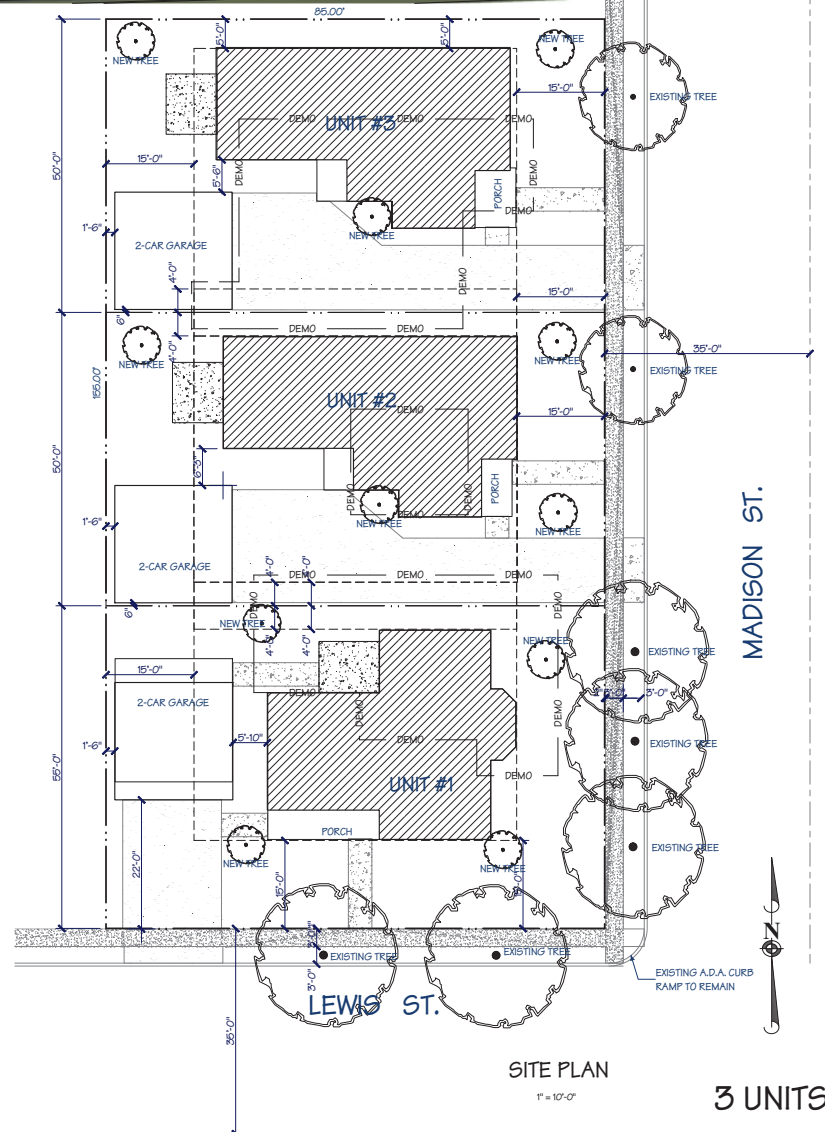




A.P.N.: 269 - 03 - 034

ZONING: R-3 - 36

LOT SIZE: 13,175 S.F.

EXISTING S.F.F.: 1,600 S.F. 3 BEDROOM, 2 BATHS

EXISTING DUPLEX: 1,840 S.F. 2 BEDS, 2 BATHS + 1 BED, 1 BATH

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:	LOT SIZE:
UNIT #1	1,105	884	2,089 S.F.	4,250 S.F.
UNIT #2	1,180	884	2,064 S.F.	4,250 S.F.
UNIT #3	1,180	884	2,064 S.F.	4,675 S.F.

GARAGES: 400 S.F. EACH

TYPE OF CONSTRUCTION: VB

OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CFC, CEC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

SHEET INDEX

- A-1 SITE PLAN
- A-2 UNIT 1 FLOOR PLAN, ELEV
- A-3 UNIT 2 FLOOR PLAN, ELEV
- A-4 UNIT 3 FLOOR PLAN, ELEV

- C-1 TOPO & DEMO PLAN
- C-2 GRADING & DRAINAGE PLAN &
TENTATIVE MAP

- L-1 TENTATIVE LANDSCAPE PLAN

REVISIONS	BY
PLANNING 10-23-18	

HOMETEC
ARCHITECTURE, INC.

