

ACUPUNCTURE OFFICE
TENANT IMPROVEMENT
2529 SCOTT BLVD. SANTA CLARA, CA 95050

TEL: (408) 387-2930

CELL: (408) 901-8777
TEL: (408) 642-1628
FAX: (408) 642-1539
EMAIL: QING@LADC-ARCH.COM

ARCHITECTURAL:

- A-0 TITLE SHEET, GENERAL NOTES
- A-1 (E) SITE PLAN, NOTES
- A-1.1 (E) ACCESSIBLE PARKING DETAILS & GENERAL NOTES
- A-2 EXISTING FLOOR PLAN
- A-2.1 EXISTING REFLECTED CEILING PLAN & PROPOSED FLOOR PLAN & DETAILS
- A-2.1.1 ACCESSIBLE RESTROOM ELEVATIONS & PLAN & REQUIREMENT
- A-3 ARCHITECTURAL DETAILS

ELECTRICAL:

- E-1 ELECTRICAL PANEL SCHEDULE, POWER PLAN, NOTES, LIGHTING PLAN

PLUMBING:

- P-1 PLUMBING PLAN, FIXTURE SCHEDULE, EXIT PLAN
- P-1.1 WATER SUPPLY ISOMETRIC, DRAINAGE ISOMETRIC, PLUMBING NOTES

TITLE-24:

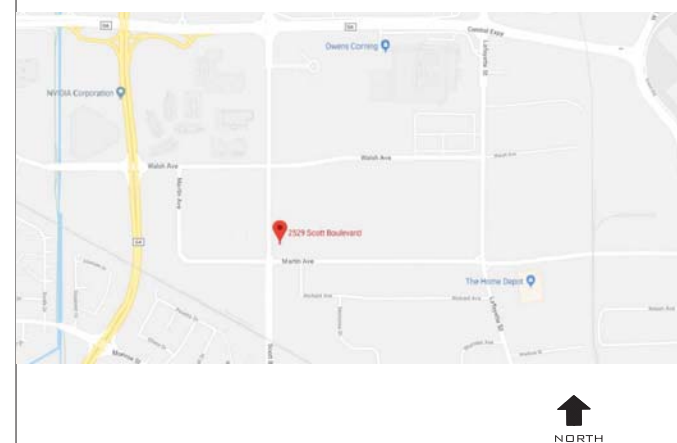
- T-1 ENERGY COMPLIANCE-ELECTRICAL
- T-2 ENERGY COMPLIANCE-MECHANICAL
- T-3 ENERGY COMPLIANCE-MECHANICAL

PREVIOUS USE	<u>VACANT OFFICE</u>
PROPOSED USE	<u>ACUPUNCTURE OFFICE</u>

FIRE SPRINKLER SYSTEM EXISTING (ND)

FRONT SETBACK	<u>EXISTING</u>
RIGHT SIDE SETBACK	<u>EXISTING</u>
LEFT SIDE SETBACK	<u>EXISTING</u>
REAR SETBACK	<u>EXISTING</u>

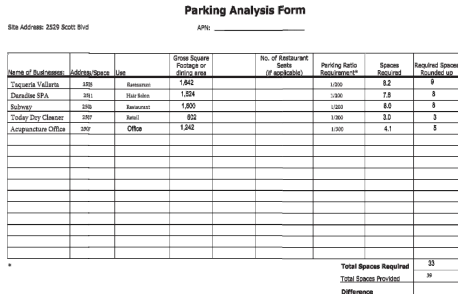
CALIFORNIA BUILDING CODE	2016 EDITION
CALIFORNIA FIRE CODE	2016 EDITION
CALIFORNIA MECHANICAL CODE	2016 EDITION
CALIFORNIA PLUMBING CODE	2016 EDITION
CALIFORNIA ELECTRICAL CODE	2016 EDITION
CALIFORNIA ENERGY CODE	2016 EDITION



NORTH

PROJECT TEAM	DRAWING INDEX	TABULATION	VICINITY MAP
<p>& And A Angle ASD Area Under Siding BBS Basin C Centerline C Diameter or Round C Number C Vented C Vent C Anchor Bolt ADJ. Area Drain AGG Aggregate AL Alternator ALX Aluminum APL Arch Panel AR Architectural ASH Above Finish Floor B Bulletin Board B Board BL Blumotion B Backing B Building B Bldg. BOT Bottom</p> <p>C Cabinet C Basin C Cement C Cast Iron C Corner Guard C Construction Joint C Ceiling C Calking C Caulking C Ceiling Opening C Column C Gypsum C Construction C Corridor C Counter C Countersunk C Counter C Detail C Dimension C Dispenser C Door C Door Opening C Drawer C Dry Standpipe C Drawing C Each C Expansion Bolt</p> <p>E.J. Expansion Joint E Elevation EL Electrical EM Emergency Enclosure EP Equipment Panelboard E New F Floor F Mechanical F Area Drain F Expansion F Exterior F Alarm F Floor Drain F Foundation F Fire Extinguisher F Fire Extinguisher Cab. F Fire Hose Cabinet F First Head Room Screw F Future F Flashing F Concrete F Face of Finish F Furring F FUTURE F Galv. F Gage F Glazing F Ground F Gypsum H Haze Boss H Horizontal Core H Hardwood H Heavy Metal H Horizontal H Height I Inside Diameter (Dim.) I Information I Insulation I Intermediate J Janitor J Joint K Kitchen</p> <p>LAB Laboratory LAM Laminate LAS Laster LS Light MAS Masonry MAT Material MAX Maximum M.B. Machine Bolt MECH Mechanical MEM Membrane MET Metal MH Manhole MIN Minimum Miscellaneous M.N. Mounting M.M. Mounting M.L. Mullen</p> <p>N.C. No. or # N.T.S. Not To Scale</p> <p>O.A. Overall OBS Obscure O On Center O.D. Outside Diameter (DIM.) O Office O Update Hand O Furring O Opposite</p> <p>P P.D. Point P.P. Pre-cast P.G. Paint Paper Dispenser P Plastic Laminate P.P. Plywood P Paper Towel Dispenser P Paper Towel Receptacle P Dispenser & Receptacle P Paper Towel Receptacle Q Qty R RAD Radius R Roof Drain R Reference R Refrigerator R Regulator R Reinforced R Required R Resilient R Rough Opening R Rubber</p> <p>RWD Rain Water Leader S.S.D. South S Architectural Drawing S Core S Cover Dispenser S Dispenser S Section S Sewer S Sheet S SHW Shower S S Mechanical Drawing S Sanitary Nipple Dispenser S Sink S Plumbing Drawing S Structural Drawing S Service Sink S Standard S Nominal S Storage S Suspended S Symmetrical</p> <p>T Tread T Top of Curb T Top of Bar T Telephone T Tongue and Groove T Threshold T Tie Payment T Telephone Panelboard T Top of Dispenser T Elevation T Top of Wall T Typical U Unfinished U Otherwise Noted U Urinal V.V.T. Vinyl Composition Tile V Visible V In Field W West W With W Water Covering W Water Closet W Where Occurs W Water Flange W Where Occurs W Waterproof W Weight W.R. Water Resistant</p>	<p>LAB. Laboratory LAM. Laminate LAS. Laster LSH. Light MAS. Masonry MAT. Material MAX. Maximum M.B. Machine Bolt MECH. Mechanical MEM. Membrane MET. Metal MH. Manhole MIN. Minimum Miscellaneous M.N. Mounting M.M. Mounting M.L. Mullen</p> <p>N.C. No. or # N.T.S. Not To Scale</p> <p>O.A. Overall OBS. Obscure O On Center O.D. Outside Diameter (DIM.) O Office O Update Hand O Furring O Opposite</p> <p>P P.D. Point P.P. Pre-cast P.G. Paint Paper Dispenser P Plastic Laminate P.P. Plywood P Paper Towel Dispenser P Paper Towel Receptacle P Dispenser & Receptacle P Paper Towel Receptacle Q Qty R RAD. Radius R Roof Drain R Reference R Refrigerator R Regulator R Reinforced R Required R Resilient R Rough Opening R Rubber</p> <p>RWD. Rain Water Leader S.S.D. South S Architectural Drawing S Core S Cover Dispenser S Dispenser S Section S Sewer S Sheet S SHW. Shower S S Mechanical Drawing S Sanitary Nipple Dispenser S Sink S Plumbing Drawing S Structural Drawing S Service Sink S Standard S Nominal S Storage S Suspended S Symmetrical</p> <p>T Tread T Top of Curb T Top of Bar T Telephone T Tongue and Groove T Threshold T Tie Payment T Telephone Panelboard T Top of Dispenser T Elevation T Top of Wall T Typical U Unfinished U Otherwise Noted U Urinal V.V.T. Vinyl Composition Tile V Visible V In Field W West W With W Water Covering W Water Closet W Where Occurs W Water Flange W Where Occurs W Waterproof W Weight W.R. Water Resistant</p>	<ul style="list-style-type: none"> BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE: <ol style="list-style-type: none"> VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES. COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS IF ANY, BEING PERFORMED; AND NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITH DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS. FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM OBTAINING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERRORS ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR. CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDINGS IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK. DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK. COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE. CONTRACTOR IS NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT. IMMEDIATELY UPON ENTERING THE SITE FOR PURPOSES OF BEGINNING WORK, LOCATE GENERAL REFERENCE POINTS AND LAY OUT WORK AND BE RESPONSIBLE FOR LINES ELEVATION AND MEASUREMENTS, AND WORK EXECUTED UNDER THIS CONTRACT, EXERCISE PRECAUTIONS TO VERIFY FIGURES SHOWN ON PLANS BEFORE LAYING OUT WORK. CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSIONS AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTORS OR SUBCONTRACTORS WORK IN ANY WAY DEPENDENT. NO EXTRA OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN ON PLANS. ANY DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECTS. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST APPROVED CITY STANDARDS, THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS OBTAINED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED. 	<p>DOOR NUMBER ROOM NUMBER DOOR SCHEDULE HARDWARE GROUP</p> <p>WINDOW TYPE</p> <p>REVISION NUMBER</p> <p>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</p> <p>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>INTERIOR ELEVATION IDENTIFICATION SHEET WHERE INTERIOR ELEVATION IS DRAWN</p> <p>ROOM NAME ROOM NO. FLOOR BASE SCHEDULE FINISH SCHEDULE WALL SCHEDULE</p>
ABBREVIATION	GENERAL NOTES	SUBJECT DESCRIPTION	SYMBOL

