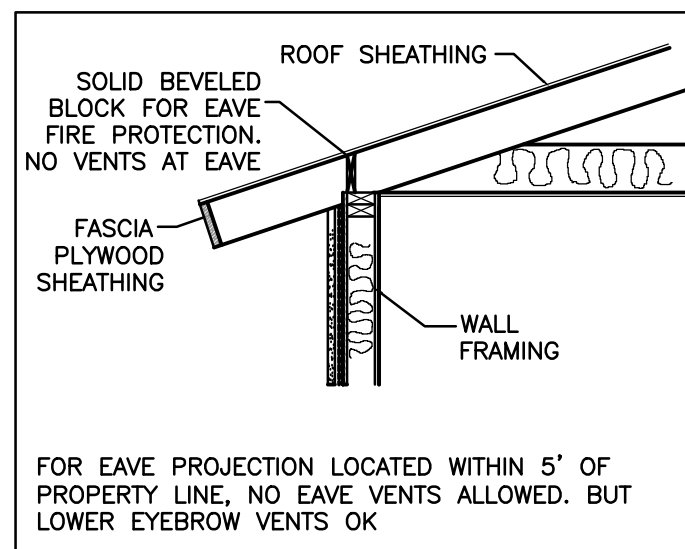


A =	28'-3" X 27'-7"	= 783 SF
B =	28'-7" X 5'-10"	= 168 SF
C =	42' X 26'-2"	= 1100 SF
D =	14'-1/2" X 4'-10"	= 69 SF
E =	13'-9" X 4'-10"	= 67 SF
TOTAL AREA		= 2,187 SF
LOT AREA		= 5,880 SF
LOT COVERAGE = 2187/5880 X100 =		37.2%

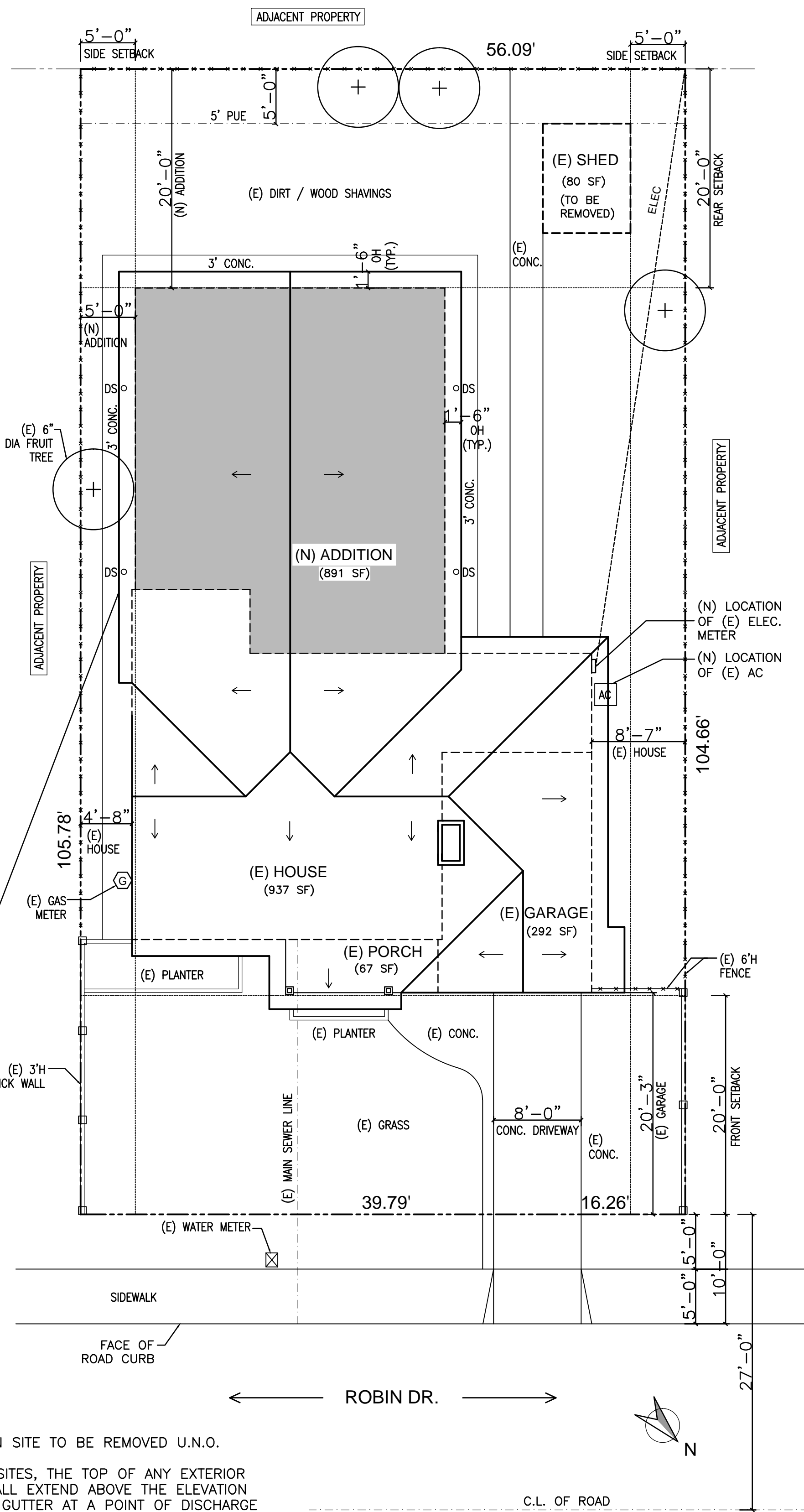
9 AREA DIAGRAM SCALE: 1/8"



LEGEND:	
-----	(E) AREA TO REMAIN
=====	PROPOSED ADDITION AREA
-----	PROPOSED REMODEL AREA
-----	BUILDING LINE
-----	SETBACK LINE
-----	PROPERTY LINE
-----	FENCE LINE
-----	P.U.E. LINE
-----	MAIN ELEC. SERVICE DROP
oDS	DOWN SPOUT
□	38 SQIN ROOF VENT
□	56 SQIN EAVE VENT
—	252 SQIN GABLE VENT