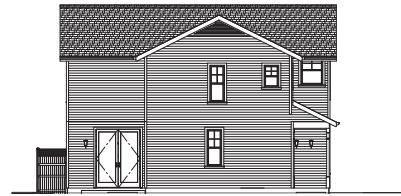
555 11B MERIDIAN AVENUE, SAN JOSE, CA. 95126

RICHARD A. HARTMAN
AIA

408.995.6496
HartmanArch@aol.com

NEW PLANNED DEVELOPMENT FOR:
GREG B. MUSSALLEM
1444 MADISON STREET, SANTA CLARA, CA. 95050

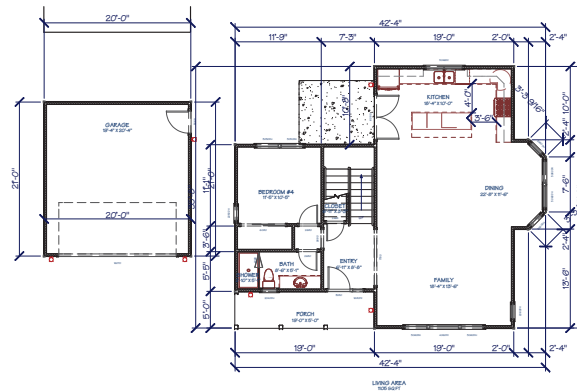
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Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-040
Sheet	
	A-1
of	Sheets



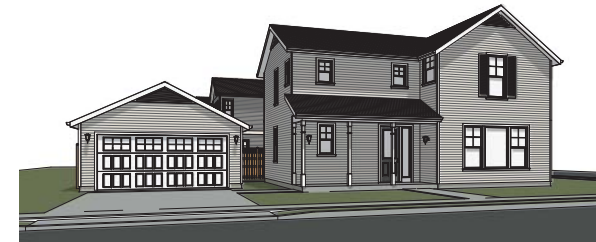
NORTH ELEVATION

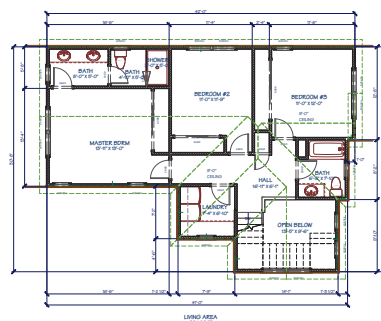
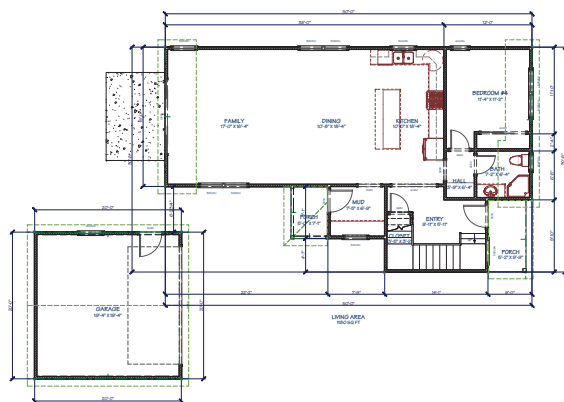
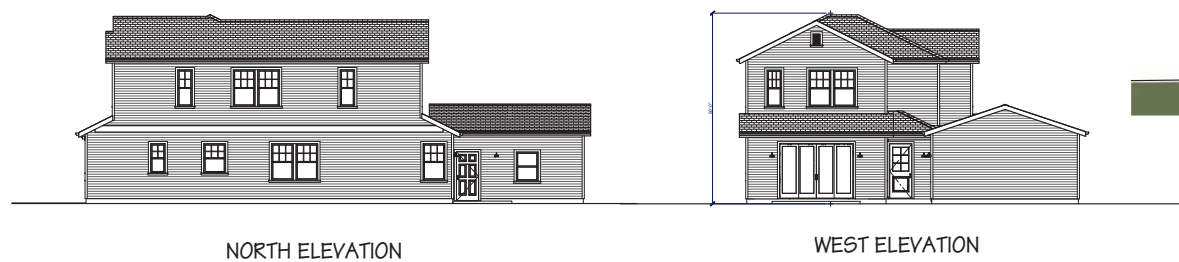


SOUTH ELEVATION



FIRST FLOOR PLAN

[illegible]



