



PROJECT INFORMATION	PROJECT DIRECTORY	SHEET INDEX
<p><u>ASSESSOR'S PARCEL NUMBER(S)</u></p> <p>230-46-069 &amp; -070</p> <p><u>EXISTING BUILDING ADDRESSES</u></p> <p>1205 Coleman Ave</p> <p>328 Brokaw Road 340 Brokaw Road 400 Brokaw Road</p> <p><u>PLANNING/ZONING</u></p> <p>EXISTING ZONING: Light Industrial</p> <p>EXISTING GENERAL PLAN DESIGNATION: Station Area Plan</p> <p>PROPOSED ZONING DESIGNATION: Very High Density Residential</p> <p>PROPOSED GENERAL PLAN DESIGNATION: Community Commercial / Very High Density Residential</p> <p><u>BUILDING HEIGHT</u></p> <p>The maximum building height 85 feet and subject to the Federal Aviation Administration (FAA) regulation Part 77 height restrictions</p> <p><u>SETBACK</u></p> <p>Minimum building setback from Coleman Avenue is 25 feet. Minimum building setback from Brokaw Street is 25 feet. Minimum building setback from Champion Pkwy is 25 feet.</p>	<p><u>OWNER</u></p> <p>TOD Brokaw, LLC 10121 Miller Ave, Suite 200 Cupertino, CA 95014</p> <p><u>ARCHITECT</u></p> <p>MVE + Partners, Inc. 1900 Main Street, 8th Floor Irvine, CA 92614</p> <p><u>CIVIL ENGINEER</u></p> <p>Kier + Wright 3350 Scott Blvd, Building 22 Santa Clara, CA 95054</p> <p><u>LANDSCAPE ARCHITECT</u></p> <p>The Guzzardo Partnership Inc. 181 Greenwich Street San Francisco, CA 94111</p> <p><u>VICINITY MAP</u></p> 	<p><u>GENERAL</u></p> <p>GEN.1 PROJECT INFORMATION, DIRECTORY AND INDEX GEN.2 PROJECT ILLUSTRATIVE PLAN GEN.3 PROJECT DATA</p> <p><u>CIVIL</u></p> <p>C1.00 OVERALL CONTEXT PLAN C2.00 VESTING TENTATIVE MAP - EX CONDITIONS C2.10 VESTING TENTATIVE MAP - EX BOUNDARY SURVEY C2.20 VESTING TENTATIVE MAP - PROPOSED SUBDIVISION C2.21 DETAILED SITE PLAN C2.22 DETAILED SITE PLAN C2.30 TYPICAL STREET SECTIONS C2.40 FIRE ACCESS &amp; APPARATUS C3.10 PRELIMINARY GRADING PLAN C3.20 PRELIMINARY STORMWATER CONTROL PLAN C3.21 PRELIMINARY STORMWATER CONTROL PLAN C4.10 COMPOSITE SITE UTILITY &amp; TREE OVERLAY PLAN C4.11 PRELIMINARY UTILITY PLAN C4.12 PRELIMINARY UTILITY PLAN</p> <p><u>ARCHITECTURE</u></p> <p>A1.01 PLAN- B1 A1.02 PLAN-STREET LEVEL A1.03 PLAN-LEVEL 2 A1.04 PLAN-LEVEL 3 A1.05 PLAN-LEVEL 4-5 A1.06 PLAN-LEVEL 6 A1.07 PLAN-LEVEL 7 A1.08 PLAN-LEVEL 8, LEVEL 9-12, LEVEL 13 A1.09 PLAN-LEVEL ROOF A1.11 TYPICAL UNIT PLANS A1.12 TYPICAL UNIT PLANS A2.01 ARCHITECTURAL STYLE 1 A2.02 ARCHITECTURAL STYLE 2 A2.03 ARCHITECTURAL STYLE 3 A2.04 ARCHITECTURAL STYLE 4 A2.05 ARCHITECTURAL STYLE 4 A2.06 ARCHITECTURAL STYLE 5-TOWER A2.07 ARCHITECTURAL STYLE 6-HOTEL A2.08 SHADOW STUDIES SP1.00 CONCEPTUAL SITE SECTIONS SP3.01 VENTILATION PLAN MAP</p> <p><u>LANDSCAPE</u></p> <p>L-1.0 Schematic Landscape Plan - Overall L-1.1 Park Master Plan L-1.2 Park Credit Legend L-1.3 Planting Notes and Legends L-2.1 Schematic Landscape Plan - Site L-2.2 Schematic Landscape Plan - Site L-2.3 Schematic Landscape Plan - Site L-2.4 Schematic Landscape Plan - Site L-2.5 Schematic Landscape Plan - Site L-2.6 Schematic Landscape Plan - Site L-2.7 Schematic Landscape Plan - Podium Building 1 L-2.8 Schematic Landscape Plan - Podium Hotel L-2.9 Schematic Landscape Plan - Podium Building 2 L-2.10 Schematic Landscape Plan - Podium Building 3 L-2.11 Schematic Landscape Plan - Podium Building 4 L-3.1 Irrigation Zoning Diagram - Site and Podium L-3.2 Irrigation Legend, Notes and Water-use Calculations L-3.3 Irrigation Details L-3.4 Irrigation Details L-4.1 Site Sections L-4.2 Site Sections L-4.3 Landscape Details L-4.4 Landscape Details L-4.5 Landscape Details</p>
		

HUNTER STORM

GATEWAY CROSSINGS

10121 Miller Ave, Suite 200  
Cupertino, CA 95014  
Phone: (408) 230-0207 Fax: (408) 999-8470

DATE: 08-05-2019

PROJECT #:

SCALE:

SHEET TITLE

PROJECT INFORMATION, DIRECTORY AND INDEX

SHEET NUMBER

GEN.1

MVE + PARTNERS

1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.233.8881  
www.mve-and-partners.com



**HUNTER STORM**

**GATEWAY CROSSINGS**

DATE: 08-03-2019

PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

**SHEET TITLE**  
ILLUSTRATIVE  
SITE PLAN

**SHEET NUMBER**  
GEN.2

**MVE**  
+ PARTNERS

1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.333.3333  
www.mve-partners.com

PROJECT DATA	
PROJECTED USE:	MULTI-FAMILY RESIDENTIAL (R-2)
NUMBER OF TOTAL UNITS:	1565 UNITS
TOTAL EXISTING GROSS AREA	23.84 ACRES
TOTAL EXISTING NET AREA:	21.40 ACRES
TOTAL PROPOSED NET AREA:	21.37 ACRES
PROPOSED RESIDENTIAL AREA:	44.72 ACRES
PROPOSED COMMERCIAL AREA:	4.28 ACRES
PROPOSED RESIDENTIAL DENSITY:	73.13 DU/AC

RESIDENTIAL UNIT DATA

UNIT COUNT	
BUILDING 1	332 DU
BUILDING 2	393 DU
BUILDING 3	324 DU
BUILDING 4	516 DU
TOTAL	1565 DU

UNIT MIX		
UNIT TYPE	UNIT COUNT	PERCENTAGE
STUDIO	184 DU	12%
1-BEDROOM	684 DU	44%
1BD + DEN	103 DU	7%
2-BEDROOM	504 DU	32%
2BD + DEN	90 DU	6%
TOTAL	1565 DU	100%

\*ALL DENS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

\*ALL DENS WILL REMAIN A DEN AND WILL NOT BE CONVERTED TO A BEDROOM.

HOTEL DATA				
ROOM COUNT	HOTEL ROOMS	BACK OF HOUSE (support, service, & circulation)	AMENITY (lobbies, food & beverage, spa, and fitness)	CONFERENCE
225	102,400 +/- SF	25,200 +/- SF	16,400 +/- SF	8,000 +/- SF

\*VALUES SHOWN IN THIS CHART IS NOT IN ADDITION TO THE TOTAL VALUE SHOWN IN THE COMMERCIAL AREA INFORMATION.

PROJECT PROGRAM

COMMERCIAL/ RETAIL AREA INFORMATION

HOTEL	152,000 +/- S.F.
RETAIL	45,000 +/- S.F.
TOTAL COMMERCIAL/RETAIL AREA	197,000 +/- S.F.

\*GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/ RETAIL AREA CALCULATIONS.

GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.

ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

RESIDENTIAL BUILDING AREA INFORMATION

	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
TYPE IA CONSTRUCTION	281,148 +/- S.F.	327,151 +/- S.F.	235,279 +/- S.F.	573,140 +/- S.F.
WOOD TYPE IIIA CONSTRUCTION	344,521 +/- S.F.	439,448 +/- S.F.	328,230 +/- S.F.	359,302 +/- S.F.
TOTAL BUILDING AREA	625,669 +/- S.F.	766,599 +/- S.F.	563,509 +/- S.F.	932,442 +/- S.F.

\*GARAGE AREAS ARE EXCLUDED FROM COMMERCIAL/ RETAIL AREA CALCULATIONS.  
GARAGE AREAS ARE INCLUDED IN THE RESIDENTIAL BUILDING AREA CALCULATIONS.  
ALL AREA INFORMATION IS SHOWN FOR FIRE CODE CALCULATION PURPOSES.

BICYCLE PARKING		
CLASS I BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO
BUILDING 1	166 SPACES	1 space / 2 DU
BUILDING 2	197 SPACES	1 space / 2 DU
BUILDING 3	162 SPACES	1 space / 2 DU
BUILDING 4	258 SPACES	1 space / 2 DU
HOTEL	8 SPACES	1 space /30 rooms
RETAIL	1 SPACES	1 space /30 employees
TOTAL	792 SPACES	
CLASS II BICYCLE PARKING		
LOCATION	BICYCLE SPACES	RATIO
RESIDENTIAL	105 SPACES	1 space /15 DU
RETAIL	8 SPACES	1 space /6,000 SF
PARK	4 SPACES	

NOTE: CLASS I BICYCLE PARKING PROVIDED IN SECURED ROOM OF EACH BUILDING

VEHICLE PARKING

HOTEL VEHICLE PARKING	
ADA	UNIVERSAL
12	168
180	

\* 79 PARKING SPACES PROVIDED FOR GUESTS IN HOTEL BUILDING AND 101 PARKING SPACES PROVIDED IN BUILDING 2. (0.8/KEY)

BUILDING 1 VEHICLE PARKING						
VISITOR			RESIDENTIAL 1.27 SPACE/DU)			MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT (1 SPACE/40 DU)
4	5	61	9	22	385	7
70			423			9

\* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 2 VEHICLE PARKING						
VISITOR			RESIDENTIAL (1.07 SPACE/DU)			MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT (1 SPACE/40 DU)
5	6	84	9	22	390	0
95			421			10

\* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL PARKING 0.8/KEY, RESIDENTIAL GUEST PARKING 0.1/DU)

PARKING STALL SIZE:

UNIVERSAL 8'-6" X 18'-0"  
ADA 9'-0" X 18'-0"  
COMPACT 8'-0" X 16'-0"  
MOTORCYCLE 3'-0" X 6'-0"

DRIVE AISLE WIDTH :25'

BUILDING 3 VEHICLE PARKING						
VISITOR			RESIDENTIAL (1.12 SPACE/DU)			MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT (1 SPACE/40 DU)
6	7	95	8	19	336	0
108			363			9

\* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

BUILDING 4 VEHICLE PARKING						
VISITOR			RESIDENTIAL (1.22 SPACE/DU)			MOTORCYCLE
ADA	EV	UNIVERSAL	ADA	EV	UNIVERSAL	COMPACT (1 SPACE/40 DU)
6	7	96	13	32	563	19
109			627			13

\* VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/ 200 SF, RESIDENTIAL GUEST PARKING 0.1/DU)

PARKING STALL SIZE:

UNIVERSAL 8'-0" X 18'-0"  
ADA 9'-0" X 18'-0"  
COMPACT 8'-0" X 16'-0"  
MOTORCYCLE 3'-0" X 6'-0"

DRIVE AISLE WIDTH :25'

ADDITIONAL 24 PARALLEL PARKING STALLS PROVIDED FOR RETAIL AND PARK USE AT INTERNAL STREET.

DATE: 08-03-2019  
PROJECT #:  
SCALE:

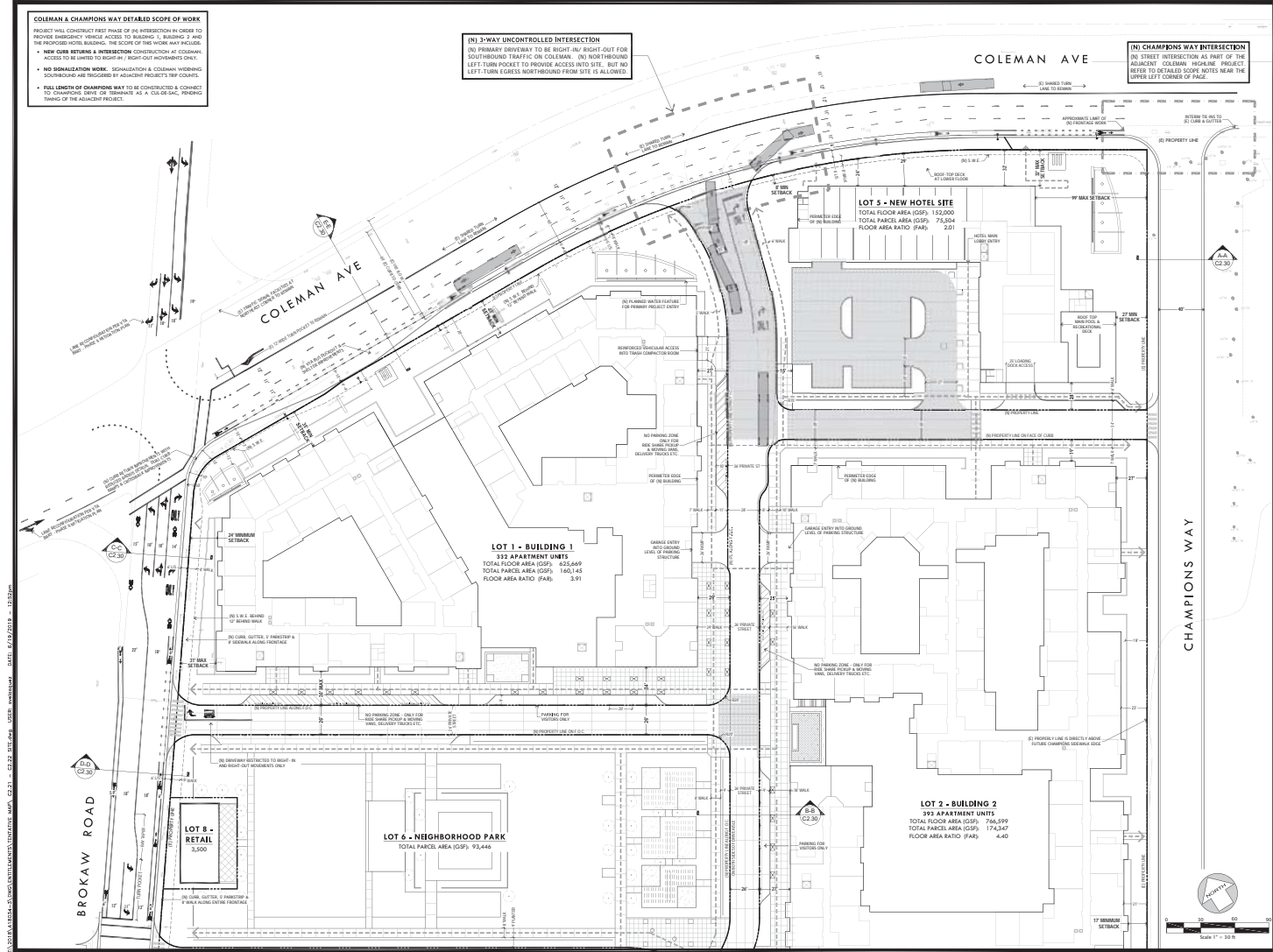
SHEET TITLE  
PROJECT  
DATA

SHEET NUMBER  
GEN.3









**COLEMAN & CHAMPIONS WAY DETAILED SCOPE OF WORK**

PROJECT WILL CONSTRUCT FIRST PHASE OF AN INTERSECTION IN ORDER TO PROVIDE EMERGENCY VOICED ACCESS TO BUILDING 1, BUILDING 2 AND THE NEIGHBORHOOD PARK. THE SCOPE OF THE WORK WILL INCLUDE:

- NEW CURB RETURN & INTERSECTION CONSTRUCTION AT COLEMAN
- ACCESS TO BE LIMITED TO RIGHT-WAY / RIGHT-OF-WAY ONLY
- NO SIGNALIZATION WORK - SIGNALIZATION & COLEMAN INTERSECTION SURROUNDING ARE TRIGGERED BY ADJACENT PROJECT'S TRIP COUNTS
- FULL LENGTH OF CHAMPIONS WAY TO BE CONSTRUCTED & CONNECT TO CHAMPIONS DRIVE ON REMAINING A.P. & CLAS SEC. PROVIDING TURNING OF THE ADJACENT PROJECT

**(IN) 3-WAY UNCONTROLLED INTERSECTION**

(IN) PRIMARY DRIVEWAY TO BE RIGHT-IN/ RIGHT-OUT FOR SOUTHWEST TRAFFIC ON COLEMAN. (IN) NORTHBOUND LEFT-TURN POCKET TO PROVIDE ACCESS INTO SITE, BUT NO LEFT-TURN EGRESS NORTHBOUND FROM SITE IS ALLOWED.

**(IN) CHAMPIONS WAY INTERSECTION**

(IN) STREET INTERSECTION AS PART OF THE ADJACENT COLEMAN NEIGHBORHOOD PROJECT. REFER TO DETAILED SCOPE NOTES NEAR THE UPPER LEFT CORNER OF PAGE.