 DESIGN • BUILD • MANAGEMENT		
1630 OAKLAND RD., STE A211 SAN JOSE, CA 95131		
OFFICE:	(408) 642-1628	
FAX:	(408) 642-1539	
DESIGNER: HAU-CHING LIAO (408) 901-8777 QING@LADC-ARCH.COM		
		
PROPERTY OWNER: YUEYUE GUO 2529 SCOTT BLVD. SANTA CLARA, CA 95050 TEL:(408) 387-2930		
PROJECT: <div style="text-align: center; font-size: 2em; font-weight: bold;"> ACUPUNCTURE OFFICE TENANT IMPROVEMENT </div> <div style="text-align: center;"> 2529 SCOTT BLVD. SANTA CLARA, CA 95050 </div>		
REVISION		
#	DATE	DESCRIPTION
▲	1/18/2018	ORIGINAL ISSUED
▲	2/06/2018	CITY COMMENTS
▲	3/02/2018	CITY COMMENTS
▲		
▲		
▲		
▲		
DATE: 1/18/2018 DRAWN: HL/MZ PROJECT NO.: J17-1771		
SHEET TITLE: <div style="text-align: center; font-weight: bold; font-size: 1.2em;">TITLE SHEET</div>		
SHEET OF: <div style="text-align: center; font-size: 3em; font-weight: bold;">A-0</div>		

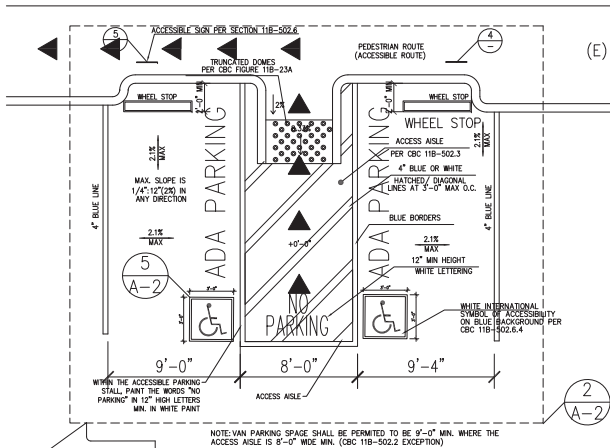
[illegible]

 NORTH

1/32"	1
-------	---



© COPYRIGHT © BY LADC CONSULTING INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS INTENDED ONLY FOR USE ON THE PROJECT SPECIFIED IN TITLE BLOCK. ANY REPRODUCTION OF THIS DOCUMENT OR PORTIONS OF THIS DOCUMENTS, WITHOUT THE EXPRESSED WRITTEN CONSENT OF LADC, IS PROHIBITED.



(E) ACCESSIBLE PARKING PLAN

1/4" 2

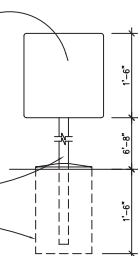
GENERAL NOTES

NTS 1

17"x22" REFLECTORIZED PORCELAIN ON STEEL SIGN MOUNTED OVER 17"x22" BLACK ANODIZED PANEL W/ MIN. 1" HIGH LETTERS STATING: UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____ THESE LETTERS TO BE HELVETICA MD., SCREEN PRINTED IN WHITE. CONTRACTOR TO VERIFY ADDRESS & PHONE NUMBER

2" SQ. T.S. POST, PAINTED

12" ~ CONC. FOOTING



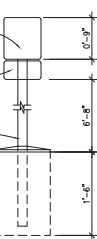
9"x8" REFLECTORIZED PORCELAIN ON STEEL SIGN W/ INTERNATIONAL HANDICAP SYMBOL, WHITE OVER BLUE BACKGROUND, BEADED TEXT

4"x8" REFLECTORIZED PORCELAIN ON STEEL SIGN INDICATING VAN POOL SIGN (LOCATED AS SHOWN ON SITE PLAN) MINIMUM 7/16" 2550" SIGN

2" SQ. T.S. POST, PAINTED

12" ~ CONC. FOOTING

* FOR WALL MOUNT SIGN ONLY W/ OUT POLE



(E) TOW-AWAY SIGN TYP.

NTS 3

(E) ACCESSIBLE PARKING SIGN TYP.

NTS 4

(E) INTERNATIONAL ACCESSIBLE SIGN

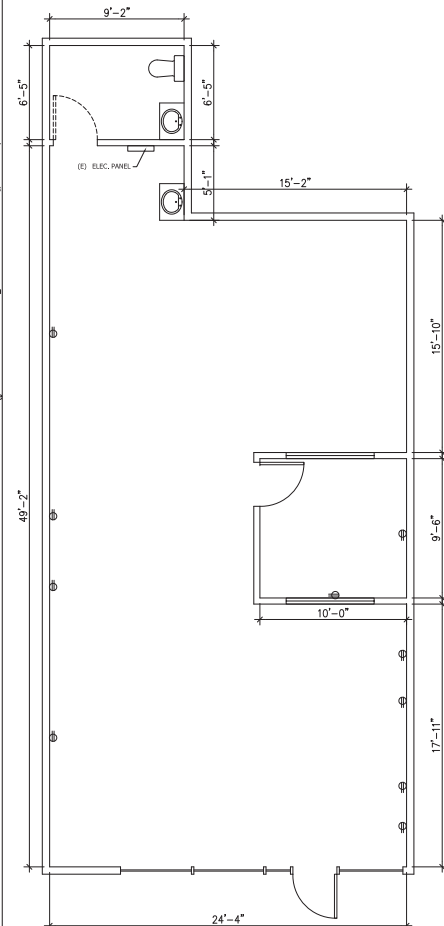
NTS 5

EXISTING/ DEMO FLOOR PLAN

1/4" 6

GENERAL NOTES

- All work shall be performed in accordance with National, State and Local regulations. Secure required permits. Arrange with owner and/or appropriate persons for service shutoffs before beginning work. Identify and coordinate all existing hardware and devices scheduled to remain or to be salvaged for reuse, verify with owner.
- All bidders submitting proposals for this work shall first examine the site (premises) and all such conditions as may affect the work under this contract. Failure to examine site will not relieve the successful bidder from necessity to provide work that may be required to complete the work without additional cost to the owner.
- Work to be performed under this contract shall include all demolition, site work, building construction, and improvements to the property designated in the construction documents. The intent of the construction contract is to provide a new MIN MIN POT completely in all respect with all work performed in a quality and workmanlike manner with the building ready for occupancy when construction is complete.
- Survey existing site and building conditions with compliance of ADA regulations and upgrade as required per codes. The contractor shall bring to the attention of the owner any conflicts, omissions, deletions, or errors in the drawings and/or specifications, which do not conform to the applicable zoning, code and other use regulations and/or to the AMERICANS WITH DISABILITIES ACT and regulations promulgated thereunder. The contractor shall not be liable to the owner or the architect for any damages resulting from any such errors except that contract shall be fully and exclusively liable upon failure to put architect on notice of said conflicts, omissions, deletions or errors.
- Contractor shall remove from the job site all crates, packing, debris, etc., from kitchen equipment. He shall broom clean the building interior daily. At the completion of the project, the contractor shall leave the building cleaned dust free, clean all glass, replace any broken glass, remove stains, spots, marks and dirt from decorated work, clean hardware, remove paint spots from all surfaces, clean fixtures, and wash all tile floors.
- If there is a conflict and/or errors between the plans and specifications, the specifications shall take precedence unless specifically indicated otherwise by the owner or owner's representative. It shall be the contractor's responsibility to notify the owner of the owner's agent of any conflicts, omissions deletions or errors in the plans or specifications encountered during the bidding period and the course of the construction before continuing the work affected.
- Coordinate all demolition operations with owner for shutdown periods and sequence of work. Protect existing hardware and devices to remain and assure continuing facility operations in general.
- Remove all demolished materials not scheduled for salvage and reuse, or those to become property of the owner, local authorities, or utility company, from the site and dispose of in accordance with local regulations. Confirm with the owner, proper authorities or utility company all items to be salvaged and returned to the appropriate party. All items to be turned over to the owner, local authorities or utility company, shall be protected during demolition and removal and shall be delivered to the appropriate party in an undamaged condition.
- All items scheduled to be salvaged for reuse, shall be removed with care, stored and protected from damage until salvaged items are incorporated in the new work. It shall be the contractors responsibility to replace and/or restore any items scheduled for salvage and reuse that are damaged during the course of contract operations the owner shall determine the suitability of these salvaged items for reuse in the work.
- Patch/repair/finish all surfaces exposed by demolition work to match and align with existing adjacent surfaces scheduled to remain and prepare to receive new finishes as specified. Work shall include all labor and materials required rendering substrates acceptable and receiving new finishes as specified in accordance with manufacturers written recommendations.
- When walls, columns or other supporting and/or bracing elements are scheduled for demolition, temporary structural supports and bracing for the adjacent construction shall be provided and maintained until the permanent supporting structures are in place and able to support imposed loads.
- Terminate, cap and remove all abandoned electrical conduit, wiring boxes, switches, etc., plumbing, and piping, fixtures, etc., HVAC, ductwork, controls, piping, etc., as required and per code.
- It is the responsibility of the G.C. to coordinate delivery, uncrating, positioning, final hook-up and removal of trash of all owners supplied kitchen equipment.
- All kitchen equipment to be installed as per manufacturers specifications. Refer to equipment plan for location and schedule.
- Verify electrical, gas, and water capacity for new equipment requirements.
- Existing construction and finishes to be protected from damage. Responsible party to match surrounding surfaces shall repair all materials damaged.
- G.C. to prepare all surfaces to receive new finishes per manufacturer specifications. Refer to exterior and interior finish schedules for material and color selections.
- The contract documents call for certain items to be supplied by the owner or others and installed by the general contractor. Other items are to be furnished and installed by the owner or others, the general contractor shall coordinate the work of all trades and cooperate in the preparations of surfaces, dimensions and utilities for work to be performed by the owner of others. Subcontractors installing mechanical, electrical and plumbing services for food service equipment to be installed by the owner or by others are cautioned that the rough-in dimensions shown on the plans are extremely critical. Error in locating services shall be corrected by the contractor performing the rough-in work at no additional cost to the owner.



