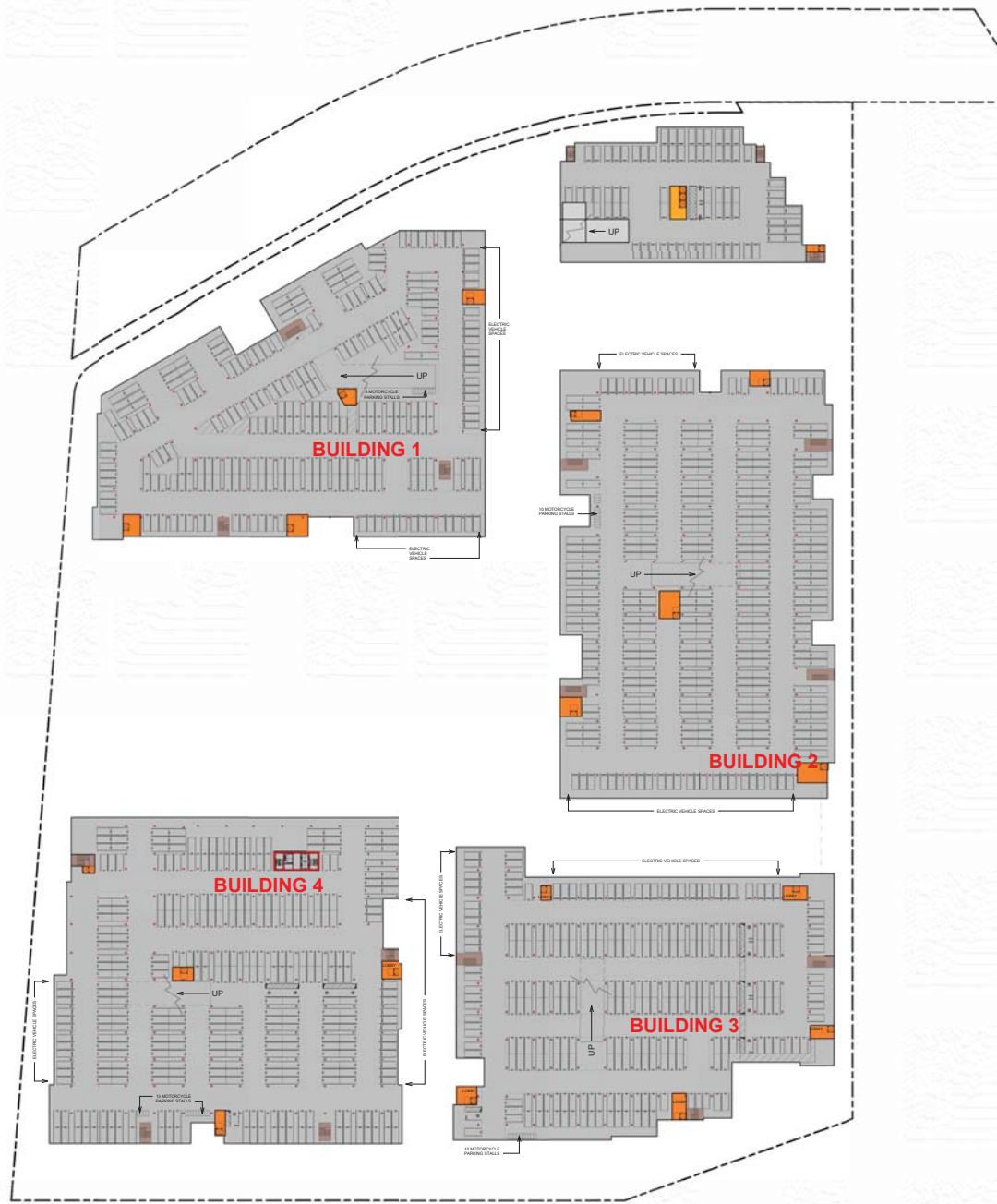


SHEET TITLE  
**PRELIMINARY  
UTILITY PLAN**

SHEET NUMBER  
**C4.12**



**NTERRA GROUP**  
1295 E DUNNE AVE #230  
MORGAN HILL CA 95037



HOTEL BASEMENT PARKING DATA						
PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING		
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING				
2	69	0	N/A	0		
71						

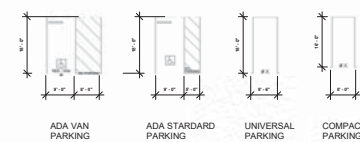
BUILDING 1 BASEMENT PARKING DATA							MOTORCYCLE PARKING	BICYCLE PARKING
VISITOR PARKING	PARKING PROVIDED		RESIDENT PARKING		COMPACT PARKING			
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	8	0
N/A	N/A	N/A	0	32	208	7		
N/A							247	

BUILDING 2 BASEMENT PARKING DATA							MOTORCYCLE PARKING	BICYCLE PARKING
RETAIL/VISITOR PARKING	PARKING PROVIDED		RESIDENT PARKING		COMPACT PARKING			
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	10	0
N/A	N/A	N/A	0	34	302	0		
N/A							336	

BUILDING 3 BASEMENT PARKING DATA							MOTORCYCLE PARKING	BICYCLE PARKING
RETAIL/VISITOR PARKING	PARKING PROVIDED		RESIDENT PARKING		COMPACT PARKING			
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	10	0
N/A	N/A	N/A	6	36	216	3		
N/A							255	

BUILDING 4 BASEMENT PARKING DATA							MOTORCYCLE PARKING	BICYCLE PARKING
RETAIL/VISITOR PARKING	PARKING PROVIDED		RESIDENT PARKING		COMPACT PARKING			
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	13	0
N/A	N/A	N/A	5	27	274	21		
N/A							327	

NOTE:  
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.  
THERE ARE IN TOTAL 60 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARGAE AND ON STREET LEVEL.  
FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.







### HOTEL GROUND LEVEL PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING		
3	67	0	N/A	8
70				

\*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

### BUILDING 1 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	
3	48	N/A	6	0	76	4	N/A
51*			86				108

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 0.150U)

### BUILDING 2 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	
4	58	N/A	10	0	127	2	N/A
62*			139				132

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 0.150U)

### BUILDING 3 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	
3	55	N/A	0	0	81	0	N/A
58*			87				129

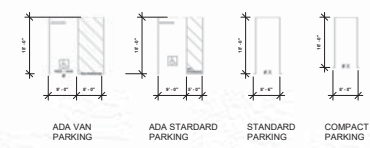
\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 0.150U)

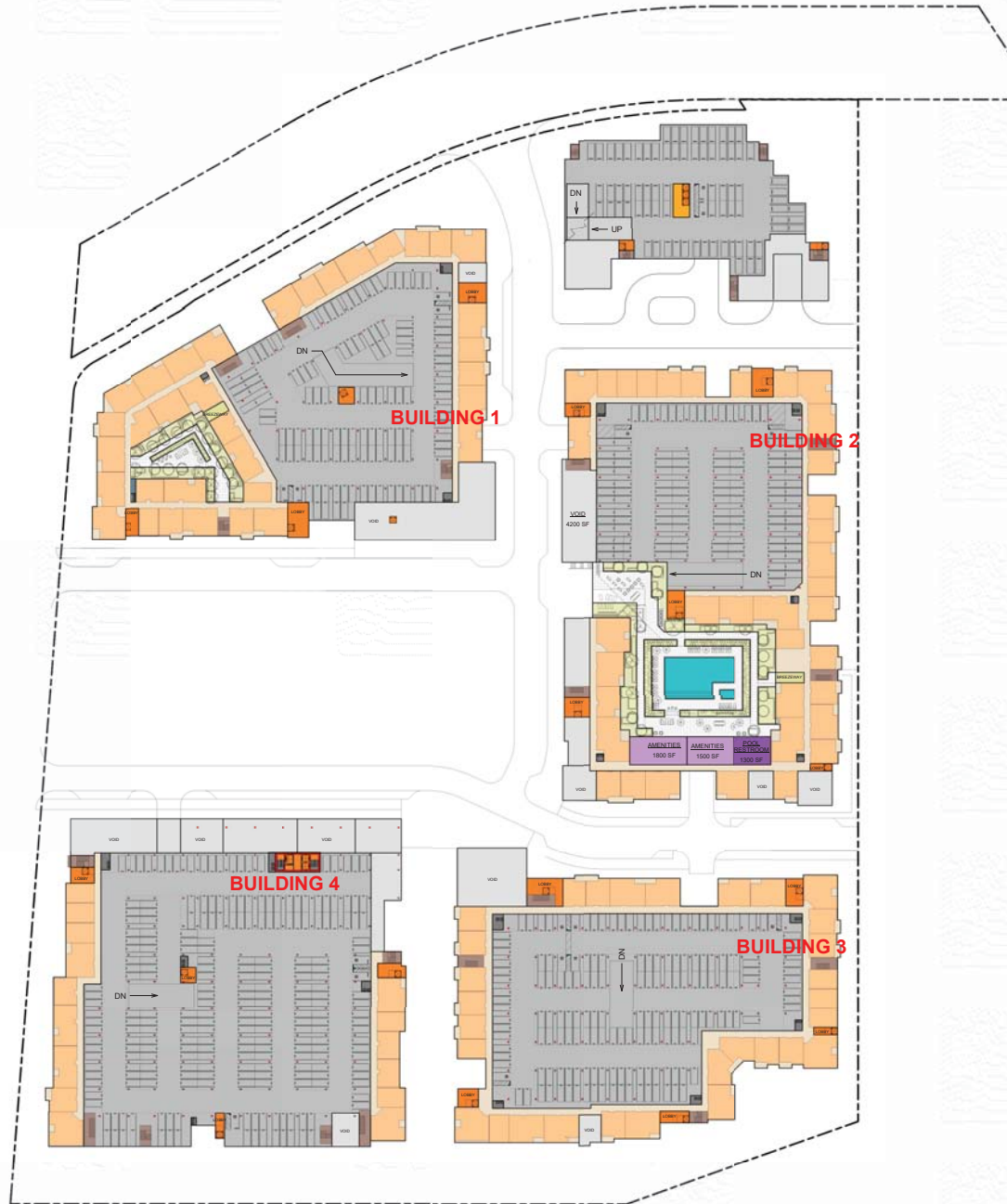
### BUILDING 4 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	
4	63	N/A	5	14	128	0	N/A
67*			147				171

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 0.150U)

NOTE:  
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.  
THERE ARE IN TOTAL 84 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.  
FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





<u>HOTEL LEVEL 2 PARKING DATA</u>						
PARKING PROVIDED					MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING			N/A	N/A
2	73	N/A				
75						

\*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

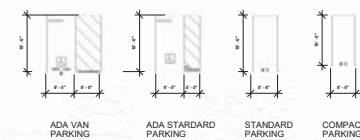
BUILDING 1 LEVEL 2 PARKING DATA								MOTORCYCLE PARKING	BICYCLE PARKING
RETAIL/VISITOR PARKING			RESIDENT PARKING						
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
N/A	N/A	N/A	4	0	107	0	N/A	N/A	
N/A			111						

BUILDING 2 LEVEL 2 PARKING DATA									
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING	
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A	
N/A	N/A	N/A	2	0	113	0			
N/A			115						

BUILDING 3 LEVEL 2 PARKING DATA										
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING		
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A		
N/A	N/A	N/A	6	0	156	0				
N/A			162							

BUILDING 4 LEVEL 2 PARKING DATA										
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING		
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A		
N/A	N/A	N/A	3	0	220	0				
N/A			223							

NOTE:  
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.  
THERE ARE IN TOTAL 60 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.  
FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.