NOTES:

- NO TREES ON SITE TO BE REMOVED U.N.O.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MIN. OF 12" PLUS 2%
- ROOF DRAINAGE DISCHARGE TO BE 5' MIN. FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM

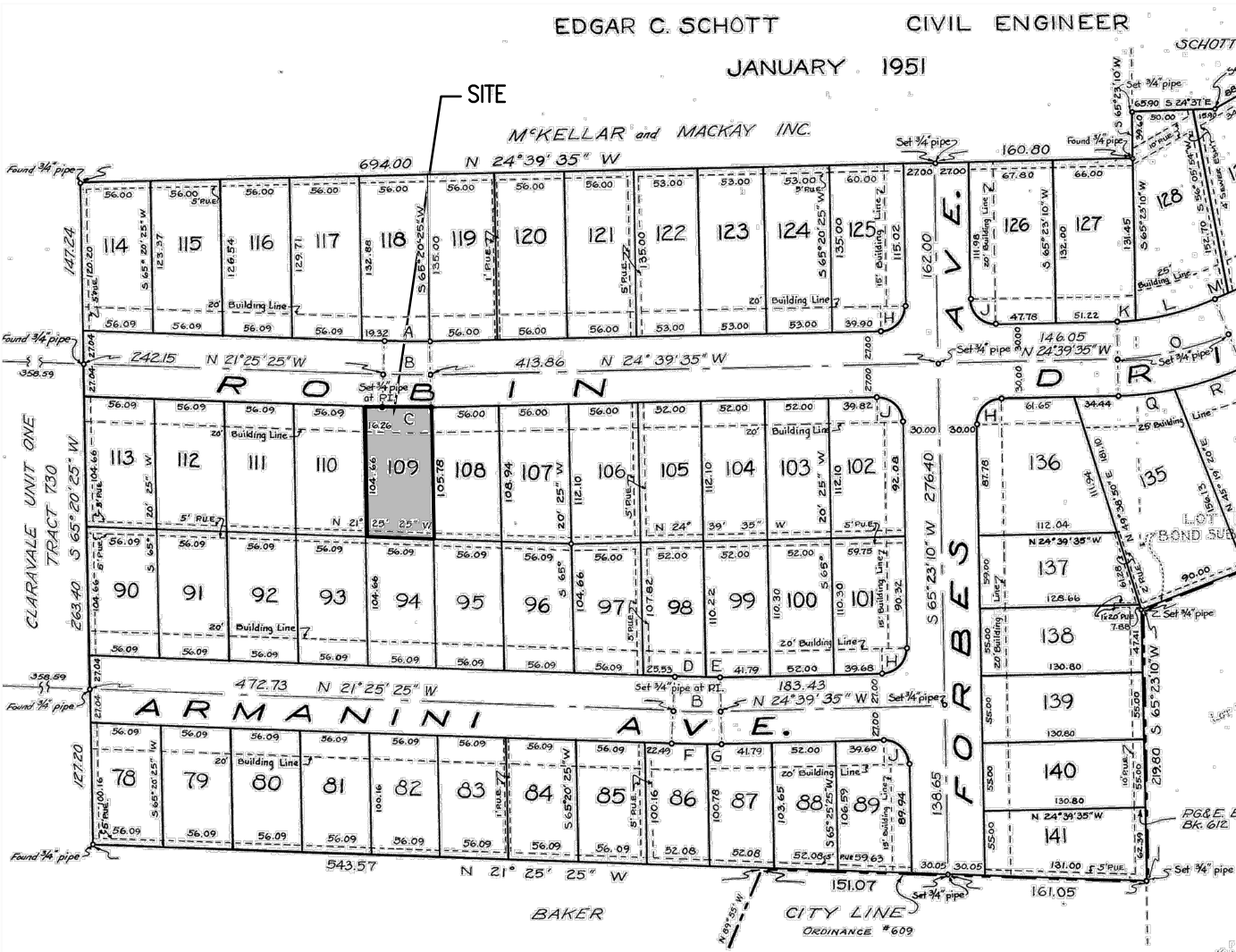


8 SITE PLAN & ROOF PLAN

SCALE: 1/8"=1'-0"

- (N) ADDITION TOWARDS THE REAR OF A FAMILY ROOM, TWO BEDROOMS, A BATHROOM & A LAUNDRY ROOM.
- (E) ELEC. METER TO BE RELOCATED TO THE SIDE
- (E) AC TO BE MOVED TO THE SIDE.
- (E) SHED IN THE BACKYARD TO BE REMOVED.

7 SCOPE OF WORK



6 VICINITY MAP

- MIN. 36" LANDING OUTSIDE EXTERIOR DOORS REQUIRED, NOT MORE THAN 7 3/4" LOWER THAN THE THRESHOLD. LANDINGS MUST SLOPE 2% AWAY FROM THE BUILDING.
- SITE GRADING MUST SLOPE 5% AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL, AND SLOPE ON SITE MUST BE 1% TO A PUBLIC WAY.
- SHOWER & TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD & NON-ABSORBANT SURFACE (E.G. CEMENT OR FIBER GLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. BACKING BOARD SHALL MEET THE ASTM REQUIREMENTS AS/2016 CRC.
- PROVIDE A NET CLEAR OPENING OF 5.7 SF IN BEDROOM WINDOWS, WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24", A MIN. NET CLEAR OPENING WIDTH OF 20", A SILL HEIGHT NO MORE THAN 44" ABOVE THE FINISH FLOOR (PER CRC R310.1, R310.1.1, R310.1.2, R310.1.3).
- PER CRC R303.1, ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF <8% OF FLOOR AREA OF SUCH ROOM. THE MIN. OPENABLE AREA SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED
PER CRC R303.1, FOR PURPOSES OF DETERMINING LIGHT & VENTILATION REQUIREMENTS, ANY ROOM SHALL BE CONSIDERED AS A PORTION OF AN ADJOINING ROOM WHEN AT LEAST ONE-HALF OF THE AREA OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF NOT LESS THAN ONE-TENTH OF THE FLOOR AREA OF THE INTERIOR ROOM BUT NOT LESS THAN 25 SF)
- EXTERIOR STUCCO IS A 3-COAT SYSTEM, 3/8" MIN. THICK, HAS TWO LAYERS OF GRADE "D" PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING), PER CRC R703.6.2, R703.6.2.1, AND R703.6.3