LADC
DESIGN • BUILD • MANAGEMENT

1630 OAKLAND RD., STE A211
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAU-CHING LIAO
(408) 901-8777
QING@LADC-ARCH.COM



PROPERTY OWNER:

YUEYUE GUO
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

TEL: (408) 387-2930

PROJECT:

**ACUPUNCTURE OFFICE
TENANT IMPROVEMENT**
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

REVISION		
#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS
4		
5		
6		
7		
8		
9		
10		

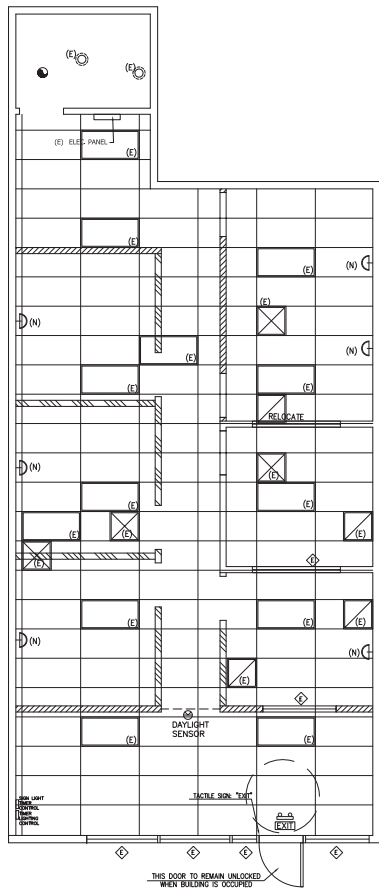
DATE: 1/18/2018
DRAWN: HL/MZ
PROJECT NO.: 317-1771

SHEET TITLE:

**ACCESSIBLE
PARKING
DETAILS&
GENERAL NOTES**

SHEET OF:

A-1.1



(E) REFLECTED CEILING PLAN

FINISH SCHEDULE

- FLOOR
- CERAMIC TILE
 - PERIOD
 - CARPET
- BASE
- 6" CERAMIC TILE BASE
 - 6" CONTINUOUS COVER BASE
 - 6" MOF BASE
- WALL
- EXISTING WALL PATCH, FINISH, REPAINT WHEN NECESSARY
 - GYPSON BOARD TYPE, SMOOTH FINISH, AND PAINT FLAT LATEX, 6" HIGH
- CEILING
- 4"-0"X2'-0" SUSPENDED ACOUSTIC CEILING TILE
 - 6'-0" TYPE "X" GYPSON BOARD, TYPE, TEXTURED FINISH AND PAINT SEMI-GLOSS

NTS 2

PROPOSED FLOOR PLAN

1/4" 3

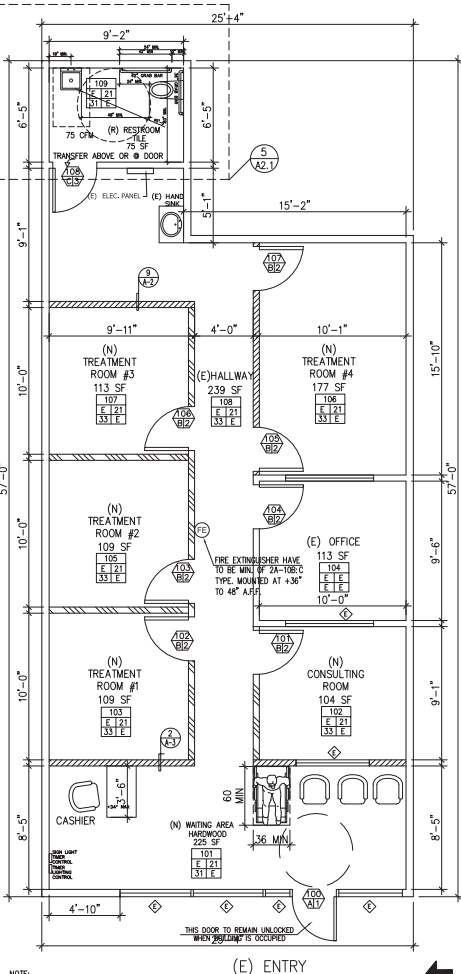
NOTE:

- PROVIDE TACTILE SIGNAGE THAT READS "EXIT" ● ALL EXIT DOOR PER CBC 101.4 & 110-703.
- PROVIDE INTERNATIONAL ACCESSIBLE SIGN ● ALL EXIT DOOR PER CBC 110-703.

LEGEND

- EXISTING WALLS TO REMAIN, REPAIR AND REPAINT AS REQUIRED
- (N) 3-5/8" X 20 GA. METAL STUDS @ 24" O.C. 7'-0" HT. W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (U.O.N)
- (N) 3-5/8" X 20 GA. METAL STUDS @ 24" O.C. UP TO CEILING W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (U.O.N)
- EXISTING EXTERIOR WINDOW

NORTH



ACCESSIBLE NOTES

NTS 4

NOTE:

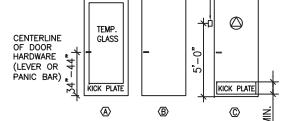
- CONTRACTOR TO VERIFY INTERIOR FINISHES WITH OWNER.
- TACTILE SIGNAGE PER SECTIONS 11B 216.9 2016 CBC.
 - MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN ONE FOOTCANDLE (111LUX) AT THE WALKING SURFACE PER CBC 1008.2.1
 - THE ENTRY DOOR SHOULD HAVE 10" KICK PLATE W/ 3" MAX THRESHOLD HEIGHT, AND 5 LBS MAX. OPENING EFFORT. LATCHING MECHANISMS ON EXIT PATHWAY DOORS SHALL COMPLY WITH CFC 2016, SECTION 1008.1.8. DOORS SHOULD OPEN ON A SINGLE ACTION WITHOUT SPECIAL KNOWLEDGE.
 - PROVIDE 2A 10BC RATED FIRE EXTINGUISHER FOR EVERY 3000 SQUARE FEET OR 75 FEET OF TRAVEL. FIRE EXTINGUISHERS SHALL BE MOUNTED NOT LESS THAN 4" FROM THE FLOOR AND NOT MORE THAN 60" TO THE TOP OF THE EXTINGUISHER. 2016 CFC, SECTION 900.3.
- DISABLED ACCESS NOTES:
- THE MAXIMUM CLOSURE FORCE: 5 POUNDS FOR EXTERIOR DOORS, 5 POUNDS FOR INTERIOR DOORS, AND 15 POUNDS FOR FIRE DOORS.
 - THE MAXIMUM PLATE HEIGHT OF THE CARPET SHALL NOT EXCEED 1/2 INCH. 2016 CBC SECTION 11B 202.2
 - CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL COMPLY WITH C.B.C. SECTION 11B-308 EXCEPT THAT THE LOW REACH SHALL BE MEASURED TO THE BOTTOM OF OUTLET BOX AND THE HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. C.B.C. SECTION 11B-308.1.1 (15 INCHES TO BOTTOM AND 48 INCHES TO TOP)
 - ELECTRICAL OUTLETS ON BRANCH CIRCUITS OR 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL COMPLY WITH C.B.C. SECTION 11B-308 EXCEPT THAT THE LOW REACH SHALL BE MEASURED TO THE BOTTOM OF OUTLET BOX AND THE HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. C.B.C. SECTION 11B-308.1.1 (15 INCHES TO BOTTOM AND 48 INCHES TO TOP)
 - COMPLY 1000 WITH TITLE 24 HANDICAP STANDARDS.
 - A PORTION OF THE FRONT COUNTER WHICH IS A MIN. 36" LONG IN LENGTH SHALL BE PROVIDED WITH A MAX. HT. OF 34". ALL OTHER COUNTERS SHALL BE +34" MAX. HT.
 - ALL OTHER COUNTERS MUST BE +34" HT. MAX.

NOTES

NTS 8

DOOR SCHEDULE

- (E) 3'-0"X7'-0"X1-3/4" GLASS STORE FRONT DOOR
- (N) 3'-0"X7'-0"X1-3/4" WOOD PANTED DOOR
- (N) 3'-0"X7'-0"X1-3/4" SOLID CORE DOOR, PAINTED W/ H.C. SIGN & S.S. KICK PLATE
- EXISTING DOOR



HARDWARE SCHEDULE

- GROUP 1 (PER DOOR)
- | GROUP | ITEM | QUANTITY | UNIT | DESCRIPTION |
|-------|----------------------|----------|---------|------------------|
| 1-1/2 | PAIR BUTTS | BB179 | X 4-1/2 | X4-1/2 X 10B STA |
| 1 | LOCKSET (LEVER TYPE) | AMS | | SCN |
| 1 | DOOR STOP | WP | X 10B | BBW |
- GROUP 2 (PER DOOR)
- | GROUP | ITEM | QUANTITY | UNIT | DESCRIPTION |
|-------|----------------------|----------|---------|------------------|
| 1-1/2 | PAIR BUTTS | BB179 | X 4-1/2 | X4-1/2 X 10B STA |
| 1 | PRIVATE (LEVER TYPE) | L-SERIES | | SCN |
| 1 | CLOSER | 4030 | SERIES | LCN |
| 1 | DOOR STOP | WP | X 10B | BBW |
| 1 | J-MOLD | | | DOOR SILL |
- GROUP 3 (PER DOOR)
- | GROUP | ITEM | QUANTITY | UNIT | DESCRIPTION |
|-------|-------------------|----------|------|-------------------|
| 1 | TOP TRACK SLIDER | | | ADA COMPLIED TYPE |
| 1 | FLUSH TYPE PULLER | | | ADA COMPLIED TYPE |
| 1 | FLUSH TYPE HANDLE | | | ADA COMPLIED TYPE |
| 1 | J-MOLD | | | DOOR SILL |
| 1 | SELF-CLOSING | | | |
- * THE EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR INTERIOR DOORS.