### HOTEL LEVEL 3 PARKING DATA

ADA PARKING	PARKING PROVIDED		MOTORCYCLE PARKING	BICYCLE PARKING
	UNIVERSAL PARKING	COMPACT PARKING		
0	76	N/A	N/A	N/A
	76			

\*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

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Phone: (408) 255-4100 Fax: (408) 996-5425

GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

SHEET TITLE  
SITE PLAN  
LEVEL 3

SHEET NUMBER  
A1.04

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**GATEWAY CROSSINGS**

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Phone: (408) 255-4100 Fax: (408) 998-8425

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 8 16

NORTH

**SHEET TITLE**  
**SITE PLAN**  
**LEVEL 4-5**

**SHEET NUMBER**  
**A1.05**

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# GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

SHEET TITLE  
SITE PLAN  
LEVEL 7

SHEET NUMBER  
A1.07

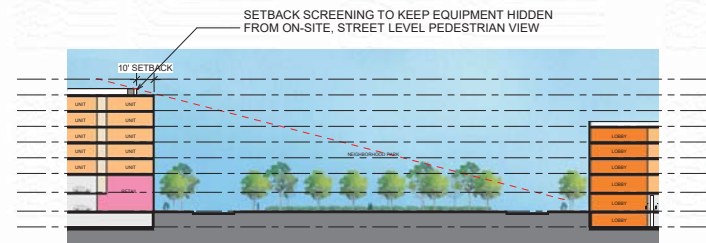
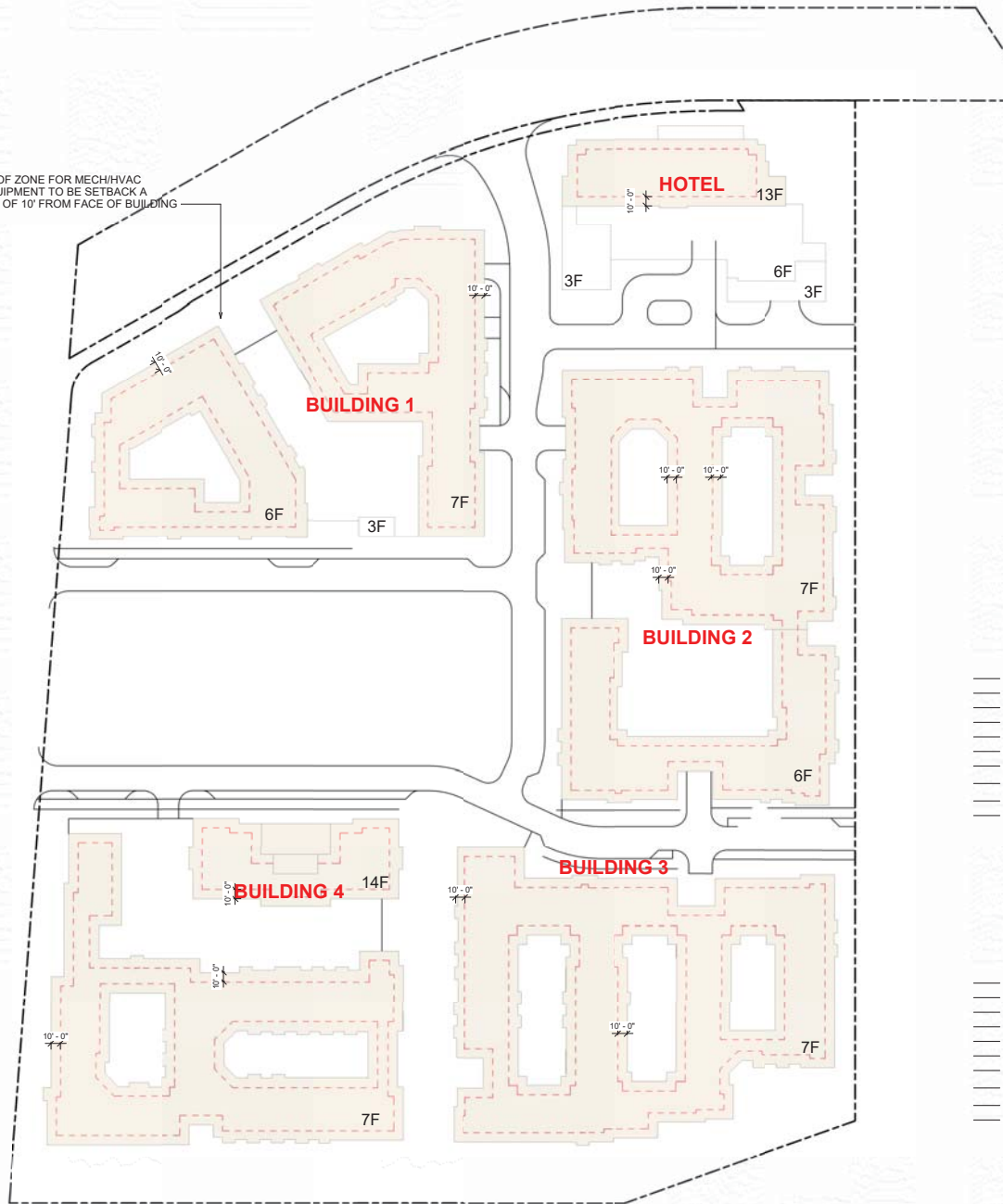
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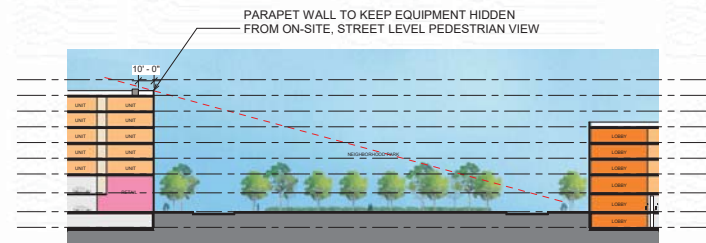
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ROOF ZONE FOR MECH/HVAC  
EQUIPMENT TO BE SETBACK A  
MIN OF 10' FROM FACE OF BUILDING



CONDITION 1 - SCREENING SETBACK FROM EDGE OF BUILDING  
ENLARGEMENT OF SECTION D/SP1.00



CONDITION 2 - PARAPET AT FACE OF BUILDING USED TO SCREEN VIEW  
ENLARGEMENT OF SECTION D/SP1.00

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DATE: 6-28-2018

PROJECT #:

SCALE: As indicated

0 50 100

NORTH

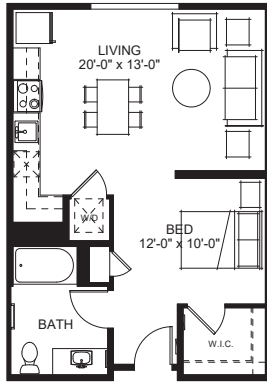
SHEET TITLE  
SITE PLAN  
ROOF PLAN

SHEET NUMBER  
A1.08

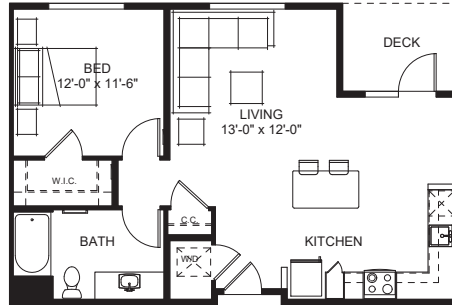
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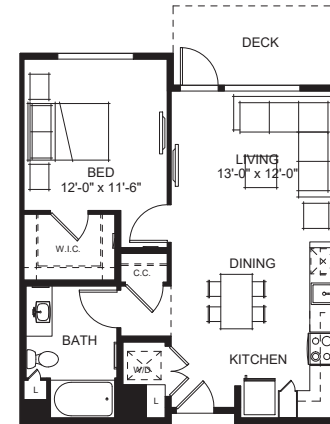
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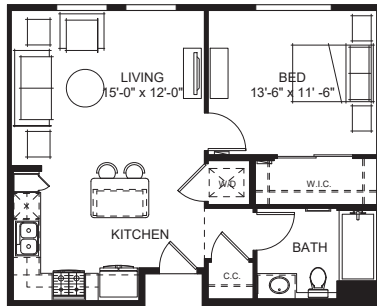
① UNIT - STUDIO  
1/4" = 1'-0"



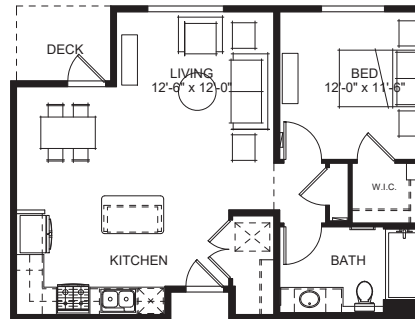
⑥ UNIT - 1BR (A)  
1/4" = 1'-0"



② UNIT - 1BR (B)  
1/4" = 1'-0"



③ UNIT - 1BR (C)  
1/4" = 1'-0"



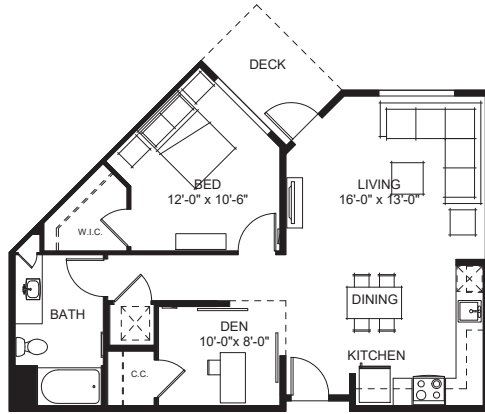
⑦ UNIT - 1BR (D)  
1/4" = 1'-0"

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

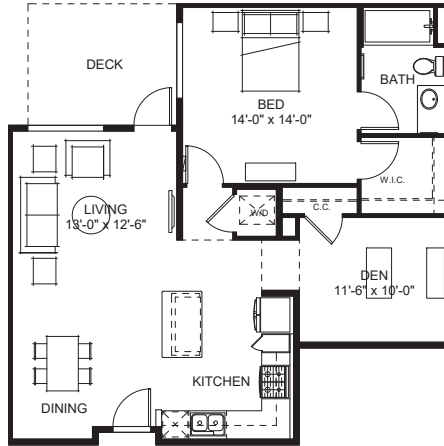
UNIT TYPE	TOTAL	UNIT	UNIT COUNT	UNIT SIZE (sf)	DECK SIZE (sf)
STUDIO	230	-	230	625	N/A
1-BEDROOM	633	A	34	795	66
		B	479	722	78
		C	60	693	N/A
		D	41	773	47
		CUSTOM*	19	VARIES	VARIES
1-BED + DEN	127	A	83	875	57
		B	44	1000	114
2-BEDROOM	562	A	83	1080	45
		B	376	1036	62
		C	71	1185	51
		CUSTOM*	32	VARIES	VARIES
2-BED + DEN	48	-	48	1355	115

\*CUSTOM UNIT PLANS NOT INCLUDED IN DRAWING SET. SIZE, DECK, AND FOOTPRINT VARY PER LOCATION.

