PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER(S)

230-46-069 & -070

EXISTING BUILDING ADDRESSES

1205 Coleman Ave

328 Brokaw Road
340 Brokaw Road
400 Brokaw Road

PLANNING/ZONING

EXISTING ZONING:
Light Industrial

EXISTING GENERAL PLAN DESIGNATION:
Station Area Plan

PROPOSED ZONING DESIGNATION:
Very High Density Residential

PROPOSED GENERAL PLAN DESIGNATION:
Community Commercial / Very High Density Residential

BUILDING HEIGHT

The maximum building height 85 feet and subject to the Federal Aviation Administration (FAA) regulation Part 77 height restrictions

SETBACK

Minimum building setback from Coleman Avenue is 25 feet.
Minimum building setback from Brokaw Street is 25 feet.
Minimum building setback from Champion Pkwy is 25 feet.

PROJECT DIRECTORY

OWNER

TOD Brokaw, LLC
10121 Miller Ave, Suite 200
Cupertino, CA 95014

ARCHITECT

MVE + Partners, Inc.
1900 Main Street, 8th Floor
Irvine, CA 92614

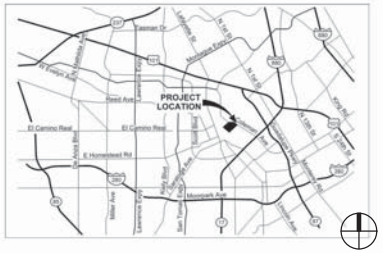
CIVIL ENGINEER

Nterra
1155 n First street | suite 214
San Jose, CA 95112

LANDSCAPE ARCHITECT

The Guzzardo Partnership Inc.
181 Greenwich Street
San Francisco, CA 94111

VICINITY MAP


PROJECT LOCATION
Tasman Dr
Reed Ave
El Camino Real
E Homestead Rd
Moorpark Ave
Lawrence Exp
Lawrence Dr
Miller Ave
Bay Ave
Hollenbeck Ave
Wolfe Rd
Tantau Ave
Mathilda Ave
Sunnyvale Saratoga Rd
Bowers Ave
Kifer Rd
Lakeside Dr
Kifer Ct
Ahwanee Ave
Knickerbocker Dr
Ticonderoga Dr
Mercury Dr
Lockheed Dr
Maude Ave
Ross Dr
Ross Ct
Ross Pl
Ross Way
Ross Ln
Ross Cir

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	1" = 50'-0"

0 | 50 | 100

NORTH

SHEET TITLE
ILLUSTRATIVE SITE PLAN

SHEET NUMBER
GEN.2

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MVE + PARTNERS

1900 Main Street, Suite 800
Irvine, California 92614
949.809.3388
www.mve-architects.com

PROJECT DATA

PROJECTED USE:	MULTI-FAMILY RESIDENTIAL (R-2)
NUMBER OF TOTAL UNITS:	1600 UNITS
TOTAL EXISTING GROSS AREA	23.84 ACRES
TOTAL EXISTING NET AREA:	21.40 ACRES
TOTAL PROPOSED NET AREA:	21.37 ACRES
PROPOSED RESIDENTIAL AREA:	45.84 ACRES
PROPOSED COMMERCIAL AREA:	4.52 ACRES
PROPOSED RESIDENTIAL DENSITY:	74.8 DU/AC

RESIDENTIAL UNIT DATA

UNIT COUNT	
BUILDING 1	317 DU
BUILDING 2	399 DU
BUILDING 3	371 DU
BUILDING 4	513 DU
TOTAL	1600 DU

*ALL DENS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

UNIT MIX		
UNIT TYPE	UNIT COUNT	PERCENTAGE
STUDIO	230 DU	14%
1-BEDROOM	633 DU	40%
1BD + DEN	127 DU	8%
2-BEDROOM	562 DU	35%
2BD + DEN	48 DU	3%
TOTAL	1600 DU	100%

HOTEL DATA

ROOM COUNT	FOOD AND BEVERAGE	AMENITY (spa, fitness,hotel bar and etc.)	CONFERENCE
225	5,500 +/- SF	4,400 +/- SF	6,300 +/- SF

*VALUES SHOWN IN THIS CHART IS *NOT* IN ADDITION TO THE TOTAL VALUE SHOWN IN THE COMMERCIAL AREA INFORMATION.

PROJECT PROGRAM

COMMERCIAL/ RETAIL AREA INFORMATION	
HOTEL	182,000 +/- S.F.
RETAIL	15,000 +/- S.F.
TOTAL COMMERCIAL/RETAIL AREA	197,000 +/- S.F.

*GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/ RETAIL AREA CALCULATIONS.

GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.

ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

RESIDENTIAL BUILDING AREA INFORMATION				
	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
TYPE IA CONSTRUCTION	281,148 +/- S.F.	327,151 +/- S.F.	309,268 +/- S.F.	575,160 +/- S.F.
WOOD TYPE IIIA CONSTRUCTION	344,521 +/- S.F.	439,448 +/- S.F.	387,835 +/- S.F.	316,826 +/- S.F.
TOTAL BUILDING AREA	625,669 +/- S.F.	766,599 +/- S.F.	697,103 +/- S.F.	891,986 +/- S.F.

BICYCLE PARKING

CLASS I BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO
BUILDING 1	108 SPACES	1 space /3 DU
BUILDING 2	132 SPACES	1 space /3 DU
BUILDING 3	129 SPACES	1 space /3 DU
BUILDING 4	171 SPACES	1 space /3 DU
HOTEL	8 SPACES	1 space /30 rooms
RETAIL	1 SPACES	1 space /30 employees
TOTAL	549 SPACES	

NOTE: CLASS I BICYLE PARKING PROVIDED IN SECURED ROOM OF EACH BUILDING

CLASS II BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO
RESIDENTIAL	107 SPACES	1 space /15 DU
RETAIL	5 SPACES	1 space /6,000 SF
PARK	4 SPACES	

VEHICLE PARKING

HOTEL VEHICLE PARKING	
ADA	UNIVERSAL
7	285
292	

* 67 PARKING SPACES PROVIDED FOR CAFE, RESTAURANT AND MEETING ROOM AND SHARED WITH EMPLOYEES. (RETAIL PARKING 1/ 200 SF, MEETING ROOM 1/4 SEATS)
* 225 PARKING SPACES PROVIDED FOR GUESTS. (1/ KEY)

PARKING STALL SIZE:

UNIVERSAL 8'-6" X 18'-0"
ADA 9'-0" X 18'-0"
COMPACT 8'-0" X 16'-0"
MOTORCYCLE 3'-0" X 6'-0"

DRIVE AISLE WIDTH :25'

ADDITIONAL 14 PARALLEL PARKING STALLS PROVIDED FOR RETAIL AND PARK USE AT INTERNAL STREET.

BUILDING 1 VEHICLE PARKING						
VISITOR		RESIDENTIAL (1.40 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
3	48	10	32	391	11	
51		444				8

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 2 VEHICLE PARKING						
VISITOR		RESIDENTIAL (1.48 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
4	58	12	34	542	2	
62		590				10

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 3 VEHICLE PARKING						
VISITOR		RESIDENTIAL (1.36 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
3	55	12	36	453	3	
58		504				10

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 4 VEHICLE PARKING						
VISITOR		RESIDENTIAL (1.36 SPACE/DU)				MOTORCYCLE
ADA	UNIVERSAL	ADA	EV STATION	UNIVERSAL	COMPACT	(1 SPACE/40 DU)
4	63	14	41	621	21	
67		697				13

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE:

SHEET TITLE
PROJECT DATA

SHEET NUMBER
GEN.3

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HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 09-10-2018
PROJECT #:
SCALE: AS INDICATED

SCALE 1" = 200 FEET

SHEET TITLE
CONTEXT PLAN

SHEET NUMBER
C1.00

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037

COLEMAN & CHAMPIONS WAY DETAILED SCOPE OF WORK

PROJECT WILL CONSTRUCT FIRST PHASE OF (N) INTERSECTION IN ORDER TO PROVIDE EMERGENCY VEHICLE ACCESS TO BUILDING 1, BUILDING 2 AND THE PROPOSED HOTEL BUILDING. THE SCOPE OF THIS WORK MAY INCLUDE:

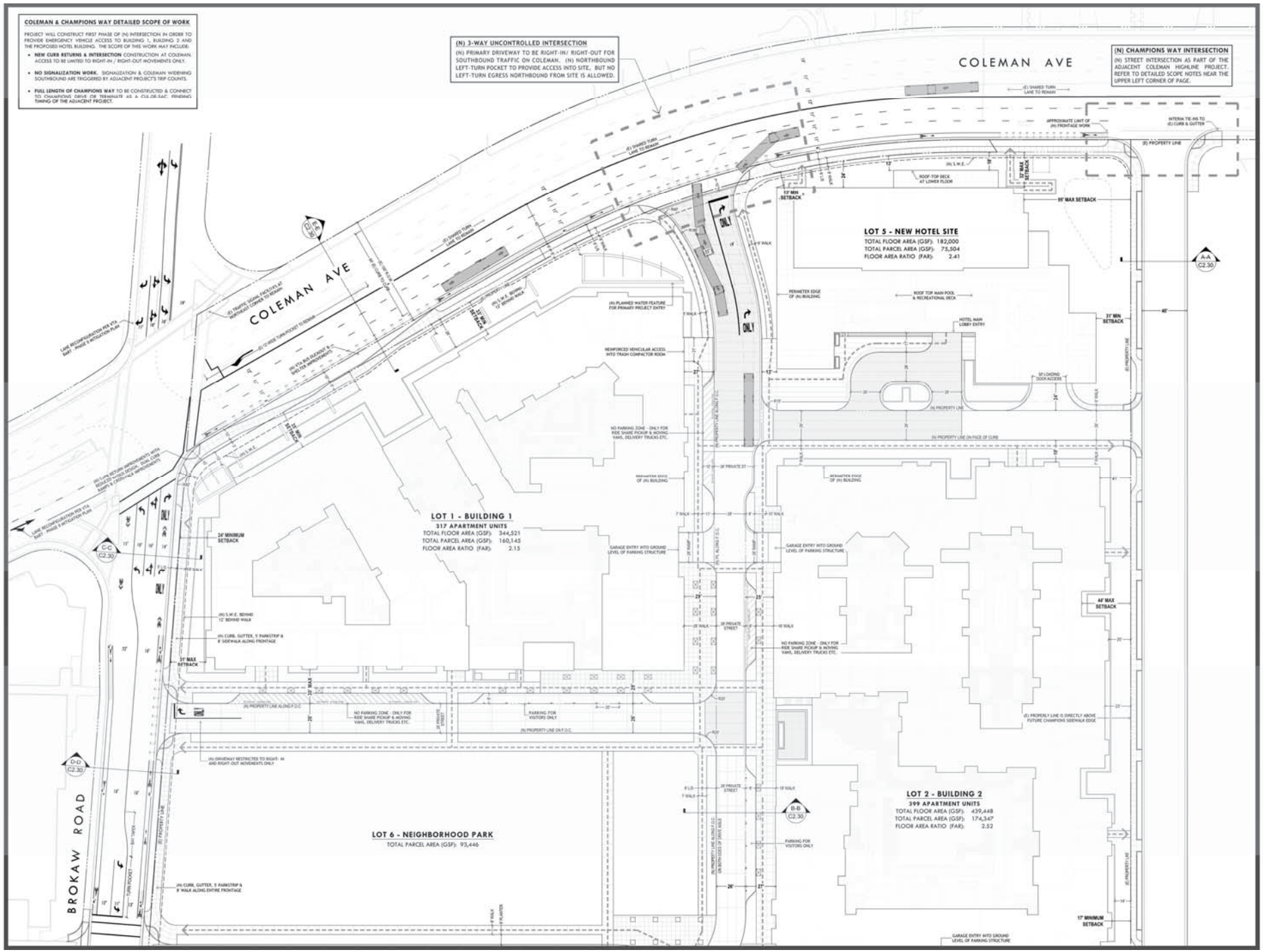
- **NEW CURB RETURNS & INTERSECTION** CONSTRUCTION AT COLEMAN. ACCESS TO BE LIMITED TO RIGHT-IN / RIGHT-OUT MOVEMENTS ONLY.
- **NO SIGNALIZATION WORK.** SIGNALIZATION & COLEMAN WIDENING SOUTHBOUND ARE TRIGGERED BY ADJACENT PROJECT'S TRIP COUNTS.
- **FULL LENGTH OF CHAMPIONS WAY** TO BE CONSTRUCTED & CONNECT TO CHAMPIONS DRIVE OR TERMINATE AS A CUL-DE-SAC. PENDING TIMING OF THE ADJACENT PROJECT.

(N) 3-WAY UNCONTROLLED INTERSECTION

(N) PRIMARY DRIVEWAY TO BE RIGHT-IN/ RIGHT-OUT FOR SOUTHBOUND TRAFFIC ON COLEMAN. (N) NORTHBOUND LEFT-TURN POCKET TO PROVIDE ACCESS INTO SITE. BUT NO LEFT-TURN EGRESS NORTHBOUND FROM SITE IS ALLOWED.

(N) CHAMPIONS WAY INTERSECTION

(N) STREET INTERSECTION AS PART OF THE ADJACENT COLEMAN HIGHLINE PROJECT. REFER TO DETAILED SCOPE NOTES NEAR THE UPPER LEFT CORNER OF PAGE.



HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

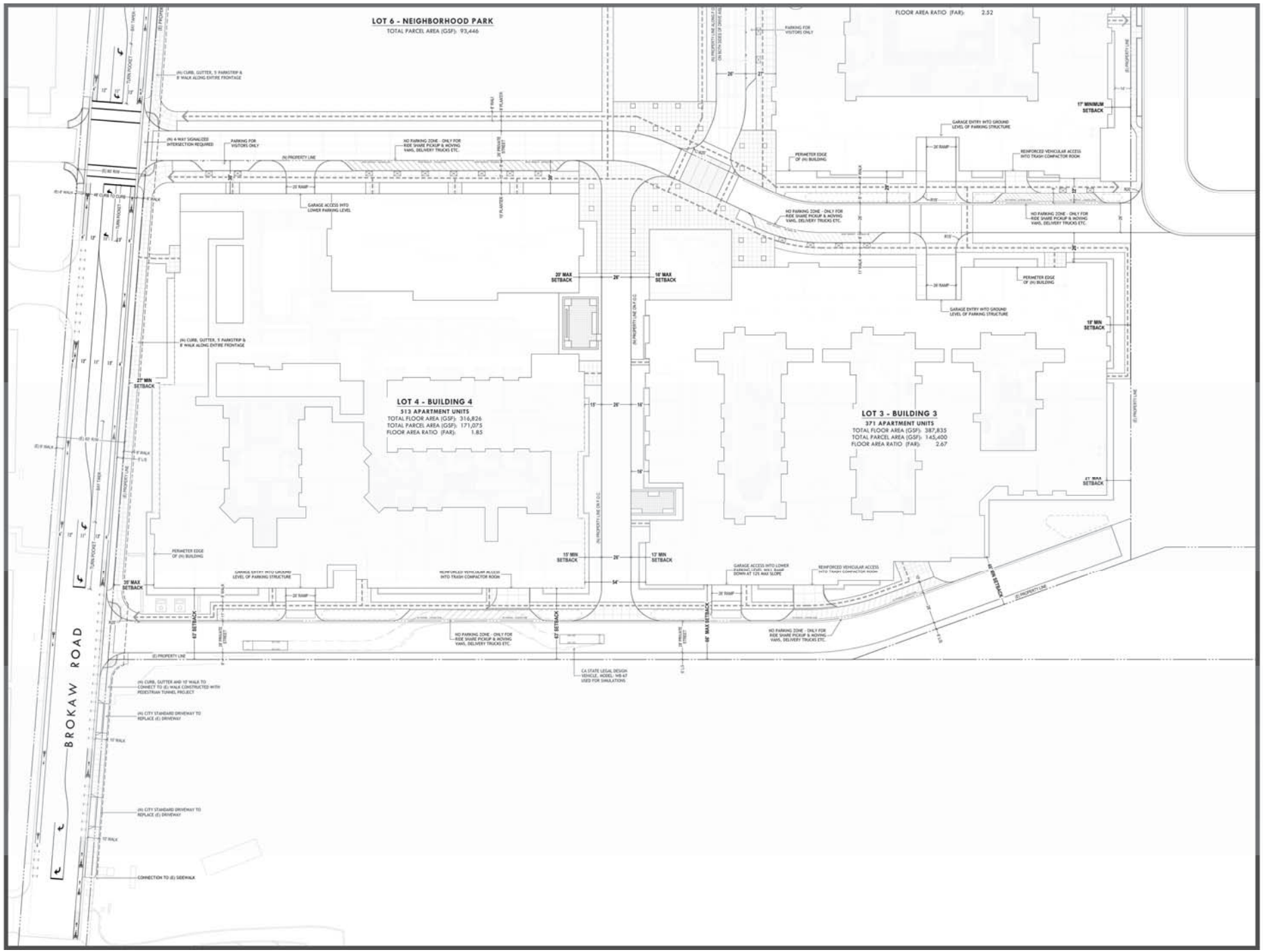
DATE: 08-10-2019
PROJECT #:
SCALE: AS INDICATED

SCALE 1" = 30 FEET

SHEET TITLE
DETAILED SITE PLAN

SHEET NUMBER
C2.21

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

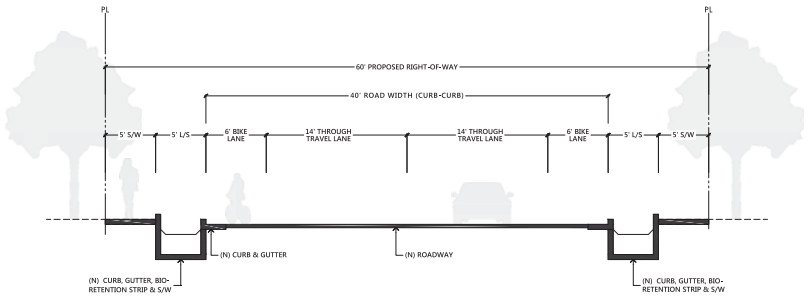
DATE: 06-10-2019
PROJECT #:
SCALE: AS INDICATED

SCALE 1" = 30 FEET

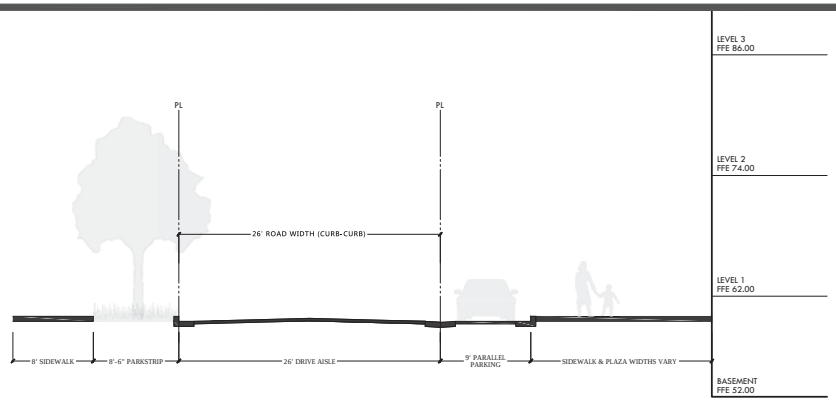
SHEET TITLE
DETAILED SITE PLAN

SHEET NUMBER
C2.22

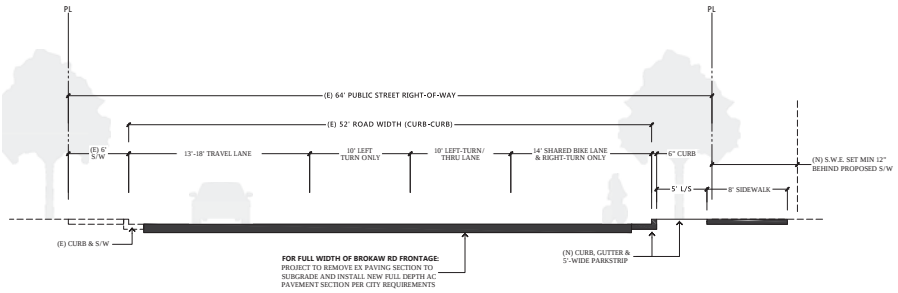
NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



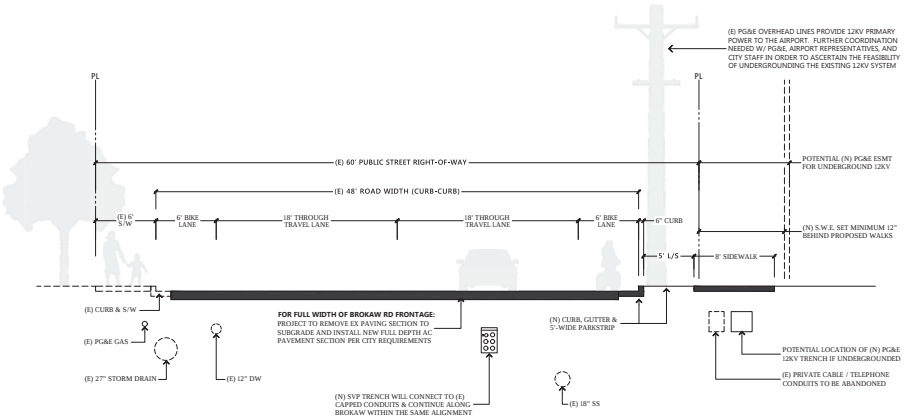
SECTION A-A: CHAMPIONS WAY (FUTURE STREET)



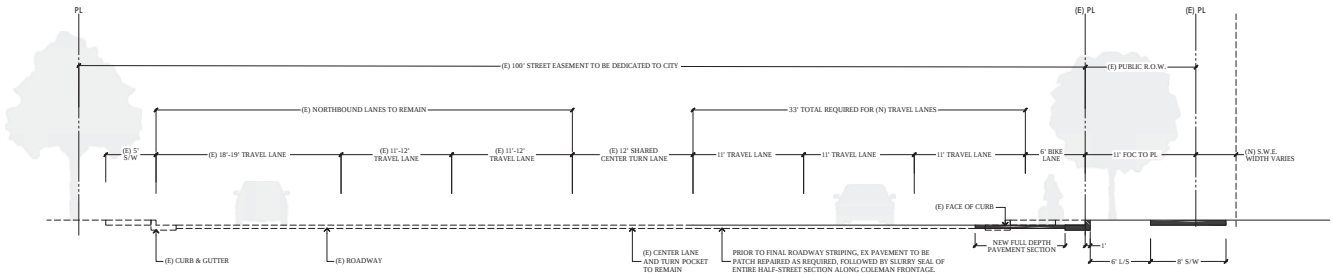
SECTION B-B: TYPICAL PRIVATE STREET ON-SITE



SECTION C-C: BROKAW ROAD SECTION AT COLEMAN INTERSECTION



SECTION D-D: BROKAW ROAD TYPICAL SECTION



SECTION E-E: COLEMAN AVENUE TYPICAL SECTION

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 08-16-2018

PROJECT #:

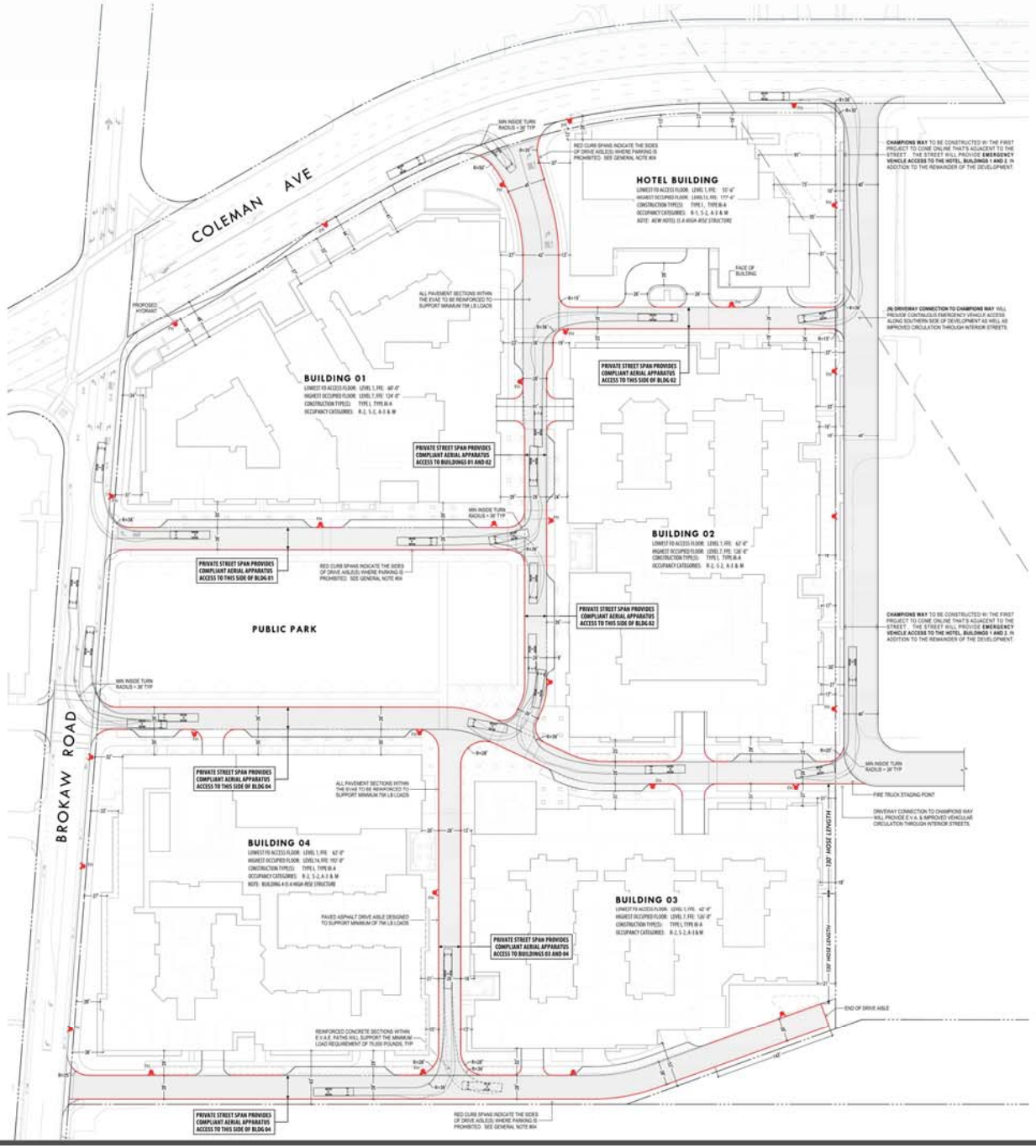
SCALE: AS INDICATED

0 5 10
SCALE 1" = 5 FEET

SHEET TITLE
TYPICAL STREET SECTIONS

SHEET NUMBER
C2.30

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



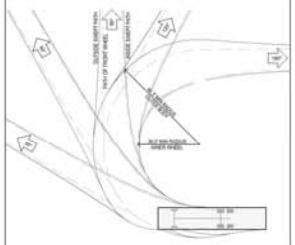
FIRE FLOW TEST RESULTS

GENERAL NOTES

1. FIRE HYDRANT LOCATIONS SHOWN ARE SCHEMATIC ONLY AND WILL BE FINALIZED AT A LATER STAGE.
2. EMERGENCY VEHICLE ACCESS ROADS ARE PROVIDED WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS. APPROVED FIRE DEPARTMENT TURNAROUNDS HAVE BEEN PROVIDED WHENEVER DEAD-END ACCESS ROAD(S) ARE IN EXCESS OF 150 FEET.
3. ALL SHADED ROADWAYS INDICATED AS EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS. E.V.A.E. PATHS SHOWN WITH PAVERS WILL BE REINFORCED TURF-BLOCK TO BE PRE-APPROVED BY THE FIRE DEPARTMENT AT THE PERMIT STAGE.
4. ALL ON-SITE ROADWAYS AND FIRE APPARATUS ACCESS ROADS (E.V.A.E.'s) PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 26'-0" AND MINIMUM VERTICAL CLEARANCE OF 13'-6", IN ACCORDANCE WITH THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
5. ALL PAVING MATERIALS WITHIN THE SHADED REGIONS SHOWN SHALL BE DESIGNED TO SUPPORT A MINIMUM GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
6. CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
7. NOTE THAT ALL INTERIOR PODIUM COURTYARDS SHOWN ARE SITUATED ABOVE THE GROUND ELEVATIONS OF EMERGENCY VEHICLE ACCESS (THE "E.V.A.E. GRADE"). REFER TO ARCHITECTURAL ELEVATIONS AND SECTIONS FOR SPECIFIC DETAILS ON COURTYARD ELEVATIONS AND FLOORS.

CSC - LADDER TRUCK

NTS

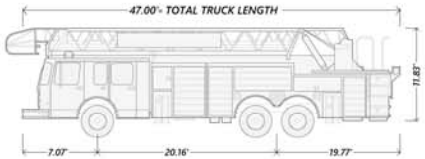


PLAN LEGEND

- EMERGENCY VEHICLE ACCESS ROAD/EASEMENT
- RED-PAINTED CURB SPANS PER NOTE 6
- PROPOSED FIRE HYDRANT LOCATION PER NOTE 1

CITY OF SANTA CLARA - LADDER TRUCK PROFILE

NTS



DESCRIPTION	VALUE
WIDTH - TO MIRRORS	9.50 ft
OVERALL LENGTH	47.00 ft
OVERALL HEIGHT	11.83 ft
WHEELBASE	20.16 ft
TRACK	8.00 ft

DESCRIPTION	VALUE
LOCK TO LOCK TIME	6.0 s
STEERING ANGLE	29.2°
GROSS VEHICLE WEIGHT	75,000 lbs
OUTER TURNING RADIUS	46.25 ft

HUNTER STORM
10121 Miller Ave. Suite 200, Cupertino, CA 95014
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GATEWAY CROSSINGS

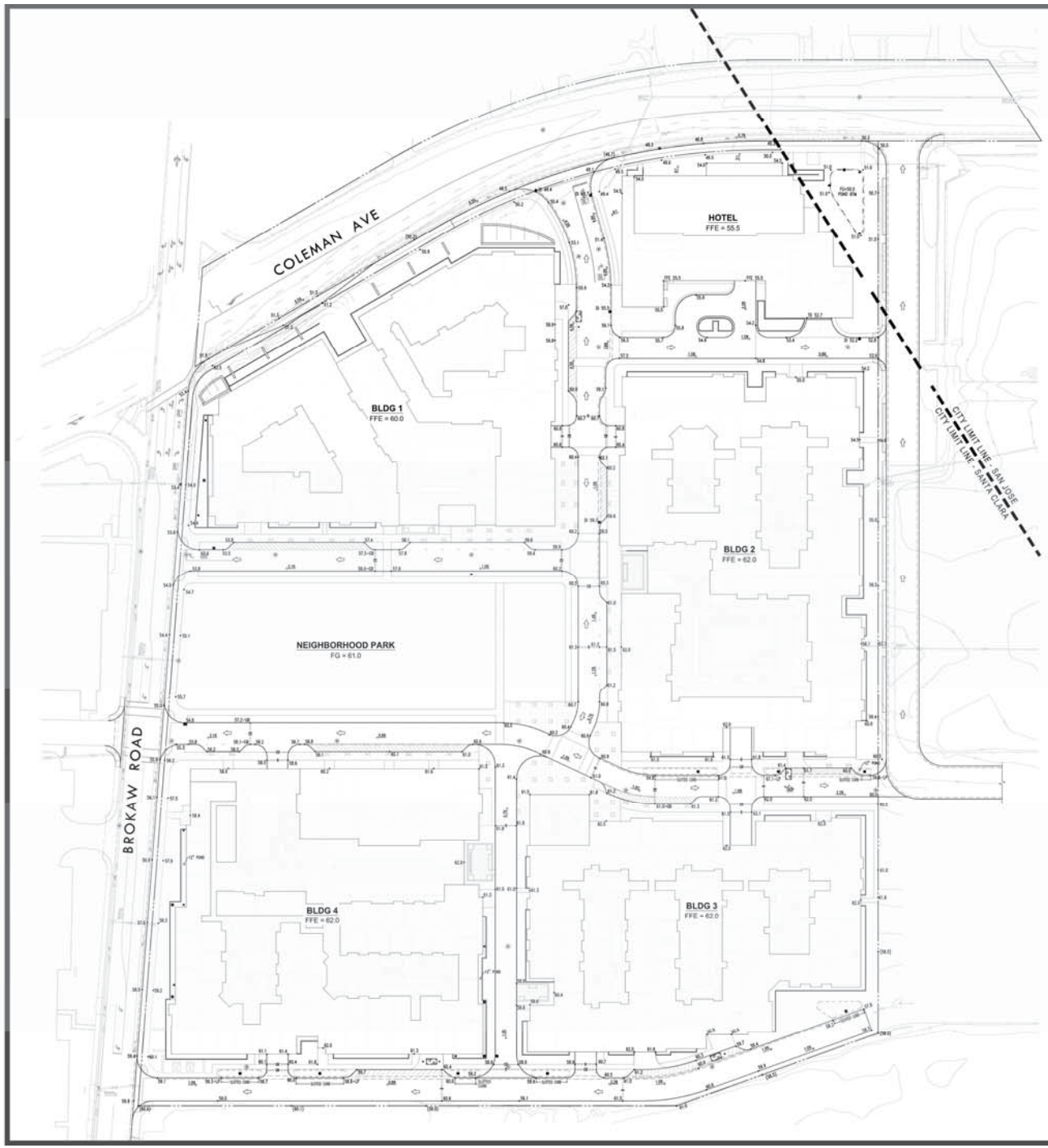
DATE: 08-10-2018
PROJECT #:
SCALE: AS INDICATED

SCALE 1" = 50 FEET

SHEET TITLE
FIRE ACCESS & APPARATUS

SHEET NUMBER
C2.40

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



PLAN LEGEND

LINETYPE / SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	BUILDING WALL / EDGE
	NEW 6" CONCRETE VERTICAL CURB
	NEW CONCRETE CURB AND GUTTER
	NEW CONCRETE VALLEY GUTTER
	NEW CONCRETE SIDEWALK
+100.0	FINISH GRADE ELEVATION
1.5%	PROPOSED GROUND SLOPE
SDMH	PROPOSED STORM DRAIN MANHOLE
DI / JB	PROPOSED DROP INLET/CATCH BASIN
	PROPOSED GARAGE TRENCH DRAIN
	FLOW DIRECTION OF OVERLAND RELEASE
	PROPOSED BIOTREATMENT POND

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GATEWAY CROSSINGS

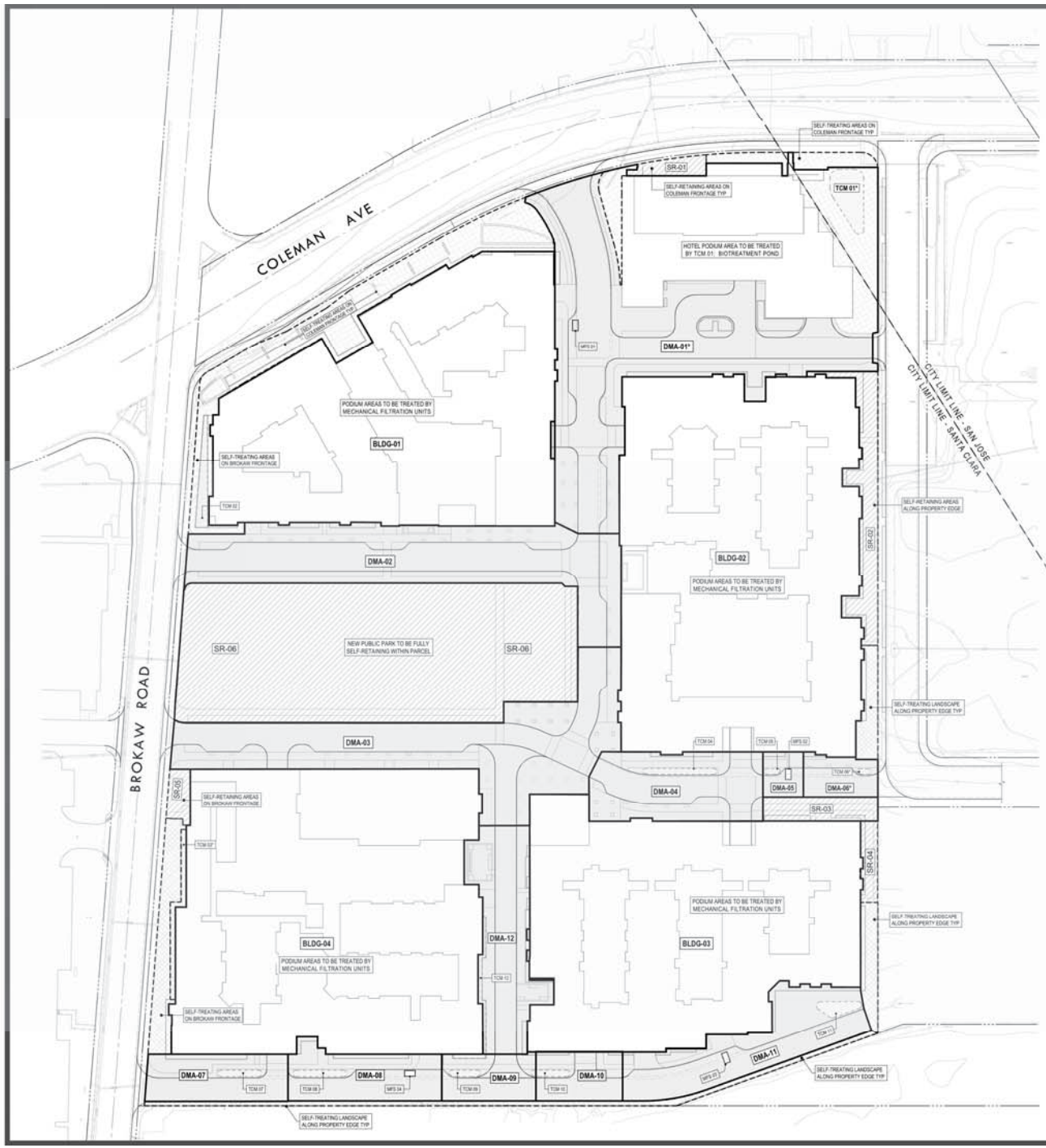
DATE: 08-10-2018
PROJECT #:
SCALE: AS INDICATED

SCALE 1" = 50 FEET

SHEET TITLE
PRELIMINARY GRADING PLAN

SHEET NUMBER
C3.10

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



PLAN LEGEND

- **DRAINAGE MANAGEMENT AREA LIMITS**
- **AT-GRADE SURFACE AREAS:** TREATMENT VIA 100% L.I.D. MEASURES (FLOW-THRU PLANTERS & BIOTREATMENT)
- **SELF-TREATING AREAS:** 100% PERVIOUS AREAS WITH NO IMPERVIOUS SURFACE AREA RUN-ON
- **SELF-RETAINING AREAS:** 100% PERVIOUS AREAS WITH 2:1 MAX RATIO OF IMPERVIOUS SURFACE AREA RUN-ON
- **STRUCTURED PODIUM FOOTPRINTS (RESIDENTIAL LOTS):** TREATMENT FOR PODIUM DECKS, FLATWORK & ROOF AREAS VIA MECHANICAL FILTRATION SYSTEMS IN ACCORDANCE WITH THE PROVISIONS FOR SPECIAL PROJECT QUALIFICATION.
- **STRUCTURED PODIUM FOOTPRINTS (HOTEL LOT):** TREATMENT FOR PODIUM DECK, FLATWORK & ROOF AREAS USING 100% L.I.D. MEASURES (BIOTREATMENT)
- **TREATMENT CONTROL MEASURES:** FLOW-THRU PLANTERS AND BIOTREATMENT PONDS

TREATMENT NOTES

1. DUE TO THE AVAILABILITY OF RECLAIMED WATER TO THE SITE, RAINWATER HARVESTING IS INFEASIBLE. STREET & SIDEWALK AREAS WILL BE TREATED VIA LANDSCAPE- BASED TREATMENT MEASURES (BIORETENTION PONDS). SPECIAL PROJECT CREDITS (UP TO 70% OF TOTAL SITE MAXIMUM) WILL BE UTILIZED FOR MECHANICAL TREATMENT OF THE PODIUM STRUCTURES IN ACCORDANCE WITH SCVURPPP GUIDELINES. PERIMETER LANDSCAPE AREAS WILL BE SELF-TREATING OR SELF-RETAINING.
2. ALL BIOTREATMENT AREAS (WITH THE EXCEPTION OF DMA 01 AND 06) HAVE BEEN PRELIMINARILY SIZED USING THE GUIDELINES IN THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM DESIGN MANUAL, PER THE 4% SIZING CRITERIA AS A CONSERVATIVE MEASURE.
3. POND AREAS MAY BE REVISED AT FURTHER DESIGN STAGES TO UTILIZE COMBINATION FLOW AND VOLUME BASED CALCULATION METHODS THAT ALLOW FOR INCREASED PONDING DEPTHS AND REDUCED SURFACE FOOTPRINTS, PER SCVURPPP GUIDELINES.
4. REFER TO THE COMPLETE STORMWATER APPLICATION PACKET FOR SIZING DETAILS INCLUDING ALL FEASIBILITY WORKSHEETS, IMPERVIOUS SURFACE FORMS AND SIZING CALCULATIONS, TO BE SUBMITTED UNDER SEPARATE COVER.

L.I.D. ACRONYMS

DMA-01	DRAINAGE MANAGEMENT AREAS
ST-01	SELF-TREATING AREAS
SR-01	SELF-RETAINING AREAS
TCM-01	TREATMENT CONTROL MEASURES
MFS-01	MEDIA FILTRATION SYSTEMS

ON-SITE TCM SUMMARY TABLE

AREAS			TREATMENT METHOD									SIZING		
DMA NUMBER (DRAINAGE MANAGEMENT AREA)	TCM NUMBER (TREATMENT CONTROL MEASURE)	MFS NUMBER (MECHANICAL FILTRATION SYSTEM)	BIOTREATMENT	SELF-RETAINING	ALTERNATIVE COMPLIANCE	FLOW-THRU PLANTER	INFILTRATION TRENCH	RAINWATER HARVESTING	GREEN ROOF*	PERVIOUS PAVEMENT	MECHANICAL FILTRATION	TOTAL IMPERVIOUS AREA FOR DMA (SF)	TCM AREA REQUIRED (SURFACE AREA IN SF)	TCM AREA PROVIDED (SURFACE AREA IN SF)
DMA-01*	01		X									93,674 sf	3,749 sf	2,390 sf
DMA-02*	02					X						35,745 sf	1,430 sf	1,305 sf
DMA-03*	03					X						41,565 sf	1,663 sf	1,398 sf
DMA-04	04		X									15,600 sf	624 sf	625 sf
DMA-05	05		X									2,372 sf	95 sf	103 sf
DMA-06*	06		X									4,356 sf	174 sf	104 sf
DMA-07	07		X									8,242 sf	330 sf	418 sf
DMA-08	08		X									9,422 sf	377 sf	515 sf
DMA-09	09		X									5,193 sf	208 sf	281 sf
DMA-10	10		X									4,586 sf	183 sf	359 sf
DMA-11	11		X									15,265 sf	611 sf	750 sf
DMA-12	12					X						10,420 sf	417 sf	895 sf
SELF-RETAINING AREAS												IMPERVIOUS SF TOTAL	PERVIOUS SF REQ'D	PERVIOUS SF PROVIDED
SR-01				X								372 sf	186 sf	1,792 sf
SR-02				X								684 sf	342 sf	9,113 sf
SR-03				X								1,439 sf	720 sf	2,649 sf
SR-04				X								575 sf	288 sf	1,433 sf
SR-05				X								378 sf	189 sf	1,380 sf
SR-06				X								24,216 sf	12,108 sf	43,709 sf
MECHANICAL TREATMENT (SEE SHEET C3.21 FOR DETAILS)												IMPERVIOUS SF TOTAL		CARTRIDGES REQUIRED
BLDG-01	01										X	95,750 sf		9 x 27" ea
BLDG-02	02										X	116,400 sf		10 x 27" ea
BLDG-03	03										X	94,100 sf		8 x 27" ea
BLDG-04	04										X	112,250 sf		10 x 27" ea
GRAND TOTAL IMPERVIOUS AREA TREATED												692,604 sf		

*USES COMBINATION & FLOW VOLUME METHOD: SEE SHEET C3.21 FOR CALCULATIONS

HUNTER STORM
10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06-10-2010
PROJECT #:
SCALE: AS INDICATED

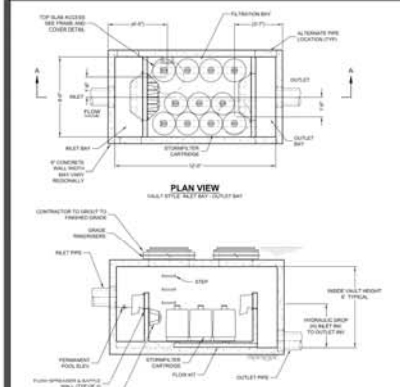
SCALE 1" = 50 FEET

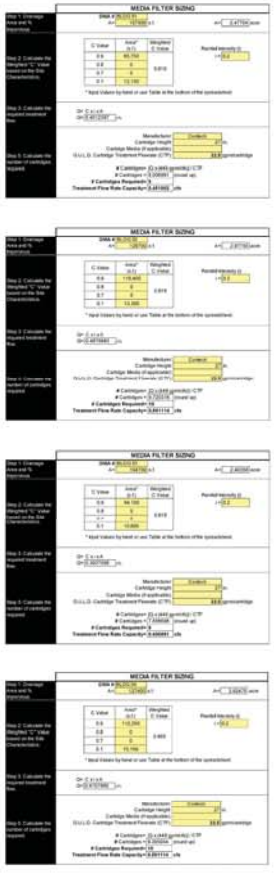
SHEET TITLE
PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER
C3.20

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037

MEDIA FILTRATION SYSTEM DETAILS & TABLE





STORMFILTER DESIGN NOTES

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE ACCURATE TO THE NEAREST INCH DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CLASS A15 (15,000 LBS) MINIMUM.
6. FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
7. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq.ft).

INSTALLATION NOTES

1. SITE SPECIFIC SCHEMATIC, SCHEMATIC DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLE VAULT.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
• INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES.	POST CONSTRUCTION
• INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE ALSO DESIRABLE.	SEMI-ANNUAL
• INSPECT BASIN ONCE DURING WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN THE TIMEFRAME, REMOVE & REPLACE TOP 2 INCHES OF FILTER MEDIA.	SEMI-ANNUAL
MAINTENANCE ACTIVITIES	**SUGGESTED FREQUENCY**
• MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED.	AS NEEDED (FREQUENT, SEASONALLY)
• IRRIGATE DURING DRY SEASON (APRIL - OCTOBER) OR WHEN NEEDED TO MAINTAIN VEGETATION.	
• PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES.	
• REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY.	SEMI-ANNUAL
• REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY.	
• CORRECT ANY EROSION PROBLEMS WITHIN THE SAND/SOIL BED.	AS NEEDED
• PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.	ANNUAL (AS NEEDED)
• RE-SEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1-2 INCHES OF MULCH, PREFERABLY IN JUNE AFTER WEEDING.	SEMI-ANNUAL
• REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT PROPER OPERATION OF BIO TREATMENT PONDS. REMOVE SEDIMENT WHEN BUILD UP REACHES 3 INCHES AT ANY SPOT, IF IT COVERS VEGETATION, OR IF IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE ANY GRASS AREAS DAMAGED IN THE PROCESS.	AS NEEDED (INFREQUENT)
• ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED IF TREATMENT AREA DOES NOT DRAW DOWN WITHIN 48 HOURS.	AS NEEDED

BIOTREATMENT SOIL REQUIREMENTS

1. **BIOTREATMENT SOIL MIX** (**BSM**) SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "L" OF THE MUNICIPAL REGIONAL PERMIT (MRP), ADOPTED BY THE REGIONAL WATER BOARD ON NOVEMBER 28TH, 2011. THE **BSM** SHALL ACHIEVE AN INFILTRATION RATE BETWEEN A MINIMUM OF 5-INCHES AND MAXIMUM OF 10-INCHES PER HOUR.
2. SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP), DATED APRIL 8TH, 2014, AVAILABLE AT: www.scvurppp-w2k.com\nd_wp.shtml

   BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER. PERCOLATION TESTS SHALL BE PERFORMED BY THE SOILS ENGINEER ON-SITE BEFORE AND AFTER INSTALLATION.
3. PERMEABLE MATERIAL SHALL COMPLY WITH CALTRANS STANDARD SPECIFICATIONS SECTION 68-1.025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
4. THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 0.5% MINIMUM SLOPE OTHERWISE.
5. SEE LANDSCAPE PLANS FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "D" OF THE C.3. STORMWATER HANDBOOK, DATED APRIL, 2012. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

OVERALL SITE PERMEABILITY TABLE

A. TOTAL SITE AREA	21.40 ACRES	B. TOTAL SITE AREA DISTURBED		21.40 ACRES
GATEWAY CROSSINGS	**EXISTING AREA**	**PROPOSED AREA**		**TOTAL POST-PROJECT AREA**
		REPLACED	**NEW**	
IMPERVIOUS AREA				
ROOF	266,588 sf	266,588 sf	84,082 sf	350,670 sf
PARKING	490,383 sf	118,850 sf	0 sf	118,850 sf
SIDEWALKS & STREETS	29,459 sf	29,459 sf	195,936 sf	225,395 sf
C. TOTAL IMPERVIOUS AREA	**786,430 sf**	**414,897 sf**	**280,018 sf**	**694,915 sf**
D. TOTAL NEW & REPLACED IMPERVIOUS AREA		**694,915 sf**		
PERVIOUS AREA				
LANDSCAPING	145,749 sf	145,749 sf	77,415 sf	223,164 sf
PERVIOUS PAVING	0 sf	0 sf	0 sf	0 sf
OTHER (GREEN ROOF ETC)	0 sf	0 sf	14,100 sf	14,100 sf
E. TOTAL PERVIOUS AREA	**145,749 sf**	**145,749 sf**	**91,515 sf**	**237,264 sf**
F. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS				
(REPLACED TOTAL IMPERVIOUS AREA ÷ EXISTING TOTAL IMPERVIOUS AREA) x 100% =				**52.76 %**

SOURCE CONTROL MEASURES IMPLEMENTED

SD-10: SITE DESIGN & LANDSCAPE PLANNING

- MAXIMIZED TREES AND PLANTING WITHIN NEW HARDSCAPE AREAS AND LANDSCAPED AREAS.
- VEGETATION/PLANTING FOR ALL LANDSCAPE AREAS WHICH SLOPE DOWN AT A RATIO OF LESS THAN 5:1.