Date		10 - 30 - 16
Scale		1" = 10'-0"
Drawn		RAH
Job		17-040
Sheet		

NEW PLANNED DEVELOPMENT FOR:

GREG B. MUSSALLEM

1444 MADISON STREET, SANTA CLARA, CA 95060

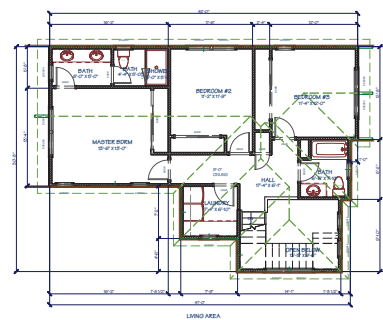
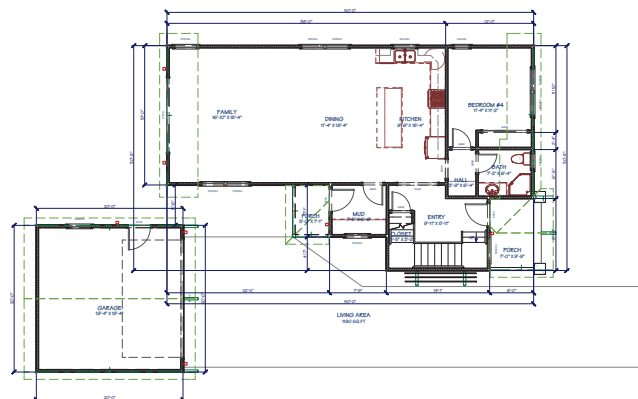
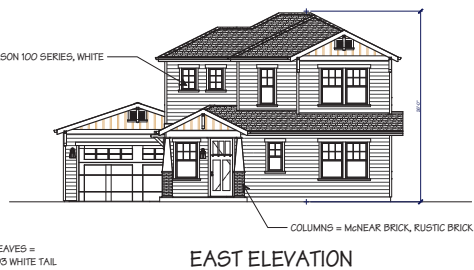
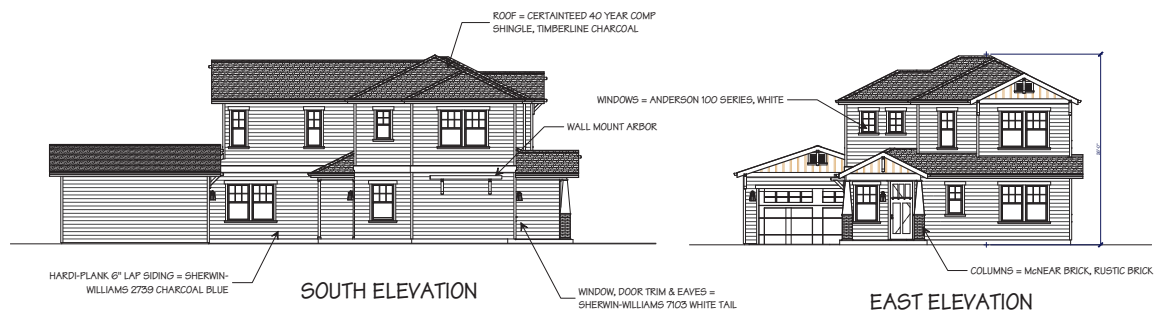
HOMETEC

ARCHITECTURE, INC.

555 48 MERIDIAN AVENUE, SAN JOSE, CA 95126

Richard A. Hartman
A.L.A.

408 West 42nd Ave
Hartman@aol.com



REVISIONS	B
PLANNING 10-23-18	

HOMETEC
ARCHITECTURE, INC.