HUNTER STORM

DATE: 01/20/2019  
PROJECT#: A18034-3  
SCALE: AS SHOWN

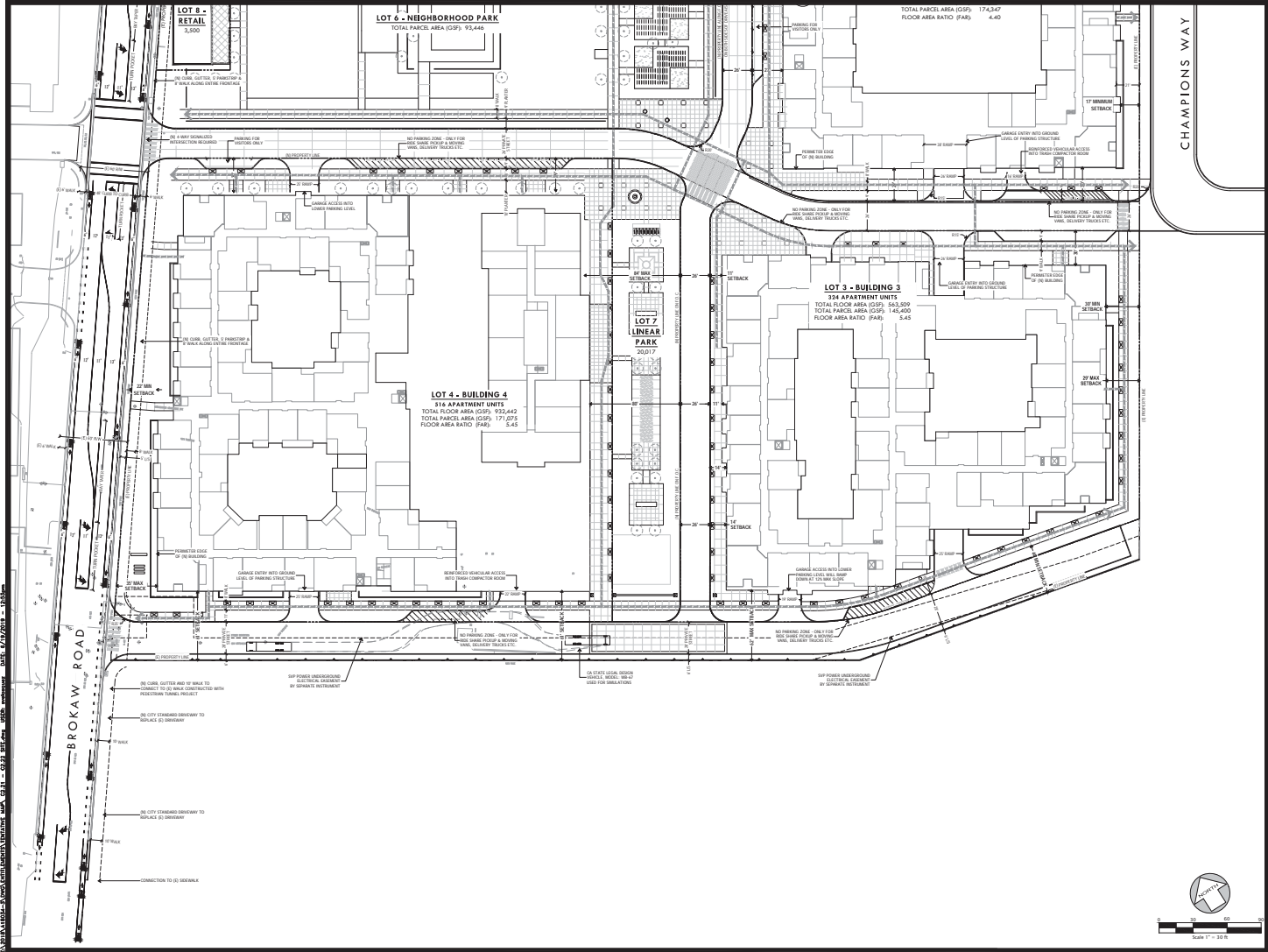
SHEET TITLE

DETAILED SITE PLAN

SHEET NUMBER  
C2.21  
Building Number

KIER & WRIGHT  
CIVIL ENGINEERS & ARCHITECTS, INC.  
1000 N. 10TH AVE., SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1000  
WWW.KIERANDWRIGHT.COM

ISSUE



HUNTER STORM  
GATEWAY CROSSINGS

DATE: 8/19/2019  
PROJECT#: A18034-3  
SCALE: AS SHOWN

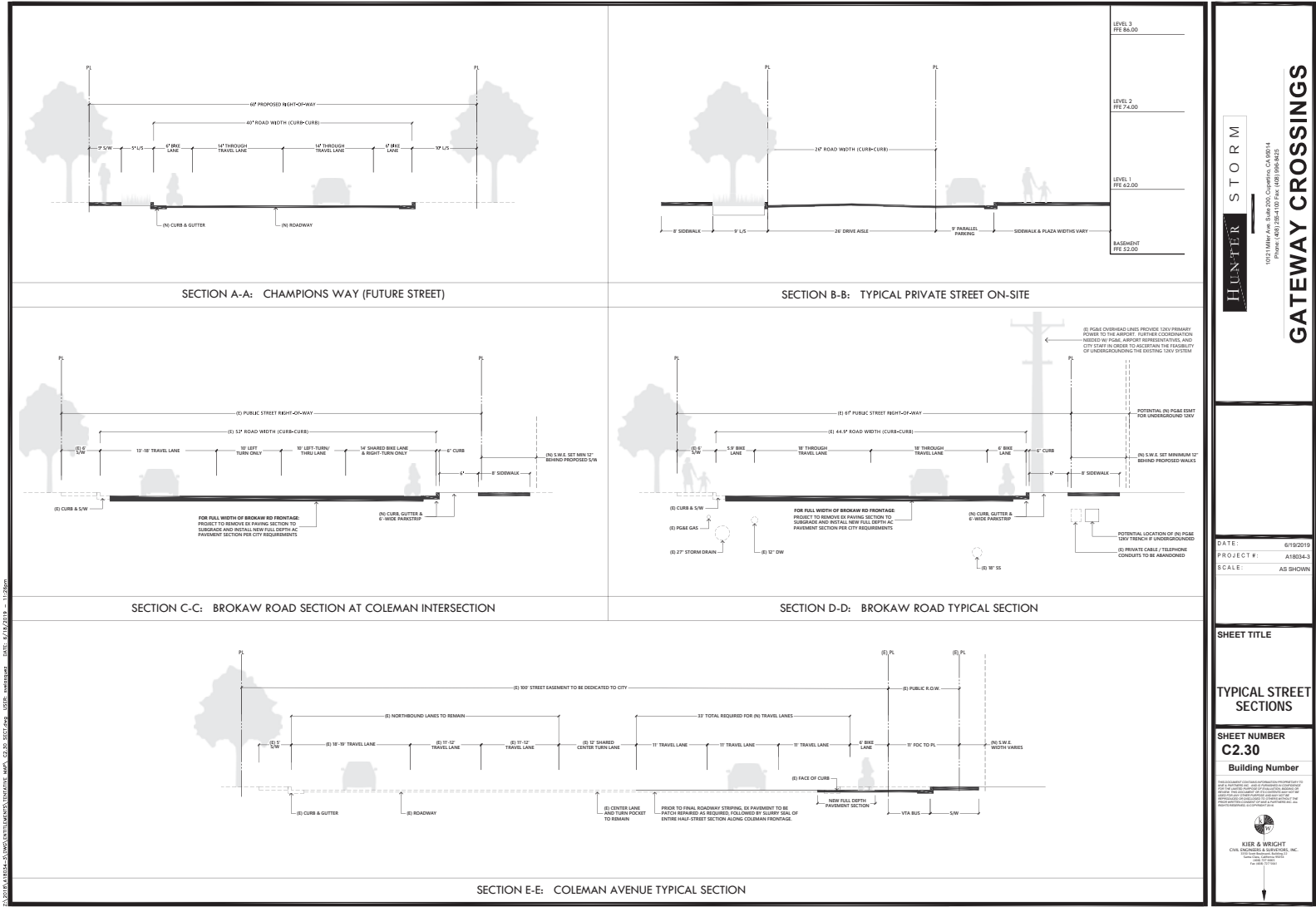
SHEET TITLE  
DETAILED  
SITE PLAN

SHEET NUMBER  
C2.22  
Building Number

KIER & WRIGHT  
CIVIL ENGINEERS & ARCHITECTS, INC.  
10000 KIER DRIVE, SUITE 100  
DALLAS, TEXAS 75243  
PH: 214.343.1100 FAX: 214.343.1101  
WWW.KIERANDWRIGHT.COM

ISSUE





HUNTER STORM

PROJECT: A18034.3

DATE: 6/16/2019

SCALE: AS SHOWN

SHEET TITLE

TYPICAL STREET SECTIONS

SHEET NUMBER

C2.30

Building Number

KIER & WRIGHT

CIVIL ENGINEERS & ARCHITECTS, INC.

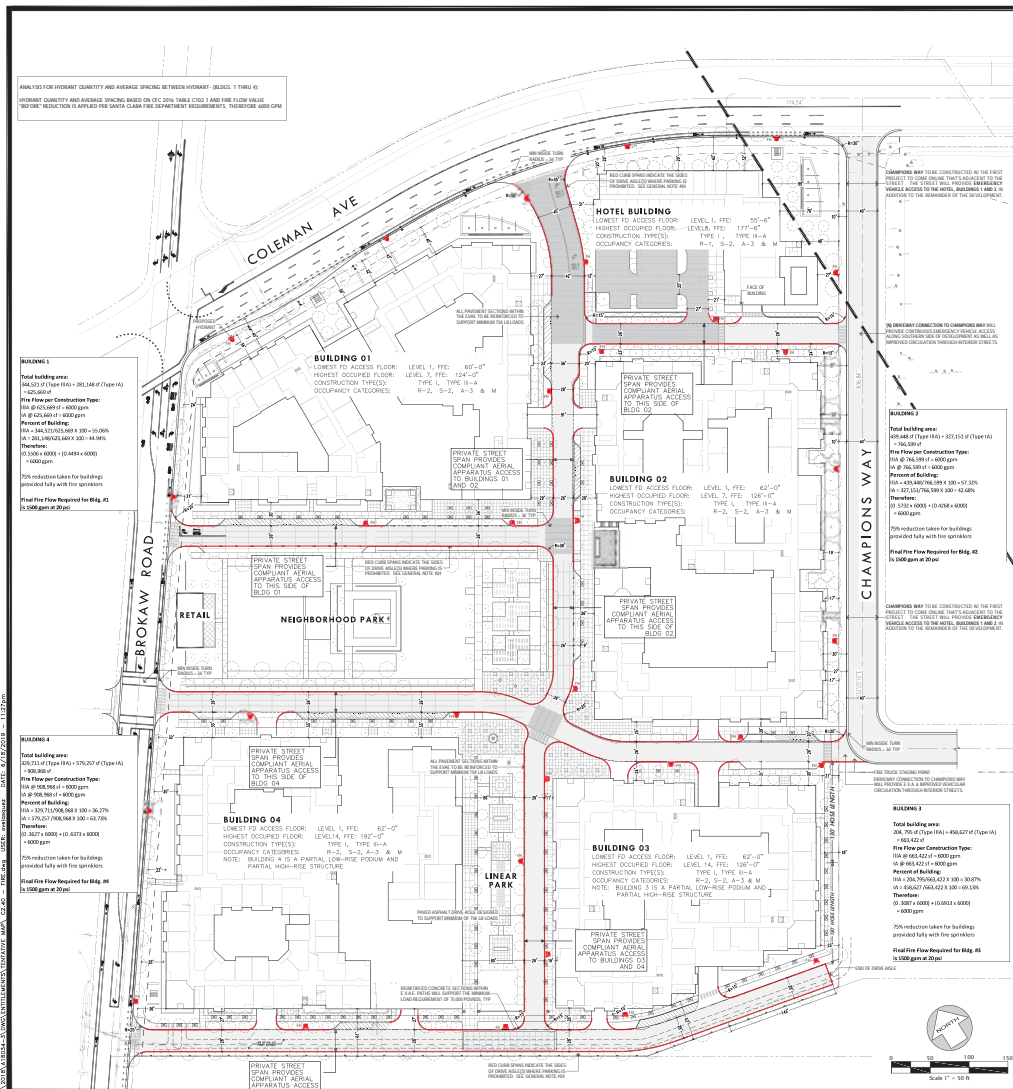
10000 KIER BLVD, SUITE 100, DALLAS, TEXAS 75243

PH: 972.346.1000 FAX: 972.346.1001

WWW.KIERANDWRIGHT.COM

GATEWAY CROSSINGS

ISSUE



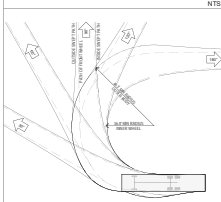
FIRE FLOW TEST RESULTS



GENERAL NOTES

- 1. FIRE HYDRANT LOCATIONS SHOWN ARE SCHEMATIC ONLY AND WILL BE FINALIZED AT A LATER STAGE.
- 2. EMERGENCY VEHICLE ACCESS ROADS ARE PROVIDED WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS. APPROVED FIRE DEPARTMENT TURNAROUNDS HAVE BEEN PROVIDED WHEREVER DEAD-END ACCESS ROAD(S) ARE IN EXCESS OF 150 FEET.
- 3. ALL SHADED ROADWAYS INDICATED AS EMERGENCY VEHICLE ACCESS ROADS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS. E.V.A.E. PAVING SHOWN WITH PAVES WILL BE REINFORCED TURN-BLOCK TO BE RE-APPROVED BY THE FIRE DEPARTMENT AT THE PERMIT STAGE.
- 4. ALL ON-SITE ROADWAYS AND FIRE APPARATUS ACCESS ROADS (E.V.A.E.'S) PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 36'-0" AND MINIMUM VERTICAL CLEARANCE OF 13'-6", IN ACCORDANCE WITH THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
- 5. ALL PAVING MATERIALS WITHIN THE SHADED REGIONS SHOWN SHALL BE DESIGNED TO SUPPORT A MINIMUM GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
- 6. CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING TWO PARKING - FIRE LANE IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
- 7. NOTE THAT ALL INTERIOR PODIUM COURTYARDS SHOWN ARE SITUATED ABOVE THE GROUND ELEVATIONS OF EMERGENCY VEHICLE ACCESS (E.V.A.E. GRADE). REFER TO ARCHITECTURAL ELEVATIONS AND SECTIONS FOR SPECIFIC DETAILS ON COURTYARD ELEVATIONS AND FLOORS.

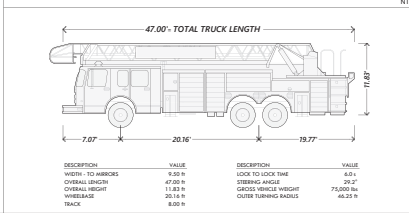
CSC - LADDER TRUCK



PLAN LEGEND

- EMERGENCY VEHICLE ACCESS ROAD/PAVEMENT
  - RED PRINTED CURB SPANS PER NOTE 4
  - PROPOSED FIRE HYDRANT LOCATION PER NOTE 1
- NOTE
- MINIMUM 4 HYDRANTS REQUIRED FOR EACH BUILDING
  - HYDRANT SPACING BETWEEN HYDRANTS IS 250 FT
  - MINIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD PROXIMITY TO A HYDRANT IS 150 FT

CITY OF SANTA CLARA - LADDER TRUCK PROFILE



**HUNTER STORM**

1000 N. MARKET STREET, SUITE 100  
SAN JOSE, CA 95128  
PHONE: (408) 282-1100 FAX: (408) 282-1101

**GATEWAY CROSSINGS**

DATE: 8/19/2019  
PROJECT #: A18034-3  
SCALE: AS SHOWN

**SHEET TITLE**

**FIRE ACCESS & APPARATUS**

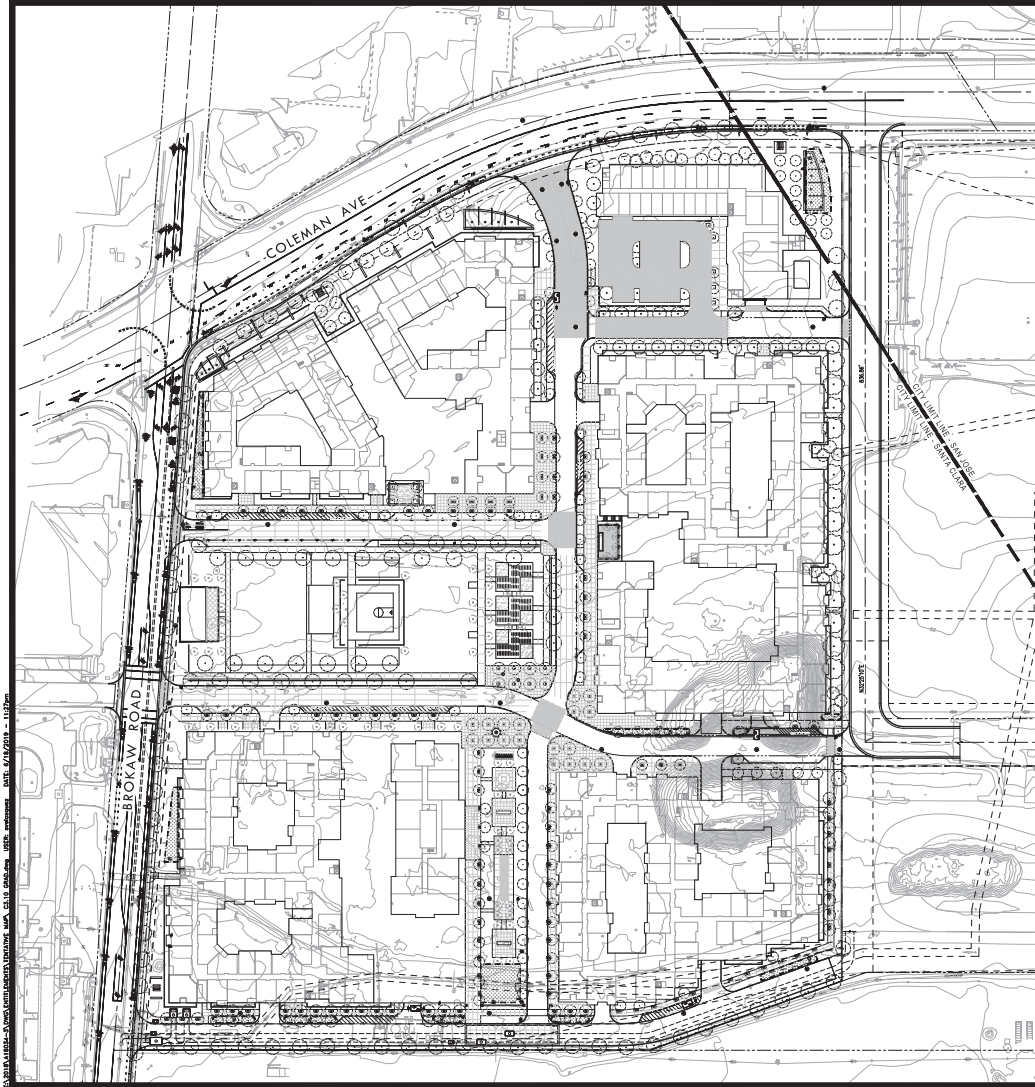
**SHEET NUMBER C2.40**

**Building Number**

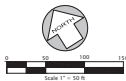
**KIER & WRIGHT**  
CIVIL ENGINEERS & ARCHITECTS, INC.

