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(408) 985-6022
CONTACT: CORY KUSICH

CARLSON, BARBEE & GIBSON INC.
2633 CAMINO RAMON
SAN RAMON, CA 94582
(925) 866-0322
CONTACT: COLT ALVERNAZ, PE

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SCS Development Company

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ASSOCIATES
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■ SURVEYORS ■ PLANNERS

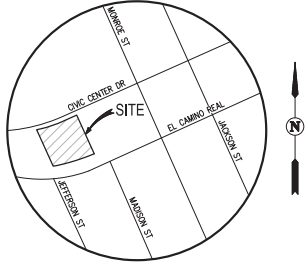
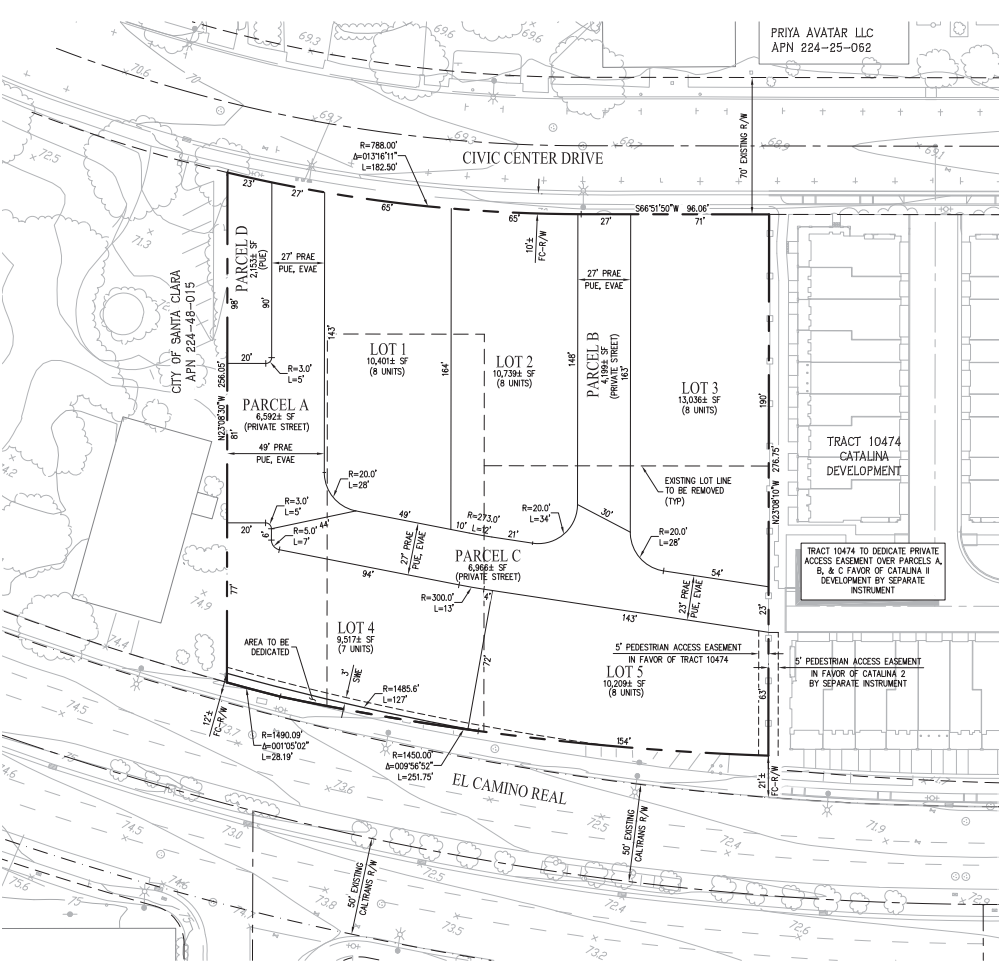
CIVIL ENGINEERS ■ SURVEYORS ■ PLANNERS



RANDALL PLANNING & DESIGN INC.
Landscape Architecture * Golf Facilities
Site and Environmental Planning
1475 N. Broadway Suite 290
Walnut Creek, California 94596
Office: (925) 934-8002
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GENERAL NOTES

1. ASSESSORS PARCEL NO. 224-048-004, -005, AND -006
2. SITE AREA: GROSS: 1.70+ ACRES
NET: 1.698+ ACRES
3. LOTS: RESIDENTIAL: 5 (LOTS 1-5), PRIVATE ROADWAY CIRCULATION: 3
WATER QUALITY: 1
4. DWELLING UNITS: 39
5. SITE DENSITY: 22.94 DU/AC (GROSS)
23.08 DU/AC (NET)
6. EXISTING GENERAL PLAN: COMMUNITY MIXED USE
PROPOSED GENERAL PLAN: COMMUNITY MIXED USE
7. EXISTING ZONING: THOROUGHFARE COMMERCIAL (CT)
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
8. EXISTING LAND USE: COMMERCIAL/OPEN SPACE
PROPOSED LAND USE: RESIDENTIAL/LIVE WORK
9. BENCHMARK: CITY OF SANTA CLARA E-1
EL CAMINO REAL & MONROE ST. NORTHWEST CORNER, CHISLED CROSS ON TOP OF
SOUTHEAST BOLT OF TRAFFIC SIGNAL POLE BASE, (RESET 1997)
10. BASIS OF BEARINGS: MONUMENT LINE, "B-LINE," OF EL CAMINO REAL TAKEN AS 1/4665'± PER THE
"RECORD OF SURVEY OF THE RIGHT OF WAY ALONG ROUTE 82 AT POST MILES
11.5-12.5", RECORDED IN BOOK 736 PAGE 37, SANTA CLARA RECORDS.
11. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT
BOUNDARY TO BE REMOVED.
12. EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
13. STREETS: ALL DRIVE ASILES WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE
PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE=0.5%)
14. TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS.
15. STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS
(OR APPROVED EQUAL).
16. WALLS: ALL WALLS WILL BE PRIVATELY OWNED AND PRIVATELY MAINTAINED.
17. PRIVATE UTILITIES: PROPOSED STORM DRAIN, SEWER AND WATER FACILITIES WILL BE PRIVATE
FACILITIES AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S
ASSOCIATION.
18. LANDSCAPING: ALL LANDSCAPING WITHIN PROJECT BOUNDARY WILL BE PRIVATELY OWNED AND
MAINTAINED.
19. FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE
RATE MAP, MAP NUMBER 06085C0227H
DATE: MAY 18, 2009
20. WELLS ONSITE: NONE
21. UTILITIES: PRIVATE
WATER: PRIVATE
SEWER: PRIVATE
STORM DRAIN: PRIVATE
GAS: PG&E
ELECTRIC: SCLION VALLEY POWER
TELEPHONE: AT&T
CABLE TV: COMCAST
UNDERGROUND ELECTRICAL EASEMENT TO BE EXCLUSIVE OF PUE AND DEFINED
ON THE FINAL MAP
22. PHASING: PROJECT MAY BE CONSTRUCTED IN PHASES
23. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
24. CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR THE RESIDENTIAL LOTS. THE
SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTIONS 4125 AND
4285 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT
TO THE SUBDIVISION MAP ACT.



VICINITY MAP
NOT TO SCALE

CONTACTS:

1. OWNER/DEVELOPER: SC2 DEVELOPMENT
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6020
CORY KUSCH
2. ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
COLT ALVERNIZ, RCE 75740
3. SOILS ENGINEER: QUANTUM GEOTECHNICAL, INC.
6288 SAN IGNAIO AVE, SUITE B
SAN JOSE, CA 95119
(408) 629-3822
SIMON MAKOESSI, PE, GE, QSD

ABBREVIATIONS

BD	BOUNDARY
CL	CENTERLINE
DU	DWELLING UNIT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
HOA	HOMEOWNERS ASSOCIATION
L	LENGTH
LS	LANDSCAPE
PL	PROPERTY LINE
PRAE	PRIVATE ACCESS EASEMENT IN FAVOR OF TRACT 1047
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
RW	RIGHT-OF-WAY
SF	SQUARE FEET
SW	SIDEWALK
SWE	SIDEWALK EASEMENT
UOEE	UNDERGROUND ELECTRIC EASEMENT

SHEET INDEX

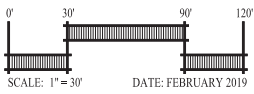
Sheet Number	Sheet Title
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C-9	OPEN SPACE EXHIBIT

LEGEND

PROPOSED	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
---	PROPERTY LINE
---	RIGHT-OF-WAY

VESTING TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



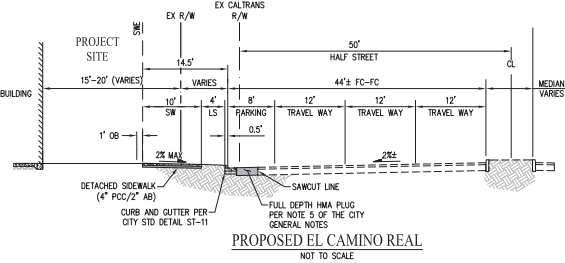
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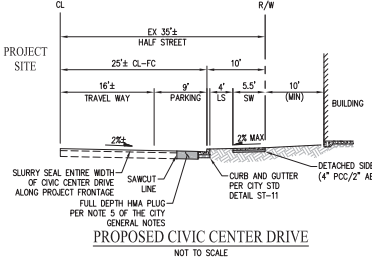
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SHEET NO.
C-1

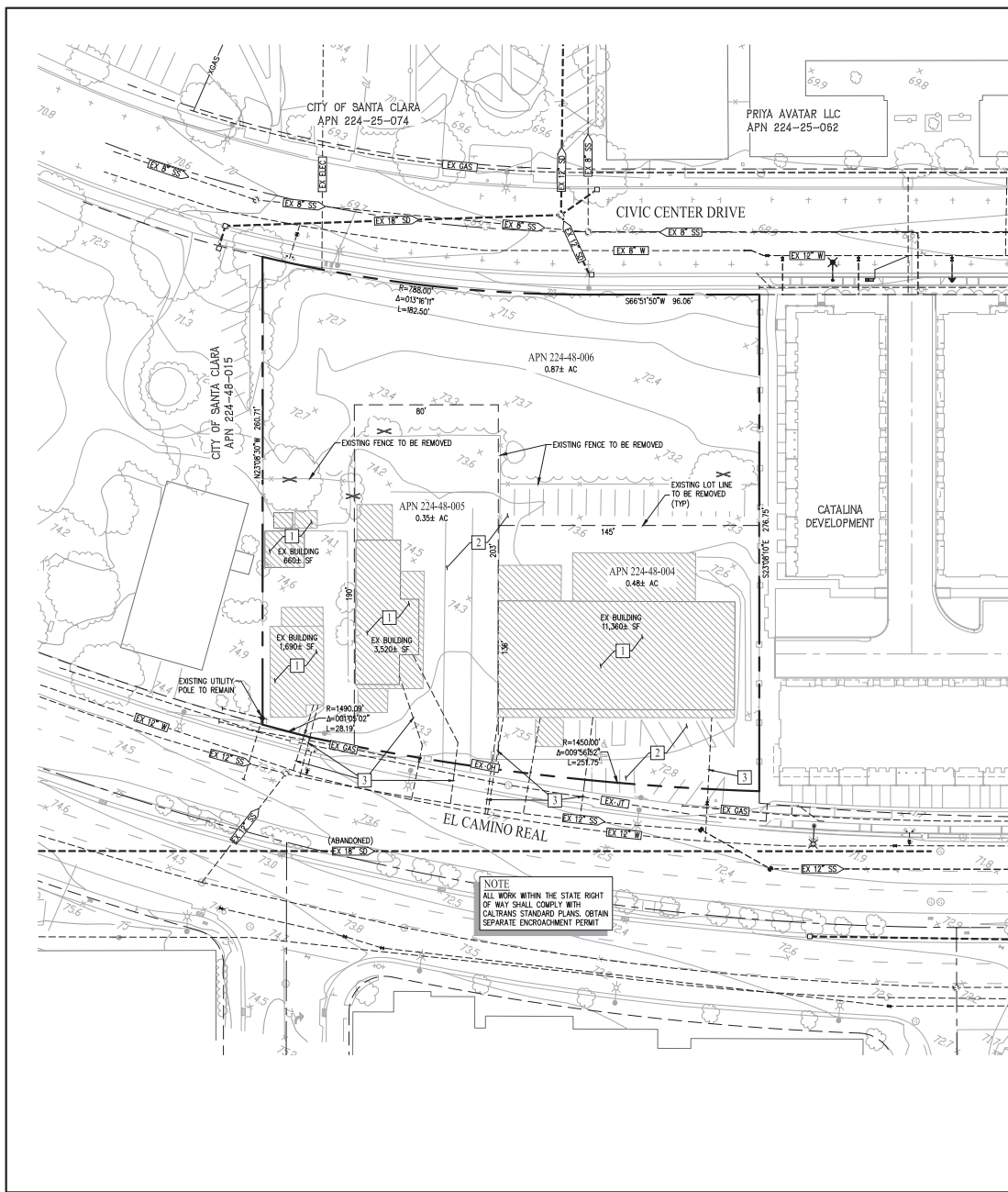


PROPOSED EL CAMINO REAL
NOT TO SCALE



PROPOSED CIVIC CENTER DRIVE
NOT TO SCALE

PROJECT 191714



LEGEND

---	PROJECT BOUNDARY
- - -	EASEMENT
□	CATCH BASIN
△	FIRE HYDRANT
○	MANHOLE
⊕	STREET LIGHT
- - - EX SD	STORM DRAIN
- - - EX SS	SANITARY SEWER
- - - EX W	WATER LINE
- - - EX GAS	GAS
- - - EX OH	OVERHEAD LINE
▨	EXISTING BUILDING TO BE DEMOLISHED
⊗	EXISTING TREE TO BE REMOVED

ABBREVIATIONS

EX	EXISTING
JT	JOINT TRENCH
OH	OVERHEAD
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER

DEMOLITION NOTES

NOTE	DESCRIPTION
1	REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
2	REMOVE EXISTING ASPHALT CONCRETE AND PARKING LOT CURB AND GUTTER
3	REMOVE EXISTING SERVICE/LATERAL

EXISTING CONDITIONS PLAN
CATALINA II



0' 30' 90' 120'

SCALE: 1" = 30'

DATE: FEBRUARY 2019



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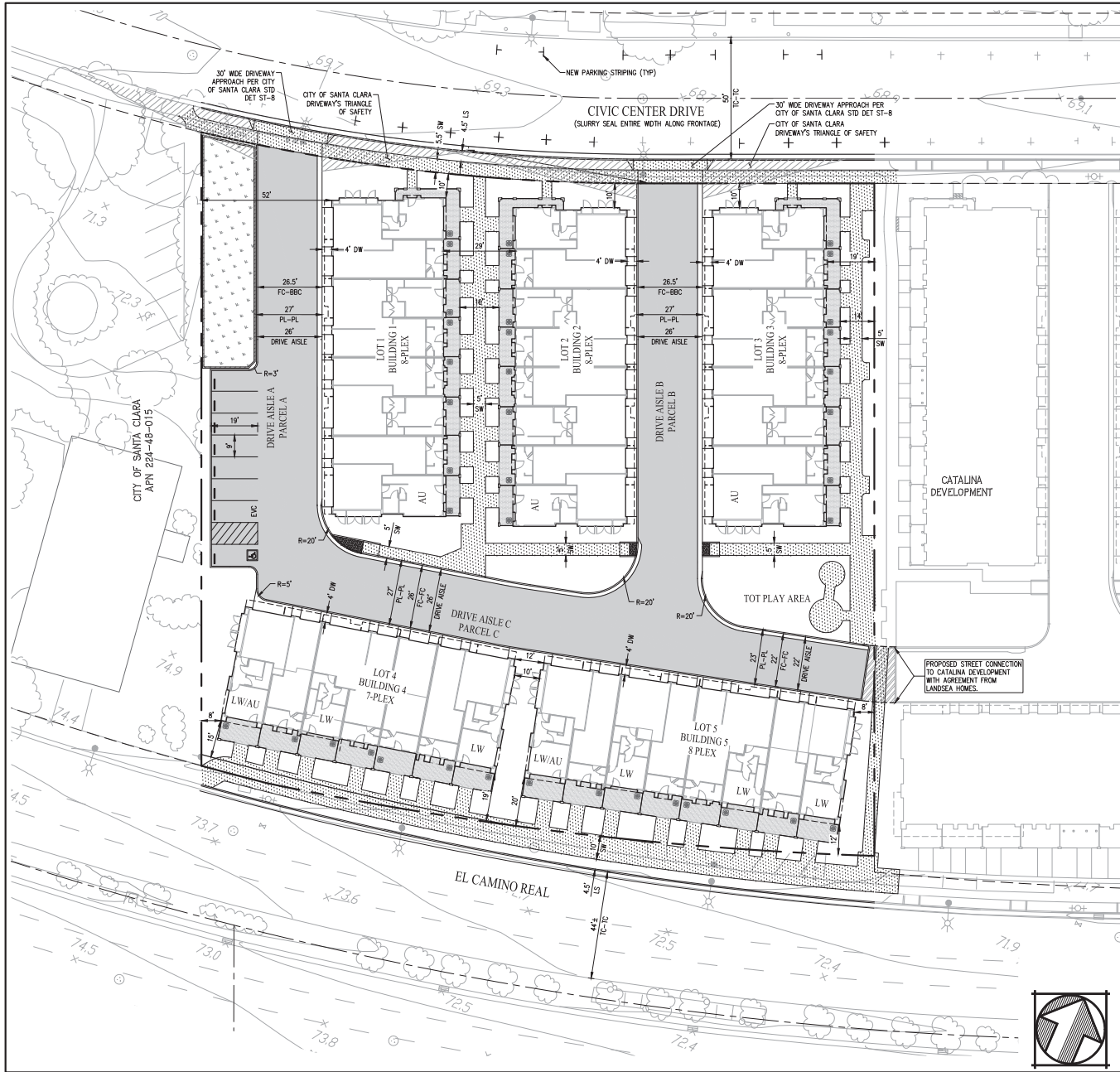
CIVIL ENGINEERS

SURVEYORS

PLANNERS

SHEET NO.
C-2

F:\025-48\ACAD\TM\TWO\DWG



PARKING SUMMARY					
PARKING TYPE	RATIO	NUMBER OF SPACES	PARKING PROVIDED	RATIO	NUMBER OF SPACES
GARAGE	2 SPACES/DU	78 SPACES	2 SPACES/DU	78 SPACES	
ON-SITE (GUEST)	0.1 SPACE/DU	4 SPACES	0.2 SPACE/DU	8 SPACES	
TOTAL		82 SPACES	TOTAL		86 SPACES

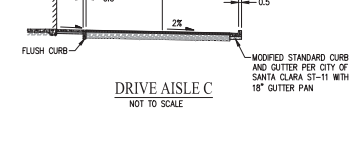
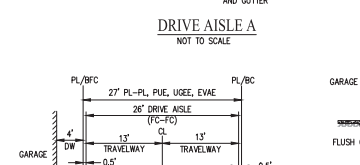
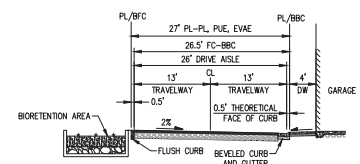
* PARKING COUNT DOES NOT ACCOUNT FOR OFF-SITE PARKING ON CIVIC CENTER DRIVE OR EL CAMINO REAL. APPROXIMATE OFF-SITE PARKING IS 25 SPACES