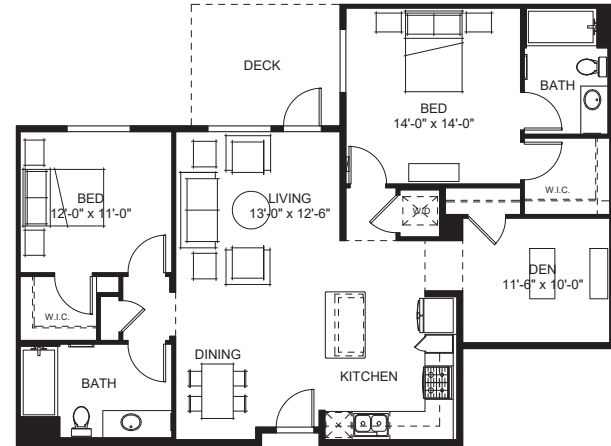




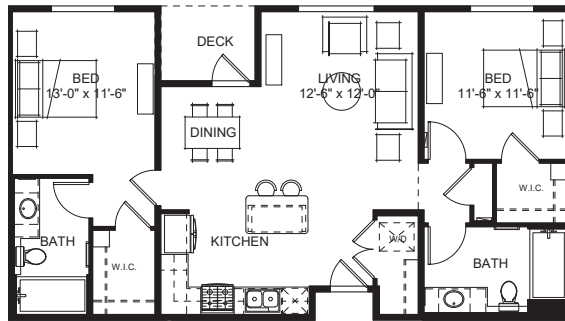
UNIT - 1BR + DEN (A)  
1/4" = 1'-0"



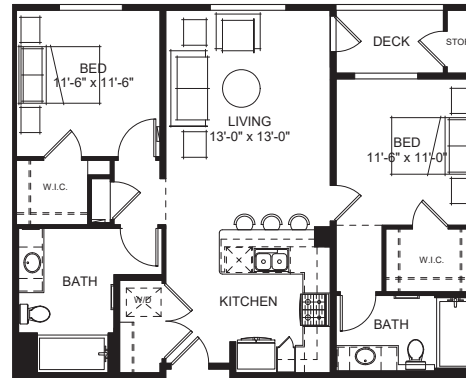
UNIT - 1BR + DEN (B)  
1/4" = 1'-0"



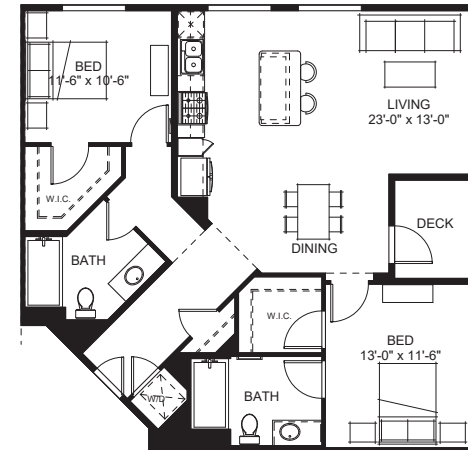
UNIT - 1BR + DEN  
1/4" = 1'-0"



UNIT - 2BR (A)  
1/4" = 1'-0"



UNIT - 2BR (B)  
1/4" = 1'-0"



UNIT - 2BR (C)  
1/4" = 1'-0"

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

HUNTER STORM

GATEWAY CROSSINGS

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DATE: 6-28-2018

PROJECT #:

SCALE: 1/4" = 1'-0"

0 8 16

NORTH

SHEET TITLE  
TYPICAL UNIT  
PLANS

SHEET NUMBER  
A1.12

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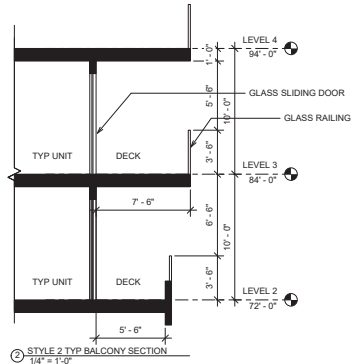




## STYLE 2

### STYLE DESCRIPTION

- Abstract fenestration patterns.
- Facades defined by floating planes that project beyond the building mass.
- Windows grouped vertically within floating planes.
- Horizontal slatted members define shading and railing devises.



### ARCHITECTURAL IMAGERY



### KEY MAP

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENGINEERED COMPOSITE SLATTED SCREEN
- 2 ENHANCED GLAZING SYSTEM
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 STUCCO
- 6 CLADDING/ METAL CORNICE
- 7 GFRG/ CLADDING/ METAL PANEL
- 8 PLASTER



BUILDING 1 NORTH ELEVATION  
(FRONTING COLEMAN AVE)  
1/8" = 1'-0"

NOTE:  
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS  
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

DATE: 6-28-2018

PROJECT #:

SCALE: As Indicated

0 8 16

NORTH

SHEET TITLE

ARCHITECTURAL

STYLE 2

SHEET NUMBER

A2.02

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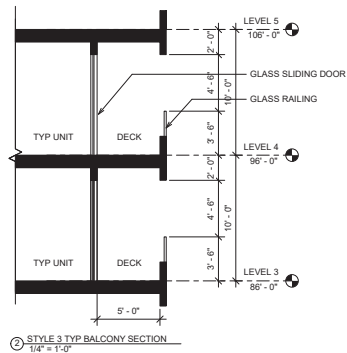
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## STYLE 3

### STYLE DESCRIPTION

- Projecting frames used to group fenestrations and create a vertical rhythm.
- Juliet balconies add texture and shadow between frames.
- Solid, defined horizontal base organizes the facade composition.
- Enhanced glazing and vertical articulation accent and mark important corners.



### ARCHITECTURAL IMAGERY



### KEY MAP

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 ENHANCED GLAZING SYSTEM
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 STUCCO
- 5 RAINSCREEN BASE
- 6 BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH METAL RAILING



NOTE: REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN. STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

DATE: 6-28-2018

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SCALE: As indicated

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NORTH

SHEET TITLE

ARCHITECTURAL

STYLE 3

SHEET NUMBER

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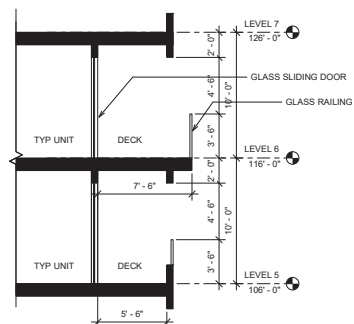
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## STYLE DESCRIPTION

- Traditional window patterning and proportioning devices.
- Projected mass extended from building face with recessed fenestrations
- Fenestration patterns organized by a strong grid.
- Shaped architectural cornice accents the top of the building.
- Enhanced horizontal panels provide textural variety.



② STYLE 4 TYP BALCONY SECTION  
1/4" = 1'-0"



NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

- 1 RAINSCREEN METAL PANEL
- 2 STOREFRONT GLAZING
- 3 METAL CANOPY
- 4 JUULET BALCONY WITH PANELIZED RAILING
- 5 RAINSCREEN
- 6 METAL CORNICE
- 7 GFRC/ CLADDING/ METAL
- 8 HORIZONTAL COMPOSITE SIDING



BUILDING 3 NORTH  
ELEVATION(FRONTING INTERNAL  
STREET)

NOTE:  
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS  
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

HUNTER STORM

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# GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE: As indicated

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NORTH

SHEET TITLE

ARCHITECTURAL

### STYLE 4

TABLE 1

**Figure 1**

**Abstract**

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SHEET NUMBER

## A2.04

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## STYLE 5

### STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Contemporary accent glass and metal forms extending from building face

### ARCHITECTURAL IMAGERY



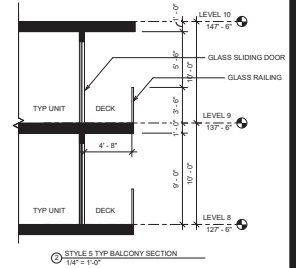
- 1 METAL PANEL
- 2 BRICK
- 3 METAL AWNINGS
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 TRADITIONAL WAREHOUSE GLAZING
- 7 METAL TRELLIS
- 8 LOUVERED SCREEN
- 9 PANELIZED RAILING
- 10 OPERABLE STOREFRONT



### KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.



TOD ZONING HEIGHT LIMIT 203'-0"

HOTEL MAXIMUM ROOF HEIGHT 202'-0"

HOTEL ROOF 197'-0"

HOTEL LEVEL 13 177'-0"

HOTEL LEVEL 12 167'-0"

HOTEL LEVEL 11 157'-0"

HOTEL LEVEL 10 147'-0"

HOTEL LEVEL 9 137'-0"

HOTEL LEVEL 8 127'-0"

HOTEL LEVEL 7 117'-0"

HOTEL LEVEL 6 107'-0"

HOTEL LEVEL 5 97'-0"

HOTEL LEVEL 4 87'-0"

HOTEL LEVEL 3 77'-0"

HOTEL LEVEL 2 67'-0"

HOTEL LEVEL 1 57'-0"

Grade Level



HOTEL SOUTH ELEVATION (FRONTING INTERNAL STREET)  
1/4" = 1'-0"

NOTE:  
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
ELEVATOR PENTHOUSES MATCH THE HEIGHT OF THE ROOF PARAPET

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GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #: 10171 Miller Ave, Suite 200, Claremont, CA 91714

SCALE: As Indicated

0 5 10

NORTH

SHEET TITLE

ARCHITECTURAL

STYLE 5 -

HOTEL

SHEET NUMBER

A2.05

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## STYLE 5

### STYLE DESCRIPTION

- Contemporary warehouse expression defined by traditional use of materials, prominent grid organization and interpretive forms.

### ARCHITECTURAL IMAGERY

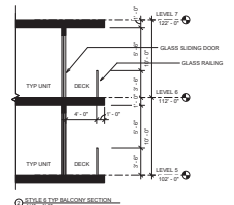


- 1 METAL PANEL
- 2 ARCHITECTURAL TILE
- 3 METAL AWNINGS
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 METAL TRELLIS
- 7 LOUVER
- 8 PANELIZED RAILING
- 9 OPERABLE STOREFRONT



### KEY MAP

NOT TO SCALE  
NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.



SECTION 5 - THE BALCONY SECTION



BUILDING 4 TOWER NORTH ELEVATION  
1/8" = 1'-0"

NOTE: REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
ELEVATOR PENETROUSSES MATCH THE HEIGHT OF THE ROOF PARAPET



## SPRING

MARCH 1

## SUMMER

JUNE 1

## AUTUMN

SEPTEMBER 1

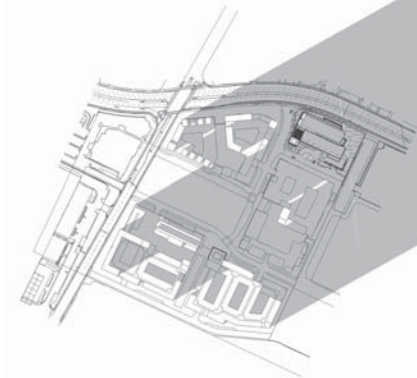
## WINTER

DECEMBER 1

9AM

12PM

4PM



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GATEWAY CROSSINGS

DATE: 6-28-2018

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SHEET TITLE  
SHADOW  
STUDIES

SHEET NUMBER  
A2.07

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#### BUILDING 1 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,502'	
Open Length Required	601'	40%
Facade Length Provided	610'	40.6%
AREA (sq ft)		
Total Garage Wall Area	14,014 sf	
% Open Area (Screen)	65%	
Open Area Required	2,803 sf	20%
Open Area Provided	2,926 sf	21%

#### BUILDING 2 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,749'	
Open Length Required	700'	40%
Facade Length Provided	705'	40.3%
AREA (sq ft)		
Total Garage Wall Area	16,318 sf	
% Open Area (Screen)	65%	
Open Area Required	3,264 sf	20%
Open Area Provided	3,410 sf	21%

#### BUILDING 3 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,503'	
Open Length Required	601'	40%
Facade Length Provided	610'	40.6%
AREA (sq ft)		
Total Garage Wall Area	14,023 sf	
% Open Area (Screen)	65%	
Open Area Required	2,805 sf	20%
Open Area Provided	2,930 sf	21%

#### BUILDING 4 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,558'	
Open Length Required	624'	40%
Facade Length Provided	625'	40.1%
AREA (sq ft)		
Total Garage Wall Area	14,545 sf	
% Open Area (Screen)	65%	
Open Area Required	2,909 sf	20%
Open Area Provided	3,040 sf	21%

— LOCATION OF GARAGE WALL OPENINGS

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PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

**SHEET TITLE**  
**VENTILATION**  
**PLAN MAP**

**SHEET NUMBER**  
**SP3.01**

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- L-1.0 Schematic Landscape Plan - Overall
- L-1.1 Park Master Plan
- L-1.2 Park Credit Legend
- L-1.3 Planting Notes and Legends
- L-2.1 Schematic Landscape Plan - Site
- L-2.2 Schematic Landscape Plan - Site
- L-2.3 Schematic Landscape Plan - Site
- L-2.4 Schematic Landscape Plan - Site
- L-2.5 Schematic Landscape Plan - Site
- L-2.6 Schematic Landscape Plan - Site
- L-2.7 Schematic Landscape Plan - Podium Building 1
- L-2.8 Schematic Landscape Plan - Podium Hotel
- L-2.9 Schematic Landscape Plan - Podium Building 2
- L-2.10 Schematic Landscape Plan - Podium Building 3
- L-2.11 Schematic Landscape Plan - Podium Building 4
- L-3.1 Irrigation Zoning Diagram - Site and Podium
- L-3.2 Irrigation Legend, Notes and Water-use Calculations
- L-3.3 Irrigation Details
- L-3.4 Irrigation Details
- L-4.1 Site Sections
- L-4.2 Site Sections
- L-4.3 Landscape Details
- L-4.4 Landscape Details
- L-4.5 Landscape Details

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SCALE: As Noted

#### SHEET TITLE

Schematic  
Landscape Plan -  
Overall

#### SHEET NUMBER

L-1.0

**THE GUZZARDO PARTNERSHIP INC.**  
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## LEGEND

COLOR	CATEGORY
	NEIGHBORHOOD PARK
	COMMUNITY THEME GARDENS
	OUTDOOR SEATING, FIREPLACE
	OUTDOOR GRILL, DINING AREA
	POOL AND SPA
	COMMON: FITNESS, GAME AREA, SCREENING ROOM
	INDOOR FITNESS, AMENITY AREA



SEE SHEET L-1.2 FOR PARK CREDIT LEGEND.  
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.