5 ARCHITECTURAL NOTES

PROJECT ADDRESS:	648 ROBIN DR. SANTA CLARA, CA 95050
OCCUPANCY CLASSIFICATION:	R3 (SINGLE FAMILY), U (GARAGE)
ZONING:	R1-6L
CONSTRUCTION TYPE:	TYPE V-B
STORIES:	1 STORY
SPRINKLERS REQUIRED:	NO
YEAR BUILT:	1951
APN #:	294-08-011
(E) FLOOR AREA:	= 937 SF
(N) FLOOR AREA ADDITION:	= 891 SF
TOTAL NET FLOOR AREA:	= 937 + 891 = 1,828 SF
(E) GARAGE AREA	= 292 SF
(E) FRONT PORCH	= 67 SF
(E) SHED TO BE REMOVED	= 80 SF
(E) REAR PORCH TO BE REMOVED	= 188 SF
(E) LOT AREA	= 5,880 SF
LOT COVERAGE:	= (1828+292+67/ 5880) X100 = (2187 / 5880) X 100 = 37.2 %

4 PROJECT DATA & AREA CALCULATIONS

- ALL WORK TO COMPLY WITH THE 2016 CBC, CMC, CPC & CEC, 2016 CRC, 2016 CA ENERGY CODE, 2016 CAL GREEN BUILDING STANDARDS CODE.

3 CODES & REGULATIONS

OWNER:	SEAN & JESSICA RANDOLPH PHONE #: (510) 378-3949 EMAIL: seanrandolph@gmail.com
DESIGNER: (CONTACT PERSON)	SANCHALI SRIVASTAVA, KCD, CID SAN INTERIOR DESIGN PHONE #: (408) 705-0448 EMAIL: sanchali@saninteriordesign.com
STRUCTURAL ENGINEER:	EFE SOZKESEN, MS, P.E. 4X ENGINEERING, INC. PHONE #: (408) 642-5464 EMAIL: efe@4xengineering.com

2 OWNER & PROJECT TEAM CONTACT INFO

ARCHITECTURAL DRAWINGS	
A1.0	COVER SHEET, SITE PLAN & ROOF PLAN
A2.0	EXISTING/DEMO FLOOR PLAN & EXISTING ELEVATIONS
A2.1	PROPOSED FLOOR PLAN / ELECTRICAL PLAN
A3.0	PROPOSED ELEVATIONS, SECTIONS & DOOR/WINDOW SCHEDULE

STRUCTURAL DRAWINGS:	
S-1	FOUNDATION PLAN
S-2	2ND FL. FRAMING PLAN & 1ST FLOOR SHEAR WALL PLAN
S-3	ROOF FRAMING PLAN & 2ND FLOOR SHEAR WALL PLAN
SD-0	GENERAL NOTES
SD-1	TYPICAL FOUNDATION DETAILS
SD-2	TYPICAL SHEAR WALL DETAILS
SD-3	TYPICAL ROOF FRAMING DETAILS
SD-4	TYPICAL FOUNDATION DETAILS
SD-5	TYPICAL DETAILS
SD-6	TYPICAL DETAILS
HXF-1	HARDY FRAME DETAILS - 1
HXF-2	HARDY FRAME DETAILS - 2
HXF-3	HARDY FRAME DETAILS - 3

TITLE 24 & GREEN BUILDING DRAWINGS:	
1/2	T24 ENERGY CALCULATIONS - PART 1
2/2	T24 MANDATORY MEASURES - PART 2
GRN-1	GREEN BUILDING RESIDENTIAL CHECKLIST

1 TABLE OF CONTENTS

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SANCHALI SRIVASTAVA
CERTIFIED INTERIOR DESIGNER
EXPIRES 9-2-19 CID# 6360