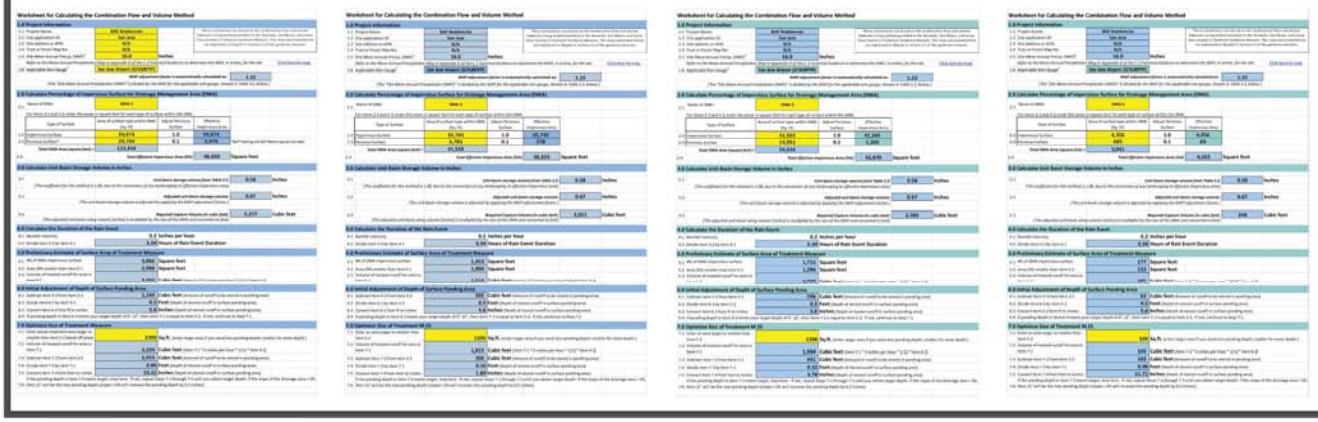
SD-11: EFFICIENT IRRIGATION

- RAIN-TRIGGERED SHUTOFF DEVICES FOR IRRIGATION SYSTEMS TO PREVENT OPERATION AFTER RAINFALL.
- IRRIGATION SYSTEMS DESIGNED SPECIFICALLY TO ACCOMMODATE THE PROJECT'S IRRIGATION WATER DEMANDS AND PLANTING REQUIREMENTS.

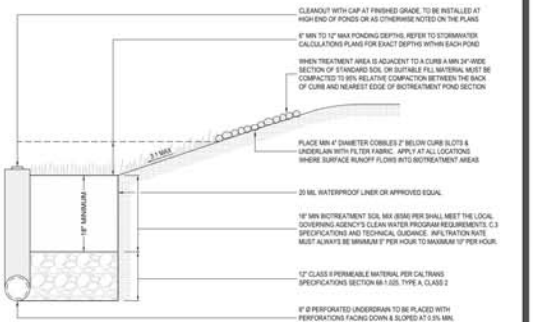
SD-13: STORM DRAIN SIGNAGE

- ALL CATCH BASINS AND INLETS TO BE STENCILED W/ PROHIBITIVE LANGUAGE REGARDING DUMPING, IN ACCORDANCE WITH CITY & SCVURPPP STANDARDS.

COMBINATION VOLUME & FLOW SIZING CALCULATIONS FOR TREATMENT CONTROL MEASURES: TCM-01, TCM-02, TCM-03, AND TCM-06



TYPICAL BIORETENTION AREA HALF-SECTION



HUNTER STORM
10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

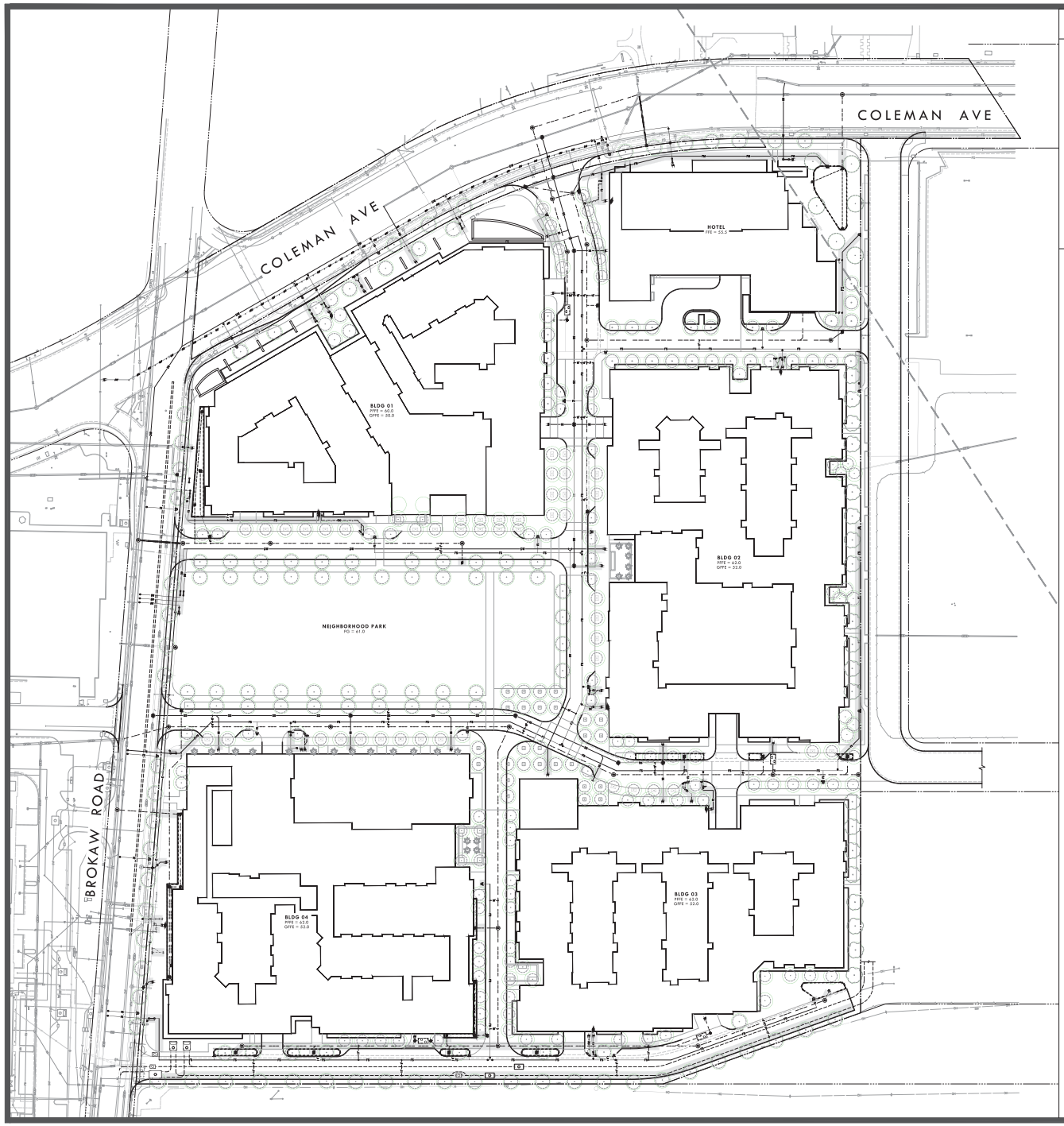
GATEWAY CROSSINGS

DATE: 08-16-2018
PROJECT #:
SCALE: AS INDICATED

SHEET TITLE
PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER
C3.21

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



GENERAL NOTES

1. THE SHADED REGIONS WHICH OVERLAY UTILITY MAINS AND LATERALS ON THIS PLAN DEPICT A 5-FOOT OFFSET ON EITHER SIDE OF THE UTILITY PIPING, PROVIDING A REPRESENTATION OF 10-FEET CLEAR SPACE FROM EDGE TO EDGE.
2. THE GREEN CIRCLES REPRESENT 20-FOOT DIAMETER CLEAR ZONES CENTERED ON EACH PROPOSED TREE LOCATION. THESE CIRCLES DEPICT THE REQUIRED 10-FOOT RADIUS OF CLEAR SPACE REQUIRED BETWEEN TREES AND MOST UTILITY LINES.
3. WHERE THE SHADED PIPELINE REGION INTERSECTS A TREE 'GREEN ZONE' RADIUS THIS REPRESENTS AN ENCROACHMENT INTO THE REQUIRED 10-FOOT CLEAR SPACE. A PIPELINE'S SHADED REGION WOULD NEED TO TOUCH OR OVERLAP THE CENTER OF A PROPOSED TREE IN ORDER TO VIOLATE THE MINIMUM 5-FOOT CLEAR SPACE ALLOWED WHEN ROOT BARRIERS ARE INSTALLED IN LIEU OF PROVIDING 10-FEET CLEAR.

HUNTER STORM
10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

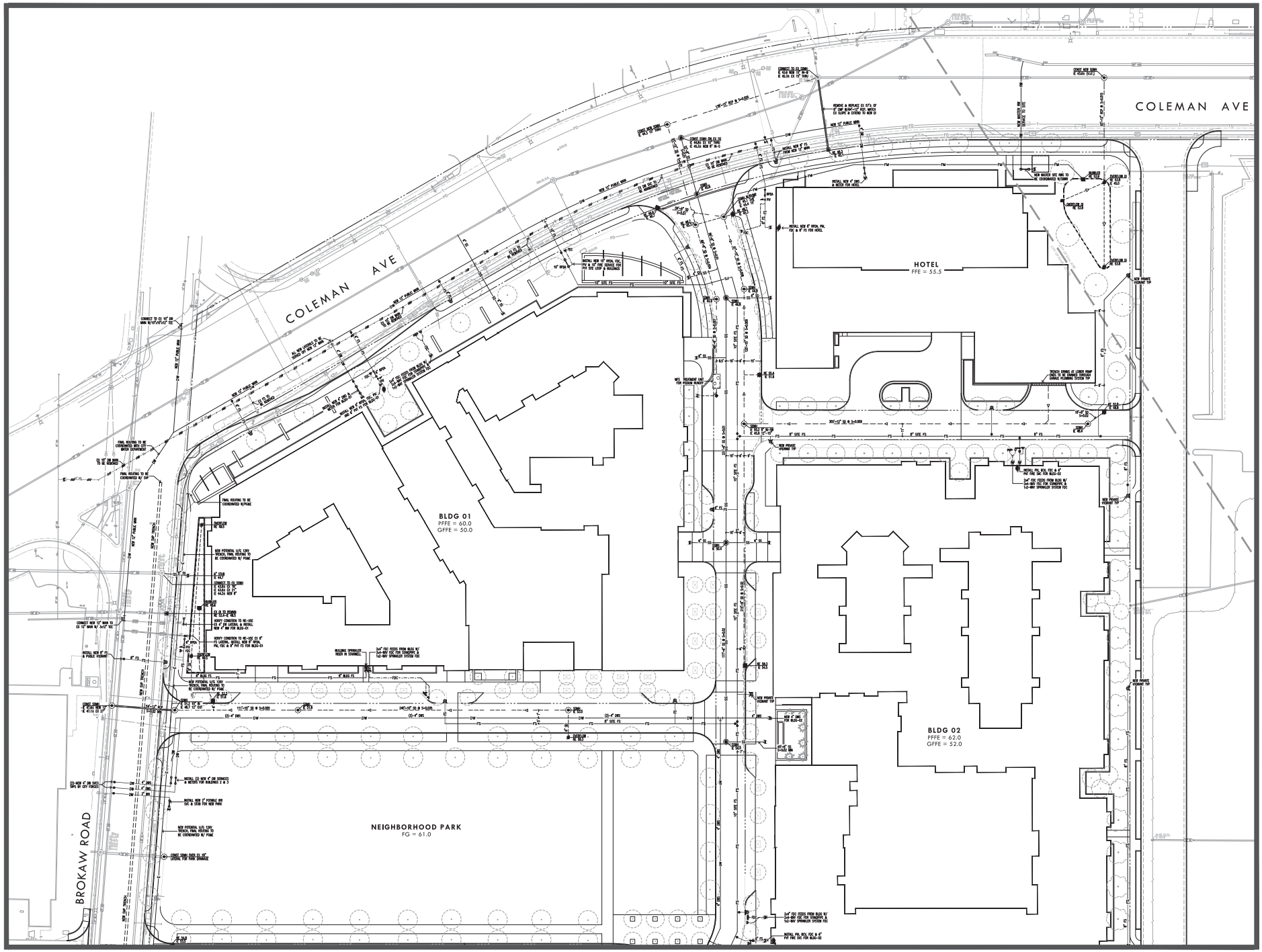
DATE:	08-16-2018
PROJECT #:	
SCALE:	AS INDICATED

0 50 100
SCALE 1" = 50 FEET

SHEET TITLE
COMPOSITE SITE UTILITY & TREE OVERLAY PLAN

SHEET NUMBER
C4.10

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE:	08-16-2018
PROJECT #:	
SCALE:	AS INDICATED

SCALE 1" = 30 FEET

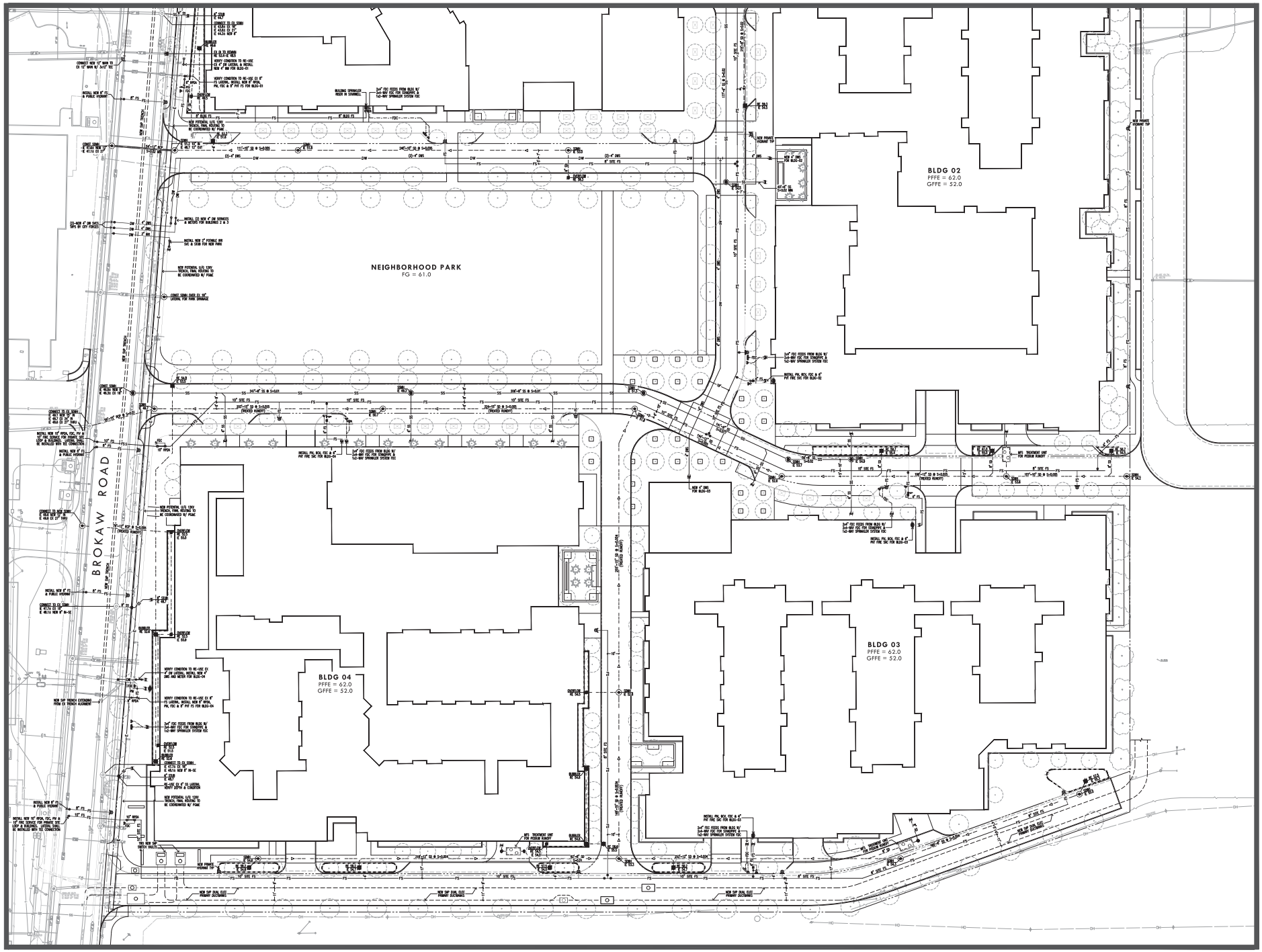
SHEET TITLE

PRELIMINARY UTILITY PLAN

SHEET NUMBER

C4.11

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037



HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE:	08-16-2018
PROJECT #:	
SCALE:	AS INDICATED

SCALE 1" = 30 FEET

SHEET TITLE
PRELIMINARY UTILITY PLAN

SHEET NUMBER
C4.12

NTERRA GROUP
1295 E DUNNE AVE #230
MORGAN HILL CA 95037

HOTEL BASEMENT PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	0
2	69	0		
71				

BUILDING 1 BASEMENT PARKING DATA

VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	32	208	7	8	0
N/A			247					

BUILDING 2 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	34	302	0	10	0
N/A			336					

BUILDING 3 BASEMENT PARKING DATA

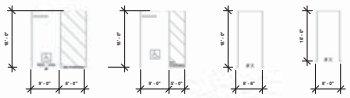
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	6	36	216	3	10	0
N/A			255					

BUILDING 4 BASEMENT PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	5	27	274	21	13	0
N/A			327					

NOTE:
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
THERE ARE IN TOTAL 60 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARGAE AND ON STREET LEVEL.

FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.



HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE: As indicated
0 | 50 | 100
NORTH

SHEET TITLE
SITE PLAN BASEMENT LEVEL

SHEET NUMBER
A1.01

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Irvine, California 92614
949.809.3388
www.mve-architects.com

HOTEL GROUND LEVEL PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING		
3	67	0	N/A	8
70				

*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

BUILDING 1 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
3	48	N/A	6	0	76	4	N/A	108
51*			86					

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 2 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	58	N/A	10	0	127	2	N/A	132
62*			139					

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 3 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
3	55	N/A	0	0	81	0	N/A	129
58*			87					

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

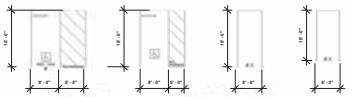
BUILDING 4 GROUND LEVEL PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	63	N/A	5	14	128	0	N/A	171
67*			147					

* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

NOTE:
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
THERE ARE IN TOTAL 84 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARGAE AND ON STREET LEVEL.

FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.



ADA VAN PARKING | ADA STARDARD PARKING | STANDARD PARKING | COMPACT PARKING

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE: As indicated
0 | 50 | 100
NORTH

SHEET TITLE
SITE PLAN
STREET
LEVEL

SHEET NUMBER
A1.02

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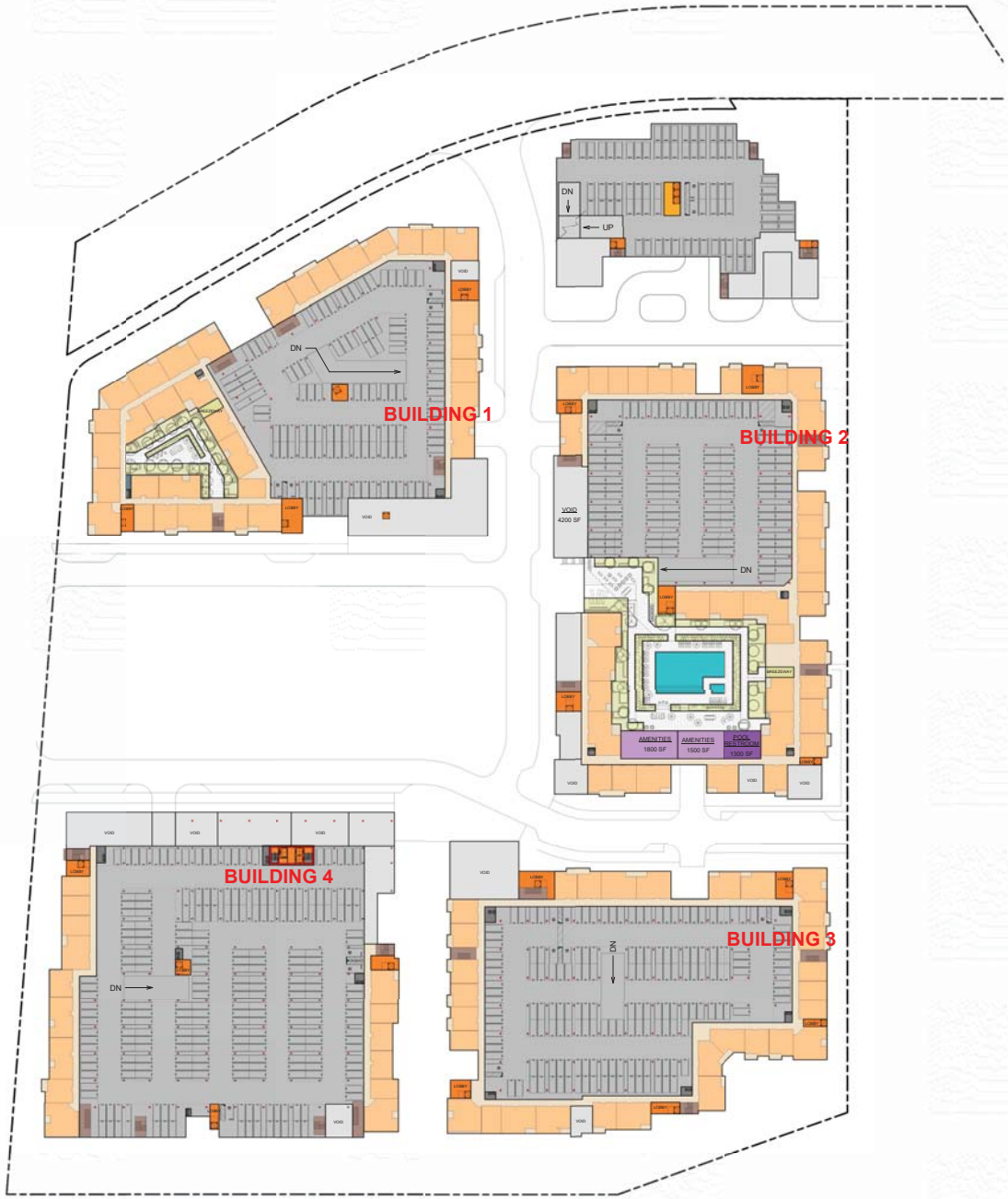


HOTEL LEVEL 2 PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
2	73	N/A		
75				

*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

BUILDING 1 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
N/A	N/A	N/A	4	0	107	0		
N/A			111					

BUILDING 2 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
N/A	N/A	N/A	2	0	113	0		
N/A			115					

BUILDING 3 LEVEL 2 PARKING DATA

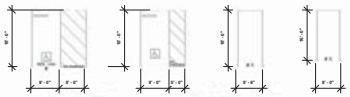
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
N/A	N/A	N/A	6	0	156	0		
N/A			162					

BUILDING 4 LEVEL 2 PARKING DATA

RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
N/A	N/A	N/A	3	0	220	0		
N/A			223					

NOTE:
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.
THERE ARE IN TOTAL 60 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARGAE AND ON STREET LEVEL.

FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.



ADA VAN PARKING | ADA STARDARD PARKING | STANDARD PARKING | COMPACT PARKING

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GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE: As indicated
0 | 50 | 100
NORTH

SHEET TITLE
SITE PLAN
LEVEL 2

SHEET NUMBER
A1.03

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HOTEL LEVEL 3 PARKING DATA

PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING	N/A	N/A
0	76	N/A		
76				

*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

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GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 | 50 | 100

NORTH

SHEET TITLE
SITE PLAN
LEVEL 3

SHEET NUMBER
A1.04

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	1" = 50'-0"

0 | 8 | 16

NORTH

SHEET TITLE
SITE PLAN
LEVEL 4-5

SHEET NUMBER
A1.05

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	1" = 50'-0"

0 | 8 | 16

NORTH

SHEET TITLE
SITE PLAN LEVEL 6

SHEET NUMBER
A1.06

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DATE:	6-28-2018
PROJECT #:	
SCALE:	1" = 50'-0"

0 | 50 | 100

NORTH

SHEET TITLE
SITE PLAN LEVEL 7

SHEET NUMBER
A1.07

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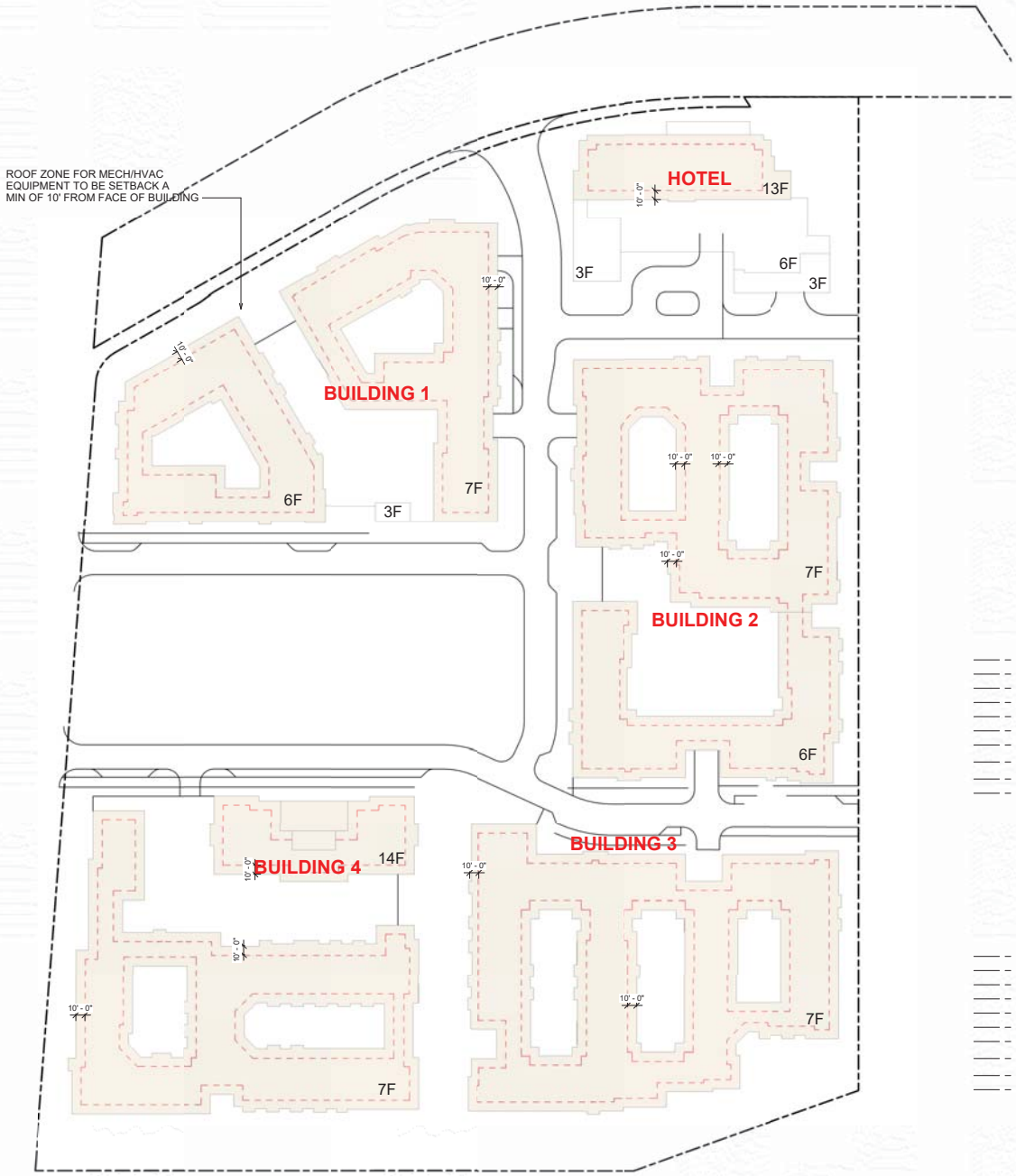
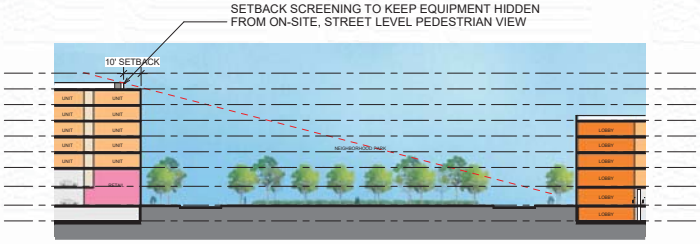
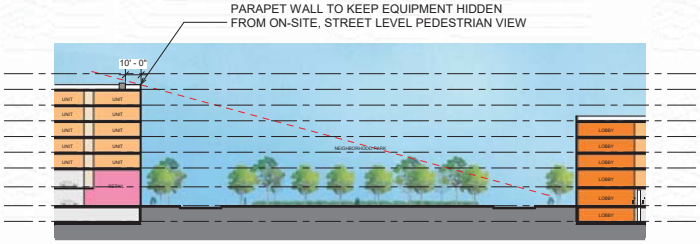




CONDITION 1 - SCREENING SETBACK FROM EDGE OF BUILDING
ENLARGEMENT OF SECTION D/SP1.00



CONDITION 2 - PARAPET AT FACE OF BUILDING USED TO SCREEN VIEW
ENLARGEMENT OF SECTION D/SP1.00

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	As indicated

0 | 50 | 100

NORTH

SHEET TITLE
SITE PLAN
ROOF PLAN

SHEET NUMBER
A1.08

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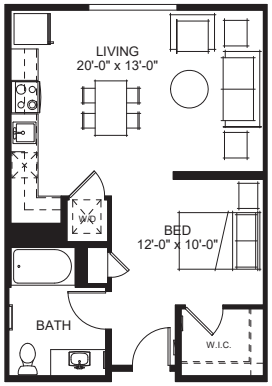
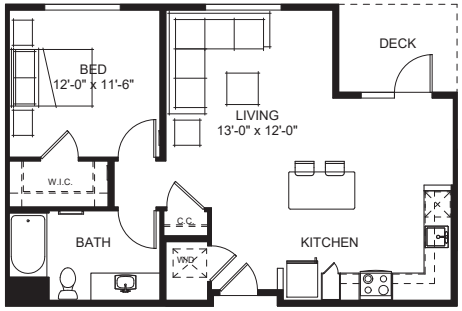
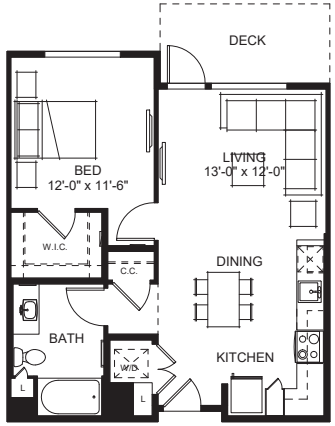


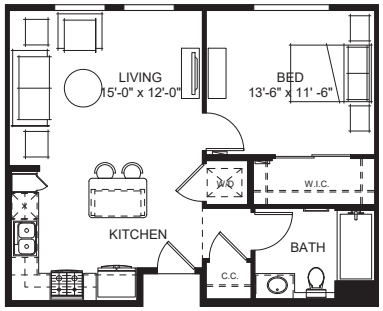
1 UNIT - STUDIO
1/4" = 1'-0"



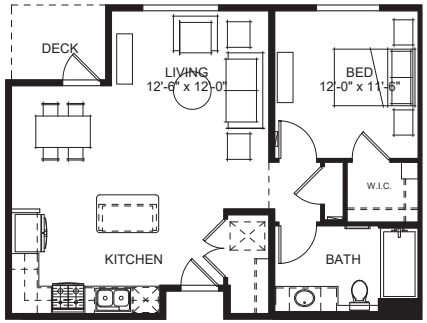
6 UNIT - 1BR (A)
1/4" = 1'-0"



2 UNIT - 1BR (B)
1/4" = 1'-0"



3 UNIT - 1BR (C)
1/4" = 1'-0"



7 UNIT - 1BR (D)
1/4" = 1'-0"

UNIT TYPE	TOTAL	UNIT	UNIT COUNT	UNIT SIZE (sf)	DECK SIZE (sf)
STUDIO	230	-	230	625	N/A
1-BEDROOM	633	A	34	795	66
		B	479	722	78
		C	60	693	N/A
		D	41	773	47
		CUSTOM*	19	VARIES	VARIES
1-BED + DEN	127	A	83	875	57
		B	44	1000	114
2-BEDROOM	562	A	83	1080	45
		B	376	1036	62
		C	71	1185	51
		CUSTOM*	32	VARIES	VARIES
2-BED + DEN	48	-	48	1355	115

*CUSTOM UNIT PLANS NOT INCLUDED IN DRAWING SET. SIZE, DECK, AND FOOTPRINT VARY PER LOCATION.

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

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GATEWAY CROSSINGS

DATE: 6-28-2018
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0 | 8 | 16
NORTH

SHEET TITLE
TYPICAL UNIT PLANS

SHEET NUMBER
A1.11

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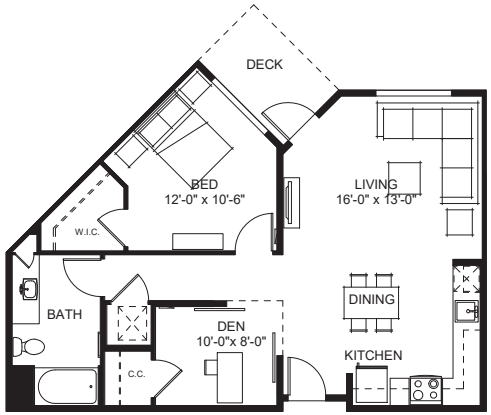
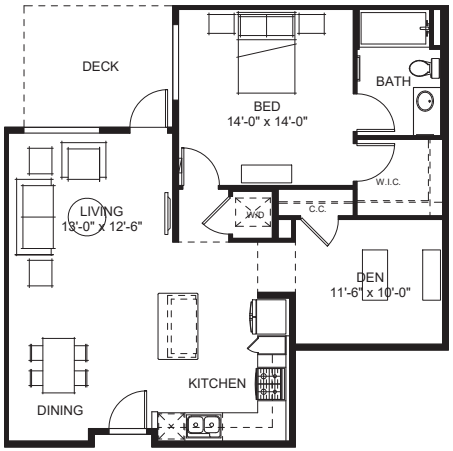
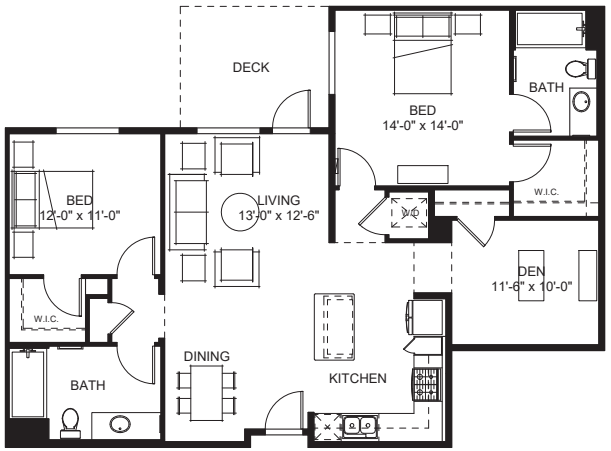


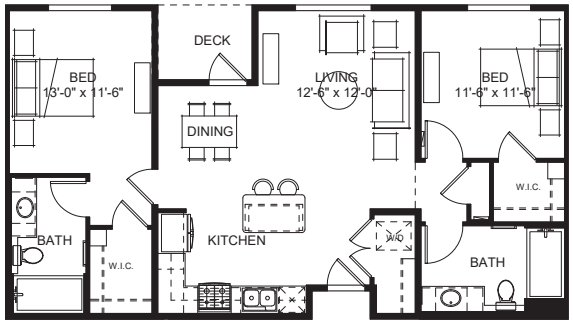
4 UNIT - 1BR + DEN (A)
1/4" = 1'-0"



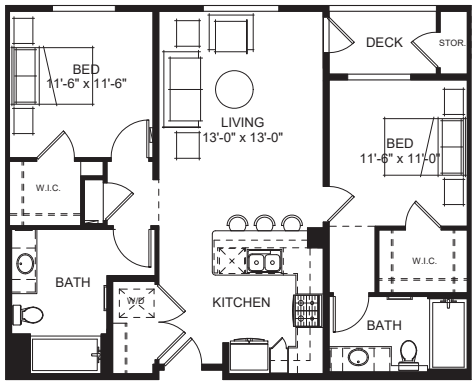
5 UNIT - 1BR + DEN (B)
1/4" = 1'-0"



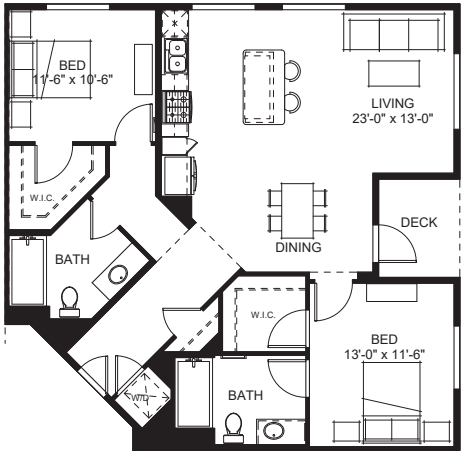
6 UNIT - 2BR + DEN
1/4" = 1'-0"



1 UNIT - 2BR (A)
1/4" = 1'-0"



2 UNIT - 2BR (B)
1/4" = 1'-0"



3 UNIT - 2BR (C)
1/4" = 1'-0"

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

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GATEWAY CROSSINGS

DATE:	6-28-2018
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SCALE:	1/4" = 1'-0"

0 | 8 | 16

NORTH

SHEET TITLE
TYPICAL UNIT PLANS

SHEET NUMBER
A1.12

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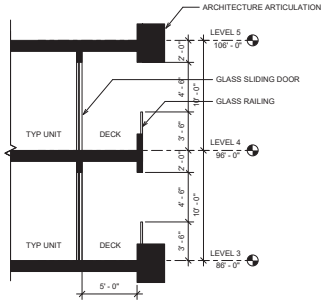
STYLE 1

STYLE DESCRIPTION

- Facades articulated with expressed columns and beams.
- Defined base, middle, and top proportions.
- Recessed and grouped windows and fenestration patterns.
- Simple canopy and cornice used to terminate architectural forms.



2 STYLE 1 TYP BALCONY SECTION
1/4" = 1'-0"

ARCHITECTURAL IMAGERY

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

1. METAL TRIM
2. CLADDING PANEL
3. CLADDING/ METAL CORNICE
4. STUCCO
5. METAL CANOPY
6. JULIET BALCONY WITH PANELIZED RAILING
7. BALCONY WITH PANELIZED RAILING

1 BUILDING 2 NORTH ELEVATION
(FRONTING INTERNAL STREET)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	As indicated

0 | 8 | 16

NORTH

SHEET TITLE
ARCHITECTURAL STYLE 1

SHEET NUMBER
A2.01

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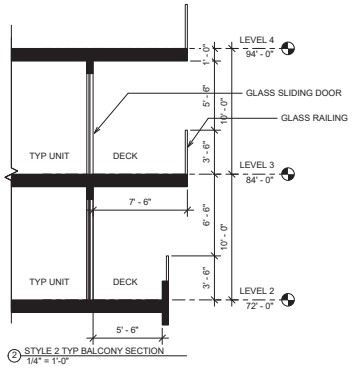
STYLE 2

STYLE DESCRIPTION

- Abstract fenestration patterns.
- Facades defined by floating planes that project beyond the building mass.
- Windows grouped vertically within floating planes.
- Horizontal slatted members define shading and railing devises.



2 STYLE 2 TYP BALCONY SECTION
1/4" = 1'-0"

ARCHITECTURAL IMAGERY

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

1. ENGINEERED COMPOSITE SLATTED SCREEN
2. ENHANCED GLAZING SYSTEM
3. METAL CANOPY
4. BALCONY WITH PANELIZED RAILING
5. STUCCO
6. CLADDING/ METAL CORNICE
7. GFRC/ CLADDING/ METAL PANEL
8. PLASTER

1 BUILDING 1 NORTH ELEVATION
(FRONTING COLEMAN AVE)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	As indicated

0 | 8 | 16

NORTH

SHEET TITLE
ARCHITECTURAL STYLE 2

SHEET NUMBER
A2.02

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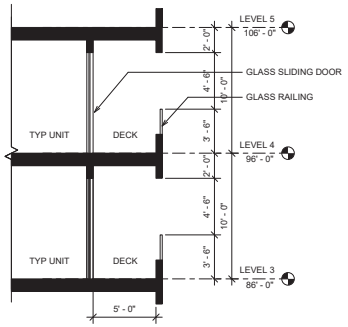
STYLE 3

STYLE DESCRIPTION

- Projecting frames used to group fenestrations and create a vertical rhythm.
- Juliet balconies add texture and shadow between frames.
- Solid, defined horizontal base organizes the facade composition.
- Enhanced glazing and vertical articulation accent and mark important corners.



2 STYLE 3 TYP BALCONY SECTION
1/4" = 1'-0"

ARCHITECTURAL IMAGERY

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

1. ENHANCED GLAZING SYSTEM
2. SMOOTH STUCCO
3. METAL CANOPY
4. STUCCO
5. RAINSCREEN BASE
6. BALCONY WITH PANELIZED RAILING
7. BALCONY WITH METAL RAILING

1 BUILDING 1 SOUTH ELEVATION (FRONTING THE PARK)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

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GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE: As indicated
0 | 8 | 16
NORTH

SHEET TITLE
ARCHITECTURAL STYLE 3

SHEET NUMBER
A2.03

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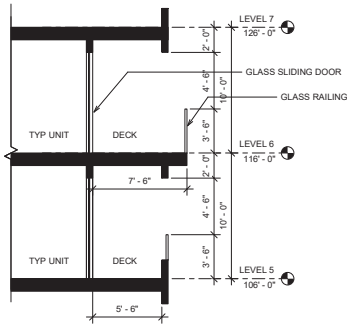
STYLE 4

STYLE DESCRIPTION

- Traditional window patterning and proportioning devices.
- Projected mass extended from building face with recessed fenestrations
- Fenestration patterns organized by a strong grid.
- Shaped architectural cornice accents the top of the building.
- Enhanced horizontal panels provide textural variety.



2 STYLE 4 TYP BALCONY SECTION
1/4" = 1'-0"

ARCHITECTURAL IMAGERY

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.

1. RAINSCREEN METAL PANEL
2. STOREFRONT GLAZING
3. METAL CANOPY
4. JUILET BALCONY WITH PANELIZED RAILING
5. RAINSCREEN
6. METAL CORNICE
7. GFRC/ CLADDING/ METAL
8. HORIZONTAL COMPOSITE SIDING

1 BUILDING 3 NORTH ELEVATION(FRONTING INTERNAL STREET)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	As indicated

0 | 8 | 16

NORTH

SHEET TITLE
ARCHITECTURAL STYLE 4

SHEET NUMBER
A2.04

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STYLE 5

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Contemporary accent glass and metal forms extending from building face

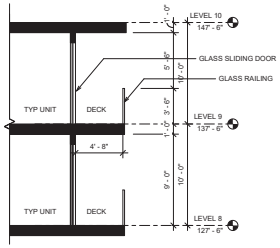
ARCHITECTURAL IMAGERY

1. METAL PANEL
2. BRICK
3. METAL AWNINGS
4. BALCONY WITH PANELIZED RAILING
5. COMTEMPORARY ACCENT GLAZING
6. TRADITIONAL WAREHOUSE GLAZING
7. METAL TRELLIS
8. LOUVERED SCREEN
9. PANELIZED RAILING
10. OPERABLE STOREFRONT

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.



2 STYLE 5 TYP BALCONY SECTION
1/4" = 1'-0"

1 HOTEL SOUTH ELEVATION (FRONTING INTERNAL STREET)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
ELEVATOR PENTHOUSES MATCH THE HEIGHT OF THE ROOF PARAPET

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	As indicated
0 8 16	

NORTH

SHEET TITLE
ARCHITECTURAL STYLE 5 - HOTEL

SHEET NUMBER
A2.05

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STYLE 5

STYLE DESCRIPTION

- Contemporary warehouse expression defined by traditional use of materials, prominent grid organization and interpretive forms.

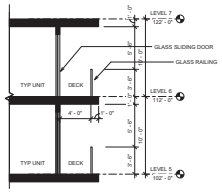
ARCHITECTURAL IMAGERY

1. METAL PANEL
2. ARCHITECTURAL TILE
3. METAL AWNINGS
4. BALCONY WITH PANELIZED RAILING
5. COMTEMPORARY ACCENT GLAZING
6. METAL TRELLIS
7. LOUVER
8. PANELIZED RAILING
9. OPERABLE STOREFRONT

KEY MAP

NOT TO SCALE

NOTE: TYPICAL APPLICATION OF STYLE. LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE.