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SCALE: AsNoted

SHEET TITLE

Park Master Plan

SHEET NUMBER

L-1.1



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## PARK CREDIT LEGEND






### SITE - ON GRADE

COLOR	CATEGORY	PROGRAM USES	ELEMENTS	AREA PROVIDED
	NEIGHBORHOOD PARK	OPEN LAWN AREA (26,800 sf) EXERCISE AREA (8,040 sf) PLAY AREA (9,916 sf) GRILL AND PICNIC AREA (3,876 sf)	OPEN LAWN x FITNESS STATIONS, x BIKE PARKING, SHADE STRUCTURE, SEAT WALL AND BENCH x PLAY EQUIPMENT, x SEATING SPACES, SHADE SAILS, x BIKE PARKING SPACES x BBQ GRILLS, x PICNIC TABLES WITH x SEATING SPACES	93,446 SF
	LANDSCAPED AND FURNISHED QUIET AREAS	RED GARDEN (1,426 sf) WHITE GARDEN (880 sf) BLUE GARDEN (1,215 sf) SEATING PLAZA (2,308 sf) HAMMOCK GARDEN (1,053 sf)	14 SEATING SPACES, 4 PLANTER POTS, LIVING WALL, TREE STRING LIGHTS 12 SEATING SPACES, 2 BIKE PARKING SPACES FOUNTAIN, 16 SEATING SPACES, 4 BIKE PARKING SPACES, 12 PLANTER POTS 68 SEATING SPACES, TREE GROVE, 16 BIKE PARKING SPACES, 48 PLANTER POTS 4 HAMMOCKS IN PALM TREE GROVE	6,882 SF
				100,328 SF TOTAL





### BUILDING 1 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (3,760 sf) OUTDOOR SEATING AREA (665 sf)	4 FIREPLACES, 42 SEATING SPACES, 7 PLANTER POTS 12 SEATING SPACES	4,425 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES (1,090 sf)	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES	1,090 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,980 sf) SPA (198 sf) POOL DECK AND LOUNGE AREA (4,469 sf)	4 SWIMMING LANES 9'x16' SPA 50 CHAISE LOUNGE SEATING	7,647 SF
	INDOOR AMENITY AREA	CENTRAL GYM, CLUBHOUSE, POOL FACILITIES, VIEW LOUNGE		6,200 SF
				19,362 SF TOTAL






### BUILDING 2 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE AND LOUNGE SEATING	2 FIREPLACES, 26 SEATING SPACES, 3 PLANTER POTS	2,960 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 4 COVERED TABLES, 2 COMMUNAL TABLES, 42 SEATING SPACES, 3 SHADE STRUCTURES, 11 PLANTER POTS	2,965 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,940 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,234 sf)	4 SWIMMING LANES 10'x16' SPA 30 CHAISE LOUNGE SEATING	8,014 SF
	COMMON FITNESS, GAME AREA, SCREENING ROOM	OUTDOOR SCREENING ROOM (805 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (2,275 sf)	MOVIE SCREEN WITH 8 SEATING SPACES 2 FITNESS STATIONS, RUBBERIZED PLAYGROUND, 4 BENCHES	3,084 SF
	INDOOR AMENITY AREA	GAME ROOM, CLUBHOUSE, POOL FACILITIES		8,600 SF
				25,623 SF TOTAL

### BUILDING 3 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (2,035 sf) COVERED SEATING AREA (1,480 sf)	2 FIREPLACES, 15 LOUNGE SEATING SPACES, 6 PLANTER POTS 1 SHADE STRUCTURE, 20 SEATING SPACES, 7 PLANTER POTS	3,520 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	5 BBQ GRILLS, 2 COMMUNAL TABLES, 44 SEATING SPACES, 4 PLANTER POTS, 2 SHADE STRUCTURES	2,265 SF
	COMMON FITNESS, GAME AREA, SCREENING ROOM	MINI GOLF ZONE	PUTTING GREEN, 2 BENCH SEATINGS	2,430 SF
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		8,000 SF
				16,215 SF TOTAL

### BUILDING 4 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (650 sf) LOUNGE SEATING AREA (2,545 sf) SCULPTURE FOREST WITH SEATING (3,840 sf) OUTDOOR WORK PLACE (135 sf)	1 FIREPLACE, 9 LOUNGE SEATING SPACES 50 LOUNGE SEATING SPACES, 4 PLANTER POTS VERTICAL SCULPTURES, 4 HAMMOCKS, 25 SEATING SPACES, 8 PLANTER POTS 7 LOUNGE SEATING SPACES, CHARGING STATIONS, WIFI	7,180 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 1 SHADE STRUCTURE, 3 HIGH TOPS WITH 6 SEATING SPACES, 2 COMMUNAL TABLES WITH 16 SEATING SPACES, 12 BAR SEATINGS	1,670 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,715 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (4,195 sf)	4 SWIMMING LANES 10'x16' SPA 21 CHAISE LOUNGE SEATING	7,075 SF
	GAME AREA, SCREENING ROOM	OUTDOOR MOVIE SCREEN (775 sf) OUTDOOR GAME ROOM (515 sf)	MOVIE SCREEN, 8 SEATING SPACES, 4 PLANTER POTS 1 BOCCIE BALL COURT	1,295 SF
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		1,1100 SF
				28,320 SF TOTAL

TOTAL AREA PROVIDED FOR ON GRADE, BUILDING PODIUM LEVELS AND BUILDING INTERIOR: 189,848 SF (4.35 ACRES)  
SEE SHEET L-1.1 FOR PARK MASTER PLAN.

A BUFFER STRIP/SETBACK OF AT LEAST 4 FEET BETWEEN BUILDINGS AND PUBLIC PARKLAND/AMENITIES IS DEDUCTED FROM AREA CALCULATIONS.

SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

HUNTER STORM

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GATEWAY CROSSINGS

DATE: 08.06.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Park Credit Legend

SHEET NUMBER

L-1.2

THE  
GUZZARDO  
PARTNERSHIP INC.

Landscape Architects - Land Planners

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San Francisco, CA 94111  
T 415 433 4632  
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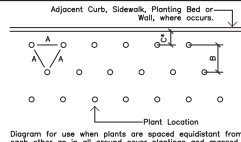
## PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or equal. Planter pots shall be top-dressed with the smaller "Colored Lumber Flies" mulch, also from Vision Recycling. Mulch shall be dark brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Santa Clara. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process. All street trees will have root barriers for sidewalk protection which should be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. All street trees shall have root barriers for curb and gutter protection which should be 15' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Plus with Bonas", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonas Double Dwarf fescue. Available through: Pacific Sod 800.542.7633.
- Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All interior trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- All trees to be planted 10' clear from the tree trunk to the sanitary sewer and storm drain mains and laterals and minimum 5' clear of any existing or proposed Electric Department facilities.

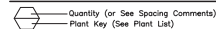
## PLANT PALETTE

* 24" box standard unless notes otherwise.					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	WUCOLS
ACE PAL		Acer palmatum	Japanese Maple		M
ACE RUB		Acer rubrum 'Red Sunset'	Red Maple 'Red Sunset'		M
ARB MAR		Arbutus 'Marina'	Marina Strawberry Tree		L
BAM TEX		Bambusa 'Textilis'	Timber Bamboo		L
CAL DEC		Calceolus decurrens	Incense-Cedar		M
CAR FAS		Carpinus betulus 'Fastigata'	Pyramidal European Hornbeam		M
CER CAN		Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud		M
CHA HUM		Chamaerops humilis	Mediterranean Fan Palm		M
QIT LEM		Citrus x meyeri	Meyer lemon		M
CUP SEM		Cupressus sempervirens 'Stricta'	Columnar Italian Cypress		M
FIC CAR		Ficus carica 'Black Jack'	Edible Fig		M
FRA AME		Fraxinus americana 'Autumn Purple'	Autumn Purple Ash		M
GIN BIL		Ginkgo biloba 'Fairmount'	Maidenhair Tree		M
LAG NAT		Lagerstroemia 'Natchez'	Creepe Myrtle		L
LAU SAR		Laurus 'Saratoga'	Sweet Bay		L
LOP CON		Lophostemon confertus	Brisbane Box		L
MAG GRA		Magnolia grandifolia 'Key Parria'	Key Parria Magnolia		M
OLE EUR		Olea europaea 'Swan Hill'	Fruitless Olive		VL
PIS CHI		Pistacia chinensis 'Keith Davey'	Chinese Pistache		VL
PLA COL		Platanus acerifolia 'Columbia'	London Plane Tree		M
POD GRA		Podocarpus gracilior	Fern Pine		M
PRU CAR		Prunus caroliniana 'Bright and Tight'	Carolina Cherry Laurel		L
QUE FRA		Quercus frainetii 'Schmidt'	Hungarian Oak		L
QUE LOB		Quercus lobata	Valley Oak		L
QUE SUB		Quercus suber	Cork Oak		L
QUE VIR		Quercus virginiana	Live Oak		L
WAS FIL		Washingtonia filifera	California Fan Palm		M
SHRUBS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
ABG	5 gal	Anigozanthos 'Bush Gold'	Yellow Kangaroo Paw	24" o.c.	L
ACC	5 gal	Acacia cognata 'Cousin It'	Little River Wattle	30" o.c.	L
ADM	5 gal	Asparagus d. 'Meyers'	Myers Asparagus Fern	30" o.c.	M
AGB	5 gal	Agave 'Blue Flame'	Blue Flame agave	30" o.c.	L
AMO	5 gal	Acanthus mollis	Bears Breech	36" o.c.	M
ARC	5 gal	Arctostaphylos densiflora 'Howard McMillin'	Manzanita	48" o.c.	L
BSS	5 gal	Buxus s. 'Green Beauty'	Boxwood	24" o.c.	M
CEC	5 gal	Ceanothus 'Concha'	California Lilac	48" o.c.	VL
CHO	5 gal	Chondropetalum tectorum	Cape Rush	30" o.c.	L
CLB	5 gal	Olivia m. 'Belgian Hybrid Yellow'	Kaffir Lily	18" o.c.	M
CPC	5 gal	Coleonema p. 'Compacta'	Compact Breath of Heaven	36" o.c.	M
CPS	5 gal	Coleonema p. 'Sunset Gold'	Gold Breath of Heaven	36" o.c.	M
CRE	5 gal	Cycas revoluta	Sago Cycad	36" o.c.	M
DBI	5 gal	Dietes Bicolor (s)	Fortnight Lily	36" o.c.	L
DLR	5 gal	Dianella 'Little Rev'	Dwarf Flax Lily	18" o.c.	M
DTV	5 gal	Dianella t. 'Variegata'	Varegated Flax Lily	24" o.c.	M
ECW	5 gal	Euphorbia c. 'Wulfenii'	Euphorbia	30" o.c.	L
ELA	5 gal	Elaeagnus pungens 'Variegata'	Yellow-Edge Elaeagnus	48" o.c.	L
FJM	5 gal	Fatsia j. 'Moseri'	Compact Japanese Aralia	30" o.c.	M
FSE	5 gal	Feijoa sellowiana	Pineapple Guava	42" o.c.	L
GRE	5 gal	Grevillea 'Ruby Clusters'	Grevillea	48" o.c.	L
HME	5 gal	Hydrangea m. 'Endless Summer'	Hydrangea	36" o.c.	M
HMO	5 gal	Hypericum moserianum	Gold Flower	42" o.c.	M
HPA	5 gal	Hesperaloe parviflora	Red Yucca	36" o.c.	L
JSC	15 gal	Juniperus scopulorum 'Cologreen'	Juniper 'Cologreen'	24" o.c.	L