DOOR HARDWARE NOTES:

- THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS PER CBC 2016 SECTION 1008.1.3 & SECTION 11B-404.2.9.
- LEVER TYPE DOOR HARDWARE.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CBC 1008.1.9.
- MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET.
- DOOR HANDLES, PULLERS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48" MAXIMUM ABOVE THE FINISHED FLOOR. LOOKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT. CBC 1008.1.9.2.

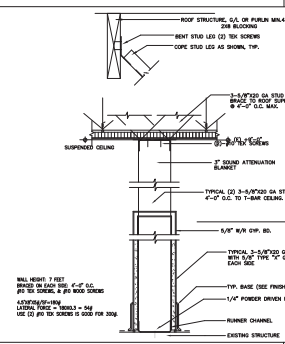
DOOR SCHEDULE

NTS 5

OCCUPANT LOAD CALCULATION			
AREA	AREA	FACTOR	OCCUPANTS
OFFICE	113 SF	100 GROSS	2
CONSULTING ROOM	104 SF	100 GROSS	2
TREATMENT ROOM #1	109 SF	100 GROSS	2
TREATMENT ROOM #2	109 SF	100 GROSS	2
TREATMENT ROOM #3	113 SF	100 GROSS	2
TREATMENT ROOM #4	177 SF	100 GROSS	2
HALLWAY	239 SF	0	0
RESTROOM	75 SF	0	0
WAITING AREA	225 SF	0	0
TOTAL	1,264 SF		18

OCCUPANT LOAD CALCULATION

NTS 6



NOTES

NTS 9

LADC

DESIGN • BUILD • MANAGEMENT

1630 OAKLAND RD., STE A211

SAN JOSE, CA 95131

OFFICE: (408) 642-1628

FAX: (408) 642-1539

DESIGNER:

HAU-CHING LIAO

(408) 901-8777

QINGHAI-ARCH.COM



PROPERTY OWNER:

YUEYUE GUO

2529 SCOTT BLVD.

SANTA CLARA, CA 95050

TEL: (408) 387-2930

PROJECT:

ACUPUNCTURE OFFICE

TENANT IMPROVEMENT

2529 SCOTT BLVD.

SANTA CLARA, CA 95050

REVISION

#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS

DATE: 1/18/2018

DRAWN: HL/MZ

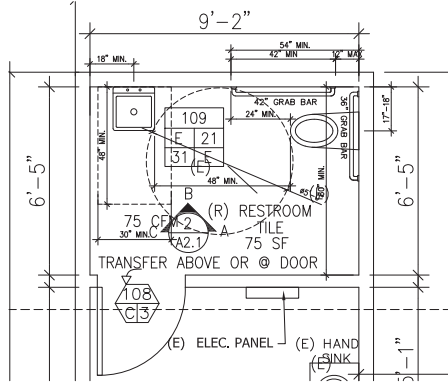
PROJECT NO.: 317-1771

SHEET TITLE:

PROPOSED FLOOR PLAN & GENERAL NOTES

SHEET OF:

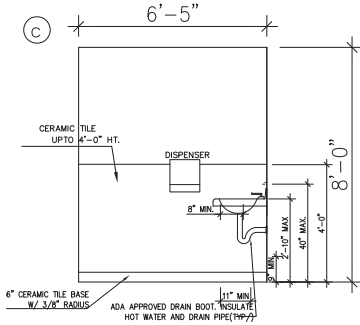
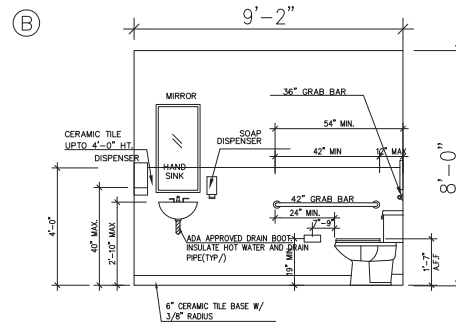
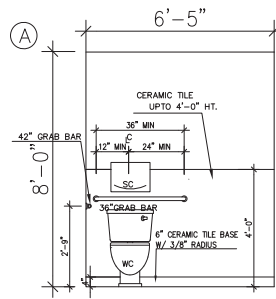
A-2



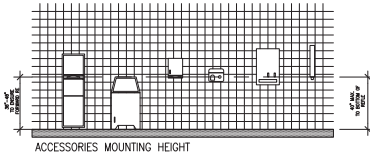
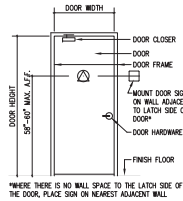
(N) ACCESSIBLE RESTROOM PLAN

1/4" 1

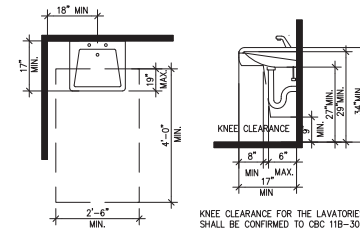
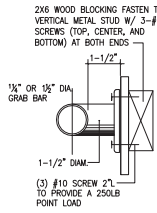
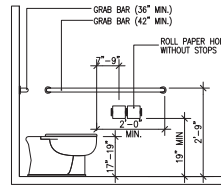
RESTROOM ELEVATIONS



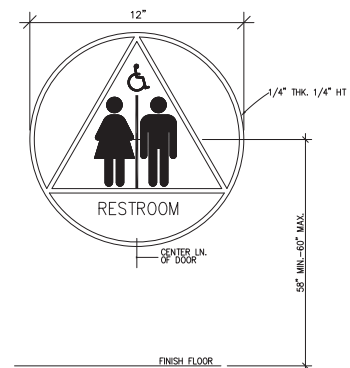
1/4" 2



GRAB BAR SHALL HAVE A GRIPPING SURFACE WITH A DIAMETER OR 1-1/2" TO 1-3/4" LOCATED WITH A SPACE BETWEEN THE WALL AND GRAB BAR OF 1-1/2". CBC 1115B.7.1.

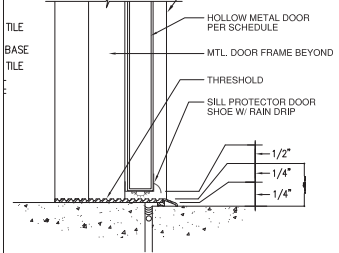
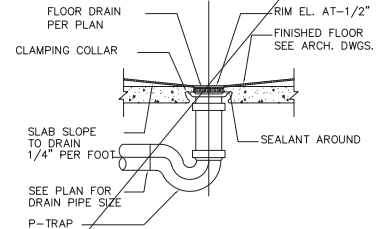
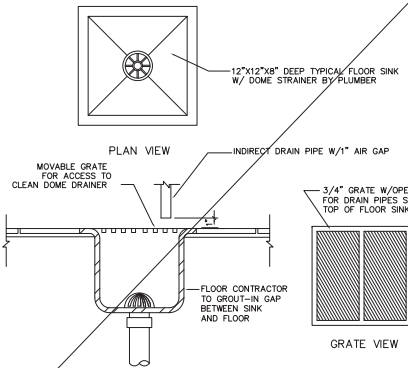


NOTE: UNisex SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER WITH A 1/4 INCH (6.4 MM) THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH (305 MM) DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. CBC 1115B.6.3.



ACCESSIBLE RESTROOM DETAILS

1/4" 3



ACCESSIBLE NOTES:

1. LAVATORIES, WHEN LOCATED ADJACENT TO A SIDE WALL OR PARTITION, SHALL BE A MINIMUM OF 18 INCHES (457 MM) TO THE CENTERLINE OF THE FIXTURE. ALL LAVATORIES THAT ARE DESIGNATED TO BE ACCESSIBLE SHALL BE A MINIMUM 17 INCHES (432 MM) IN HORIZONTAL DEPTH AND MOUNTED WITH THE RIM OR COUNTER EDGE NO HIGHER THAN 34 INCHES (864 MM) ABOVE THE FINISHED FLOOR AND WITH VERTICAL CLEARANCE MEASURED FROM THE BOTTOM OF THE APRON OR THE OUTSIDE BOTTOM EDGE OF THE LAVATORY OF 29 INCHES (737 MM) REDUCING TO 27 INCHES (686 MM) AT A POINT LOCATED 8 INCHES (203 MM) BACK FROM THE FRONT EDGE. IN ADDITION, A MINIMUM 9-INCH-HIGH (230 MM) TOE CLEARANCE MUST BE PROVIDED EXTENDING BACK TOWARD THE WALL TO A DISTANCE NO MORE THAN 6 INCHES (150 MM) FROM THE BACK WALL. THE TOE CLEARANCE SPACE MUST BE FREE OF EQUIPMENT OR OBSTRUCTIONS. CBC 11B DIVISION 6.
2. A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES (762 MM BY 1219 MM) COMPLYING WITH SECTION 1115B.4 SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUM OF 19 INCHES (483 MM) INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY. SEE FIGURE 11B-10, KNEE CLEARANCE. CBC 11B DIVISION 6.
3. HOT WATER AND DRAINPIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. CBC 11B DIVISION 6.
4. THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES (432 MM) AND A MAXIMUM OF 19 INCHES (483 MM) MEASURED TO THE TOP OF A MAXIMUM 2-INCH (51 MM) HIGH TOILET SEAT. CBC 11B DIVISION 6.
5. FAUCET CONTROL SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS. NO MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS-FORCE (LBF) (22.2 N). CBC 11B DIVISION 6.