**ISSUE**





PLAN LEGEND	
LINE TYPE / SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	BUILDING WALL / EDGE
	NEW 4" CONCRETE VERTICAL CURB
	NEW CONCRETE CURB AND GUTTER
	NEW CONCRETE VALLEY GUTTER
	NEW CONCRETE SIDEWALK
	FINISH GRADE ELEVATION
	PROPOSED GROUND SLOPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED DROP INLET / CATCH BASIN
	PROPOSED GARAGE TRENCH DRAIN
	FLOW DIRECTION OF OVERLAND RELEASE
	PROPOSED BIOTREATMENT POND



HUNTER STORM

PRELIMINARY GRADING PLAN

DATE: 8/19/2019

PROJECT #: A18034-3

SCALE: AS SHOWN

SHEET NUMBER

C3.10

Building Number

KIER & WRIGHT

CIVIL ENGINEERS & ARCHITECTS, INC.

1000 W. 10TH AVENUE, SUITE 100

DENVER, CO 80202

TEL: (303) 733-1100 FAX: (303) 733-1101

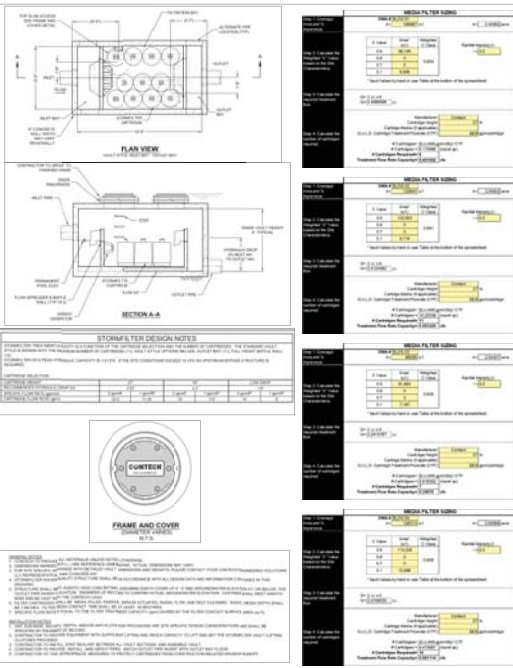
GATEWAY CROSSINGS

ISSUE





## MEDIA FILTRATION SYSTEM DETAILS & TABLE



## SOURCE CONTROL MEASURES IMPLEMENTED

- SD-10: SITE DESIGN & LANDSCAPE PLANNING**
- MAXIMIZED TREES AND PLANTING WITHIN NEW HARDSCAPE AREAS AND LANDSCAPED AREAS.
  - VEGETATION PLANTING FOR ALL LANDSCAPE AREAS WHICH SLOPE DOWN AT A RATIO OF LESS THAN 5:1.
- SD-11: EFFICIENT IRRIGATION**
- RAIN-TRIGGERED SHUTOFF DEVICES FOR IRRIGATION SYSTEMS TO PREVENT OPERATION AFTER RAINFALL.
  - IRRIGATION SYSTEMS DESIGNED SPECIFICALLY TO ACCOMMODATE THE PROJECT'S IRRIGATION WATER DEMANDS AND PLANTING REQUIREMENTS.
- SD-13: STORM DRAIN SIGNAGE**
- ALL CATCH BASINS AND INLETS TO BE STENCILED W/ PROHIBITIVE LANGUAGE REGARDING DUMPING, IN ACCORDANCE WITH CITY & SCVURPPP STANDARDS.

## BIOTREATMENT SOIL REQUIREMENTS

- BIOTREATMENT SOIL MIX (BSM)** SHALL MEET THE SPECIFICATIONS IN ATTACHMENT "L" OF THE MUNICIPAL REGIONAL PERMIT (MRP), ADOPTED BY THE REGIONAL WATER BOARD ON NOVEMBER 28TH, 2011. THE BSM SHALL ACHIEVE AN INFILTRATION RATE BETWEEN A MINIMUM OF 5-INCHES AND MAXIMUM OF 10-INCHES PER HOUR.
- SOIL MIX MUST BE CERTIFIED IN ACCORDANCE WITH THE GUIDANCE DOCUMENTS PROVIDED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP), DATED APRIL 8TH, 2014, AVAILABLE AT: [www.scvurpp-w2.com/wg\\_up.shtml](http://www.scvurpp-w2.com/wg_up.shtml)
- BIOTREATMENT AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER. PERCOLATION TESTS SHALL BE PERFORMED BY THE SOILS ENGINEER ON-SITE BEFORE AND AFTER INSTALLATION.
- PERMEABLE MATERIAL SHALL COMPLY WITH CALTRANS STANDARD SPECIFICATIONS SECTION 681-025, TYPE "A", CLASS 2, OR APPROVED EQUAL.
- THE PERFORATED SUB-DRAIN SHOULD BE SET TO MATCH THE SLOPE OF THE ADJACENT CURB AND GUTTER, OR AT A 5% MINIMUM SLOPE OTHERWISE.
- THE PLANTING SCHEDULES FOR PLANTING SPECIFICATIONS. PLANT SPECIES SHALL BE IN COMPLIANCE WITH APPENDIX "D" OF THE C.S. STORMWATER HANDBOOK, DATED APRIL 2012. INSTALL AND MAINTAIN A 2-INCH LAYER OF COMPOSTED OR AGED MULCH BETWEEN PLANTS. ROCK, COBBLES OR LARGE, NON-FLOATING BARK MULCHES MAY ALSO BE USED, SUBJECT TO REVIEW AND APPROVAL.

## COMBINATION VOLUME & FLOW SIZING CALCULATIONS FOR TREATMENT CONTROL MEASURES: TCM-01, TCM-02, and TCM-03

<b>Worksheet for Calculating the Combination Flow and Volume Method</b> <b>1.0 Project Information</b> 1.1 Project Name: <b>STORM CROSSINGS</b> 1.2 City/County: <b>San Jose, California</b> 1.3 Project Location: <b>San Jose, California</b> 1.4 Project Date: <b>08/18/2014</b> 1.5 Project Engineer: <b>John A. Wright</b> 1.6 Project Designer: <b>John A. Wright</b> 1.7 Project Checker: <b>John A. Wright</b> 1.8 Project Approver: <b>John A. Wright</b> 1.9 Project Status: <b>Final</b> 1.10 Project Notes: <b>See also Report (SCVURPPP)</b>		<b>Worksheet for Calculating the Combination Flow and Volume Method</b> <b>1.0 Project Information</b> 1.1 Project Name: <b>STORM CROSSINGS</b> 1.2 City/County: <b>San Jose, California</b> 1.3 Project Location: <b>San Jose, California</b> 1.4 Project Date: <b>08/18/2014</b> 1.5 Project Engineer: <b>John A. Wright</b> 1.6 Project Designer: <b>John A. Wright</b> 1.7 Project Checker: <b>John A. Wright</b> 1.8 Project Approver: <b>John A. Wright</b> 1.9 Project Status: <b>Final</b> 1.10 Project Notes: <b>See also Report (SCVURPPP)</b>		<b>Worksheet for Calculating the Combination Flow and Volume Method</b> <b>1.0 Project Information</b> 1.1 Project Name: <b>STORM CROSSINGS</b> 1.2 City/County: <b>San Jose, California</b> 1.3 Project Location: <b>San Jose, California</b> 1.4 Project Date: <b>08/18/2014</b> 1.5 Project Engineer: <b>John A. Wright</b> 1.6 Project Designer: <b>John A. Wright</b> 1.7 Project Checker: <b>John A. Wright</b> 1.8 Project Approver: <b>John A. Wright</b> 1.9 Project Status: <b>Final</b> 1.10 Project Notes: <b>See also Report (SCVURPPP)</b>	
<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b> 2.1 Name of DMA: <b>DMA 1</b> 2.2 Total Area: <b>10.00</b> Acres 2.3 Impervious Area: <b>1.00</b> Acres 2.4 Percentage of Impervious Surface: <b>10.00</b> %		<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b> 2.1 Name of DMA: <b>DMA 2</b> 2.2 Total Area: <b>10.00</b> Acres 2.3 Impervious Area: <b>1.00</b> Acres 2.4 Percentage of Impervious Surface: <b>10.00</b> %		<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b> 2.1 Name of DMA: <b>DMA 3</b> 2.2 Total Area: <b>10.00</b> Acres 2.3 Impervious Area: <b>1.00</b> Acres 2.4 Percentage of Impervious Surface: <b>10.00</b> %	
<b>3.0 Calculate Unit Basin Storage Volume in Inches</b> 3.1 Name of Basin: <b>Basin 1</b> 3.2 Total Area: <b>10.00</b> Acres 3.3 Impervious Area: <b>1.00</b> Acres 3.4 Storage Volume: <b>1.00</b> Inches		<b>3.0 Calculate Unit Basin Storage Volume in Inches</b> 3.1 Name of Basin: <b>Basin 2</b> 3.2 Total Area: <b>10.00</b> Acres 3.3 Impervious Area: <b>1.00</b> Acres 3.4 Storage Volume: <b>1.00</b> Inches		<b>3.0 Calculate Unit Basin Storage Volume in Inches</b> 3.1 Name of Basin: <b>Basin 3</b> 3.2 Total Area: <b>10.00</b> Acres 3.3 Impervious Area: <b>1.00</b> Acres 3.4 Storage Volume: <b>1.00</b> Inches	
<b>4.0 Calculate the Duration of the Rain Event</b> 4.1 Name of Event: <b>Event 1</b> 4.2 Total Area: <b>10.00</b> Acres 4.3 Impervious Area: <b>1.00</b> Acres 4.4 Duration: <b>1.00</b> Hours		<b>4.0 Calculate the Duration of the Rain Event</b> 4.1 Name of Event: <b>Event 2</b> 4.2 Total Area: <b>10.00</b> Acres 4.3 Impervious Area: <b>1.00</b> Acres 4.4 Duration: <b>1.00</b> Hours		<b>4.0 Calculate the Duration of the Rain Event</b> 4.1 Name of Event: <b>Event 3</b> 4.2 Total Area: <b>10.00</b> Acres 4.3 Impervious Area: <b>1.00</b> Acres 4.4 Duration: <b>1.00</b> Hours	
<b>5.0 Determine Estimate of Surface Area of Treatment Measures</b> 5.1 Name of Measure: <b>Measure 1</b> 5.2 Total Area: <b>10.00</b> Acres 5.3 Impervious Area: <b>1.00</b> Acres 5.4 Surface Area: <b>1.00</b> Acres		<b>5.0 Determine Estimate of Surface Area of Treatment Measures</b> 5.1 Name of Measure: <b>Measure 2</b> 5.2 Total Area: <b>10.00</b> Acres 5.3 Impervious Area: <b>1.00</b> Acres 5.4 Surface Area: <b>1.00</b> Acres		<b>5.0 Determine Estimate of Surface Area of Treatment Measures</b> 5.1 Name of Measure: <b>Measure 3</b> 5.2 Total Area: <b>10.00</b> Acres 5.3 Impervious Area: <b>1.00</b> Acres 5.4 Surface Area: <b>1.00</b> Acres	
<b>6.0 Total Adjustment of Depth of Surface Ponding Area</b> 6.1 Name of Area: <b>Area 1</b> 6.2 Total Area: <b>10.00</b> Acres 6.3 Impervious Area: <b>1.00</b> Acres 6.4 Depth: <b>1.00</b> Feet		<b>6.0 Total Adjustment of Depth of Surface Ponding Area</b> 6.1 Name of Area: <b>Area 2</b> 6.2 Total Area: <b>10.00</b> Acres 6.3 Impervious Area: <b>1.00</b> Acres 6.4 Depth: <b>1.00</b> Feet		<b>6.0 Total Adjustment of Depth of Surface Ponding Area</b> 6.1 Name of Area: <b>Area 3</b> 6.2 Total Area: <b>10.00</b> Acres 6.3 Impervious Area: <b>1.00</b> Acres 6.4 Depth: <b>1.00</b> Feet	
<b>7.0 Estimate Size of Treatment Measures</b> 7.1 Name of Measure: <b>Measure 1</b> 7.2 Total Area: <b>10.00</b> Acres 7.3 Impervious Area: <b>1.00</b> Acres 7.4 Size: <b>1.00</b> Acres		<b>7.0 Estimate Size of Treatment Measures</b> 7.1 Name of Measure: <b>Measure 2</b> 7.2 Total Area: <b>10.00</b> Acres 7.3 Impervious Area: <b>1.00</b> Acres 7.4 Size: <b>1.00</b> Acres		<b>7.0 Estimate Size of Treatment Measures</b> 7.1 Name of Measure: <b>Measure 3</b> 7.2 Total Area: <b>10.00</b> Acres 7.3 Impervious Area: <b>1.00</b> Acres 7.4 Size: <b>1.00</b> Acres	

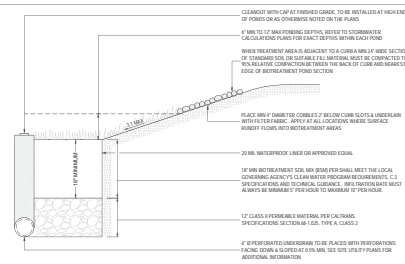
## BIOTREATMENT AREA MAINTENANCE

<b>INSPECTION ACTIVITIES</b> • INSPECT FOR SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES. • INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNLELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE ALSO DESIRABLE. • INSPECT DRAIN CHEDS DURING WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN THE TIMEFRAME, REMOVE & REPLACE TOP 2 INCHES OF FILTER MEDIA.		<b>MAINTENANCE ACTIVITIES</b> • MOW GRASS TO MAINTAIN A HEIGHT OF 2-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED. • BRIGADE DURING DRY SEASON (APRIL - OCTOBER) OR WHEN NEEDED TO MAINTAIN VEGETATION. • PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES. • REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY. • REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY. • CONNECT ANY EROSION PROBLEMS WITHIN THE SAND/SOIL BED. • PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED. • RE-SEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1-2 INCHES OF MULCH, PREFERABLY IN JUNE AFTER WEEDING. • REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT PROPER OPERATION OF BIO TREATMENT PONDS. REMOVE SEDIMENT WHEN BUILD UP REACHES 3 INCHES AT ANY SPOT, IF IT COVERS VEGETATION, OR IF IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE ANY GRASS AREAS DAMAGED IN THE PROCESS. • ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED IF TREATMENT AREA DOES NOT DRAIN DOWN WITHIN 48 HOURS.	
<b>SUGGESTED FREQUENCY</b> POST CONSTRUCTION SEMI-ANNUAL SEMI-ANNUAL AS NEEDED (FREQUENT, SEASONALLY) SEMI-ANNUAL ANNUAL (AS NEEDED) SEMI-ANNUAL AS NEEDED (INFREQUENT) AS NEEDED		<b>SUGGESTED FREQUENCY</b> POST CONSTRUCTION SEMI-ANNUAL SEMI-ANNUAL AS NEEDED (FREQUENT, SEASONALLY) SEMI-ANNUAL ANNUAL (AS NEEDED) SEMI-ANNUAL AS NEEDED (INFREQUENT) AS NEEDED	

## OVERALL SITE PERMEABILITY TABLE

A. TOTAL SITE AREA	21.40 ACRES	B. TOTAL SITE AREA DISTURBED	21.40 ACRES	C. TOTAL PERVIOUS AREA	21.40 ACRES
GATEWAY CROSSINGS	EXISTING AREA	PROPOSED AREA	NEW	TOTAL PERVIOUS AREA	PROJECT AREA
ROOF	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
PAVING	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
SIDEWALKS & STREETS & HARDSCAPE	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
D. TOTAL IMPERVIOUS AREA	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
E. TOTAL NEW & REPLACED IMPERVIOUS AREA	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
F. TOTAL PERVIOUS AREA	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf
G. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS	140,500 sf	140,500 sf	140,500 sf	140,500 sf	140,500 sf