SITE AREA	
EXISTING SITE GROSS AREA	1.70
RIGHT OF WAY DEDICATION	0.01
PROPOSED SITE AREA	1.69

SITE DENSITY			
UNIT COUNT	SITE AREA	SITE DENSITY	
RESIDENTIAL 39 UNITS	1.69 AC	23.1 DU/AC	

- LEGEND**
- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|------------------------------|
| --- | --- | BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | RIGHT-OF-WAY |
| --- | --- | SIDEWALK AND TOP OF CURB |
| --- | --- | DECORATIVE PAVING |
| --- | --- | BIORETENTION AREA |
| --- | --- | PERMETER WALL |
| --- | --- | WOOD FENCE ON RETAINING WALL |
| --- | --- | PRIVATE PORCH |

- ABBREVIATIONS**
- | AC | ACRES |
|------|-----------------------------------|
| AU | ACCESSIBLE UNIT |
| BBC | BACK OF BEVELED CURB |
| BC | BACK OF CURB |
| BD | BOUNDARY |
| BFC | BACK OF FLUSH CURB |
| DW | BACK OF WALK |
| C | COMPACT |
| CL | CENTERLINE |
| DW | DRIVEWAY |
| DU | DWELLING UNITS |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT |
| FC | FACE OF FLUSH CURB |
| LS | LANDSCAPE |
| LW | LIVE WORK UNIT |
| PL | PROPERTY LINE |
| PUE | PUBLIC UTILITY EASEMENT |
| RW | RIGHT-OF-WAY |
| SW | SIDEWALK |
| TC | TOP OF CURB |
| UGE | UNDERGROUND ELECTRIC EASEMENT |



PRELIMINARY SITE PLAN CATALINA II

CITY OF SANTA CLARA
 SANTA CLARA COUNTY
 CALIFORNIA

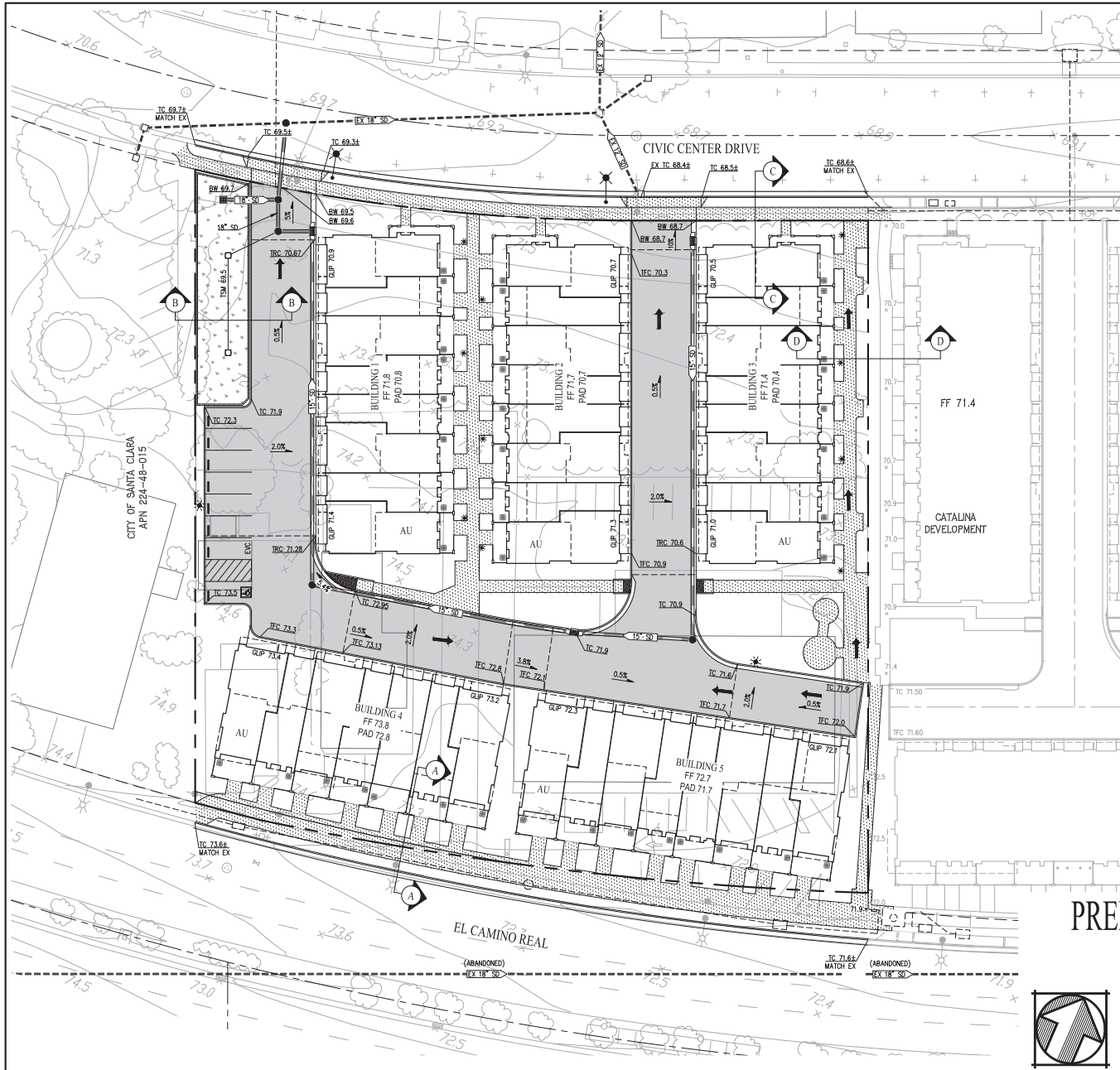
SCALE: 1" = 20'

DATE: FEBRUARY 2019

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SHEET NO.
C-3

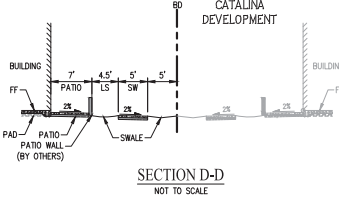
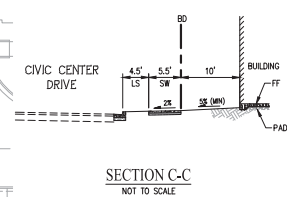
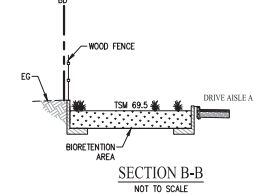
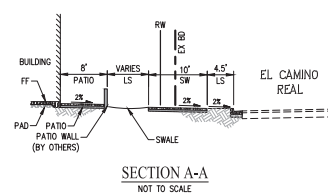


100-YEAR STORM EVENT
ALL ONSITE ELEVATIONS ARE ABOVE THE OVERLAND RELEASE ELEVATIONS. THE ONLY ONSITE PONDING WILL BE CONTAINED WITHIN THE BIOTENTION BASIN.

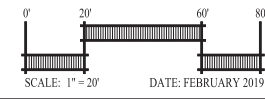
EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		SIDEWALK AND TOP OF CURB
		BIOTENTION AREA
		OVERLAND RELEASE
		PERIMETER WALL ONLY
		WOOD FENCE ONLY
		WOOD FENCE ON RETAINING WALL

ABBREVIATIONS

BBC	BACK OF BEVELED CURB
BO	BOUNDARY
EG	EXISTING GRADE
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
GLP	GARAGE LIP
LS	LANDSCAPE
RW	RIGHT OF WAY
SW	SIDEWALK
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TSM	TOP OF SOIL MIX



PRELIMINARY GRADING AND DRAINAGE PLAN CATALINA II



CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



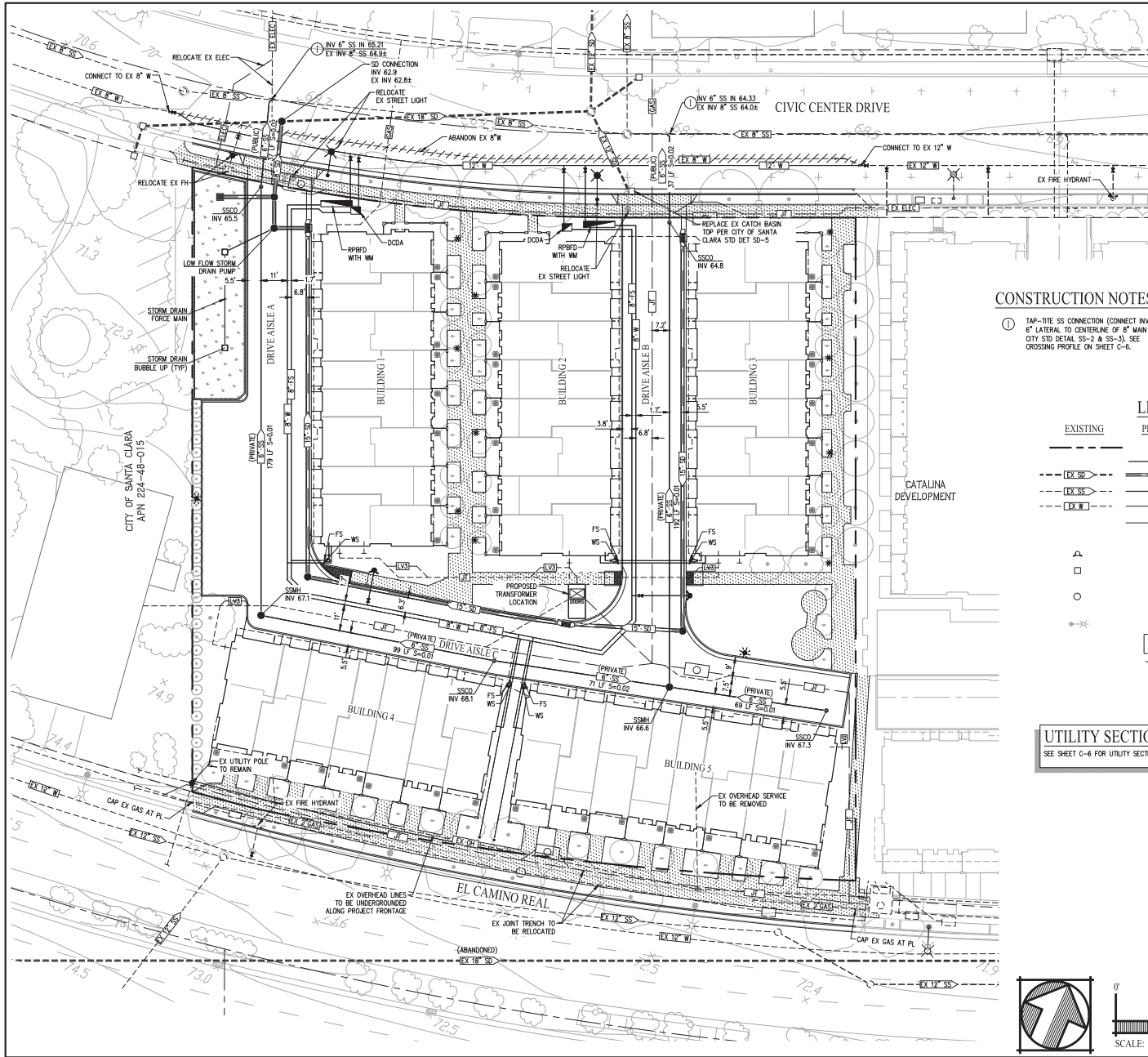
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SHEET NO.
C-4

DATE: FEBRUARY 2019

PROJECT: CATALINA II



UTILITY NOTES:

- STORM DRAIN:**
 - PROPOSED STORM DRAIN FACILITIES WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - MINIMUM SLOPE OF THE STORM DRAIN PIPE IS 0.01.
 - MINIMUM COVER IS 2'.
- SEWER (PRIVATE):**
 - PROPOSED SEWER FACILITIES WITHIN PRIVATE ROADWAYS WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - MINIMUM SLOPE OF THE SEWER PIPE IS 0.01.
 - MINIMUM PIPE SIZE IS 8".
 - ALL SANITARY SEWER PIPE TO BE PVC SDR-26.
 - MINIMUM COVER FOR SANITARY SEWER PIPES TO BE 2.5'.
- SEWER (PUBLIC):**
 - PROPOSED SEWER FACILITIES WITHIN CIVIC DRIVE TO BE PUBLIC.
 - MINIMUM SLOPE OF PUBLIC SEWER IS 0.015.
 - ALL SANITARY SEWER PIPES TO BE PVC SDR-26.
 - MINIMUM PIPE SIZE IS 8".
 - 10' HORIZONTAL CLEARANCE FROM EXISTING AND PROPOSED TREES UNLESS ROOT BARRIER IS INSTALLED, THEN 5' FROM ROOT BARRIER.
- WATER:**
 - PROPOSED WATER FACILITIES WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL WATER PIPE TO BE PVC C900.
 - 12" VERTICAL CLEARANCE FROM ALL OTHER UTILITIES.
 - 10' HORIZONTAL CLEARANCE FROM SANITARY SEWER AND RECYCLED WATER UTILITIES.
 - 8' FROM STORM DRAIN UTILITIES.
 - 5' FROM FIRE UTILITIES.
 - 5' FROM THE EDGE OF EXISTING OR PROPOSED DRIVEWAYS.
- UTILITY LAYOUT SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING MANHOLE INVERTS BASED ON CITY PROVIDED BASE MAPS AND AS-BUILTS AND NEED TO BE FIELD VERIFIED.
- PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL DESIGN. IRRIGATION METERS, DOMESTIC BACKFLOW PREVENTERS AND BUILDING FIRE SERVICES ARE SHOWN FOR REFERENCE ONLY.
- ALL WORK ALONG EL CAMINO WILL REQUIRE AN ENCROACHMENT PERMIT FROM CALTRANS.

CONSTRUCTION NOTES

- TAP-TIE SS CONNECTION (CONNECT INV OF 6" LATERAL TO CENTERLINE OF 8" MAIN PER CITY STD DETAIL SS-2 & SS-3). SEE CROSSING PROFILE ON SHEET C-6.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT-OF-WAY
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	WATER LINE
---	---	WATER VALVE
---	---	JOINT TRENCH
---	---	FIRE HYDRANT
---	---	CATCH BASIN
---	---	FIELD WILET
---	---	MANHOLE
---	---	CLEANOUT
---	---	STREET LIGHT
---	---	BIORETENTION AREA
---	---	BUBBLE UP STRUCTURE
---	---	BIORETENTION CLEANOUT & SUBDRAIN
---	---	AREA DRAIN

UTILITY SECTIONS

SEE SHEET C-6 FOR UTILITY SECTIONS

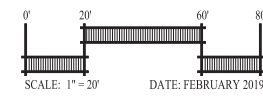
ABBREVIATIONS

AD	AREA DRAIN PIPE
CC	CURB CUT
CB	CATCH BASIN
CI	CAST IRON
CO	CLEANOUT
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DUCTILE IRON
DW	DOMESTIC WATER
ELEC	ELECTRICAL
EX	EXISTING
FH	FIRE HYDRANT
FI	FIELD WILET
FS	FIRE SERVICE
FW	FIRE WATER
INV	INVERT
JT	JOINT TRENCH
LF	LENGTH FEET
OH	OVERHEAD LINE
RPBPD	REDUCED PRESSURE BACKFLOW DETECTOR
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
VCP	VITRIFIED CLAY PIPE
W	WATER
WM	WATER METER
WS	WATER SERVICE

PRELIMINARY UTILITY PLAN

CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



DATE: FEBRUARY 2019

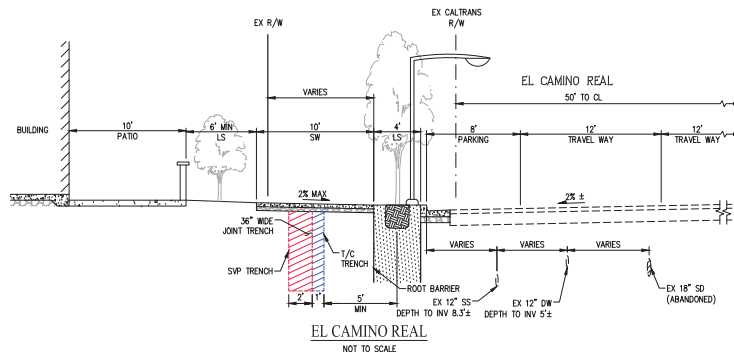


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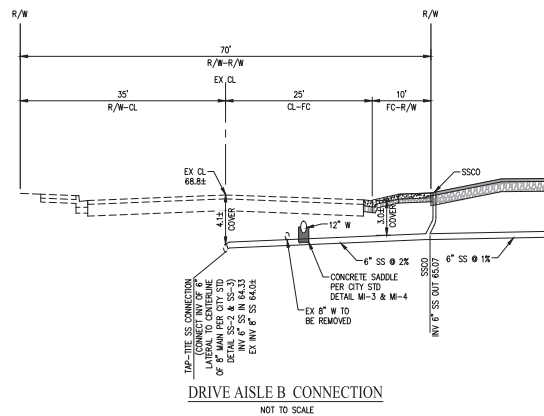
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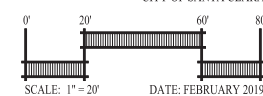


ABBREVIATIONS

BBC	BACK OF BEVELED CURB
BFC	BACK OF FLUSH CURB
CL	CENTERLINE
DW	DOMESTIC WATER
EX	EXISTING
FC	FACE OF CURB
FW	FIRE WATER
INV	INVERT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
PL	PROPERTY LINE
R/W	RIGHT-OF-WAY
SSCO	SANITARY SEWER CLEANOUT
SS	SANITARY SEWER
SW	SIDEWALK
W	WATER



CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



DATE: FEBRUARY 2019

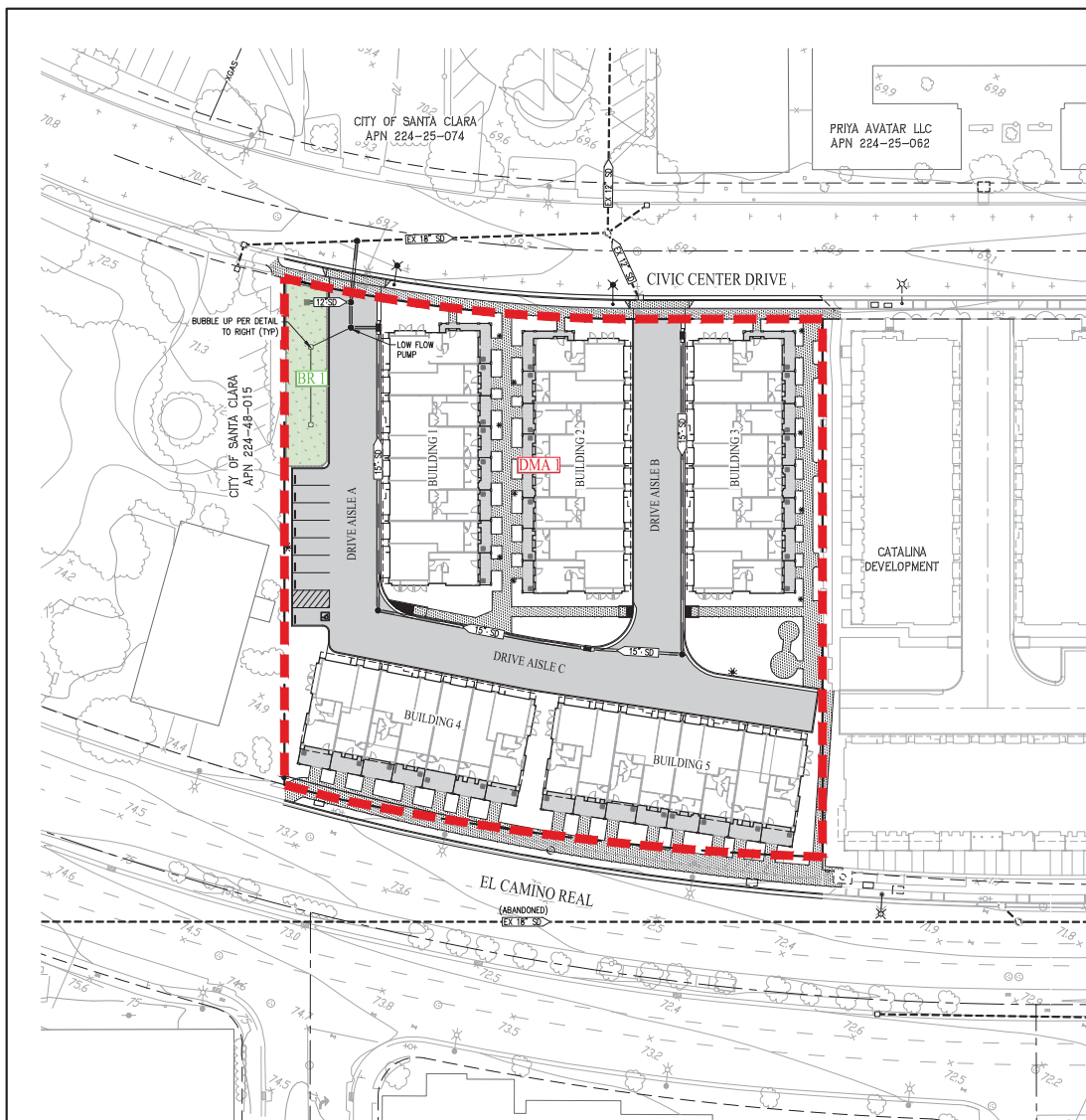


CIVIL ENGINEERS ■ SURVEYORS ■ PLANNERS

SAN RAMON ■ (925) 866-0322
SACRAMENTO ■ (916) 375-1877
WWW.CBANDG.COM

SHEET NO.
C-6

E12725-4504CARTM.TM38.DWG



PRELIMINARY STORM WATER TREATMENT

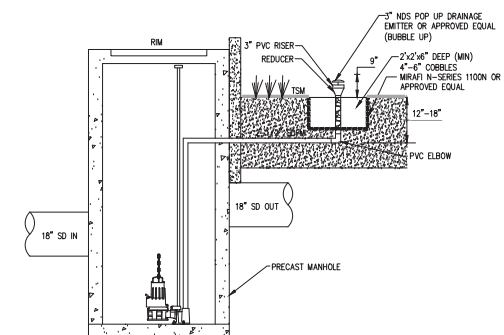
AREA ID	TREATMENT TYPE	IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (IN.)
DMA 1	BIORETENTION	61,420	1,830	1,909	8

NOTES:

1. ALL PLANTS PROPOSED FOR THE BIORETENTION AREAS WILL BE CONSISTENT WITH THE RECOMMENDED PLANTS FROM TABLE D-1 IN APPENDIX D OF THE SCAURPPP C.3 HANDBOOK.
2. THE HOA IS RESPONSIBLE FOR THE MAINTENANCE AND COST ASSOCIATED WITH THE UP-KEEP OF ALL BIORETENTION AREAS.
3. DRAINAGE WILL BE ROUTED TO BIORETENTION FACILITIES THROUGH A COMBINATION OF CURB CUTS, & AREA DRAINS.
4. 18" BIO-TREATMENT SOIL MIX PER C.3 SPECIFICATIONS. INFILTRATION RATE MIN 0" /HR--MAX 10" /HR.

LEGEND

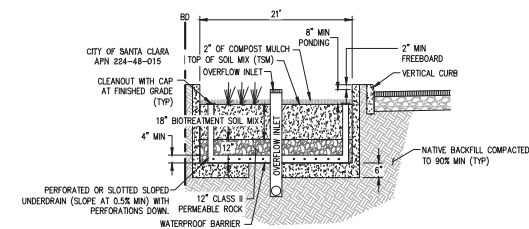
EXISTING	PROPOSED	DESCRIPTION
		DRAINAGE MANAGEMENT AREA BOUNDARY
		DRAINAGE MANAGEMENT AREA
		BIORETENTION AREA
		STORM DRAIN
		CATCH BASIN
		FIELD INLET
		MANHOLE
		BIORETENTION AREA
		BUBBLE UP STRUCTURE
		BIORETENTION CLEANOUT & SUBDRAIN



LOW FLOW WATER QUALITY PUMP

NOT TO SCALE

NOTE:
LOW FLOW WATER QUALITY PUMP SHOWN FOR REFERENCE ONLY AND SUBJECT TO FINAL REVIEW BY THE CITY OF SANTA CLARA WITH CONSTRUCTION DOCUMENTS.

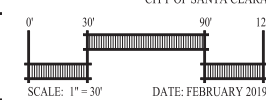


BIORETENTION BASIN WITH DEEPEMED CURB & SLOPE

NOT TO SCALE

PRELIMINARY STORMWATER CONTROL PLAN

CATALINA II



CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



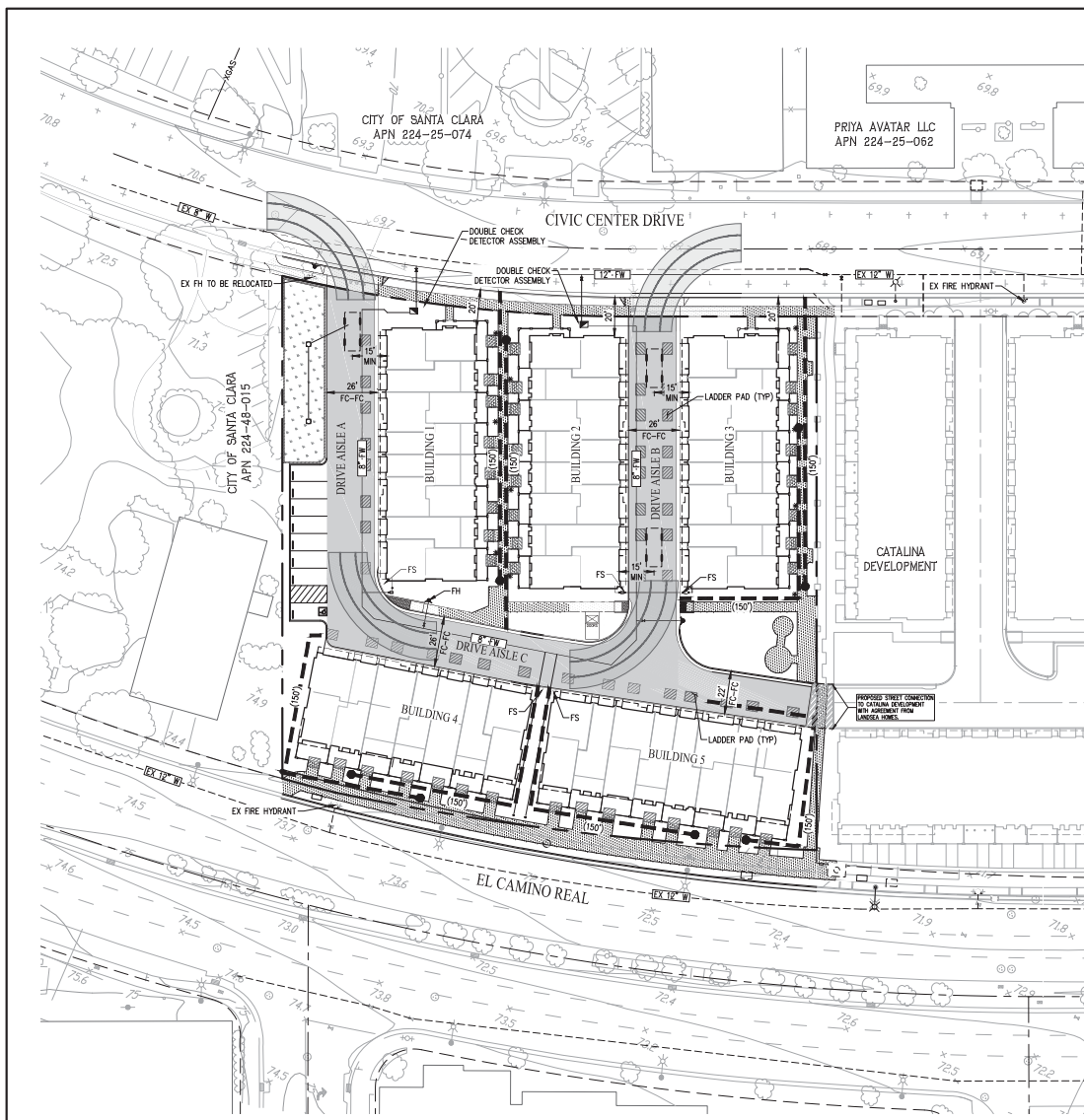
SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
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CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.
C-7

DATE: FEBRUARY 2019

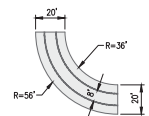
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EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		FIRE AERIAL APPARATUS ACCESS ROAD
		5' X 6' LADDER PAD
		FIRE HYDRANT
		FIRE AERIAL APPARATUS ACCESS (MINIMUM ONE PARALLEL SIDE PER THE CA FIRE CODE APPENDIX D SECTION D105.3)
		FIRE DEPARTMENT HOSE REACH FROM APPARATUS ACCESS ROAD (150' MAX)

FIRE FLOW NOTES:

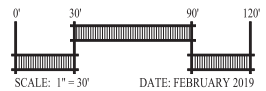
- BUILDING CONSTRUCTION TYPE: TYPE VB
- MAXIMUM BUILDING SQUARE FOOTAGE: 19,496 SF
- REQUIRED FIRE FLOW PER CFC, APPENDIX B: 2,000 GPM
- AVAILABLE FIRE FLOW AT PROJECT SITE: 2,345 GPM (PER FIRE FLOW TEST #522)
- MINIMUM NUMBER OF HYDRANTS: 2
- AVERAGE HYDRANT SPACING: 450 FEET
- PROJECT TO PROVIDE INCREASED NUMBER OF FIRE SPRINKLER HEADS OR OTHER APPROVED ALTERNATIVE.



FIRE TRUCK TURNING TEMPLATE
NOT TO SCALE

FIRE ACCESS PLAN CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



DATE: FEBRUARY 2019

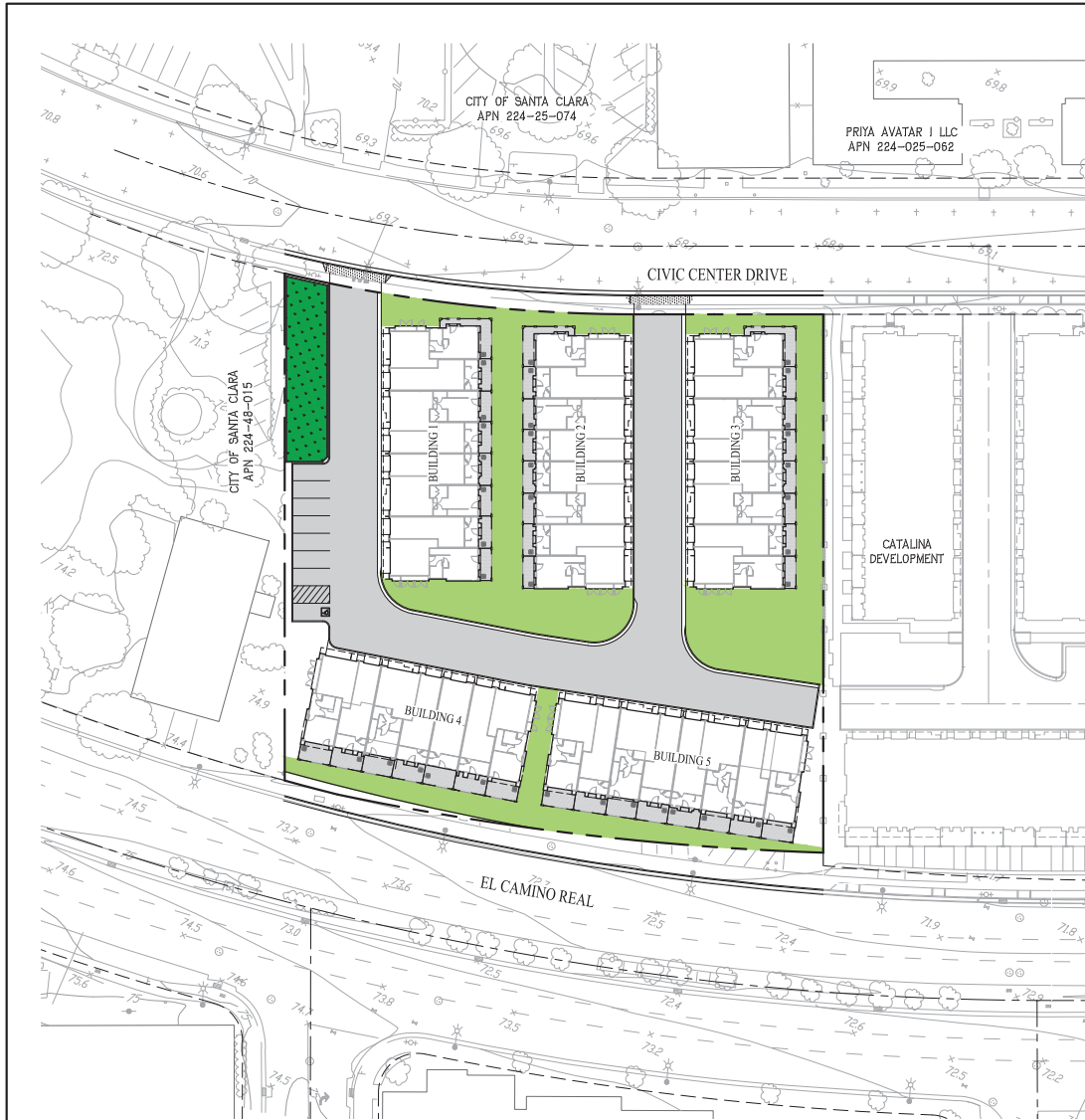


CIVIL ENGINEERS SURVEYORS PLANNERS

SAN RAMON : (925) 866-0322
SACRAMENTO : (916) 375-1877
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SHEET NO.
C-8

P:\075-4818-ACAD\TM\TWO.DWG



LEGEND:

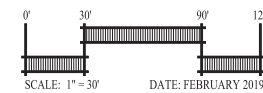
- PROJECT BOUNDARY
- PROPOSED FACE OF CURB
- PROPOSED CENTERLINE
- ADJACENT PARCEL BOUNDARY
- PAVEMENT
- COMMON OPEN SPACE
- BIORETENTION
- PRIVATE PORCH

OPEN SPACE SUMMARY

PROVIDED COMMON OPEN SPACE	14,780 SF
----------------------------	-----------

OPEN SPACE EXHIBIT CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



DATE: FEBRUARY 2019



CIVIL ENGINEERS SURVEYORS PLANNERS

SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM

SHEET NO.
C-9

F:\025-4818-02\TM\TWO.DWG
1/20/2019 10:47 AM

A vicinity map showing the project site location. The map includes major roads such as Carrillo Ave, Warrburton Ave, El Camino Real, San Tomas Expressway, Los Padres Road, Field Road, Civic Center Drive, Alvarado Road, Harrison Street, Santa Rosa Street, Homestead Road, and Market Street. The project site is highlighted in a shaded area on Field Road. A north arrow is located on the left side of the map. The text "VICINITY MAP" and "NOT TO SCALE" is at the bottom.

[illegible]

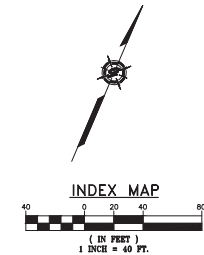
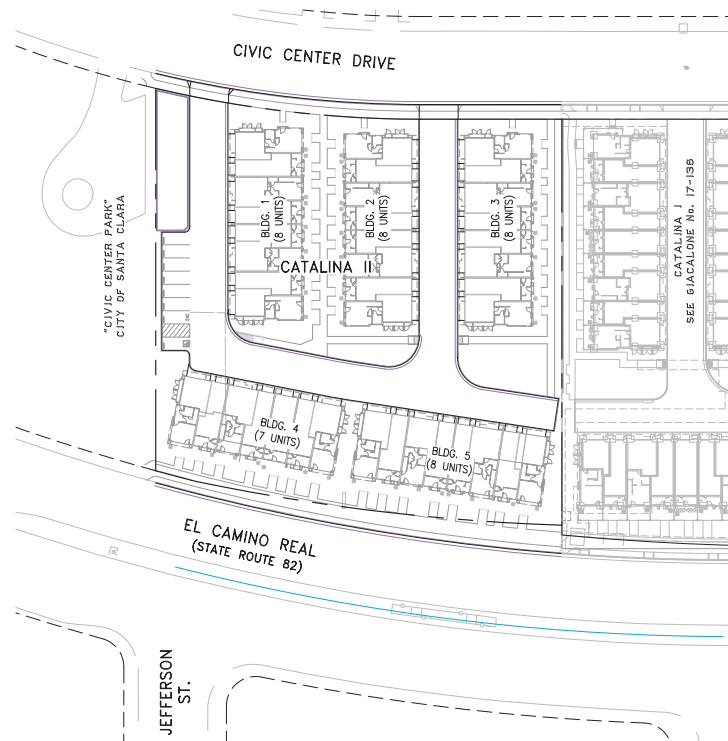
GIACALONE
DESIGN SERVICES, INC.