ACCESSIBLE RESTROOM DETAILS

1/4" 4

FLOOR SINK DETAIL

NTS 5

THRESHOLDS DETAIL

NTS 6

ACCESSIBLE RESTROOM DETAILS

1/4" 7

DESIGN • BUILD • MANAGEMENT

1630 OAKLAND RD., STE A211
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAU-CHING LIAO
(408) 901-8777
QING@LADC-ARCH.COM

PROPERTY OWNER:

YUEYUE GUO
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

TEL: (408) 387-2930

PROJECT:

ACUPUNCTURE OFFICE
TENANT IMPROVEMENT

2529 SCOTT BLVD.
SANTA CLARA, CA 95050

REVISION		
#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS

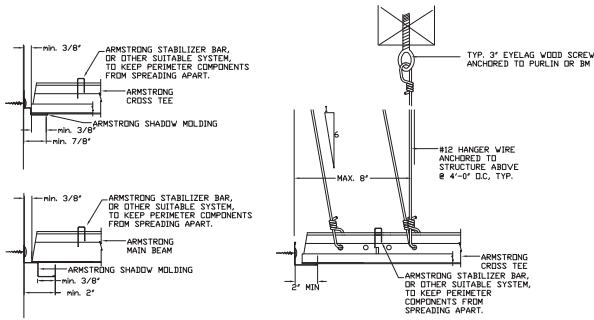
DATE: 1/18/2018
DRAWN: HL/MZ
PROJECT NO.: 317-1771

SHEET TITLE:

ACCESSIBLE RESTROOM PLAN & NOTES

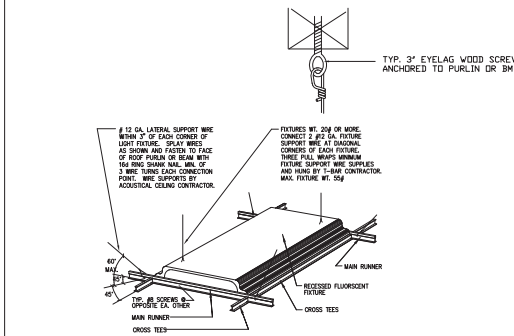
SHEET OF:

A-2.1



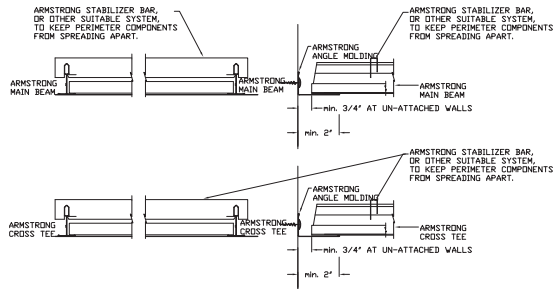
SEISMIC DETAIL CAT. CDEF

3" 1



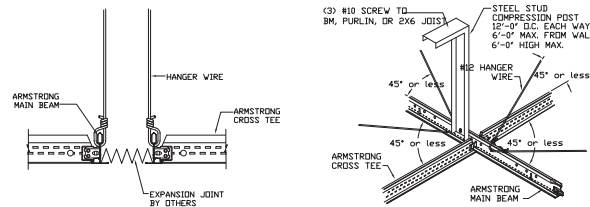
TYP. T-BAR LIGHT SUPPORT

3" 5



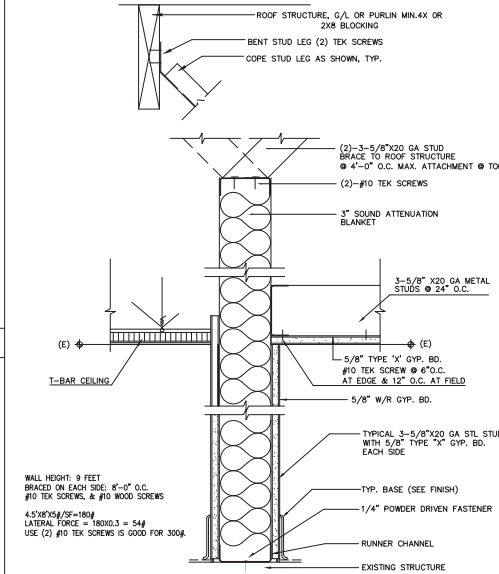
STABILIZER BAR INSTALLATION

3" 2



COMPRESSION POST AND SPLAY WIRE INSTALLATION

3" 3

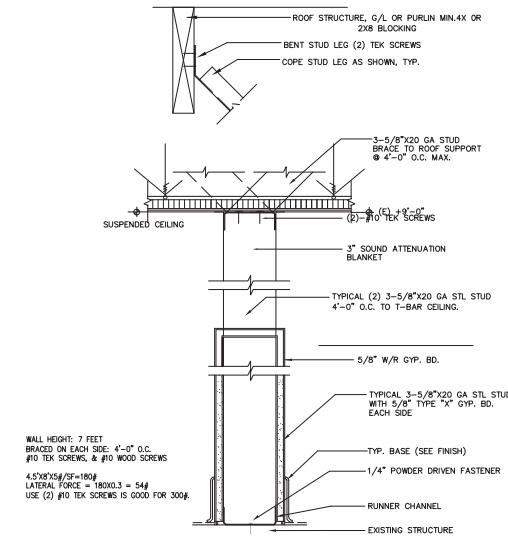
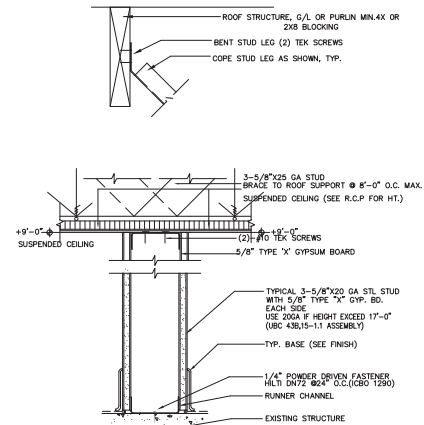


RESTROOM WALL DETAIL

3" 6

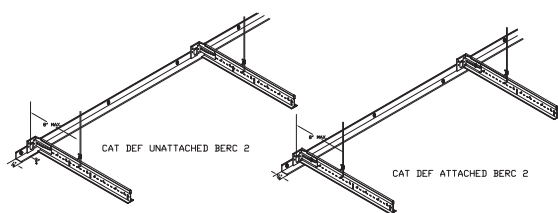
PARTITION DETAIL

3" 8



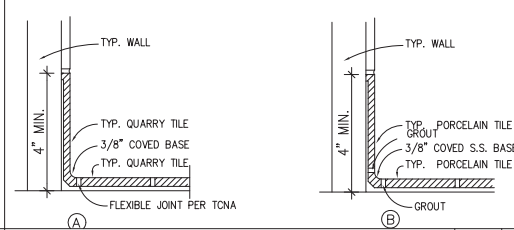
TYP. T-BAR LIGHT SUPPORT

NTS 9



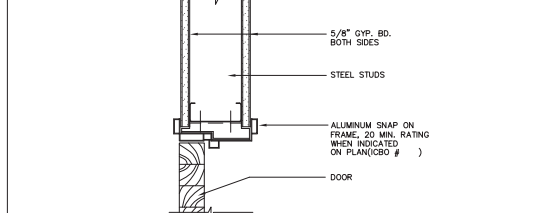
BRACING DETAIL

3" 4



COVERED BASE DETAIL

3" 7



DOOR DETAIL

NTS 10

LADC
DESIGN • BUILD • MANAGEMENT
1630 OAKLAND RD., STE A211
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAU-CHING LIAO
(408) 901-8777
QING@LADC-ARCH.COM



PROPERTY OWNER:
YUEYUE GUO
2529 SCOTT BLVD.
SANTA CLARA, CA 95050
TEL: (408) 387-2930

PROJECT:
**ACUPUNCTURE OFFICE
TENANT IMPROVEMENT**
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

REVISION		
#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS

DATE: 1/18/2018
DRAWN: QLMZ
PROJECT NO.: 317-1771

SHEET TITLE:
**ARCHITECTURAL
DETAILS**

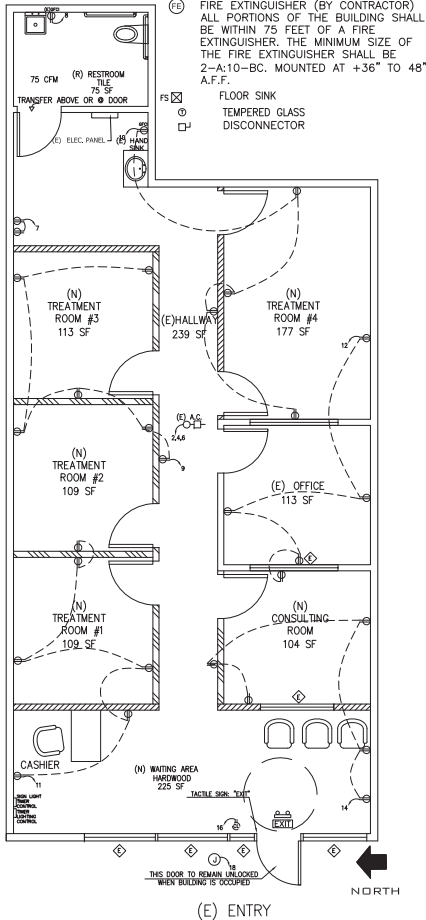
SHEET OF:

A-3

LEGEND

- EXISTING WALLS TO REMAIN, REPAIR AND REPAINT AS REQUIRED
(N) 3-5/8" X 20 GA. METAL STUDS @ 24" O.C AND 6" ABOVE CEILING W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (U.O.N) OR SEE FINISH SCHEDULE FOR MORE DETAIL. SEE DETAIL @ 1/A3.1.
(N) 3-5/8" X 20 GA. METAL STUDS @ 24" O.C AND 6" ABOVE CEILING W/ 5" SOUND BATT INSULATION W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (U.O.N) OR SEE FINISH SCHEDULE FOR MORE DETAIL. SEE DETAIL @ 1/A3.1.
EXISTING EXTERIOR WINDOW