## PLANT SPACING DIAGRAM



## PLANT CALLOUT SYMBOL



## PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
4" O.C.	2.50'	2.60'	4.60
6" O.C.	6.93'	3.47'	2.60
8" O.C.	7.79'	3.90'	1.78
10" O.C.	8.66'	4.33'	1.66
12" O.C.	10.40'	5.20'	1.15
15" O.C.	13.00'	6.50'	0.74
18" O.C.	15.60'	7.80'	0.61
20" O.C.	20.80'	10.40'	0.39
24" O.C.	26.00'	13.00'	0.18
36" O.C.	39.00'	19.00'	0.12
48" O.C.	48.00'	24.00'	0.07
72" O.C.	72.00'	36.00'	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

\* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
LBA	5 gal	Lavatera t. 'Barnsley'	Tree Mallow	48" o.c.	L
LCB	5 gal	Loropetalum c. 'Blush'	Red Fringe Flower	36" o.c.	L
LEU	5 gal	Leucospermum cordifolium 'Flame Spike'	Nodding Pin cushion	48" o.c.	L
LEY	5 gal	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	36" o.c.	L
LLE	5 gal	Leonotis leonuris	Lion's Tail	36" o.c.	L
LIT	5 gal	Lomandra 'Lime Tuft'	Dwarf Mat Rush	24" o.c.	L
LPI	5 gal	Leucodendron 'Pisa'	Leucodendron	42" o.c.	L
MCI	5 gal	Muehlenbergia capillaris 'Irvine'	Pink Muhly Grass	36" o.c.	L
NEP	5 gal	Nephrolepis cordifolia	Sword Fern	24" o.c.	M
NLO	5 gal	Olea e. 'Little Olive'	Dwarf Olive	36" o.c.	VL
OSM	5 gal	Osmanthus fragrans	Sweet Olive	60" o.c.	M
PCA	5 gal	Prunus caroliniana	Carolina Cherry Laurel	48" o.c.	L
PDA	5 gal	Polygala x dalmatiana	Sweet Pea Shrub	36" o.c.	L
PDC	5 gal	Phormium 'Dusky Chief'	New Zealand Flax	36" o.c.	L
PFI	5 gal	Phormium 'Firebird'	New Zealand Flax	36" o.c.	L
PFR	5 gal	Philomix fruticosa	Sweet Pea Shrub	36" o.c.	L
PIP	5 gal	Photinia x f. 'Indian Princess'	Chinese Photinia	36" o.c.	M
PIT	5 gal	Pittosporum tobira 'Cream de Mint'	'Cream de Mint' Pittosporum	24" o.c.	L
PLA	5 gal	Prunus laurocerasus	English Laurel	48" o.c.	M
POM	15 gal	Podocarpus e. 'Monna'	Icee Blue Yellow Wood	42" o.c.	M
PRS	5 gal	Phormium 'Rainbow Sunrise'	New Zealand Flax	30" o.c.	L
PRW	5 gal	Phormium 'Rainbow Warrior'	New Zealand Flax	30" o.c.	L
PYW	5 gal	Phormium 'Yellow Wave'	New Zealand Flax	36" o.c.	L
RHA	5 gal	Rhaphtolepis indica 'Clara'	Indian Hawthorn	36" o.c.	L
RHM	5 gal	Rhamnus californica 'Eve Case'	Coffebery	48" O.C.	L
RWS	5 gal	Rosa 'White Simplicity'	White Simplicity Rose	42" o.c.	M
RTB	5 gal	Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	36" o.c.	L
SLB	5 gal	Salvia leucantha 'Santa Barbara'	Mexican Sage	36" o.c.	L
SRE	5 gal	Streitzia reginae	Bird of Paradise	36" o.c.	M
GROUND COVER					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AQ	1 gal	Agapanthus 'Queen Anne'	Lily of the Nile	18" o.c.	M
AR	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita	30" o.c.	VL
BC	1 gal	Bergenia crassifolia	Winter Blooming Bergenia	18" o.c.	M
CE	5 gal	Ceanothus g. h. 'Yankee Point'	Yankee Point Ceanothus	30" o.c.	L
CH	5 gal	Cuphea hyssopifolia	Mexican Heather	24" o.c.	M
CK	1 gal	Coprosma x kirkii	Creeping Coprosma	30" o.c.	L
CM	1 gal	Convolvulus mauritanicus	Ground Morning Glory	30" o.c.	L
CP	1 gal	Campanula portenschlagiana	Serbian Bellflower	18" o.c.	M
CS	5 gal	Coleonema p. 'Sunset Gold'	Dwarf Breath of Heaven	30" o.c.	M
EF	1 gal	Euonymus fortunei	Wintercreeper	24" o.c.	L
LA	5 gal	Lavandula intermedia	Lavender	24" o.c.	L
LI	1 gal	Liriope m. 'Big Blue'	Lily Turf	18" o.c.	M
MA	5 gal	Mahonia repens	Creeping Mahonia	30" o.c.	L
NH	5 gal	Nandina 'Harbour Dwarf'	Dwarf Heavenly Bamboo	30" o.c.	L
RP	1 gal	Rubus pentalobus 'Emerald Carpet'	No Common Name	36" o.c.	M
RS	5 gal	Rosa 'Flower Carpet Amber'	Amber Carpet Rose	36" o.c.	M
ST	5 gal	Stipa arundinacea	New Zealand Wind Grass	24" o.c.	M
VINES					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
B	5 gal	Bougainvillea spectabilis	Bougainvillea		L
F	1 gal	Ficus pumila	Creeping Fig		M
P	1 gal	Parthenocissus tricuspidata	Boston Ivy		M
LAWNS					
MED	SOD	Medallion Plus	Medallion Plus		H
NMF	SOD	No Mow Fescue	Delta sod fescue		M

## TREE MITIGATION CHART

Total Existing Trees on Site	232
Total Existing Trees Previously Removed	227
Additional Existing Trees to be Removed	5
Minimum Replacement Trees Required at 2:1 Ratio	464
Total Proposed Trees	682

HUNTER STORM

GATEWAY CROSSINGS

19721 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 258-4100 Fax: (408) 996-8425

DATE: 06.26.18

PROJECT: P

SCALE: As Noted

SHEET TITLE

Planting Notes and  
Legends

SHEET NUMBER

L-1.3

THE  
GUZZARDO  
PARTNERSHIP, INC.  
Landscape Architects - Land Planners

181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4632  
F 415 433 5063







HUNTER STORM

GATEWAY CROSSINGS

10121 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1101 Fax: (408) 595-5425



DATE: 08.08.18  
PROJECT #:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan -  
Site

SHEET NUMBER  
L-2.2

THE  
GUZZARDO  
PARTNERSHIP INC.  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4872  
F 415 433 5003





HUNTER STORM

# GATEWAY CROSSINGS

10121 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1100 Fax: (408) 595-5425



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

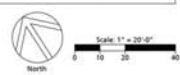
Schematic Landscape Plan - Site

SHEET NUMBER

L-2.3

THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4872  
F 415 433 5003





HUNTER STORM

GATEWAY CROSSINGS

10121 Miller Ave, Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1101 Fax: (408) 999-6425



DATE: 08.08.18  
PROJECT #:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan -  
Site

SHEET NUMBER  
L-2.4

THE  
GUZZARDO  
PARTNERSHIP INC.  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4872  
F 415 433 5003







HUNTER STORM

# GATEWAY CROSSINGS

10121 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1101 Fax: (408) 599-6425



DATE: 08.08.18  
PROJECT #:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan -  
Site

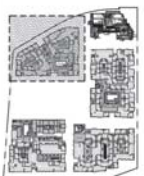
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L-2.6

THE  
GUZZARDO  
PARTNERSHIP INC.  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4872  
F 415 433 5003





Building 1 - with Typical Fireplace Seating Area  
Planting Scheme



DATE: 06.28.18  
PROJECT #:  
SCALE: As Noted

**SHEET TITLE**  
Schematic  
Landscape Plan-  
Podium Building 1

**SHEET NUMBER**  
L-2.7

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 6872  
F 415 433 3003



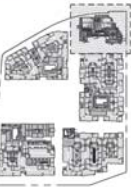
Hotel - Levels 4, 6 and Roof Deck



**HUNTER STORM**

**GATEWAY CROSSINGS**

10131 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1100 Fax: (408) 996-9425



DATE: 06.28.18  
PROJECT #:  
SCALE: As Noted

**SHEET TITLE**  
Schematic  
Landscape Plan-  
Podium Hotel

**SHEET NUMBER**  
L-2.8

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
181 Greenmouth Street  
San Francisco, CA 94111  
T 415 433 0072  
F 415 433 5003





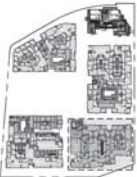


Building 3 - with Typical Shady Area Planting Scheme

HUNTER STORM

GATEWAY CROSSINGS

10331 Miter Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1100 Fax: (408) 999-9425



DATE: 06.28.18  
PROJECT #:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan-  
Podium Building 3

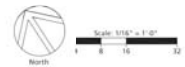
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L-2.10

THE  
GUZZARDO  
PARTNERSHIP INC.  
Landscape Architects - Land Planners  
181 Greenwath Street  
San Francisco, CA 94111  
T 415 433 6072  
F 415 433 5003





Building 4 - with Typical Sunny Seating Area  
Planting Scheme







DATE: 06.28.18  
PROJECT #:  
SCALE: As Noted

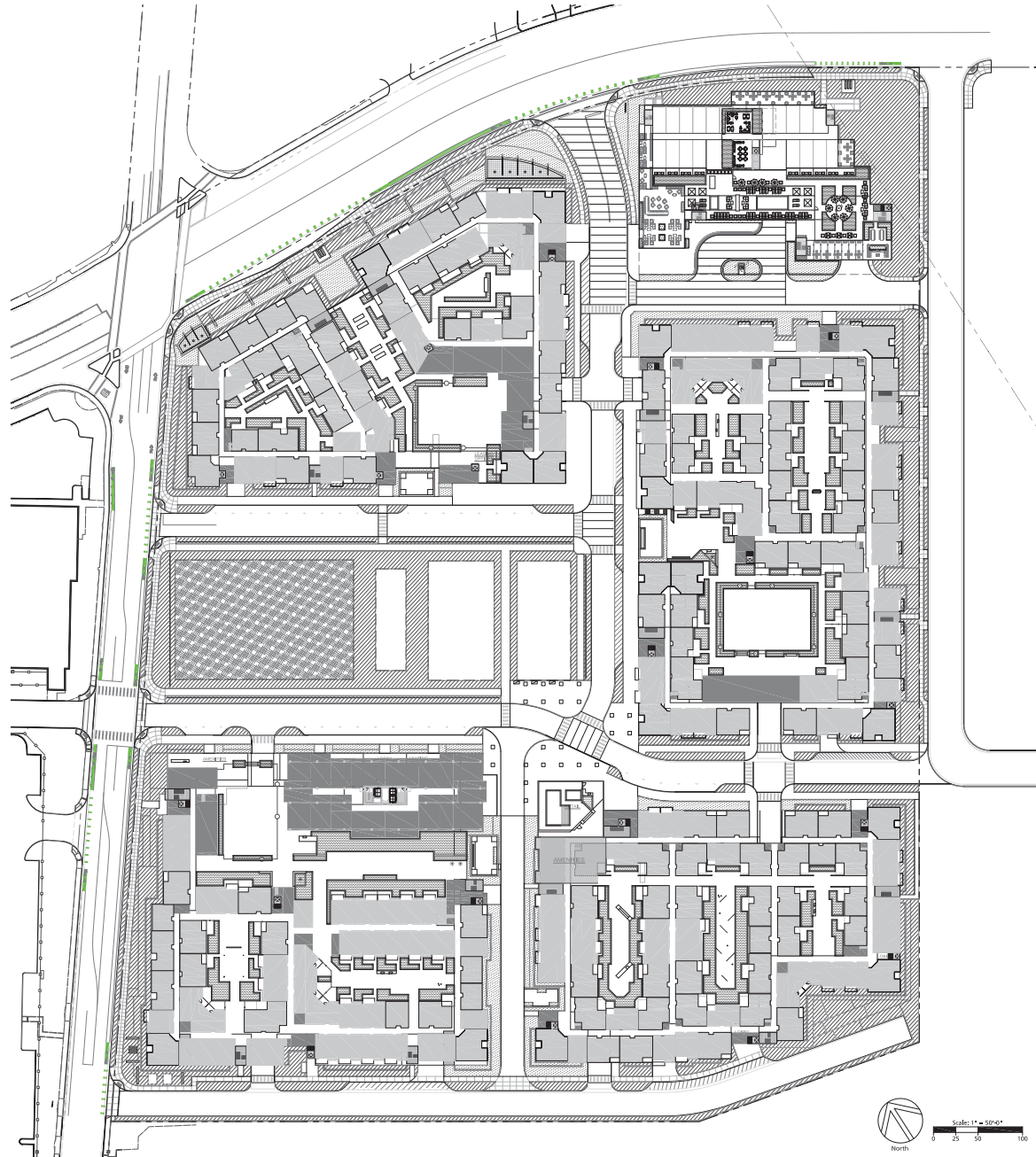
**SHEET TITLE**  
Schematic  
Landscape Plan-  
Podium Building 4

**SHEET NUMBER**  
L-2.11

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 0672  
F 415 433 5003

# WATER USE LEGEND

Key	Wucole Category	Area
	Low Water Use	124,395 sf
	Medium Water Use	68,935 sf
	High Water Use	26,762 sf
	Water Feature	1,809 sf



**HUNTER STORM**

**GATEWAY CROSSINGS**

10071 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-4100 Fax: (408) 998-4425

DATE: 08.08.18  
PROJECT #:  
SCALE: As Noted

**SHEET TITLE**  
Irrigation Zoning  
Diagram

**SHEET NUMBER**  
L-3.1

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwood Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003



### WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled in by the project applicant and it is a required element of the Landscape Documentation Package.