5820 STONEBRIDGE HALL RD., #145 | PLEASANTON, CA 94588
925.487.1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT TITLE SHEET

SCS DEVELOPMENT
CATALINA II
432, 1453, 1463, 1483 & 1493 EL CAMINO REAL
CITY OF SANTA CLARA
CALIFORNIA

PROJECT MANAGER: B. FULLINGTON
DRAWN BY: RSG
CHECKED BY: DAVID CROWFOOT
SCALE: 1"=40'
JOB NUMBER: 18-210
DATE LAST MODIFIED: 02-20-19
SHEET INT1
OF 2 SHEETS

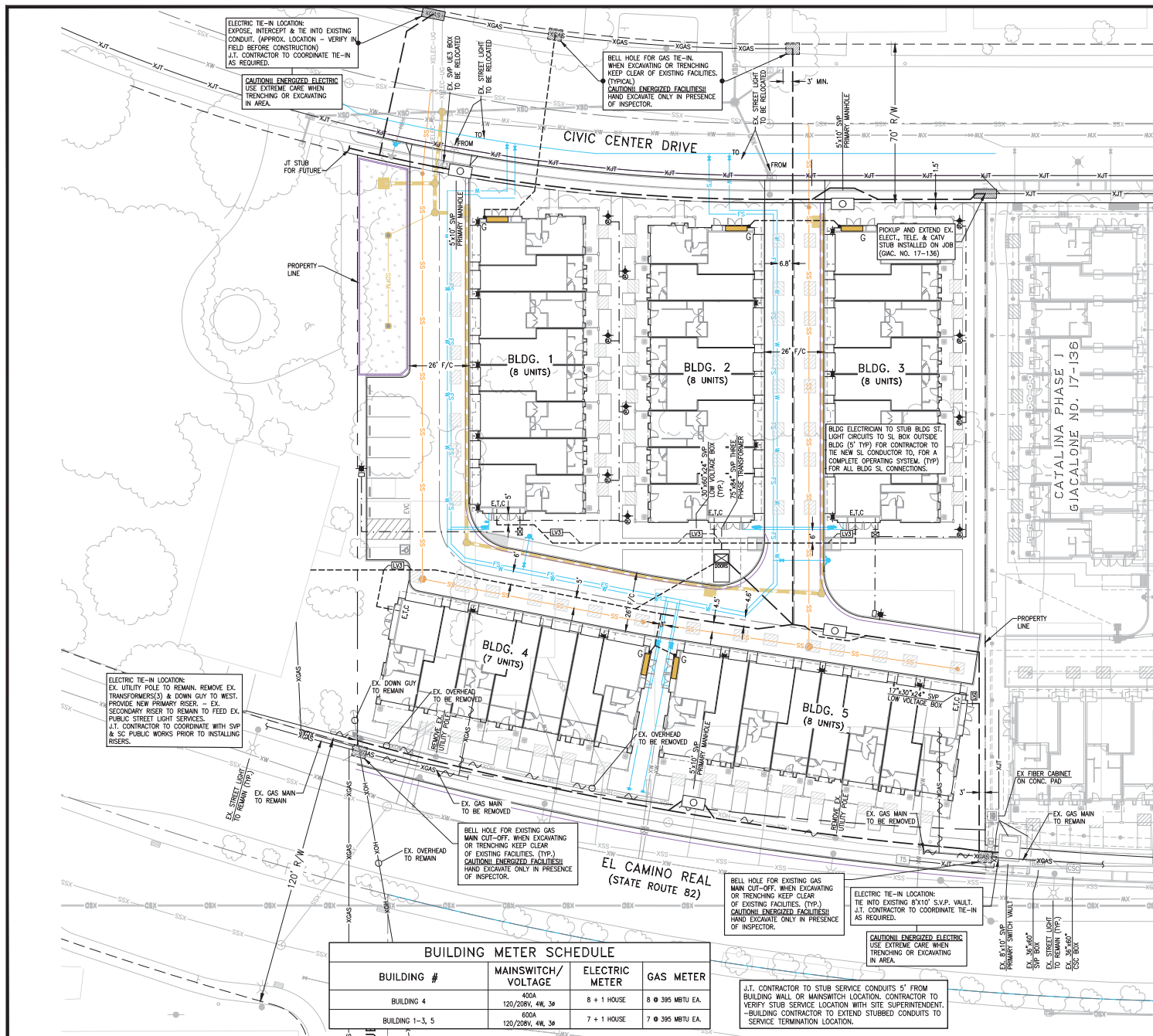


NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN
POINTS ON INTENT RESPONSE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

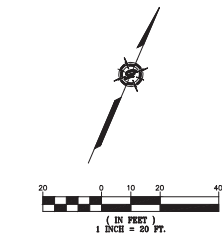
PROJECT TEAM CONTACTS			PG&E PM NO.	LATEST FILES RECEIVED				PROJECT DESCRIPTION & SCOPE		SHEET INDEX		RSG CHECKED BY: DAVID CROWFORD
COMPANY:	CONTACT:	PHONE:	ELECTRIC:	DESCRIPTION:	BY:	DATE:	STATUS:	- SERVICE TO (5) BUILDINGS CONSISTING OF (39) UNITS TOTAL - UNDERGROUND 220 LF OF OVERHEAD LINES ALONG EL CAMINO REAL - PUBLIC AND PRIVATE STREET LIGHTING	SHEET	DESCRIPTION	SCALE: 1"=40'	
SCS DEVELOPMENT	ALEC TAPPIN	925-310-5905.	RULE 15:	GAS DESIGN					INT1	JOINT TRENCH INTENT TITLE SHEET	JOB NUMBER: 18-210	
CBG	MEGAN ALFERNESS / COLT ALVARNAZ	925-866-0322	RULE 20:	ELECTRIC DESIGN					INT2	JOINT TRENCH INTENT	DATE LAST MODIFIED: 02-20-19	
PG&E	ESTERAN MAGAS	408-725-3256.	RELOC:	TELEPHONE LAYOUT							SHEET INT1	
SVP	TO BE DETERMINED			CATV LAYOUT							OF 2 SHEETS	
AT&T	RANDY SCHWABACHER	415-810-3650.	GAS:	STREET LIGHT PLANS - PUBLIC								
CABLECOM	FRANK MORALES	707-759-4070	RULE 15:	STREET LIGHT PLANS - PRIVATE		02-20-19	-					
DANIELIAN ASSOCIATES	MICHAEL J. ROYO	949-474-6030	RELOC:	IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG							
GIALONE DESIGN SERVICES, INC.	BRETT FULLINGTON	925-467-1740.		A=Approved +ANS=Approved Not Signed +NA=Not Approved +F=First Submittal +SS=Second Submittal								



BUILDING METER SCHEDULE			
BUILDING #	MAINSWITCH/VOLTAGE	ELECTRIC METER	GAS METER
BUILDING 4	400A 120/208V, 4W, 3ø	8 + 1 HOUSE	8 @ 395 MBTU EA.
BUILDING 1-3, 5	400A 120/208V, 4W, 3ø	7 + 1 HOUSE	7 @ 395 MBTU EA.

LEGEND

- EXISTING TRENCH OR UTILITIES
- PROPOSED TRENCH (DISTRIBUTION)
- PROPOSED STREET LIGHT TRENCH
- PROPOSED TRENCH (SERVICE)
- EXISTING UTILITY SPLICE BOX
- 30"x60"x24" SVP UTILITY ELECTRIC BOX
- 24"x36"x24" SVP LOW VOLTAGE BOX
- 30"x60"x24" SVP LOW VOLTAGE BOX
- 5'x10' SVP PRIMARY MANHOLE (F.V.T.)
- 75"x84" SVP THREE PHASE TRANSFORMER
- PROPOSED PUBLIC STREET LIGHT
- PROPOSED PRIVATE STREET LIGHT
- PROPOSED PRIVATE BOLLARD LIGHT
- PROPOSED PRIVATE WALLPACK LIGHT
- STREET LIGHT BOX (STATE TYPE 3 1/2)
- STREET LIGHT BOX (STATE TYPE 5)
- FLB 9" ROUND SPLICE BOX



NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

REVISIONS		DATE
NO.	DESCRIPTION	

PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
RSO

CHECKED BY:
DAVID CROWFOOT

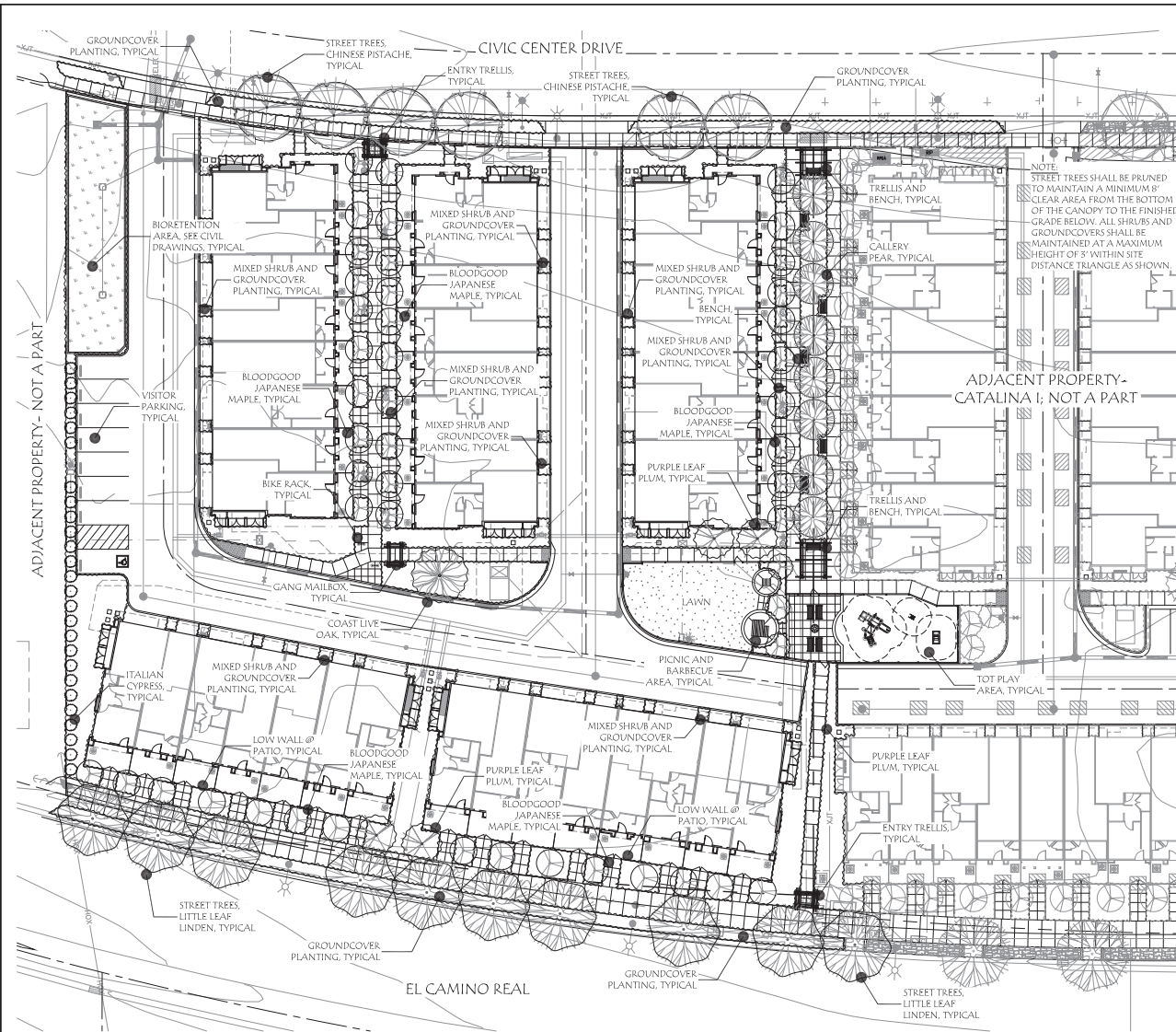
SCALE:
1" = 20'

JOB NUMBER:
18-210

DATE LAST MODIFIED:
02-20-19

SHEET
INT2
OF 2 SHEETS

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DESIGN SERVICES, INC.
1432, 1453, 1463, 1483 & 1493 EL CAMINO REAL
CITY OF SANTA CLARA, CALIFORNIA
95050-1700 | WWW.GIACALONEDESIGN.COM



PLANT PALETTE

SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS/ WUCOLS	SPACING
TREES				
18 Gal	Acer p. 'Bloodgood'	Bloodgood Japanese Maple	Accent Tree	M
24" box	Cupressus sempervirens	Italian Cypress	Evergreen Tree	L
18 Gal	Lagerstroemia l. 'Tuscany'	Multi Trunk Grape Hydrangea	Flowering Tree	L
24" box	Prunus c. 'Kasner Venus'	Sterile Chinese Pistache	Mossing Tree	L
18 Gal	Prunus c. 'Kasner Venus'	Purple Leaf Plum	Flowering Tree	L
24" box	Pyrus c. 'Charlesdester'	Glossy Pear	Flowering Tree	M
24" box	Quercus agrifolia	Coast Live Oak	Native Tree	L
24" box	Tilia c. 'Greenglobe'	Little Leaf Linden	Street Tree	M
SHRUBS				
1 gal	Agapanthus 'Peter Pan'	Dwarf Lily-of-the-Nile		M
5 gal	Cotoneaster parryi	Parry Cotoneaster		L
5 gal	Elaeagnus p. 'Fraxinifolia'	Silverberry		L
5 gal	Heteromeles a. 'Eve Case'	Eve Case Toyon		L
5 gal	Garrya elliptica	Coast Silktassel		L
5 gal	Laurox nobilis	Sweet Bay		L
5 gal	Leucopetalum c. 'Razzeberry'	Red Chokeberry		L
5 gal	Nerium o. 'Red'	Indian Hawthorn		L
5 gal	Rhododendron indica 'Jack Evans'	Red Madland Rose		M
5 gal	Rosa 'Red Madland'	Rosemary		L
5 gal	Ruscus aculeatus	Teucrium		L
5 gal	Teucrium fruticosum	Coast Rosemary		L
5 gal	Weddingia fruticosa			L
GROUNDCOVERS & VINES				
1 gal	Citrus aurantiifolius	Sageleaf Rockrose		L
1 gal	Cotoneaster dammeri	Spreading Cotoneaster		L
1 gal	Eriogonum fasciculatum	Daisy Fleabane		L
1 gal	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily		M
1 gal	Lantana 'Gold Rush'	Yellow Spreading Lantana		L
1 gal	Lantana 'Miss Huff'	Orange/Pink Lantana		L
1 gal	Ruscus aculeatus	Spreading Rosemary		L
1 gal	Trachelium minus	Star Jasmine		M

GREEN LANDSCAPE CHECKLIST

1. No plant species specified shall require shearing.
2. No plant species are listed on the Invasive Plant Inventory by the California Invasive Plant Council.
3. Plant species specified shall be drought tolerant California Native, Mediterranean or their appropriate species.
4. All planting beds shall be mulched to a depth of 2 inches or greater per local ordinance.
5. Soils shall be amended with 2 inches of compost or as required to reach 5.5% organic matter.
6. Irrigation system shall be designed as a high efficiency system and shall include smart (weather based) irrigation controllers, bubblers and low flow sprinklers.
7. Planted areas shall be grouped according to water needs (hydrozoning), with hydrozones identified on the irrigation plans.

Illustrative Site Plan



SCALE: 1" = 20'

0 10 20 40 60

CATALINA II SCS DEVELOPMENT

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



RANDALL PLANNING & DESIGN, INC.
Landscape Architecture • Golf Facilities
Site and Environmental Planning
115 Poppy Court Walnut Creek, California 94596
Office: (925) 938-0002 Fax: (925) 400-0441

FEBRUARY 19, 2019

SHEET NUMBER

L-1

TREES



CRAPPE MYRTLE



LITTLE LEAF LINDEN



PURPLE LEAF PLUM



CHINESE PISTACHE



CALLERY PEAR

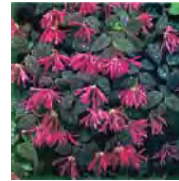


BLOODGOOD JAPANESE MAPLE

TYPICAL SHRUBS AND PERENNIALS



DAYLILIES



LOROPETALUM



AGAPANTHUS



ROSES



RHAPHIOLEPIS



ROSEMARY

PAVING AND WALLS



PERMEABLE PAVING



LOW WALL AT PATIO



STORMWATER TREATMENT



BIORETENTION AREA

ENTRY FEATURES



GANG MAILBOX



SITE FURNISHINGS



BENCH



BARBECUE



ACCESSIBLE TABLE

Illustrative Images

CATALINA II SCS DEVELOPMENT

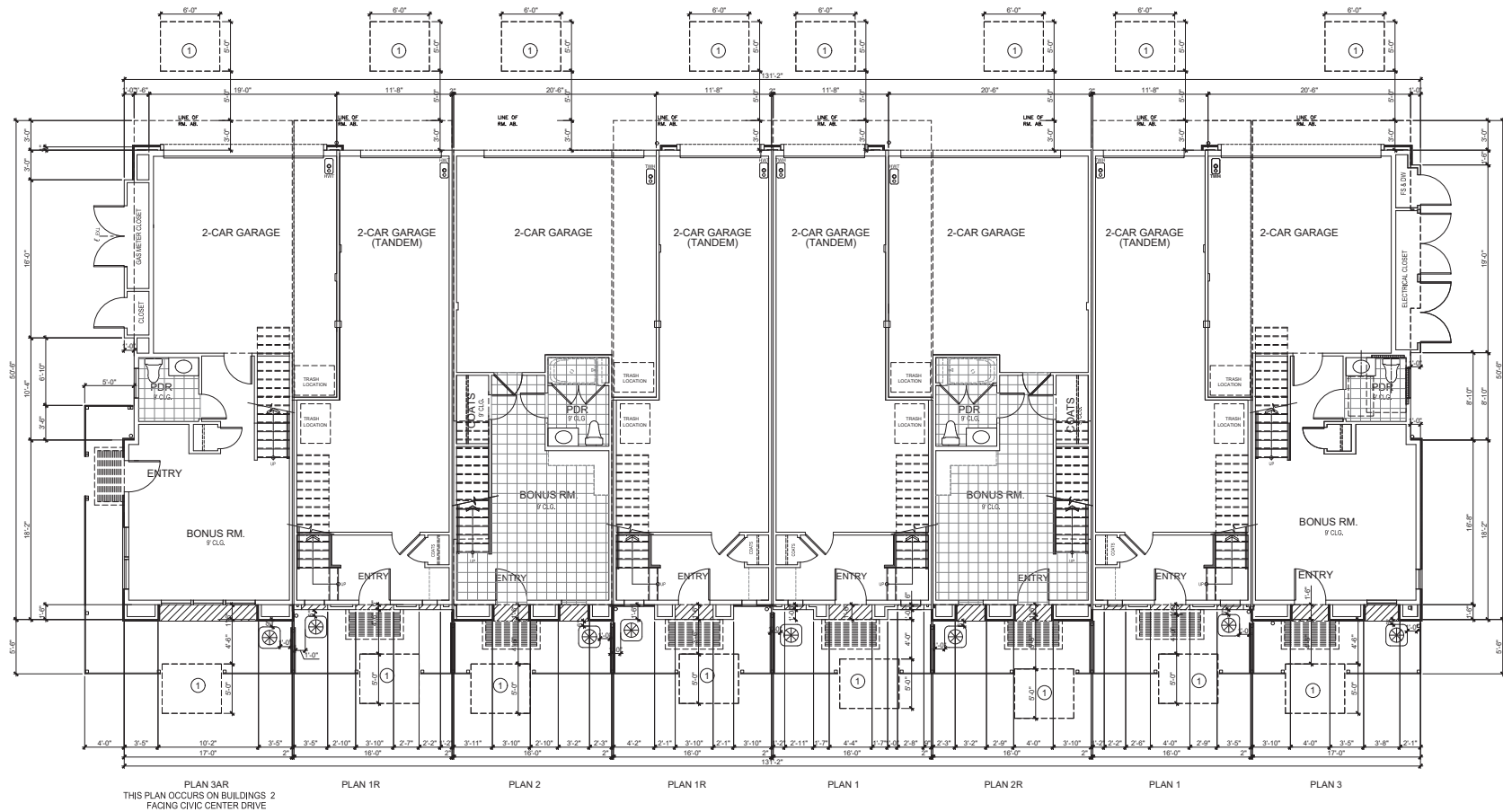
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