## TYPICAL BIOTRETENTION AREA HALF-SECTION



## GATEWAY CROSSINGS

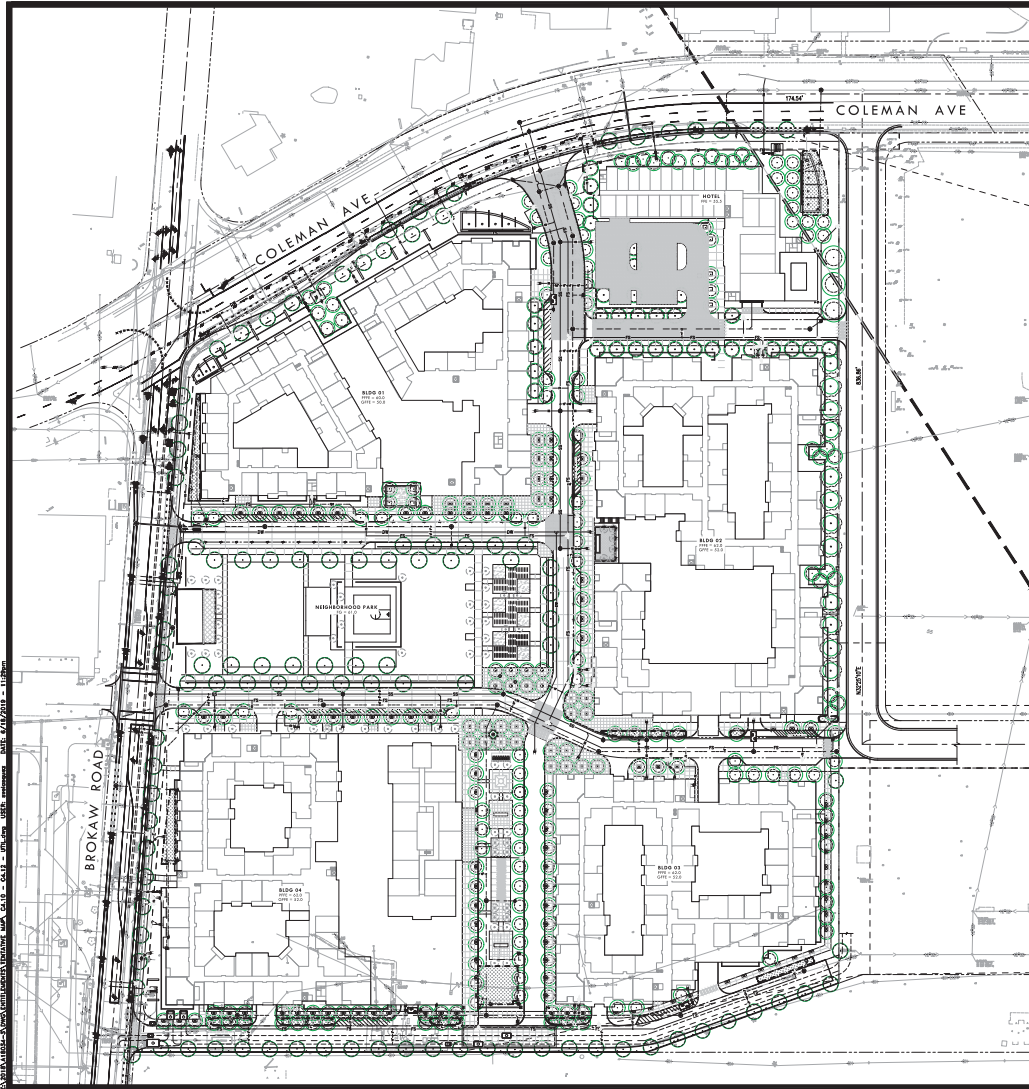
DATE: 8/18/2014  
PROJECT #: A18034-3  
SCALE: AS SHOWN

## PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER C3.21  
Building Number

KIER & WRIGHT  
KIER & WRIGHT ENGINEERS, INC.  
1000 N. 1ST STREET, SUITE 100  
SAN JOSE, CA 95131  
TEL: 408.281.1000 FAX: 408.281.1001

ISSUE



#### GENERAL NOTES

1. THE SHADED REGIONS WHICH OVERLAY UTILITY MAINS AND LATERALS ON THIS PLAN DEPICT A 5-FOOT OFFSET ON EITHER SIDE OF THE UTILITY PIPING, PROVIDING A REPRESENTATION OF 10-FOOT CLEAR SPACE FROM EDGE TO EDGE.
2. THE GREEN CIRCLES REPRESENT 20-FOOT DIAMETER CLEAR ZONES CENTERED ON EACH PROPOSED TREE LOCATION. THESE CIRCLES DEPICT THE REQUIRED 10-FOOT RADIUS OF CLEAR SPACE REQUIRED BETWEEN TREES AND MOST UTILITY LINES.
3. WHERE THE SHADED PIPELINE REGION INTERSECTS A TREE 'GREEN ZONE' RADIUS THIS REPRESENTS AN ENCROACHMENT INTO THE REQUIRED 10-FOOT CLEAR SPACE. A PIPELINE'S SHADED REGION WOULD NEED TO TOUCH OR OVERLAP THE CENTER OF A PROPOSED TREE IN ORDER TO VIOLATE THE MINIMUM 5-FOOT CLEAR SPACE ALLOWED WHEN ROOT BARRIERS ARE INSTALLED IN LIEU OF PROVIDING 10-FOOT CLEAR.

HUNTER STORM

GATEWAY CROSSINGS

DATE: 8/19/2019  
PROJECT#: A18034-3  
SCALE: AS SHOWN

#### SHEET TITLE

COMPOSITE SITE  
UTILITY & TREE  
OVERLAY PLAN

SHEET NUMBER  
**C4.10**

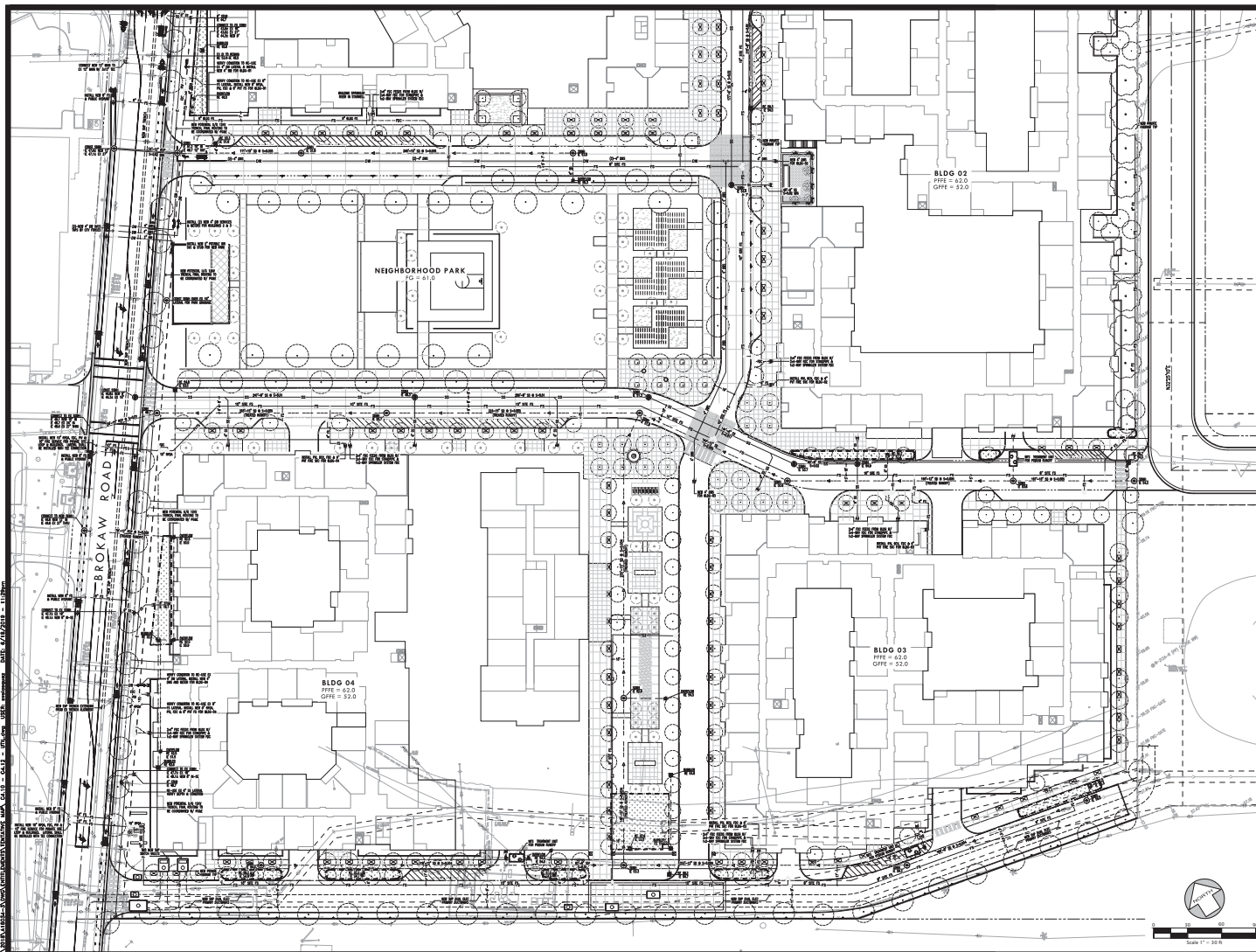
Building Number

KIER & WRIGHT  
CIVIL ENGINEERS & ARCHITECTS, INC.  
10000 KIER BLVD., SUITE 100  
DALLAS, TEXAS 75243  
PHONE: (214) 343-1000 FAX: (214) 343-1001  
WWW.KIERANDWRIGHT.COM

ISSUE







HUNTER STORM  
GATEWAY CROSSINGS

DATE: 8/19/2013  
PROJECT#: A18034-3  
SCALE: AS SHOWN

SHEET TITLE  
PRELIMINARY  
UTILITY PLAN

SHEET NUMBER  
C4.12  
Building Number

KIER & WRIGHT  
CIVIL ENGINEERS & ARCHITECTS, INC.  
1000 N. 10TH AVE., SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100 FAX: 303.733.1101  
WWW.KIERANDWRIGHT.COM

ISSUE



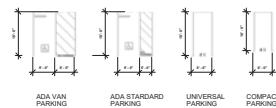
BUILDING 1 BASEMENT PARKING DATA									
VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING		BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	5	12	205	7	8		0
NA			239						

BUILDING 2 BASEMENT PARKING DATA									
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING		BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	0	22	326	0	10		0
NA			348						

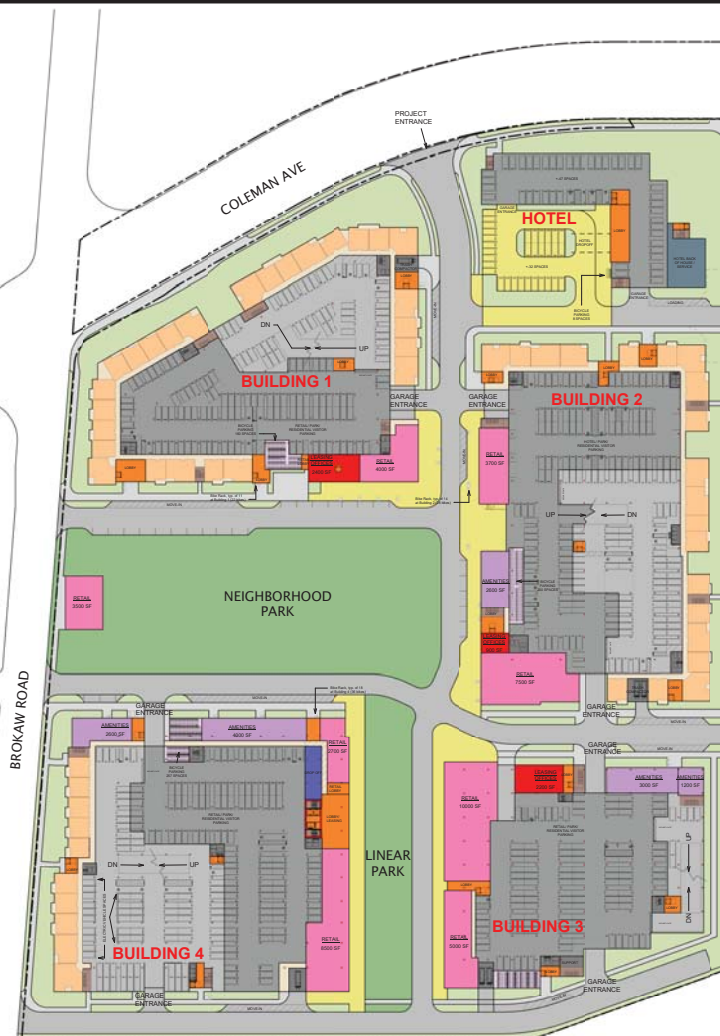
BUILDING 3 BASEMENT PARKING DATA									
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING		BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	8	19	194	0	10		0
NA			221						

BUILDING 4 BASEMENT PARKING DATA									
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING		BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING			
NA	NA	NA	7	10	284	21	13		0
NA			322						

NOTE:  
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 8 ADA PARKING SPACES.  
 THERE ARE IN TOTAL 40 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.  
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.







HOTEL GROUND LEVEL PARKING DATA				
PARKING PROVIDED			MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	COMPACT PARKING		
4	75	0	N/A	8
79				

\*HOTEL PARKING SPACES ARE SHARED WITH GUESTS, RETAIL AND EMPLOYEES.

BUILDING 1 GROUND LEVEL PARKING DATA						
RETAIL/VISITOR PARKING			RESIDENT PARKING			
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING
4	61	5	4	10	50	0
70*			64			

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

BUILDING 2 GROUND LEVEL PARKING DATA						
RETAIL/VISITOR PARKING			RESIDENT PARKING			
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING
11	83	13	9	0	64	0
102*			73			

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, HOTEL AND PARK VISITOR. (HOTEL 6/100, RESIDENTIAL GUEST PARKING 6/100)

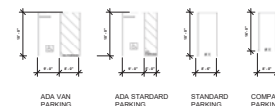
BUILDING 3 GROUND LEVEL PARKING DATA						
RETAIL/VISITOR PARKING			RESIDENT PARKING			
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING
6	95	7	0	0	6	0
108*			6			

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

BUILDING 4 GROUND LEVEL PARKING DATA						
RETAIL/VISITOR PARKING			RESIDENT PARKING			
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING
6	96	7	6	22	39	0
109*			67			

\*VISITOR PARKING SPACES ARE SHARED WITH RESIDENTIAL GUEST, RETAIL AND PARK VISITOR. (RETAIL PARKING 1/200 SF, RESIDENTIAL GUEST PARKING 6/100)

NOTE:  
1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.  
THERE ARE IN TOTAL 64 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.  
FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.



HUNTER STORM

15151 Dallas Avenue, Suite 100, Cupertino, CA 95014  
Phone: (408) 234-1007 Fax: (408) 299-8435

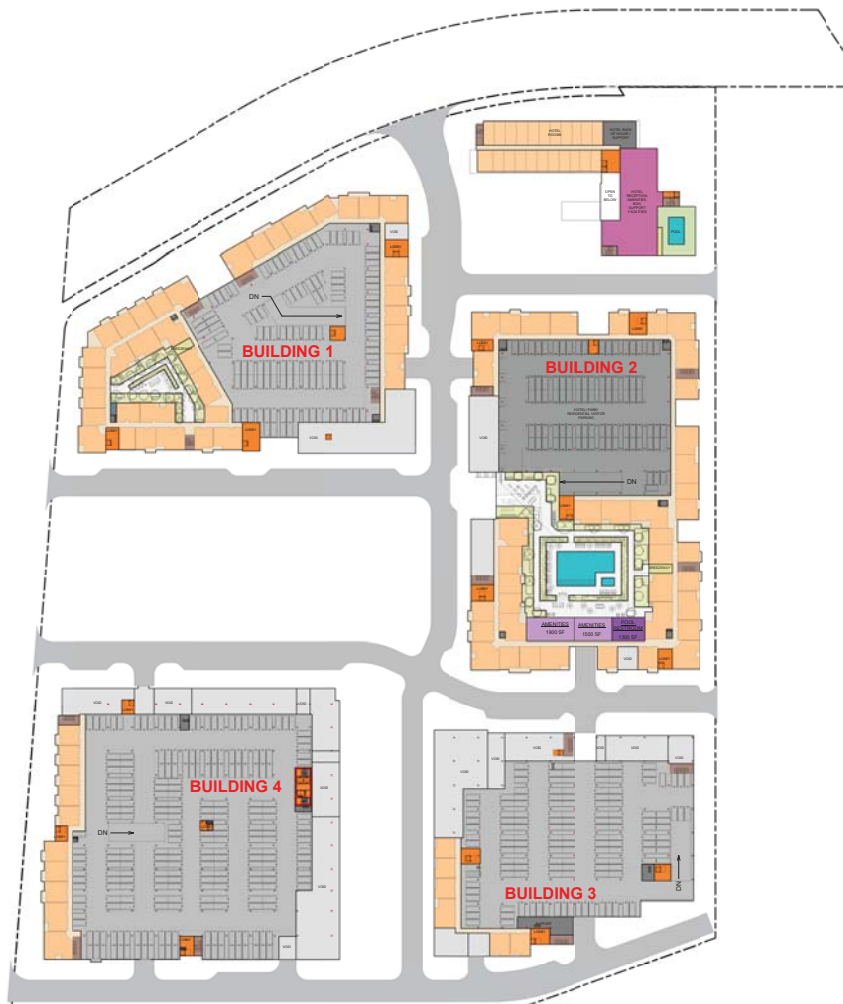
GATEWAY CROSSINGS

DATE: 08-03-2019  
PROJECT #:  
SCALE: As Indicated  
6 30 100  
NORTH

SHEET TITLE  
SITE PLAN  
STREET  
LEVEL

SHEET NUMBER  
A1.02

MVE  
+ PARTNERS  
1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.333.8888  
www.mve-partners.com



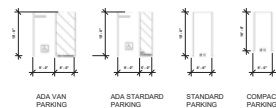
BUILDING 1 LEVEL 2 PARKING DATA								
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	120	0	N/A	N/A
N/A			120					

BUILDING 2 LEVEL 2 PARKING DATA								
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	88	N/A	0	0	0	0	N/A	N/A
88			0					

BUILDING 3 LEVEL 2 PARKING DATA								
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	136	0	N/A	N/A
N/A			136					

BUILDING 4 LEVEL 2 PARKING DATA								
RETAIL/VISITOR PARKING			RESIDENT PARKING				MOTORCYCLE PARKING	BICYCLE PARKING
ADA PARKING	UNIVERSAL PARKING	EV PARKING	ADA PARKING	EV PARKING	UNIVERSAL PARKING	COMPACT PARKING		
N/A	N/A	N/A	0	0	238	0	N/A	N/A
N/A			238					

NOTE:  
 1 ADA VAN PARKING SPACE HAS BEEN PROVIDED EVERY 6 ADA PARKING SPACES.  
 THERE ARE IN TOTAL 66 RETAIL PARKING SPACES PROVIDED IN THE PROJECT FOR RETAIL ON SITE.  
 EV CHARGING STATIONS FOR RESIDENTS ARE PROVIDED IN BASEMENT GARAGE AND ON STREET LEVEL.  
 FOR LANDSCAPE DESIGN REFERENCE TO LANDSCAPE DRAWINGS.  
 FOR SITE GRADING REFERENCE TO CIVIL DRAWINGS.