555 #B MERIDIAN AVENUE, SAN JOSE, CA. 95126
408-595-6496
Hometec@aol.com

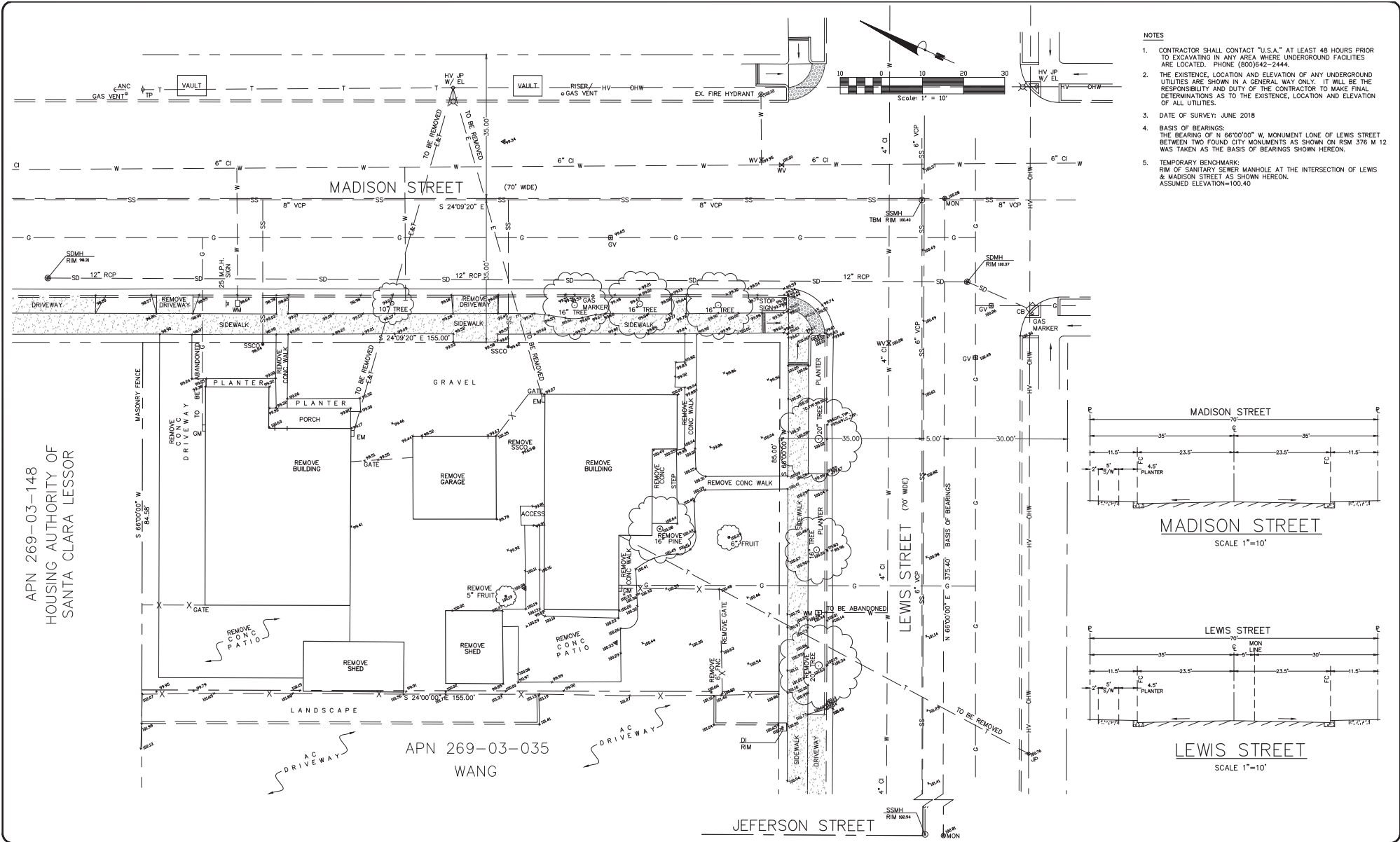
RICHARD A. HARTMAN
A.I.A.

NEW PLANNED DEVELOPMENT FOR:
GREG B. MUSSALLEM
1444 MADISON STREET, SANTA CLARA, CA 95050

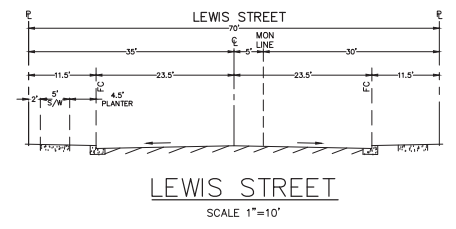
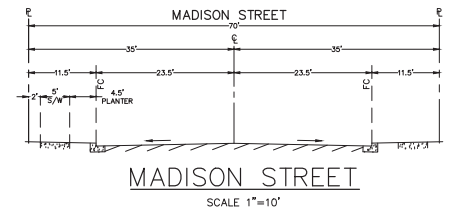
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Drawn	RAH
Job	17-040
Sheet	