RANDOLPH RESIDENCE ADDITION / REMODEL

648 ROBIN DR.
SANTA CLARA, CA 95050

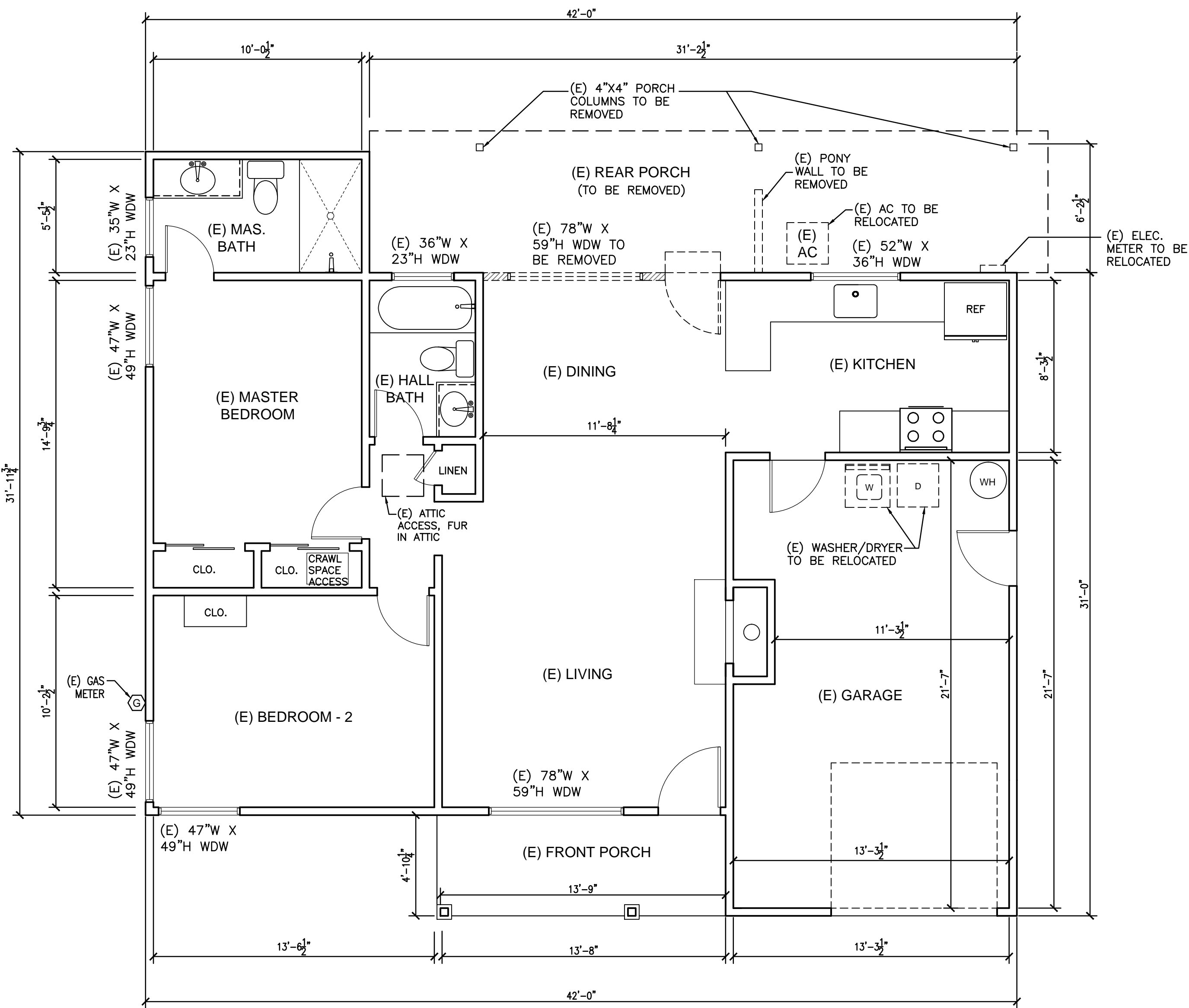
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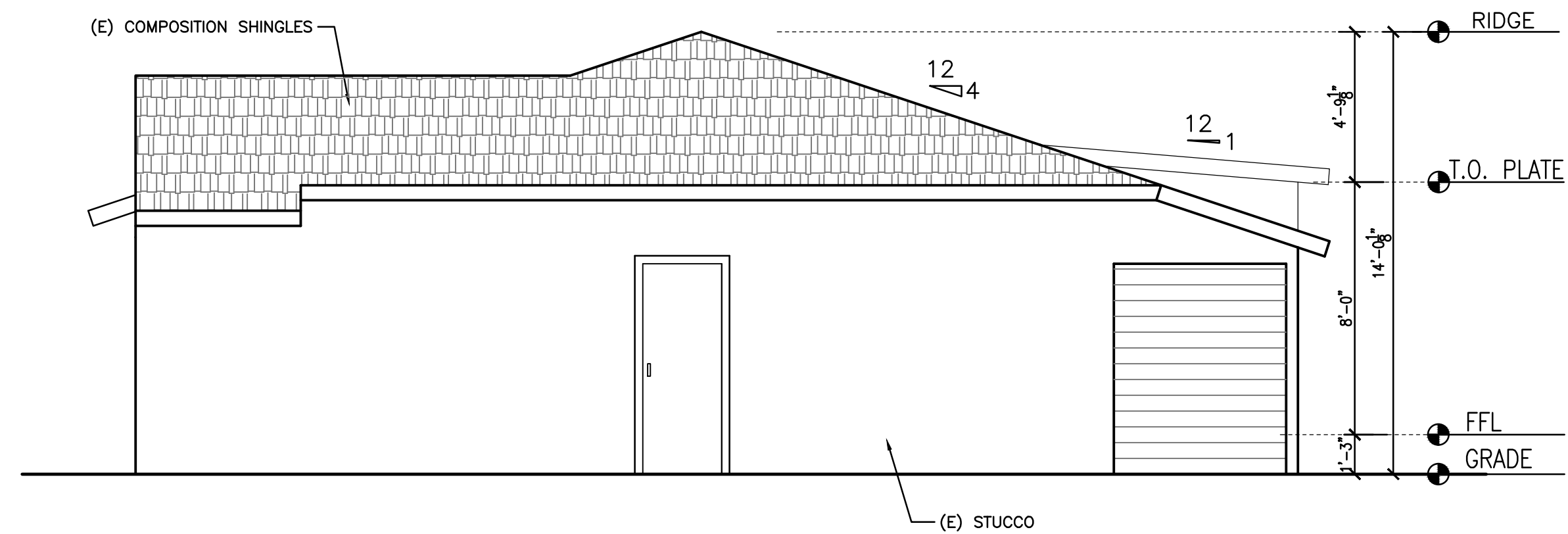
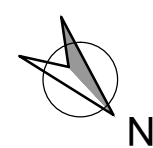