DATE: 08-03-2019  
 PROJECT #: 19011  
 SCALE: 1" = 50'-0"  
 0 50 100  
 NORTH

**SHEET TITLE**  
**SITE PLAN**  
**LEVEL 3**

**SHEET NUMBER**  
**A1.04**





DATE: 08-03-2019  
PROJECT #:  
SCALE: 1" = 50'-0"  
0 10 20  
NORTH

**SHEET TITLE**  
**SITE PLAN**  
**LEVEL 4-5**


**SHEET NUMBER**  
**A1.05**

**MVE**  
**+ PARTNERS**

1790 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.333.3333  
www.mve-and-partners.com






DATE:	08-03-2019	
PROJECT #:		
SCALE:	1" = 50'-0"	
0	50	100
		
NORTH		

**SHEET TITLE**  
**SITE PLAN**  
**LEVEL 7**

**SHEET NUMBER**  
**A1.07**



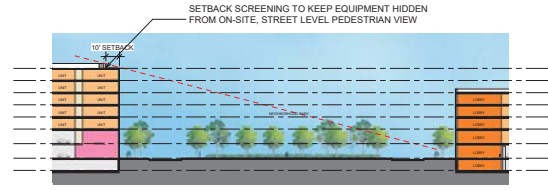


DATE:	08-03-2019	
PROJECT #:		
SCALE:	1" = 50'-0"	
0	50	100
		
NORTH		

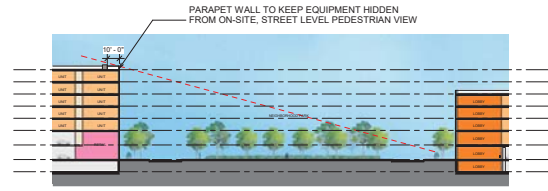
**SHEET TITLE**  
**SITE PLAN**  
**LEVEL 8,**  
**LEVEL 9-12,**  
**LEVEL 13**

**SHEET NUMBER**  
**A1.08**

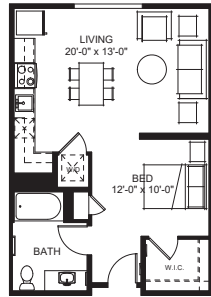
ROOF ZONE FOR MECH/HVAC  
 EQUIPMENT TO BE SETBACK A  
 MIN OF 10' FROM FACE OF BUILDING



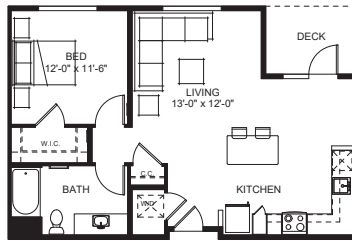
CONDITION 1 - SCREENING SETBACK FROM EDGE OF BUILDING  
 ENLARGEMENT OF SECTION D/SP1.00



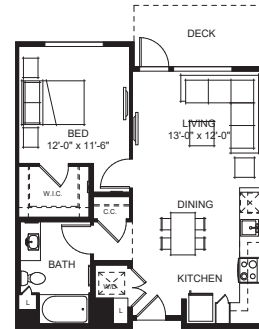
CONDITION 2 - PARAPET AT FACE OF BUILDING USED TO SCREEN VIEW  
 ENLARGEMENT OF SECTION D/SP1.00



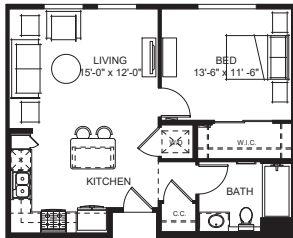
UNIT - STUDIO  
14' x 13'



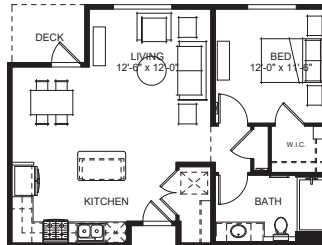
UNIT - 1BR (A)  
14' x 12'-0"



UNIT - 1BR (B)  
14' x 12'-0"



UNIT - 1BR (C)  
12' x 12'-0"

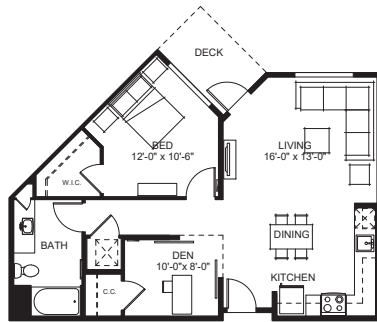


UNIT - 1BR (D)  
12' x 12'-0"

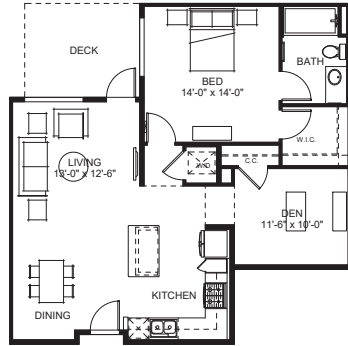
NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

UNIT TYPE	TOTAL	UNIT	UNIT COUNT	UNIT SIZE (sf)	DECK SIZE (sf)
STUDIO	184	-	184	625	N/A
1-BEDROOM	684	A	32	795	66
		B	566	722	78
		C	32	693	N/A
		D	36	773	47
		CUSTOM*	18	VARIES	VARIES
1-BED + DEN	103	A	54	875	57
		B	49	1000	114
2-BEDROOM	504	A	45	1080	45
		B	350	1036	62
		C	97	1185	51
		CUSTOM*	12	VARIES	VARIES
2-BED + DEN	90	-	90	1355	115

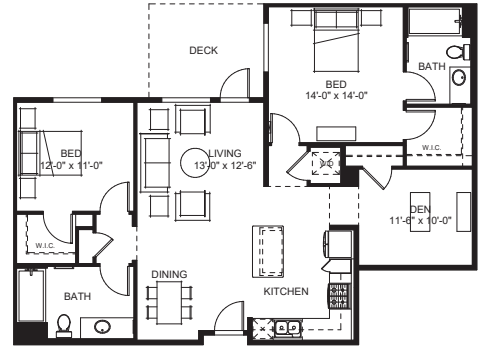
\*CUSTOM UNIT PLANS NOT INCLUDED IN DRAWING SET. SIZE, DECK, AND FOOTPRINT VARY PER LOCATION.



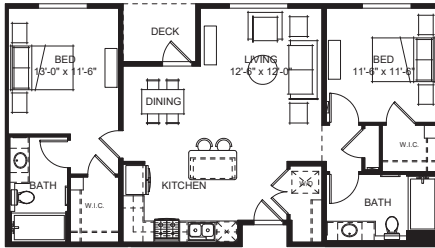
UNIT - 188A - 188B + DEN (A)  
10'0" x 11'0"



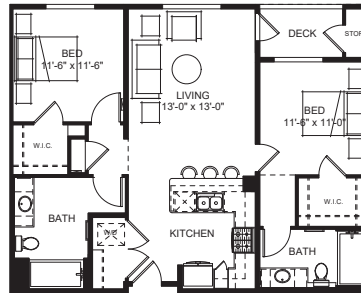
UNIT - 188A - 188B + DEN (B)  
10'0" x 11'0"



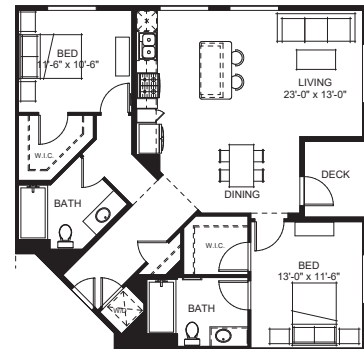
UNIT - 288A + DEN  
10'0" x 11'0"



UNIT - 288B (A)  
10'0" x 11'0"



UNIT - 288B (B)  
10'0" x 11'0"



UNIT - 288B (C)  
10'0" x 11'0"

NOTE: THE OCCURRENCE OF DECKS IS SUBJECT TO BUILDING  
ARTICULATIONS AND MAY CHANGE AS DESIGN PROGRESSES.

HUNTER STORM

GATEWAY CROSSINGS

10001 Mission Blvd, Suite 100, San Diego, CA 92108  
Phone: (619) 224-0000 Fax: (619) 224-0001

DATE: 08-03-2019

PROJECT #:

SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

NORTH

SHEET TITLE  
TYPICAL UNIT  
PLANS

SHEET NUMBER  
A1.12

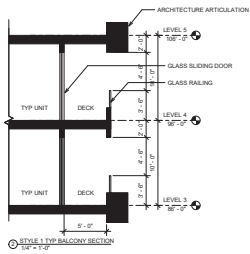
MVE  
+ PARTNERS  
1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.338.1100  
www.mve-partners.com



## STYLE 1

### STYLE DESCRIPTION

- Facades articulated with expressed columns and beams.
- Defined base, middle, and top proportions.
- Recessed and grouped windows and fenestration patterns.
- Simple canopy and cornice used to terminate architectural forms.



### ARCHITECTURAL IMAGERY



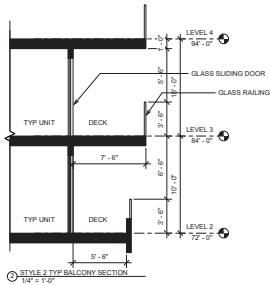
- 1 METAL TRIM
- 2 CLADDING PANEL
- 3 CLADDING/ METAL CORNICE
- 4 STUCCO
- 5 METAL CANOPY
- 6 JULIET BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH PANELIZED RAILING



## STYLE 2

### STYLE DESCRIPTION

- Abstract fenestration patterns.
- Facades defined by floating planes that project beyond the building mass.
- Windows grouped vertically within floating planes.
- Horizontal slatted members define shading and railing devices.



### ARCHITECTURAL IMAGERY



NOTE: TYPICAL APPLICATION OF STYLE LOCATION ON SITE SUBJECT TO POSSIBLE CHANGE

- 1 ENGINEERED COMPOSITE SLATTED SCREEN
- 2 ENHANCED GLAZING SYSTEM
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 STUCCO
- 6 CLADDING/ METAL CORNICE
- 7 GFRG/ CLADDING/ METAL PANEL



BUILDING 1 NORTH ELEVATION  
(FRONTING COLEMAN AVE)  
1/8" = 1' - 0"

NOTE:  
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS  
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

DATE: 08-03-2019

PROJECT #:

SCALE: As indicated

0 5 10

NORTH

**SHEET TITLE**  
**ARCHITECTURAL**  
**STYLE 2**

**SHEET NUMBER**  
**A2.02**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).  
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.  
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).  
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.

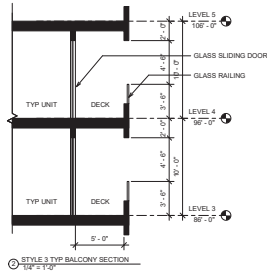
**MVE**  
**+ PARTNERS**

1793 Main Street, Suite 800  
Irvine, California 92614  
Tel: (949) 338-1111  
www.mve-partners.com

## STYLE 3

### STYLE DESCRIPTION

- Projecting frames used to group fenestrations and create a vertical rhythm.
- Juliet balconies add texture and shadow between frames.
- Solid, defined horizontal base organizes the facade composition.
- Enhanced glazing and vertical articulation accent and mark important corners.



### ARCHITECTURAL IMAGERY



- 1 ENHANCED GLAZING SYSTEM
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 STUCCO
- 5 RAINSCREEN BASE
- 6 BALCONY WITH PANELIZED RAILING
- 7 BALCONY WITH METAL RAILING



NOTE:  
REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN  
STYLE ELEVATIONS ARE INTENDED TO INDICATE ARCHITECTURE CHARACTERS  
AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.

DATE: 08-03-2019

PROJECT #: As indicated

SCALE: 1/8" = 1'-0"

NORTH

**SHEET TITLE**  
**ARCHITECTURAL**  
**STYLE 3**

**SHEET NUMBER**  
**A2.03**

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Irvine, California 92614  
Tel: 949.338.3388  
www.mve-architect.com



STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window patterning and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

ARCHITECTURAL IMAGERY

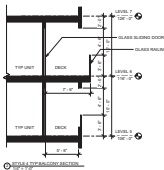


- METAL PANEL
- BRICK
- METAL AWNINGS
- BALCONY WITH PANELIZED RAILING
- BALCONY WITH GRILL RAILING
- CONTEMPORARY ACCENT GLAZING
- TRADITIONAL WAREHOUSE GLAZING
- LOUVERED SCREEN
- OPERABLE STOREFRONT
- METAL CORNICE
- STUCCO



KEY MAP

NOT TO SCALE



SECTION 1: BRICK VENEER DETAIL



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HUNTER STORM

GATEWAY CROSSINGS

PROJECT

08.03.2014

STYLE

Architectural

SCALE

1" = 16'-0"

SHEET TITLE

ARCHITECTURAL STYLE 4

SHEET NUMBER

A2.04

MVE PARTNERS



STYLE 4

STYLE DESCRIPTION

- Traditional warehouse window pattering and proportioning devices.
- Facades articulated with expressed columns and beams to create a sense of order.
- Brick veneer finish introduced to enhance architectural character.

ARCHITECTURAL IMAGERY



- METAL PANEL
- STUCCO
- METAL AWNINGS
- BALCONY WITH PANELIZED RAILING
- BALCONY WITH GRILL RAILING
- CONTEMPORARY ACCENT GLAZING
- TRADITIONAL WAREHOUSE GLAZING
- LOUVERED SCREEN
- OPERABLE STOREFRONT
- METAL CORNICE
- STUCCO



KEY MAP

NOT TO SCALE



- BE LEVEL 10  
100' 0" 10'
- BE LEVEL 9  
100' 0" 10'
- BE LEVEL 8  
100' 0" 10'
- BE LEVEL 7  
100' 0" 10'
- BE LEVEL 6  
100' 0" 10'
- BE LEVEL 5  
100' 0" 10'
- BE LEVEL 4  
100' 0" 10'
- BE LEVEL 3  
100' 0" 10'
- BE LEVEL 2  
100' 0" 10'
- BE LEVEL 1  
100' 0" 10'
- BE LEVEL 0  
100' 0" 10'

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HUNTER STORM

GATEWAY CROSSINGS

PROJECT

08-03-2017

STYLE

100' 0" 10'

SCALE

1" = 10'

SHEET TITLE

ARCHITECTURAL  
STYLE 4

SHEET NUMBER

A2.05

MVE

PARTNERS

STYLE 5

STYLE DESCRIPTION

- Contemporary warehouse expression defined by traditional use of materials, prominent grid organization and interpretive forms.

ARCHITECTURAL IMAGERY

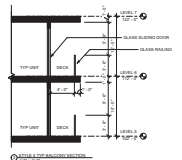


- METAL PANEL
- ARCHITECTURAL TILE
- METAL AWNINGS
- BALCONY WITH PANELIZED RAILING
- CONTEMPORARY ACCENT GLAZING
- METAL TRELLIS
- LOUVER
- PANELIZED RAILING
- OPERABLE STOREFRONT



KEY MAP

NOT TO SCALE  
NOTE: PHYSICAL REPRESENTATION OF STYLE LOCATION  
IS NOT SUBJECT TO CURRENT CODES



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NOTES:  
ARCHITECTURAL IMAGERY IS NOT A CONTRACT DOCUMENT.  
RENDERINGS ARE FOR ILLUSTRATION PURPOSES ONLY.  
RENDERINGS ARE NOT TO BE USED FOR CONSTRUCTION.

STYLE 6

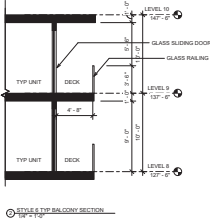
STYLE DESCRIPTION

- Simple massing composition with well ordered articulation.
- Facades characterized by vertical and horizontal expressions.
- Appealing fenestration patterning defined by the use of alternate windows.

ARCHITECTURAL IMAGERY



- 1 METAL PANEL
- 2 SMOOTH STUCCO
- 3 METAL CANOPY
- 4 BALCONY WITH PANELIZED RAILING
- 5 CONTEMPORARY ACCENT GLAZING
- 6 LOUVERED SCREEN
- 7 PANELIZED RAILING
- 8 VERTICAL SHADE



HUNTER STORM

GATEWAY CROSSINGS

DATE: 08-03-2018

PROJECT #:

SCALE: As Indicated

NORTH

SHEET TITLE  
ARCHITECTURAL  
STYLE 6 -  
HOTEL

SHEET NUMBER  
A2.07

MVE  
T PARTNERS



**SPRING**  
MARCH 1

**SUMMER**  
JUNE 1

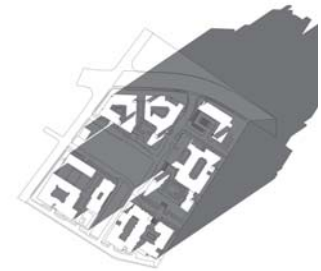
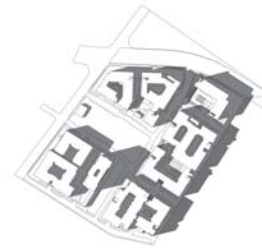
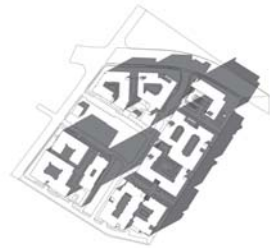
**AUTUMN**  
SEPTEMBER 1

**WINTER**  
DECEMBER 1

9AM

12PM

4PM



**HUNTER STORM**

**GATEWAY CROSSINGS**

DATE 08-03-2019

PROJECT #

SCALE:

0 10 15

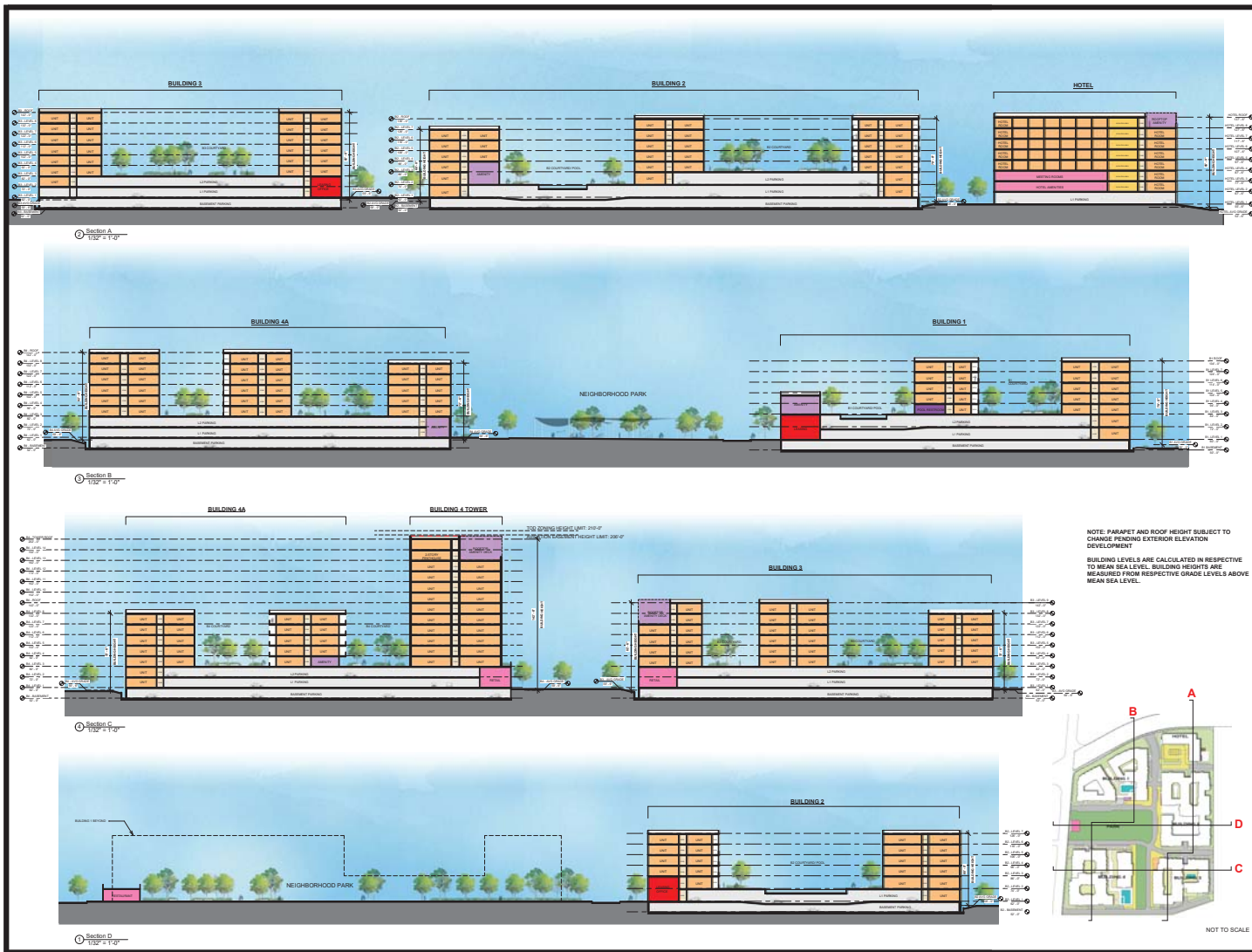
NORTH

**SHEET TITLE**  
SHADOW STUDIES

**SHEET NUMBER**  
A2.08

**MVE**  
+ PARTNERS  
1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.233.3333  
www.mve-and-partners.com







#### BUILDING 1 VENTILATION

<b>LENGTH (ft)</b>	
Garage Total Perimeter	1,502'
Open Length Required	601'
Length Reduction	40%
Facade Length Required	856'
Facade Length Provided	874'
<b>AREA (sq ft)</b>	
Total Garage Wall Area	14,014 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,929 sq ft
Open Area Provided	2,929 sq ft

#### BUILDING 2 VENTILATION

<b>LENGTH (ft)</b>	
Garage Total Perimeter	1,749'
Open Length Required	709'
Length Reduction	40%
Facade Length Required	921'
Facade Length Provided	939'
<b>AREA (sq ft)</b>	
Total Garage Wall Area	16,318 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	3,411 sq ft
Open Area Provided	3,411 sq ft

#### BUILDING 3 VENTILATION

<b>LENGTH (ft)</b>	
Garage Total Perimeter	1,240'
Open Length Required	496'
Length Reduction	40%
Facade Length Required	709'
Facade Length Provided	709'
<b>AREA (sq ft)</b>	
Total Garage Wall Area	11,653 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,418 sq ft
Open Area Provided	2,418 sq ft

#### BUILDING 4 VENTILATION

<b>LENGTH (ft)</b>	
Garage Total Perimeter	1,536'
Open Length Required	614'
Length Reduction	40%
Facade Length Required	878'
Facade Length Provided	878'
<b>AREA (sq ft)</b>	
Total Garage Wall Area	14,331 sq ft
Wall Height	9.33'
Opening Height	7.5'
% Open Area (Screen)	65%
Open Area Required	2,995 sq ft
Open Area Provided	2,995 sq ft

— LOCATION OF GARAGE WALL OPENINGS

HUNTER STORM

GATEWAY CROSSINGS

110111 Gates - Area 1, Area 2, Crossings, CA 92614  
Phone: (951) 234-1001 Fax: (951) 999-8435

DATE: 08-03-2019

PROJECT #:

SCALE: 1" = 50'-0"

0 50 100

NORTH

SHEET TITLE  
VENTILATION  
PLAN MAP

SHEET NUMBER  
SP3.01

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.

**MVE**  
+ PARTNERS

1795 Main Street, Suite 800  
Irvine, California 92614  
Tel: 949.333.8888  
www.mve-and-partners.com



#### SHEET INDEX

- L-1.0 Schematic Landscape Plan - Overall
- L-1.1 Park Master Plan
- L-1.2 Park Concept Layout
- L-1.3 Planting Notes and Legends
- L-2.1 Schematic Landscape Plan - Site
- L-2.2 Schematic Landscape Plan - Site
- L-2.3 Schematic Landscape Plan - Site
- L-2.4 Schematic Landscape Plan - Site
- L-2.5 Schematic Landscape Plan - Site
- L-2.6 Schematic Landscape Plan - Site
- L-2.7 Schematic Landscape Plan - Padium Building 1
- L-2.8 Schematic Landscape Plan - Padium Hotel
- L-2.9 Schematic Landscape Plan - Padium Building 2
- L-2.10 Schematic Landscape Plan - Padium Building 3
- L-2.11 Schematic Landscape Plan - Padium Building 4
- L-3.1 Irrigation Sizing Diagram - Site and Padium
- L-3.2 Irrigation Layout, Notes and Water-use Calculations
- L-3.3 Irrigation Details
- L-3.4 Irrigation Details
- L-4.1 Site Section
- L-4.2 Site Section
- L-4.3 Landscape Details
- L-4.4 Landscape Details
- L-4.5 Landscape Details

**HUNTER STORM**

## GATEWAY CROSSINGS

15121 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 228-4200 Fax: (408) 228-5212

DATE: 06/16/16  
PROJECT:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan -  
Overall

SHEET NUMBER  
L-1.0

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
880 Edwards Street  
San Francisco, CA 94117  
Tel: 415-433-4615  
Fax: 415-433-1601



# LEGEND

COLOR	CATEGORY
	NEIGHBORHOOD PARK
	LINEAR PARK
	COMMUNITY THEME GARDENS
	OUTDOOR SEATING, FIREPLACE
	OUTDOOR GRILL, DINING AREA
	POOL AND SPA
	COMMON FITNESS, GAME AREA, SCREENING ROOM
	INDOOR FITNESS, AMENITY AREA



SEE SHEET L-1.2 FOR PARK CREDIT LEGEND.  
SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

HUNTER STORM

## GATEWAY CROSSINGS

DATE: 08/10/18  
PROJECT #:  
SCALE: As Noted




SHEET TITLE  
Park Master Plan

SHEET NUMBER  
L-1.1




THE GUZZARDO PARTNERSHIP, INC.  
Landscape Architecture - Land Planners  
881 Broadway Street  
Berkeley, CA 94710  
916.833.8833  
916.833.8833

PARK CREDIT LEGEND






SITE - ON GRADE

COLOR	CATEGORY	PROGRAM USES	ELEMENTS	AREA PROVIDED	PARK CREDIT AREA
	NEIGHBORHOOD PARK	OPEN LAWN AREA EXERCISE AREA PLAY AREA GRILL AND PICNIC AREA PARKING WITH COVERED SEATING SEATING PLAZA	OPEN LAWN BASKETBALL COURT, 8 SEATING SPACES 10 PLAY EQUIPMENT FOR ALL AGE GROUPS, 9 BENCHES 6 BBQ GRILLS, 8 COVERED PICNIC TABLES, 72 SEATING SPACES, LAWN AREA SHADE STRUCTURE, 24 SEATING SPACES SCULPTURE, 8 SEATING SPACES, 6 BIKE LOCKERS	87,725 SF	
	LINEAR PARK	OPEN LAWN AREA FIREPLACE WITH LOUNGE SEATING ACTIVITY AREA SCULPTURE GARDEN FOUNTAIN PLAZA	OPEN LAWN 2 FIREPLACES, 24 SEATING SPACES 1 BOCCE BALL COURT, 8 SEATING SPACES, 6 BENCHES SCULPTURE, RAISED PLANTERS, 18 SEATING SPACES 1 FOUNTAIN, 52 SEATING SPACES, 16 BIKE PARKING SPACES	22,972 SF	
	LANDSCAPED AND FURNISHED QUIET AREAS	BLUE GARDEN HAMMOCK GARDEN	FOUNTAIN, 18 SEATING SPACES, 4 BIKE PARKING SPACES, 12 PLANTER POTS 4 HAMMOCKS IN PALM TREE GROVE	2,335 SF	
				113,032 SF TOTAL	AT 100% 113,032 SF






BUILDING 1 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (4,374 sf) OUTDOOR SEATING AREA (667 sf)	4 FIREPLACES, 42 SEATING SPACES, 7 PLANTER POTS 12 SEATING SPACES	5,041 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES (1,083 sf)	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES	1,083 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,748 sf) SPA (144 sf) POOL DECK AND LOUNGE AREA (4,718 sf)	4 SWIMMING LANES 8'x16' SPA 50 CHAISE LOUNGE SEATING	7,608 SF	
	INDOOR AMENITY AREA	CENTRAL GYM, CLUBHOUSE, POOL FACILITIES, VIEW LOUNGE		6,300 SF	
				20,042 SF TOTAL	AT 50% 10,021 SF






BUILDING 2 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE AND LOUNGE SEATING	2 FIREPLACES, 28 SEATING SPACES, 3 PLANTER POTS	2,861 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	4 BBQ GRILLS, 4 COVERED TABLES, 2 COMMUNAL TABLES, 42 SEATING SPACES, 3 SHADE STRUCTURES, 11 PLANTER POTS	2,965 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,940 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,234 sf)	4 SWIMMING LANES 10'x16' SPA 30 CHAISE LOUNGE SEATING	8,012 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	OUTDOOR SCREENING ROOM (800 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (2,275 sf)	MOVIE SCREEN WITH 8 SEATING SPACES 2 FITNESS STATIONS, RUBBERIZED PLAYGROUND, 4 BENCHES	3,039 SF	
	INDOOR AMENITY AREA	GAME ROOM, CLUBHOUSE, POOL FACILITIES		7,300 SF	
				24,277 SF TOTAL	AT 50% 12,139 SF

BUILDING 3 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (345 sf) LOUNGE SEATING AREA (706 sf) COVERED SEATING AREA (ROOF DECK) (715 sf)	1 FIREPLACES, 6 LOUNGE SEATING SPACES, 2 PLANTER POTS 12 SEATING SPACES, 4 PLANTER POTS 1 SHADE STRUCTURE, 8 LOUNGE SEATING SPACES, 15 PLANTER POTS	1,766 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLES (719 sf) BBQ COUNTER W/OUTDOOR DINING & COMMUNAL TABLE (ROOF DECK) (816 sf)	2 BBQ GRILLS, 16 SEATING SPACES, 4 PLANTER POTS 1 SHADE STRUCTURES, 30 SEATING SPACES, 10 PLANTER POTS	1,535 SF	
	COMMON FITNESS, GAME AREA, SCREENING ROOM	MINI GOLF ZONE	PUTTING GREEN, 4 BENCH SEATINGS	2,850 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (916 sf) SPA (63 sf) POOL DECK AND LOUNGE AREA (2,080 sf)	2 SWIMMING LANES 7'x9' SPA 24 CHAISE LOUNGE SEATING	3,059 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM, POOL FACILITIES		6,300 SF	
				15,610 SF TOTAL	AT 50% 7,805 SF

BUILDING 4 PODIUM

	OUTDOOR SEATING, FIREPLACE	FIREPLACE WITH LOUNGE SEATING (2,941 sf) LOUNGE SEATING AREA (476 sf) SCULPTURE FOREST WITH SEATING (1,926 sf) COVERED SEATING AREA (481 sf)	2 FIREPLACE, 32 LOUNGE SEATING SPACES, STRING LIGHTS 6 LOUNGE SEATING SPACES, 2 PLANTER POTS VERTICAL SCULPTURES, 22 SEATING SPACES, 12 PLANTER POTS 1 SHADE STRUCTURE, 12 LOUNGE SEATING SPACES, 4 PLANTER POTS	5,825 SF	
	OUTDOOR GRILL, DINING AREA	BBQ COUNTER WITH OUTDOOR DINING AND COMMUNAL TABLES	2 BBQ GRILLS, 2 COMMUNAL TABLES WITH 16 SEATING SPACES, 5 TABLES WITH 20 SEATING SPACES, STRING LIGHTS	1,412 SF	
	POOL AND SPA	POOL WITH LAP SWIMMING (2,943 sf) SPA (160 sf) POOL DECK AND LOUNGE AREA (5,964 sf)	4 SWIMMING LANES 10'x16' SPA 24 CHAISE LOUNGE SEATING, 6 CABANAS	10,067 SF	
	GAME AREA, SCREENING ROOM, COMMON FITNESS	OUTDOOR SCREENING ROOM (1,395 sf) OUTDOOR GAME ROOM (1,688 sf) FITNESS ZONE WITH EXERCISE EQUIPMENT (461 sf)	MOVIE SCREEN, 24 SEATING SPACES, 4 PLANTER POTS 1 BOCCE BALL COURT, STRING LIGHTS YOGA ZONE, STRING LIGHTS, 4 FITNESS STATIONS, RUBBERIZED PLAYGROUND	3,544 SF	
	INDOOR AMENITY AREA	CLUBHOUSE, GREAT ROOM, POOL FACILITIES		11,900 SF	
				32,748 SF TOTAL	
					AT 50% 16,374 SF
				PARK CREDIT TOTAL	159,371 SF

A BUFFER STRIP/SETBACK OF AT LEAST 4 FEET BETWEEN BUILDINGS AND PUBLIC PARKLAND/AMENITIES IS DEDUCTED FROM AREA CALCULATIONS.

SEE ARCHITECTURAL DRAWINGS FOR BUILDING INTERIOR AREA CALCULATIONS.

HUNTER STORM

1833 Mission Ave., Suite 200, Concord, CA 94521  
Phone: (925) 204-4200 Fax: (925) 204-4205

GATEWAY CROSSINGS

DATE: 06.19.19

PROJECT:

SCALE: As Noted

SHEET TITLE

Park Credit Legend

SHEET NUMBER

L-1.2

THE GUZZARDO PARTNERSHIP INC.

Landscaping Architects • Land Planners

181 Greenleaf Street  
San Francisco, CA 94111  
T 415 433 8872  
F 415 433 5593



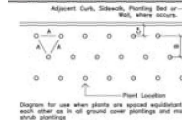
## PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting supervisor.
- Plant material location shall be determined by drawings and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be placed as shown in the planting diagrams.
- All tree trunks shall be cut 4" above the lowest of the branches to be installed in the depth indicated in the planting diagrams. Single small cut branches per tree shall be removed.
- Plant location may be adjusted in the field as necessary to screen utilities but not to block windows or impede access. The Landscape Architect reserves the right to make minor adjustments in tree location after planting at no cost to the Owner. All planting locations adjacent to signs shall be field adjusted as not to interfere with visibility of the sign.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting schedule in full necessary while work is in progress. Such changes are to be accompanied by suitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all trees to be planted and submit to the Landscape Architect for review prior to planting. Submit sample of foliage to Landscape Architect for review prior to planting. Submit sample of foliage to Landscape Architect for review prior to planting.
- All planting areas, except lawn and storm water treatment areas (as defined by the City of Santa Clara), shall be top-dressed with a 2" layer of screened wood mulch, "Natural Wood Chip" by Mason Recycling (310.429.1300, [www.masonrecycling.com](http://www.masonrecycling.com)) equal. Planter pits shall be top-dressed with the smaller "Topsoil Longleaf Pine" mulch, also from Mason Recycling. Mulch shall be dark brown in color. Submit sample to Landscape Architect for review prior to planting. Submit all mulch to (5) inches from all plants where mulch is applied over to planting.
- All street trees to be installed in accordance with the standards and specifications of the City of Santa Clara. Contractor to contact the city engineer to confirm plant type, plant size (or installation), installation details and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the City of Santa Clara in accordance with the City of Santa Clara's standards. Contractor is to consult with the Landscape Architect during this process. All street trees shall have root barriers for sidewalk protection which shall be 16" long or extend to drip line of the mature tree, whichever is greater, and be 1-1/2" deep, and centered on trees. All street trees shall have root barriers for curb and gutter protection which shall be 16" long or extend to drip line of the mature tree, whichever is greater, and be 2" deep, and centered on trees.
- Seasonal water is to be turned on locally installed. Plant material is to be received by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal water is to be 4" plus at 12" c.c. unless otherwise noted.
- The tree shall be set or needed (as noted) and consist of a straight trunked hardy native tree or shrub (as noted) and Pacific Dogwood (Nedra) with 100% live root ball, installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of group species: 100% Natural Dogwood. Available through Pacific Dog 800.542.1633.
- Trees planted in open areas shall not have been planted over the top of the roadbed but shall have 12" diameter circle of bare soil for the following purposes:
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All interior trees noted with "deep root" and those planted within 2'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Architect shall arrange with a nursery to secure plant material noted on the drawings and have three plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and given for the job upon approval of the plant materials. The deposit necessary for each contract growing to be seen by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant material. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscaping. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage shall be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reduce changes in weather and plant requirements.
- The Landscape Architect shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See CIV drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shearing, and, in some cases, removal of trees and shrubs in an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maximum plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant material indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 500 (five hundred) square feet. Contractor to set out plants, if conditions in the landscape and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all new planting sites. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the new planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to installation in a site visit by the Landscape Architect.
- All trees to be planted 12" clear from the tree trunk to the utility area and storm drain intake and minimum 2' clear of any existing or proposed Electric Department facilities.