A-4

UNIT #3



- NOTES
- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
 - THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
 - DATE OF SURVEY: JUNE 2018
 - BASIS OF BEARINGS: THE BEARING OF N 66°00'00" W, MONUMENT LONE OF LEWIS STREET BETWEEN TWO FOUND CITY MONUMENTS AS SHOWN ON RSM 376 M 12 WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
 - TEMPORARY BENCHMARK: RIM OF SANITARY SEWER MANHOLE AT THE INTERSECTION OF LEWIS & MADISON STREET AS SHOWN HEREON. ASSUMED ELEVATION=100.40



APN 269-03-148
HOUSING AUTHORITY OF
SANTA CLARA LESSOR

APN 269-03-035
WANG

PRELIMINARY

TOPOGRAPHIC & DEMOLITION PLAN
1444 MADISON STREET
APN 269-03-034
IN THE CITY OF SANTA CLARA, CALIFORNIA

REVISIONS				CHKD	DATE
DATE	BY	DESCRIPTION			

SCALE: 1"=10'
DATE: 09-27-18
DWN: JS ME16
JOB NO. 18026
DWG NO. L14911

SHEET
C1
OF 2 SHEET

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-18, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

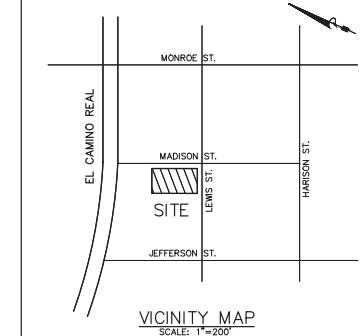
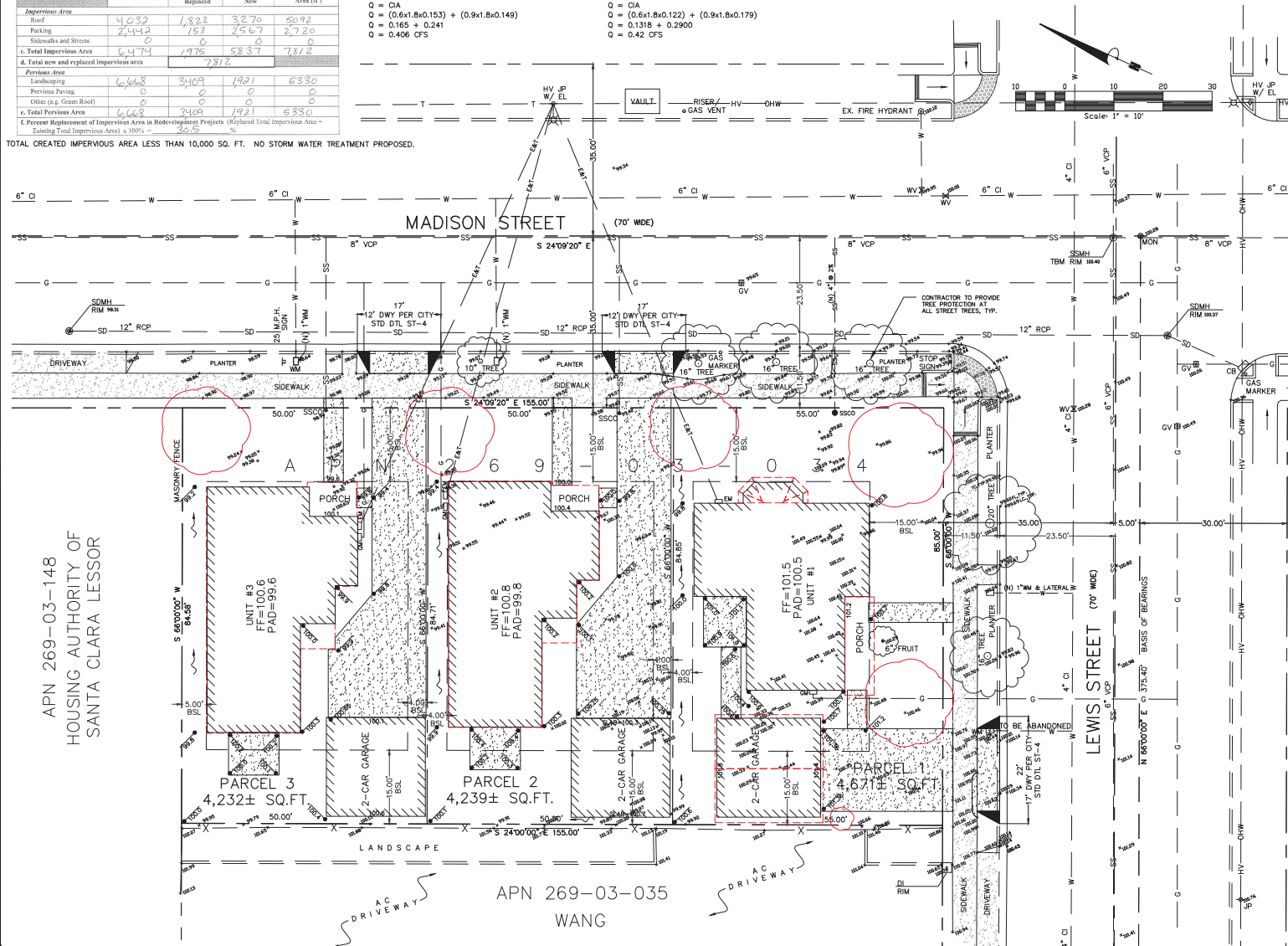
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