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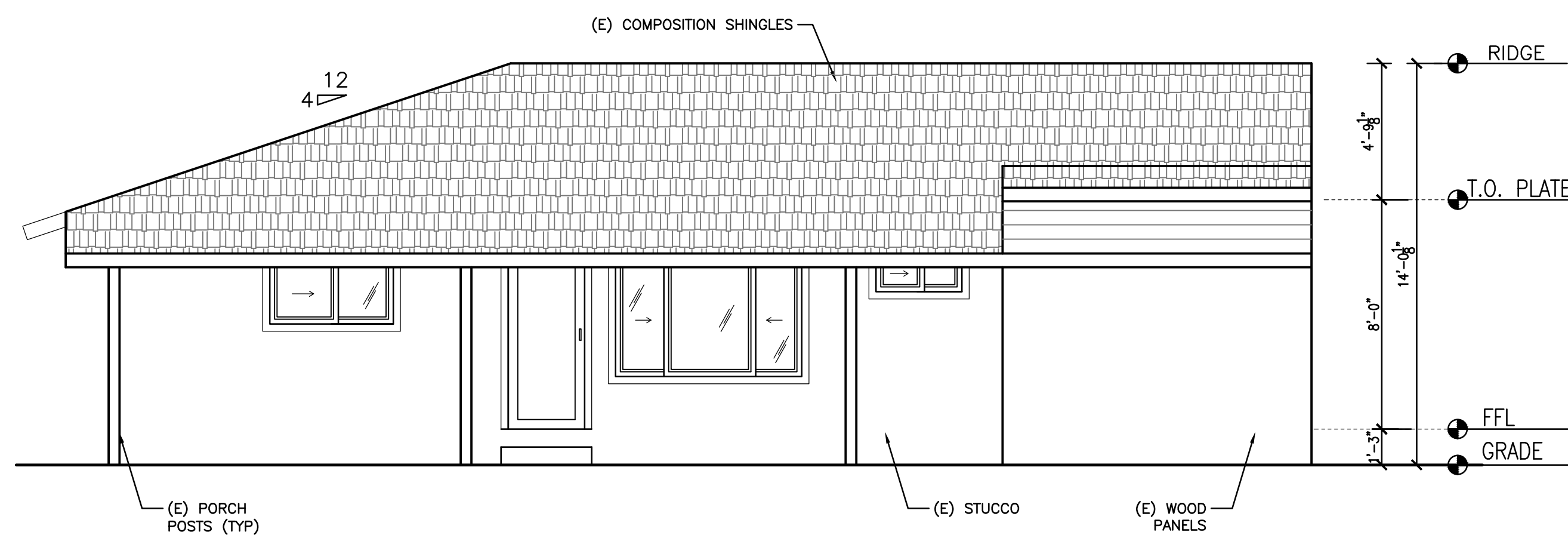
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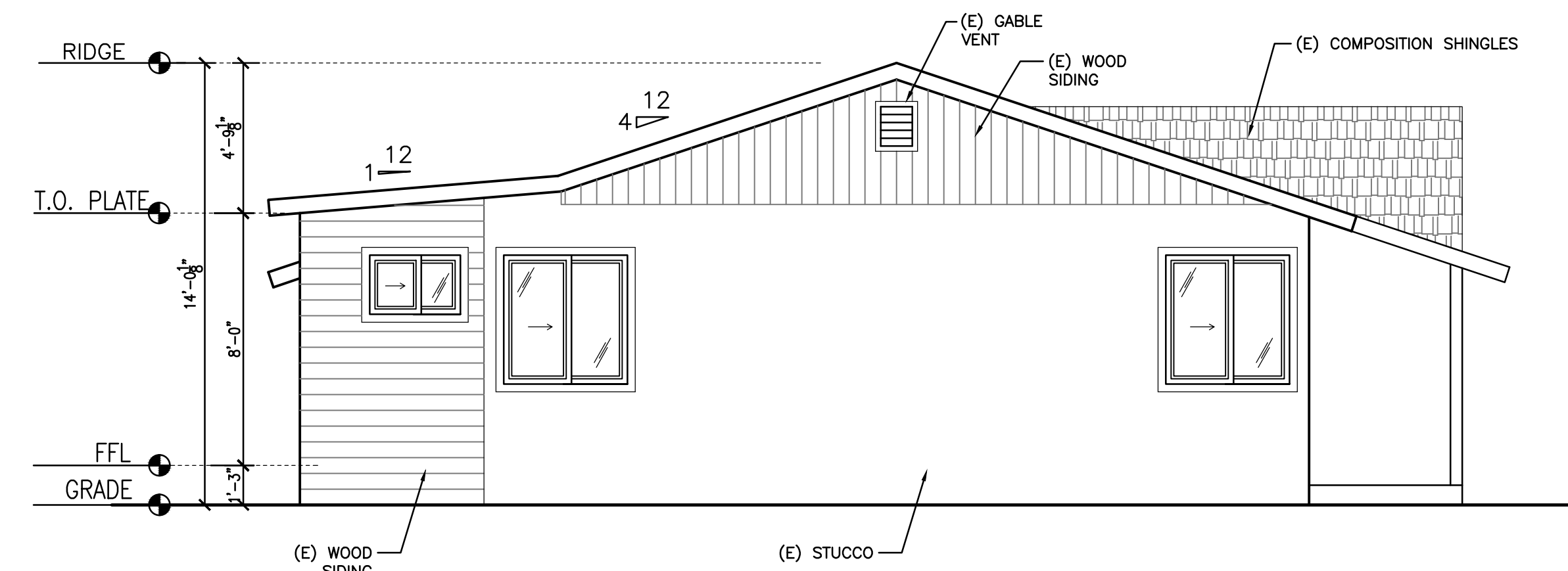
LEGEND:	
	(E) WALLS TO REMAIN
	(E) WALLS TO BE DEMOLISHED
	(E) DOOR/WINDOW/ITEMS TO REMAIN
	(E) DOOR/WINDOW/ITEMS TO BE REMOVED