- DUPLEX 110VAC OUTLET (FLOOR MOUNT)
DUPLEX 110VAC OUTLET (CEILING MOUNT)
DUPLEX 110VAC OUTLET
GFCI DUPLEX 110VAC OUTLET
DUPLEX 220VAC OUTLET
INTERNET JACK
TELEPHONE JACK
TV CABLE JACK
FIRE EXTINGUISHER (BY CONTRACTOR)
ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE FIRE EXTINGUISHER SHALL BE 2-A:10-BC, MOUNTED AT +36" TO 48" A.F.F.
FLOOR SINK
TEMPERED GLASS DISCONNECTOR

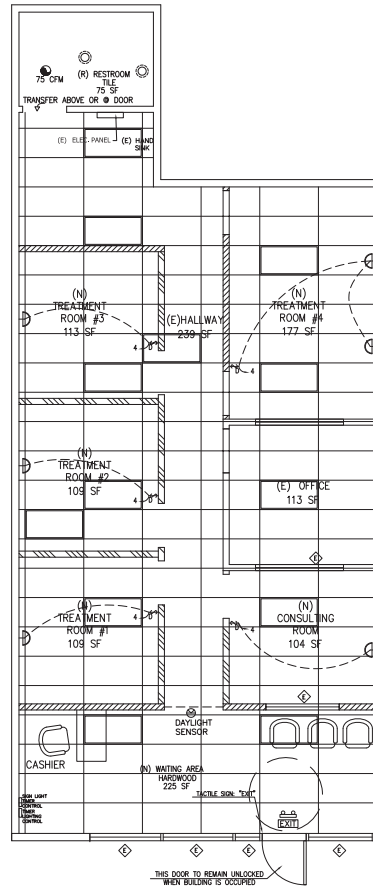


ELECTRICAL POWER PLAN

1/4" 1

CEILING LEGEND

- 2X4 T-BAR CEILING
2X4 LED LIGHT (L-1)
4" LED LIGHT (L-2)
LIGHT SWITCH
3 WAY LIGHT SWITCH
SUPPLY AIR DIFFUSER
RETURN AIR DIFFUSER
EXHAUST FAN
OCCUPANCY SENSOR
EMERGENCY LIGHT (W/ BATTERY BACKUP)
EXIT LIGHT
EXISTING
RELOCATED
NEW
JUNCTION BOX
DAYLIGHT SENSOR
5"-6" WALL CONCES LED LIGHT (L-3)



LIGHTIGN PLAN

1/4" 2

TYPE		120/208 VOLT			3 PHASE			4 WIRE		
MOUNTING: SURFACE		100 A. MAIN BREAKER			100 A. WIRE					
		LOAD=VOLT x AMPS			BKR			LOAD=VOLT x AMPS		
		A	B	C	POLE	NO.	PHASE	A	B	C
DESCRIPTION										
LIGHTING		600	20	1	1	2	40	1800		
LIGHTING		600	20	1	1	4	20	1		
SECURITY TIMER		200	20	1	1	6	20	3		
REF. & MICROWAVE		1500	20	1	7	8	20	1	500	
RECEPTACLE OUTLETS		1000	20	1	8	10	20	1	1000	
RECEPTACLE OUTLETS		1000	20	1	11	12	20	1	1000	
GYP ROOF		500	20	1	13	14	20	1	1000	
			20	1	15	16	20	1	1200	
			20	1	17	18	20	1	1200	
		2600	1600	1200				3300	4000	4000
TOTAL		16.70	KVA						49.17	A

NOTES:

- RECEPTACLES 15" TO THE BOTTOM OF THE BOX.
- PHONE AND COMMUNICATION 15" TO THE BOTTOM OF THE BOX.
- SWITCHES AND CONTROLS 48" TO THE TOP OF THE BOX.

ELECTRICAL PANEL SCHEDULE

NTS 3

RECEPTACLES & SWITCHES INSTALLATION

- RECEPTACLE(15,20,30 AMPERE) OUTLETS REQUIRED BY SEC-210-52 (A), (B), (C), SHALL BE INSTALLED NOT LESS THAN 15 INCHES ABOVE THE FINISHED FLOOR, 2013 E.C. TITLE-24, PART 3 SEC. 210-50 (E).
- SWITCHES, CONTROLS, ETC. USED FOR THE OPERATION OF LIGHTING, HEATING, COOLING, VENTILATION EQUIPMENT SHALL BE INSTALLED NOT MORE THAN 48 INCHES ABOVE THE FINISH FLOOR, 2013 E.C. TITLE-24, PART 3 SEC. 380-8(C).
- CONDITIONS WHICH MAY AFFECT HIS WORK PRIOR TO SUBMITTING BID, HE SHALL VERIFY ALL ELECTRICAL WORK SHOWN EXISTING AND SHALL INCLUDE ALL NECESSARY LABOR AND MATERIALS IN HIS PROPOSAL TO CONNECT SERVICES AND LIGHTING CIRCUITS TO PROVIDE FULLY OPERATIONAL SYSTEMS. ANY DISCREPANCIES NOTED SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BID & PRIOR TO CONSTRUCTION.
- ALL CONDUCTORS FOR HVAC UNIT CONNECTIONS SHALL BE COPPER ELECTRICAL. CONTRACTOR SHALL VERIFY WIRE AND CONDUIT SIZE WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN OF ELECTRICAL.
- ALL DISCONNECT SWITCHES SHALL BE FUSIBLE NEMA 3R, SIZE AS REQUIRED. ALL HVAC UNITS SHALL BE FUSED PER EQUIPMENT NAMEPLATE SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY DISCONNECT AND FUSE SIZING WITH MECHANICAL CONTRACTOR PRIOR TO OPERATING MATERIALS.
- ROOF MOUNTED EQUIPMENT LOCATIONS SHOWN ARE APPROXIMATE CONTRACTOR TO VERIFY EXACT EQUIPMENT LOCATIONS. @ SITE.
- NO CONDUIT SHALL BE RUN ON ROOF. APPROPRIATE ROOF JACKS SHALL BE PROVIDED FOR ALL ROOF PENETRATIONS. COORDINATE WITH MECHANICAL CONTRACTOR AT JOB SITE. ENTER UNITS WITHIN ROOF CURBS WHERE POSSIBLE. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY LOCATING ROOF PENETRATIONS.
- LOCATE NEMA 3R ROOF RECEPTACLES SO THAT NO MECHANICAL UNIT IS FURTHER THAN 20' FROM A RECEPTACLE. PROVIDE ALL NECESSARY HARDWARE FOR RECEPTACLE OUTLET SUPPORT.
- REFER TO MECHANICAL DRAWING FOR CONTROL WIRING. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT ON ROOF PENETRATIONS FOR CONTROL WIRING AS REQUIRED. COORDINATE WITH MECHANICAL CONTRACTOR AT JOB SITE.
- ALL CONDUCTORS ARE TO BE COPPER WITH TYPE THHN INSULATION. PROVIDE QUALITY WIRES AS REQUIRED. USE #12 AWG MIN. U.O.N.
- ALL ELECTRICAL DISTRIBUTION AND OVER CURRENT PROTECTION EQUIPMENT MUST MEET OR EXCEED THE MINIMUM SHORT CIRCUIT CURRENT RATING CALCULATED BASED UPON THE ACTUAL RATING SUPPLIED BY THE UTILITIES.
- ALL ELECTRICAL EQUIPMENT AND DEVICES ARE TO BE NEW AND BEAR UNDERWRITERS LABORATORY LABEL (U.L.)
- ALL WORK PERFORMED SHALL COMPLY WITH THE 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.) ALL OTHER APPLICABLE STATE AND LOCAL CODES STANDARDS.
- CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR FOR A COMPLETE AND OPERABLE SYSTEM.
- WHERE GROUPED TOGETHER, INSTALL TELEPHONE AND ELECTRICAL WALL DEVICES AT 6" CENTER TO CENTER, U.O.N.
- FOR OUTLETS INDICATED AT SPECIAL MOUNTING HEIGHTS, THE HEIGHT DIMENSION IS MEASURED FROM THE FINISH FLOOR TO THE CENTER LINE OF THE OUTLET MEASURED VERTICALLY.
- ALL FLUORESCENT FIXTURES SHALL HAVE ENERGY SAVING BALLASTS AND ENERGY SAVING LAMPS.
- ALL PENETRATIONS OF FIRE RATED CONSTRUCTION SHALL COMPLY WITH THE 2013 C.B.C. REQUIREMENTS.
- ALL CALLED OUT AS SURFACE MOUNTED SHALL BE SECURELY ATTACHED TO THE BUILDING STRUCTURE WITHOUT EXCEPTION.
- TELEPHONE CONDUIT SHALL BE MIN. OF 3/4" CONDUIT FOR SINGLE OUTLETS AND MIN. 1" CONDUIT FOR DUAL (2) OUTLETS WITH A MAX. OF 2 OUTLETS PER RUN.
- ALL GROUNDING FOR ANY PURPOSE SHALL BE DONE IN STRICT COMPLIANCE WITH ARTICLE #250 OF THE 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)
- TEST ALL ELECTRICAL SYSTEMS AS A WHOLE AT COMPLETION OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- COORDINATE ALL WORK WITH OTHER TRADES FOR THE EXTENT OF WORK AND OTHER TECHNICAL REQUIREMENT
- PROVIDE ALL REQUIRED DEVICES AND EQUIPMENT FOR COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
- ALL CONDUIT SHALL BE CONCEALED. MINIMUM SIZE SHALL BE 1/2" TRADE SIZE. EMT SHALL BE USED IN HUNG CEILING AND NON-MASONRY WALLS. INSTALLATION OF ALL FLEXIBLE METAL CONDUIT SHALL BE IN ACCORDANCE WITH NEC-350. CONDUIT PENETRATIONS FROM OUTSIDE WALLS SHALL BE WATERPROOFED.
- MOUNT BOXES TO BUILDING STRUCTURE WITH SUPPORTING FACILITIES INDEPENDENT OF RACEMAYS ENTERING OR LEAVING BOXES. SET BOXES SQUARE AND TRUE WITH BUILDING FINISH.
- COLOR CODE CONDUCTORS TO MATCH COLOR CODING AS IN ACCORDANCE WITH THE CITY ELECTRICAL ORDINANCE.
- VERIFY EXISTING CONDITIONS IN THE FIELD. INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE.
- ALL WALL SWITCHES SHALL BE MOUNTED AT A MAX. OF 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. NOTED ALL RECEPTACLES SHALL BE MOUNTED AT A MIN. OF 15" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE AS MANUFACTURED BY HUBBELL, SIERRA OR LEVITON.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION & HEIGHT OF ALL DEVICES WITH APPROVED CABINETRY & SHELVING DRAWINGS PRIOR TO ROUGH-IN.
- RECEPTACLE ELEVATION MINIMUM 15" CENTER A.F.F. FOR OUTLETS ON O.K.T'S OF 30 AMPERES OR LESS.
- PROVIDE ONE 120 VOLT RECEPTACLE LOCATED WITHIN 25FT OF EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES.