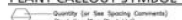
## PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	WUCOLS
ACE PAL		Acer palmatum	Japanese Maple		M
ACE RUB		Acer rubrum 'Red Sunset'	Red Maple 'Red Sunset'		M
ARB MAR		Arbutus 'Marina'	Marine Strawberry Tree		L
BAM TEX		Bambusa 'Textilis'	Thicket Bamboo		L
CAL DEC		Calceolaria 'decurrens'	Incense-Cedar		L
CAR FAS		Carthagen 'Festiva'	Pyramidal European Hornbeam		M
CER CAN		Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud		M
CHA HUM		Chamaecyparis humilis	Mediterranean Fan Palm		L
OT LEM		Clusia x mayeri	Meyer Lemon		M
CUP SEM		Cupressus sempervirens 'Stricta'	Columnar Italian Cypress		L
FIC CAR		Ficus carica 'Black Jack'	Edible Fig		M
FRA AME		Fraxinus americana 'Autumn Purple'	Autumn Purple Ash		M
GR BL		Glaucium balticum 'Vermont'	Mediterranean Tree		L
LAC NAT		Lagerströmia 'Natchez'	Crape Myrtle		L
LAU SAR		Laurus 'Saratoga'	Sweet Bay		L
LOP COR		Lophocarpus confertus	Bridal Veil		L
MAC GRA		Magnolia grandiflora 'Key Plant'	Key Plant Magnolia		M
PRO CAR		Prunus caroliniana	Carolina Cherry Laurel		M
QUC EUB		Quercus emoryi 'Swan Hill'	Fruticose Oak		VL
PIS OH		Pinus oregonensis 'Valko Doney'	Chinese Redwood		L
PLA COL		Platanus occidentalis 'Columbia'	London Plane Tree		M
POR GRA		Podocarpus gracilis	Fern Pine		M
PRO CAR		Prunus caroliniana 'Bright and Tight'	Carolina Cherry Laurel		M
QUC COC		Quercus coccinea	Scarlet Oak		M
QUC FRA		Quercus farnesii 'Schmidt'	Hungarian Oak		L
QUC LOB		Quercus lobata	Valley Oak		L
QUC PUB		Quercus puberula	Live Oak		L
QUC VIR		Quercus virginiana	Live Oak		L
WAL FL		Washingtonia filifera	California Fan Palm		L

## PLANT SPACING DIAGRAM



## PLANT CALLOUT SYMBOL



## PLANT QUANTITY DIAGRAM

SPACING	SPACING	SPACING	SPACING	NO. OF PLANTS/SQUARE FOOT
4' x 4'	3.33	2.40	1.67	4.80
6' x 6'	2.78	2.00	1.43	3.60
8' x 8'	2.25	1.67	1.11	2.88
10' x 10'	1.80	1.33	0.90	2.25
12' x 12'	1.50	1.11	0.75	1.80
14' x 14'	1.25	0.90	0.60	1.44
16' x 16'	1.11	0.75	0.50	1.20
18' x 18'	0.90	0.60	0.40	0.96
20' x 20'	0.75	0.50	0.33	0.80
24' x 24'	0.60	0.40	0.28	0.64
30' x 30'	0.40	0.28	0.20	0.40
36' x 36'	0.33	0.25	0.17	0.32
40' x 40'	0.25	0.20	0.15	0.28
48' x 48'	0.21	0.17	0.13	0.24
60' x 60'	0.17	0.13	0.10	0.19

See Plant Spacing Diagram for maximum triangular spacing 'X'. This ratio is to be used to determine number of plants per square foot in a given area and spacing between shrub plantings. Where shrub plantings are shown, calculate shrub area before using spacing chart to determine plant quantities.

\* Where only, adjacent planting bed or wall condition occurs, adjust spacing 'X' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where 'X' is 1/2 'X'.

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
LBA	5 gal	Lonicera t. 'Saratoga'	Tree Mistle	48" o.c.	L
LCB	5 gal	Lonicera t. 'Blue'	Red Fringe Flower	36" o.c.	L
LEU	5 gal	Leucoparthenon caudatum 'Flame Spire'	Nodding Pinchpalm	48" o.c.	L
LEY	5 gal	Leycesteria condensata 'Canyon Prince'	Canyon Prince Wild Rose	36" o.c.	L
LLE	5 gal	Leucostema laevis	Lion's Tail	36" o.c.	L
LLE	5 gal	Leucostema laevis 'Tuff'	Deer's Tail Bush	24" o.c.	L
LPS	5 gal	Leucostema 'Petal'	Leucostema	42" o.c.	L
MD	5 gal	Muscicarpa caryophylla 'Invis'	Pink Mistle Grass	36" o.c.	L
NIP	5 gal	Nepenthes carolinensis	Sweet Fern	24" o.c.	M
OLD	5 gal	Olea s. 'Little Olive'	Deer's Olive	36" o.c.	VL
OGM	5 gal	Ostrya virginiana	Sweet Olive	48" o.c.	M
PCA	5 gal	Prunus carolinensis	Corymbus Cherry Laurel	48" o.c.	L
PDA	5 gal	Prunella x damascena	Sweet Pea Shrub	36" o.c.	L
PDC	5 gal	Prunus 'Dusky Chief'	New Zealand Flax	36" o.c.	L
PTI	5 gal	Phlox 'Tinkler'	New Zealand Flax	36" o.c.	L
PTI	5 gal	Phlox 'Indigo'	Sweet Pea Shrub	36" o.c.	L
PTI	5 gal	Phlox x 'Indian Princess'	Chinese Philadelph	36" o.c.	M
PTI	5 gal	Phlox x 'Indian Princess'	'Cream de Mint' Philadelph	24" o.c.	L
PLA	5 gal	Phlox laevis	English Laurel	48" o.c.	M
POM	15 gal	Podocarpus x 'Marmor'	Ice Blue Yellow Wood	42" o.c.	M
PRS	5 gal	Phlox 'Rainbow Sunrise'	New Zealand Flax	30" o.c.	L
PRW	5 gal	Phlox 'Rainbow Sunset'	New Zealand Flax	30" o.c.	L
PWM	5 gal	Phlox 'Rainbow Sunset'	New Zealand Flax	36" o.c.	L
RHA	5 gal	Rhus copallina	Indian Hawthorn	36" o.c.	L
RHM	5 gal	Rhus copallina 'Eve Case'	Coffeetree	48" o.c.	L
RWS	5 gal	Rosa 'White Simplicity'	White Simplicity Rose	42" o.c.	M
RIB	5 gal	Rosa 'Blue Rosemary'	Tucson Blue Rosemary	36" o.c.	L
SLB	5 gal	Sauz laevis 'Santa Barbara'	Madison Sage	36" o.c.	M
SE	5 gal	Stellaria repens	Red of Paradise	36" o.c.	M

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AG	1 gal	Agapanthus 'Queen Anna'	Lily of the Nile	18" o.c.	M
AR	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita	30" o.c.	VL
BC	1 gal	Begonia crassifolia	Winter Blooming Begonia	18" o.c.	M
CC	5 gal	Ceanothus s. h. 'Yonkers Point'	Yonkers Point Ceanothus	30" o.c.	L
CH	5 gal	Cypripedium hirsutum	Madison Hebe	24" o.c.	M
OK	1 gal	Coprosma x 'Mist'	Creeping Coprosma	30" o.c.	L
OM	1 gal	Coronilla maritima	Ground Morning Glory	30" o.c.	L
OP	1 gal	Coronilla portulacastrum	Serbian Bellflower	18" o.c.	M
CS	5 gal	Columnea s. 'Sunset Gold'	Dwarf Breath of Heaven	30" o.c.	M
ET	1 gal	Eucalyptus fortunei	Wintercreeper	24" o.c.	L
LA	5 gal	Lavandula intermedia	Lavender	24" o.c.	L
LI	1 gal	Liriodendron 'Big Blue'	Lily Turf	18" o.c.	M
MA	5 gal	Mahonia repens	Creeping Mahonia	30" o.c.	L
MB	5 gal	Manisuris 'Yonkers Dwarf'	Dwarf Heavenly Bamboo	30" o.c.	L
BP	1 gal	Rubus perfoliatus 'Emerald Carpet'	No Common Name	36" o.c.	M
RS	5 gal	Rosa 'Tower Carpet Amber'	Amber Carpet Rose	36" o.c.	M
ST	5 gal	Stipa grandiflora	New Zealand Wind Grass	24" o.c.	M

## TREE MITIGATION CHART

Total Existing Trees on Site	238
Total Existing Trees Previously Removed	227
Additional Existing Trees to be Removed	5
Minimum Replacement Trees Required at 2:1 Ratio	464
Total Proposed Trees	718

## HUNTER STORM

## GATEWAY CROSSINGS

DATE: 05/19

PROJECT: \_\_\_\_\_

SCALE: As Noted

SHEET TITLE  
Planting Notes and  
Legends

SHEET NUMBER  
L-13

THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects - Land Planners  
181 Greenway Street  
San Francisco, CA 94133  
415.443.8612  
415.443.8605



DATE: 06/18/16  
 PROJECT:  
 SCALE: As Noted

**SHEET TITLE**  
 Schematic  
 Landscape Plan-  
 Site

**SHEET NUMBER**  
 L-2.1

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects - Land Planners  
 880 Commonwealth Blvd  
 San Francisco, CA 94111  
 T 415 455 4655  
 F 415 455 1805











DATE: 06/16/16  
 PROJECT:  
 SCALE: As Noted

**SHEET TITLE**  
 Schematic  
 Landscape Plan -  
 Site

**SHEET NUMBER**  
 L-2.4

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects - Land Planners  
 880 S. Bascom Avenue  
 Suite 200, San Jose, CA 95128  
 P: 408.433.4655  
 F: 408.433.1800



DATE: 06/10/16  
 PROJECT:  
 SCALE: As Noted

**SHEET TITLE**  
 Schematic  
 Landscape Plan -  
 Site

**SHEET NUMBER**  
 L-2.5

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects - Land Planners  
 880 Elginwood Drive  
 San Francisco, CA 94117  
 T 415 433-4653  
 F 415 433-1801



DATE: 06/16/16  
 PROJECT:  
 SCALE: As Noted

**SHEET TITLE**  
 Schematic  
 Landscape Plan -  
 Site

**SHEET NUMBER**  
 L-2.6

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects - Land Planners  
 881 Commonwealth Blvd.  
 San Francisco, CA 94111  
 T 415 433-4653  
 F 415 433-1803





Building 1 - with Typical Fireplace Seating Area  
Planting Scheme



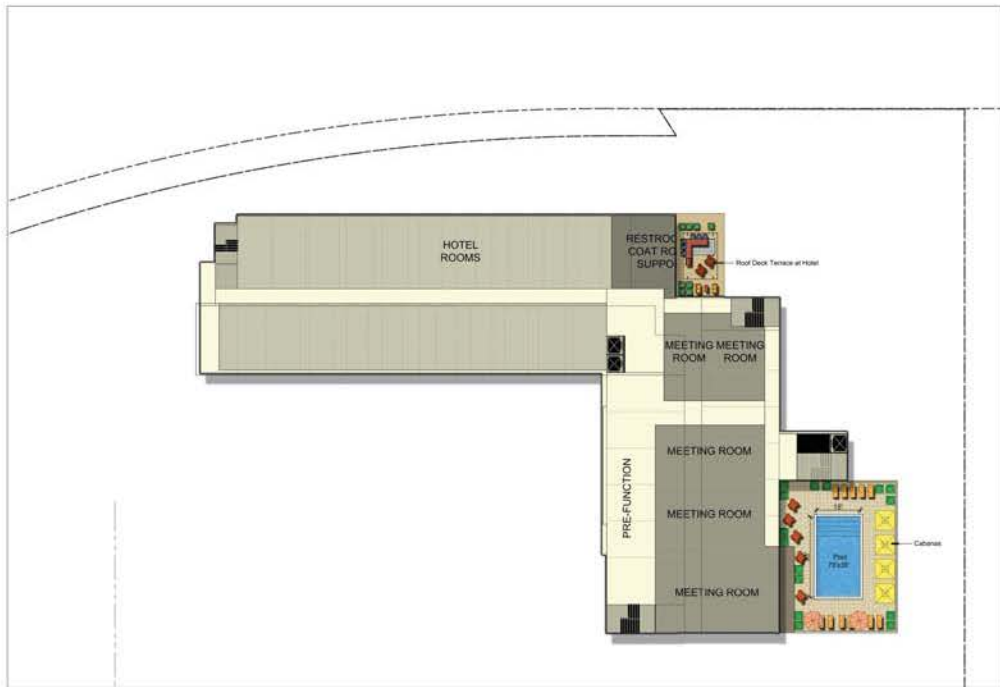
DATE: 06/16/16  
PROJECT:  
SCALE: As Noted

**SHEET TITLE**  
Schematic  
Landscape Plan  
Podium Building 1

**SHEET NUMBER**  
L-2.7

**THE GUZZARDO PARTNERSHIP, INC.**  
Landscape Architects - Land Planners  
881 Commonwealth Blvd.  
San Francisco, CA 94111  
T 415 455 4655  
F 415 455 1855





Hotel - Level 2 and Roof Deck on Level 8



DATE: 06/16/16  
 PROJECT:  
 SCALE: As Noted

**SHEET TITLE**  
 Schematic  
 Landscape Plan  
 Podium Hotel

**SHEET NUMBER**  
 L-2.8

**THE GUZZARDO PARTNERSHIP, INC.**  
 Landscape Architects - Land Planners  
 1801 Commonwealth Blvd.  
 San Francisco, CA 94117  
 T 415 433-4655  
 F 415 433-1800



Building 2 - with Typical Sunny Area Planting Scheme



HUNTER STORM

# GATEWAY CROSSINGS

15121 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 220-1200 Fax: (408) 220-5425



DATE: 06/16/16  
PROJECT:  
SCALE: As Noted

SHEET TITLE  
Schematic  
Landscape Plan-  
Podium Building 2

SHEET NUMBER  
L-2.9

THE GUZZARDO  
PARTNERSHIP  
Landscape Architects - Land Planners  
880 S. Bascom Avenue  
Suite 200, San Jose, CA 95128  
Tel: 408.433.4655  
Fax: 408.433.1800



Building 3 - with Typical Shady Area Planting Scheme



HUNTER STORM

15121 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 220-1200 Fax: (408) 220-5472

GATEWAY CROSSINGS

DATE: 06/16/16

PROJECT:

SCALE: As Noted

SHEET TITLE

Schematic Landscape Plan-Podium Building 3

SHEET NUMBER

L-2.10

THE GUZZARDO PARTNERSHIP INC.

Landscape Architects - Land Planners

880 S. Bascom Avenue  
San Jose, CA 95128  
Tel: 408.433.4655  
Fax: 408.433.1800



Building 4 - with Typical Sunny Seating Area Planting Scheme

HUNTER STORM

# GATEWAY CROSSINGS

10101 Miller Ave., Suite 200, Cupertino, CA 95014  
Phone: (408) 220-1000 Fax: (408) 220-5425



DATE: 06/16/16

PROJECT:

SCALE: As Noted

## SHEET TITLE

Schematic  
Landscape Plan  
Podium Building 4

## SHEET NUMBER

L-2.11

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
880 Commonwealth Blvd.  
San Francisco, CA 94111  
T 415 433 4655  
F 415 433 1801



# WATER USE LEGEND

Key	Wucole Category	Area
	Low Water Use	40,144 sf
	Medium Water Use	36,424 sf
	High Water Use	00 sf
	Water Feature	3,202 sf

Note: These area calculations do not include the Neighborhood and Linear Parks



HUNTER STORM

## GATEWAY CROSSINGS

DATE: 06/19/19  
PROJECT #:  
SCALE: As Noted

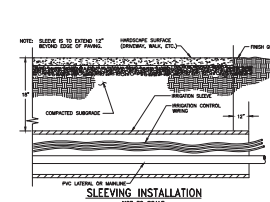
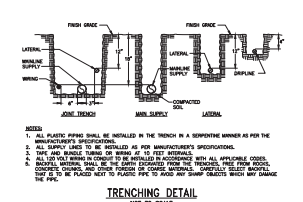
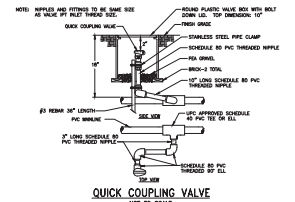
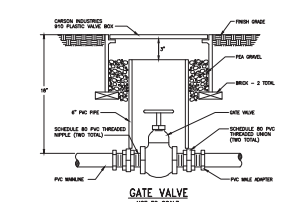
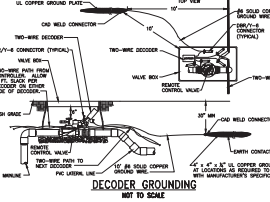
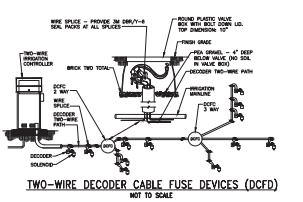
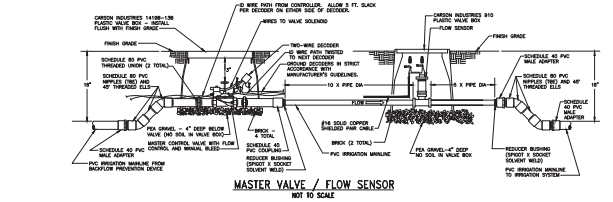
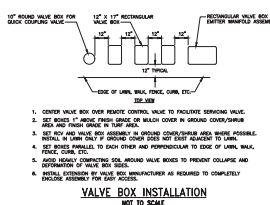
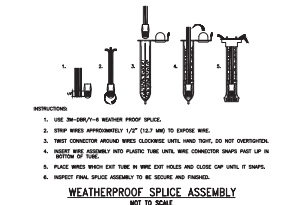
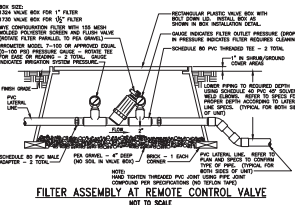
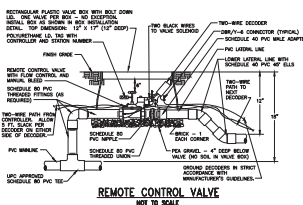
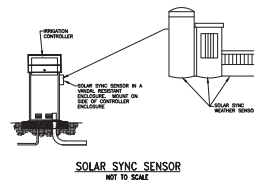
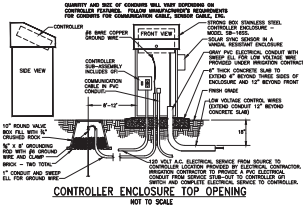
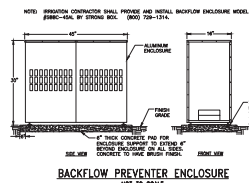
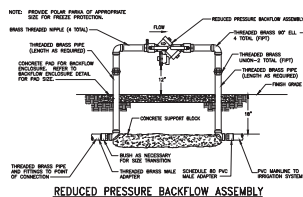
SHEET TITLE  
Irrigation Zoning  
Diagram