Reference: <i>Extranatural/Artificial</i> (by Type)	48.3						
Hydrant #	Plant Label	Irrigation Method	Irrigation Efficiency (%)	ETAP (PIR)(in)	Landscape Area (sq. ft.)	ETAP x Area	Estimated Total Water Use (ETWU) (in)
<b>Regular Landscape Areas</b>							
Low Water-Use Plants	0.20	Drip	0.81	0.31	123,122	38.168	1,077,181
Moderate Water-Use Plants	0.40	Drip	0.81	0.62	58,935	42.740	1,208,356
Water Features	0.80	N/A	1.00	0.80	1,909	1,447	48,648
					Totals	(A)+(B)+(C)	2,313,015
<b>Special Landscape Areas</b>							
Park Turf	1.00	N/A	1.00	1	28,742	28,742	791,638
					Totals	(D)+(E)	791,638
					ETWU Total	(F)+(G)	3,204,653
<b>Maximum Annual Water Allowance (MARWA)</b>							
					(H)+(I)	(J)+(K)	3,201,852

*\*Hydrant # (Planning Description)*

*(E.g.)*

1) front yard

2) low water user (shrubbery)

3) medium water user (planting)

*\*Irrigation Method*

*(see table)*

or drip

*\*Irrigation Efficiency*

*(0.75 for acrylic head, 0.81 for drip)*

**\*ETWU (Annual Gallons Required) = (Etu x 0.62 x ETAP x Area**

**where (Etu) is a conversion factor that converts acre inches per acre per year to gallons per square foot per year**

**\*MARWA (Annual Gallons Allowed) = ((A)+(B) x ETAP x LA) + ((C)+(D) x LA)**

**where (A) is a conversion factor that converts acre inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, B is the total square landscape area in square feet, and ETAP is 0.35 for residential areas and 0.45 for non-residential areas.**

#### ETAP Calculations

**Average ETAP for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

Regular Landscape Areas

Total Area (sq. ft.)	207,106
Total Area (in)	150,580
Average ETAP	(L)+(M)

All Landscape Areas

Total ETAP x Area (B)+(D)	108,171
Total Area (A)+(C)	200,828
Overall ETAP (B)+(D) ÷ (A)+(C)	0.58

1. THE IRRIGATION DRAWINGS ARE DIAGNOSTIC AND RECORDING OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS TO BE INSTALLED UNDER THE PAVING. THE USE OF THE DRAWINGS IS NOT PERMITTED TO BE USED TO CONSTRUCT THE IRRIGATION SYSTEM OR ALL OTHERS, FITTINGS, SIZES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONS, DIFFERENCES WHICH MAY NOT HAVE BEEN INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF FIELD CONDITIONS, THE DETERMINATION, NOW ACCORDING TO NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE DETERMINATION OF ALL APPLICABLE CONDITIONS WITH ALL APPLICABLE CONDITIONS OF THE DRAWING AND INSTALLATION OF THE PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC. BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT FURNISHED TO THE CONTRACTOR, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.

2. THE CONTRACTOR SHALL EXPOSE GRAVE IN LOCATING PIPES AS TO NOT CONTACT WITH OTHERS. DO NOT INSTALL IRRIGATION PIPES PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.

3. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.

4. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL, WEATHER, AND PLANTING CHANGES.

5. AT THE END OF THE REQUIRED MAINTENANCE PERIODS OF THE CONTRACT, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.

6. 120 VOLT A.C. (2.5 AMP DEMAND) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATOR IS TO PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM THE IRRIGATION STUD-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER COUNTRY MANUFACTURER'S INSTRUCTIONS.

7. CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EXIST FOOT LONG BY 5/8" DIAMETER UNFINISHED COPPER CLAD ROD. NO MORE THAN 6" TO THE GROUND ROD IS TO BE HELD CLOSE. CONNECT BY GALVANE WIRE TO A UNFINISHED GROUND ROD CLAMP TO ROD AND BACK TO THE CONTROLLER. THE CONNECTION SHALL BE MADE TO THE GROUND ROD BY THE CONTRACTOR. THE CONNECTION SHALL BE MADE TO THE GROUND ROD BY THE CONTRACTOR.

8. IRRIGATION CONTROLLER "X" TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE. IRRIGATION CONTROLLER "Y" WILL BE GROUNDED THROUGH THE BUILDING ELECTRICAL CODE.

9. CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS SPECIFIED IN THE IRRIGATION SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF THE ALLOWED WATERING WINDOW OF TIME AS SPECIFIED IN THE IRRIGATION SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF THE ALLOWED WATERING WINDOW OF TIME AS SPECIFIED IN THE IRRIGATION SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF THE ALLOWED WATERING WINDOW OF TIME AS SPECIFIED IN THE IRRIGATION SCHEDULE.

10. IRRIGATION CONTROL WIRES SHALL BE HANDED JACKETED DECECOOR CABLES WITH UNFINISHED COPPER BURAL IN GROUND, SIZE #14-1. SPLICED SHALL BE MADE WITH 3M-DWY-6 SEAL PAGES.

11. SPLICING OF DECECOOR CABLES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DWY-6 SPLICING SEALING DEVICES OF SIZE 1/2" OR LARGER. THE SPLICING DEVICES SHALL BE INSTALLED IN THE VALVE BOXES. THE SPLICING DEVICES SHALL BE INSTALLED IN THE VALVE BOXES. THE SPLICING DEVICES SHALL BE INSTALLED IN THE VALVE BOXES.

12. FLOW SENSOR CABLE SHALL BE A SHIELDED, TWISTED PAIR CABLE, SIZE #16. NO SPLICES ALLOWED.

13. PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH HOLT DOWNS, NON-HINGED COVER MARKED "IRRIGATOR". BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE CARSON INDUSTRIES.

14. INSTANT REACTION CONTROL VALVE BOXES 12" FROM WALL, CURB, LAWN, HARD BOARD, BORDERS, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM WALL, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR BOXES SHALL BE 12" LONG.

[illegible][illegible]

1. ALL COPPER PIPING WITHIN STRUCTURE TO BE PROVIDED, ROUTED, AND INSTALLED BY PLUMBING CONTRACTOR. EXIT OF PIPE TO BE 18" BELOW FINISH GRADE.
2. IRRIGATION SLEEVING AND/OR CONDUIT IN STRUCTURE TO BE PROVIDED AND INSTALLED UNDER STRUCTURAL WORK.
3. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT, PULL BOXES AND DECODER CABLE IN STRUCTURE. THE DRAWINGS INDICATED REQUIRED TWO-WIRE PATH FROM A GIVEN PLANTER LOCATION, THROUGH STRUCTURE, TO REMOTE CONTROL VALVE LOCATIONS. 14 GAUGE DECODER CABLE SHALL BE USED FOR CONTROL WIRING. FINAL CONNECTION OF WIRING TO REMOTE CONTROL VALVES SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.
5. CONDUIT FOR DECODER CABLE SHALL BE INSTALLED UNDER ELECTRICAL CONTRACTOR WORK COORDINATE WITH ARCHITECT FOR CONDUIT ROUTING.

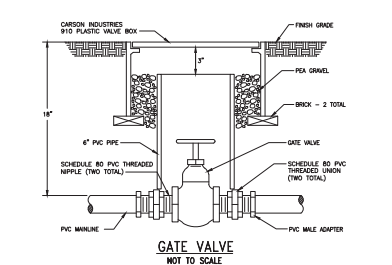
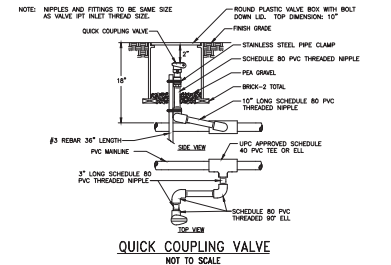
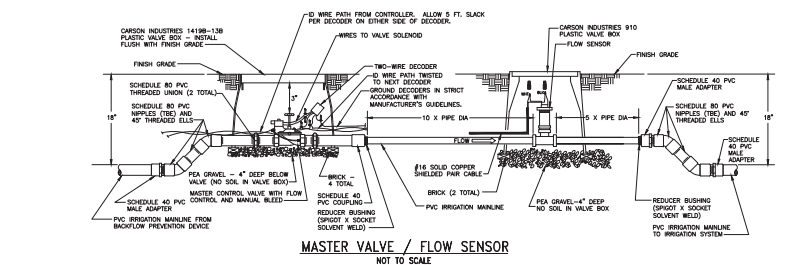
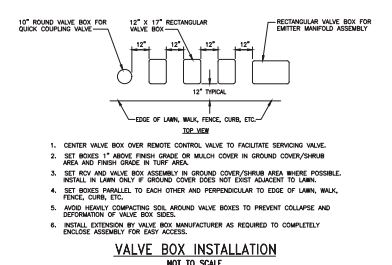
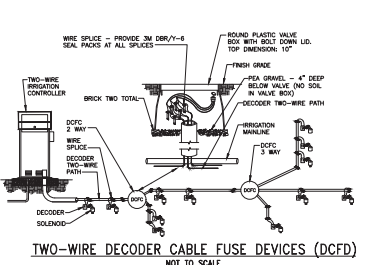
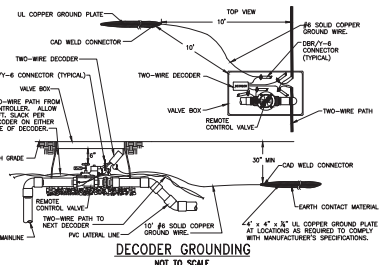
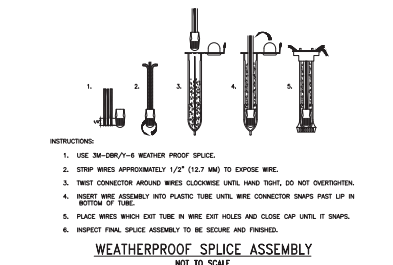
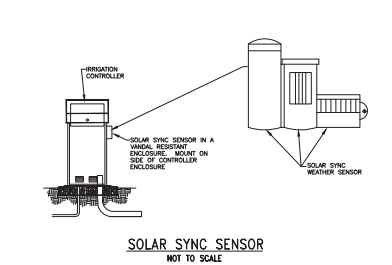
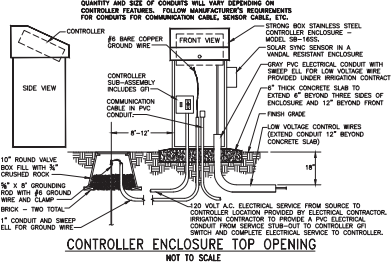
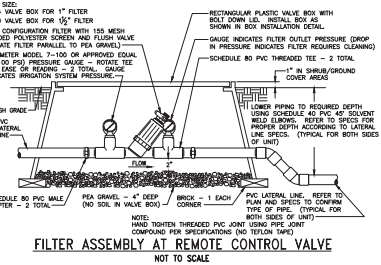
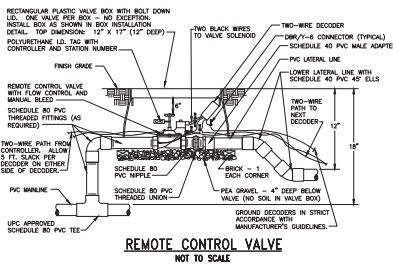
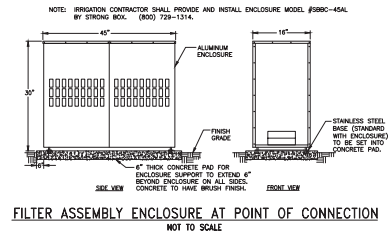
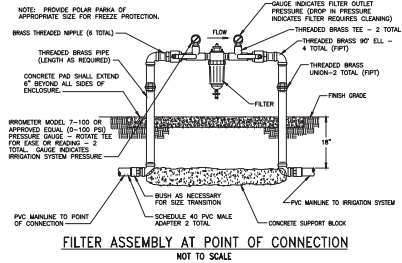
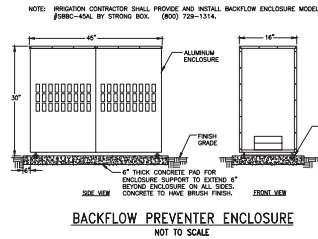
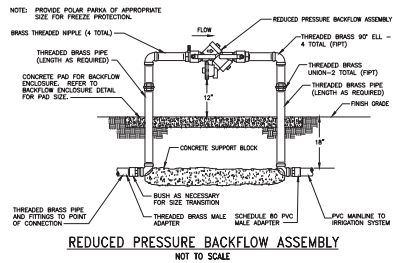
**HUNTER STORM**