STYLE 5 TYP BALCONY SECTION
1/4" = 1'-0"

BUILDING 4 TOWER NORTH ELEVATION
(FRONTING THE PARK)
1/8" = 1'-0"

NOTE:
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN
ELEVATOR PENTHOUSES MATCH THE HEIGHT OF THE ROOF PARAPET

HUNTER STORM

GATEWAY CROSSINGS

DATE: 6-26-2018
PROJECT #:
SCALE: As indicated
0 16 32
NORTH

SHEET TITLE
ARCHITECTURAL STYLE 6 - TOWER

SHEET NUMBER
A2.06

MVE + PARTNERS

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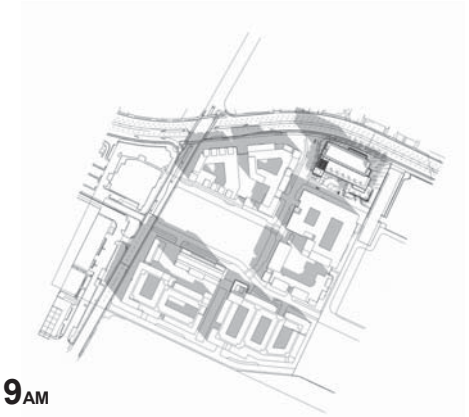
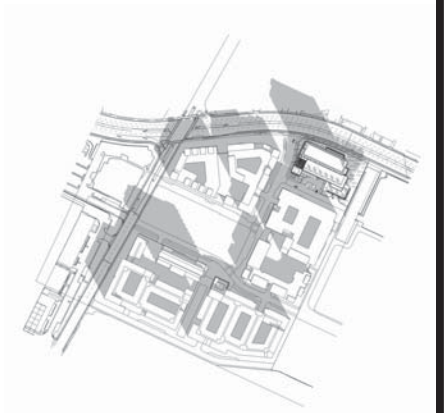
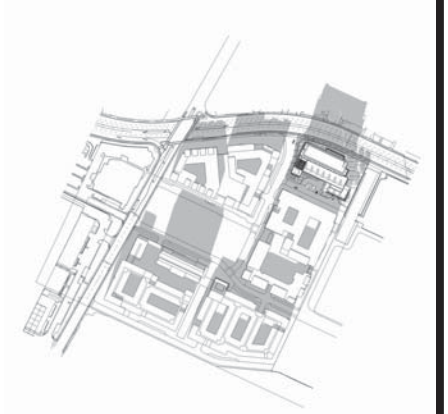
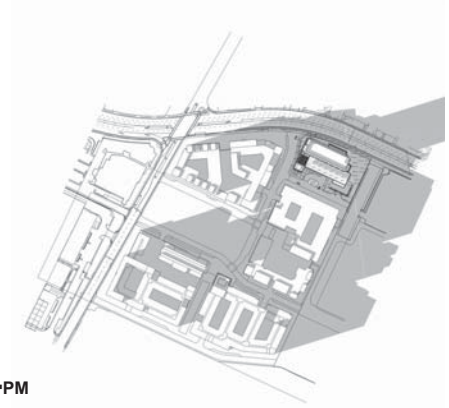
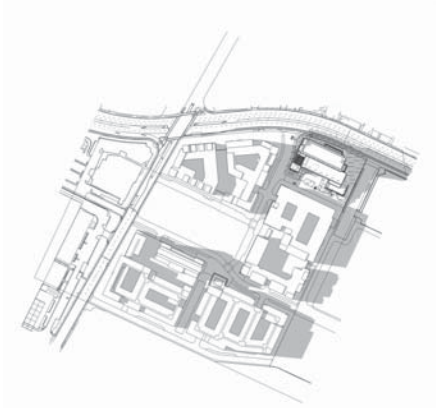
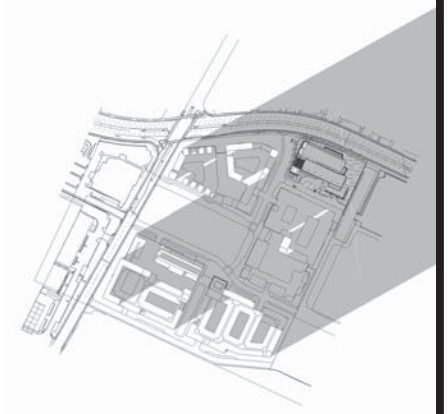
9AM				
12PM				
4PM				

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GATEWAY CROSSINGS

DATE: 6-28-2018
PROJECT #:
SCALE:

NORTH

SHEET TITLE
SHADOW STUDIES

SHEET NUMBER
A2.07

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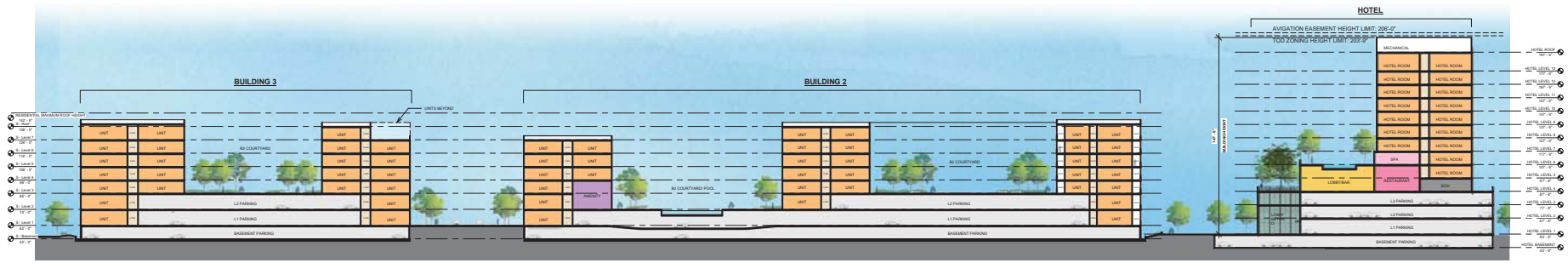
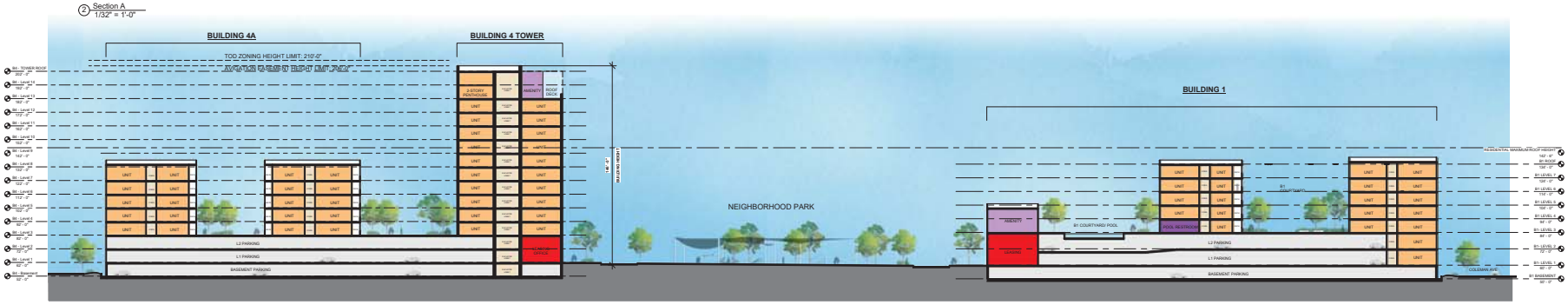


② Section A
1/32" = 1'-0"

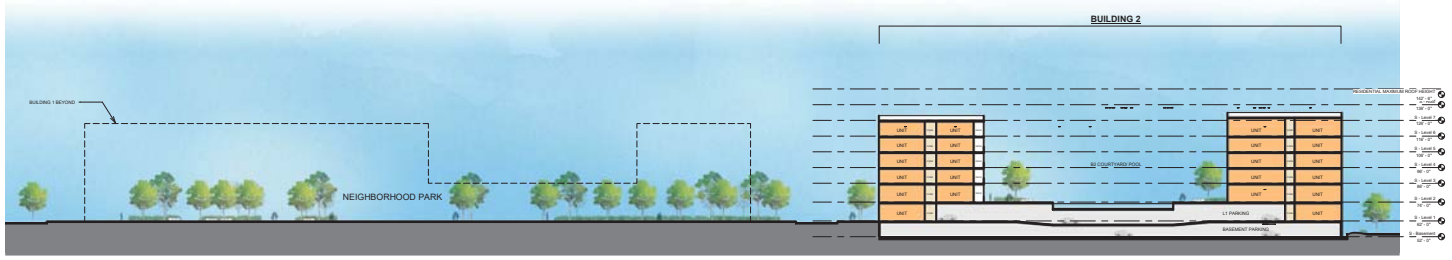


③ Section B
1/32" = 1'-0"

④ Section C
1/32" = 1'-0"

NOTE: PARAPET AND ROOF HEIGHT SUBJECT TO CHANGE PENDING EXTERIOR ELEVATION DEVELOPMENT

BUILDING LEVELS ARE CALCULATED IN RESPECTIVE TO MEAN SEA LEVEL. BUILDING HEIGHTS ARE MEASURED FROM RESPECTIVE GRADE LEVELS ABOVE MEAN SEA LEVEL.



① Section D
1/32" = 1'-0"

NOT TO SCALE

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GATEWAY CROSSINGS

DATE:	6-28-2018
PROJECT #:	
SCALE:	1/32" = 1'-0"

0 50 100

NORTH

SHEET TITLE
CONCEPTUAL SITE SECTIONS

SHEET NUMBER
SP1.00

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BUILDING 1 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,502'	
Open Length Required	601'	40%
Facade Length Provided	610'	40.6%
AREA (sq ft)		
Total Garage Wall Area	14,014 sf	
% Open Area (Screen)	65%	
Open Area Required	2803 sf	20%
Open Area Provided	2,929 sf	21%

BUILDING 2 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,749'	
Open Length Required	700'	40%
Facade Length Provided	705'	40.3%
AREA (sq ft)		
Total Garage Wall Area	16,318 sf	
% Open Area (Screen)	65%	
Open Area Required	3,264 sf	20%
Open Area Provided	3,410 sf	21%

BUILDING 3 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,503'	
Open Length Required	601'	40%
Facade Length Provided	610'	40.6%
AREA (sq ft)		
Total Garage Wall Area	14,023 sf	
% Open Area (Screen)	65%	
Open Area Required	2,805 sf	20%
Open Area Provided	2,930 sf	21%

BUILDING 4 VENTILATION

LENGTH (ft)		
Garage Total Perimeter	1,559'	
Open Length Required	624'	40%
Facade Length Provided	625'	40.1%
AREA (sq ft)		
Total Garage Wall Area	14,545 sf	
% Open Area (Screen)	65%	
Open Area Required	2,909 sf	20%
Open Area Provided	3,040 sf	21%

LOCATION OF GARAGE WALL OPENINGS

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GATEWAY CROSSINGS

DATE: 6-28-2018

PROJECT #:

SCALE: 1" = 50'-0"

0 | 50 | 100

NORTH

SHEET TITLE
VENTILATION PLAN MAP

SHEET NUMBER
SP3.01

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L-1.1 Park Master Plan
L-1.2 Park Credit Legend
L-1.3 Planting Notes and Legends

L-2.1 Schematic Landscape Plan – Site
L-2.2 Schematic Landscape Plan – Site
L-2.3 Schematic Landscape Plan – Site
L-2.4 Schematic Landscape Plan – Site
L-2.5 Schematic Landscape Plan – Site
L-2.6 Schematic Landscape Plan – Site
L-2.7 Schematic Landscape Plan – Podium Building 1
L-2.8 Schematic Landscape Plan – Podium Hotel
L-2.9 Schematic Landscape Plan – Podium Building 2
L-2.10 Schematic Landscape Plan – Podium Building 3
L-2.11 Schematic Landscape Plan – Podium Building 4

L-3.1 Irrigation Zoning Diagram – Site and Podium
L-3.2 Irrigation Legend, Notes and Water-use Calculations
L-3.3 Irrigation Details
L-3.4 Irrigation Details

L-4.1 Site Sections
L-4.2 Site Sections
L-4.3 Landscape Details
L-4.4 Landscape Details
L-4.5 Landscape Details

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GATEWAY CROSSINGS

DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Overall

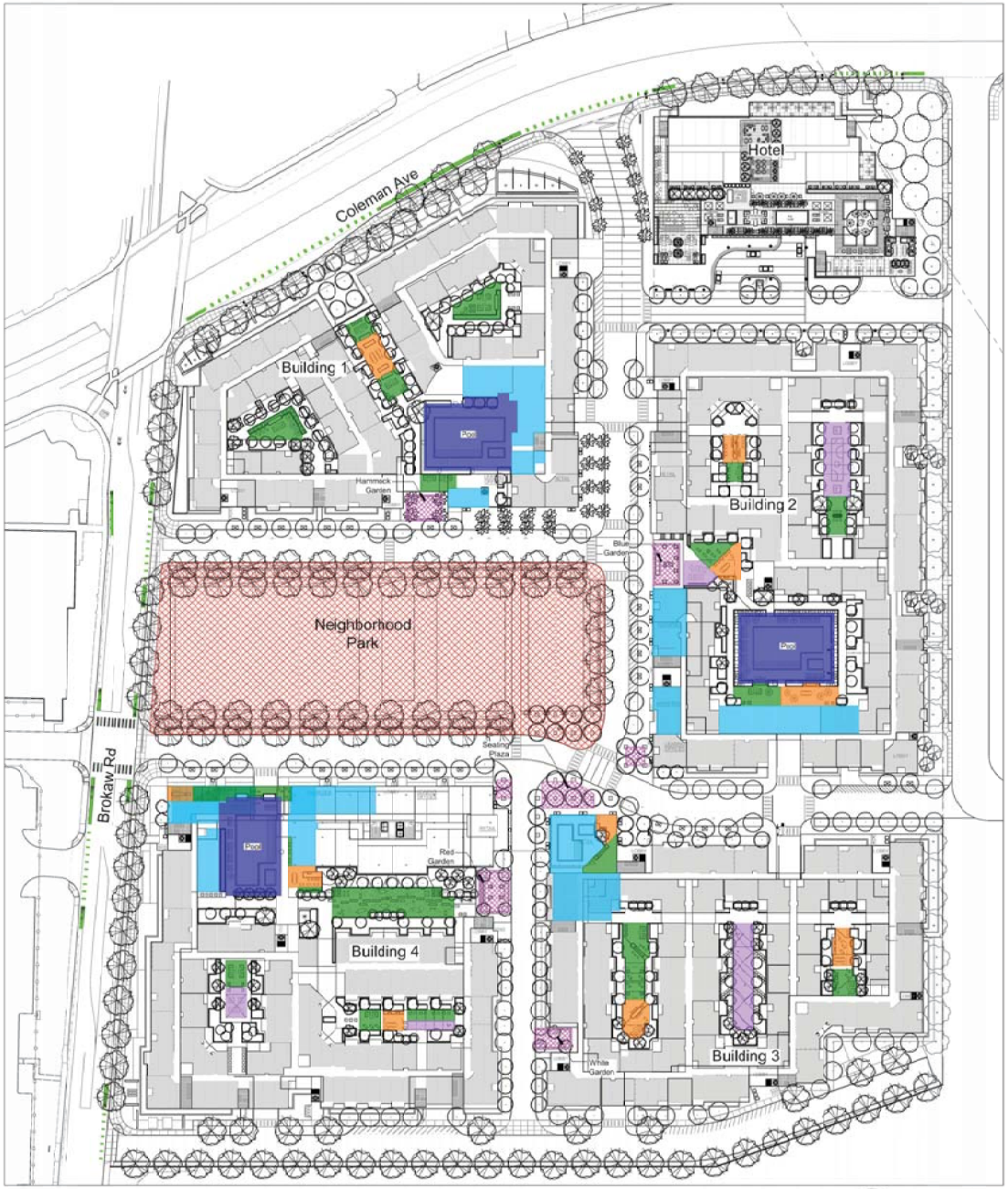
SHEET NUMBER

L-1.0

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5803

LEGEND

COLOR	CATEGORY
	NEIGHBORHOOD PARK
	COMMUNITY THEME GARDENS
	OUTDOOR SEATING, FIREPLACE
	OUTDOOR GRILL, DINING AREA
	POOL AND SPA
	COMMON FITNESS, GAME AREA, SCREENING ROOM
	INDOOR FITNESS, AMENITY AREA



SEE SHEET L-1.2 FOR PARK CREDIT LEGEND.
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

north

Scale: 1" =50'-0"
0 4 8 16

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GATEWAY CROSSINGS

DATE: 08.06.16
PROJECT #:
SCALE: AsNoted

SHEET TITLE
Park Master Plan

SHEET NUMBER
L-1.1

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4622
F 415 433 5003

PARK CREDIT LEGEND

SITE - ON GRADE

COLOR	CATEGORY	PROGRAM USES	ELEMENTS	AREA PROVIDED
	NEIGHBORHOOD PARK	OPEN LAWN AREA (26,800 sf) EXERCISE AREA (8,040 sf) PLAY AREA (9,916 sf) GRILL AND PICNIC AREA (3,876 sf)	OPEN LAWN x FITNESS STATIONS, x BIKE PARKING, SHADE STRUCTURE, SEAT WALL AND BENCH x PLAY EQUIPMENT, x SEATING SPACES, SHADE SAILS, x BIKE PARKING SPACES x BBQ GRILLS, x PICNIC TABLES WITH x SEATING SPACES	93,446 SF
	LANDSCAPED AND FURNISHED QUIET AREAS	RED GARDEN (1,426 sf) WHITE GARDEN (880 sf) BLUE GARDEN (1,215 sf) SEATING PLAZA (2,308 sf) HAMMOCK GARDEN (1,053 sf)	14 SEATING SPACES, 4 PLANTER POTS, LIVING WALL, TREE STRING LIGHTS 12 SEATING SPACES, 2 BIKE PARKING SPACES FOUNTAIN, 16 SEATING SPACES, 4 BIKE PARKING SPACES, 12 PLANTER POTS 68 SEATING SPACES, TREE GROVE, 16 BIKE PARKING SPACES, 48 PLANTER POTS 4 HAMMOCKS IN PALM TREE GROVE	6,882 SF
				100,328 SF TOTAL

BUILDING 1 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (3,760 sf) OUTDOOR SEATING AREA (665 sf)	4 FIREPLACES, 42 SEATING SPACES, 7 PLANTER POTS 12 SEATING SPACES	4,425 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES (1,090 sf)	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES	1,090 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,980 sf) SPA (198 sf) POOL DECK AND LOUNGE AREA (4,469 sf)	4 SWIMMING LANES 9'x16' SPA 50 CHAISE LOUNGE SEATING	7,647 SF
	INDOOR AMENITY AREA	CENTRAL GYM, CLUBHOUSE, POOL FACILITIES, VIEW LOUNGE		6,200 SF
				19,362 SF TOTAL

BUILDING 2 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE AND LOUNGE SEATING	2 FIREPLACES, 26 SEATING SPACES, 3 PLANTER POTS	2,960 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 4 COVERED TABLES, 2 COMMUNAL TABLES, 42 SEATING SPACES, 3 SHADE STRUCTURES, 11 PLANTER POTS	2,965 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,940 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,234 sf)	4 SWIMMING LANES 10'x16' SPA 30 CHAISE LOUNGE SEATING	8,014 SF
	COMMON FITNESS, GAME AREA, SCREENING ROOM	OUTDOOR SCREENING ROOM (805 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (2,275 sf)	MOVIE SCREEN WITH 8 SEATING SPACES 2 FITNESS STATIONS, RUBBERIZED PLAYGROUND, 4 BENCHES	3,084 SF
	INDOOR AMENITY AREA	GAME ROOM, CLUBHOUSE, POOL FACILITIES		8,600 SF
				25,623 SF TOTAL

BUILDING 3 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (2,035 sf) COVERED SEATING AREA (1,480 sf)	2 FIREPLACES, 15 LOUNGE SEATING SPACES, 6 PLANTER POTS 1 SHADE STRUCTURE, 20 SEATING SPACES, 7 PLANTER POTS	3,520 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	5 BBQ GRILLS, 2 COMMUNAL TABLES, 44 SEATING SPACES, 4 PLANTER POTS, 2 SHADE STRUCTURES	2,265 SF
	COMMON FITNESS, GAME AREA, SCREENING ROOM	MINI GOLF ZONE	PUTTING GREEN, 2 BENCH SEATINGS	2,430 SF
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		8,000 SF
				16,215 SF TOTAL

BUILDING 4 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (650 sf) LOUNGE SEATING AREA (2,545 sf) SCULPTURE FOREST WITH SEATING (3,840 sf) OUTDOOR WORK PLACE (135 sf)	1 FIREPLACE, 9 LOUNGE SEATING SPACES 50 LOUNGE SEATING SPACES, 4 PLANTER POTS VERTICAL SCULPTURES, 4 HAMMOCKS, 25 SEATING SPACES, 8 PLANTER POTS 7 LOUNGE SEATING SPACES, CHARGING STATIONS, WIFI	7,180 SF
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 1 SHADE STRUCTURE, 3 HIGH TOPS WITH 6 SEATING SPACES, 2 COMMUNAL TABLES WITH 16 SEATING SPACES, 12 BAR SEATINGS	1,670 SF
	POOL AND SPA	POOL WITH LAP SWIMMING (2,715 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (4,195 sf)	4 SWIMMING LANES 10'x16' SPA 21 CHAISE LOUNGE SEATING	7,075 SF
	GAME AREA, SCREENING ROOM	OUTDOOR MOVIE SCREEN (775 sf) OUTDOOR GAME ROOM (515 sf)	MOVIE SCREEN, 8 SEATING SPACES, 4 PLANTER POTS 1 BOCCE BALL COURT	1,295 SF
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM		1,1100 SF
				28,320 SF TOTAL

TOTAL AREA PROVIDED FOR ON GRADE, BUILDING PODIUM LEVELS AND BUILDING INTERIOR: 189,848 SF (4.35 ACRES)
SEE SHEET L-1.1 FOR PARK MASTER PLAN.

A BUFFER STRIP/SETBACK OF AT LEAST 4 FEET BETWEEN BUILDINGS AND PUBLIC PARKLAND/AMENITIES IS DEDUCTED FROM AREA CALCULATIONS.

SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

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Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 08.08.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Park Credit Legend

SHEET NUMBER
L-1.2

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

PLANTING NOTES

1. All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
2. Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
3. All trees are to be staked as shown in the staking diagrams.
4. All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
5. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
6. The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
7. The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
8. All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com)or equal. Planter pots shall be top-dressed with the smaller "Colored Lumber Fines" mulch, also from Vision Recycling. Mulch shall be dark brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
9. All street trees to be installed in accordance with the standards and specifications of the City of Santa Clara. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process. All street trees shall have root barriers for sidewalk protection which should be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. All street trees shall have root barriers for curb and gutter protection which should be 16' lone or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
10. Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
11. The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonsai", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonsai Double Dwarf fescue. Available through: Pacific Sod 800.542.7633
12. Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
13. Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
14. All interior trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
15. The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
16. The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
17. The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
18. The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
19. Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
20. Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
21. The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
22. Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
23. Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
24. All trees to be planted 10' clear from the tree trunk to the sanitary sewer and storm drain mains and laterals and minimum 5' clear of any existing or proposed Electric Department facilities.

PLANT PALETTE

TREES * 24" box standard unless notes otherwise.

KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	WUCOLS
ACE PAL		Acer palmatum	Japanese Maple		M
ACE RUB		Acer rubrum 'Red Sunset'	Red Maple 'Red Sunset'		M
ARB MAR		Arbutus 'Marina'	Marina Strawberry Tree		L
BAM TEX		Bambusa 'Textilis'	Timber Bamboo		L
CAL DEC		Calocedrus decurrens	Incense-Cedar		M
CAR FAS		Carpinus betulus 'Fastigata'	Pyramidal European Hornbeam		M
CER CAN		Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud		M
CHA HUM		Chamaerops humilis	Mediterranean Fan Palm		L
CIT LEM		Citrus x meyeri	Meyer lemon		M
CUP SEM		Cupressus sempervirens 'Stricta'	Columnar Italian Cypress		L
FIC CAR		Ficus carica 'Black Jack'	Edible Fig		M
FRA AME		Fraxinus americana 'Autumn Purple'	Autumn Purple Ash		M
GIN BIL		Ginkgo biloba 'Fairmount'	Maidenhair Tree		M
LAG NAT		Lagerstroemia 'Natchez'	Crepe Myrtle		L
LAU SAR		Laurus 'Saratoga'	Sweet Bay		L
LOP CON		Lophostemon confertus	Brisbane Box		L
MAG GRA		Magnolia grandiflora 'Kay Parris'	Kay Parris Magnolia		M
OLE EUR		Olea europaea 'Swan Hill'	Fruitless Olive		VL
PIS CHI		Pistacia chinensis 'Keith Davey'	Chinese Pistache		L
PLA COL		Platanus acerfolia 'Columbia'	London Plane Tree		M
POD GRA		Podocarpus gracilior	Fern Pine		M
PRU CAR		Prunus caroliniana 'Bright and Tight'	Carolina Cherry Laurel		L
QUE FRA		Quercus frainetto 'Schmidt'	Hungarian Oak		L
QUE LOB		Quercus lobata	Valley Oak		L
QUE SUB		Quercus suber	Cork Oak		L
QUE VIR		Quercus virginiana	Live Oak		M
WAS FIL		Washingtonia filifera	California Fan Palm		L