FEBRUARY 19, 2019

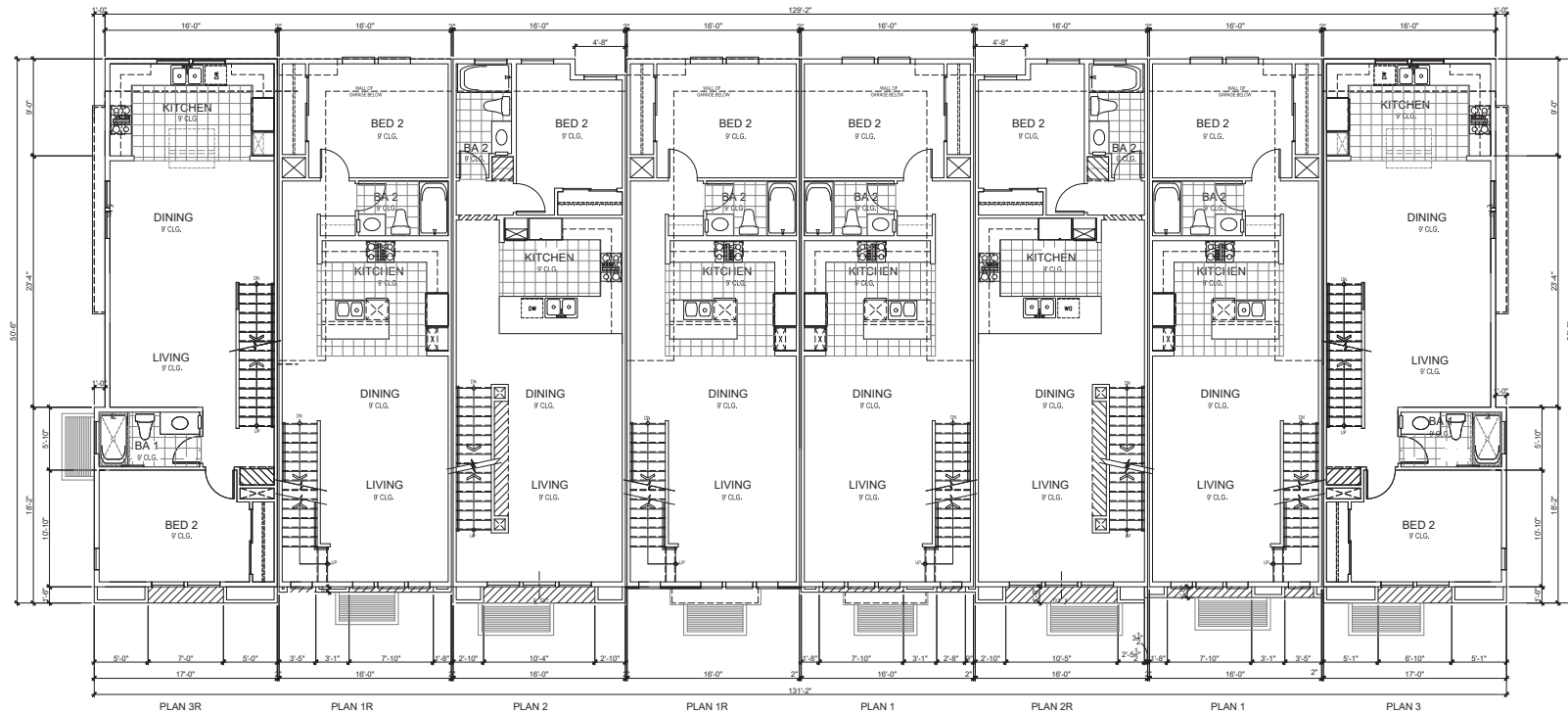


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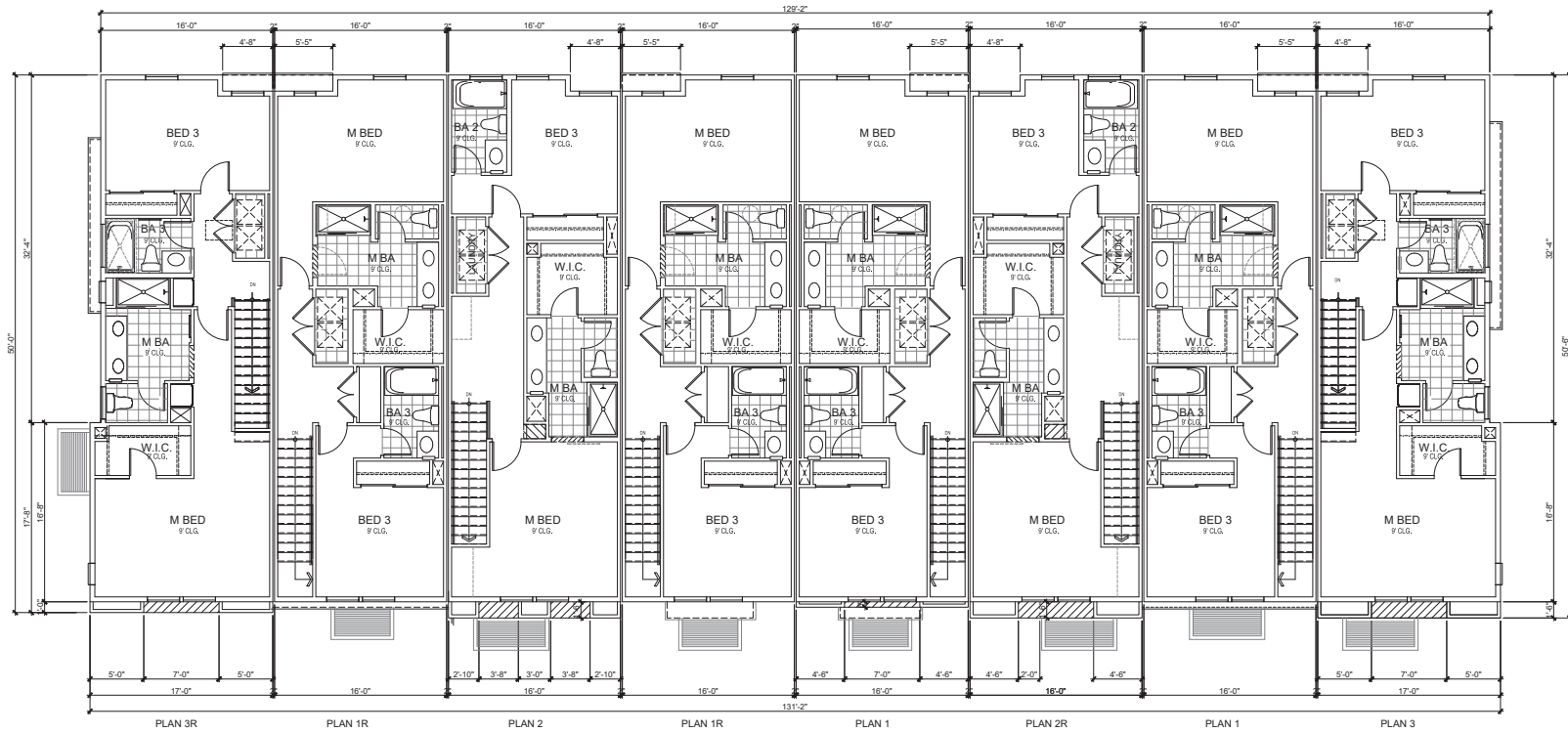
SHEET NUMBER
L-2



SCALE: 3/16" = 1'-0"
FIRST FLOOR



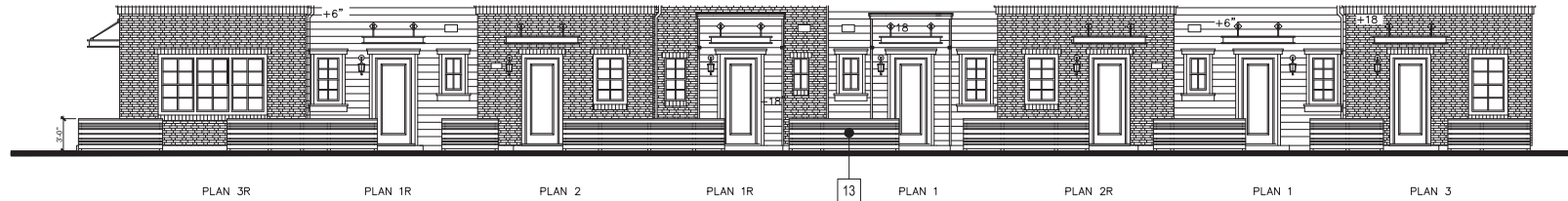
SCALE: 3/16" = 1'-0"
SECOND FLOOR



SCALE: 3/16" = 1'-0"
THIRD FLOOR



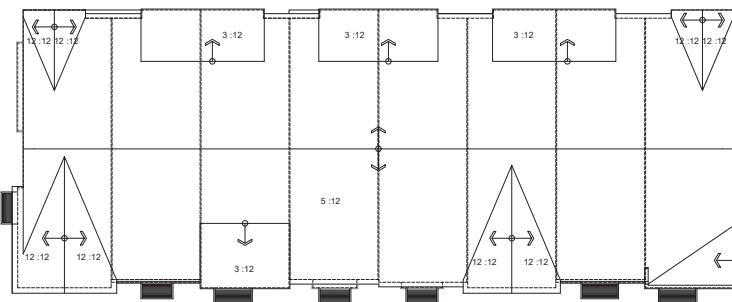
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATIIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
SCALE: 3/32" = 1'-0"

CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDG 2_8 - PLEX A FRONT ELEVATION
MODERN FARM

DANIELIAN ASSOCIATES
architects ■ planners
www.danielian.com 949.474.6030 18111.00

02.13.18

A-84A

18111.00



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

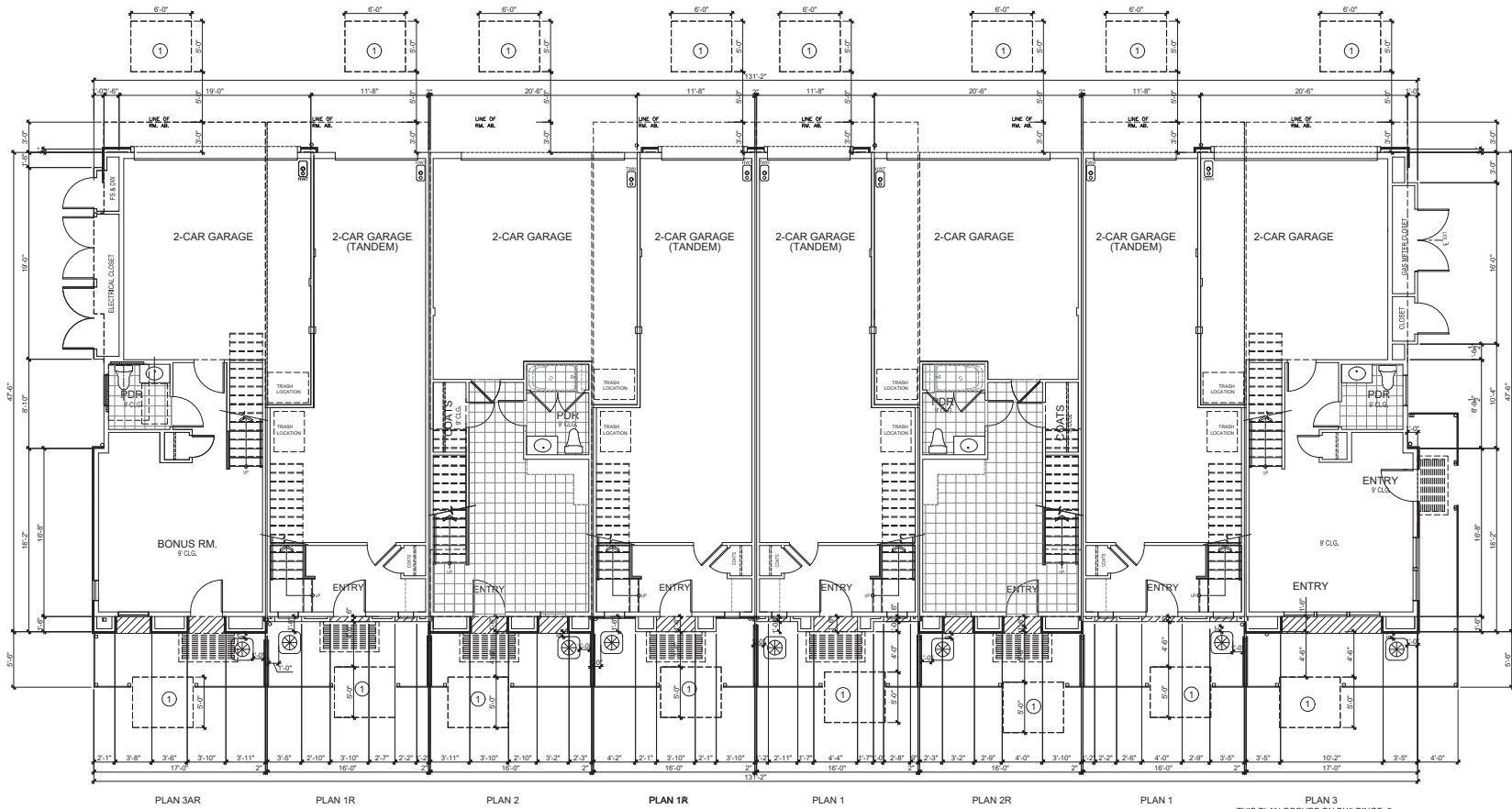
PLAN 1

PLAN 2R

PLAN 1

PLAN 3

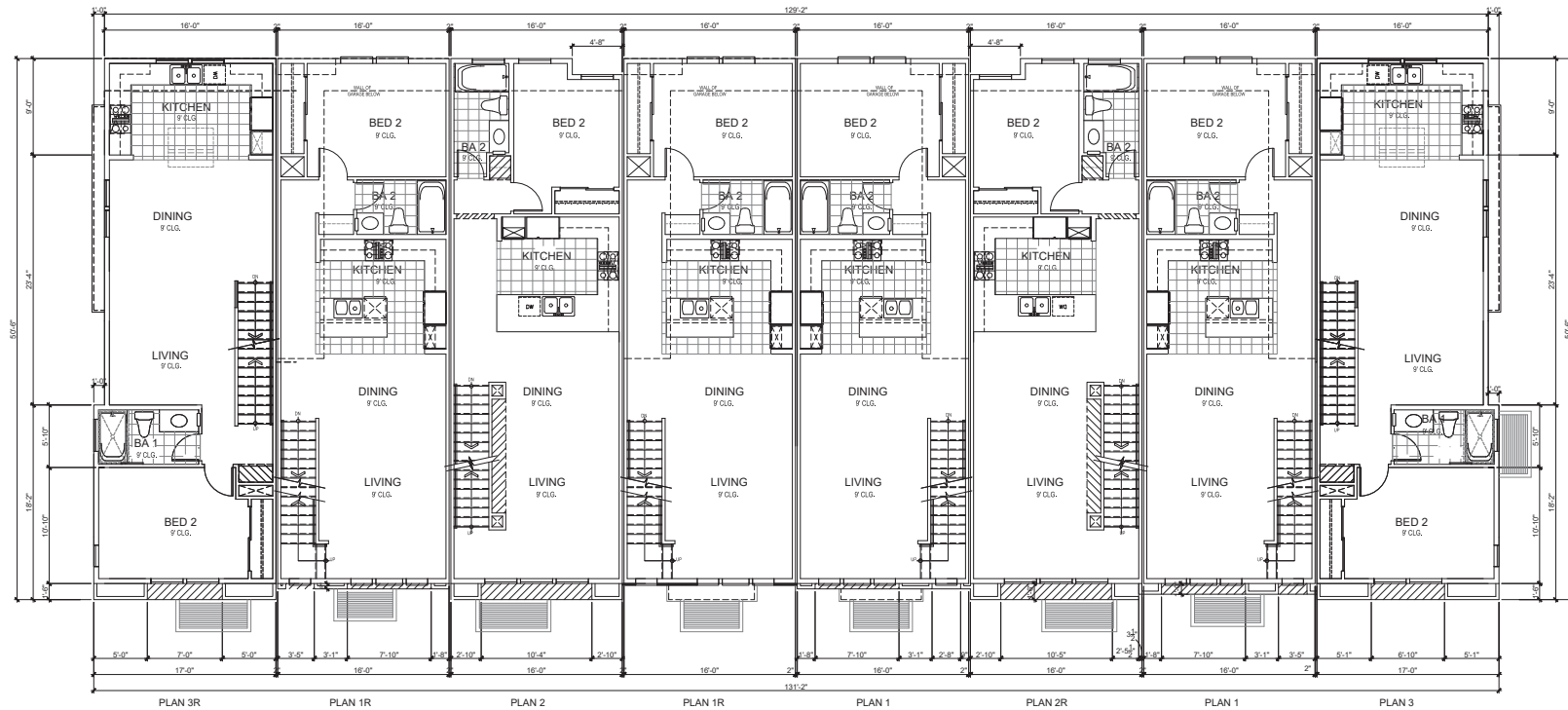
FRONT ELEVATION



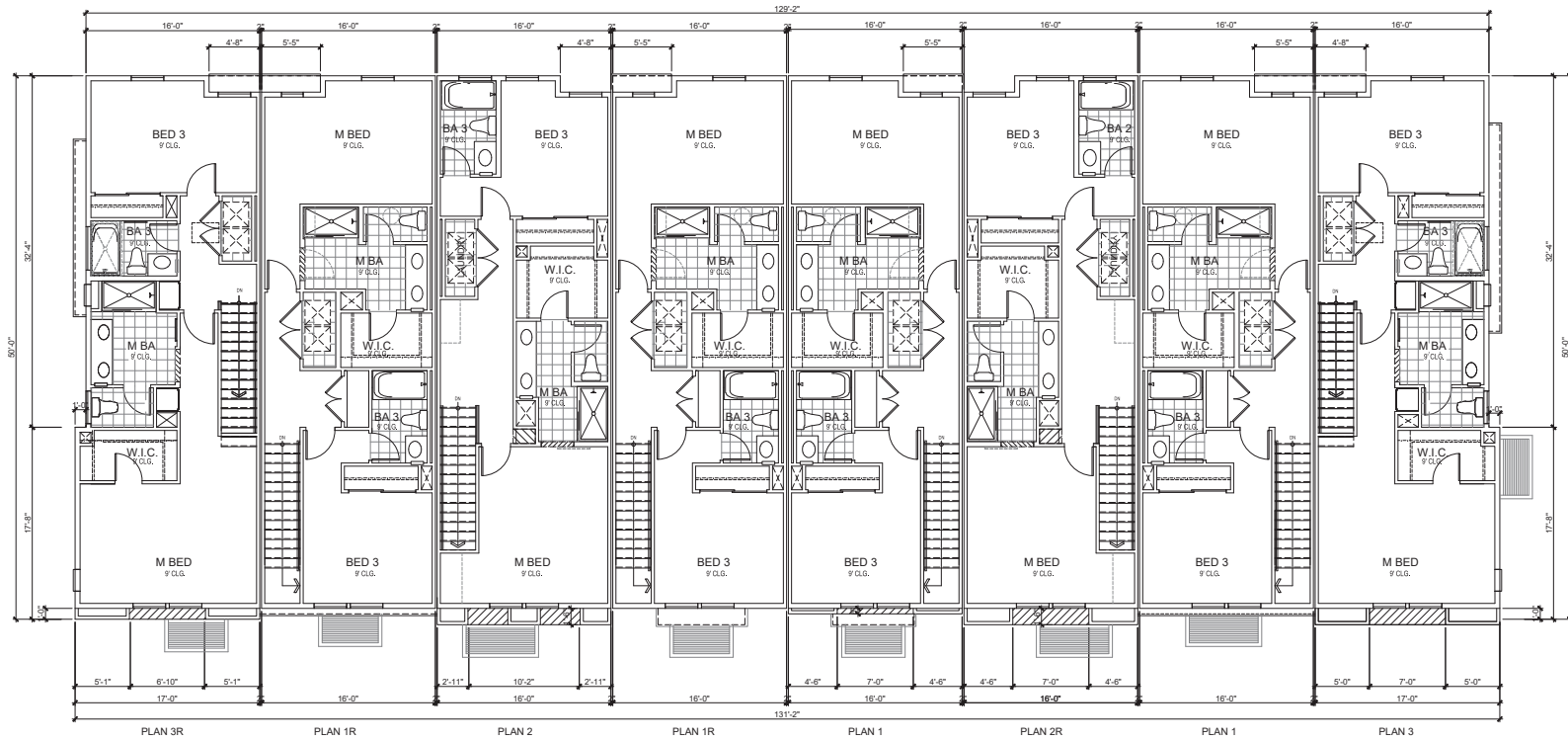
KEYNOTE:

- 1 FIRE DEPT. LADDER PAD 5'X6' CENTERED WITH EGRESS WINDOW ABOVE STANDARD. LADDER SET-UP SHALL NOT BE OBSTRUCTED BY ARCH. FEATURES, FENCING, TREES, LANDSCAPE, PLANTERS OR OTHER OBSTRUCTIONS. REFER TO SHEET A-F1 FOR CITY OF SANTA CLARA FIRE DEPARTMENT LADDER PAD REQUIREMENTS. LADDER PAD POSITION IS BASE ON THE EGRESS WINDOW LOCATED ON THE THIRD FLOOR OF EACH UNIT.

SCALE: 3/16" = 1'-0"
FIRST FLOOR



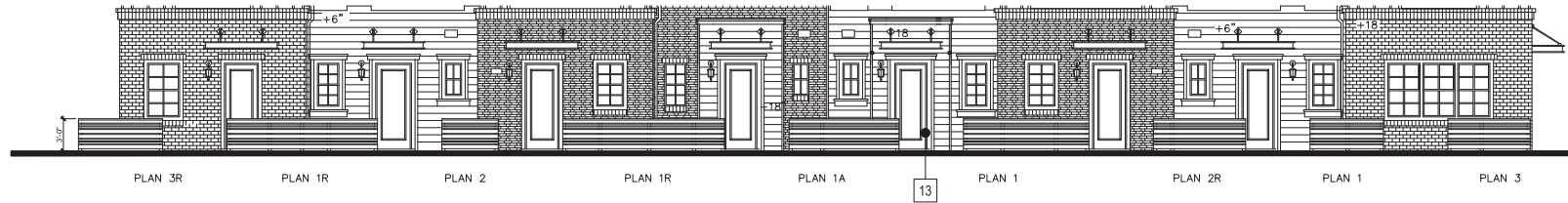
SCALE: 3/16" = 1'-0"
SECOND FLOOR



SCALE: 3/16" = 1'-0"
THIRD FLOOR



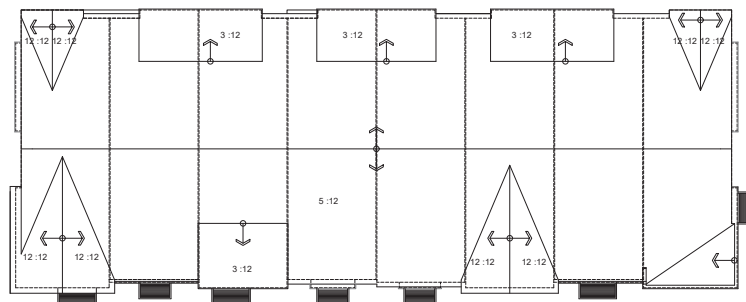
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

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15. CEMENTATIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
SCALE: 3/32" = 1'-0"



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

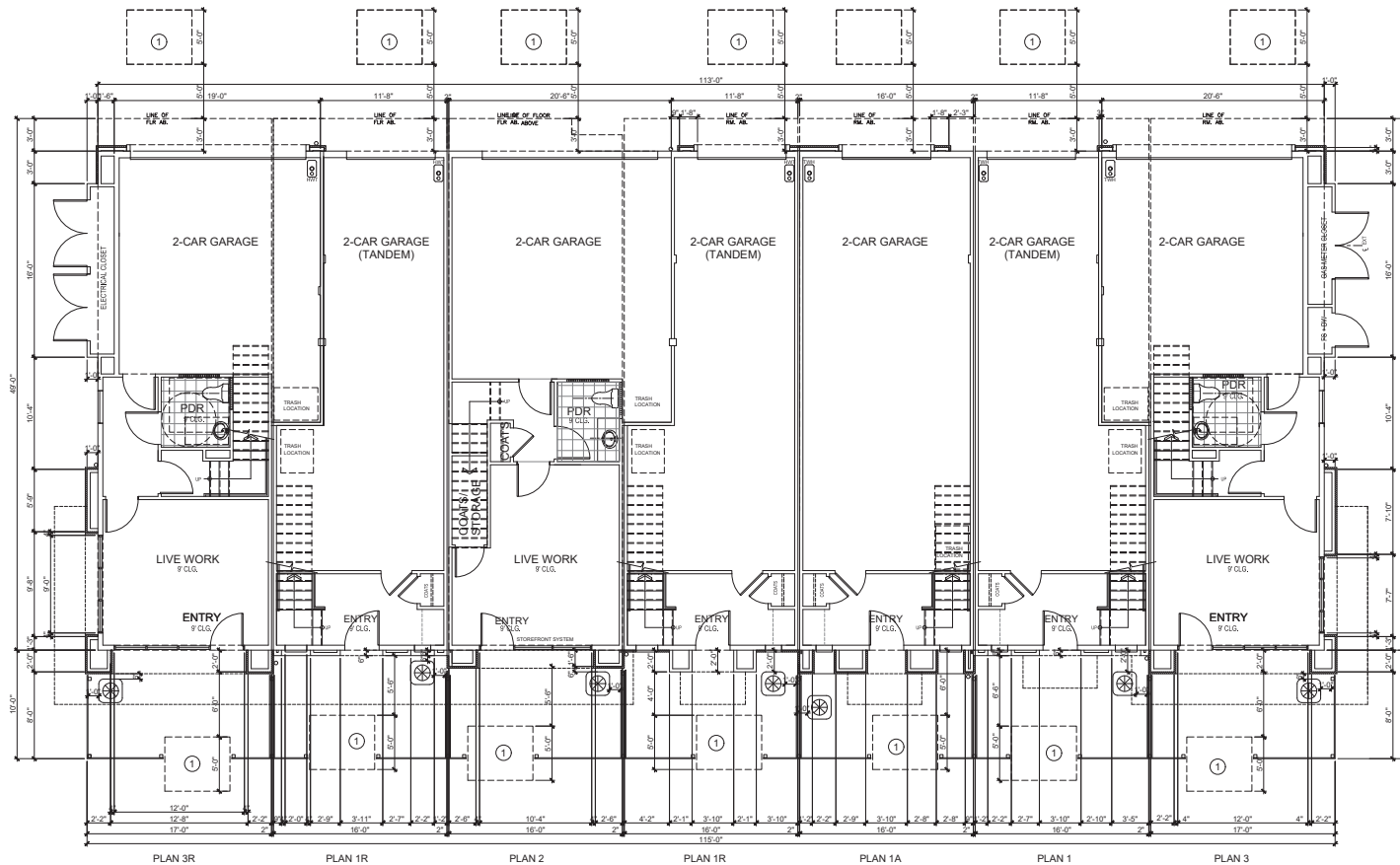
PLAN 1

PLAN 2R

PLAN 1

PLAN 3

FRONT ELEVATION



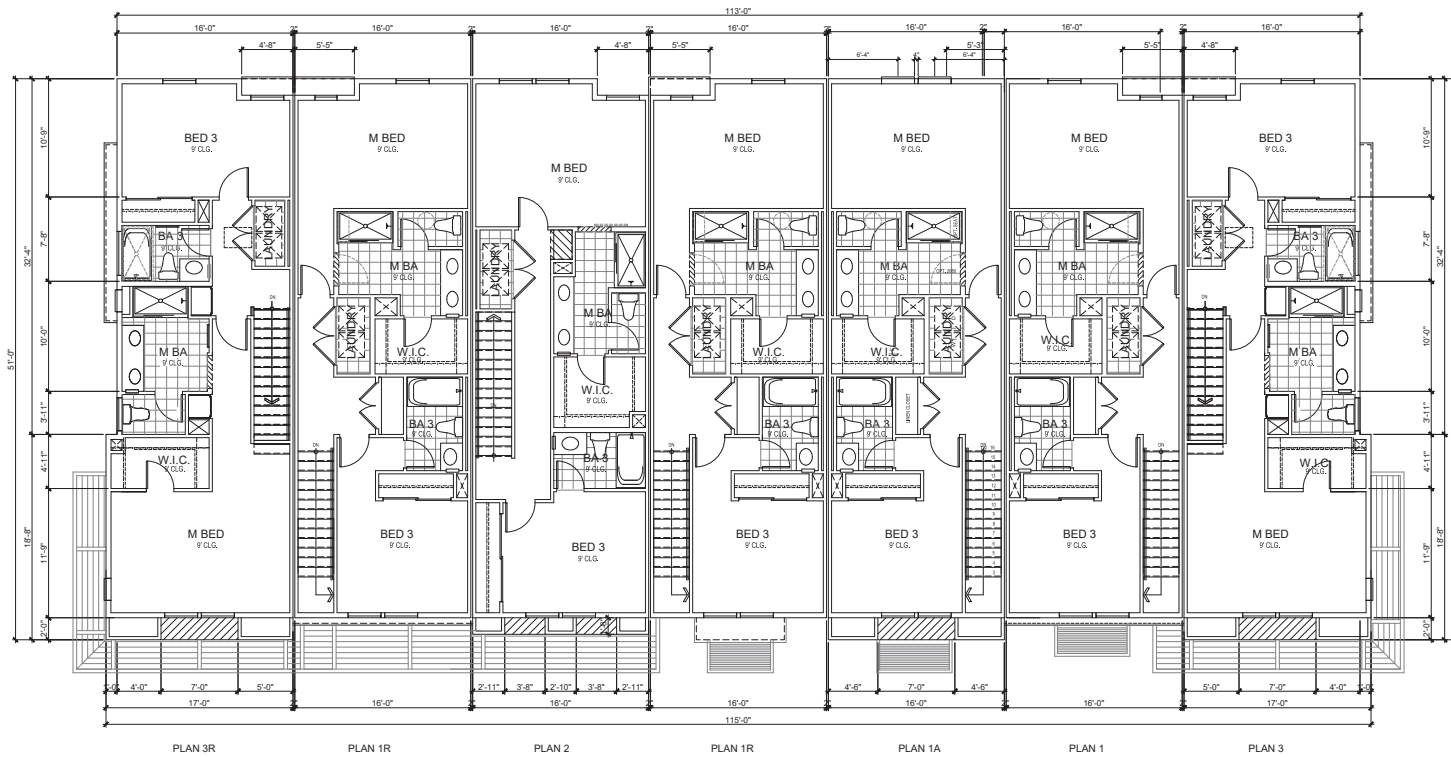
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FIRST FLOOR



SCALE: 3/16" = 1'-0"
SECOND FLOOR



SCALE: 3/16" = 1'-0"
THIRD FLOOR



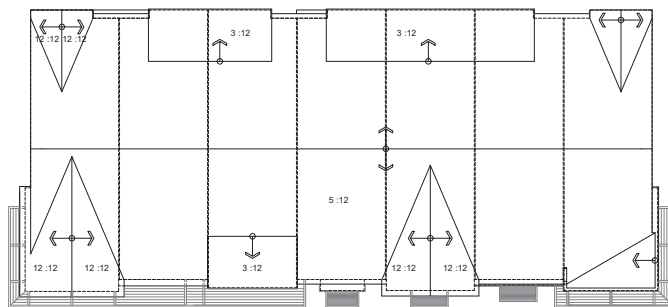
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATIIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
SCALE: 3/32" = 1'-0"



MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 4" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTITIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



PLAN 3R
LIVEWORK

PLAN 1R

PLAN 2
LIVEWORK

PLAN 1R

PLAN 1A

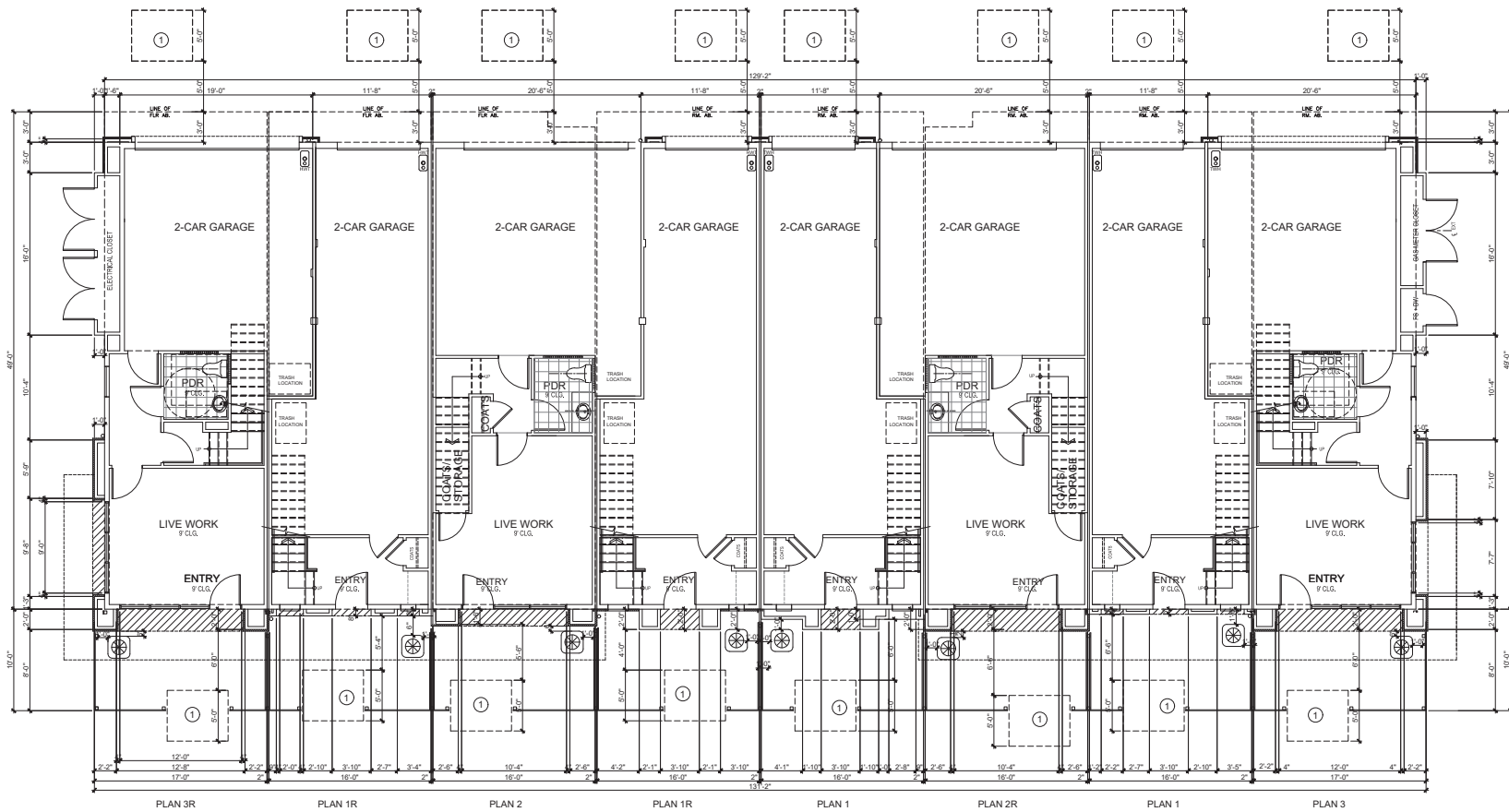
PLAN 1

PLAN 3
LIVEWORK

CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDG 4_7 - PLEX LIVE/WORK RENDERED ELEVATION
MODERN FARM

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02.13.18 A-LW7R1



KEYNOTE:

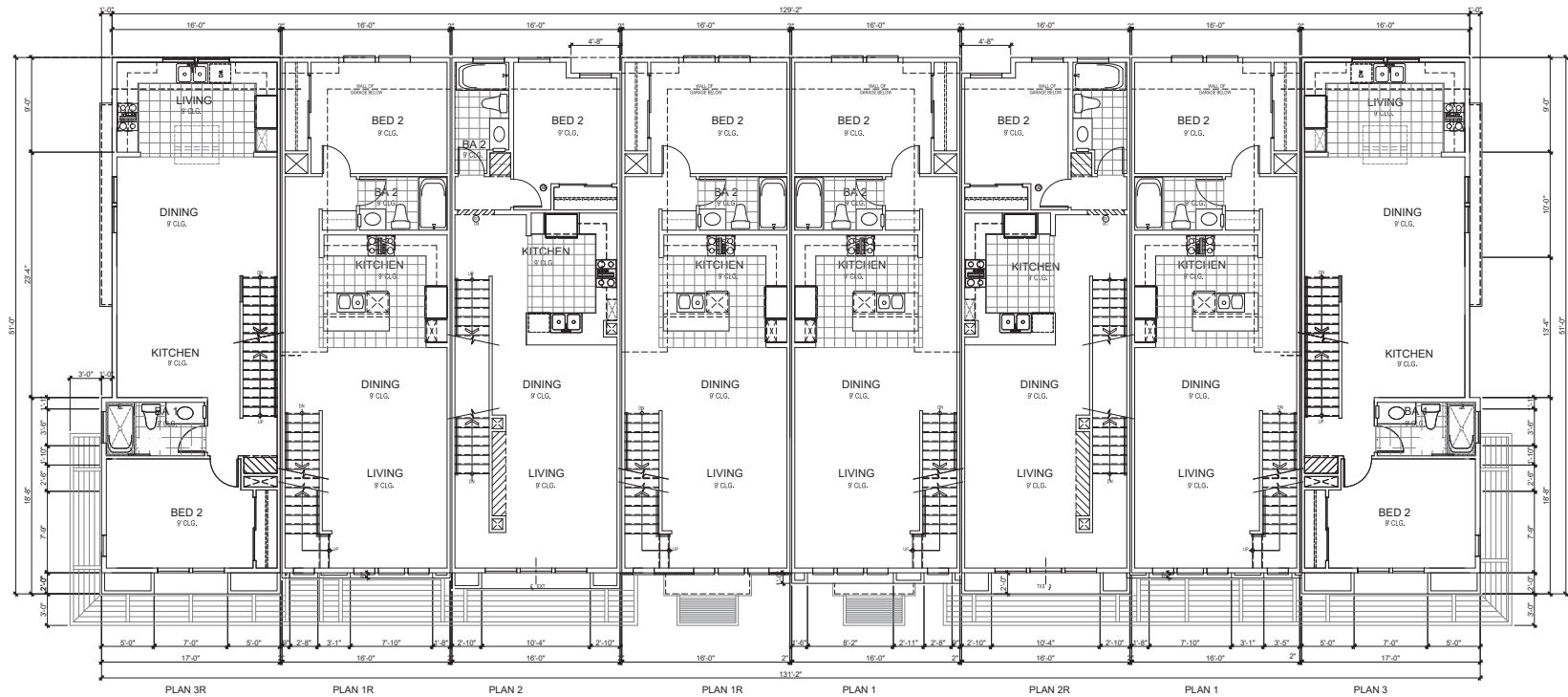
- ① FIRE DEPT. LADDER PAD 5'X6' CENTERED WITH EGRESS WINDOW ABOVE STANDARD. LADDER SET-UP SHALL NOT BE OBSTRUCTED BY ARCH. FEATURES, FENCING, TREES, LANDSCAPE, PLANTERS OR OTHER OBSTRUCTIONS. REFER TO SHEET A-F1 FOR CITY OF SANTA CLARA FIRE DEPARTMENT LADDER PAD REQUIREMENTS. LADDER PAD POSITION IS BASE ON THE EGRESS WINDOW LOCATED ON THE THIRD FLOOR OF EACH UNIT.