10121 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 255-1100 Fax: (408) 996-8425

**GATEWAY CROSSINGS**

### **Irrigation Notes and Legends**

## L-3.2



PRELIMINARY  
NOT FOR CONSTRUCTION

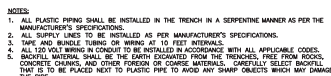
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**GATEWAY CROSSINGS**

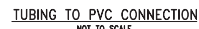
10121 Miller Ave. Suite 200, Cupertino, CA 95014  
Phone: (408) 258-4100 Fax: (408) 996-8425

DATE: 06.26.18  
PROJECT #:  
SCALE:  
0 50 100  
NORTH  
SHEET TITLE  
Irrigation Details  
SHEET NUMBER  
I-3.3  
THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects & Land Planners  
181 Cornwell Street  
San Francisco, CA 94111  
7415 433 8872  
7415 433 5883  
DICKSON & ASSOCIATES, INC.  
LANDSCAPE IRRIGATION  
WATTS DESIGN, ARCHITECT  
TOLSON INC-ARCHITECT  
PAUL CORRELL-ARCHITECT  
© Dickson & Associates, Inc.

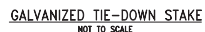
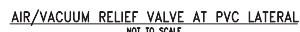
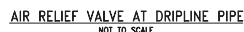
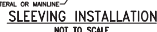
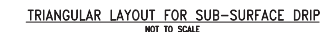
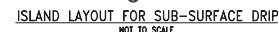
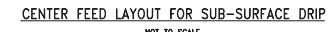
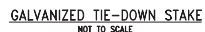




NOT TO SCALE



NOT TO SCALE

PRELIMINARY  
NOT FOR CONSTRUCTION

HUNTER STORM

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Phone: (408) 255-4100 Fax: (408) 996-8425

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**GATEWAY CROSSINGS**

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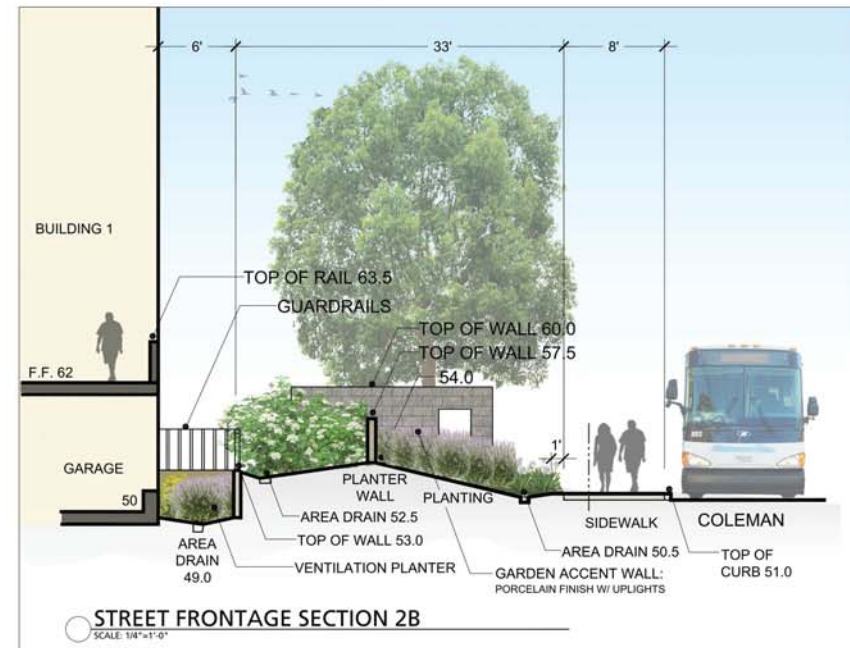
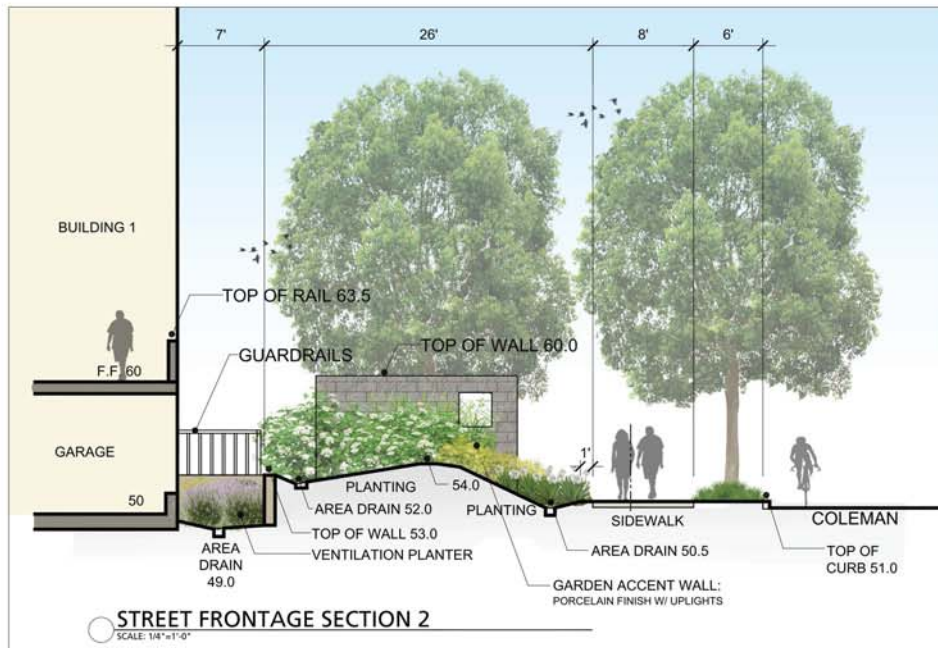
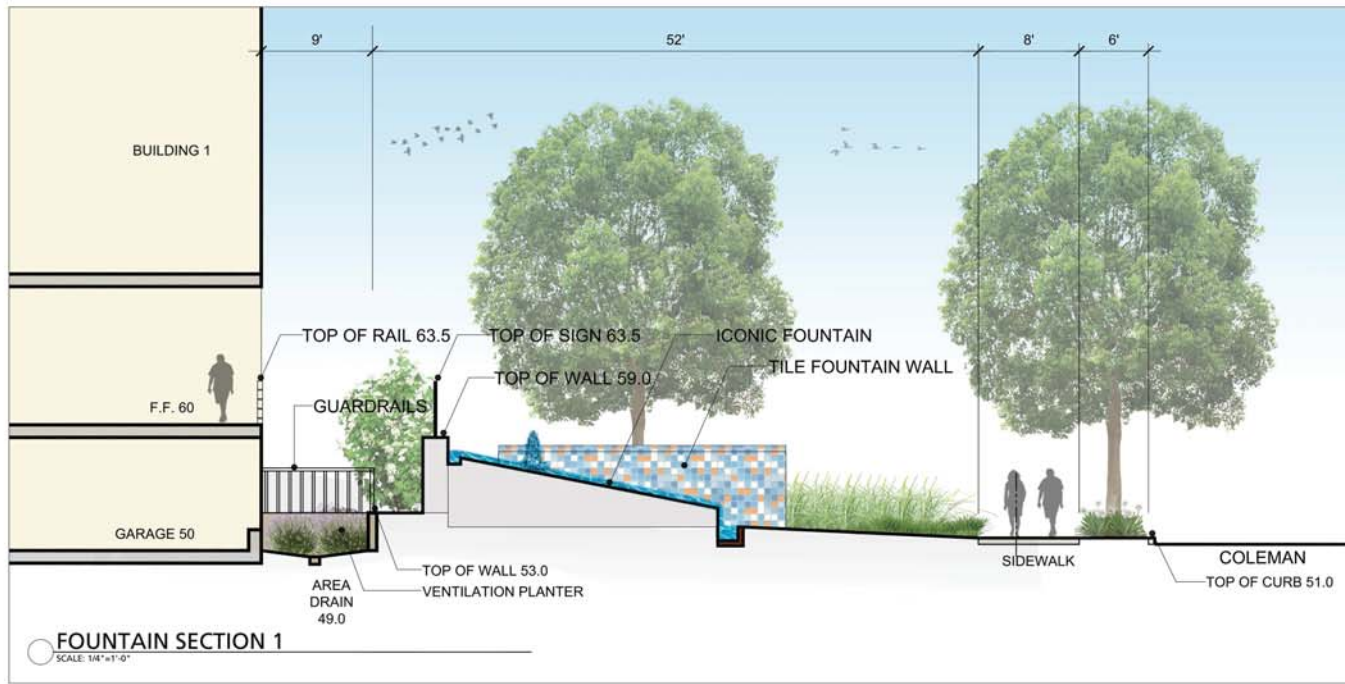
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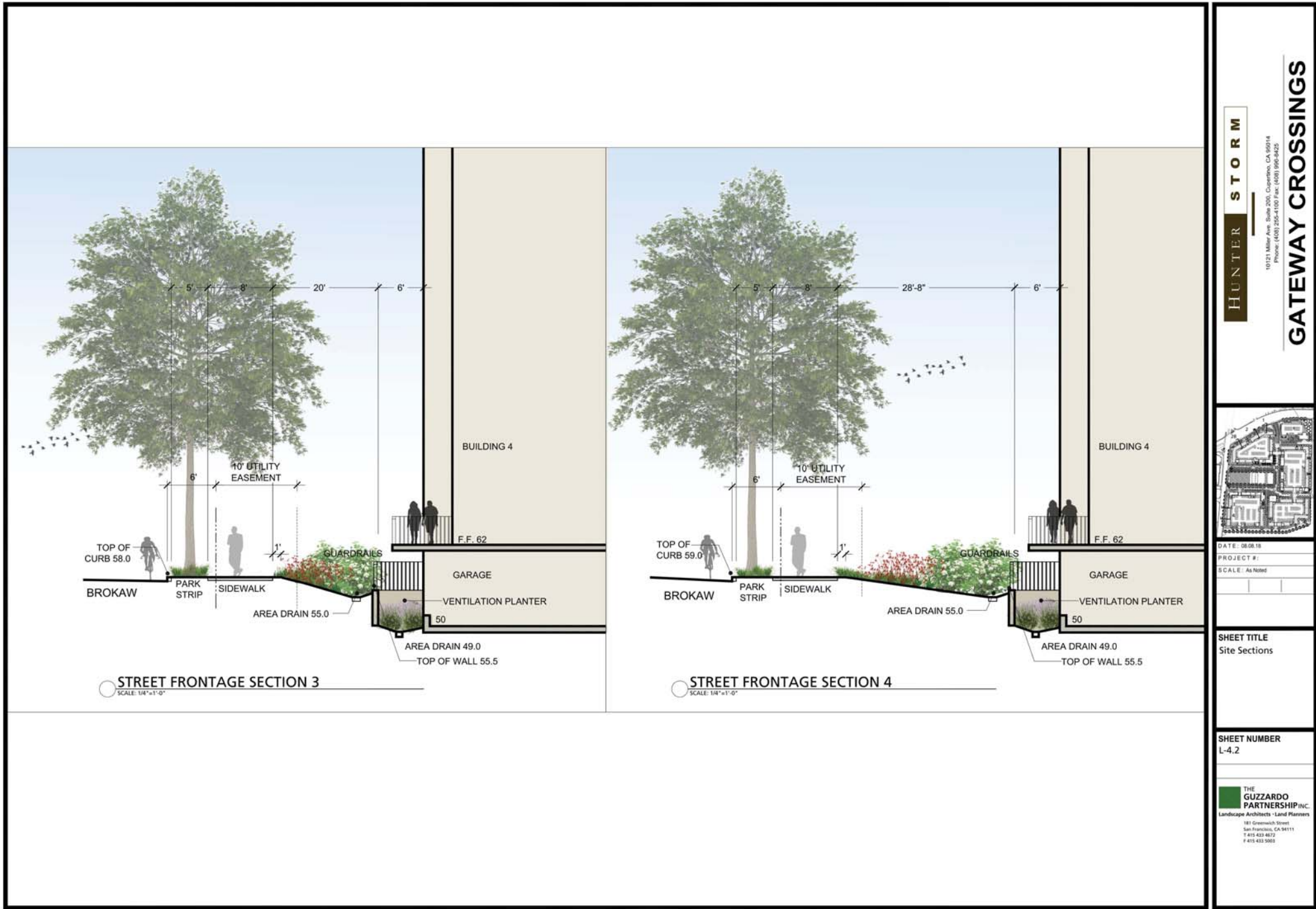
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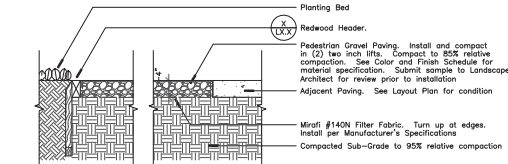
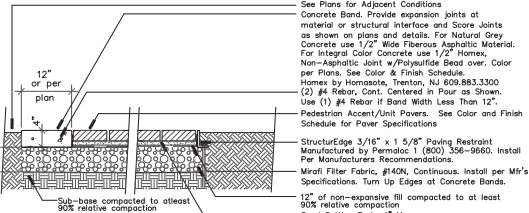
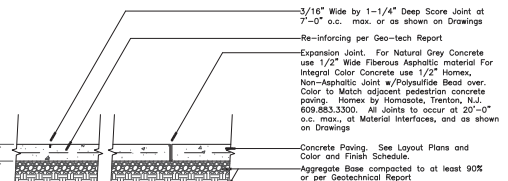
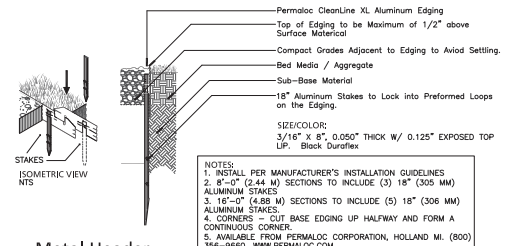
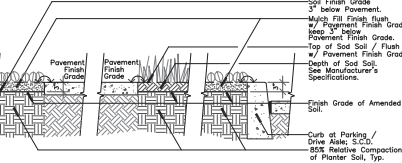
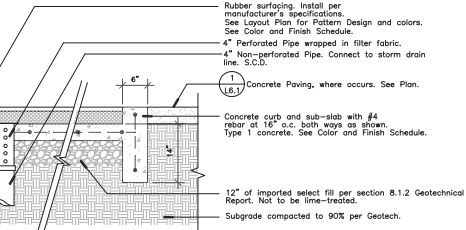
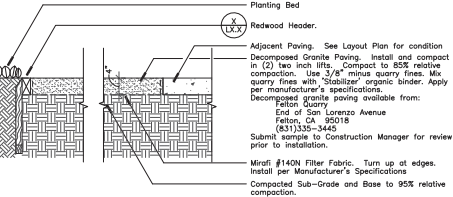
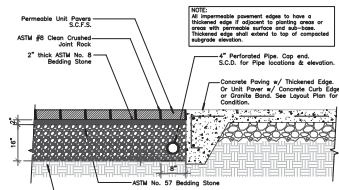
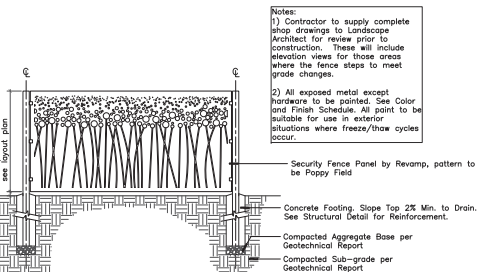
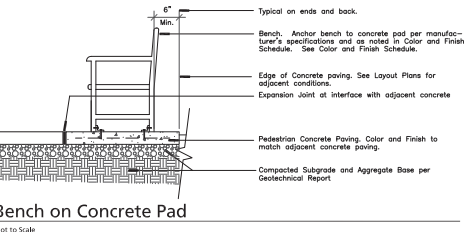
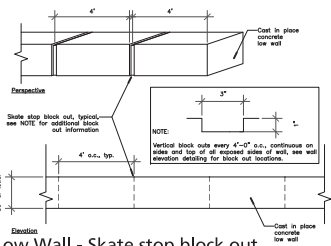
L-4.1