IMPERVIOUS/PERVIOUS TABLE				
a. Total Site Area:	Co. 56.17	acre	b. Total Site Area Disturbed:	0.3017
			(including clearing, grading, or construction)	
	Existing Area (SF)	Replaced	New	Total Post-Project Area (SF)
Impervious Area				
Roof	4,032	1,822	3,210	5092
Parking	2,442	163	2,567	2,720
Sidewalks and Streets	0	0	0	0
c. Total Impervious Area	6,474	1,975	5,837	7,812
d. Total new and replaced impervious area		7,812		
Pervious Area				
Landscaping	6,468	3,409	1,921	6,330
Previous Paving	0	0	0	0
Other (e.g. Green Roof)	0	0	0	0
e. Total Pervious Area	6,468	3,409	1,921	5,330
f. Percent Replacement of Impervious Area in Redevelopment Project (Replaced Total Impervious Area ÷ Existing Total Impervious Area) x 100% =		30.5	%	

TOTAL CREATED IMPERVIOUS AREA LESS THAN 10,000 SQ. FT. NO STORM WATER TREATMENT PROPOSED.

PREDEVELOPMENT FLOW (10YR STORM, I=1.8 IN/HR)
 PERVIOUS AREA=6,668 S.F. = 0.153 AC (C=0.60)
 IMPERVIOUS AREA=6,474 S.F. = 0.149 AC (C=0.90)
 $Q = CIA$
 $Q = (0.6x1.8x0.153) + (0.9x1.8x0.149)$
 $Q = 0.165 + 0.241$
 $Q = 0.406 CFS$

POST DEVELOPMENT FLOW (10YR STORM, I=1.8 IN/HR)
 PERVIOUS AREA=5,330 S.F. = 0.122 AC (C=0.60)
 IMPERVIOUS AREA=7,812 S.F. = 0.179 AC (C=0.90)
 $Q = CIA$
 $Q = (0.6x1.8x0.122) + (0.9x1.8x0.179)$
 $Q = 0.1318 + 0.2900$
 $Q = 0.42 CFS$



NOTES

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- DATE OF SURVEY: JUNE 2018
- BASIS OF BEARINGS: THE BEARING OF N 66°00'00" W, MONUMENT LONE OF LEWIS STREET BETWEEN TWO FOUND CITY MONUMENTS AS SHOWN RSM 376 M 12 WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
- TEMPORARY BENCHMARK: RM OF SANITARY SEWER MANHOLE AT THE INTERSECTION OF LEWIS & MADISON STREET AS SHOWN HEREON. ASSUMED ELEVATION=100.40
- SETBACK: 15' FRONT & BACK, 5' SIDE

ASSESSOR'S PARCEL NO.: 269-03-034
 EXISTING USE: MULTI FAMILY 10 UNITS LESS
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 EXISTING ZONING: R3-360-MEDIUM DENSITY MULTIPLE DWELLING
 PROPOSED ZONING: VERY LOW DENSITY RESIDENTIAL
 GENERAL PLAN: 1
 EXISTING PARCELS: 3
 PROPOSED PARCELS: 3

GAS SUPPLY: PACIFIC GAS & ELECTRIC CO.
 ELECTRIC SUPPLY: SILICON VALLEY POWER
 WATER SUPPLY: CITY OF SANTA CLARA
 SANITARY SEWER: CITY OF SANTA CLARA
 STORM DRAINAGE: CITY OF SANTA CLARA
 STREET TREES: TO CONFORM TO CITY OF SANTA CLARA STANDARDS
 STREET IMPROVEMENTS: TO CONFORM TO CITY OF SANTA CLARA STANDARDS
 PUBLIC AREAS: NONE