SHRUBS

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
ABG	5 gal	Anigozanthos 'Bush Gold'	Yellow Kangaroo Paw	24" o.c.	L
ACC	5 gal	Acacia cognata 'Cousin itt'	Little River Wattle	30" o.c.	L
ADM	5 gal	Asparagus d. 'Meyers'	Myers Asparagus Fern	30" o.c.	M
AGB	5 gal	Agave 'Blue Flame'	Blue Flame agave	30" o.c.	L
AMO	5 gal	Acanthus mollis	Bears Breech	36" o.c.	M
ARC	5 gal	Arctostaphylos densiflora 'Howard McMinn'	Manzanita	48" o.c.	L
BSG	5 gal	Buxus s. 'Green Beauty'	Boxwood	24" o.c.	M
CEC	5 gal	Ceanothus 'Concha'	California Lilac	48" o.c.	VL
CHO	5 gal	Chondropetalum tectorum	Cape Rush	30" o.c.	L
CLB	5 gal	Clivia m. 'Belgian Hybrid Yellow'	Kaffir Lily	18" o.c.	M
CPC	5 gal	Coleonema p. 'Compacta'	Compact Breath of Heaven	36" o.c.	M
CPS	5 gal	Coleonema p. 'Sunset Gold'	Gold Breath of Heaven	36" o.c.	M
CRE	5 gal	Cycas revoluta	Sago Cycad	36" o.c.	M
DBI	5 gal	Dietes Bicolor (s)	Fortnight Lily	36" o.c.	L
DLR	5 gal	Dianella 'Little Rev'	Dwarf Flax Lily	18" o.c.	M
DTV	5 gal	Dianella t. 'Variegata'	Varegated Flax Lily	24" o.c.	M
ECW	5 gal	Euphorbia c. 'Wulfenii'	Euphorbia	30" o.c.	L
ELA	5 gal	Elaeagnus pungens 'Variegata'	Yellow-Edge Elaeagnus	48" o.c.	L
FJM	5 gal	Fatsia j. 'Moseri'	Compact Japanese Aralia	30" o.c.	M
FSE	5 gal	Feijoa sellowiana	Pineapple Guava	42" o.c.	L
GRE	5 gal	Grevillea 'Ruby Clusters'	Grevillea	48" o.c.	L
HME	5 gal	Hydrangea m. 'Endless Summer'	Hydrangea	36" o.c.	M
HMO	5 gal	Hypericum moseranum	Gold Flower	42" o.c.	M
HPA	5 gal	Hesperaloe parviflora	Red Yucca	36" o.c.	L
JSC	15 gal	Juniperus scopulorum 'Cologreen'	Juniper 'Cologreen'	24" o.c.	L
LBA	5 gal	Lavatera t. 'Barnsley'	Tree Mallow	48" o.c.	L
LCB	5 gal	Loropetalum c .'Blush'	Red Fringe Flower	36" o.c.	L
LEU	5 gal	Leucospermum cordifolium 'Flame Spike'	Nodding Pincushion	48" o.c.	L
LEY	5 gal	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	36" o.c.	L
LLE	5 gal	Leonotis leonuris	Lion's Tail	36" o.c.	L
LLT	5 gal	Lomandra 'Lime Tuff'	Dwarf Mat Rush	24" o.c.	L
LPI	5 gal	Leucadendron 'Pisa'	Leucadendron	42" o.c.	L
MCI	5 gal	Muchlebergia capilaris 'Irvine'	Pink Muhly Grass	36" o.c.	L
NEP	5 gal	Nephrolepis cordifolia	Sword Fern	24" o.c.	M
OLO	5 gal	Olea e. 'Little Ollie'	Dwarf Olive	36" o.c.	VL
OSM	5 gal	Osmanthus fragrans	Sweet Olive	60" o.c.	M
PCA	5 gal	Prunus caroliana	Carolina Cherry Laurel	48" o.c.	L
PDA	5 gal	Polygala x dalmaisiana	Sweet Pea Shrub	36" o.c.	L
PDC	5 gal	Phormium 'Dusky Chief'	New Zealand Flax	36" o.c.	L
PFI	5 gal	Phormium 'Firebird'	New Zealand Flax	36" o.c.	L
PFR	5 gal	Phlomis fruticosa	Sweet Pea Shrub	36" o.c.	L
PIP	5 gal	Photinia x f. 'Indian Princess'	Chinese Photinia	36" o.c.	M
PIT	5 gal	Pittosporum tobira 'Cream de Mint'	'Cream de Mint' Pittosporum	24" o.c.	L
PLA	5 gal	Prunus laurocerasus	English Laurel	48" o.c.	M
POM	15 gal	Podocarpus e. 'Monmal'	Icee Blue Yellow Wood	42" o.c.	M
PRS	5 gal	Phormium 'Rainbow Sunrise'	New Zealand Flax	30" o.c.	L
PRW	5 gal	Phormium 'Rainbow Warrior'	New Zealand Flax	30" o.c.	L
PYW	5 gal	Phormium 'Yellow Wave'	New Zealand Flax	36" o.c.	L
RHA	5 gal	Rhaphiolepis indica 'Clara'	Indian Hawthorn	36" O.C.	L
RHM	5 gal	Rhamnus californica 'Eve Case'	Coffeeberry	48" O.C.	L
RWS	5 gal	Rosa 'White Simplicity'	White Simplicity Rose	42" o.c.	M
RTB	5 gal	Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	36" o.c.	L
SLB	5 gal	Salvia leucantha 'Santa Barbara'	Mexican Sage	36" o.c.	L
SRE	5 gal	Strelitzia reginae	Bird of Paradise	36" o.c.	M

GROUNDCOVER

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AQ	1 gal	Agapanthus 'Queen Anne'	Lily of the Nile	18" o.c.	M
AR	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita	30" o.c.	VL
BC	1 gal	Bergenia crassifolia	Winter Blooming Bergenia	18" o.c.	M
CE	5 gal	Ceanothus g. h. 'Yankee Point'	Yankee Point Ceanothus	30" o.c.	L
CH	5 gal	Cuphea hyssopifolia	Mexican Heather	24" o.c.	M
CK	1 gal	Coprosma x kirkii	Creeping Coprosma	30" o.c.	L
CM	1 gal	Convolvulus mauritanicus	Ground Morning Glory	30" o.c.	L
CP	1 gal	Campanula portenschlagiana	Serbian Bellflower	18" o.c.	M
CS	5 gal	Coleonema p. 'Sunset Gold'	Dwarf Breath of Heaven	30" o.c.	M
EF	1 gal	Euonymus fortunei	Wintercreeper	24" o.c.	L
LA	5 gal	Lavandula intermedia	Lavender	24" o.c.	L
LI	1 gal	Liriope m. 'Big Blue'	Lily Turf	18" o.c.	M
MA	5 gal	Mahonia repens	Creeping Mahonia	30" o.c.	L
NH	5 gal	Nandina 'Harbour Dwarf'	Dwarf Heavenly Bamboo	30" o.c.	L
RP	1 gal	Rubus pentalobus 'Emerald Carpet'	No Common Name	36" o.c.	M
RS	5 gal	Rosa 'Flower Carpet Amber'	Amber Carpet Rose	36" o.c.	M
ST	5 gal	Stipa arundinacea	New Zealand Wind Grass	24" o.c.	M

VINES

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
B	5 gal	Bougainvillea spectabilis	Bougainvillea		L
F	1 gal	Ficus pumila	Creeping Fig		M
P	1 gal	Parthenocissus tricuspidata	Boston Ivy		M

LAWNS

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
MED	SOD	Medallion Plus	Medallion Plus		H
NMF	SOD	No Mow Fescue	Delta sod fescue		M

PLANT SPACING DIAGRAM

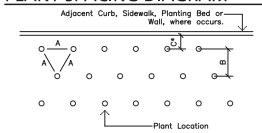

Diagram for use when plants are spaced equidistant from each other as in all ground cover plantings and massed shrub plantings

PLANT CALLOUT SYMBOL

Quantity (or See Spacing Comments)
Plant Key (See Plant List)

PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

TREE MITIGATION CHART

Total Existing Trees on Site	232
Total Existing Trees Previously Removed	227
Additional Existing Trees to be Removed	5
Minimum Replacement Trees Required at 2:1 Ratio	464
Total Proposed Trees	682

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06.28.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Planting Notes and Legends

SHEET NUMBER
L-1.3

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

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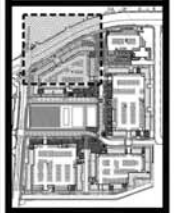
GATEWAY CROSSINGS



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan-Site

SHEET NUMBER

L-2.1

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
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North

Scale: 1" = 20'-0"

0 10 20 40

HUNTER STORM

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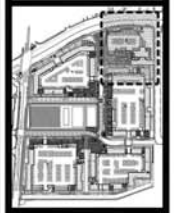
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Site

SHEET NUMBER

L-2.2

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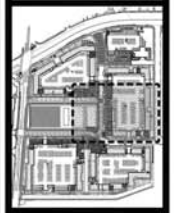
GATEWAY CROSSINGS



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Site

SHEET NUMBER

L-2.3

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
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San Francisco, CA 94111
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North

Scale: 1" = 20'-0"

0 10 20 40

HUNTER STORM

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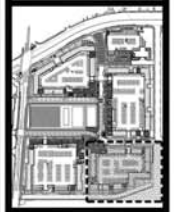
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Site

SHEET NUMBER

L-2.4

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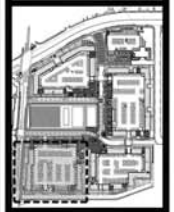
GATEWAY CROSSINGS



DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Site

SHEET NUMBER

L-2.5

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Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan - Site

SHEET NUMBER

L-2.6

THE GUZZARDO PARTNERSHIP INC.
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Building 1 - with Typical Fireplace Seating Area
Planting Scheme

North

Scale: 1/16" = 1'-0"
0 8 16 32

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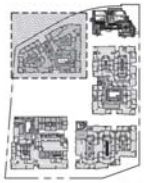
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS



DATE: 06.28.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Schematic Landscape Plan- Podium Building 1

SHEET NUMBER
L-2.7

THE GUZZARDO PARTNERSHIP INC.
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181 Greenwich Street
San Francisco, CA 94111
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Hotel - Levels 4, 6 and Roof Deck

North

Scale: 1/16" = 1'-0"
0 8 16 32

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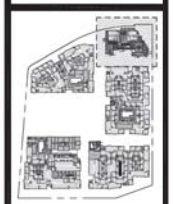
GATEWAY CROSSINGS



DATE: 06.28.18
PROJECT #:
SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan- Podium Hotel

SHEET NUMBER

L-2.8

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
San Francisco, CA 94111
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Building 2 - with Typical Sunny Area Planting Scheme

North

Scale: 1/16" = 1'-0"
0 8 16 32

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06.28.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan- Podium Building 2

SHEET NUMBER

L-2.9

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
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Building 3 - with Typical Shady Area Planting Scheme

North

Scale: 1/16" = 1'-0"
0 8 16 32

HUNTER STORM

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Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06.28.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Schematic Landscape Plan- Podium Building 3

SHEET NUMBER
L-2.10

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
San Francisco, CA 94111
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Building 4 - with Typical Sunny Seating Area
Planting Scheme

North

Scale: 1/16" = 1'-0"
0 8 16 32

HUNTER STORM

10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 06.28.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan- Podium Building 4

SHEET NUMBER

L-2.11

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects · Land Planners
181 Greenwich Street
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T 415 433 4672
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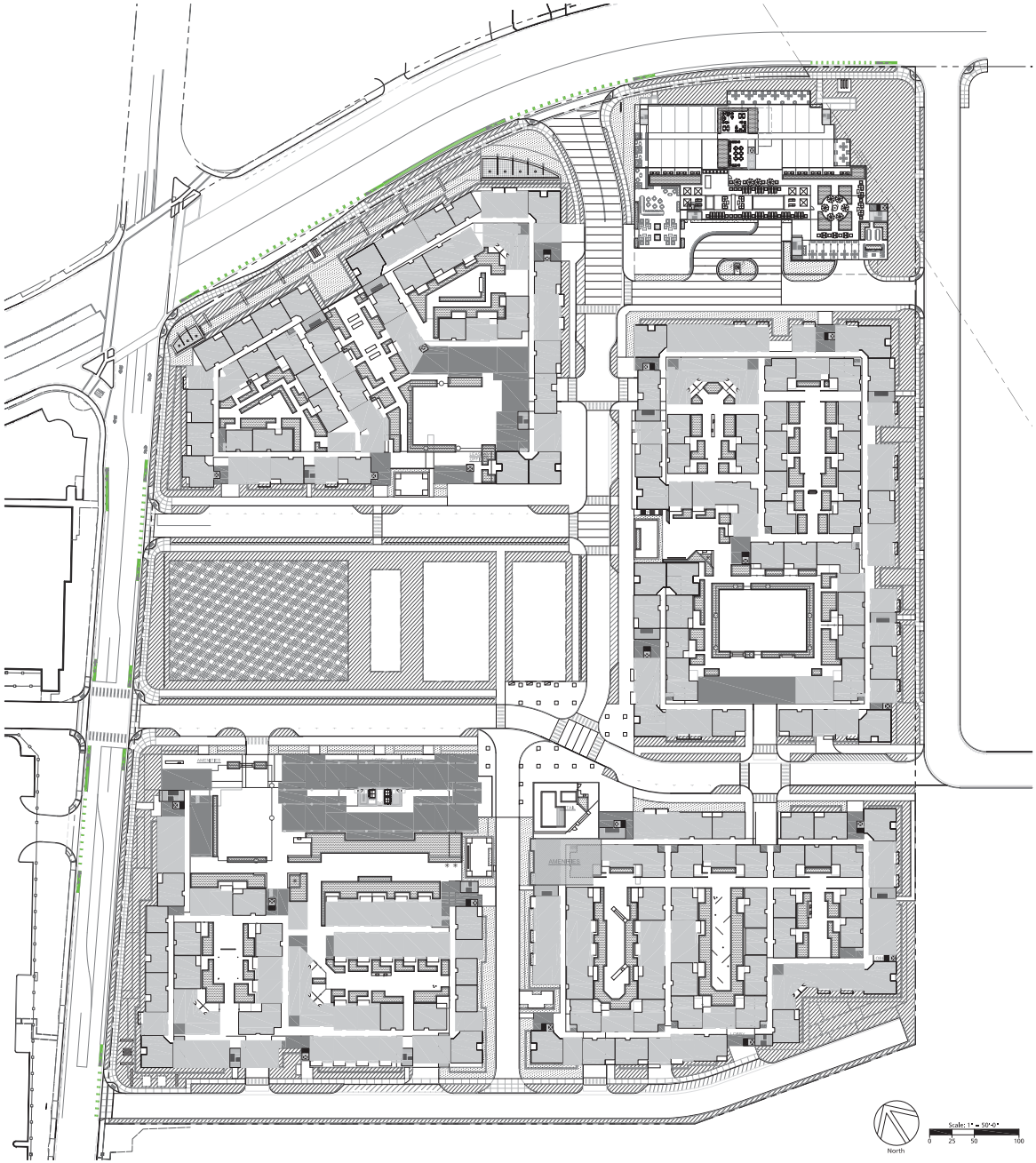
WATER USE LEGEND

Key	Wucols Category	Area
	Low Water Use	124,395 sf
	Medium Water Use	68,935 sf
	High Water Use	26,762 sf
	Water Feature	1,809 sf



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GATEWAY CROSSINGS

DATE: 08.08.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Irrigation Zoning Diagram

SHEET NUMBER

L-3.1

THE GUZZARDO PARTNERSHIP INC.
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PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 45.3

Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
Low Water-Use Plants	0.25	Drip	0.81	0.31	123,122	38,168	1,071,981
Moderate Water- Use Plants	0.45	Drip	0.81	0.62	68,935	42,740	1,200,387
Water Features	0.80	n/a	1.00	0.80	1,809	1,447	40,646
					(A)	(B)	
				Totals	193,866	82,355	2,313,015
Special Landscape Areas							
Park Turf	[redacted]			1	26,762	26,762	751,638
				1			
					(C)	(D)	
				Totals	26,762	26,762	751,638
						ETWU Total	3,064,65[illegible]
			Maximum Allowed Water Allowance (MAWA)*				3,201,852

*Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

*Irrigation Method
overhead spray
or drip

*Irrigation Efficiency
0.75 for spray head
0.81 for drip

*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre- inches per acre per year to gallons per square foot per

*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas

Total ETAF x Area (B)	82,355
Total Area (A)	193,866
Average ETAF	**0.43**

All Landscape Areas

Total ETAF x Area (B+D)	109,117
Total Area (A+C)	220,628
Sitewide ETAF (B+D) ÷ (A+C)	**0.50**

SANTA CLARA COUNTY LANDSCAPE WATER EFFICIENCY CHECKLIST

LANDSCAPE WATER-EFFICIENCY CHECKLIST

Applicant Name: THE GUZZARDO PARTNERSHIP Phone: (415) 433-4672 Email: glaymon@tgp-inc.com

Project Site Address: 1205 Coleman Avenue, Santa Clara, CA

Total Landscape Area (square feet):	220,628
Turf Area:	0 (Special Landscape Area)
Non-Turf Plant Area:	192,057
Special Landscape Area:	26,762
Water Feature Wet Surface Area:	1,809

Landscape area: The total horizontal surface area dedicated to plant installation (including adjacent ground that provides for the plants' establishment), plus the wet surface area of any water features. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, or other pervious or non-pervious hardscapes outside of planted areas (planted areas containing gravel or inorganic mulch are included). Landscape area does not include undisturbed areas with established non-irrigated vegetation, nor does it include landscaping that is exempt from this division by subsection (B33-2(b).

See reverse side for other definitions.

NOTE: A landscape and irrigation design plan (and supporting documents) shall be required if: (a) landscape area exceeds 5,000 sq. ft.; (b) a majority (>50%) of plants are medium or high water use; or, (c) turf area exceeds 25% of total landscape area or 1,250 sq. ft.

All areas to be disturbed during construction shall be presumed to be landscape area, except where structures or hardscape will be installed.

Landscape Parameter	Design Measures	Project Compliance
Plant Water Use	At least 50% of the plants, and at least 50% of the trees, shall either be native or low water use. (From §B33-4)	■ Yes ☐ No [Plans and water budget required]
Turf	Total turf area shall not exceed 25% of the landscape area, or 1,250 square feet, whichever is lesser in area. (From §B33-4)	■ Yes ☐ No [Plans and water budget required]
	All portions of turf areas shall be wider than eight (8) feet. Turf (if utilized) is limited to slopes not exceeding 25%.	■ Yes
Hydrozones	Plants with similar water needs shall be grouped within hydrozones. Irrigation for each hydrozone shall be controlled by a separate valve.	■ Yes ☐ No [Provide explanation on back]
Irrigation System	Systems shall be designed and maintained to minimize water waste (e.g., runoff, overspray, etc). Low-volume irrigation shall be utilized in non-turf areas. Overhead (spray) irrigation shall only occur between the hours of 8:00 pm and 10:00 am.	■ Yes ☐ No [Provide explanation on back]
Soil	A minimum of eight (8) inches of non-compacted topsoil should be available in planted areas.	■ Yes ☐ No [Provide explanation on back]
	Soil amendments, such as compost or fertilizer, should be added as needed according to the soil conditions at the project site and based on what is appropriate for the selected plants.	■ Yes ☐ No [Provide explanation on back]
Mulch	A minimum two (2)-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seed).	■ Yes ☐ No [Provide explanation on back]

I am aware of available informational resources regarding native and low water use plants, irrigation efficiency, and other aspects of water-efficient landscaping. I certify that the information provided on this checklist is correct, and I understand that any changes to the project will necessitate a new checklist.

Signature of property owner or authorized representative | Date

This checklist implements the requirements of Division B33: Water Conservation in Landscaping, of the Santa Clara County Ordinance Code. The responses provided will be evaluated to determine whether the proposed landscaping is consistent with the ordinance's water-efficiency goals, and what additional plans, documents and materials may be required.

Applicant Comments
Use additional paper if necessary

County Evaluation
☐ Approved
☐ Not Approved

Staff Comments

Signature | Date

Select Definitions

Hydrozone: A portion of the landscaped area having plants with similar water needs. A hydrozone may be irrigated or non-irrigated.

Low-volume irrigation: The application of irrigation water through a system of tubing or lateral lines and low-volume emitters such as drip and bubblers. Certain rotary emitters designed for highly efficient water distribution, and situated to irrigate low water use plants, may also be included in this definition at the discretion of the Planning Office.

Low water use plant: A plant species whose demonstrated water needs are compatible with local climate and soil conditions such that regular supplemental irrigation is not required to sustain the plant after it has become established. Any species classified as "very low water use" and "low water use" by WUCOLS, having a regionally adjusted plant factor of 0.0 through 0.3, shall be categorically deemed a low water use plant. Other credible information resources that provide locally relevant information on plant species water needs (e.g. SCVWD Water-Wise Plant List, EBMUD, Sunset Publishing) may also be utilized to establish whether a particular species qualifies as a low water use plant.

Native plant: A plant indigenous to a specific area of consideration. For the purpose of this division, the term shall refer to plants indigenous to the coastal ranges of Central and Northern California, and more specifically to such plants that are suited to the ecology of the present or historic natural community of the project's vicinity.

Special landscape area: An area of the landscape dedicated solely to edible plants, areas irrigated with recycled water, and water features using recycled water. Also includes land uses characterized by active play or high-volume foot traffic such as parks, cemeteries, sports fields and golf courses; where turf functions as a walking/ playing surface.

Turf: A ground cover surface consisting of non-native grass species that is customarily mowed. Annual bluegrass, Kentucky bluegrass, perennial ryegrass, red fescue, and tall fescue are examples of cool-season turf grasses. Bermuda grass, kikuyu grass, seashore paspalum, St. Augustine grass, zoysia grass, and buffalo grass are warm-season turf grasses.

Water feature: A landscape design element where open water performs an aesthetic or recreational function. Water features include ponds, fountains, waterfalls and artificial streams. Also includes spas and swimming pools that are ancillary to single-family, two-family and multi-family residential uses.

Wet surface area: The surface area of that portion of a water feature that functions to contain water, such as the water surface of a swimming pool, spa, or garden pond. For a fountain or other feature with flowing water, wet surface area shall be measured as a two dimensional plane bounded by the perimeter of the area where water has been designed to flow.

Santa Clara County Planning Office | Form Revised 01/11/2011

IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.

2. THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.

3. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.

4. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.

5. AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.

6. 120 VOLT A.C. (2.5 AMP DEMAND) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.

7. CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. NO MORE THAN 6" OF THE GROUND ROD TO BE ABOVE GRADE. CONNECT #8 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. THIS WIRE SHOULD BE AS SHORT AS POSSIBLE, AVOIDING ANY KINKS OR BENDING.

8. IRRIGATION CONTROLLER 'A' TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE. IRRIGATION CONTROLLER 'B' WILL BE GROUNDED THROUGH THE BUILDING ELECTRICAL PER CODE.

9. CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMING THAT WILL NOT EXCEED THE MAXIMUM GALLONS PER MINUTE FLOW RATE STATED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAINLINE PIPING.

10. IRRIGATION CONTROL WIRES SHALL BE HUNTER JACKETED DECODER CABLES WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. SPLICE SHALL BE MADE WITH 3M-DBR/Y-6 SEAL PACKS.

11. SPLICING OF DECODER CABLES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DBR/Y-6 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING WIRES IS NOT REQUIRED INSIDE SLEEVES.

12. FLOW SENSOR CABLE SHALL BE A SHIELDED, TWISTED PAIR CABLE, SIZE #16. NO SPLICES ALLOWED.

13. PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE CARSON INDUSTRIES.

14. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.

15. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE.

16. THE REMOTE CONTROL VALVE SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE AS FOLLOWS:
    1. MP ROTATOR SPRAY HEADS: 45 PSI
    2. SUB-SURFACE DRIP EMITTERS: 30 PSI
    3. TREE BUBBLERS: 35 PSI

17. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST THE IRRIGATION SYSTEM FOR OPTIMUM PERFORMANCE AND FLOW. THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

18. LOCATE BUBBLERS ON UP-HILL SIDE OF TREE.

19. INSTALL A VALCON 5000 SERIES SPRING LOADED CHECK VALVE BELOW THOSE BUBBLERS AND EMITTERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.

20. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.

21. IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

22. PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
    A. NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
    B. PERFORM TESTING AT HIS OWN EXPENSE.
    C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTING SHALL BE COVERED.
    D. APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.
        1. TEST LIVE (CONSTANT PRESSURE) AND QUICK COUPLER LINE HYDROSTATICALLY AT 125 PSI MINIMUM. LINES WILL BE APPROVED IF TEST PRESSURE IS MAINTAINED FOR SIX (6) HOURS. THE LINE WILL BE APPROVED OR NOT APPROVED AS SUCH RESULTS MAY INDICATE. THE CONTRACTOR SHALL MAKE TESTS AND REPAIRS AS NECESSARY UNTIL TEST CONDITIONS ARE MET.
        2. TEST RCV CONTROLLED LATERAL LINES WITH WATER AT LINE PRESSURE AND VISUALLY INSPECT FOR LEAKS. RETEST AFTER CORRECTING DEFECTS.

23. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

24. IRRIGATION DEMAND: 39 GPM AT 70 PSI STATIC PRESSURE AT IRRIGATION POINT OF CONNECTION. FIELD VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. IF ACTUAL WATER PRESSURE DIFFERS FROM THE STATED PRESSURE CONTACT ARCHITECT FOR DIRECTION AND POSSIBLE REVISION.

25. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL T+2, CHRISTY'S ULTRA SEAL, OR APPROVED EQUAL.

26. SUB-SURFACE DRIP IRRIGATION AREAS MUST BE HAND WATERED TO INCREASE SOIL MOISTURE PRIOR TO PLANTING. AFTER PLANTING, THE SUBSURFACE DRIP SYSTEMS MUST BE OPERATED ON A FREQUENT BASIS TO MAINTAIN SOIL MOISTURE CONTENT. DO NOT ALLOW SOIL TO DRY OUT. MAINTENANCE ROUTINE SHALL INCLUDE PROBING SOIL TO MONITOR MOISTURE CONTENT. USE CAUTION WHEN PROBING SOIL. DO NOT DAMAGE SUBSURFACE DRIP TUBING.