ELECTRICAL GENERAL NOTES

1/4" 3



1630 OAKLAND RD., STE A211
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAU-CHING LIAO
(408) 901-8777
QING@LADC-ARCH.COM



PROPERTY OWNER:

YUEYUE GUO
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

TEL: (408) 387-2930

PROJECT:

ACUPUNCTURE OFFICE
TENANT IMPROVEMENT
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

REVISION		
#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS

DATE: 1/18/2018
DRAWN: QLMZ
PROJECT NO.: 317-1771

SHEET TITLE:
LIGHTING PLAN & ELEC. POWER PLAN & NOTES

SHEET OF:

E-1

1. ALL PLUMBING WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL APPROVALS REQUIRED FROM REGULATORY AGENCIES BEFORE STARTING WORK.
2. ALL PLUMBING WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITIONS OF THE LOCAL PLUMBING CODE AND 2013 C.B.C. UNLESS OTHERWISE REQUIRED BY BUILDING DEPARTMENT.
3. INSTALLATION SHALL CONFORM TO THE ENERGY CONSERVATION DESIGN MANUAL STANDARDS FOR NEW NON-RESIDENTIAL BUILDINGS INCLUDING FAUCET FLOW REGULATORS.
4. OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES.
5. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND ADEQUACY OF ALL EXISTING PLUMBING LINES AND SERVICES SHOWN PRIOR TO BEGINNING WORK.
6. CONTRACTOR SHALL COORDINATE INSTALLATION OF PLUMBING WORK WITH ALL OTHER TRADES SO AS TO AVOID UNNECESSARY DELAY OR INTERFERENCES.
7. COORDINATE ALL TRENCHING AND CONCRETE SAW CUTTING REQUIRED WITH GENERAL CONTRACTOR.
8. DOMESTIC WATER PIPING: ABOVE GROUND SHALL BE COPPER TYPE "L" BELOW GROUND OUTSIDE OF BUILDING SHALL BE TYPE "K".
9. INSULATE DOMESTIC HOT WATER PIPING WITH 1/2" THICK ARMAFLEX CLOSED CELL FOAM PIPE INSULATION.
10. INSTALL SHUT-OFF VALVES ON ALL HOT AND COLD WATER LINES. ALL EXPOSED LINES TO BE CHROME PLATED.
11. SOIL PIPING SHALL BE SERVICE WEIGHT COATED CAST IRON HUBLESS PIPE AND FITTINGS.
12. SOIL AND WASTE PIPE SHALL SLOPE 2% MINIMUM UNLESS OTHERWISE NOTED.
13. RUN NEW 3" SANITARY SEWER AND 3/4" COLD WATER TO CONNECT TO EXISTING SERVICES OF BUILDING.
14. ALL NEW PENETRATIONS THROUGH EXISTING ROOF SHALL BE FLASHED AND COUNTER FLASHED WATER TIGHT.
15. CONNECT VENT RISERS ABOVE CEILING WHERE POSSIBLE TO MINIMIZE THE NO. OF VENTS THROUGH ROOF. ALL VENTS THROUGH ROOF SHALL TERMINATE A MINIMUM OF 10 FEET FROM ANY OUTDOOR AIR INTAKES AND BE OFFSET 5 FEET FROM PARAPET WALL.
16. OFFSET VENTS AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURES OR DUCTWORK. IF OFFSETS REQUIRE THAT HORIZONTAL SECTIONS OF THE VENT EXCEED ONE THIRD OF THEIR TOTAL LENGTH, INCREASE THE VENT ONE PIPE SIZE.
17. ANY CONFLICTS, OMISSIONS, ETC. SHALL BE REPORTED TO THE ARCHITECT/SOWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK.
18. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS/DIMENSIONS PRIOR TO INSTALLING ANY WORK.
19. AUTOMATIC TRAP PRIMERS SHALL BE INSTALLED FOR PROTECTION OF TRAP SEAL.
20. PROVIDE CLEANOUTS AT 100' INTERVALS, OR FRACTION THEREOF, CPC SECTION 707.4.
21. PROVIDE CLEANOUTS FOR ALL BRANCHES 2' AND LONGER, CPC SECTION 707.4.
22. PROVIDE CLEANOUTS FOR URINALS, UPC SECTION 707.4.
23. PROVIDE APPROVED AUTOMATIC TRAP PRIMING DEVICES FOR THE FLOOR DRAINS, UPC SECTION 1007.0.
24. ALL FIXTURES SHALL BE PROVIDED WITH A VENT, UPC SECTION 901.0.
25. THE MINIMUM SLOPE FOR DRAIN SHALL BE 1/4" PER 12".

PLUMBING GENERAL NOTES NTS 1

FIXTURE SCHEDULE					
FIXTURES	NO.	CONNECTION SIZES			FEATURES
		VENT	C.W.	H.W.	
LAVATORY	1	1-1/2"	3/4"	3/4"	0.5 GPM FAUCET
WATER CLOSET	1	1-1/2"	3/4"		18" HEIGHT, OFLC SEAT, 1.6 GRAVITY TANK

FIXTURE SCHEDULE NTS 2

PIPE MATERIALS SCHEDULE	
SANITARY SOIL, WASTE, VENT (BELOW GROUND)	CAST IRON OR ABS. BELL AND PLAIN END WITH NEOPRENE COMPRESSION GASKETS WITH CORROSION PROTECTION.
SANITARY SOIL, WASTE, VENT (ABOVE GROUND)	CAST IRON, SOIL, PLAIN END (NO HUB)
POTABLE WATER (BELOW GROUND)	TYPE "L" COPPER WITH MACHINE WRAP WITH "SM" PIPE WRAP DOUBLE HAND WRAP ALL JOINTS AND FITTINGS.
POTABLE WATER (ABOVE GROUND)	SMALLER THAN 4" TYPE "L" COPPER HARD DRAWN COPPER, SEAMLESS WROUGHT COPPER FITTINGS, SOLDER PATTERN.
FLOOR CLEANOUT	ZURN 20-1400 FLOOR CLEANOUT, DURA COATED CAST IRON BODY WITH GAS AND WATERTIGHT ABS TAPERED THREAD PLUG AND ROUND POLISHED MODEL BRONZE SOBRATED TOP.

PLUMBING FIXTURE CALCULATION NTS 3

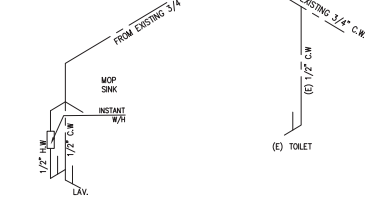
- * INSULATE HOT WATER LINES
- HOT WATER SUPPLY
— COLD WATER SUPPLY

WATER SUPPLY:

1 LAVATORY	● 1.5 UNITS E.A.	1.5 W.S.F.U.
1 WATER CLOSET	● 2.5 UNITS E.A.	2.5 W.S.F.U.
1 HAND SINK	● 1.5 UNITS E.A.	1.5 W.S.F.U.
TOTAL		5.5 W.S.F.U.

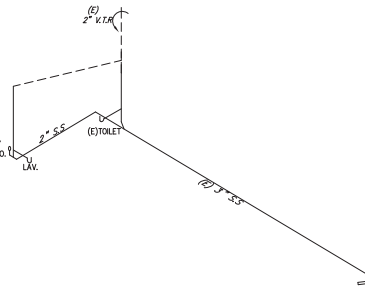
CPC 2016 TABLE 610.4
PRESSURE RANGE-30 TO 45 PSI
7" WATER PIPE IN 100 FT CAN SUPPORT
MAX. 36 FIXTURE UNITS

THIS BUILDING FIXTURE UNIT IS 9 < 36



WATER SUPPLY ISOMETRIC NTS 4

SEWER LINE:			
1 LAVATORY	● 2 UNITS E.A.	2 D.F.U.	
1 WATER CLOSET	● 4 UNITS E.A.	4 D.F.U.	
TOTAL		6 D.F.U.	