FLOOD ZONE: ZONE X, PANEL NO. 06085C 0227 H, DATED: MAY 18, 2009
 AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

AREAS : GROSS : 13,142± SQ. FT. = 0.3017± ACRES
 NET : 13,142± SQ. FT. = 0.3017± ACRES

EXISTING	AREA (SF)	PROPOSED	AREA (SF)
APN 224-27-048	13,142	PARCEL #1	4,871
		PARCEL #2	4,239
		PARCEL #3	4,232
TOTAL	13,142	TOTAL	13,142



DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-18, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
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2355 De La Cruz Blvd. Santa Clara, California 95050

Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY

GRADING & DRAINAGE PLAN/ TENTATIVE MAP

1444 MADISON STREET

APN 269-03-034

IN THE CITY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION

SCALE: 1"=10'	SHEET
DATE: 09-27-18	C2
DWG: JS ME16	OF 2 SHEET
CHWD:	
JOB NO. 18026	
DWG NO. L14911	

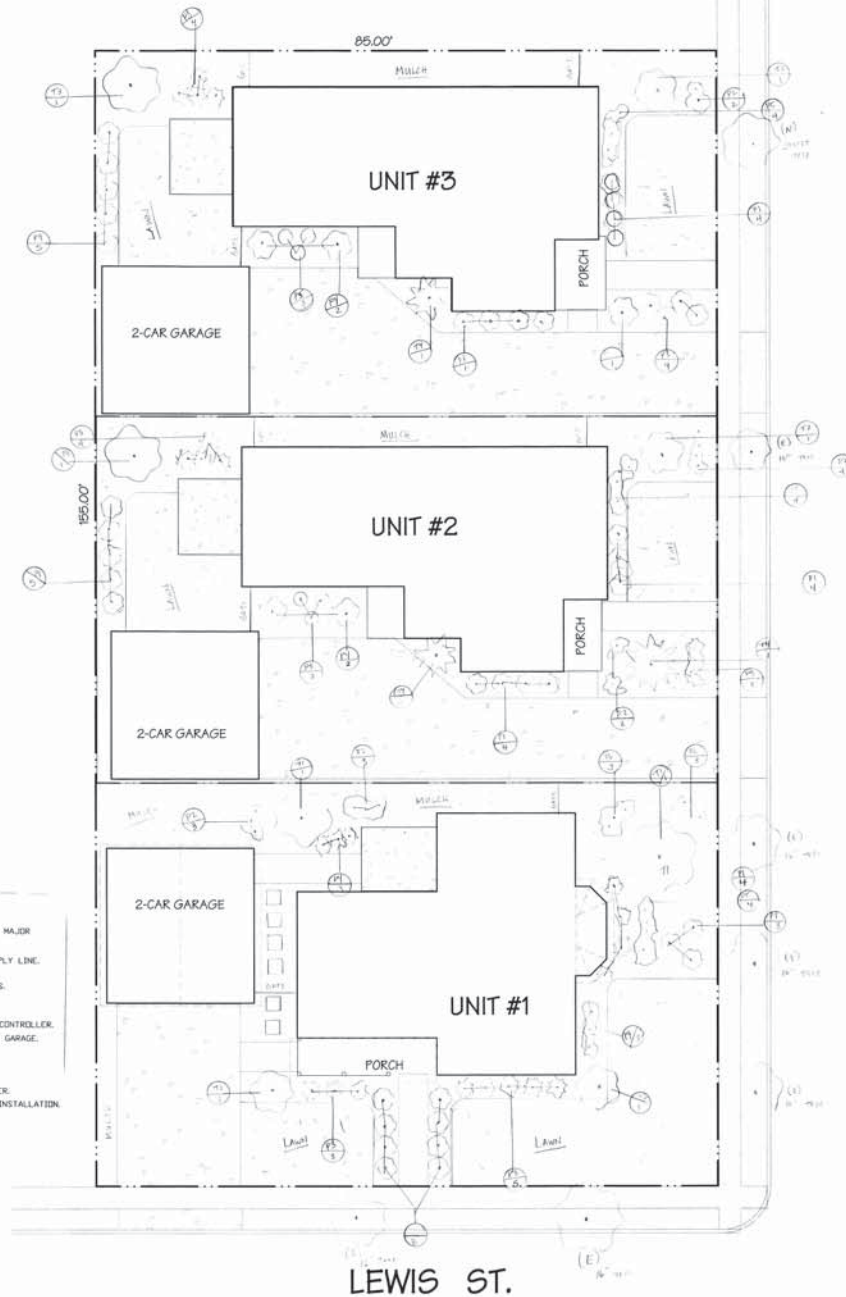
PLANT LIST

- P1 - (12) ROSMARIUS TUSCAN BLUE- 5 GAL
- P2 - (10) ACHILLEA MILLEFOLIUM- 1 GAL
- P3 - (18) ROSA ICEBERG- 5 GAL
- P4 - (10) HYDRANGEA QUERCIFOLIA- 5 GAL
- P5 - (11) LAVENDULA HICCOTE- 5 GAL
- P6 - (6) DANELLA CLARITY BLUE -1 GAL
- P7 - (4) CHONDOPELALUM TECTORIAN- 5 GAL
- P8 - (11) STACHYS B- 1 GAL
- P9 - (10) PRUNUS COMPACTA -15 GAL
- T1 - (2) LAGESTROMEIA MUSKEGEE - 15 GAL
- T2 - (4) ARCTOSTAPHYLOS - 15 GAL
- T3 - (2) GINKGO BILOBA - 15 GAL
- T4 - (3) ROSEBLOOD JAPANESE MAPLE - 15 GAL

IRRIGATION PERFORMANCE SPECIFICATION:

NOTE: BE AWARE OF ALL EXISTING TREES ON SITE, AND THEIR DRIP LINES. LOCATE DRIP TRENCHES AWAY FROM MAJOR TREE ROOTS. DO NOT CUT ANY TREE ROOT OVER 2" DIAMETER.

1. PROVIDE A MANUAL BRASS GATE VALVE AT IN GROUND VALVE BOX AT IRRIGATION CONNECTION TO DOMESTIC SUPPLY LINE.
2. IMMEDIATELY AFTER VALVE, LOCATE ONE BRASS REDUCED PRESSURE VACUUM BREAKER.
3. CONNECT THE VACUUM BREAKER WITH SCHEDULE 40 PVC PIPE MAIN LINE AT 18" DEPTH TO ALL IRRIGATION VALVES.
4. ALL IRRIGATION VALVES TO BE "RAINBIRD" DV SERIES DRIP VALVES.
5. LOCATE ALL VALVES IN BELOW GROUND PLASTIC BOXES WITH LIDS FLUSH WITH FINISH GRADE BY "BROOKS".
6. CONNECT ALL VALVES WITH DIRECT BURIAL WIRE, TAPED TO IRRIGATION MAIN LINE AND CONNECT TO IRRIGATION CONTROLLER.
7. THE AUTOMATIC IRRIGATION CONTROLLER SHALL BE A 4 STATION CLOCK BY "HUNTER" MOUNTED ON INSIDE WALL OF GARAGE.
8. CONNECT ALL SURFACE DRIP LINES WITH BELOW GROUND CLASS 200 PVC PIPE LATERALS.
9. IRRIGATE ALL PLANTS WITH SURFACE POLY-DRIP TUBING BURIED UNDER 2-3 INCHES OF WOOD CHIP MULCH.
10. PROVIDE ONE EMITTER AT 1 GAL. PLANTS, 2 EMITTERS AT 5 GAL. PLANTS AND 3 EMITTERS AT 15 GAL. PLANTS.
11. INSTALL ONE RAIN-SENSOR DEVICE OUTSIDE OF TREE DRIP LINES OR ROOF OVERHANG AND CONNECT TO CONTROLLER.
12. INSTRUCT OWNER ON OPERATION OF COMPLETED SYSTEM AND PROVIDE A ONE YEAR WARRANTY ON ALL PARTS AND INSTALLATION.



MADISON ST.

LEWIS ST.

REVISIONS	BY

NEW PLANNED DEVELOPMENT FOR:
GREG B. MUSSALLEM
 1444 MADISON STREET, SANTA CLARA, CA 95050

Date: 6-7-18
 Scale: 1/8" = 1'-0"
 Drawn: -
 Job: 17-040
 Sheet: **L-1**
 of: 2 Sheets