27. RECORD DRAWINGS:
    A. THE CONTRACTOR SHALL MAINTAIN IN GOOD ORDER IN THE FIELD OFFICE ONE COMPLETE SET OF BLACK LINE PRINTS OF ALL SPRINKLER DRAWINGS WHICH FORM A PART OF THE CONTRACT, SHOWING ALL WATER LINES, SPRINKLERS, VALVES, CONTROLLERS AND STUB-OUTS. IN THE EVENT ANY WORK IS NOT INSTALLED AS INDICATED ON THE DRAWINGS, SUCH WORK SHALL BE CORRECTED AND DIMENSIONED ACCURATELY FROM THE BUILDING WALLS.
    B. ALL UNDERGROUND STUB-OUTS FOR FUTURE CONNECTIONS AND VALVES SHALL BE LOCATED AND DIMENSIONED ACCURATELY FROM BUILDING WALLS ON ALL RECORD DRAWINGS.
    C. UPON COMPLETION OF THE WORK, OBTAIN REPRODUCIBLE PRINTS FROM ARCHITECT AND NEATLY CORRECT THE PRINTS TO SHOW THE AS-BUILT CONDITIONS.

IRRIGATION COORDINATION NOTES

1. ALL COPPER PIPING WITHIN STRUCTURE TO BE PROVIDED, ROUTED, AND INSTALLED BY PLUMBING CONTRACTOR. EXIT OF PIPE TO BE 18" BELOW FINISH GRADE.

2. IRRIGATION SLEEVING AND/OR CONDUIT IN STRUCTURE TO BE PROVIDED AND INSTALLED UNDER STRUCTURAL WORK.

3. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT, PULL BOXES AND DECODER CABLE IN STRUCTURE. THE DRAWINGS INDICATED REQUIRED TWO-WIRE PATH FROM A GIVEN PLANTER LOCATION, THROUGH STRUCTURE, TO REMOTE CONTROL VALVE LOCATIONS. 14 GAUGE DECODER CABLE SHALL BE USED FOR CONTROL WIRING. FINAL CONNECTION OF WIRING TO REMOTE CONTROL VALVES SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.

5. CONDUIT FOR DECODER CABLE SHALL BE INSTALLED UNDER ELECTRICAL CONTRACT WORK COORDINATE WITH ARCHITECT FOR CONDUIT ROUTING.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION
	PROS-06-PRS40-CV-MP300090 ADJUSTABLE	HUNTER POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (LAWN)
	PROS-06-PRS40-CV-MP300090 ADJUSTABLE	HUNTER POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (LAWN)
	PROS-06-PRS40-CV-MP200090 ADJUSTABLE	HUNTER POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (LAWN)
	PROS-06-PRS40-CV-MP200090 ADJUSTABLE	HUNTER POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (LAWN)
	1401	RAIN BIRD BUBBLER (TREE)
	RWS-B-C-1401	RAIN BIRD BUBBLER WITH DEEP WATERING BUBBLER ASSEMBLY AND CHECK VALVE (TREE)
	2"T-S	AMIAD FILTER WITH 155 MESH SCREEN AT POINT OF CONNECTION
	1" COMPACT (1 GPM TO 19 GPM)	AMIAD FILTER WITH 155 MESH SCREEN AT REMOTE CONTROL VALVE
	1½" SUPER (20 GPM TO 50 GPM)	AMIAD FILTER WITH 155 MESH SCREEN AT REMOTE CONTROL VALVE
M	3200-2"	SUPERIOR NORMALLY CLOSED MASTER CONTROL VALVE
F	FSI-T15-001-1½"/P7162D-A (PART OF CONTROLLER EQUIPMENT PACKAGE)	CREATIVE SENSOR TECHNOLOGY FLOW SENSOR WITH PAIGE SHIELDED COMMUNICATION CABLE (SEE CONTROLLER DESCRIPTION)
	ICV-FS-AS-ADJ SERIES	HUNTER FILTER SENTRY PRESSURE ADJUSTABLE REMOTE CONTROL VALVE
	T-FCH-H-FIPT	TORO FLUSH VALVE (PIPE THREAD)
	OPERIND - (SEE SUB-SURFACE DRIP LAYOUT DETAILS)	RAIN BIRD DRIP SYSTEM OPERATION INDICATOR
	HQ-33DRC	HUNTER QUICK COUPLING VALVE
	T-113	NIBCO GATE VALVE (LINE SIZE)
	975XL2-2"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY (LEAD FREE)
G	182199L	GROUNDING PLATE LOCATION FOR GROUNDING IRRIGATION CONTROL TWO-WIRE PATH. SEE DETAILS AND MANUFACTURER'S (PAIGE ELECTRICAL COMPANY) INSTRUCTIONS
F	270DCFD	PAIGE ELECTRIC DECODER CABLE FUSE DEVICE
A B	ICA6HU5-99/SP/IFS/-150C/SOLSE/EMP-16/FAN-16/P7354D	IMPERIAL TECHNICAL SERVICES CONTROLLER ASSEMBLY WITH HUNTER ACC TWO-WIRE DECODER CONTROLLER. SURGE PROTECTION, CST FLOW SENSOR ASSEMBLY, TWO-WIRE DECODERS, HUNTER JACKETED DECODER CABLE, ALL EARTH GROUNDING EQUIPMENT, STAINLESS STEEL TOP OPENING ENCLOSURE, ENCLOSURE MOUNTING PAD, ENCLOSURE FAN, AND SOLAR SYNC WEATHER SENSOR. CONTACT ANDREW BOLT FOR ORDER, PURCHASE, AND WARRANTY. (209-404-1746) ALSO CONTACT CHRIS McNAIRY, HUNTER INDUSTRIES, (707-695-3890) WITH QUESTIONS REGARDING TWO-WIRE CONTROLLER COMPONENTS, INSTALLATION, WIRING, WIRE SPLICING, GROUNDING AND DECODER PROGRAMMING.
	ICD-HP	HUNTER HAND-HELD DECODER PROGRAMMER. CONTRACTOR SHALL PROVIDE ONE (1) PROGRAMMER TO OWNER AFTER USING TO PROGRAM SYSTEM DECODERS.
SS	SOLAR SYNC-SEN	HUNTER SOLAR SYNC SENSOR (MOUNT ON SIDE OF CONTROLLER ENCLOSURE IN VANDAL RESISTANT ENCLOSURE)
		PRECIPITATION RATE
		CONTROLLER & STATION NUMBER
		APPROXIMATE FLOW (GPM)
		REMOTE CONTROL VALVE SIZE
		PLANT TYPE/WATER REQUIREMENT LH - LAWN/HIGH WATER LM - LAWN/MODERATE WATER LL - LAWN/LOW WATER SH - SHRUB & GROUNDCOVER/HIGH WATER SM - SHRUB & GROUNDCOVER/MODERATE WATER SL - SHRUB & GROUNDCOVER/LOW WATER TH - TREE/HIGH WATER TM - TREE/MODERATE WATER TL - TREE/LOW WATER
		MAINLINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS. 18" COVER. 24" COVER UNDER VEHICULAR PAVING.
		LATERAL LINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS. 12" COVER. 24" COVER UNDER VEHICULAR PAVING.
		COPPER PIPE: TYPE 'K' COPPER PIPE WITH WROUGHT COPPER SOLDER JOINT FITTINGS. ROUTING AND INSTALLATION THROUGH STRUCTURE SHALL BE PROVIDED UNDER PLUMBING CONTRACT.
		SUB-SURFACE DRIP BOUNDARY: RAIN BIRD XFS-CV SUB-SURFACE DRIPLINE (XFSCV-09-12) WITH COPPER SHIELD TECHNOLOGY AND HEAVY DUTY CHECK VALVE. INSTALL AS DETAILED 12" O.C. SEE DRIP IRRIGATION DETAILS FOR TUBING LAYOUT AND INSTALLATION METHODS. BOUNDARIES DEFINE AREAS FOR DRIPLINE TO BE CONNECTED TO ASSOCIATED REMOTE CONTROL VALVES AS DEPICTED IN THE DRAWING. 4" COVER.
		SLEEVING: 1120-SCHEDULE 40 PVC PLASTIC PIPE. 18" COVER. 24" UNDER VEHICULAR PAVING.

PRELIMINARY
NOT FOR CONSTRUCTION

GATEWAY CROSSINGS/A/JOB/16-620/ L-3 IRR ZONE / L32 /SYMBOL SIZE: NTS /07-24-2018 LMD

HUNTER STORM
10121 Miller Ave. Suite 200, Cupertino, CA 95014
Phone: (408) 255-4100 Fax: (408) 996-8425

GATEWAY CROSSINGS

DATE: 07.28.18
PROJECT #:
SCALE:
0 | 50 | 100
NORTH

SHEET TITLE
Irrigation Notes and Legends

SHEET NUMBER
L-3.2

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LANDSCAPE IRRIGATION
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PALO CEDRO, CALIFORNIA 96073

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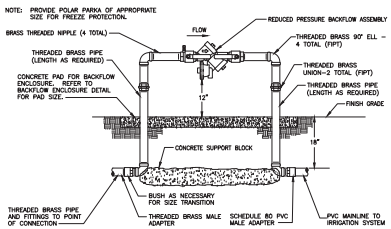
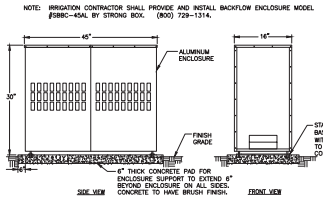


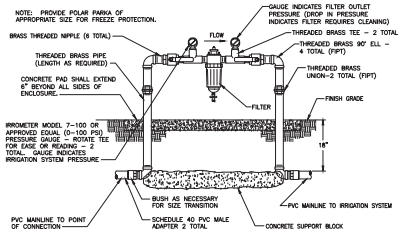
REDUCED PRESSURE BACKFLOW ASSEMBLY

NOT TO SCALE



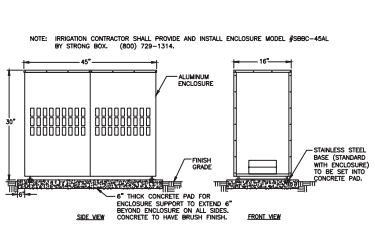
BACKFLOW PREVENTER ENCLOSURE

NOT TO SCALE



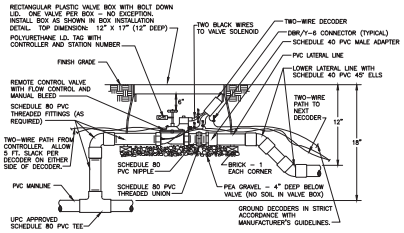
FILTER ASSEMBLY AT POINT OF CONNECTION

NOT TO SCALE



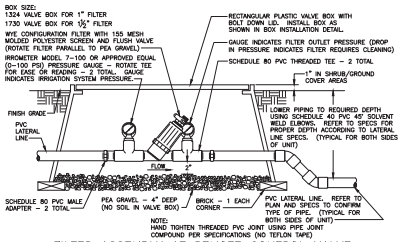
FILTER ASSEMBLY ENCLOSURE AT POINT OF CONNECTION

NOT TO SCALE



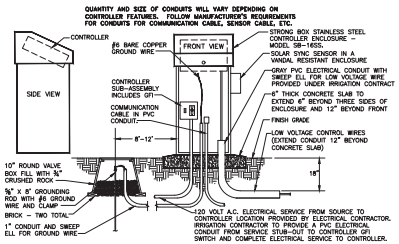
REMOTE CONTROL VALVE

NOT TO SCALE



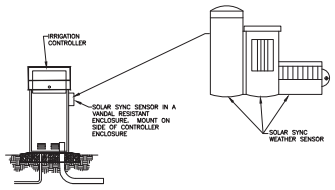
FILTER ASSEMBLY AT REMOTE CONTROL VALVE

NOT TO SCALE



CONTROLLER ENCLOSURE TOP OPENING

NOT TO SCALE

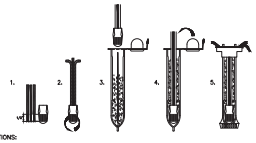


SOLAR SYNC SENSOR

NOT TO SCALE

PRELIMINARY

NOT FOR CONSTRUCTION

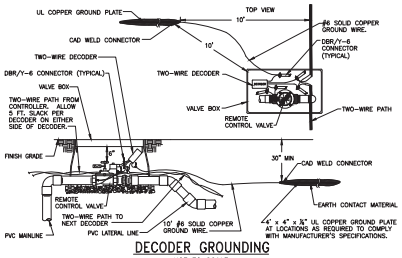


INSTRUCTIONS:

1. USE 3M-DBR/Y-6 WEATHER PROOF SPLICE.
2. STRIP WIRES APPROXIMATELY 1/2" (12.7 MM) TO EXPOSE WIRE.
3. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
4. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
5. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
6. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

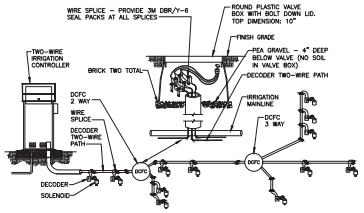
WEATHERPROOF SPLICE ASSEMBLY

NOT TO SCALE



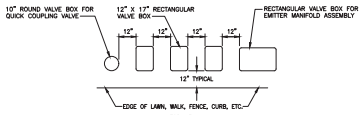
DECODER GROUNDING

NOT TO SCALE



TWO-WIRE DECODER CABLE FUSE DEVICES (DCFD)

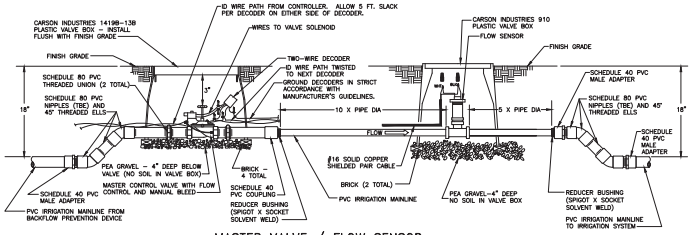
NOT TO SCALE



1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

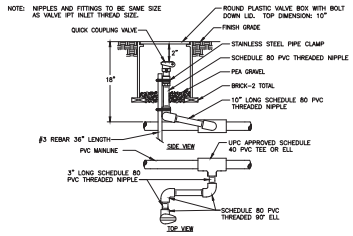
VALVE BOX INSTALLATION

NOT TO SCALE



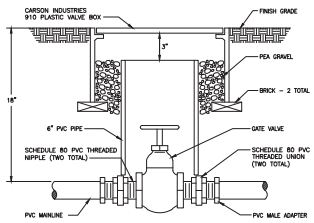
MASTER VALVE / FLOW SENSOR

NOT TO SCALE



QUICK COUPLING VALVE

NOT TO SCALE



GATE VALVE

NOT TO SCALE

GATEWAY CROSSINGS/D/CDB/16-020/ L-3 HM ZONE / L33 /SYMBOL SIZE: HTS /05-31-2017 LMD

HUNTER STORM

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GATEWAY CROSSINGS

DATE: 06.28.18

PROJECT #:

SCALE:

0 | 50 | 100

NORTH

SHEET TITLE

Irrigation Details

SHEET NUMBER

L-3.3

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MARTY DICKSON, ASIC-PIC
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PALO CEDRO, CALIFORNIA 96073
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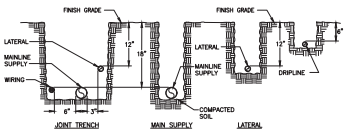
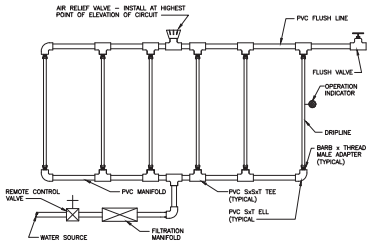
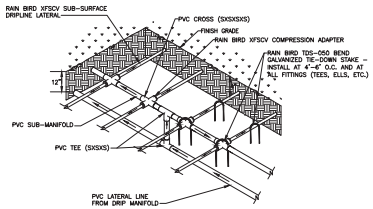


NOTES:
1. ALL PLASTIC PIPING SHALL BE INSTALLED IN THE TRENCH IN A SERPENTINE MANNER AS PER THE MANUFACTURER'S SPECIFICATIONS.
2. ALL SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
3. TAPE AND BUNDLE TUBING OR WIRING AT 10 FEET INTERVALS.
4. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
5. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS, CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS. CAREFULLY SELECT BACKFILL THAT IS TO BE PLACED NEXT TO PLASTIC PIPE TO AVOID ANY SHARP OBJECTS WHICH MAY DAMAGE THE PIPE.

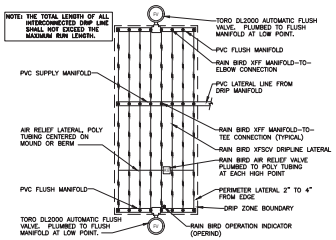
TRENCHING DETAIL
NOT TO SCALE



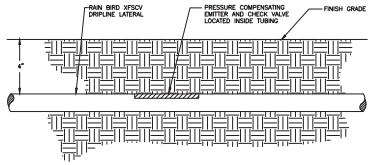
SUB-SURFACE INSTALLATION LAYOUT
NOT TO SCALE



SUB-MANIFOLD CENTER FEED
NOT TO SCALE



CENTER FEED LAYOUT FOR SUB-SURFACE DRIP
NOT TO SCALE



DRIPLINE DETAIL
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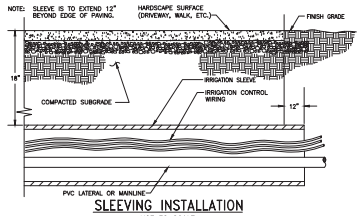

SLEEVING INSTALLATION
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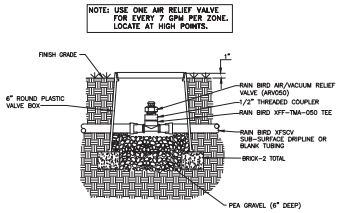
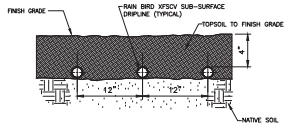
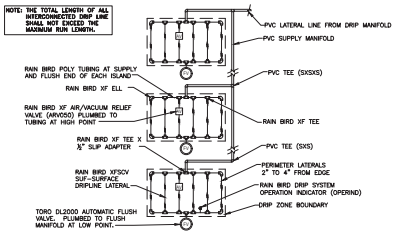


AIR RELIEF VALVE AT DRIPLINE PIPE
NOT TO SCALE

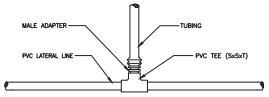


DRIPLINE SUB-SURFACE INSTALLATION 12" O.C.
NOT TO SCALE



ISLAND LAYOUT FOR SUB-SURFACE DRIP
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION



TUBING TO PVC CONNECTION
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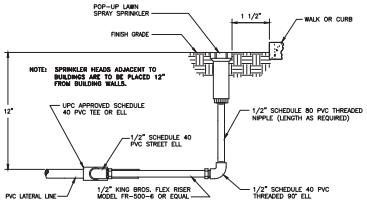
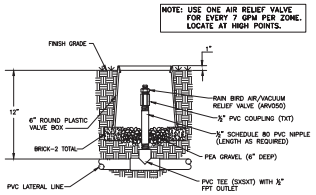
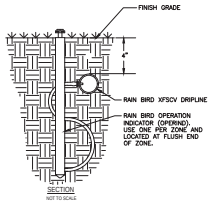


POP-UP LAWN SPRAY SPRINKLER RISER
NOT TO SCALE



AIR/VACUUM RELIEF VALVE AT PVC LATERAL
NOT TO SCALE



POP-UP OPERATION INDICATOR
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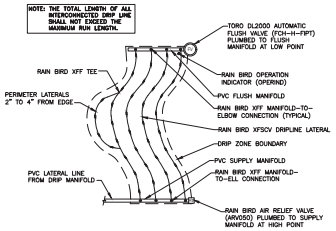

ODD CURVES LAYOUT FOR SUB-SURFACE DRIP
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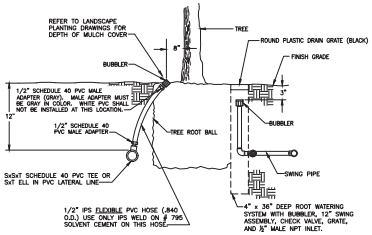
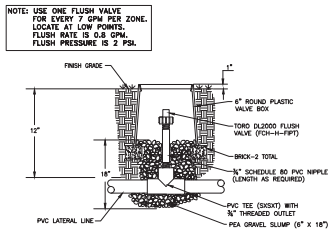


STREET TREE BUBBLER INSTALLATION
NOT TO SCALE



FLUSH VALVE AT PVC LATERAL
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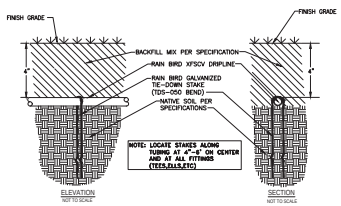
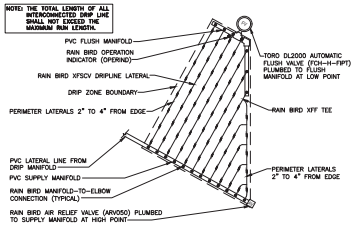


GALVANIZED TIE-DOWN STAKE
NOT TO SCALE



TRIANGULAR LAYOUT FOR SUB-SURFACE DRIP
NOT TO SCALE

GATEWAY CROSSINGS/A/CAD/16-020/ L-3 IRR ZONE / L34 /SYMBOL SIZE: NTS /05-31-2017 LMD

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GATEWAY CROSSINGS

DATE: 06.28.18
PROJECT #:
SCALE:
0 | 50 | 100
NORTH

SHEET TITLE
Irrigation Details

SHEET NUMBER
L-3.4

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PALO CEDRO, CALIFORNIA 96073
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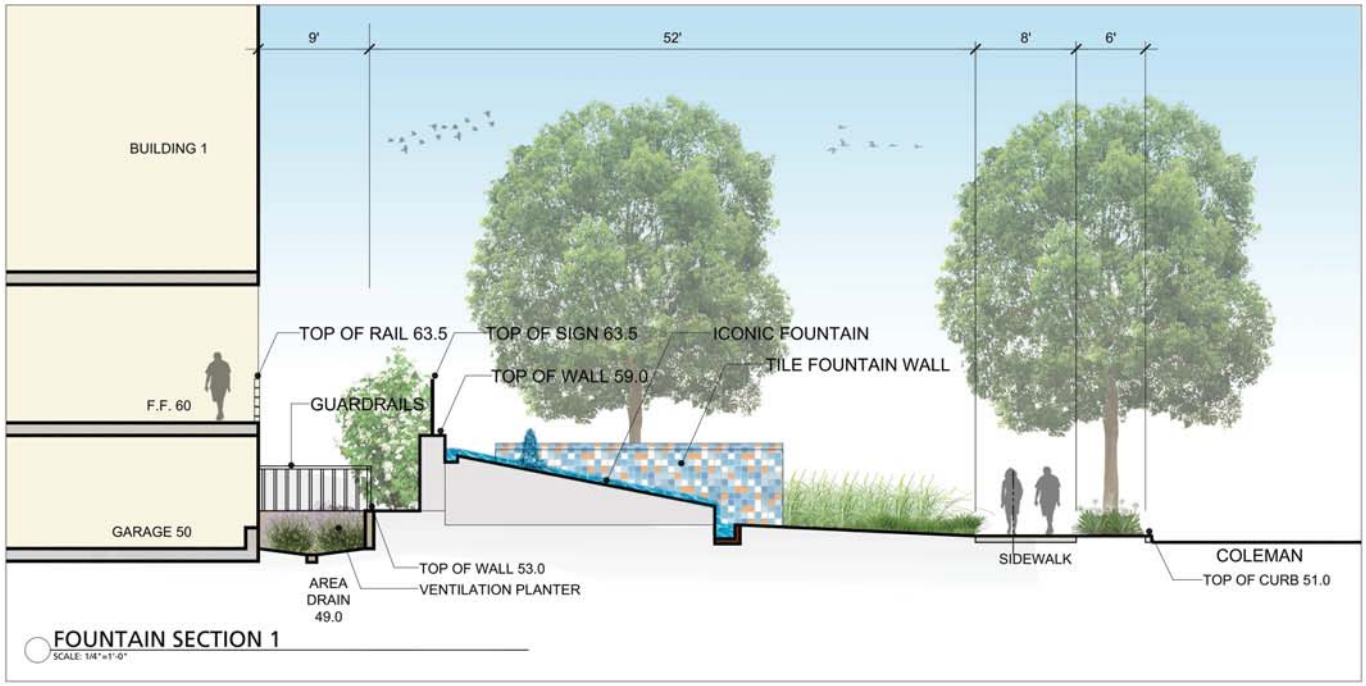
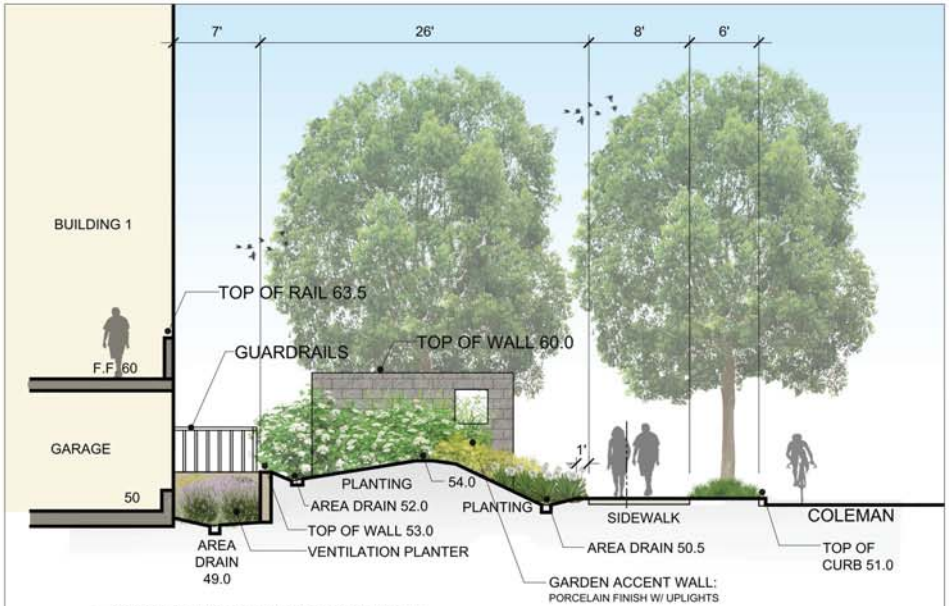
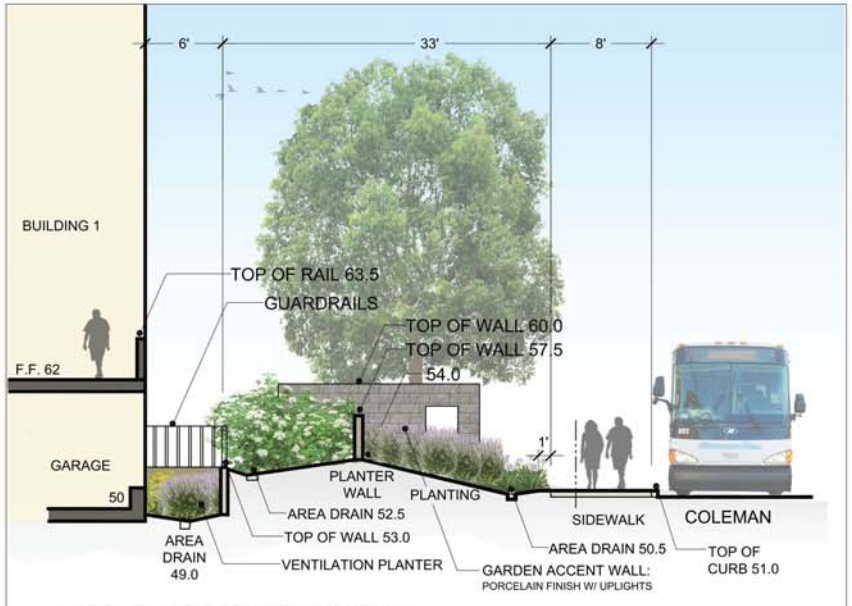