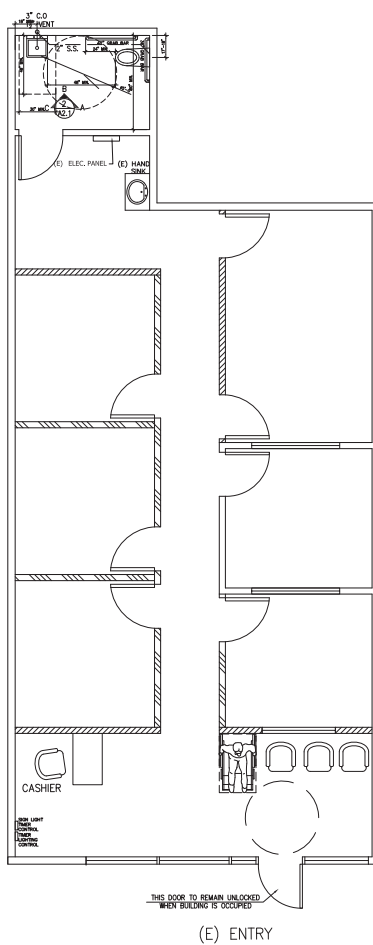


WATER DRAINAGE ISOMETRIC NTS 5

NOTES:
* WATER PRESSURE IS TESTED TO BE AT 65 PSI.
* MAXIMUM LENGTH OF WATER PIPE RUNNING FROM THE WATER METER TO THE FAREST POINT IS ABOUT 250'-0", REQUIRED PIPE SIZE FOR METER AND STREET SERVICE IS 3/4" FOR BUILDING SUPPLY AND BRANCHES IS 1-1/2".
* PER UPC TABLE 6-5, THE CORRESPONDING FIXTURE UNIT TABLE FOR DETERMINING WATER PIPE AND METER SIZES IS SHOWN BELOW:

BUILDING SUPPLY & BRANCHES, INCHES	ALLOWABLE F.U.
1/2"	3
3/4"	11
1"	27
1-1/4"	29

PIPE MATERIAL SCHEDULE NTS 6



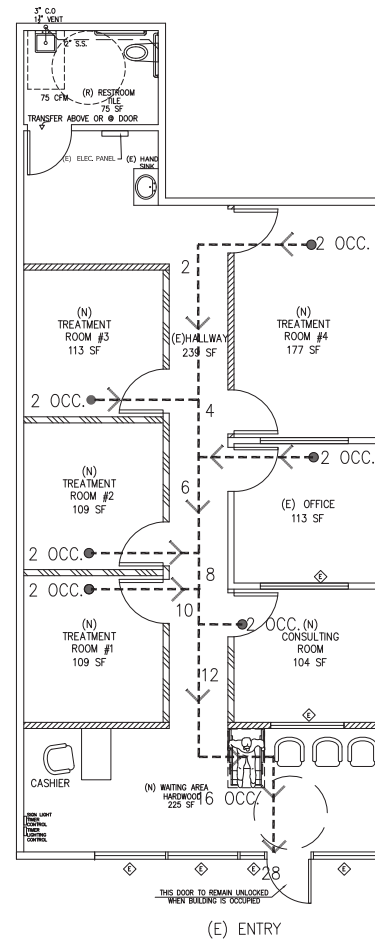
PLUMBING PLAN 1/4" 7

WATER HEATER INSTALLATION CPC 2016

INSTALLATION SHALL COMPLY WITH THE FOLLOWING:

- A. P & T VALVE SHALL TERMINATE OUTSIDE OF THE BUILDING, SECTION 608.5.
- B. PROVIDE THERMAL EXPANSION CONTROL PER SECTION 608.3.
- C. PROVIDE SEISMIC RESTRAINT (TOP & BOTTOM) PER SECTION 510.4.
- D. FUEL BURNING UNITS SHALL HAVE COMBUSTION AIR PER SEC. 507.0.
- E. WHERE DAMAGE MAY RESULT FORM A LEAKING HEATER, PROVIDE A WATERTIGHT PAN (WITH DRAIN) PER SECTION 510.7.
- F. WATER HEATERS MORE THAN 8 FEET HIGH ABOVE THE GROUND SHALL BE PROVIDED WITH ACCESS VIA A PERMANENT LADDER, SEC. 511.2.
- G. PROVIDE 30 INCHES BY 30 INCHES WORKING SPACE IN FRONT OF THE FIRE BOX PER SECTION 511.5.

WATER HEATER NOTE NTS 8



EXIT PLAN 1/4" 9



1630 OAKLAND RD., STE A211
SAN JOSE, CA 95131

OFFICE: (408) 642-1628
FAX: (408) 642-1539

DESIGNER:
HAU-CHING LIAO
(408) 901-8777
QING@LADC-ARCH.COM



PROPERTY OWNER:

YUEYUE GUO
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

TEL: (408) 387-2930

PROJECT:

ACUPUNCTURE OFFICE
TENANT IMPROVEMENT
2529 SCOTT BLVD.
SANTA CLARA, CA 95050

REVISION		
#	DATE	DESCRIPTION
1	1/18/2018	ORIGINAL ISSUED
2	1/18/2018	CITY COMMENTS
3	1/18/2018	CITY COMMENTS
4		
5		
6		
7		
8		
9		
10		

DATE: 1/18/2018
DRAWN: HL/MZ
PROJECT NO.: J17-1771

SHEET TITLE:
**PLUMBING PLAN
& NOTES**

SHEET OF:

P-1

[illegible][illegible][illegible]

 DESIGN • BUILD • MANAGEMENT		
1630 OAKLAND RD., STE A211 SAN JOSE, CA 95131		
OFFICE: (408) 642-1628 FAX: (408) 642-1539		
DESIGNER: HAU-CHING LIAO (408) 901-8777 QING@LADC-ARCH.COM		
		
PROPERTY OWNER: YUEYUE GUO 2529 SCOTT BLVD. SANTA CLARA, CA 95050 TEL: (408) 387-2930		
PROJECT: <div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> ACUPUNCTURE OFFICE TENANT IMPROVEMENT </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> 2529 SCOTT BLVD. SANTA CLARA, CA 95050 </div> </div>		
REVISION		
#	DATE	DESCRIPTION
▲	1/18/2018	ORIGINAL ISSUED
▲	2/26/2018	CITY COMMENTS
▲	3/02/2018	CITY COMMENTS
▲		
▲		
▲		
▲		
DATE: 1/18/2018 DRAWN: HJL/NZ PROJECT NO.: 317-1771		
SHEET TITLE: <div style="text-align: center; border: 1px solid black; padding: 5px;"> TITLE 24 </div>		
SHEET OF: <div style="text-align: center; border: 1px solid black; padding: 5px;"> T-1 </div>		

MECHANICAL SYSTEMS PRENSCIFIC OFFICIAL POWER SYSTEMS CERTIFICATE OF COMPLIANCE Mechanical Systems From: <u>Local</u> <u>Appliances</u> Office		CALIFORNIA ENERGY COMMISSION NCC/CACHE-01-01 (Page 4 of 4)	
DOCUMENTATION AUTHOR'S DECLARATION OF LIABILITY I, <u>1</u> certify that this Certificate of Compliance documentation is accurate and complete. I am the <u>Documentation Author</u> Name: Joseph Maak		Signature: _____ Expiration Date: 2/3/2018	
Company: LACD Consulting Inc. Address: 1820 Oakland Rd., Ste A211 City/State/Zip: San Jose, CA 95131		Signature: _____ Expiration Date: 2/3/2018 State/Local/City/County/Commission of jurisdiction: _____ Name: Joseph Maak	
RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: 1. This information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 5 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible design). 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of the 2013, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations and specifications submitted to the enforcement agency for approval with this building permit application. 5. I will ensure that a completed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency at all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at completion.			
Signature: _____ Name: Joseph Maak		Signature: _____ Expiration Date: 2/3/2018 License: _____ Phone: 510-671-6668	
Company: LACD Consulting Inc. Address: 1820 Oakland Rd., Ste A211 City/State/Zip: San Jose, CA 95131			

STATE OF CALIFORNIA MECHANICAL VENTILATION AND REHEAT PRE-RESEARCHED FORM 01-15 CERTIFICATE OF COMPLIANCE Mechanical Ventilation & Reheat Issued by: <u>Asquithville Office</u>														CALIFORNIA ENERGY COMMISSION NREC-MEC-01-15 (Page 1 of 3)									
														Date Received: <u>2/23/2018</u>									
A. Mechanical Ventilation and Reheat																							
25 ACTUAL DESIGN AND PROPOSED PERFORMANCE (BTU/Hr, ETC.) 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 98																							

STATE OF CALIFORNIA MATERIALS VENTILATION AND HEAT TREAT DESIGN/RECORD/CONSTRUCTION DIVISION CERTIFICATE OF COMPLIANCE Modular Ventilation & Heat Treat Permittee: Architectural Office		CHS-00000000000000000000 NRCC-MACH-000 Page 2 of 2
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT I, Joseph Mak , certify that this Certificate of Compliance documentation is accurate and complete.		Issue Date: 2/23/18
Company: LACO Consulting Inc. Address: 1630 Oakland Rd., Ste A311 City/State/Zip: San Jose, CA 95131	Documentation Author Signature: Signature Date: 2/23/18 CHS Record Number (Indicate if applicable): Phone: Joseph Mak	
RESPONSIBLE PERSON'S DECLARATION STATEMENT I, certify the following under penalty of perjury, under the laws of the State of California: 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible design). 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design specifications identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, data, and specifications submitted to the enforcement agencies for approval with the building permit application. 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s), issued for the building, and made available to the enforcement agencies for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance must be included with the documentation the builder provides to the building owner at occupancy.		
Responsible Design Name: Joseph Mak Company: LACO Consulting Inc. Address: 1630 Oakland Rd., Ste A311 City/State/Zip: San Jose, CA 95131	Responsible Design Signature: Date Signed: 2/23/18 Phone: 510-471-5660	

CA Building Energy Efficiency Standards - 2014 Nonresidential Compliance

May 2015

 LADC DESIGN • BUILD • MANAGEMENT		
1630 OAKLAND RD., STE A211 SAN JOSE, CA 95131		
OFFICE: (408) 642-1628 FAX: (408) 642-1539		
DESIGNER: HAU-CHING LIAO (408) 901-8777 QING@LADC-ARCH.COM		
		
PROPERTY OWNER:		
YUEYUE GUO 2529 SCOTT BLVD. SANTA CLARA, CA 95050 TEL: (408) 387-2930		
PROJECT:		
<h1 style="margin: 0;">ACUPUNCTURE OFFICE</h1> <h2 style="margin: 0;">TENANT IMPROVEMENT</h2> <p style="margin: 10px 0;">2529 SCOTT BLVD. SANTA CLARA, CA 95050</p>		
REVISION		
#	DATE	DESCRIPTION
▲	1/8/2018	ORIGINAL ISSUED
▲	2/6/2018	CITY COMMENTS
▲	3/22/2018	CITY COMMENTS
▲		
▲		
▲		
▲		
DATE: 1/8/2018 DRAWN: HUJ/MZ PROJECT NO.: 317-1771		
SHEET TITLE:		
<h2 style="margin: 0;">MECHANICAL</h2> <h3 style="margin: 0;">TITLE 24</h3>		
SHEET OF:		
<h1 style="margin: 0;">T-3</h1>		