SCALE: 3/16" = 1'-0"
FIRST FLOOR

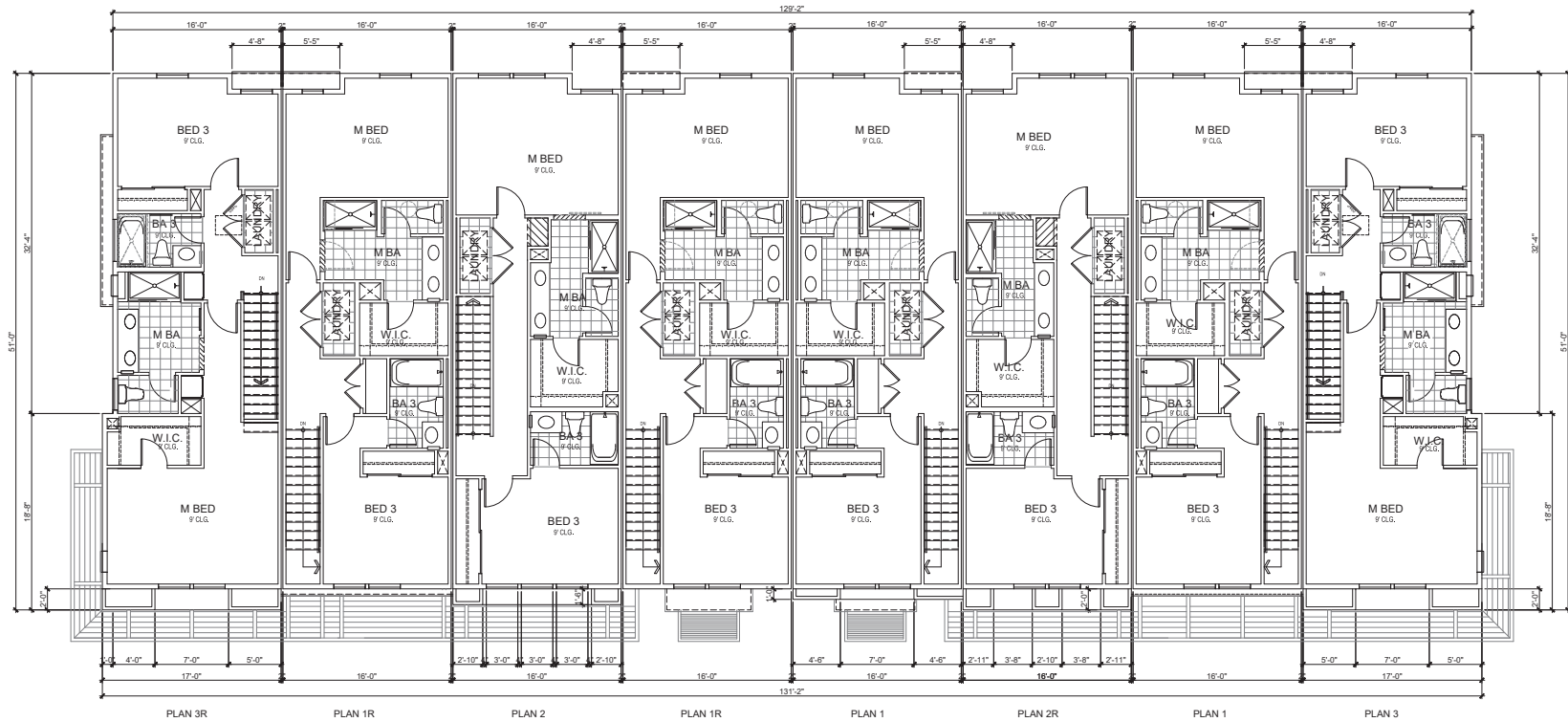
CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDG 5_8 - PLEX LIVE/WORK FIRST FLOOR
MODERN FARM

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A-LW81



SCALE: 3/16" = 1'-0"
SECOND FLOOR



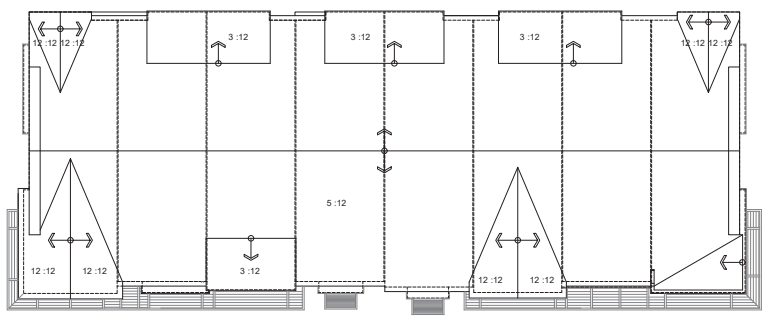
SCALE: 3/16" = 1'-0"
THIRD FLOOR



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATIONOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



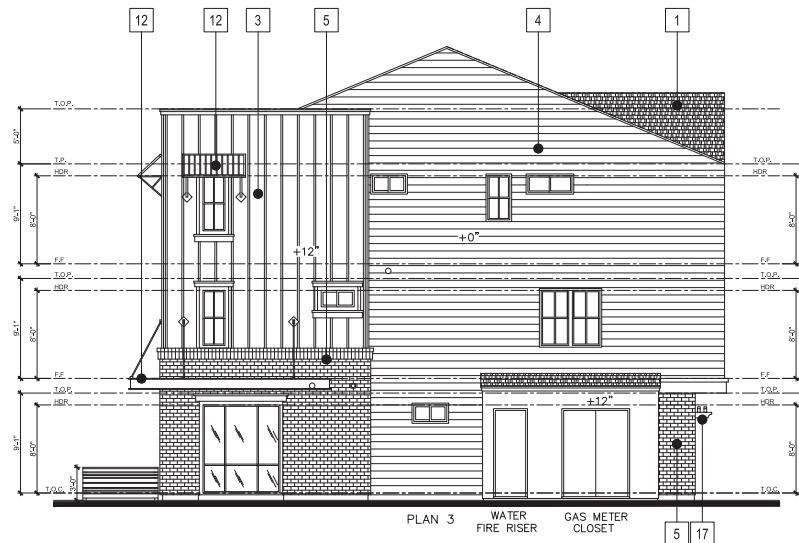
REAR ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATION TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

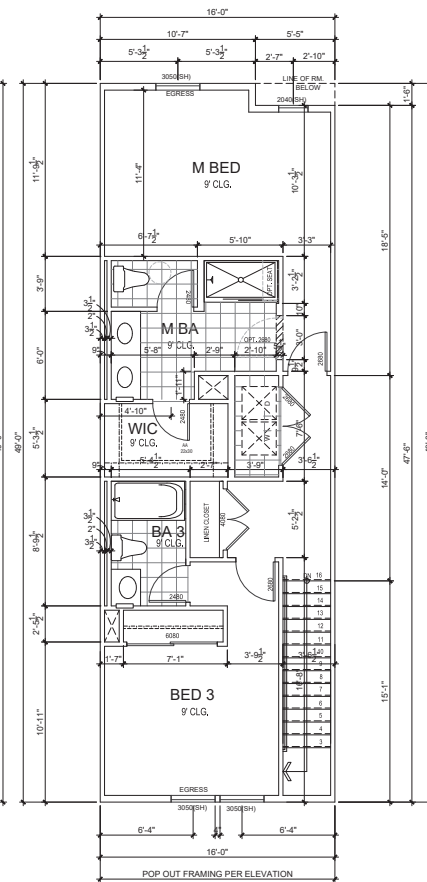
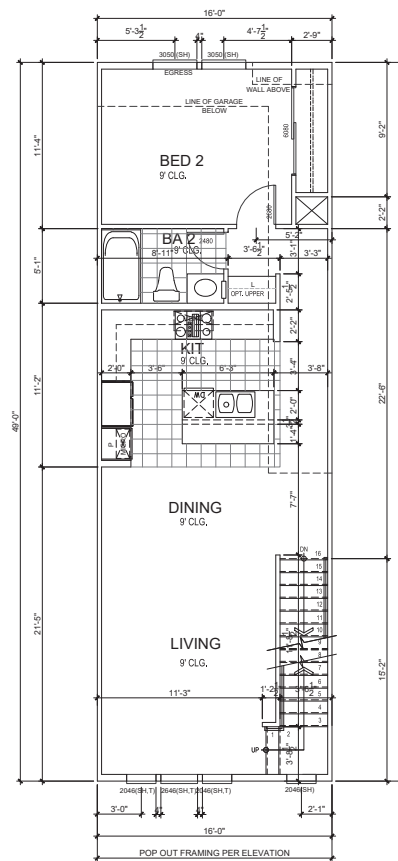
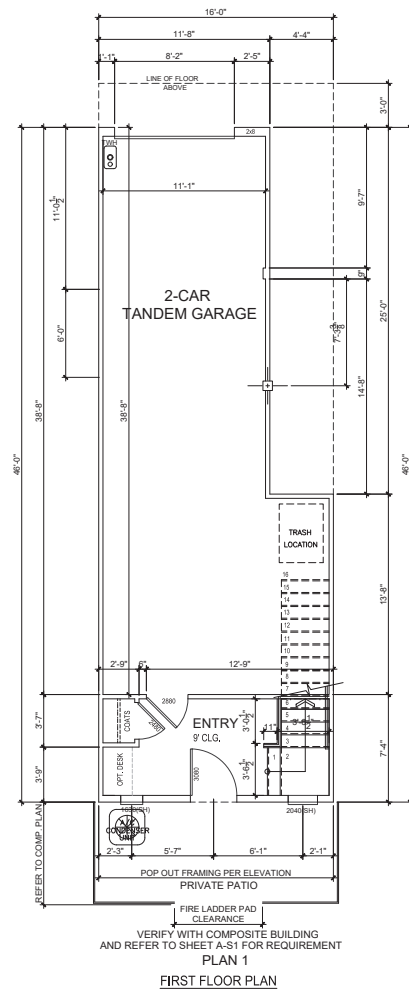
PLAN 3

CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

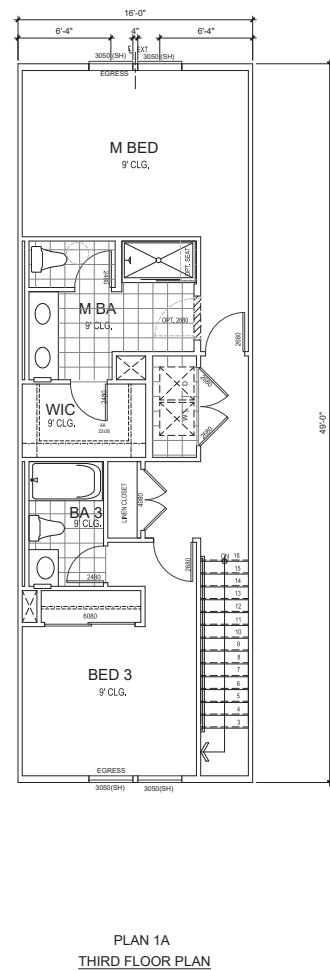
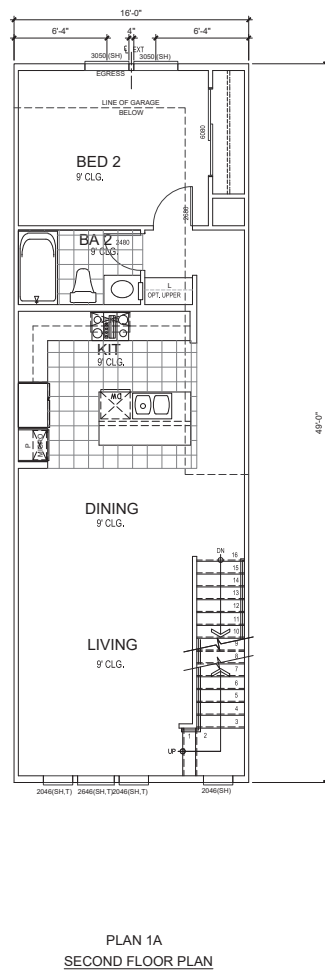
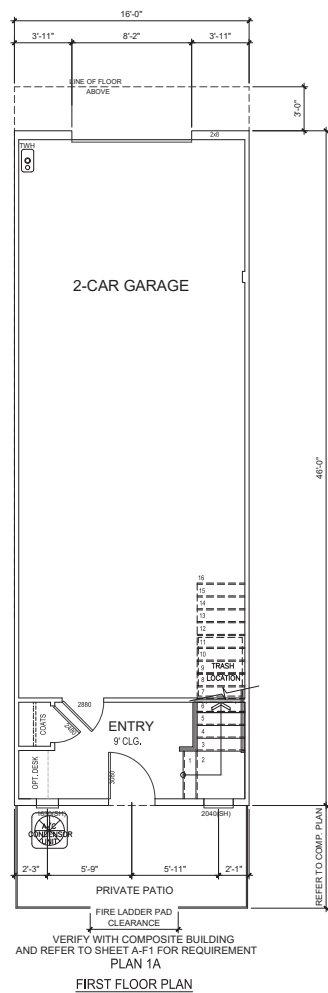
BLDG 5_8 - PLEX LIVE/WORK RENDERED ELEVATION
MODERN FARM

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02.13.18 A-LW8R1

Plot Date: 2/13/2018 8:31:37 AM By: Victor Alvarez

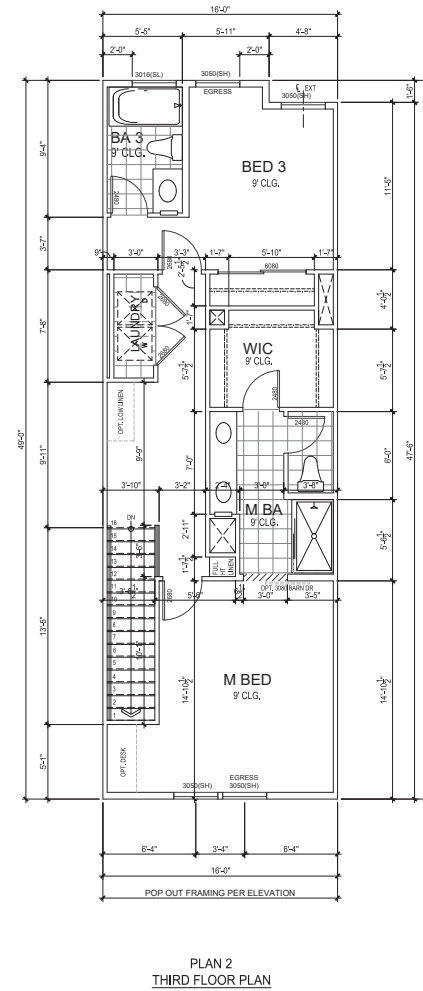
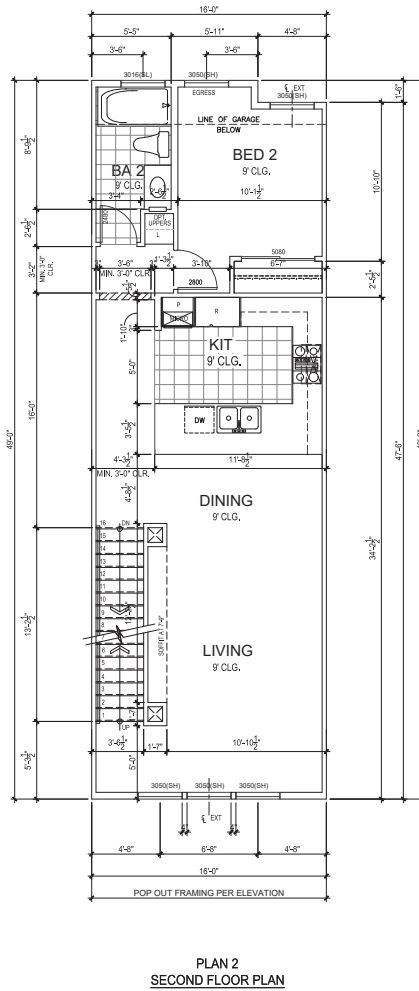
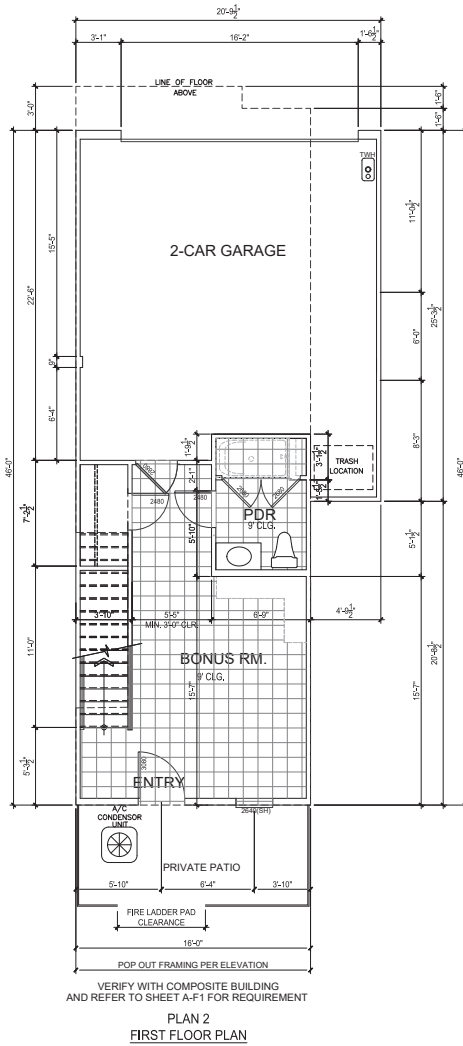


<u>PLAN 1 GROSS AREA TABULATION</u>	
FIRST FLOOR	= 117 SQ.FT.
SECOND FLOOR	= 727 SQ.FT.
THIRD FLOOR	= 776 SQ.FT.
TOTAL LIVING AREA	= <u>1,620 SQ.FT.</u>
GARAGE AREA	= 506 SQ.FT.