SHEET NUMBER  
L-3.1

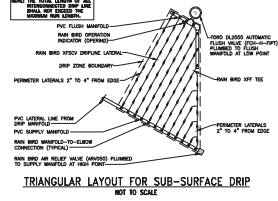
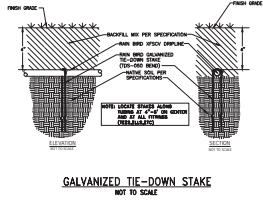
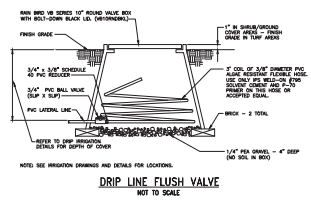
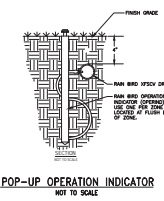
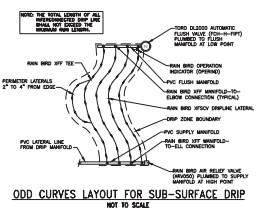
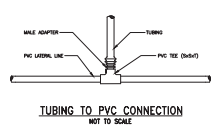
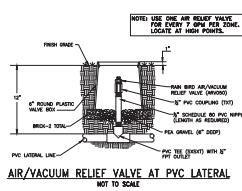
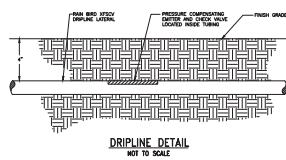
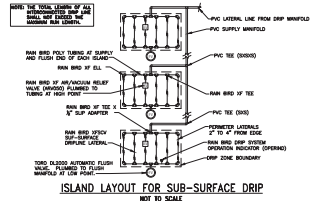
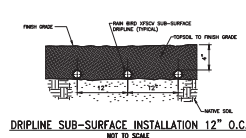
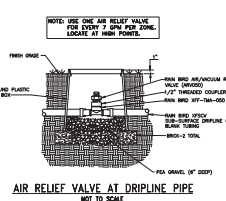
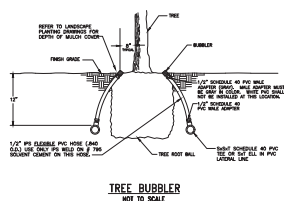
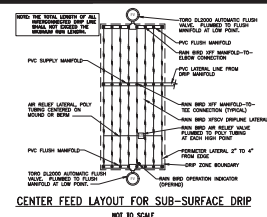
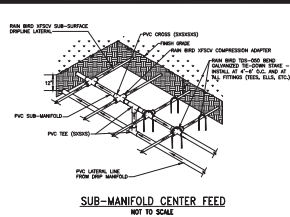
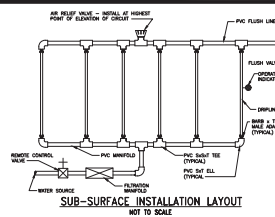
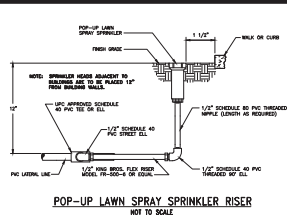
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[illegible][illegible][illegible][illegible][illegible]

1. ALL CABLES PASSING WITHIN STRUCTURE TO BE PROVIDED, ROUTED, AND INSTALLED BY PLUMBING CONTRACTOR. EXT OF PVC TO BE 18" BELOW FINISH GRADE.
2. IRRIGATION SLEEVES AND/OR CONDUIT IN STRUCTURE TO BE PROVIDED AND INSTALLED UNDER STRUCTURAL WORK.
3. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT, PULL BOXES AND DECOILER CABLE IN STRUCTURE. THE IMPASSES INDICATED REQUIRED TWO-WIRE PATH FOR A GIVEN PLANTER LOCATION, THROUGH STRUCTURE, TO REMOTE CONTROL VALVE LOCATIONS. 1/2" GAUGE DECOILER CABLE SHALL BE USED FOR CONTROL WIRING. FINAL CONNECTION OF WIRING TO REMOTE CONTROL VALVES SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.
5. CONDUIT FOR DECOILER CABLE SHALL BE INSTALLED UNDER ELECTRICAL CONTRACTOR WORK COORDINATE WITH ARCHITECT FOR CONDUIT ROUTING.



PRELIMINARY  
NOT FOR CONSTRUCTION



PRELIMINARY  
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19121 Miller Ave. Suite 200, Capetown, CA 95014  
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**GATEWAY CROSSINGS**

DATE: 05.18.19  
PROJECT #:  
SCALE:  
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NORTH  
SHEET TITLE  
Irrigation Details

SHEET TITLE	Irrigation Details
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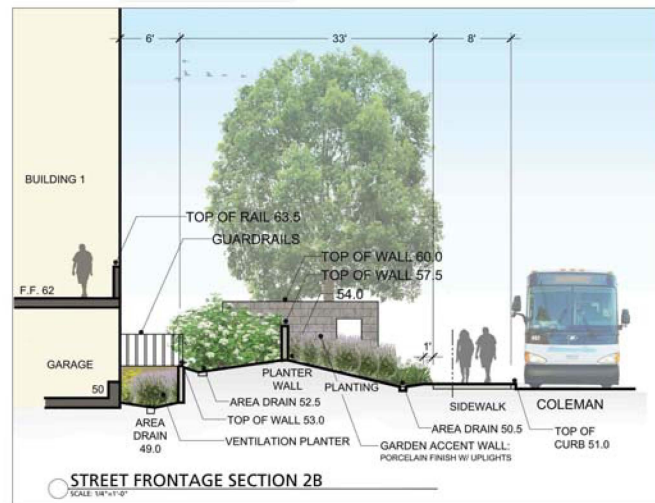
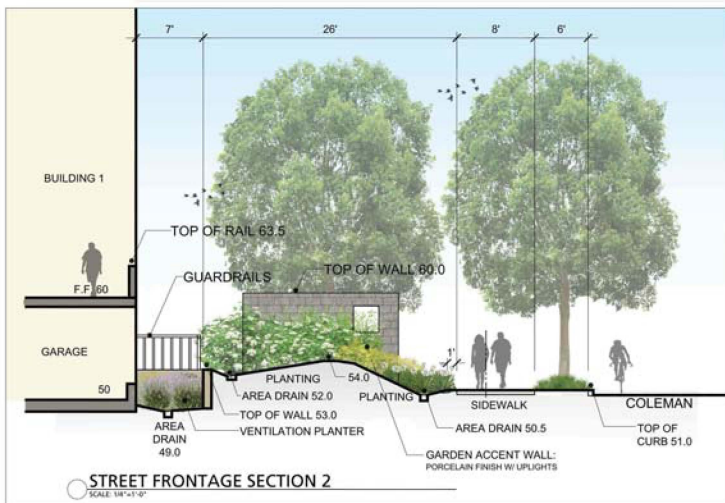
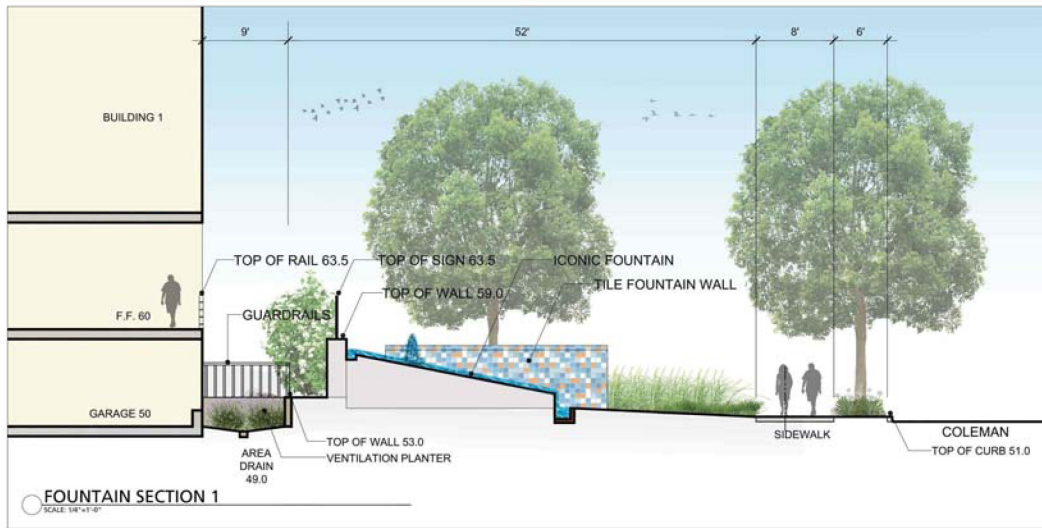
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LANDSCAPE IRRIGATION  
BARRY DICKSON, CEO-PIG  
TEL(951) 947-8078 [www.dicksoninc.net](http://www.dicksoninc.net)  
P.O. BOX 415  
PALO CREDIT, CALIFORNIA 92073  
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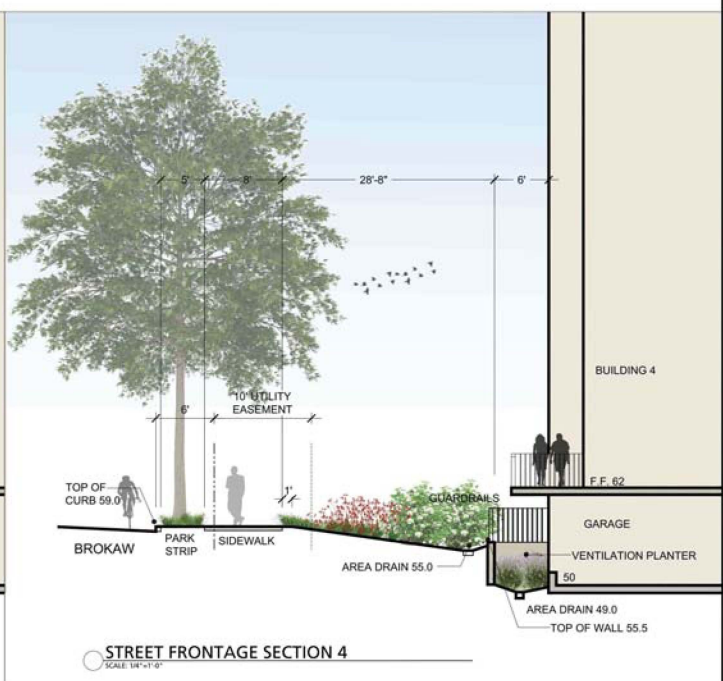


DATE: 08.15.19  
PROJECT #:  
SCALE: As Noted

**SHEET TITLE**  
Site Sections

**SHEET NUMBER**  
L-4.1

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Landscape Architecture - Land Planning  
181 Greenbush Street  
San Francisco, CA 94111  
7415.455.9612  
415.455.1885



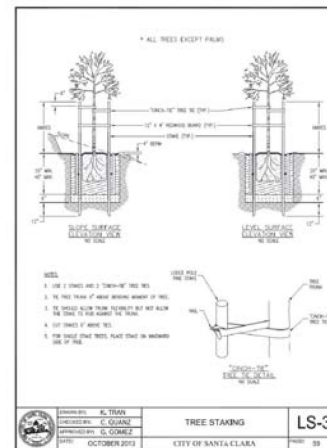
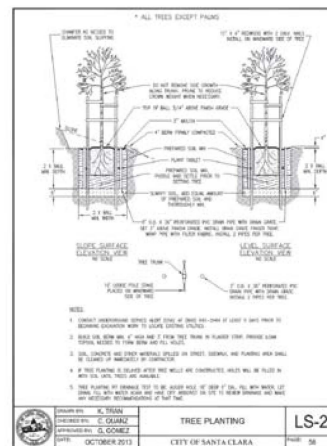
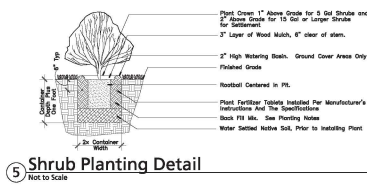
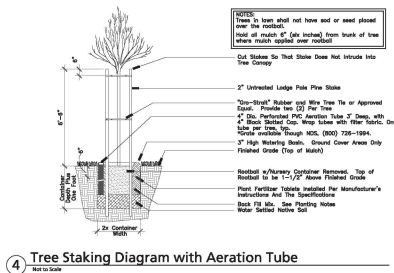
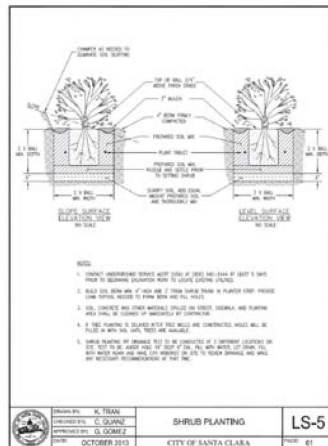
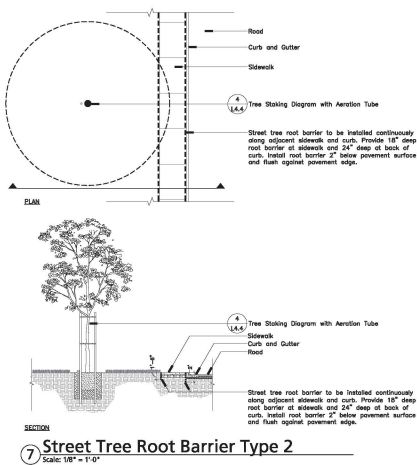
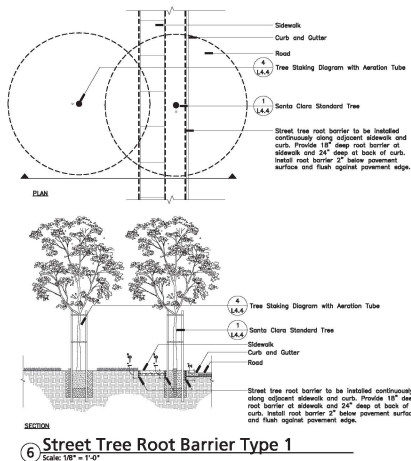
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SHEET TITLE  
Site Sections

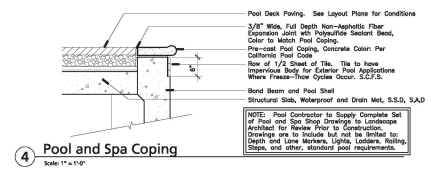
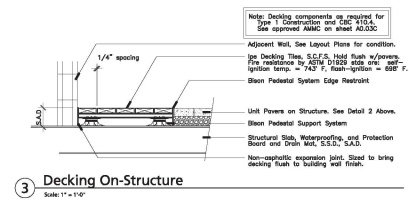
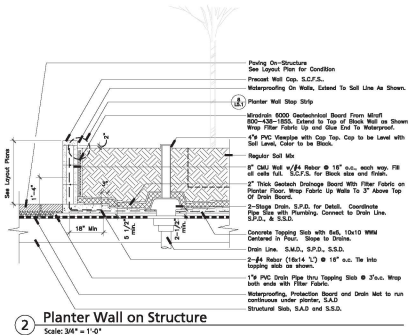
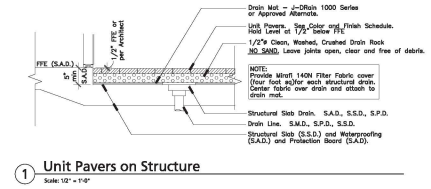
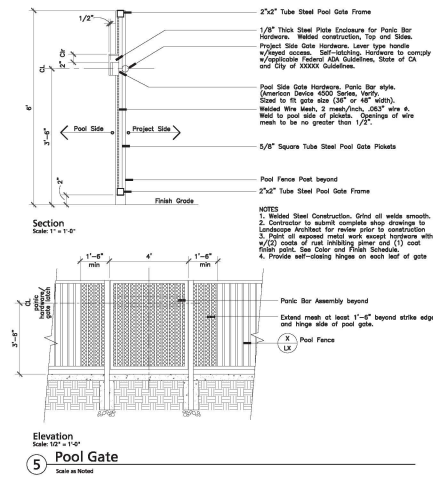
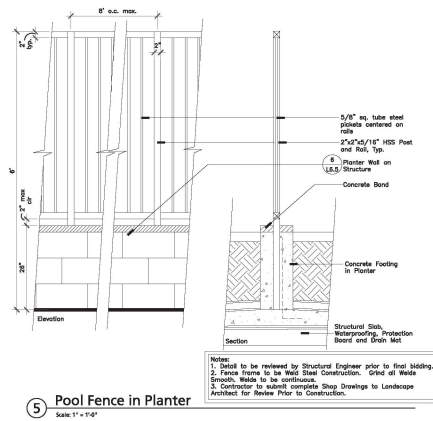
SHEET NUMBER  
L-4.2

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T 415-433-8672  
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1833 Mission Ave., Suite 200, Concord, CA 94521  
Phone: (925) 204-4202 Fax: (925) 204-4205

**GATEWAY CROSSINGS**

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DATE: 08.19.19

PROJECT: \_\_\_\_\_

SCALE: As Noted

**SHEET TITLE**

Landscape Details

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**SHEET NUMBER**

L-4.5

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Landscape Architects - Land Planners

181 Greenwack Street  
San Francisco, CA 94111  
7415 433 8872  
7415 433 5593