3 EXISTING RIGHT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"



2 EXISTING REAR ELEVATION SCALE: 1/4"=1'-0"



1 EXISTING LEFT HAND SIDE ELEVATION SCALE: 1/4"=1'-0"

4 EXISTING FLOOR PLAN / DEMOLITION PLAN SCALE: 1/4"=1'-0"



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REVISIONS	DATE	BY

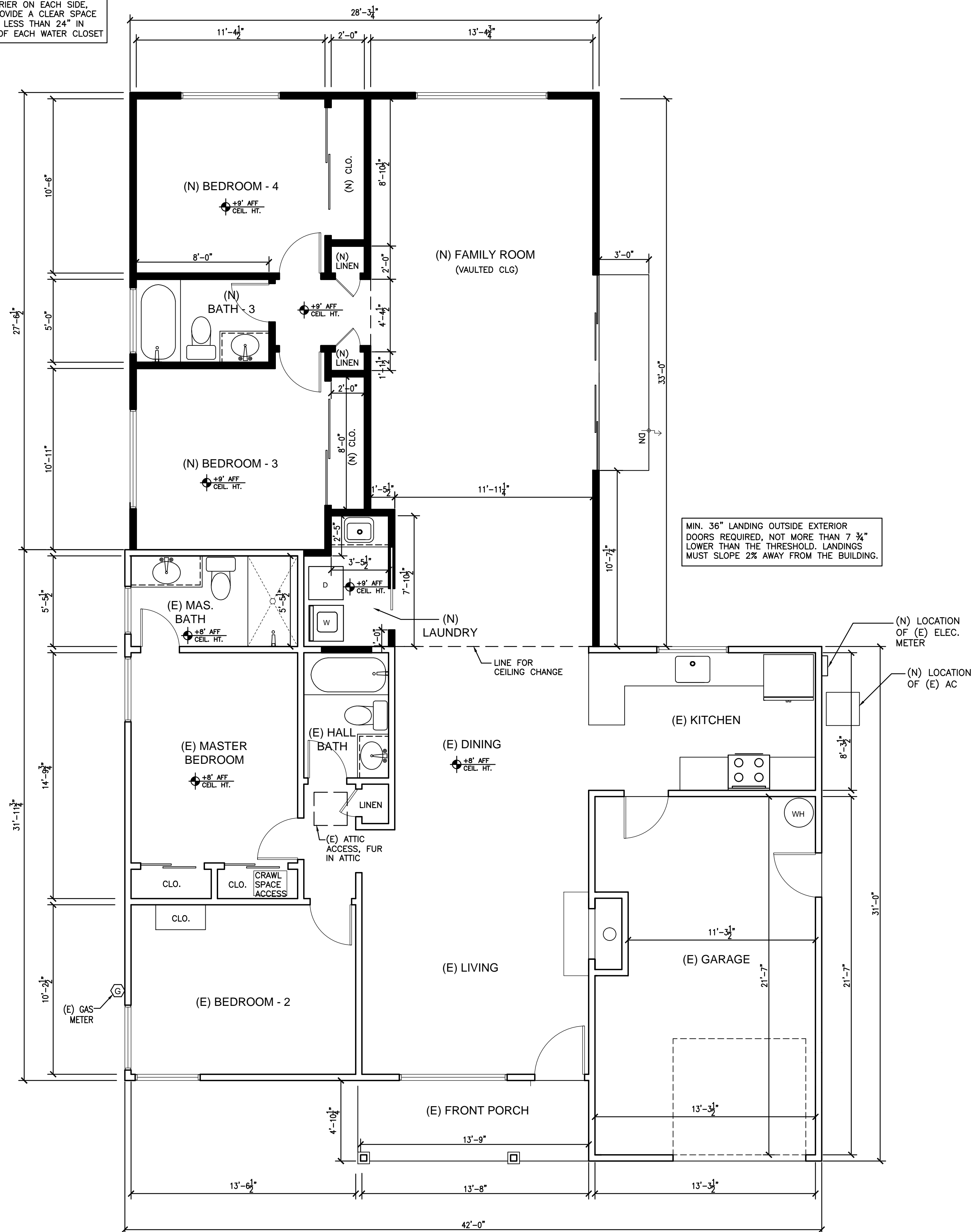
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DRAWN BY: SANCHALI SRIVASTAVA
SCALE: AS NOTED

SHEET TITLE:
EXISTING /
DEMO PLAN &
EXST.ELEVS

SHEET #:

A2.0

- MIN. 15" FROM CENTERLINE OF WATER CLOSETS TO THE WALL OR BARRIER ON EACH SIDE, AND PROVIDE A CLEAR SPACE OF NOT LESS THAN 24" IN FRONT OF EACH WATER CLOSET





- 


1. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE MIN. OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). CMC 504.5
2. SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 418.0
3. MECHANICAL VENTILATION TO BE PROVIDED AT BATHROOMS WITH A MINIMUM 50 cu ft./min. (FOR INTERMITTENT VENTILATION) OR 25 cu ft./min FOR CONTINUOUS VENTILATION. (PER CRC R303.3). FANS SHALL BE ENERGY STAR & VENTED DIRECTLY TO THE OUTSIDE.
4. MECHANICAL VENTILATION IN ALL BATHROOMS, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - i HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF $40 < OR = 50\%$, TO A MAX. OF 80% . A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - ii A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN & IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT-IN)
5. GARAGE INSTALLED WATER HEATER AND FURNACE (I.E. THAT GENERATE A GLOW, SPARK OR ARE CAPABLE OF IGNITING FLAMMABLE VAPORS - INCLUDING DRYER IF GAS FUELED) MUST BE INSTALLED AT LEAST 18" ABOVE THE FLOOR AND BE PROTECTED FROM VEHICLE IMPACT (E.G. BOLLARD), PER CMC 308
6. SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT THE TOP WITHIN THE WATER HEATER AND LOWER ANCHORS AT ITS VERTICAL DIMENSION. THE LOWER ANCHOR STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS (PER CPC 507.2)
7. WATER HEATER SHALL HAVE A PRESSURE RELIEF VALVE WITH DRAIN TO THE EXTERIOR (OR FLOOR DRAIN ETC.), PER CPC 608.5


TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

LEGEND:

 (E) WALLS TO REMAIN

 (E) DOOR/WINDOW/ITEMS TO REMAIN

 (N) 2X4 WALL, 16" O.C. STUDS

 (N) GAS LINE



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DATE: 12/04/18

DRAWN BY: SANCHALI SRIVASTAVA

SCALE: AS NOTED

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


PROPOSED
FLOOR PLAN /
ELEC. PLAN

SHEET #:

A2.1

SCALE: $1/4" = 1' - 0"$

5 ELECTRICAL NOTES SCALE: NS

ELECTRICAL/POWER LEGEND		LIGHTING LEGEND	
	DUPLEX RECEPTACLE OUTLET		INCANDESCENT RECESSED CEILING DOWN LIGHT, 6"
	GFCI DUPLEX RECEPTACLE OUTLET		FLUORESCENT OR LED RECESSED CEILING DOWN LIGHT, 6"
	HORIZONTAL DUPLEX RECEPTACLE OUTLET		ADJUSTABLE RECESSED CEILING VOLTAGE DOWN LIGHT, 4"
	FOURPLEX RECEPTACLE OUTLET		WATER PROOF RECESSED CEILING DOWN LIGHT, 4", FLUORESCENT
	220V RECEPTACLE OUTLET		HANGING LIGHT FIXTURE
	HALF SWITCHED RECEPTACLE OUTLET		FLUORESCENT SURFACE MOUNTED LIGHT FIXTURE
	FLOOR OUTLET		LED ROPE LIGHT
	DUPLEX RECEPTACLE OUTLET WITH WATERPROOF COVER		FLUORESCENT TUBE LIGHT (ABOVE CABS/RECESSED CLGS)
	SINGLE POLE SWITCH		HALOGEN OR LED PUC LIGHT
	STACKED SWITCH		SQUARE FOOTLIGHT IN RISERS
	SWITCH ON A DIMMER		INSIDE CLOSET LIGHT
	3-WAY OR 4-WAY SWITCH		WALL SCONCE
	SWITCH ON VACANCY SENSOR		WALL MOUNTED VANITY LIGHT
	OUTDOOR SWITCH		LIGHT/FAN FIXTURE
	THERMOSTAT		BATHROOM EXHAUST FAN
	DOORBELL		CEILING FAN
	LOW VOLTAGE TRANSFORMER BOX/ DRIVER BOX FOR LED'S		CEILING FAN WITH LIGHT
	CABLE LINE		SUNTUNNEL WITH LIGHT
	PHONE LINE		TRACK LIGHT
	SMOKE DETECTOR / ALARM		LANDSCAPE UPLIGHT
	GAS SUPPLY		WALL MNT EXTERIOR LIGHT (ON MOTION SENSOR & PHOTO CONTROL)
	GAS METER		GARBAGE DISPOSAL
	PANEL BOX		HEATING DIFFUSER
	HOSE BIB		CEILING MOUNT LIGHT FIXTURE
	AIR SWITCH		CHANDELIER
	CARBON MONOXIDE ALARM		BATTERY OPERATED SMOKE ALARM
	DEDICATED OUTLET		6" LED RECESSED CEIL. DOWNLIGHT