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners

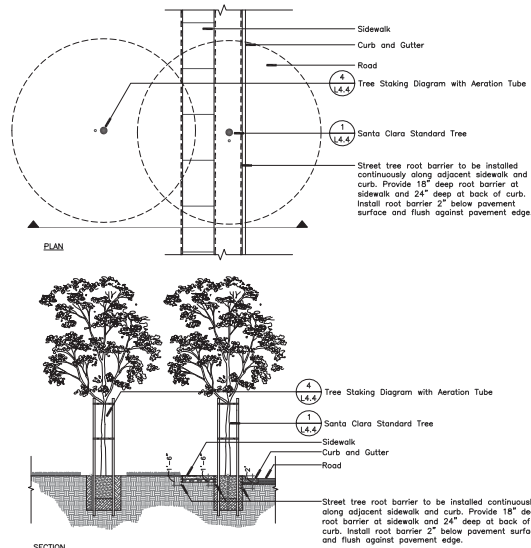
181 Greenwold Street  
San Francisco, CA 94111  
T 415 433 8072  
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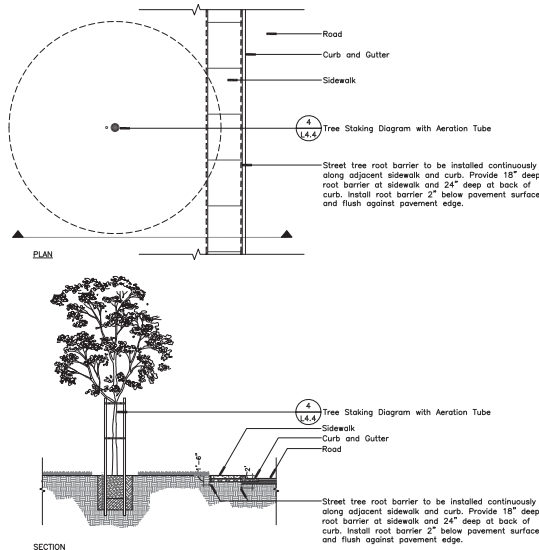




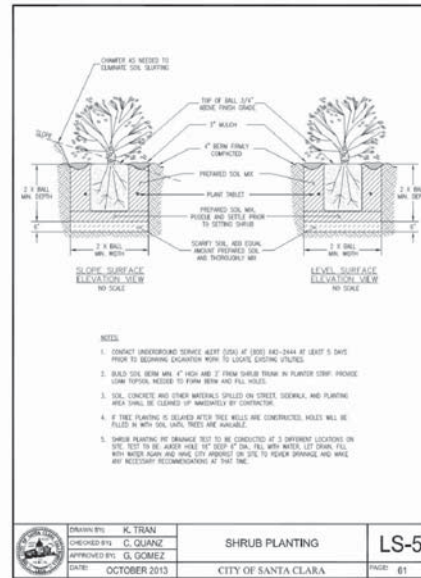




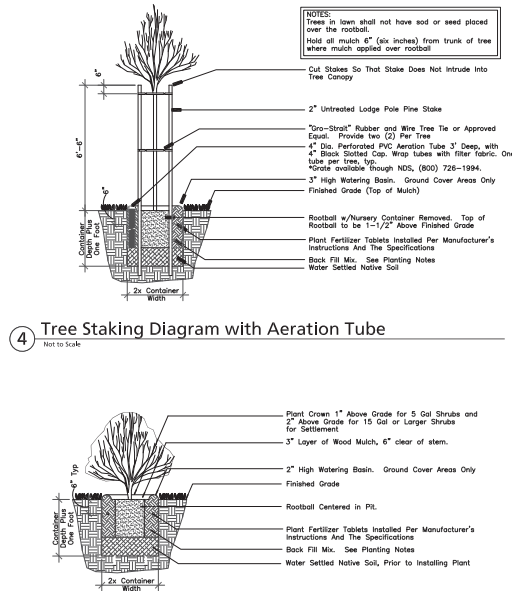
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Scale: 1/8" = 1'-0"



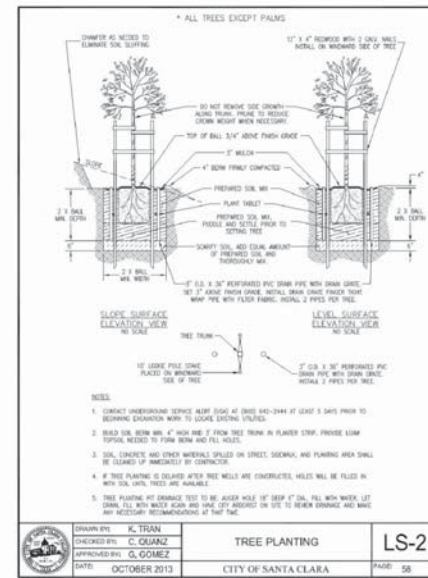
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Scale: 1/8" = 1'-0"



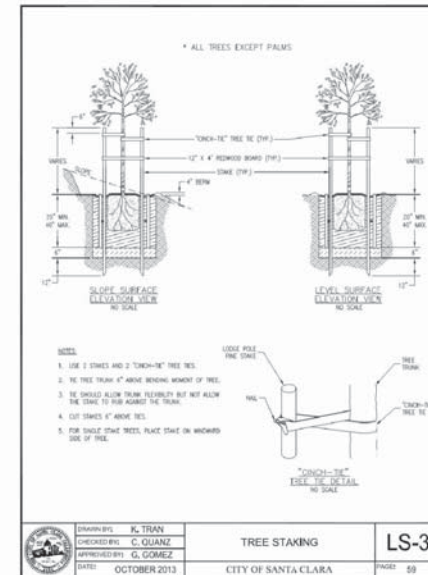
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Not to Scale



**5 Shrub Planting Detail**  
Not to Scale



**1 Santa Clara Standard Tree Detail**  
Not to Scale



**2 Santa Clara Standard Tree Detail**  
Not to Scale

DATE: 06.26.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Landscape Details

SHEET NUMBER

L-4.4

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners

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