FOUNTAIN SECTION 1
SCALE: 1/4"=1'-0"



STREET FRONTAGE SECTION 2
SCALE: 1/4"=1'-0"



STREET FRONTAGE SECTION 2B
SCALE: 1/4"=1'-0"

HUNTER STORM

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GATEWAY CROSSINGS

DATE: 08.08.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Site Sections

SHEET NUMBER
L-4.1

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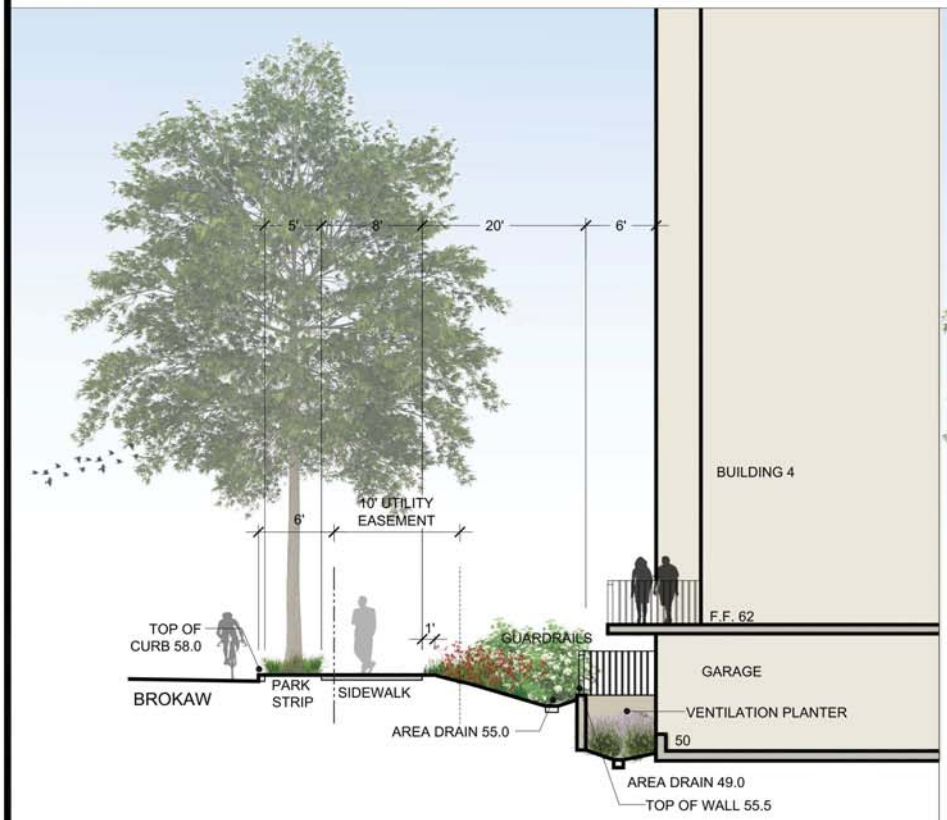

STREET FRONTAGE SECTION 3
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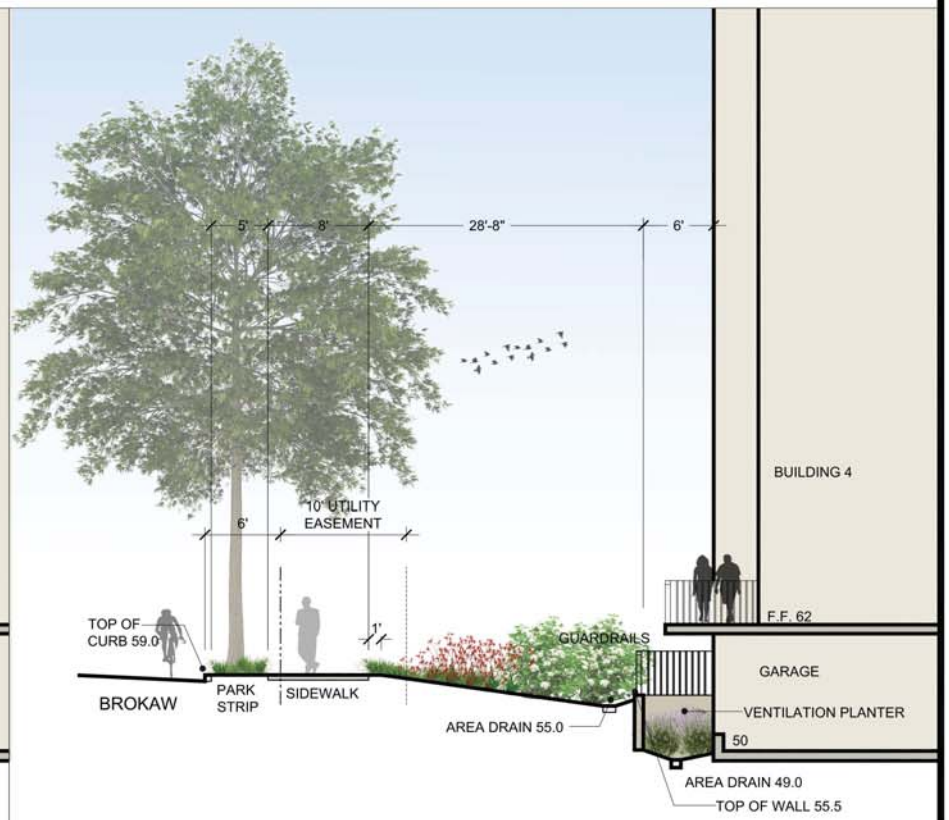

STREET FRONTAGE SECTION 4
SCALE: 1/4"=1'-0"

HUNTER STORM

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GATEWAY CROSSINGS

DATE: 08.08.18
PROJECT #:
SCALE: As Noted

SHEET TITLE
Site Sections

SHEET NUMBER
L-4.2

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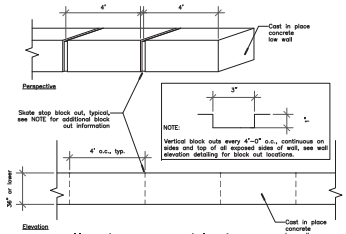
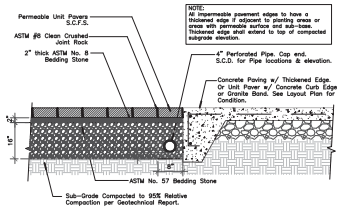


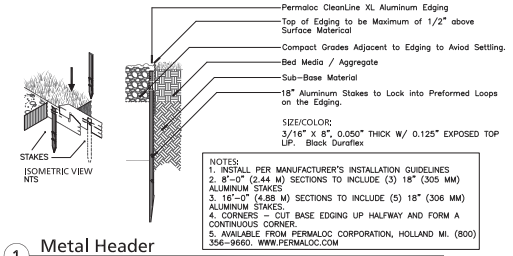
9 Low Wall - Skate stop block out

Scale: 3/8" = 1'-0"



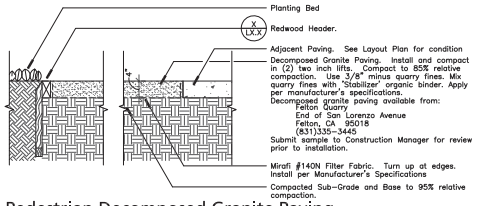
5 Permeable Unit Pavers

Scale: 3/4" = 1'-0"



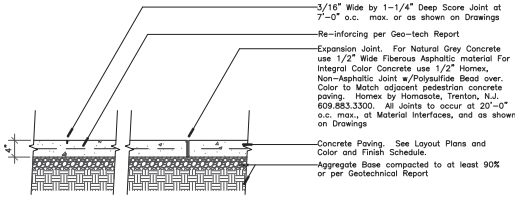
1 Metal Header

Scale: 1" = 1'-0"



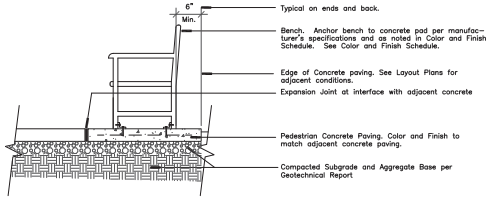
6 Pedestrian Decomposed Granite Paving

Scale: 1" = 1'-0"



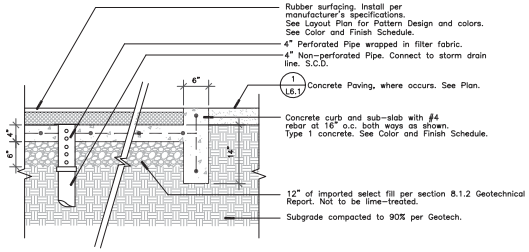
2 Pedestrian Concrete Paving

Scale: 1" = 1'-0"



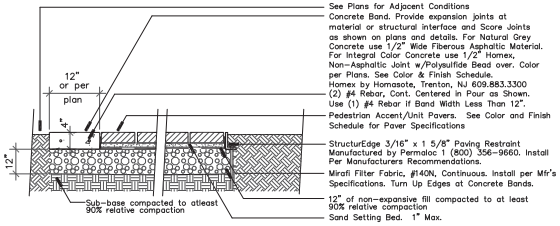
10 Bench on Concrete Pad

Not to Scale



7 Poured-in-Place Rubber Surfacing

Scale: 1" = 1'-0"

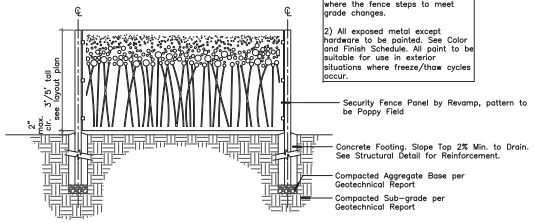


3 Pedestrian Accent Paving

Scales 1" = 1'-0"

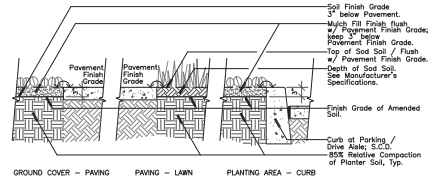
Notes:
1) Contractor to supply complete shop drawings to Landscape Architect for review prior to construction. These will include elevation views for those areas where the fence steps to meet grade changes.

2) All exposed metal except hardware to be painted. See Color and Finish Schedule. All paint to be suitable for use in exterior situations where freeze/thaw cycles occur.



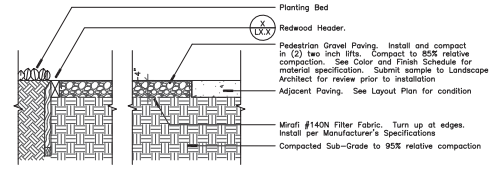
11 Park Perimeter Fence

Scale: 1/2" = 1'-0"



8 Fine Grading @ Paving Edges

Scale: 3/4" = 1'-0"



4 Pedestrian Gravel Paving

Scale: 1" = 1'-0"

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GATEWAY CROSSINGS

DATE: 06.28.18

PROJECT #:

SCALE: As Noted

SHEET TITLE

Landscape Details

SHEET NUMBER

L-4.3

THE GUZZARDO PARTNERSHIP INC.
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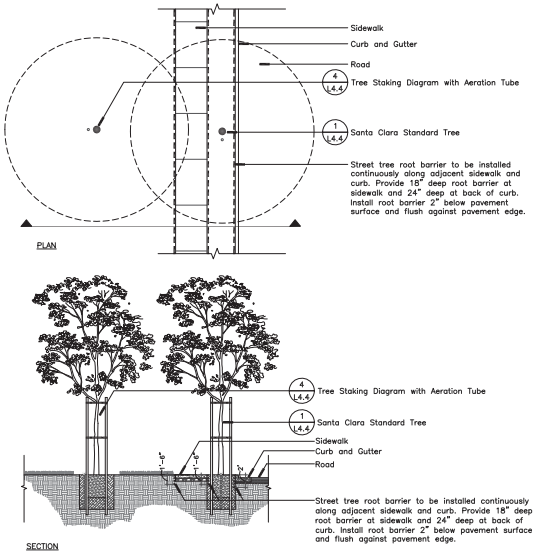
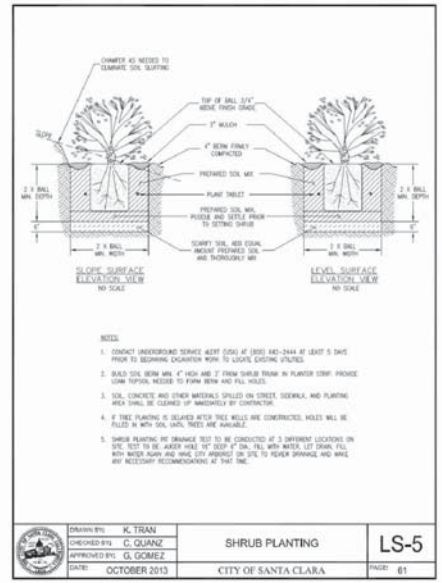
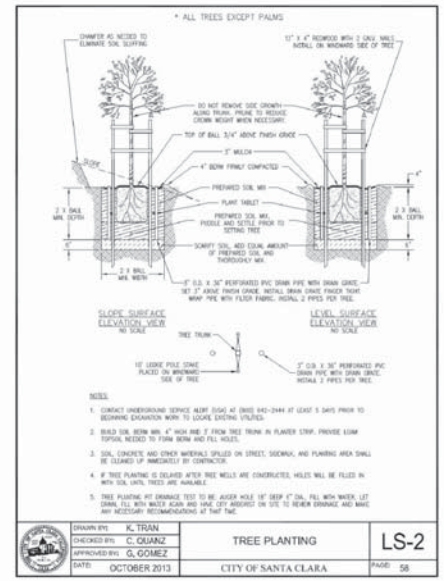


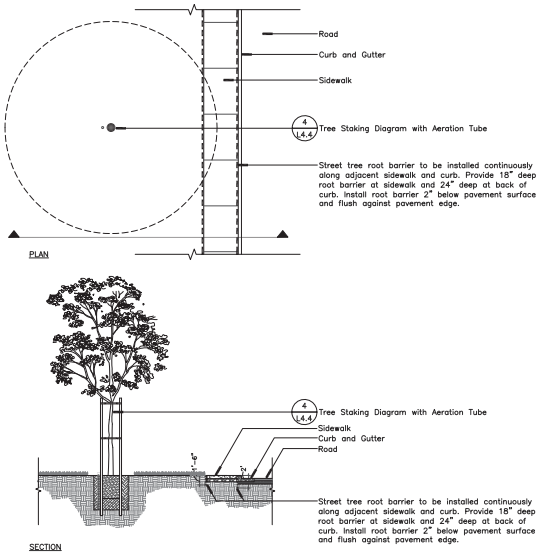
6 Street Tree Root Barrier Type 1
Scale: 1/8" = 1'-0"



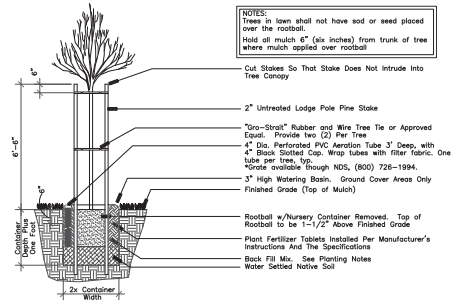
3 Santa Clara Standard Shrub Detail
Not to Scale



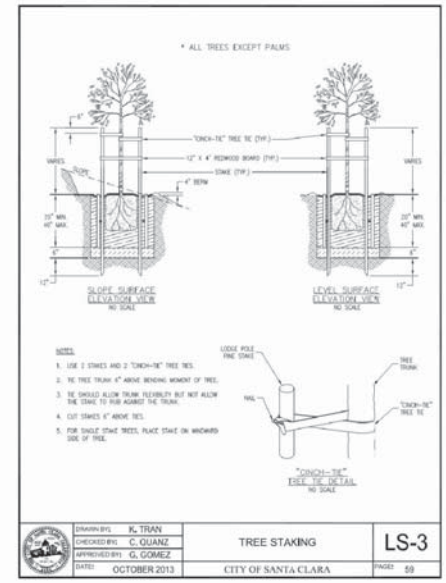
1 Santa Clara Standard Tree Detail
Not to Scale



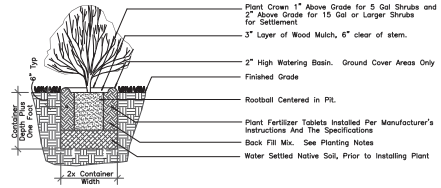
7 Street Tree Root Barrier Type 2
Scale: 1/8" = 1'-0"



4 Tree Staking Diagram with Aeration Tube
Not to Scale



2 Santa Clara Standard Tree Detail
Not to Scale



5 Shrub Planting Detail
Not to Scale

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GATEWAY CROSSINGS

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PROJECT #:
SCALE: As Noted

SHEET TITLE
Landscape Details

SHEET NUMBER
L-4.4

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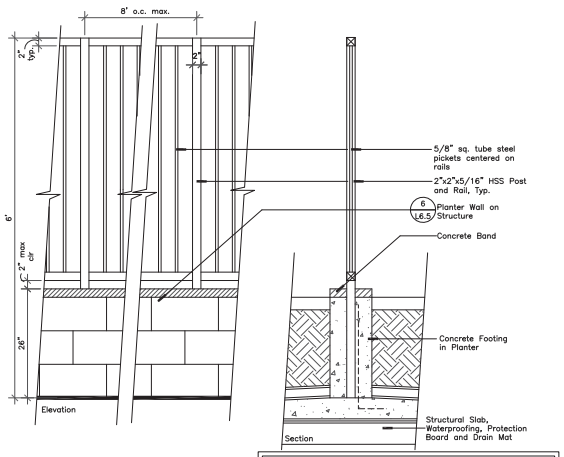
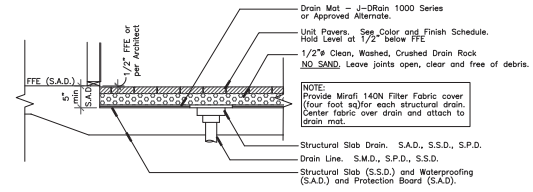


Notes:
1. Detail to be reviewed by Structural Engineer prior to final bidding.
2. Fence frame to be Weld Steel Construction. Grind all Welds Smooth. Welds to be continuous.
3. Contractor to submit complete Shop Drawings to Landscape Architect for Review Prior to Construction.

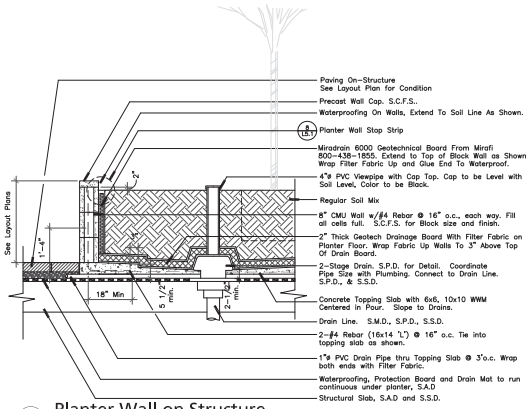
5 Pool Fence in Planter

Scale: 1" = 1'-0"



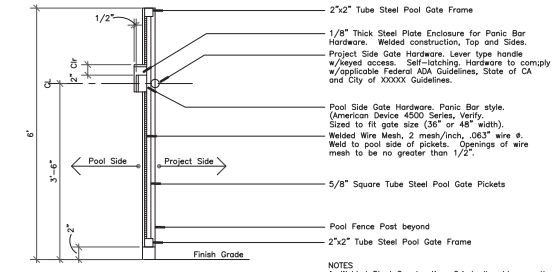
1 Unit Pavers on Structure

Scale: 1/2" = 1'-0"



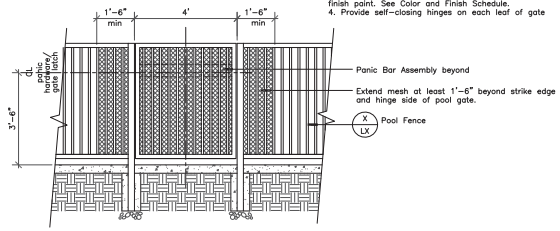
2 Planter Wall on Structure

Scale: 3/4" = 1'-0"



Section
Scale: 1" = 1'-0"

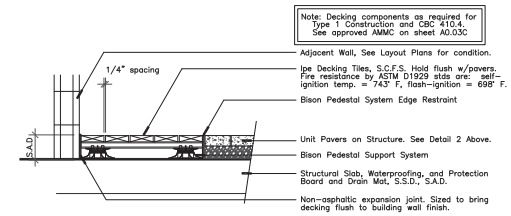
NOTES
1. Welded Steel Construction. Grind all welds smooth.
2. Contractor to submit complete shop drawings to Landscape Architect for review prior to construction
3. Paint all exposed metal work except hardware with w/(2) coats of rust inhibiting primer and (1) coat finish paint. See Color and Finish Schedule.
4. Provide self-closing hinges on each leaf of gate



Elevation
Scale: 1/2" = 1'-0"

5 Pool Gate

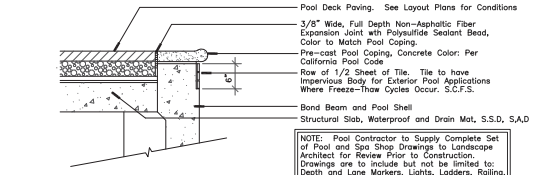
Scale as Noted



Note: Decking components as required for Type 1 Construction and CBC 410.4. See approved AMMC on sheet A0.03C

3 Decking On-Structure

Scale: 1" = 1'-0"



NOTE: Pool Contractor to Supply Complete Set of Pool and Spa Shop Drawings to Landscape Architect for Review Prior to Construction. Drawings are to include but not be limited to: Depth and Lane Markers, Lights, Ladders, Railing, Steps, and other, standard pool requirements.

4 Pool and Spa Coping

Scale: 1" = 1'-0"

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L-4.5

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