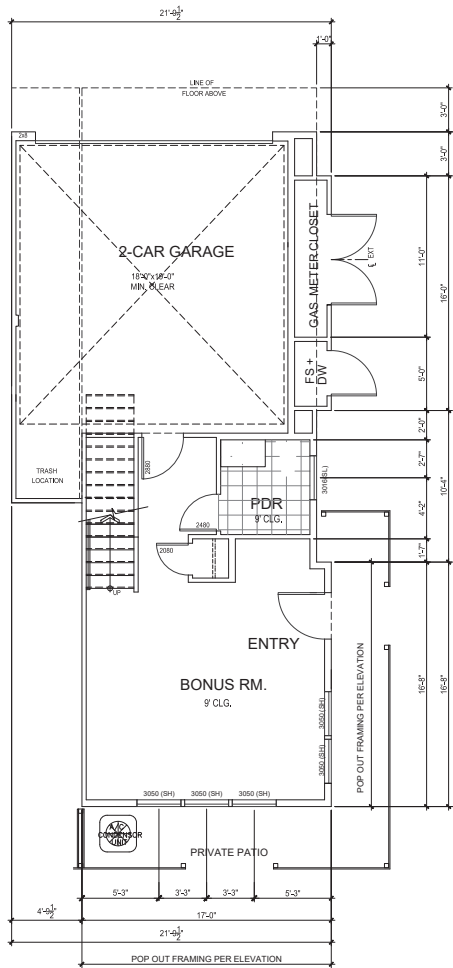
PLAN 1A GROSS AREA TABULATION

FIRST FLOOR	=	117 SQ.FT.
SECOND FLOOR	=	733 SQ.FT.
THIRD FLOOR	=	<u>784 SQ.FT.</u>
TOTAL LIVING AREA	=	1,634 SQ.FT.
GARAGE AREA	=	619 SQ.FT.



PLAN 2 GROSS AREA TABULATION

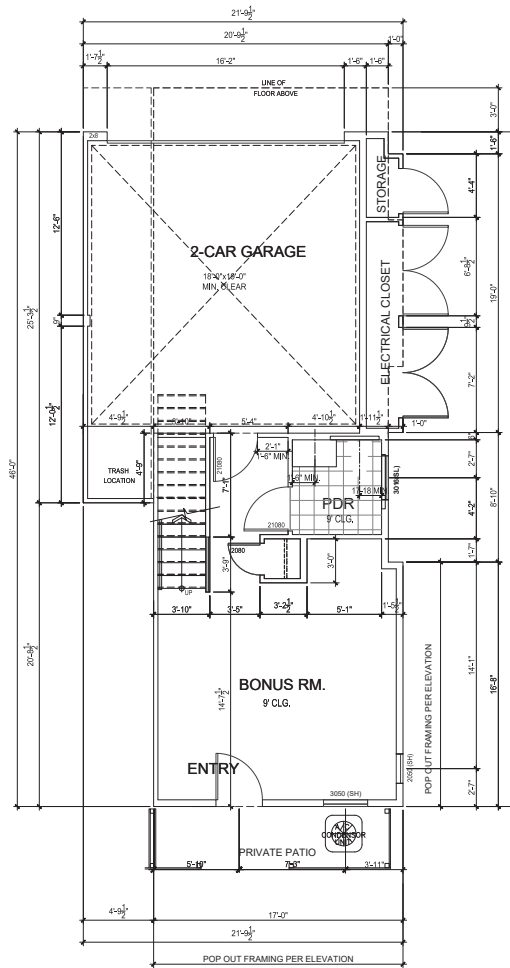
FIRST FLOOR	=	388 SQ.FT.
SECOND FLOOR	=	730 SQ.FT.
THIRD FLOOR	=	777 SQ.FT.
TOTAL LIVING AREA	=	1,895 SQ.FT.
GARAGE AREA	=	468 SQ.FT.



PLAN 3A

FIRST FLOOR PLAN

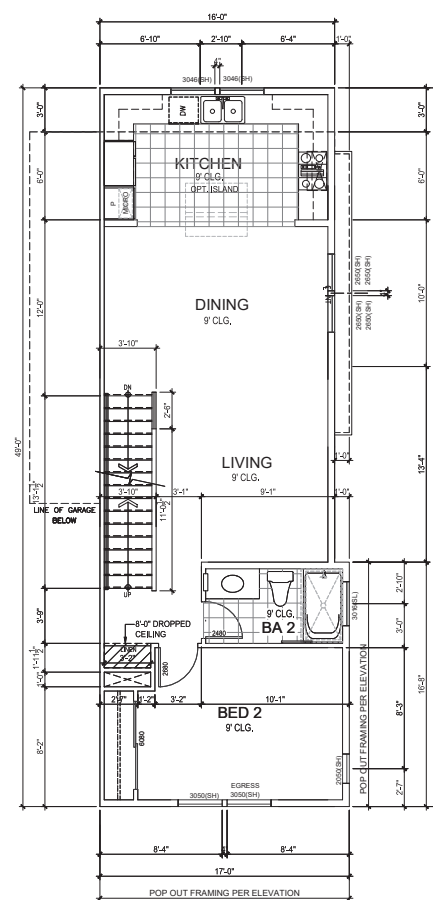
THIS PLAN OCCURS ON BUILDINGS 1, 2 & 3
FACING CIVIC CENTER DRIVE



PLAN 3

FIRST FLOOR PLAN

ADA COMPLIANT BUILDINGS 1 THRU 3

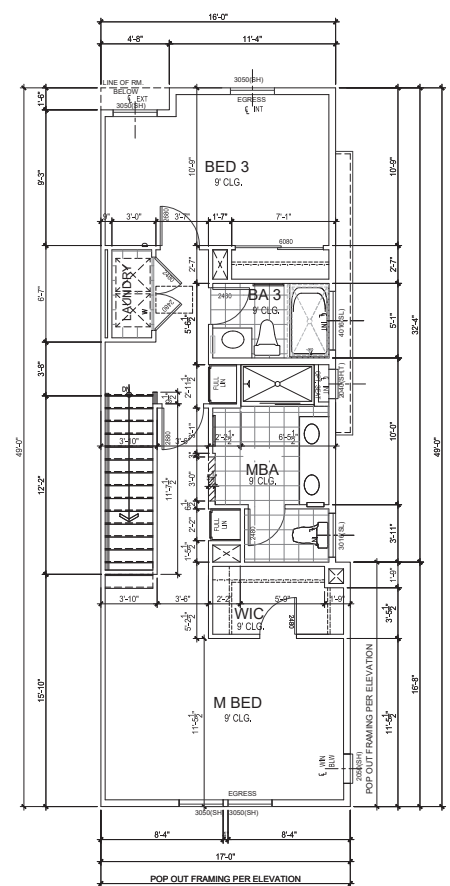


PLAN 3

SECOND FLOOR PLAN

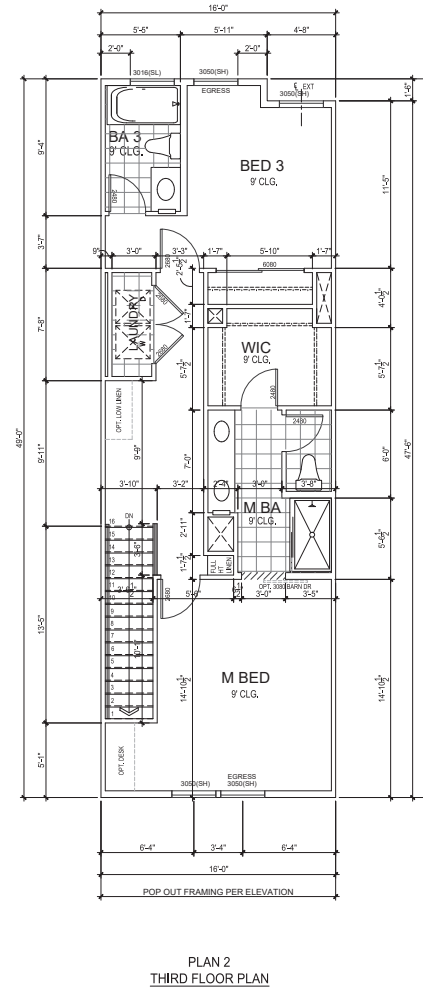
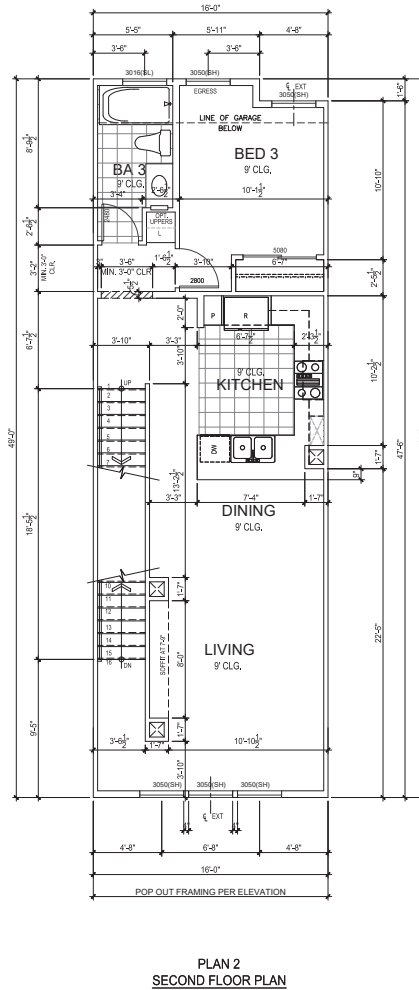
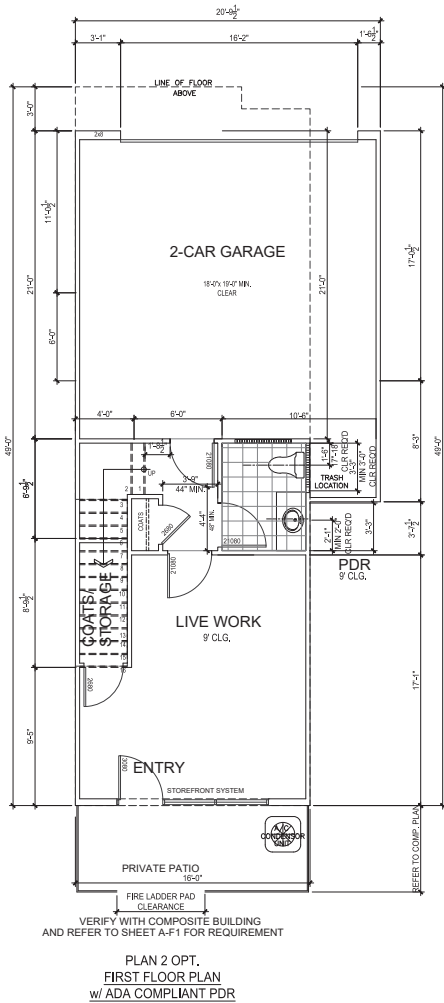
PLAN 3. GROSS AREA TABULATION

FIRST FLOOR	=	424 SQ.FT.
SECOND FLOOR	=	754 SQ.FT.
THIRD FLOOR	=	794 SQ.FT.
TOTAL LIVING AREA	=	1,972 SQ.FT.
GARAGE AREA	=	415 SQ.FT.
UTILITY CLOSET	=	50 SQ.FT.



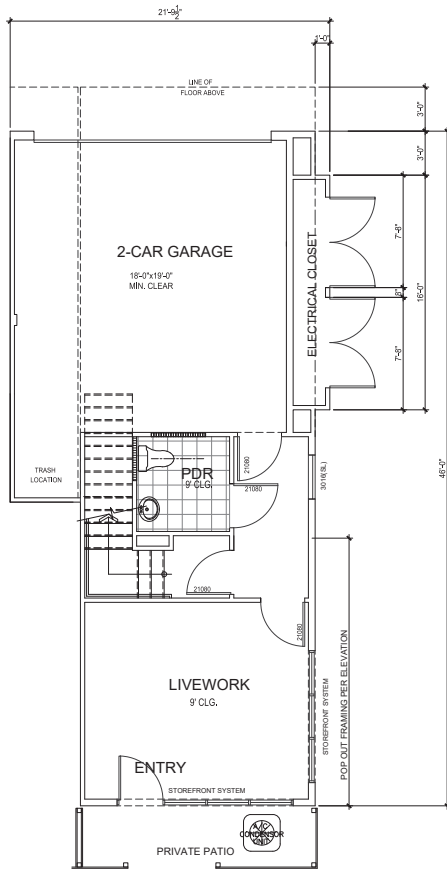
PLAN 3

THIRD FLOOR PLAN

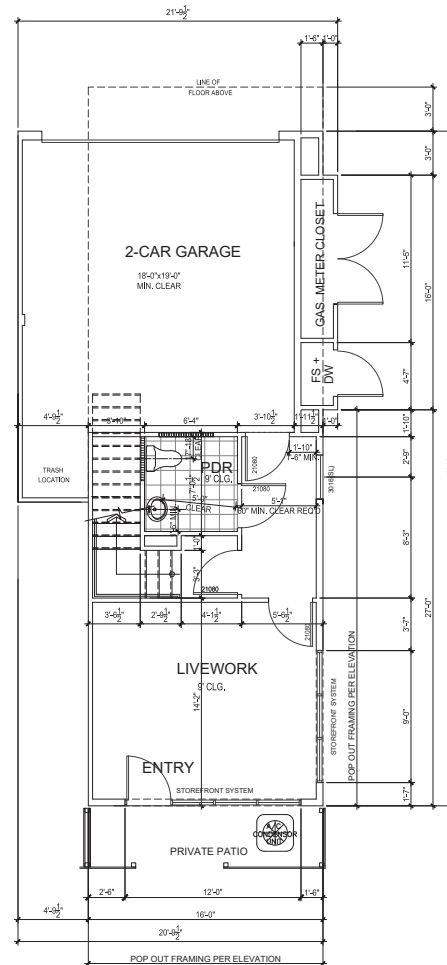


PLAN 2 GROSS AREA TABULATION

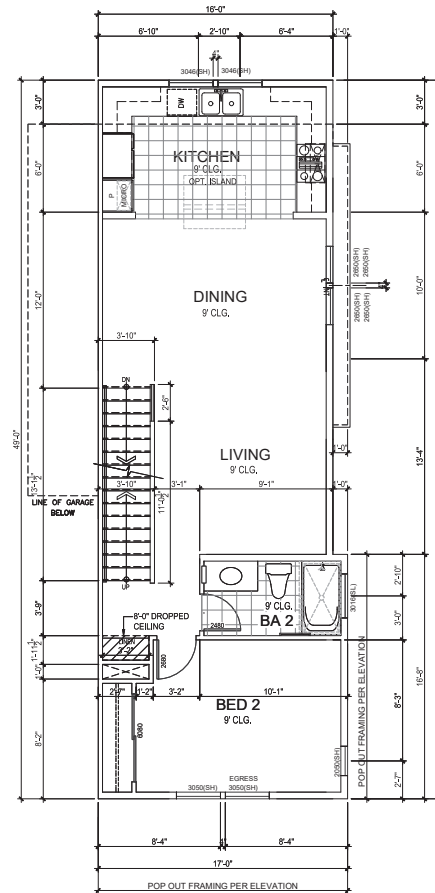
FIRST FLOOR	= 388 SQ.FT.
SECOND FLOOR	= 730 SQ.FT.
THIRD FLOOR	= 777 SQ.FT.
TOTAL LIVING AREA	= 1,895 SQ.FT.
GARAGE AREA	= 468 SQ.FT.



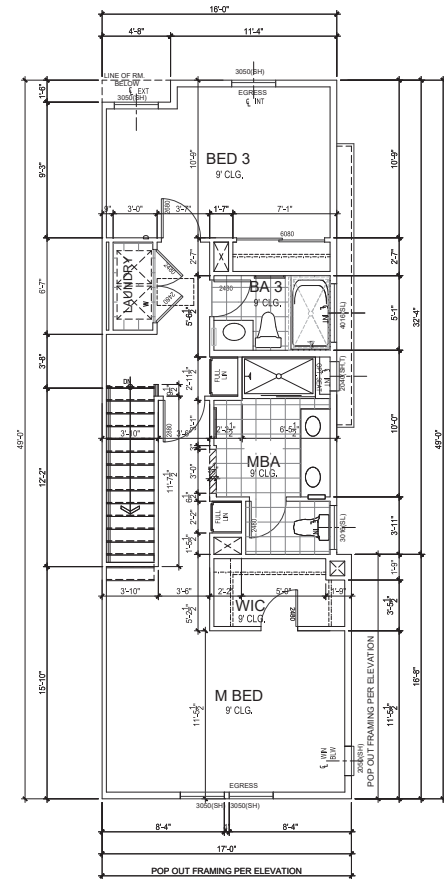
PLAN 3
FIRST FLOOR PLAN
DRY UTILITY CLOSET SIDE



PLAN 3
FIRST FLOOR PLAN
GAS METER CLOSET SIDE



PLAN 3
SECOND FLOOR PLAN



PLAN 3
THIRD FLOOR PLAN

PLAN 3 LIVE/WORK GROSS AREA TABULATION

FIRST FLOOR (WORK)	=	407 SQ.FT.
SECOND FLOOR	=	754 SQ.FT.
THIRD FLOOR	=	794 SQ.FT.
TOTAL LIVING AREA	=	1,925 SQ.FT.
GARAGE AREA	=	415 SQ.FT.
UTILITY CLOSET	=	47 SQ.FT.