4 ELECTRICAL LEGEND

1 | PROPOSED FLOOR PLAN / ELECTRICAL PLAN

5

4

3

1

PROPOSED RIGHT HAND SIDE ELEVATION

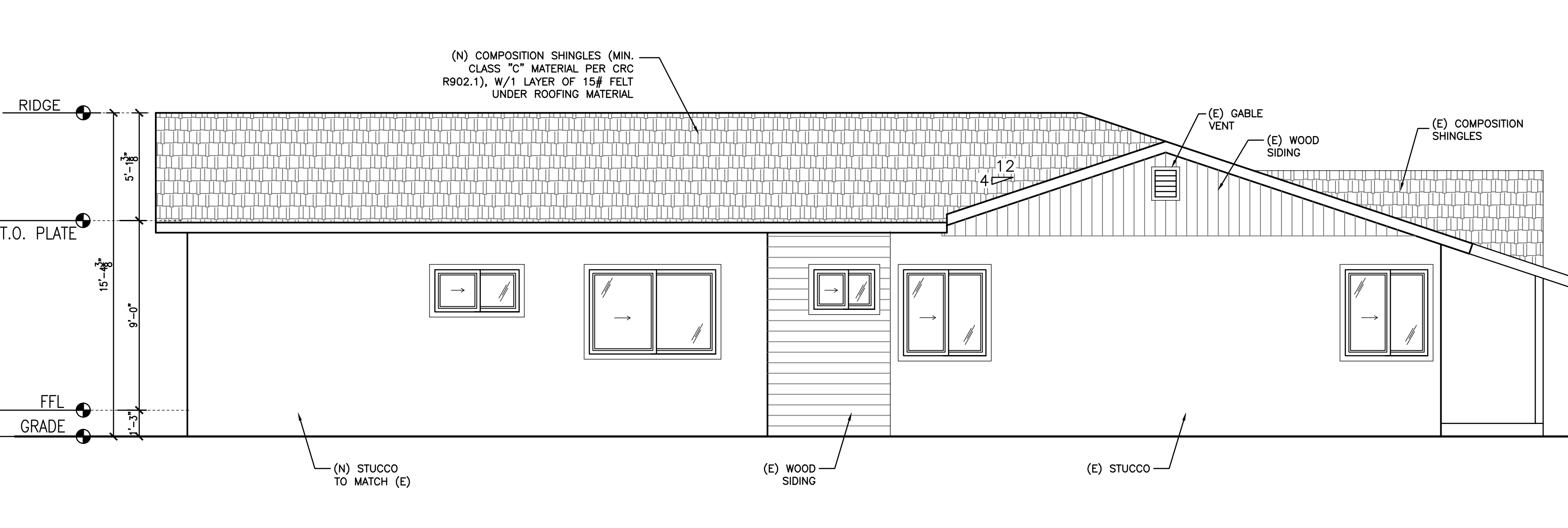
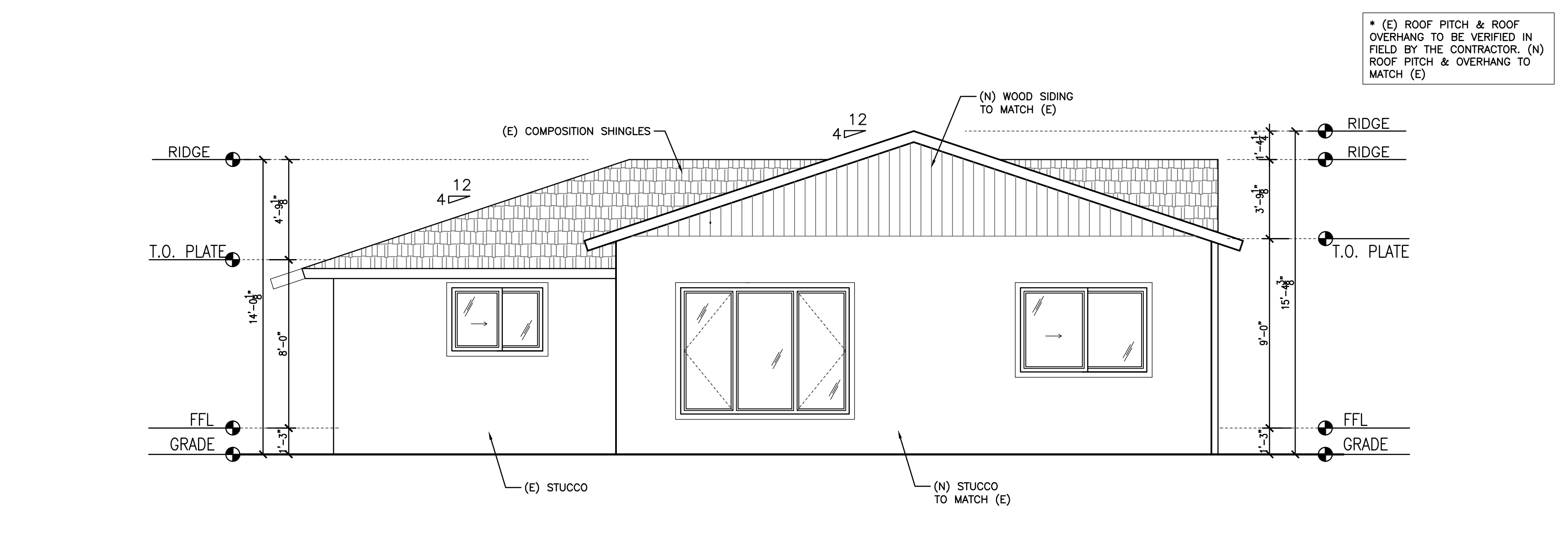
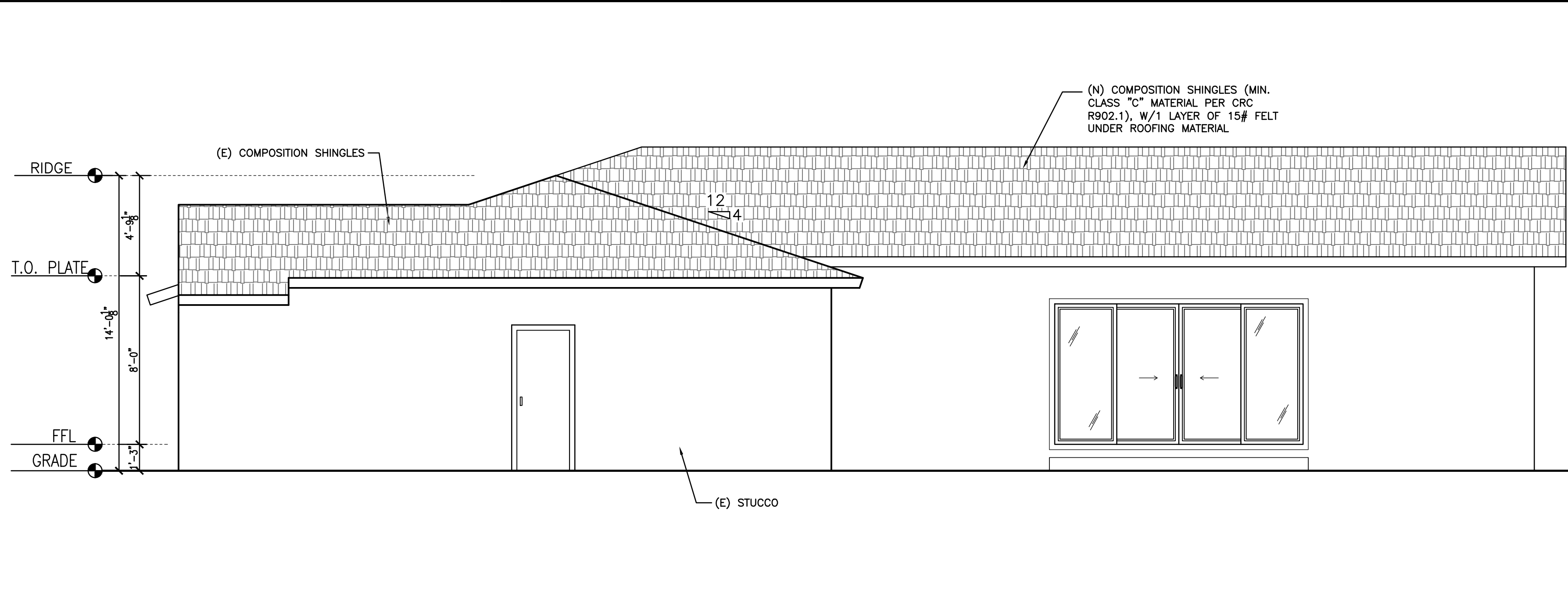
PROPOSED REAR ELEVATION

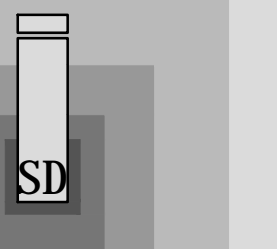
PROPOSED LEFT HAND SIDE ELEVATION

SCALE: 1/4"=1'-0"


SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"





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REVISIONS	DATE	BY

DATE: 12/04/18
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SCALE: AS NOTED
SHEET TITLE:
PROPOSED ELEVATIONS
SHEET #:

A3.0